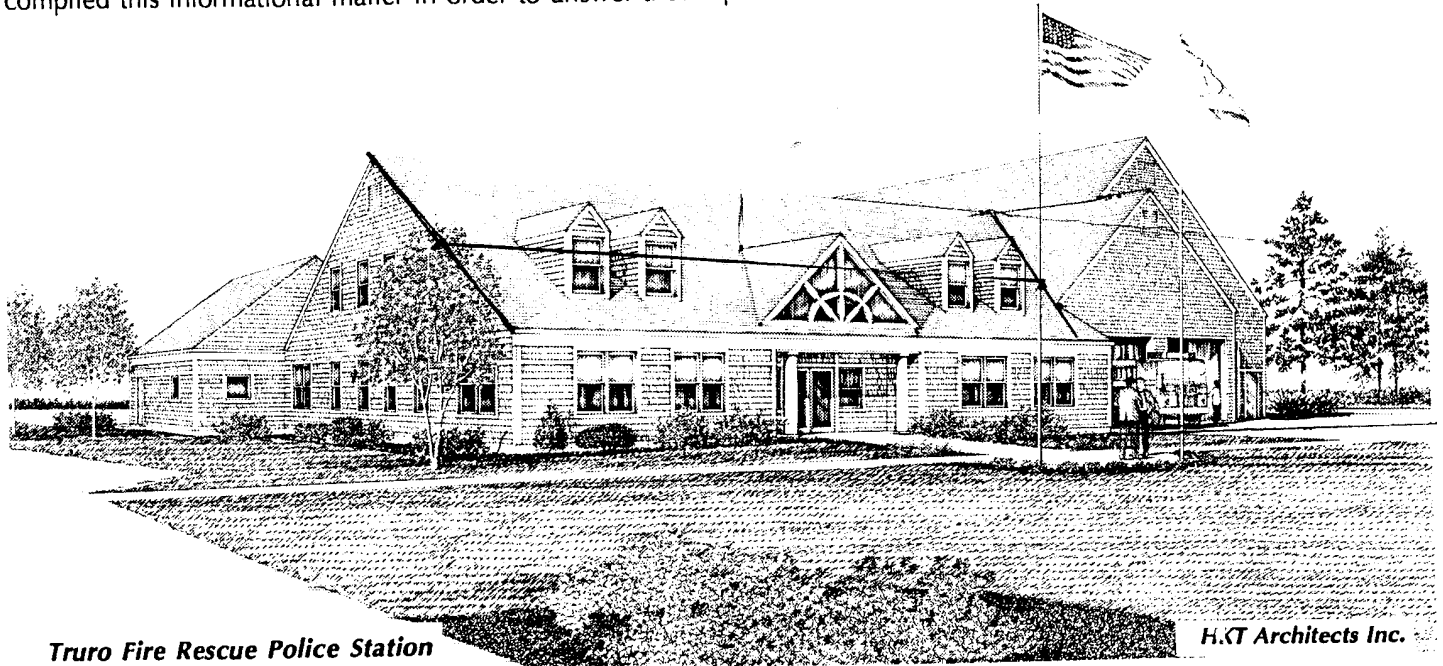


A Memo from the Town Building Committee

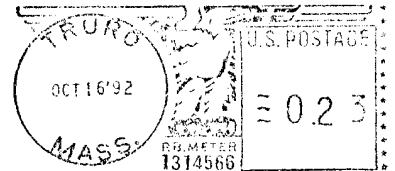
The picture below shows the proposed design of the new Fire Rescue and Police station. At Town Meeting in the spring of 1992, the Town Building Committee was authorized to proceed to implement this design with final plans and specifications for construction.

Since that time, questions have arisen about the height of the proposed building. The Town Building Committee has compiled this informational mailer in order to answer those questions.



Town Building Committee
Town Hall
Truro, MA 02666

PRESORTED
FIRST-CLASS



Boxholder

617-776-6545

The original directive to the Town Building Committee was two-fold: design a Fire Rescue Police station that will meet the functional needs of the Town for at least 50 years, and design a building that reflects traditional Cape-style architecture.

The first step in designing the building was to identify all the spaces that each department needed. For the Fire and Police Departments, many of these spaces have specific technical requirements.

The apparatus bay, for example, has to have a ceiling height of approximately 15 feet because of the size of the fire trucks and the need to work overhead. With the number of trucks and rescue vehicles that the town has, a garage area consisting of three double bays was needed. New equipment is larger than older trucks, and many of these standards are set by state and federal regulations. A garage of 63 by 89 feet fits present and future needs.

For the offices, the sizes of individual areas such as the dispatch area, specific offices, and administrative spaces were established. It is important for certain uses to be located next to each other. Federal regulations require an elevator. The result was an office wing approximately 65 by 83 feet. A small garage and holding cell area was located at the rear; toilet, locker training and meetings rooms were located in a

basement level. This plan established the building size, what is called the "footprint" of the building on the ground. (See Exhibit 1).

A final consideration is future expansion. The attic areas are an important element of the design, providing space that can be used in the future as needs in the Town change. Over both the Police and Fire offices are unfinished attic areas suitable for future use either as office space or possible living quarters for fire personnel. The design approved by the Town allows for this future expansion.

What makes Cape architecture distinctive is the combination of weathered shingles, low eaves, and the steeply pitched roof. Cape roofs are pitched to shed water and snow readily, and to make use of the attic space possible. Technically, these roofs are pitched at 10:12 or higher (10 inches of rise for each 12 inches horizontal run). Often the roofs exceed 12:12. (See Exhibit 2). There is more useable space with a steeper roof. (See Exhibit 3).

During the design phase, the Town Building Committee and Police and Fire Departments visited many other Cape Cod stations. The building that all groups found most appropriate as a model was the new fire station in

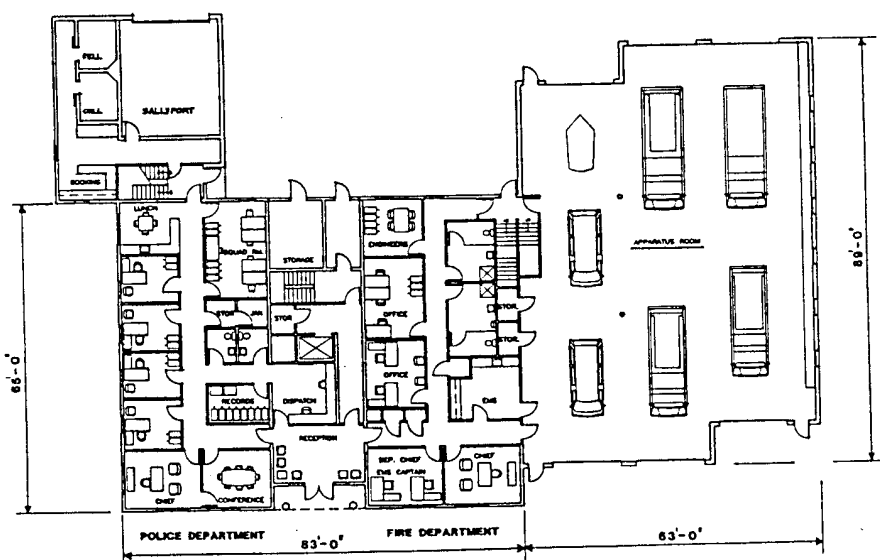


Exhibit 1: First Floor Plan

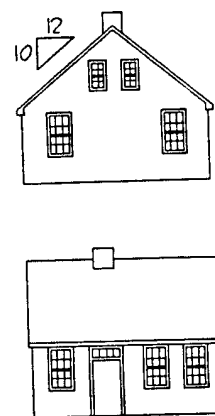


Exhibit 2: Typical Cape Cod House Roof

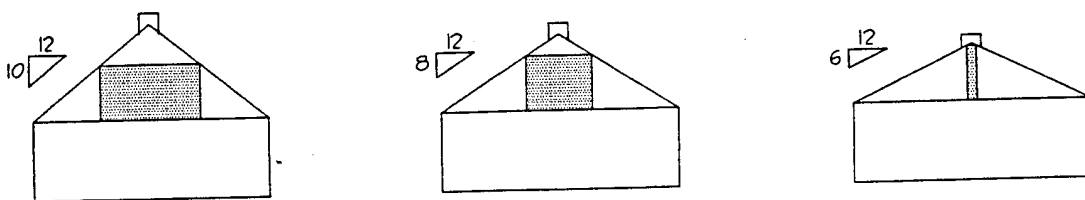


Exhibit 3: Effect of Lower Roof Pitch on Useable Area of Attic
Shaded area indicates useable area to height of 6 feet

the village of West Barnstable. Located in a sensitive historic district, the station is designed with wood shingles and with Cape-style roof lines. Like most fire stations we visited, the roof was high -- in this case 38 feet. As in Truro, a Special Permit was required for this height, but the results seem well worth it, because the building resembles the clusters of houses and barns typical of the area around it.

A few Truro citizens have objected to the height of the building. **Exhibit 4** shows the height of the roof as designed. **Exhibit 5** indicates the relative amount of roof which is over the 30 foot limit.

When the design of the Fire Rescue Police station was being developed, we looked at alternatives for the roofs. It was clear that a flat roof was inappropriate. Roofs with very low pitches, often seen on industrial or metal buildings, were looked at and discarded as not Cape-like. Various designs were evaluated, and the roofs with pitches that began to approximate Cape proportions were the most satisfying. As the design was presented in model form, in elevations and perspective drawings, the general response was very favorable, in large part because the proportions felt right.

We also felt that it would be helpful to break up the bulk of the apparatus wing -- the "barn" part of the building, as seen from the highway. To make the height less imposing, the facade was stepped back, with a lower section in front at the height of the office roof.

Using the minimum traditional roof pitch for the apparatus wing of 9:12 pushed the height of the ridge over the 30 foot standard in the Truro zoning by-law. The by-law anticipates this, and accordingly allows buildings to exceed this height by Special Permit from the Board of Appeals. This process recognizes that there are special cases where the additional height is appropriate, such as a town hall, a church, a barn. In fact, there are buildings in Truro which are well over the 30 foot height -- the main wing of the School, churches, the Town Hall, and barns such as Horton's, Edgewood and Mulberry Farms and Snow's (now Castle Hill).



Exhibit 4: *Front Elevation of Station with Roof Heights Indicated*

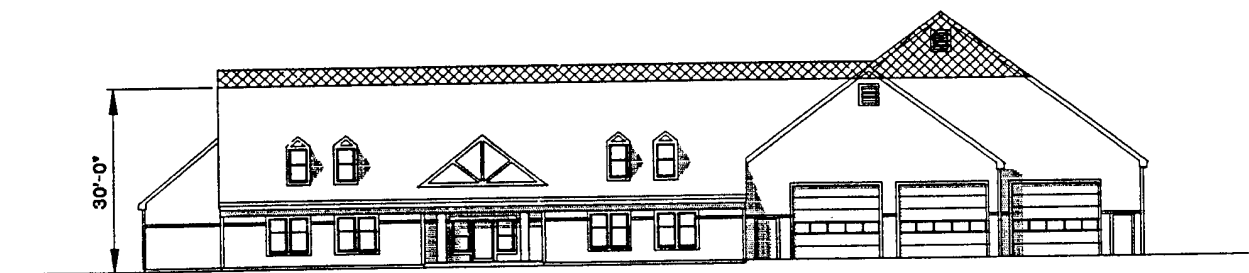


Exhibit 5: *Front Elevation of Station
Shaded area indicates portion of roof above 30 feet*

Summary

In asking for a vote in favor of the current design, the Town Building Committee feels that the present design is appropriate and in keeping with the character of Truro.

1. Granting of the Special Permit does not set a precedent for other buildings because this building is unique. It is not a house and a homeowner cannot consider it applicable to a residence. This is a Town building, and the only Fire and Police Station to be built for many years. As a unique building type and situation, it does not set precedent for any other applicant.
2. The building is located on Route 6 in North Truro (the former Lema motel property) in a General Business zone. Next to the project is a commercial cluster consisting of a bank, a restaurant, a large motel and an auction/sales barn. Across the highway is a cemetery. The proposed building is separated from residential areas by woods.
3. The alternative of lowering the pitch of the roof will result in a building with less pleasing proportions.
4. Changing the pitch of the roof will result in a 25% loss of future expansion space over the office

area, and will eliminate any potential use of the area over the apparatus garage.

5. The request for a Special Permit is reasonable and consistent with the public good.

The Town Building Committee hopes this information is useful to you in understanding the design of the Fire Rescue Police station.