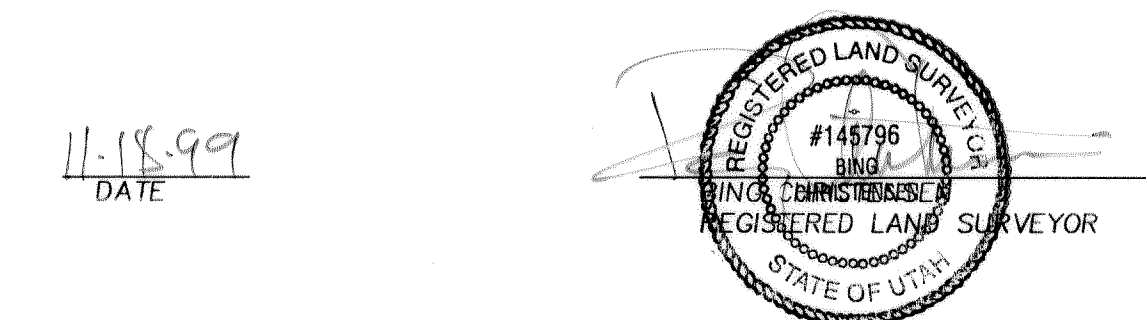


**SURVEYOR'S CERTIFICATE**  
I, BING CHRISTENSEN, UTAH REGISTERED LAND SURVEYOR No. 145796, DO HEREBY STATE THAT THIS DRAWING CONSISTING OF ONE (1) SHEET ACCURATELY REPRESENTS A SURVEY COMPLETED UNDER MY DIRECTION IN NOVEMBER, 1999.

**BOUNDARY DESCRIPTION**  
ALL OF LOT 554, PLAT NO. 5, TIMBER LAKES ESTATES SUBDIVISION, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER, WASATCH COUNTY, UTAH.

**BASIS OF BEARINGS**  
THE BASIS OF BEARINGS FOR THIS SURVEY WAS ESTABLISHED BETWEEN A FOUND ORIGINAL HUB AND TACK AT THE NORTHWEST PROPERTY CORNER OF LOT 554, TIMBER LAKES SUBDIVISION, PLAT NO. 5, OF OFFICIAL RECORDS, AND A FOUND REBAR AT THE NORTHWEST PROPERTY CORNER OF LOT 558, OF SAID SUBDIVISION, SAID BEARING BEING S59°39'10\"/>

**SURVEYOR'S NARRATIVE**  
THIS SURVEY WAS PERFORMED FOR THE PURPOSE OF DETERMINING THE PHYSICAL LOCATION OF THE PROPERTY BOUNDARY AS WELL AS TO PROVIDE TOPOGRAPHICAL INFORMATION SPECIFIC TO THE SUBJECT LOT. AS NOTED ON THIS DRAWING, A HUB AND TACK DETERMINED TO HAVE BEEN SET AT THE TIME OF THE ORIGINAL SUBDIVISION LAYOUT WAS UNCOVERED AT THE NORTHWEST PROPERTY CORNER OF THE SUBJECT LOT AND WAS SUBSEQUENTLY USED AS THE BASIS FOR LOCATING THE REMAINING PROPERTY CORNERS.



- GENERAL NOTES**
1. NOT ALL UTILITY COMPANY PIPES, WIRES, ETC. HAVE BEEN SHOWN ON THIS MAP. CONTRACTORS, BUILDERS AND EXCAVATORS SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND/OR EXCAVATION. UTILITY LOCATIONS AS SHOWN ARE APPROXIMATE. PLEASE CONTACT BLUE STAKES AND REFER TO UTILITY COMPANY MAPS FOR ADDITIONAL INFORMATION.
  2. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
  3. PLEASE SEE FEMA MAPS AND RECORDS AND STATE AND LOCAL AGENCIES FOR INFORMATION REGARDING FLOOD AND EARTHQUAKE INFORMATION ON THIS AREA.
  4. PLEASE SEE CITY AND COUNTY PLANNING AND ZONING MAPS FOR INFORMATION REGARDING SETBACK, SIDE YARD, AND REAR YARD DISTANCES AS WELL AS OTHER BUILDING AND USE RESTRICTIONS AND REQUIREMENTS.
  5. THIS SURVEY DOES NOT PURPORT TO SURVEY OR DESCRIBE THE LOCATION OF ADJOINING PROPERTIES AS TO GAPS OR OVERLAPS WHICH COULD BE SHOWN BY A CORRECT SURVEY OF THOSE PROPERTIES. THIS SURVEY DOES NOT PURPORT TO DETAIL THE LOCATION(S) OF VARIOUS EASEMENTS NOR RIGHTS-OF-WAY OF RECORD AND USE.
  6. THIS SURVEY DOES NOT GUARANTEE TITLE TO LINE SET NOR PURPORT TO SHOW ALL EASEMENTS OF RECORD, NOR IS IT PROOF OF OWNERSHIP.

FILED NUMBER CWC-046-015-4-0929 FILED 10-00  
FILED DATE 12-8-99 TIME 12:00  
FILED FOR MCM ENGINEERING  
SURVEYED FOR DOUG FOLSOM

**MCM ENGINEERING, INC.**  
CIVIL/STRUCTURAL/SURVEYING  
P.O. BOX 189  
HEBER, UT 84032  
(435) 654-0939

DRAWN BY: REC	APPROVED BY: BING CHRISTENSEN	REVISIONS
DATE: 11/10/99	PROJ. NO. 99235	
DWG. NO.	DWG. 99235RS&TOPO	
	PLOT VIEW = "PLOT"	

PREPARED FOR  
DOUG FOLSOM

PROJECT  
PROPERTY SURVEY

SHT. NAME  
RECORD OF SURVEY  
WASATCH COUNTY  
IN THE SE 1/4 OF SEC 15, T4S, R6E, SLB&M

SHT. NO.  
1  
OF 1