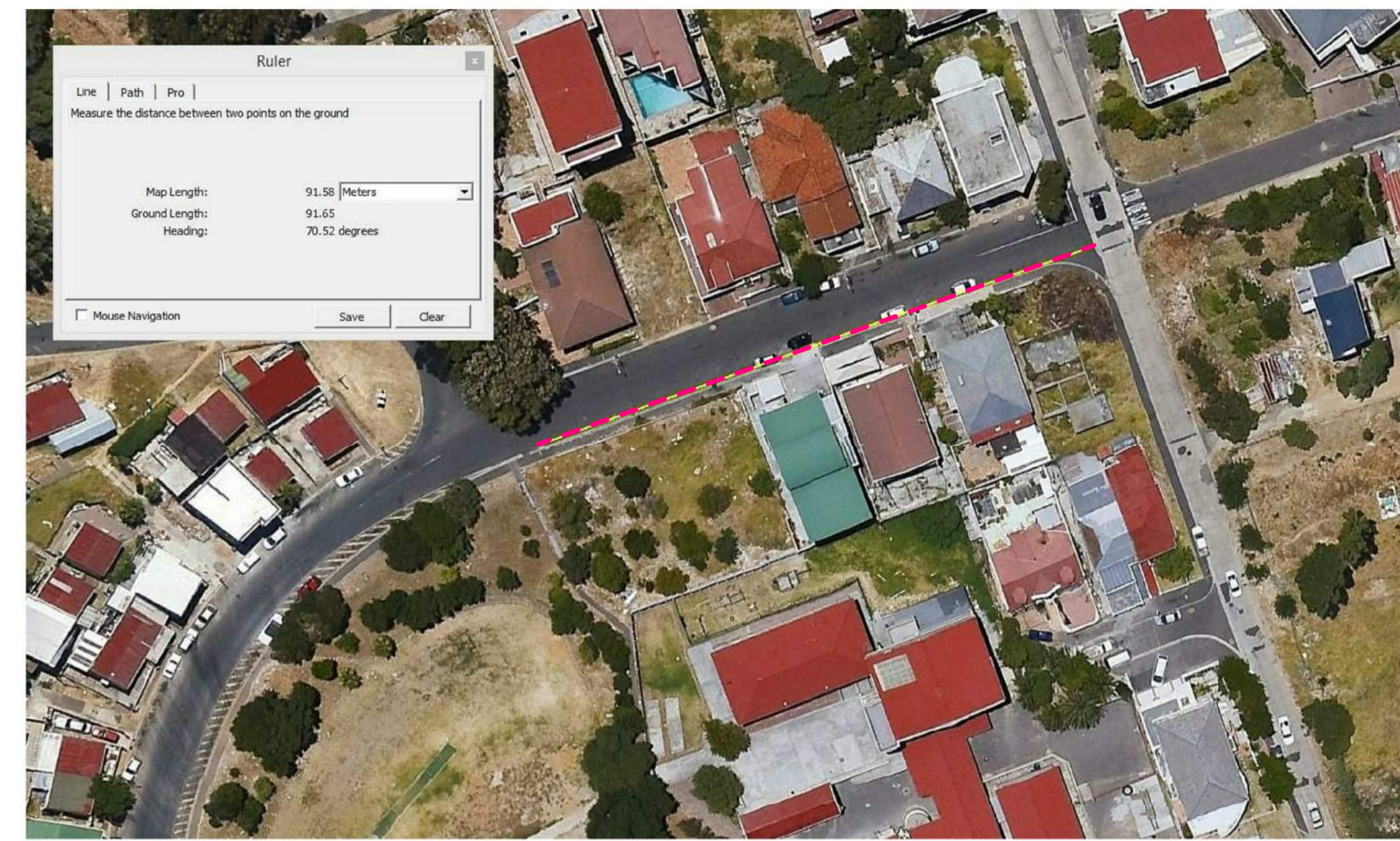
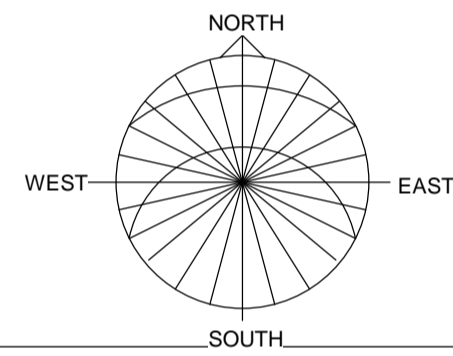


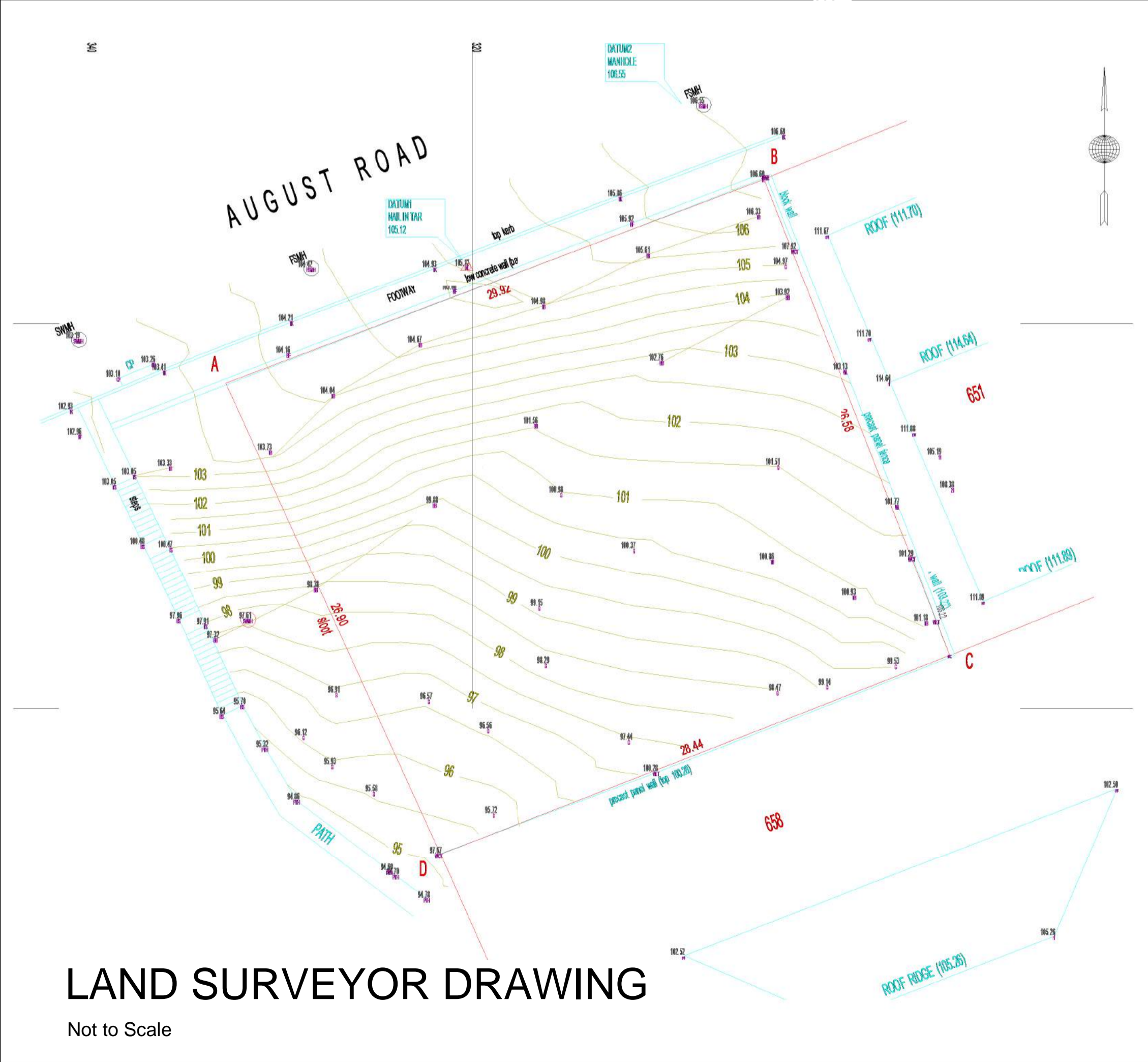
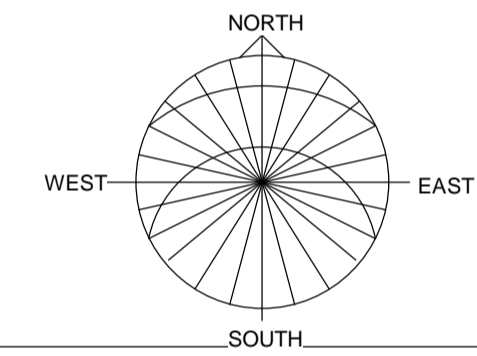
**SITE LOCATION (Google Earth)**

Not to Scale



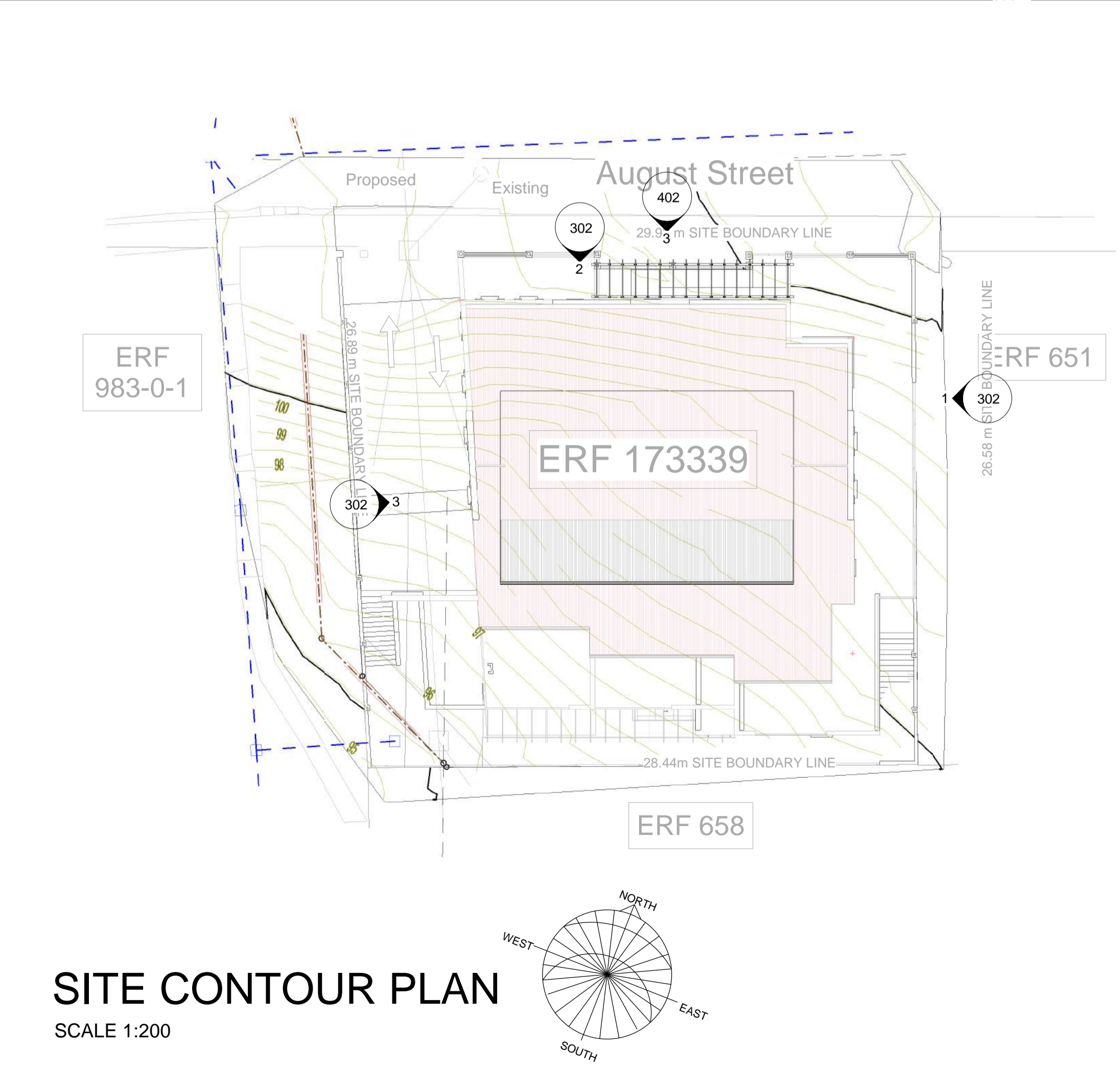
**SITE LOCATION - Distance to cross road**

Not to Scale



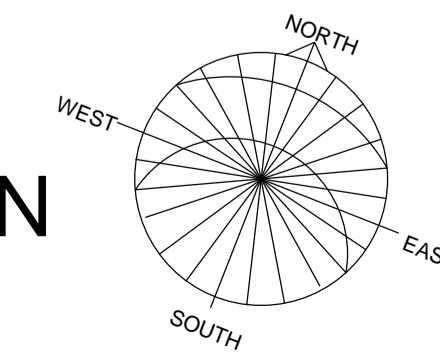
**LAND SURVEYOR DRAWING**

Not to Scale



**SITE CONTOUR PLAN**

SCALE 1:200



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**DRAWING REGISTER**

Drawing:	Description Note:	Rev No. Date

**REVISIONS**

No.	Description	Date

OCCUPATION CLASSIFICATION	ZONING CLASSIFICATION
H3	GB5

Development Logo's:

- Concept/Design
  - Tender
  - Marketing/ Presentation
  - Mun Submission
  - Construction
  - Completion/As Build
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Signatures: \_\_\_\_\_  
 Project: Erf 173339, August Street, Schotschekloof, Cape Town  
 Client: GOOD HOPE PLASTERERS CC  
 Drawing: **SITE OVERVIEW**

CHECKED	C.L. v.d. Spuy	SIGNED	_____
SACAP	Pr. Arch. 24751167	DRAWN	GR
DATE	22/06/15	DESIGN	ELC
SCALE	As indicated	REVISION	010
JOB	374	PRINTED	2017-06-07 09:26:24 AM
DRAWING NO	000	PAPER	A1
<small>Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokkaap (Erf 173339)\D - Municipal\374 - 005 - 012 - Bo Kaap Apartments.rvt</small>			

**CITY OF CAPE TOWN**  
PLANNING & BUILDING DEVELOPMENT MANAGEMENT

Approved for Approval

This application has been approved in terms of Section 7 (1) (b) of Act 103 of 1977, subject to the conditions in the attached letter of approval.

29 Jun 2017  
Date

Planning & Building Development Management

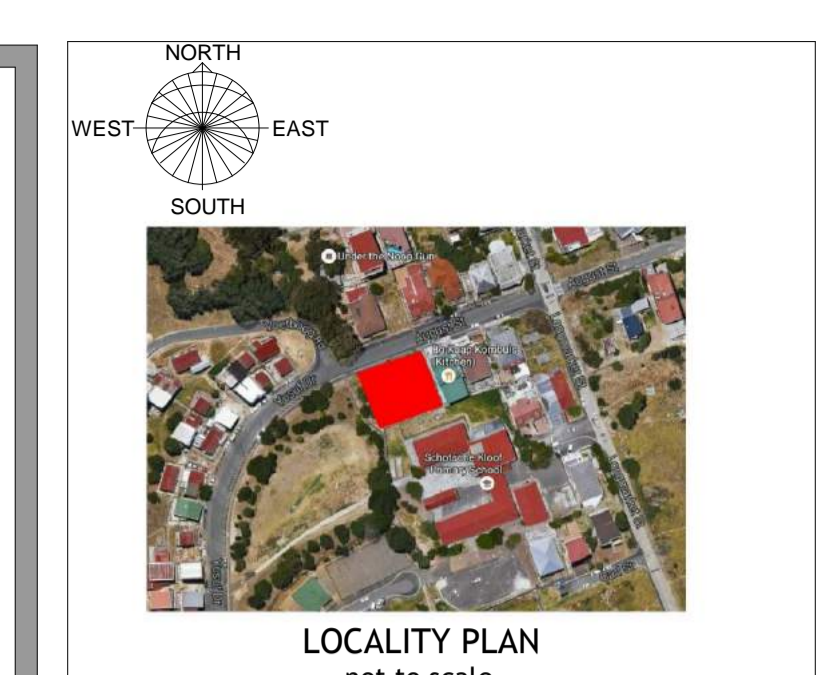
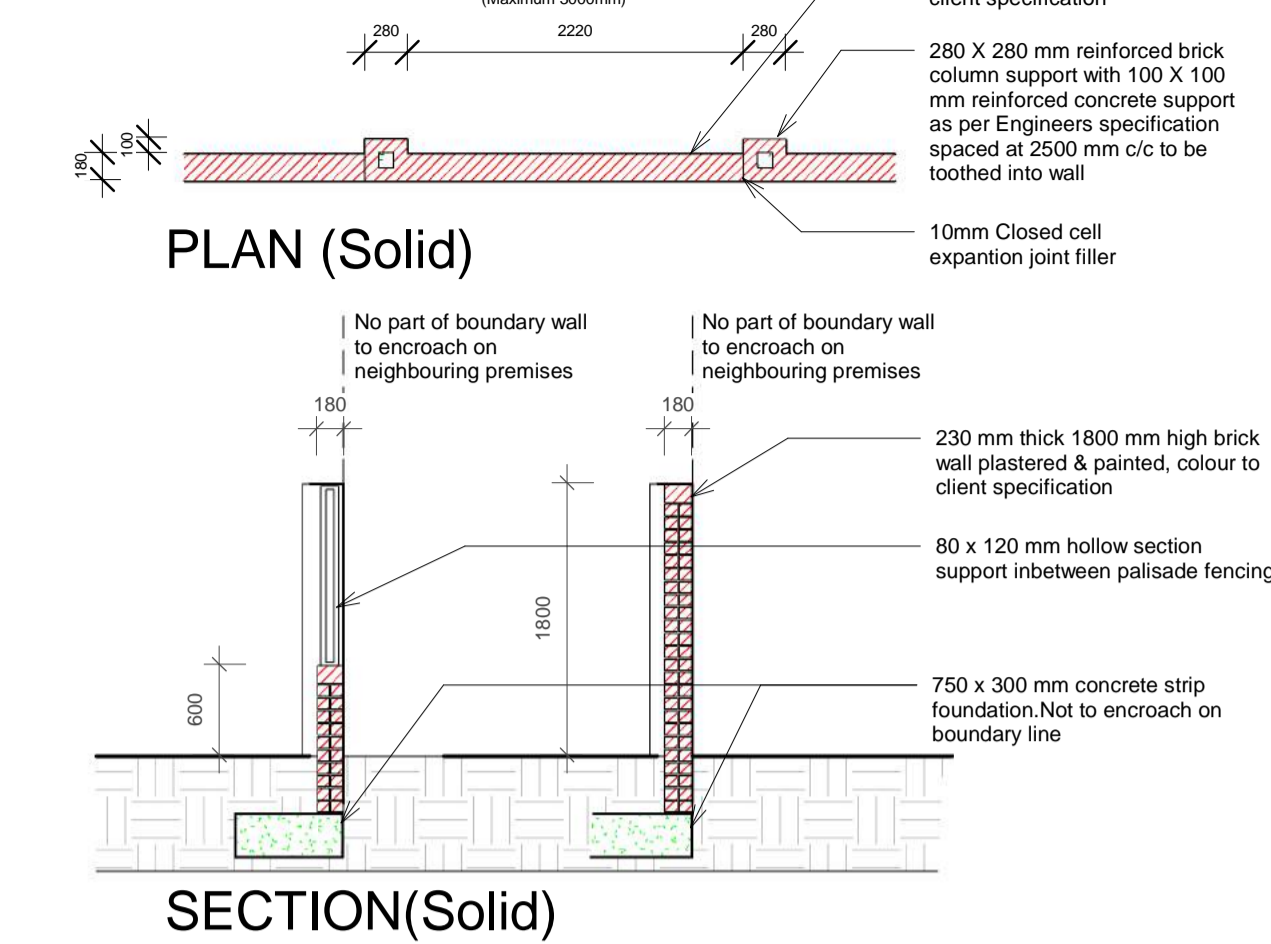
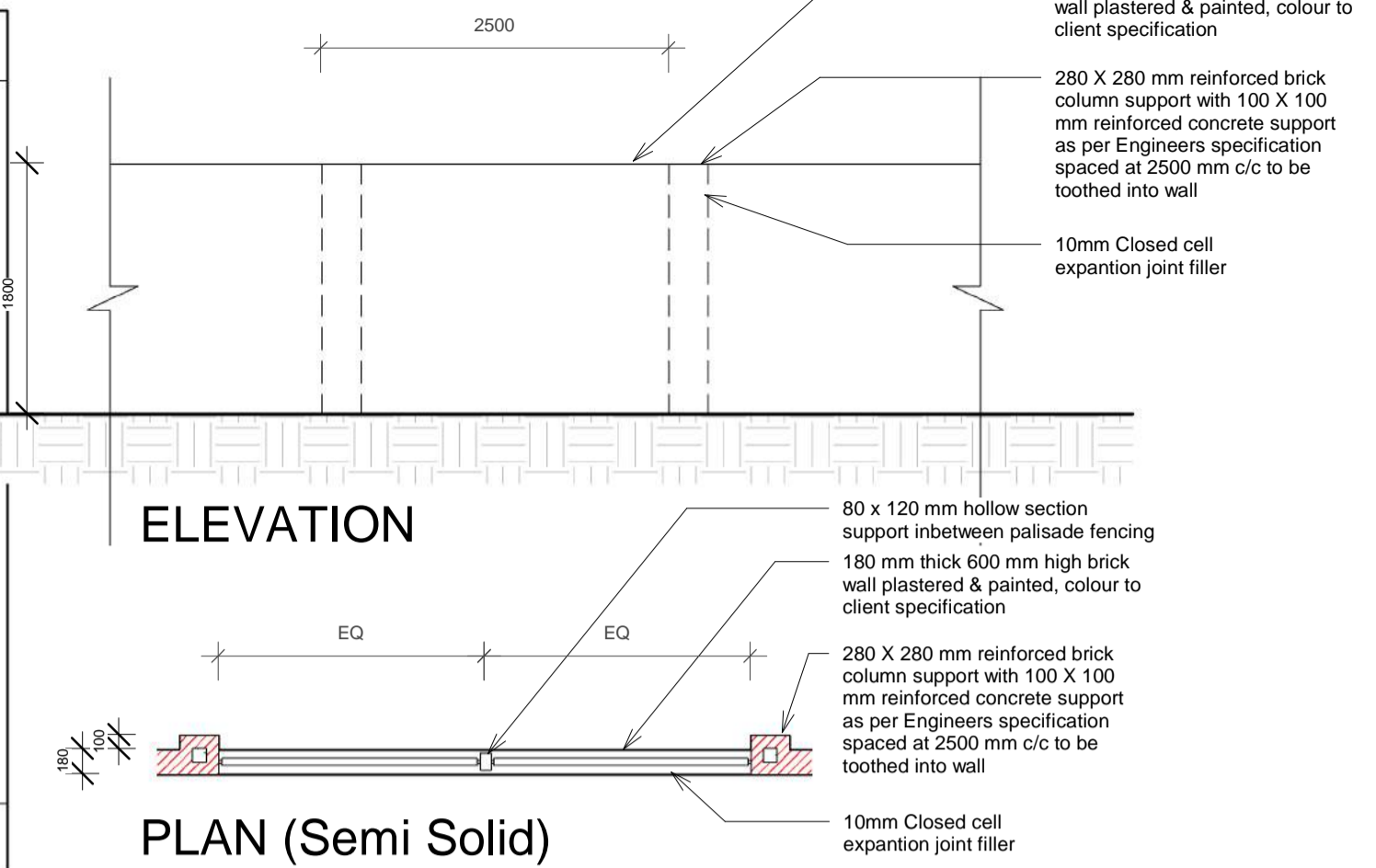
Approval Number: 97507956

Application Number: 000070314097

STATUTORY REQUIREMENTS		BREAKDOWN OF BUILDING WORK AREAS PER STOREY	
ACTUAL	PERMISSIBLE AS PER APPROVED SDP	Basement Storey 2	245.205sqm
ERF NUMBER - 173339		Basement Storey 1	0.000sqm
ERF SIZE/EXTENT - 783sqm		Ground Storey	418.766sqm
COVERAGE - 55.90%	88% in lieu of 60%	First Storey	296.061sqm
FLOOR FACTOR - 1.70	1.7 in lieu of 1.5	Second Storey	296.061sqm
BUILDING LINES	REFER TO INDIVIDUAL FLOOR LAYOUT DRAWINGS	Second Storey Mezz.	75.919sqm
ZONING - SR1	GENERAL RESIDENTIAL (GR4)	<b>TOTAL BULK</b>	<b>1332.012sqm</b>
PARKING - 15 PARKING BAYS (PLUS 5 TANDEM BAYS)	15 PARKING BAYS (PLUS 5 TANDEM BAYS) IN LIEU OF 20 BAYS		
REFUSE BIN REQUIREMENTS	6sqm / 6 BINS		

**BOUNDARY WALL DETAIL**  
Scale: 1 : 50

NOTE: All work outside the property boundary will be a separate application to Roads Department and no work outside the boundary will proceed without a permit in place.



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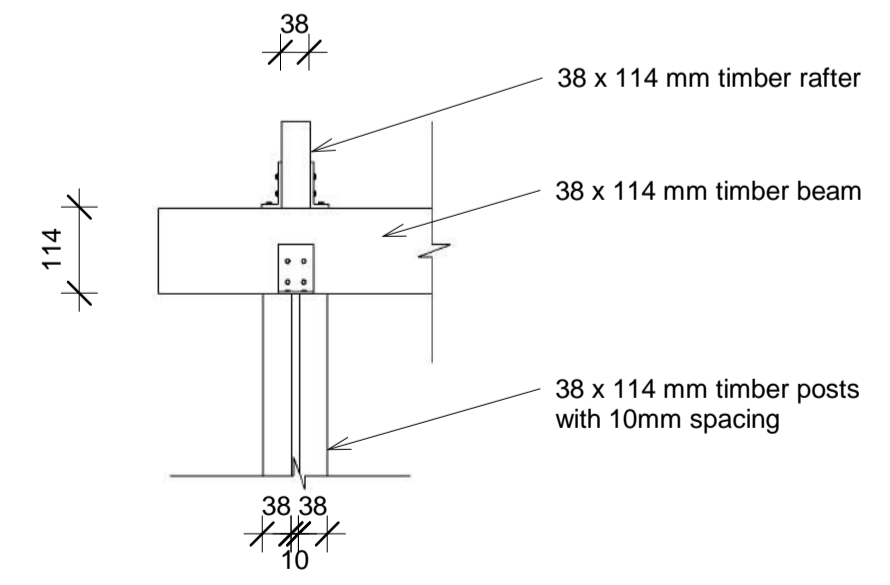
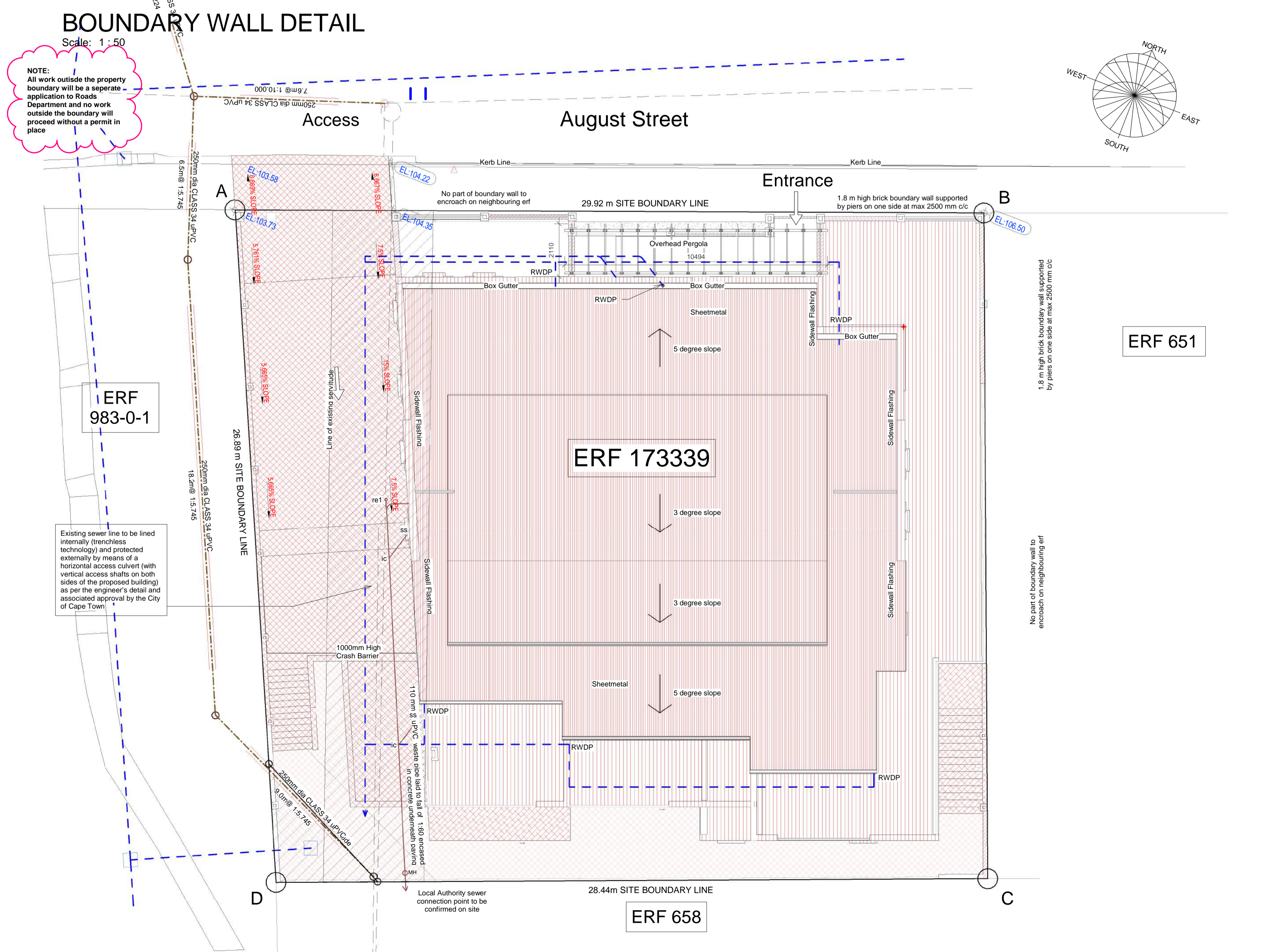
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**Provide disabled facilities i.e. parking bays, hand rails, and adequate signage compliant to Part S of SANS 10400 of 2011.**

- A Parking bays:**
- Provide a designated disabled parking bay.
  - The parking bay must be in a 50m radius from an accessible entrance.
  - The parking bay must be of adequate size as indicated in Part S of SANS 10400 – 2011.
- B Handrails:**
- Shall have an elliptical gripping surface profile that is approximately 50mm wide and 40mm deep, or a circular profile of a diameter not less than 35mm and more than 50mm.
  - The height to the top of a handrail from the nosing of the tread of the stairs or from the surfaces of a ramp shall be in the range 900mm to 1000mm and shall remain consistent along the length.
  - Handrails shall be securely fixed and shall be rigid.
  - The surface of the handrail and wall, or any other surface adjacent to them, shall be free of any sharp or abrasive elements.
  - The clear width between a handrail and an adjacent wall shall be at least 60mm.
  - Handrails shall extend 300mm horizontally beyond the top and bottom of the ramp or stairway and shall return to the supporting structure or shall be finished with a positive return, and the minimum dimensions for landings on escape routes as required in SANS 10400-T shall be maintained.
- C Signage:**
- All facilities on the premises intended for the use by people with disabilities must be clearly indicated with signage which complies with SANS 1186-1.
  - Signage erected on site must be clearly legible, with lettering not less than 50mm.



**DRAWING REGISTER**

Drawing:	Description Note:	Rev No. Date

**REVISIONS**

NO.	DESCRIPTION	DATE

**OCCUPATION CLASSIFICATION** H3      **ZONING CLASSIFICATION** GB5

Development Logo's:

Concept/Design     Tender     Marketing/ Presentation

Mun Submission     Construction     Completion/As Build

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**bpas architecture**

P.O. Box 15256 | Panorama | 7506 | Tel: +27 21 914 5950  
Fax: +27 21 914 5982 | www.bpas.co.za | info@bpas.co.za

Project: **Erf 173339, August Street, Schotschekloof, Cape Town**

Client: **GOOD HOPE PLASTERERS CC**

Drawing: **SITE/ROOF PLAN**

CHECKED	C.L. v.d. Spuy	SIGNED	
SACAP	Pr. Arch. 24751167		
DATE	16/08/2016	DRAWN	GR
SCALE	As indicated	DESIGN	ELC
JOB	<b>374</b>	REVISION	<b>010</b>
DRAWING NO	<b>101</b>	PAPER	<b>A1</b>
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**CONSTRUCTION NOTES:**  
 Only applicable where deemed necessary to the material and construction detail. All discrepancies to be listed and indicated, in writing, to the architect / designer prior to commencement of works.

**AUTHORITIES:**  
 Main Contractor and Sub Contractors to ensure that all work is done in strict accordance with the latest regulations and requirements of related authorities including:  
 (a) National Building Regulations (NBR)  
 (b) South African National Standards (SANS)  
 (c) Local Municipal Authority (By-laws)  
 (d) CSIR - "Technical Guide to Good House Construction"  
 (e) National House Building Registration Council (NHBRC)  
 (f) Estate Architectural Guidelines & Regulations (housing only)  
 (g) All other relevant Authorities

**GENERAL:**  
 Quality of materials and workmanship to comply with the latest relevant Codes & Specifications of SABS and the minimum standards of Standard Preliminaries (UBCC) and the Model Preliminaries for Trades (ASAQS 2008) and where applicable Project Specifications and/or Bill of Materials.  
 This drawing to be read in conjunction with other Project Drawings, Construction Documents and Principal Building Contract / Agreement documents.  
 Contractors must view the site and works to allow for everything necessary to complete the works.  
 Contractor(s) to check the details on this drawing for compliance with standards of good building practice with particular reference as per Clause "Authorities" and report any discrepancies in writing to the Architect / Designer.  
 No setting out is to commence before the site boundary pegs position are verified and pointed out by the Land Surveyor. The Contractor to ensure that the correct setting out, including that which is from the boundary and building lines is done prior to commencement of ANY work.  
 The Contractor to verify all Local Council, Eskom and Telkom (and all other utility providers) services and existing work(s) which is the responsibility of the Contractor. The Contractor to verify all levels, heights and dimensions on site and check the same against drawings before any work commences.  
 Any errors, discrepancies or omissions as well as queries are to be immediately reported to the Architect / Designer for clarification before any work is taken in hand.

**ENGINEERING & STRUCTURAL**  
 All structural and concrete works to be designed by a structural engineer, appointed by the Client. The engineer to specify all foundations, footings, retaining walls, masonry/brick walls, columns, piers, concrete slabs, beams, and structural steel work.  
 All foundations specified on drawings to be verified by engineer. Provision to be made for reinforcement where the soil conditions require stability. All structural items to be inspected by, and have passed inspection by the engineer, prior to closing up of the work.

**HEALTH & SAFETY**  
 The Client is to ensure that the Contractor, in terms of the Occupational Health and Safety Act, Act 85 of 1993, with specific reference to the Construction Regulations, complies with the minimum requirements.

**ELECTRICITY**  
 All electrical cables and wires in walls, floors, concrete soffits and ceilings to run in SABS approved conduits and / or trunking and / or cable trays.

**PREAMBLE**  
 All work will be constructed in compliance with the National Building Regulations, SANS10400 and the Energy Efficiency Act, SANS 204, and all Local Authority By-Laws.

**SITE WORKS & PLATFORM**  
 Platform level to be confirmed on site. Refer to Civil Engineers drawings for detail. The datum to be set per platform level and to be adjusted accordingly. Platform to be "0.00" and FFL to be minimum 150mm above platform / datum level, if not indicated otherwise.  
 Contractor to ensure that the platform is level and clean of all builders rubble, vegetation and/or piling.

**DRAWING STATUS**  
 The Contractor to ensure that the latest drawings are used on site prior to the commencement of work.  
 Only the latest construction drawings issued by the Architect / Designer as "Construction Drawings" with a date may be used for construction of the works. All superseded drawings must be removed from the site.  
 One set of the Local Authority Approved Plan / Drawings to be kept on site at all times.  
 One set of the latest construction drawings to be kept on site at all times, and available for the Architect / Designer Consultants and other Authorities.

**BRICK TIES & REINFORCEMENT**  
 Approved SABS butterfly tie wires to be used in cavity wall. Where the cavity is greater than 50mm, but less than 100mm, or the height of the wall is greater than 3m, a SABS galvanized drip wall tie, to minimum specifications, to be used.  
 Brickforce on parapets and gables and / or balustrade walls to be used every third brick course.

**GEYSER DRIP TRAY**  
 Drip tray to comply with SANS 11848 drip tray specification. Drip tray(s) to be supplied with adaptor for connecting the waste pipe to the tray.

**GLAZING**  
 All glazing to comply to SANS 10400-N. Glass panels lower than 500 mm from the FFL or greater than 1m² to be minimum 6.38mm thick safety glass.  
 All safety glazing materials (individual panes) shall be permanently marked. Such marking to be visible after installation and comply with SABS 1263. Thickness of glazing subject to wind load expectation - to be in accordance with SABS 0137.

**NATURAL VENTILATION & LIGHTING**  
 Provide minimum of 10% of floor area or 2m² area of opening for natural lighting to all habitable rooms inclusive of frames & glazing bars. Provide minimum of 5% of floor area or 2m² (whichever is greatest) to each habitable room. (SANS 10400 O) Buildings with up to 15% fenestration area to net floor area, per storey, to comply with the minimum energy performance requirements. Buildings exceeding 15% per storey shall comply with requirements for fenestration as per SANS 204. Air leakage should comply with SANS 613.

**FILLING MATERIAL**  
 Filling material(s) under floor slabs to consist of suitable material and to be compacted in 150mm layers, to a density of at least 90% MOD AASHTO (SANS 10400 J:2010 4.4.5-7)

**FOUNDATIONS**  
 All foundations to engineer specifications, 15MPa concrete in 1:3:6 mix to sizes as shown on drawings. Cement to SABS EN 197-1, strength class 32.5 and aggregate to SABS specification 1083. Continuous strip foundation to be minimum 250mm thick, unless laid on solid rock and minimum 750mm wide to loadbearing or free standing walls and 400mm wide for non-load bearing internal masonry walls (SANS 10400 H). Foundations to boundary walls not to exceed property / erf boundary.

**SURFACE BED**  
 Selected floor finish material on 25mm cement:sand screed on 85mm thick concrete surface bed in accordance with SANS 50197-1:2002 Cement Part 1. Composition, specification and conformity criteria for common cements. Stone and sand to conform to SANS 1083:2006 Mesh Ref no 193, to all surface beds where depth of fill exceeds 100mm.

**ROOF**  
 Salitra Salfok 700 or similar Roof sheeting at 5° slope fixed to 50 x 76 mm timber purlins on double sided reflective foil layer on either 50 x 228 mm laminated timber beams spaced at 1050 mm c/c OR 5° sloped mono pitch timber truss system to specialist detail.  
 Salitra Salfok 700 or similar Roof sheeting at 3° slope fixed to 50 x 76 mm timber purlins on double sided reflective foil layer on either 50 x 228 mm laminated timber beams spaced at 1050 mm c/c

**RAINWATER GOODS**  
 12x300mm fibre cement fascias fixed with brass screws to rafter ends.  
 Box Aluminium seamless gutters to Engineer specification to 75mm diameter downpipes to catchpits. 110mm diameter underground PVC piping according to stormwater layout.

**DRAINAGE**  
 Closed system to conform to National Building Regulations. First inspection eye (I.E.) to be min. 450mm below ground level with a min. fall of all 110mm diameter pipes 1:60 and a max. fall of 1:40. (SANS 10400 P). Rodding eyes (R.E.) to join drain in direction of flow at maximum angle of 45° and to be continued up to ground level & adequately supported, marked & protected.

**IF UNDERFLOOR HEATING IS INSTALLED, THE FLOOR SLAB MUST BE INSULATED WITH INSULATION MATERIAL WITH A MINIMUM R-VALUE OF 1.00**

**HOT WATER SUPPLY REQUIREMENTS: GEYSERS ARE TO BE WRAPPED IN INSULATION BLANKET WITH AN R-VALUE TO SATISFY PART 1A OF SANS 10400. A MINIMUM OF 50% OF THE ANNUAL AVERAGE HEATING REQUIREMENT FOR HOT WATER MUST BE PROVIDED BY MEANS OTHER THAN ELECTRIC RESISTIVE HEATING OR FOSSIL FUELS. CHECK WITH MANUFACTURER, SUBJECT TO SANS 1307, SANS 10106, SANS 6211-1, SANS 6211-2, SANS 10254, SANS 10252-1**

**WHERE APPLICABLE, SOLAR & HEAT PUMP INSTALLATIONS ARE TO BE BY SPECIALISTS.**

**ALL EXPOSED HOT WATER PIPES <math>\phi</math> 80mm MUST BE INSULATED WITH A MATERIAL THAT HAS A MINIMUM R-VALUE OF 1.00**

**WALLS**  
 All bricks to comply with SABS 227. All external walls to be 280mm cavity walls with clay bricks. All internal walls to be 115 mm clay bricks. Walls to comply with SANS 10400 K. Gundle@ DPC 375µm (or equally approved) damp proof course below all cills and above all slabs, openings and other bridges to cavity walls and vertical DPC to sides of all openings. Weepholes @ 600mm intervals. DPC under cavity walls must be 150mm above finished ground level and cavity beneath DPC must be filled with a mortar support fillet.  
 ROK facebrick finish to walls as indicated.  
 Concrete shear wall with J joint finish according to indicated elevation.

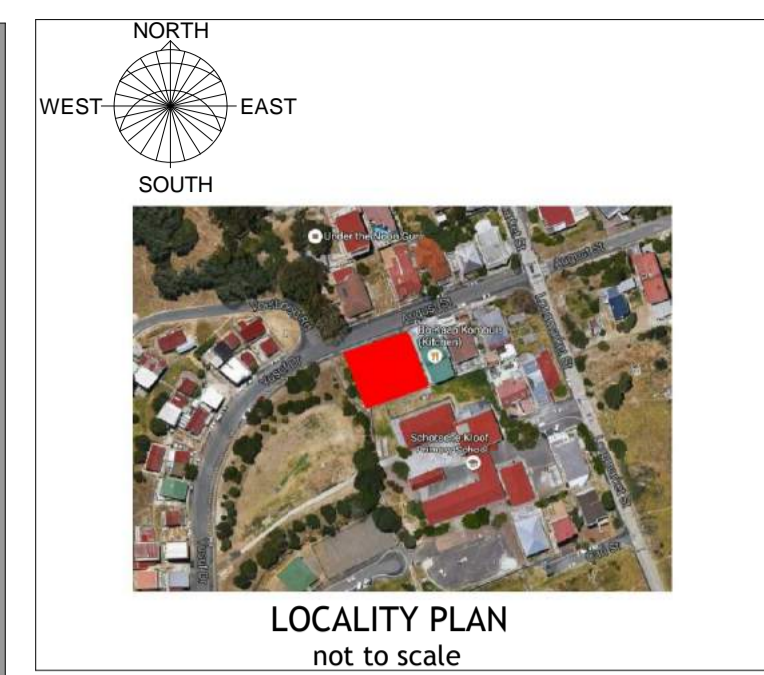
**PLASTER**  
 Cement plaster, consisting of 5:1 sand & lime and 10% cement. Smooth wood trowelled finish internally. Smooth plastered finish externally where indicated.  
 Stipple textured plaster to walls where applicable and indicated on elevations.

**WINDOWS & DOORS**  
 All windows and sliding / fold-a-side doors to be aluminium framed. See schedule. All frames to be fixed to walls with galvanised hoop iron built into wall at 600mm c/c in 3:1 cement mix.

**EXTERNAL** - Hardwood frames to all external doors as supplied by SWARTLAND or equally approved. Internal doors to be timber as selected by client.

**WINDOW CILLS**  
**INTERNAL** - Plastered window cills except in bathrooms, interior cills tiled bathrooms.  
**EXTERNAL** - Window cills are plastered & painted brick on edge with DPC under.

**PRECAST LINTELS**  
 Lintels over all openings exceeding 1.5m with DPC (375 micron) stepped over. Openings exceeding 4.8m in width to be timber as designed. All lintels to be in accordance with SANS 10400 Part K 4.2.9.



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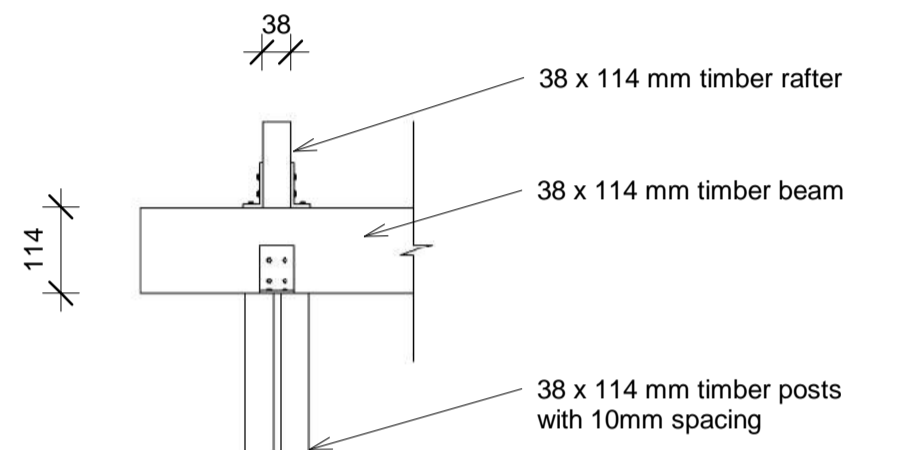


Signatures: \_\_\_\_\_  
 Project: Erf 173339, August Street, Schotschekloof, Cape Town

Client: GOOD HOPE PLASTERERS CC

Drawing: 001 BASEMENT STOREY 2 - FLOOR PLAN

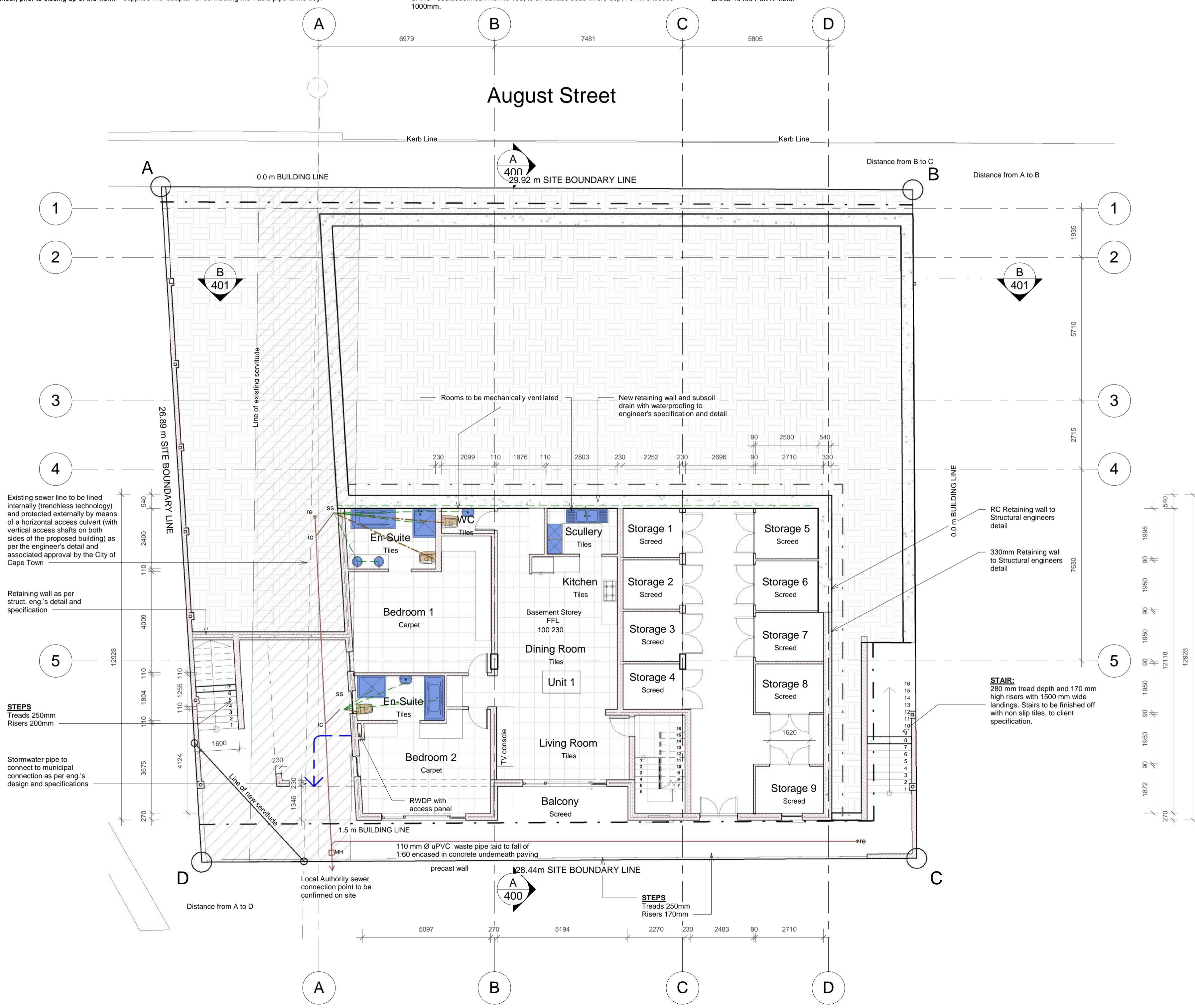
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**Pergola detail**  
 Scale: 1 : 10

LEGEND	
New Floors/Flat concrete roof	
New Masonry walls	
New Concrete	
Sewer pipe	
Waste water pipe	
Paving	
Sanitary fixtures	
Joinery/B/C	

Area breakdown of new work for application purposes (BDM)	
Basement storey 2	238.057 + 14.114 = 252.171sqm (incl. Stairs)
Basement storey 1	504.815 + 42.029 = 546.844sqm (incl. Stairs and lift shaft)
Ground storey	471.890 + 33.237 = 505.127sqm (incl. Stairs and lift shaft)
First storey	328.954 + 33.237 = 362.191sqm (incl. Stairs and lift shaft)
Second storey	328.954 + 33.237 = 362.191sqm (incl. Stairs and lift shaft)
Second storey Mezzanine	92.476sqm (excl. double volumes)
<b>TOTAL</b>	<b>2121sqm</b>



**001 - Basement Storey 2**  
 Scale: 1 : 100

Area breakdown of new work for application purposes (BDM)	
Basement storey 2	238.057 + 14.114 = 252.171sqm (incl. Stairs)
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LEGEND	
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New Masonry walls	
New Concrete	
Sewer pipe	
Waste water pipe	
Paving	
Sanitary fixtures	
Joinery/BIC	



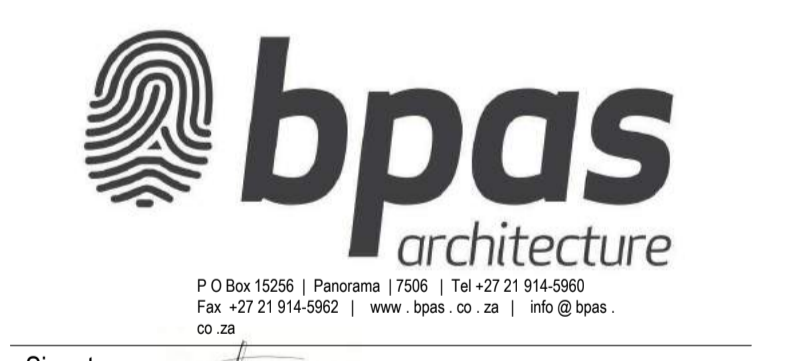
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DRAWING REGISTER		
Drawing:	Description Note:	Rev No. Date

REVISIONS	

OCCUPATION CLASSIFICATION	ZONING CLASSIFICATION
H3	GB5

Development Logo's:  
 Concept/Design    Tender    Marketing/ Presentation  
 Mun Submission    Construction    Completion/As Build  
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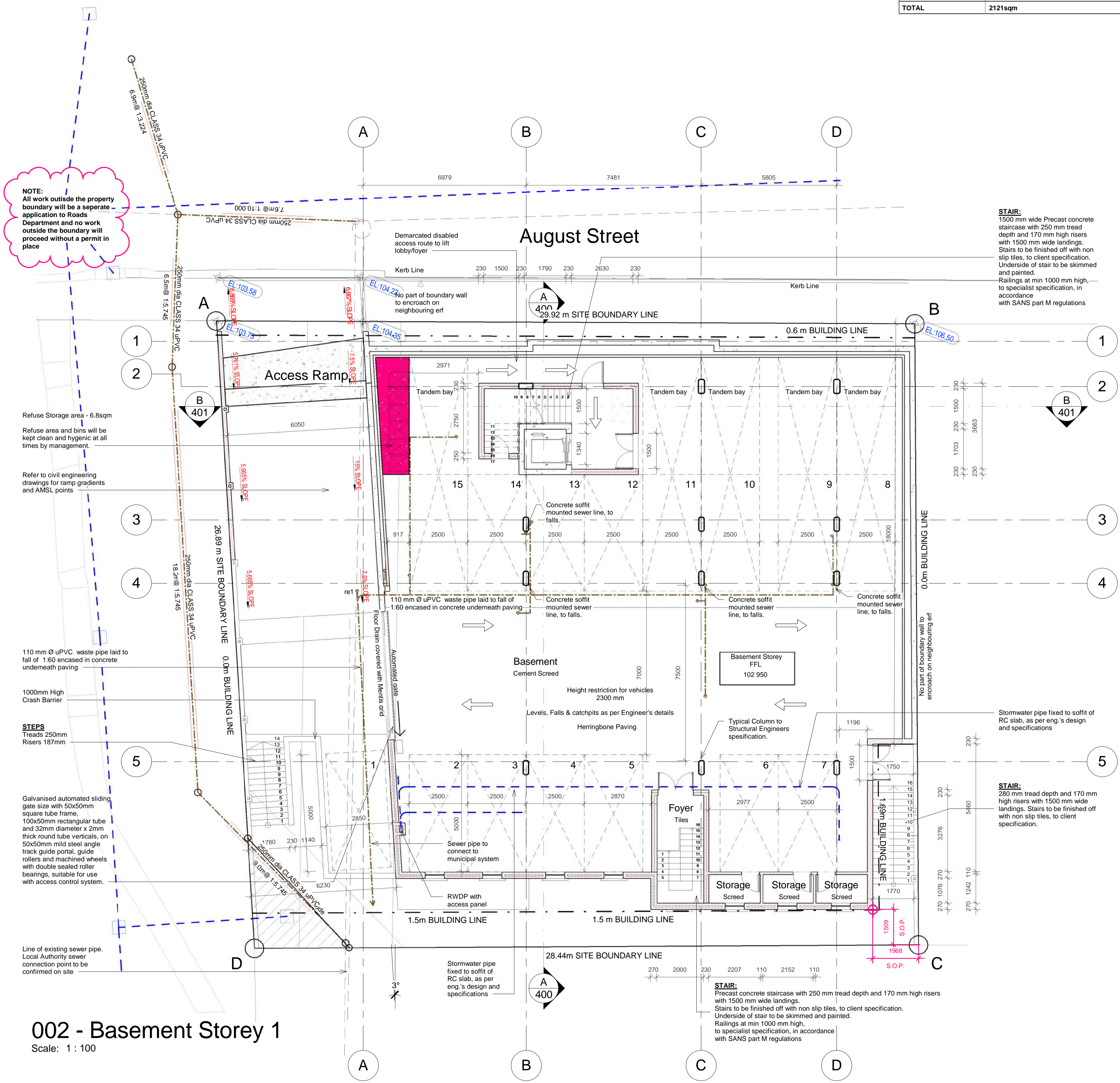


Project: Erf 173339, August Street, Schotschekloof, Cape Town

Client: GOOD HOPE PLASTERERS CC

Drawing: 002 BASEMENT STOREY 1 - FLOOR PLAN

CHECKED	C.L. v.d. Spuy	SIGNED	
SACAP	Pr. Arch. 24751167	DRAWN	GR
DATE	16/08/2016	DESIGN	ELC
SCALE	As indicated	REVISION	PRINTED
JOB	374	010	2017-06-07 09:26:32 AM
DRAWING NO	201	PAPER	A1
Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokkaap (Erf 173339)\D - Municipal\374 - 005 - 012 - Bo Kaap Apartments.rvt			



**NOTE:**  
 All work outside the property boundary will be a separate application to Roads Department and no work outside the boundary will proceed without a permit in place

Refuse Storage area - 6.8sqm  
 Refuse area and bins will be kept clean and hygienic at all times by management.  
 Refer to civil engineering drawings for ramp gradients and AMSL points.

110 mm Ø uPVC waste pipe laid to fall of 1:80 enclosed in concrete underneath paving

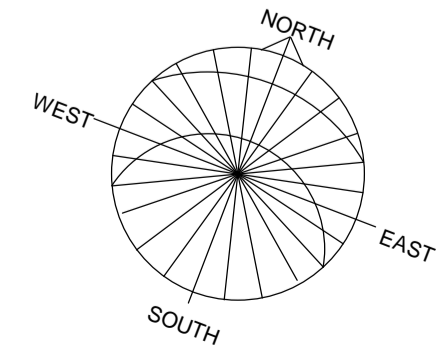
1000mm High Crash Barrier

**STEPS**  
 Treads 250mm  
 Risers 187mm

Galvanised automated sliding gate size with 50x50mm square tube frame, 100x50mm rectangular tube and 32mm diameter x 2mm thick round tube verticals, on 50x50mm mild steel angle track guide portal, guide rollers and machined wheels with double sealed roller bearings, suitable for use with access control system.

Line of existing sewer pipe. Local Authority sewer connection point to be confirmed on site

**002 - Basement Storey 1**  
 Scale: 1 : 100



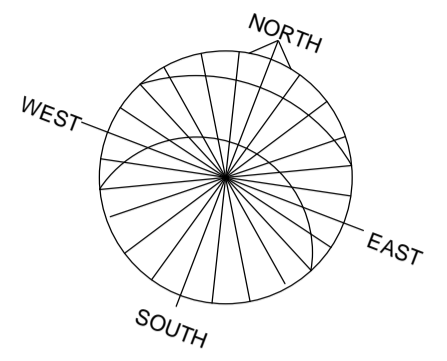
**CITY OF CAPE TOWN**  
 PLANNING & BUILDING DEVELOPMENT MANAGEMENT

Application Number: 00070314097

29 Jun 2017

Approval Number: 97507956

Area breakdown of new work for application purposes (BDM)	
Basement storey 2	238.057 + 14.114 = 252.171sqm (incl. Stairs)
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Second storey Mezzanine	92.476sqm (excl. double volumes)
<b>TOTAL</b>	<b>2121sqm</b>



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Drawing:	Description Note:	Rev No. Date

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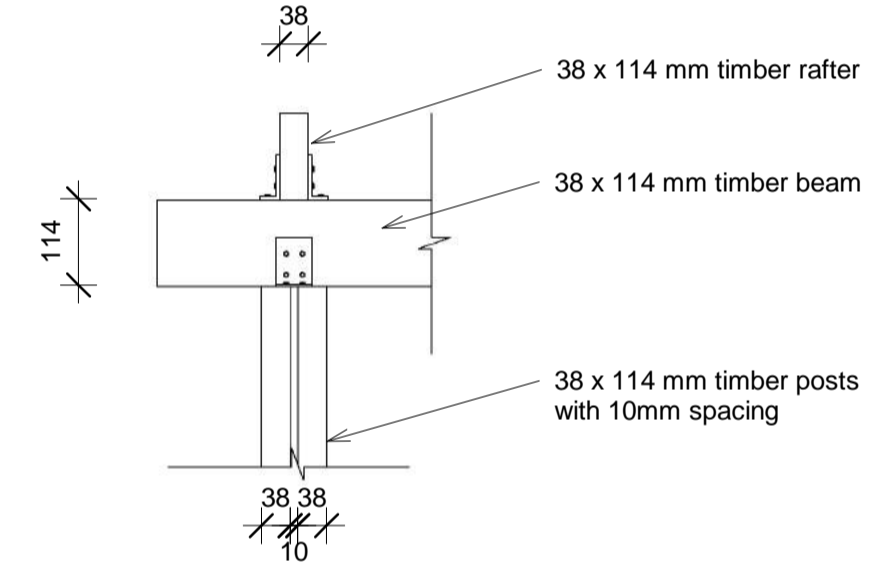
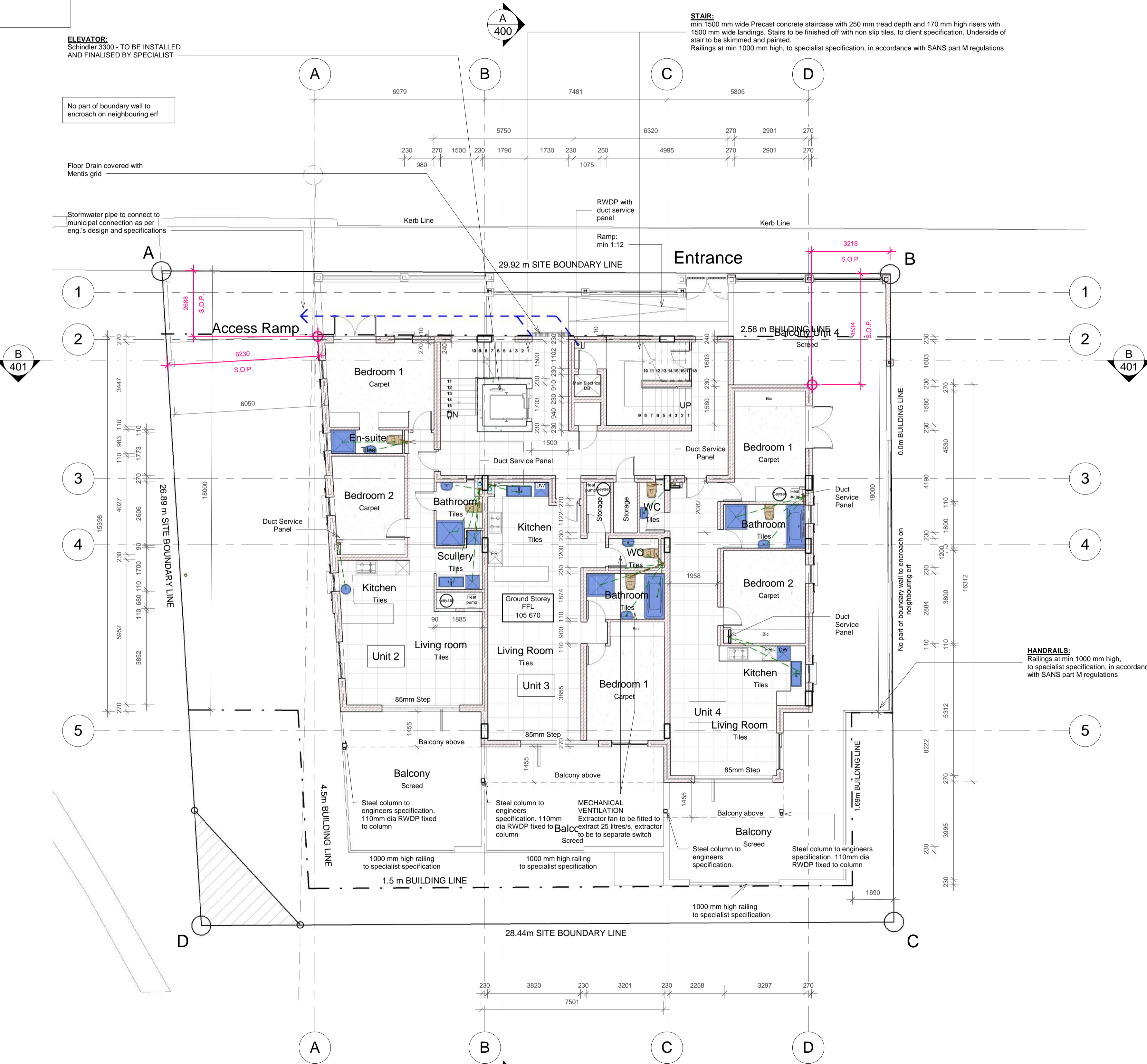


Project: **Erf 173339, August Street, Schotschekloof, Cape Town**

Client: **GOOD HOPE PLASTERERS CC**

Drawing: **003 GROUND STOREY - FLOOR PLAN**

CHECKED	SIGNED
C.L. v.d. Spuy	
SACAP Pr. Arch. 24751167	
DATE 16/08/2016	DRAWN GR
SCALE As indicated	DESIGN ELC
JOB 374	REVISION 010
DRAWING NO 202	PAPER A1
	PRINTED 2017-06-07 09:26:33 AM
	PATH Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokkaap (Erf 173339)\D - Municipal\374 - 005 - 012 - Bo Kaap Apartments.rvt



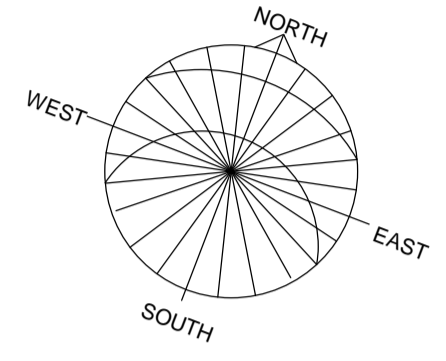
LEGEND	
New Floors/Flat concrete roof	
New Masonry walls	
New Concrete	
Sewer pipe	
Waste water pipe	
Paving	
Sanitary fixtures	
Joinery/BIC	

**003 - Ground Storey**  
Scale: 1 : 100

**CITY OF CAPE TOWN**  
 PLANNING & BUILDING DEVELOPMENT MANAGEMENT  
 This application has been approved in terms of Section 7 (1) (b) of Act 103 of 1977, subject to the conditions in the attached letter of approval.  
 29 Jun 2017  
 Planning & Building Development Management  
 Approval Number: 97507956  
 Application Number: 000070314097

Area breakdown of new work for application purposes (BDM)

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Second storey Mezzanine	92.476sqm (excl. double volumes)
<b>TOTAL</b>	<b>2121sqm</b>



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**DRAWING REGISTER**

Drawing:	Description Note:	Rev No. Date

**REVISIONS**

No.	Description	Date

OCCUPATION CLASSIFICATION: **H3**  
 ZONING CLASSIFICATION: **GB5**  
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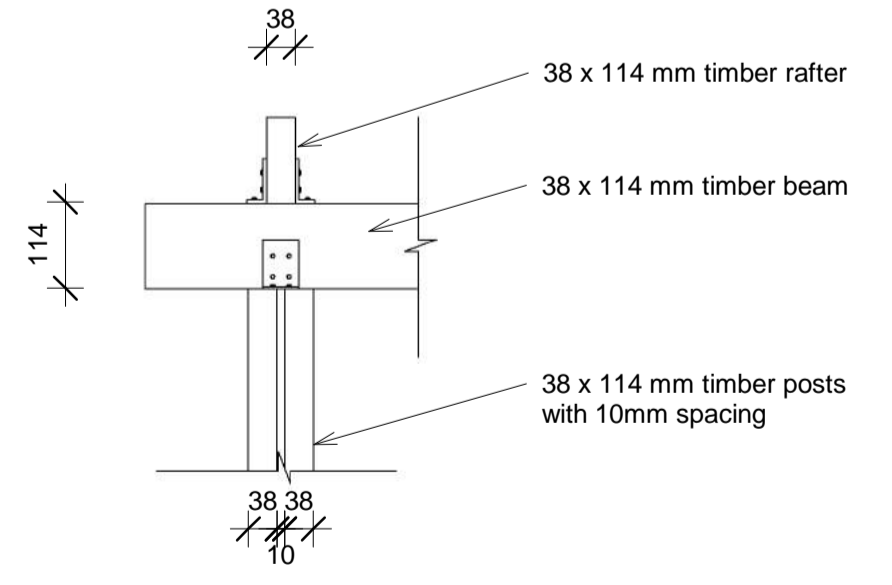
Project: **Erf 173339, August Street, Schotschekloof, Cape Town**  
 Client: **GOOD HOPE PLASTERERS CC**  
 Drawing: **004 FIRST STOREY - FLOOR PLAN**

CHECKED	C.L. v.d. Spuy	SIGNED	
SACAP	Pr. Arch. 24751167	DATE	16/08/2016
SCALE	As indicated	DESIGN	ELC
JOB	374	REVISION	010
DRAWING NO	203	PAPER	A1
DATE	2017-06-07 09:26:36 AM	PATH	Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokkaap (Erf 173339)\D - Municipal\374 - 005 - 012 - Bo Kaap Apartments.rvt

**LEGEND**

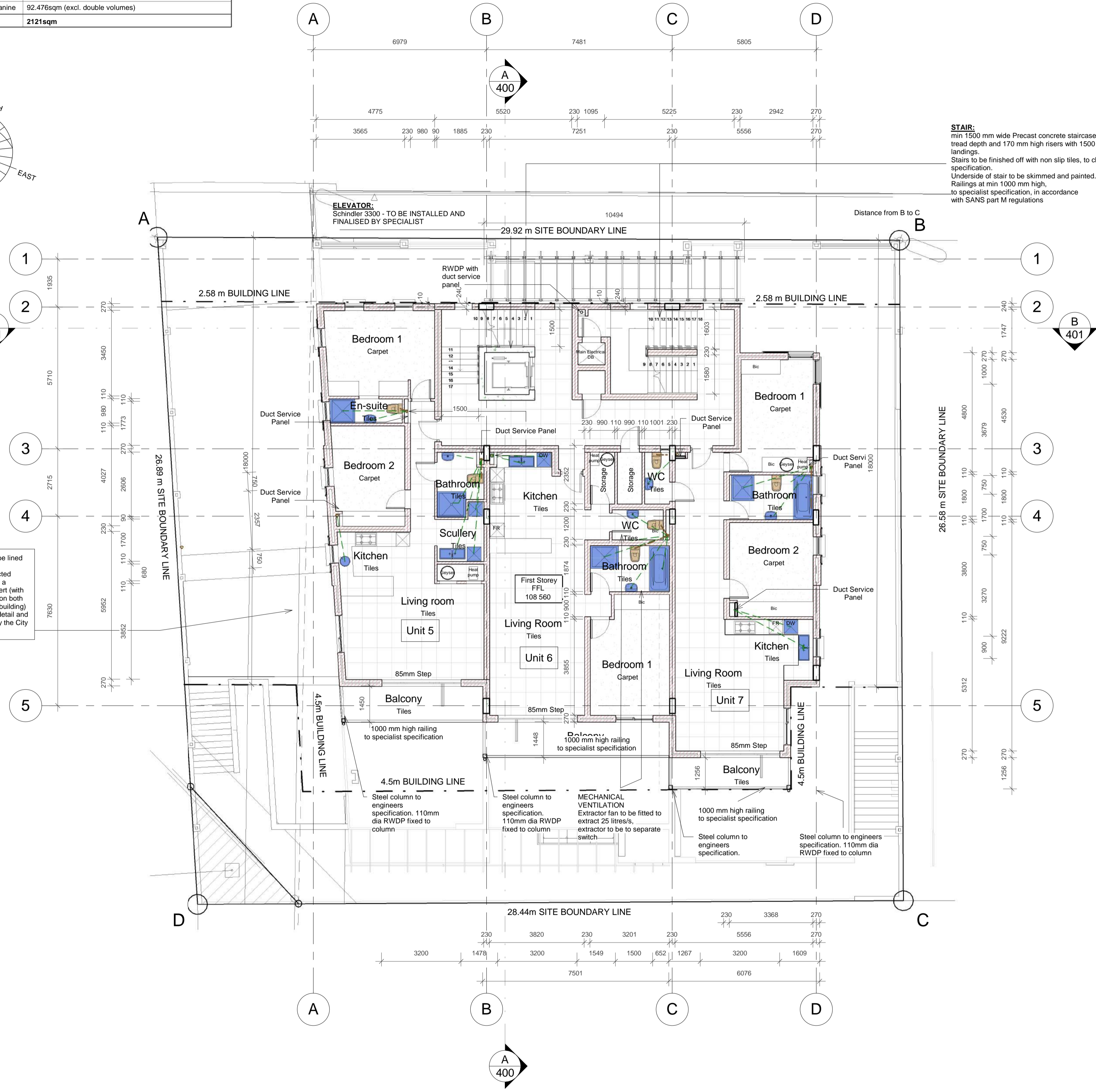
New Floors/Flat concrete roof	
New Masonry walls	
New Concrete	
Sewer pipe	
Waste water pipe	
Paving	
Sanitary fixtures	
Joinery/BIC	

Existing sewer line to be lined internally (trenchless technology) and protected externally by means of a horizontal access culvert (with vertical access shafts on both sides of the proposed building) as per the engineer's detail and associated approval by the City of Cape Town



**Pergola detail**  
 Scale: 1 : 10

**004 - First Storey**  
 Scale: 1 : 100



**STAIR:**  
 min 1500 mm wide Precast concrete staircase with 250 mm tread depth and 170 mm high risers with 1500 mm wide landings.  
 Stairs to be finished off with non slip tiles, to client specification.  
 Underside of stair to be skimmed and painted.  
 Railings at min 1000 mm high, to specialist specification, in accordance with SANS part M regulations

**ELEVATOR:**  
 Schindler 3300 - TO BE INSTALLED AND FINALISED BY SPECIALIST

**MECHANICAL VENTILATION**  
 Extractor fan to be fitted to extract 25 litres/s, extractor to be to separate switch.

Steel column to engineers specification. 110mm dia RWDP fixed to column

1000 mm high railing to specialist specification

Steel column to engineers specification. 110mm dia RWDP fixed to column

**CITY OF CAPE TOWN**  
 PLANNING & BUILDING DEVELOPMENT MANAGEMENT

Approved for Approval

29 Jun 2017

Planning & Building Development Management

Approval Number: 97507956

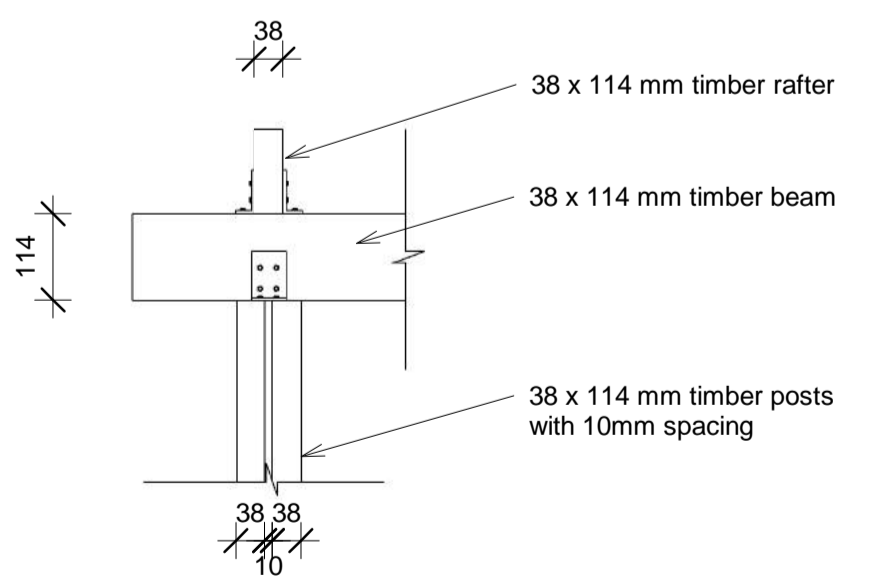
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**LEGEND**

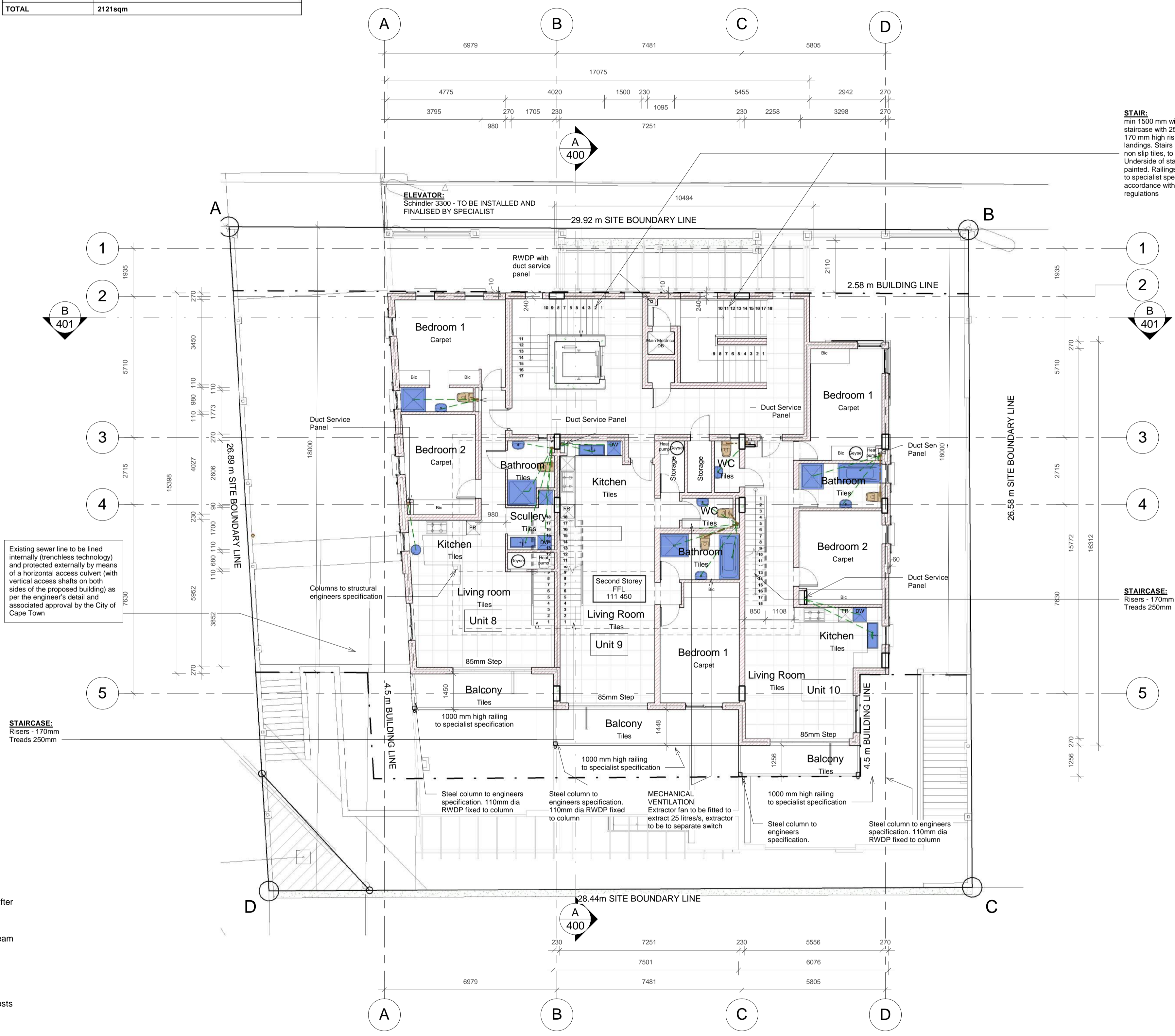
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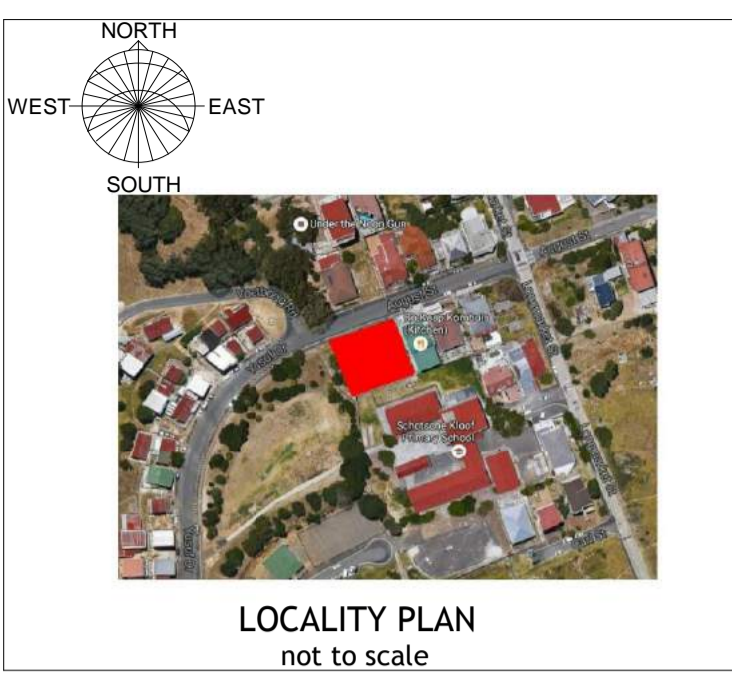
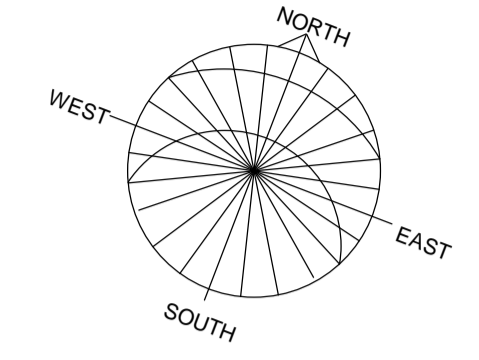


**Pergola detail**  
 Scale: 1 : 10

**005 - Second Storey**  
 Scale: 1 : 100



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**REVISIONS**

No.	Description	Date

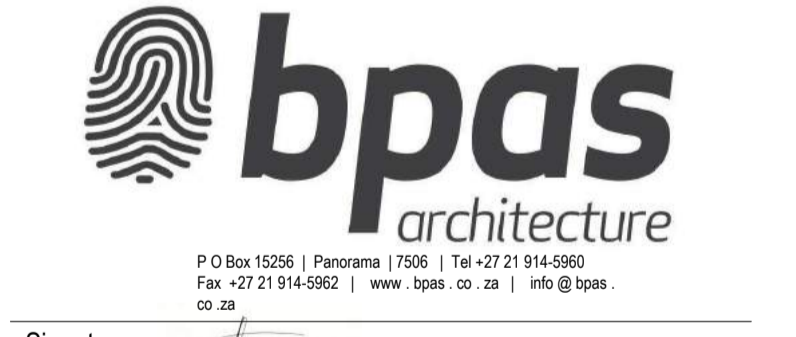
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<b>H3</b>	<b>GB5</b>

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Mun Submission    Construction    Completion/As Build

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Project: **Erf 173339, August Street, Schotschekloof, Cape Town**

Client: **GOOD HOPE PLASTERERS CC**

Drawing: **005 SECOND STOREY - FLOOR PLAN**

CHECKED	SIGNED
C.L. v.d. Spuy	
SACAP Pr. Arch. 24751167	
DATE: 08/16/16	DRAWN: GR
SCALE: As indicated	DESIGN: ELC
JOB: 374	REVISION: 010
DRAWING NO: 204	PRINTED: 2017-06-07 09:26:39 AM
PAPER: A1	PATH: Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokaaap (Erf 173339)\D - Municipal\374 - 005 - 012 - Bo Kaap Apartments.rvt

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 PLANNING & BUILDING DEVELOPMENT MANAGEMENT  
 Approved for Approval  
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 Planning & Building Development Management  
 Approval Number: 97507956  
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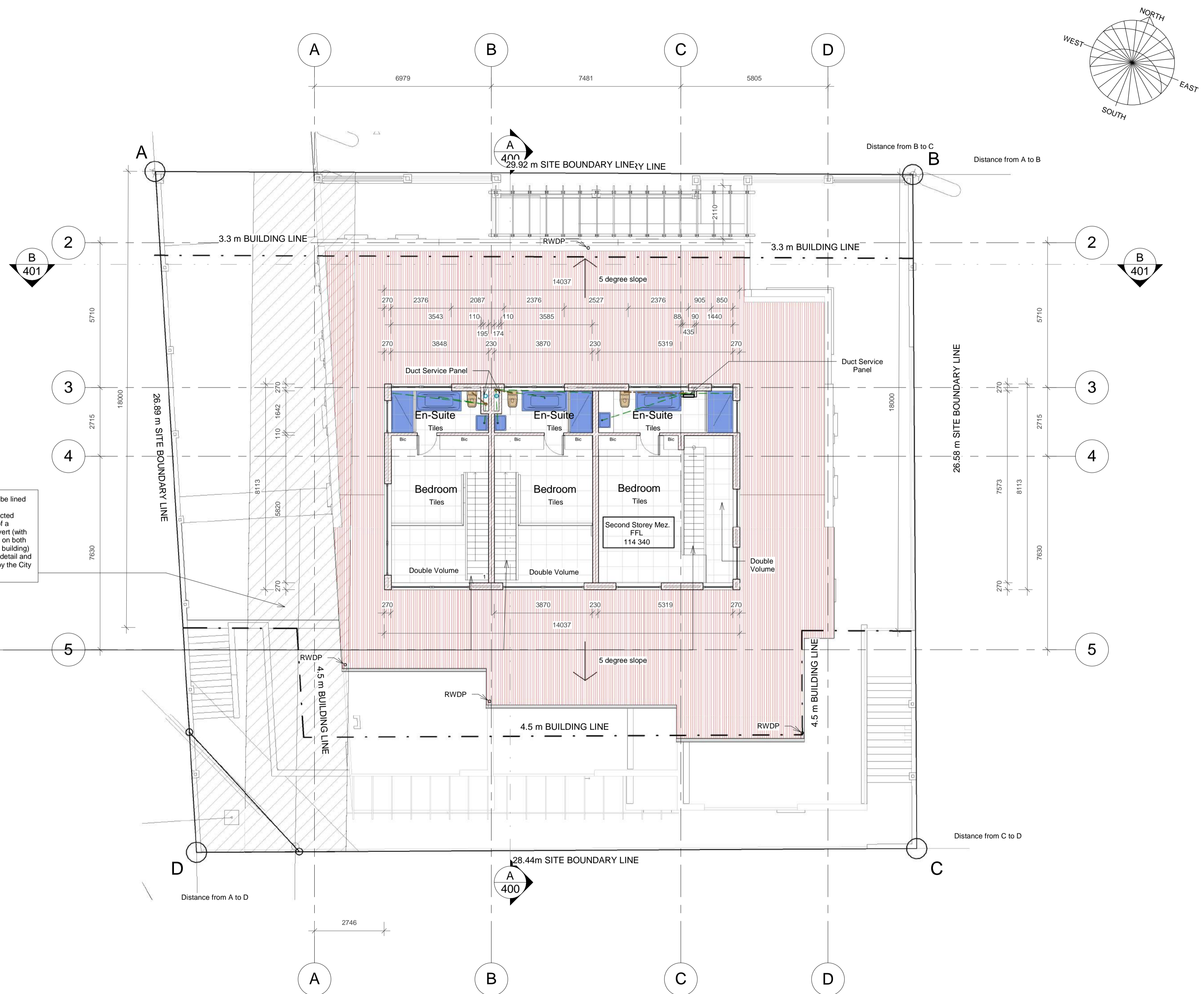
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**LEGEND**

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New Masonry walls	
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**STAIRCASE:**  
 Risers - 170mm  
 Treads 250mm



**006 - Second storey Mezzanine**  
 Scale: 1 : 100



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**REVISIONS**

No.	Description

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Signatures: \_\_\_\_\_  
 Project: **Erf 173339, August Street, Schotschekloof, Cape Town**

Client: **GOOD HOPE PLASTERERS CC**

Drawing: **006 SECOND STOREY MEZZANINE**

CHECKED	C.L. v.d. Spuy	SIGNED	
SACAP	Pr. Arch. 24751167	DATE	16/08/2016
SCALE	As indicated	DESIGN	ELC
JOB	374	REVISION	010
DRAWING NO	205	PAPER	A1
PRINTED	2017-06-07 09:26:40 AM	PATH	Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokaaap (Erf 173339)\D - Municipal\374 - 005 - 012 - Bo Kaap Apartments.rvt

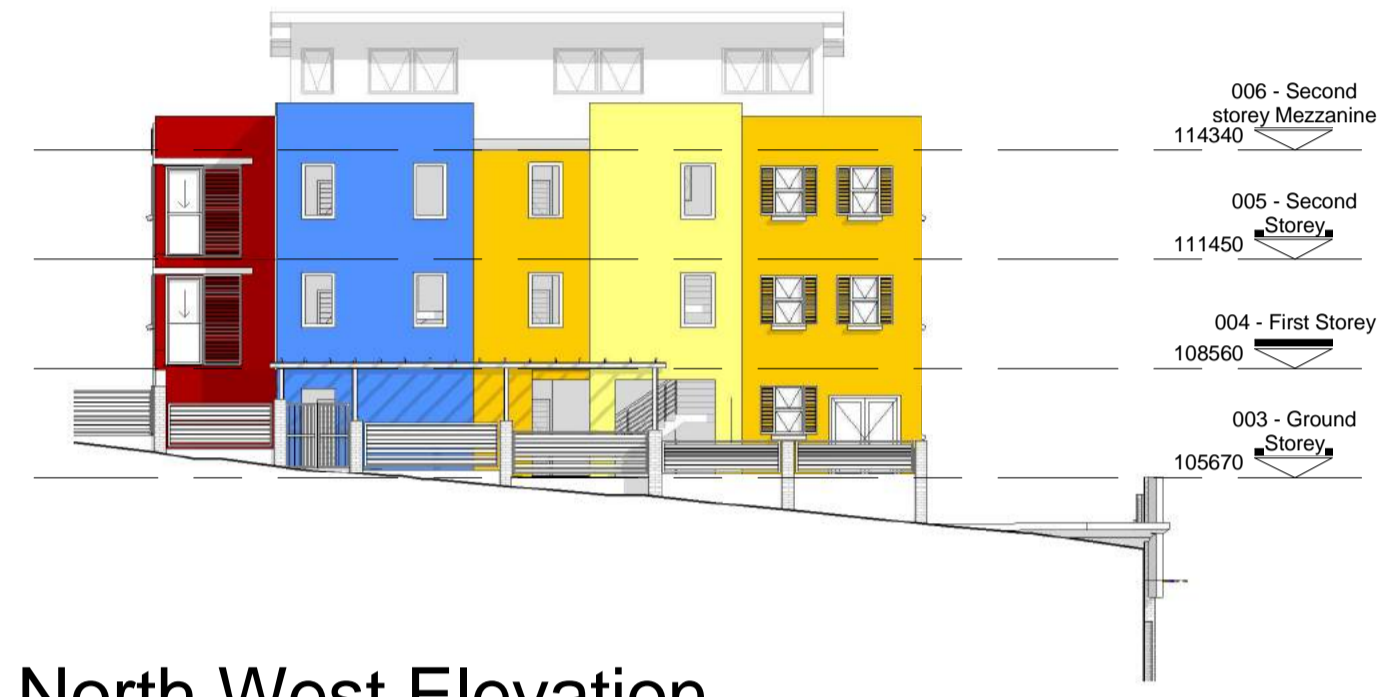
**CITY OF CAPE TOWN**  
 PLANNING & BUILDING DEVELOPMENT MANAGEMENT

Approved for Approval

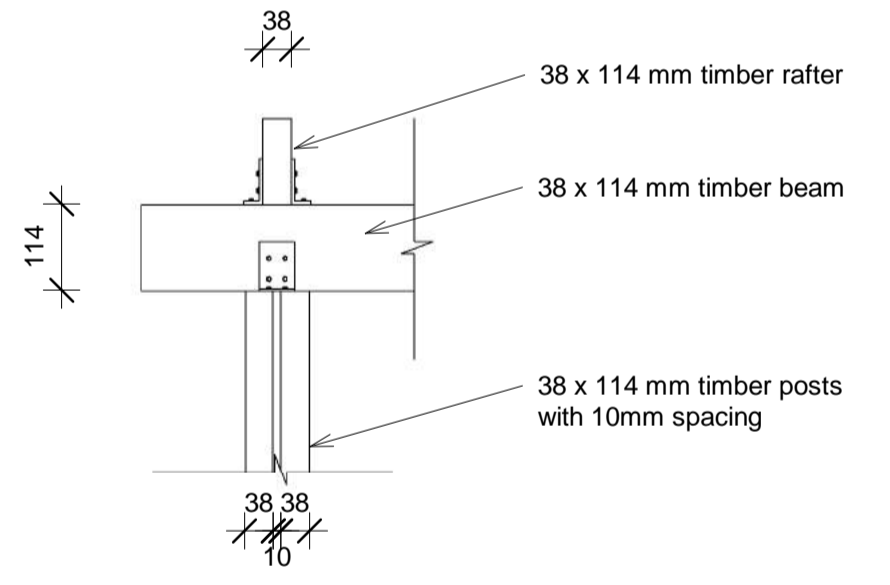
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 Planning & Building Development Management Date

Approval Number: 97507956  
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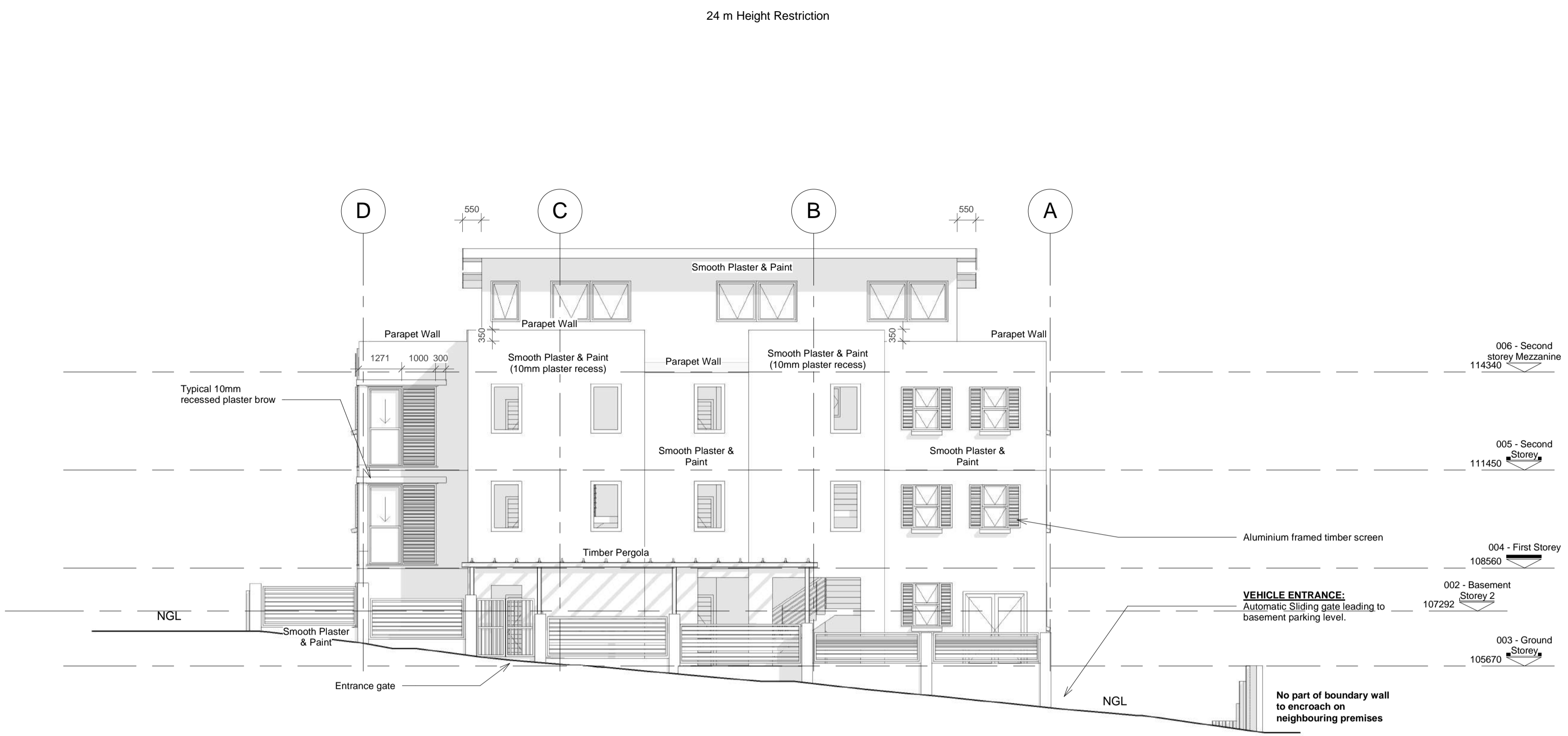
**North West Elevation**  
 Scale: 1 : 200



**Pergola detail**  
 Scale: 1 : 10



**South East Elevation**  
 Scale: 1 : 200



**North West Elevation**  
 Scale: 1 : 100



**South East Elevation**  
 Scale: 1 : 100



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**DRAWING REGISTER**

Drawing:	Description Note:	Rev No. Date

**REVISIONS**

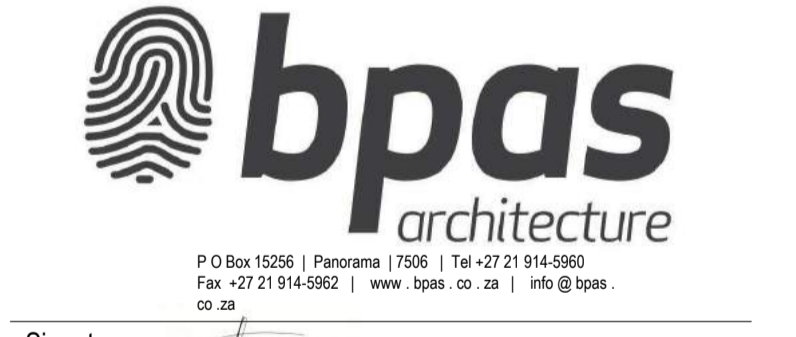
No.	Description	Date

OCCUPATION CLASSIFICATION	ZONING CLASSIFICATION
H3	GB5

Development Logo's:

- Concept/Design
- Tender
- Marketing/ Presentation
- Mun Submission
- Construction
- Completion/As Build

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Project: **Erf 173339, August Street, Schotschekloof, Cape Town**

Client: **GOOD HOPE PLASTERERS CC**

Drawing: **ELEVATIONS**

CHECKED	SIGNED
C.L. v.d. Spuy	<i>[Signature]</i>
SACAP Pr. Arch. 24751167	
DATE 16/08/2016	DRAWN GR
SCALE As indicated	DESIGN ELC
JOB 374	REVISION 010
DRAWING NO 300	PAPER A1
	PRINTED 2017-06-07 09:26:47 AM
	PATH Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokaaap (Erf 173339)\D - Municipal\374 - 005 - 012 - Bo Kaap Apartments.rvt

**CITY OF CAPE TOWN**  
**PLANNING & BUILDING DEVELOPMENT MANAGEMENT**

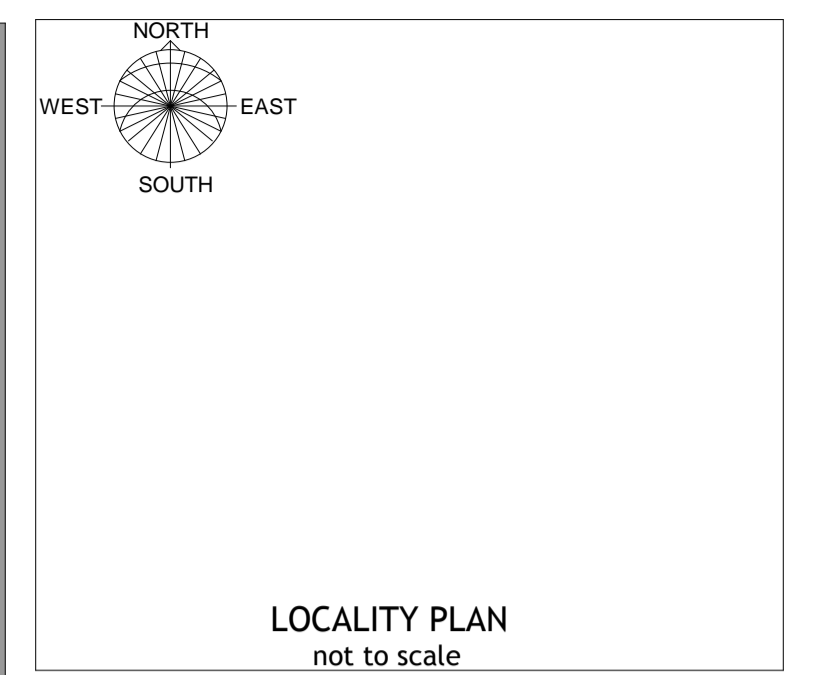
Approved for Approval

This application has been approved in terms of Section 7 (1) (b) of Act 103 of 1977, subject to the conditions in the attached letter of approval.

*[Signature]* 29 Jun 2017  
 Planning & Building Development Management Date

Approval Number: 97507956

Application Number: 000070314097



LEGAL REQUIREMENTS DIMENSIONS, DESCRIPTIONS & QUANTITIES ON THESE DRAWINGS TO BE VERIFIED ON SITE BEFORE ORDERING MATERIAL OR COMMENCING WITH WORK.

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Drawing:	Description Note:	Rev No. Date

**REVISIONS**

No.	Description	Date

OCCUPATION CLASSIFICATION	ZONING CLASSIFICATION
H3	GB5

Development Logo's:

Concept/Design    Tender    Marketing/ Presentation

Mun Submission    Construction    Completion/As Build

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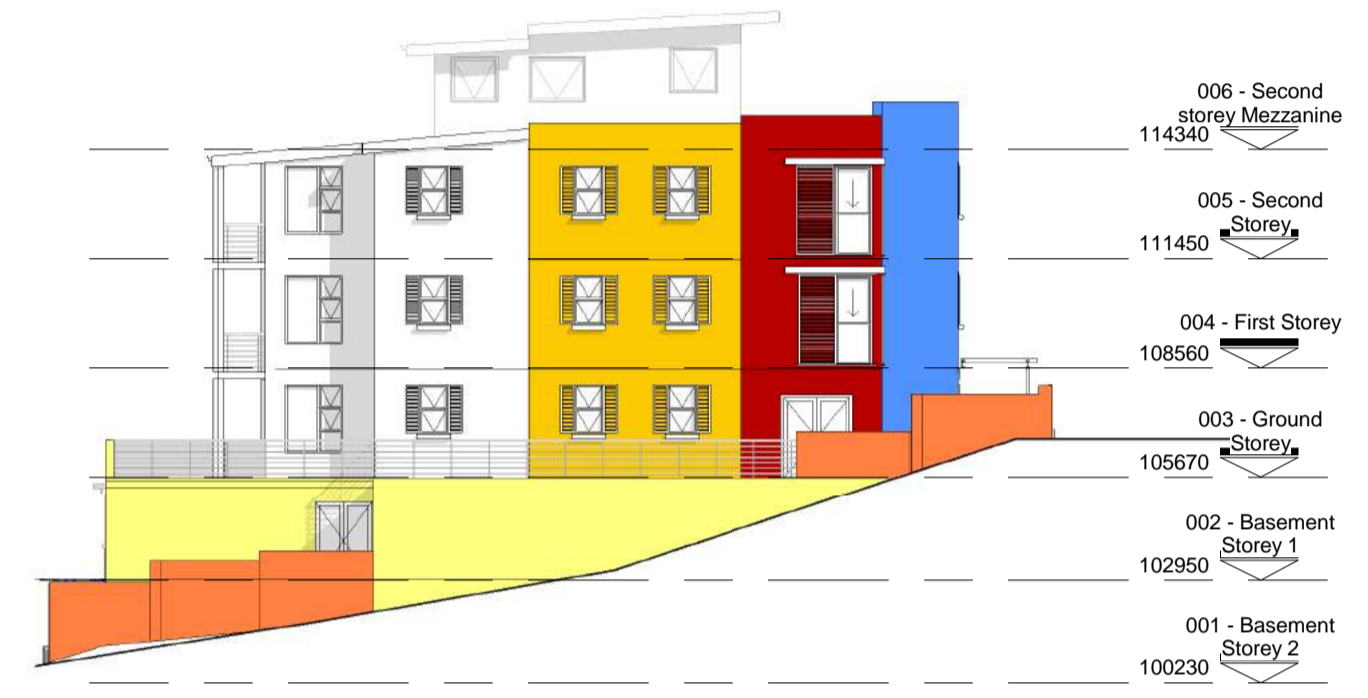
Signatures: \_\_\_\_\_

Project: Erf 173339, August Street, Schotschekloof, Cape Town

Client: GOOD HOPE PLASTERERS CC

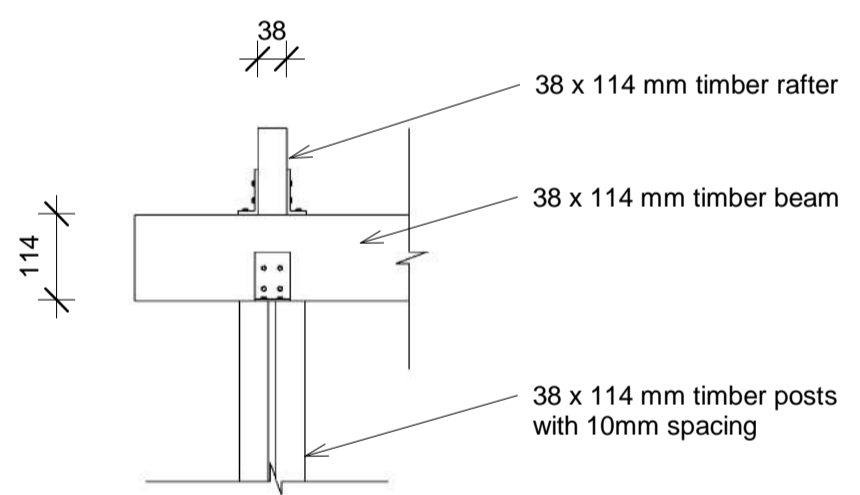
Drawing: ELEVATIONS

CHECKED	SIGNED
C.L. v.d. Spuy	<i>[Signature]</i>
SACAP Pr. Arch. 24751167	
DATE 16/08/2016	DRAWN GR
SCALE As indicated	DESIGN ELC
JOB 374	REVISION 010
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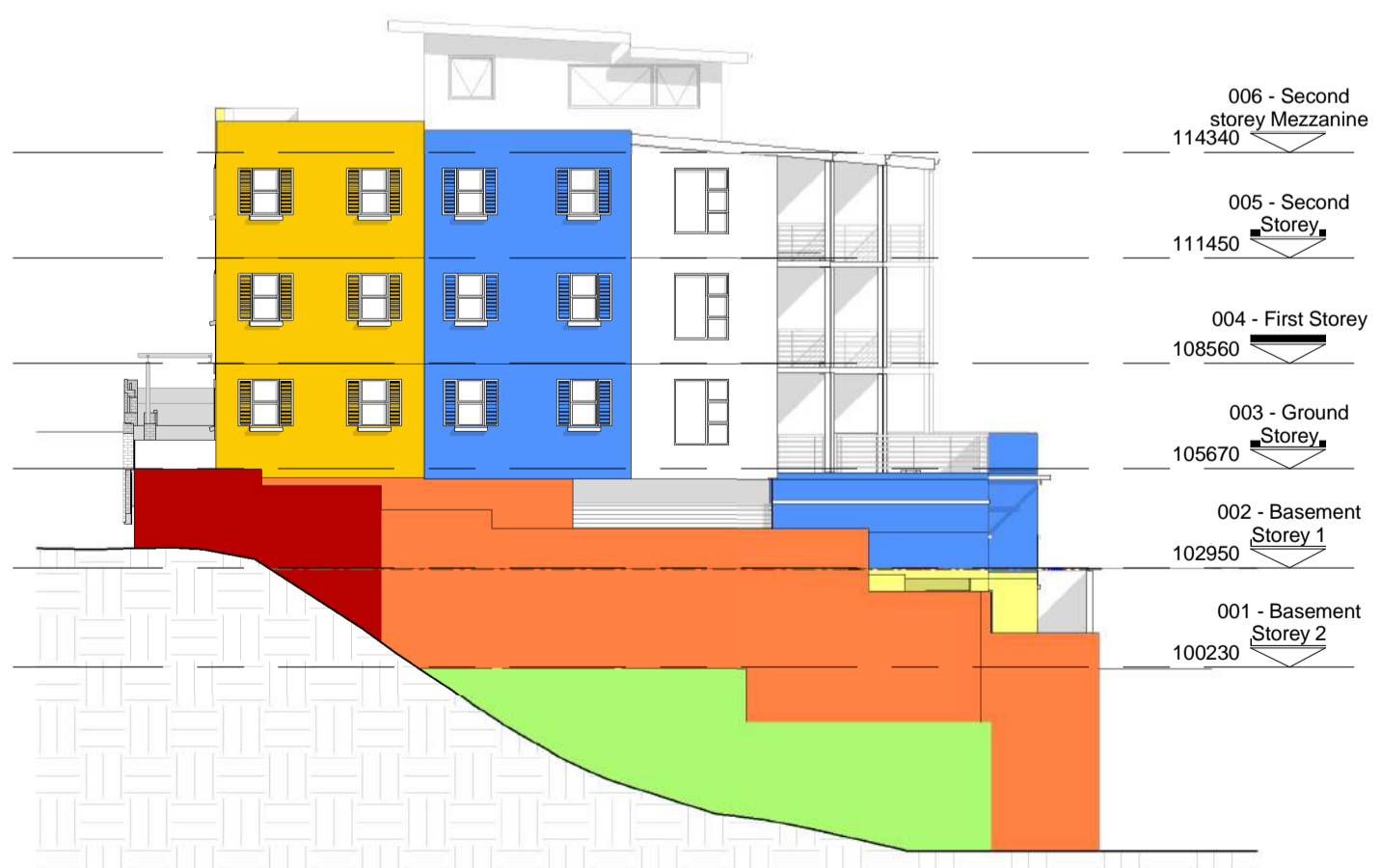


**North East Elevation**  
Scale: 1 : 200

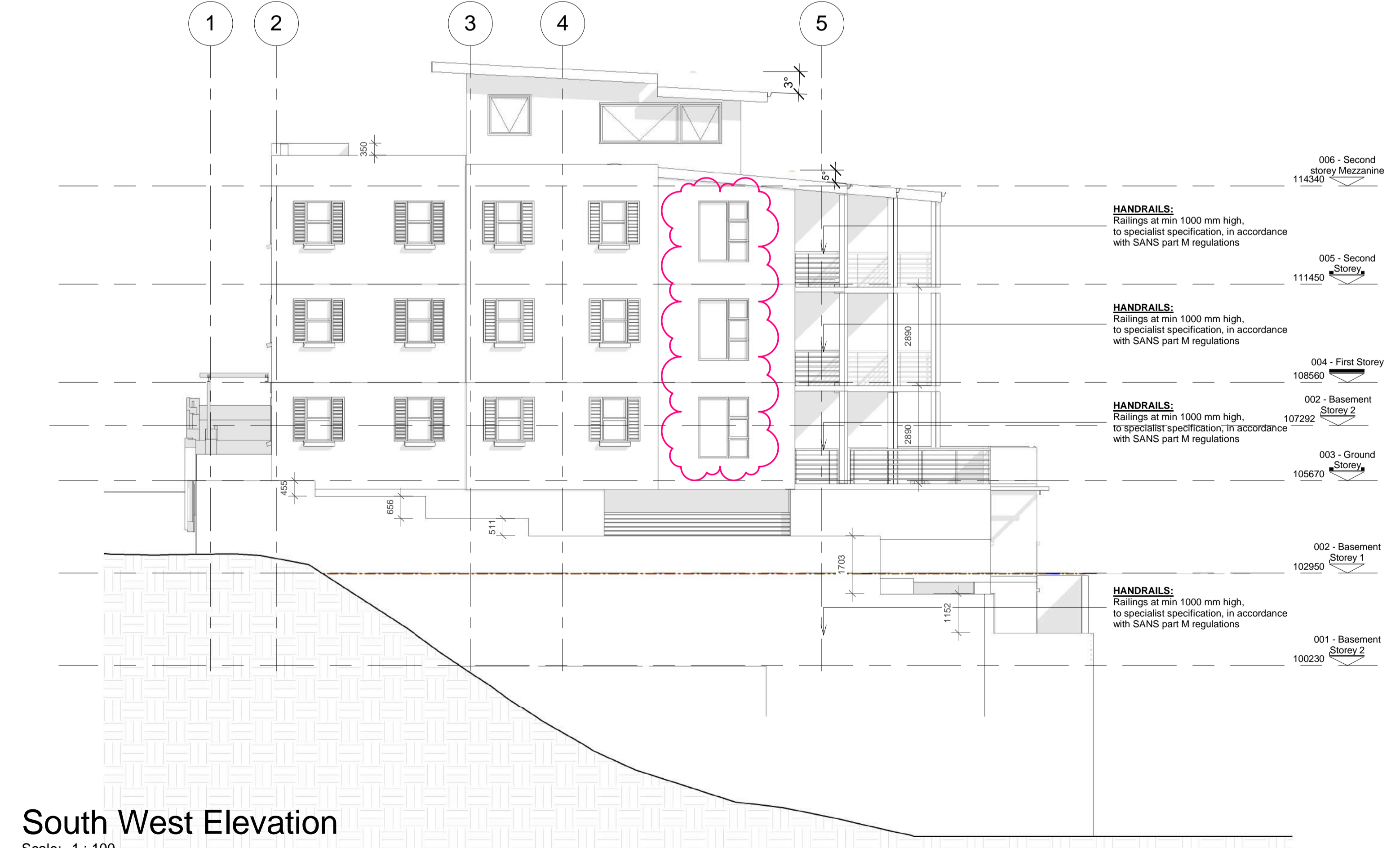
**North East Elevation**  
Scale: 1 : 100



**Pergola detail**  
Scale: 1 : 10



**South West Elevation**  
Scale: 1 : 200



**South West Elevation**  
Scale: 1 : 100

**CITY OF CAPE TOWN**  
 PLANNING & BUILDING DEVELOPMENT MANAGEMENT

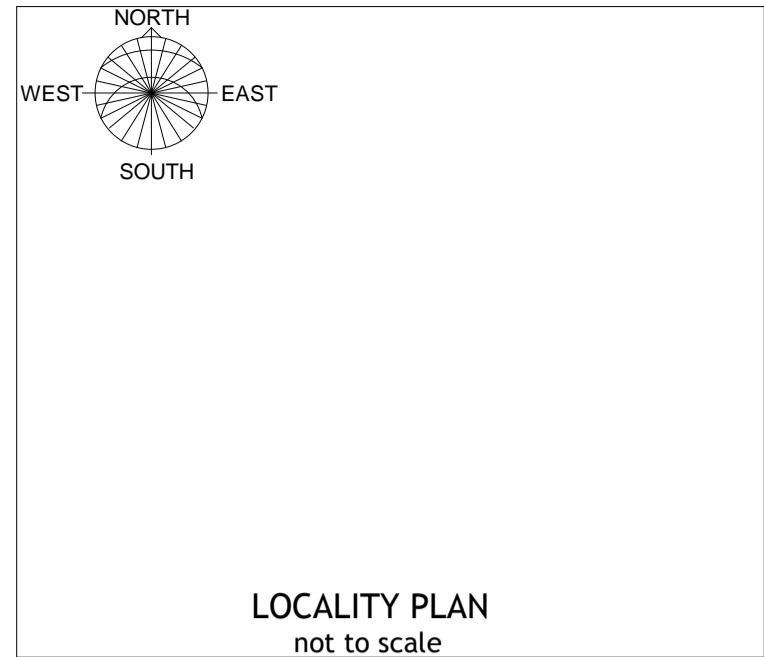
Application Number: 000070314097

29 Jun 2017

Approval Number: 97507956

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Planning & Building Development Management  
 Date  
 Approval Number: 97507956  
 Application Number: 000070314097



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**DRAWING REGISTER**

Drawing:	Description Note:	Rev No. Date

**REVISIONS**

No.	Description	Date

OCCUPATION CLASSIFICATION	ZONING CLASSIFICATION
<b>H3</b>	<b>GB5</b>

Development Logo's:

Concept/Design    Tender    Marketing/ Presentation  
 Mun Submission    Construction    Completion/As Build

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 Fax: +27 21 914-5962 | www.bpas.co.za | info@bpas.co.za

Signatures: \_\_\_\_\_

Project: **Erf 173339, August Street, Schotschekloof, Cape Town**

Client: **GOOD HOPE PLASTERERS CC**

Drawing: **BOUNDARY WALL ELEVATIONS**

CHECKED	SIGNED
C.L. v.d. Spuy	_____
SACAP Pr. Arch. 24751167	_____
DATE: 01/11/17	DRAWN: GR
SCALE: 1 : 100	DESIGN: ELC
JOB: 374	REVISION: 010
DRAWING NO: 302	PAPER: A1
PRINTED: 2017-06-07 09:26:57 AM Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokaap (Erf 173339)\D - Municipal\374 - 005 - 012 - Bo Kaap Apartments.rvt	

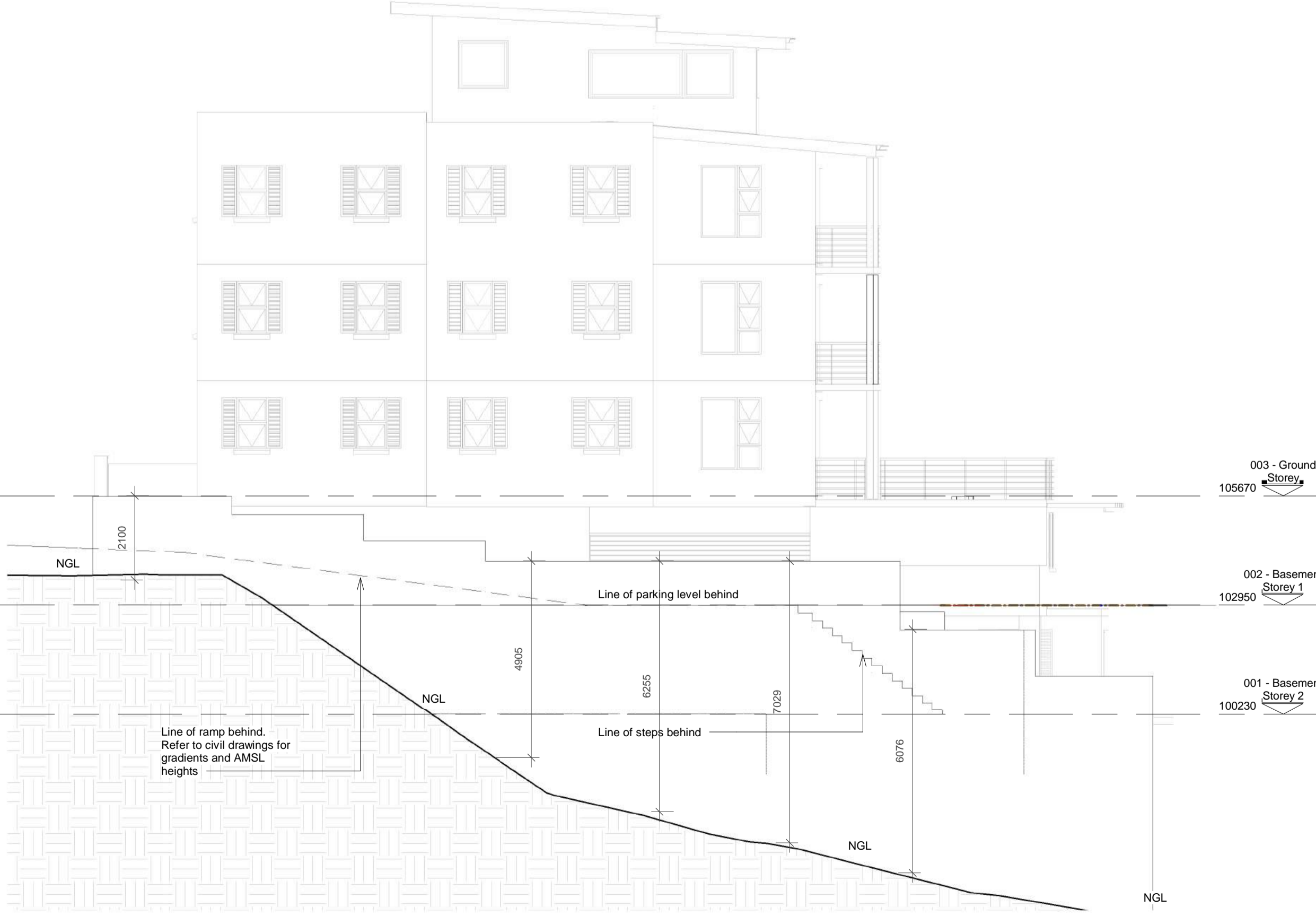
**Boundary wall elevation - East**  
 Scale: 1 : 100



**Boundary wall elevation - North**  
 Scale: 1 : 100



**Boundary wall elevation - West**  
 Scale: 1 : 100



**CITY OF CAPE TOWN**  
 PLANNING & BUILDING DEVELOPMENT MANAGEMENT

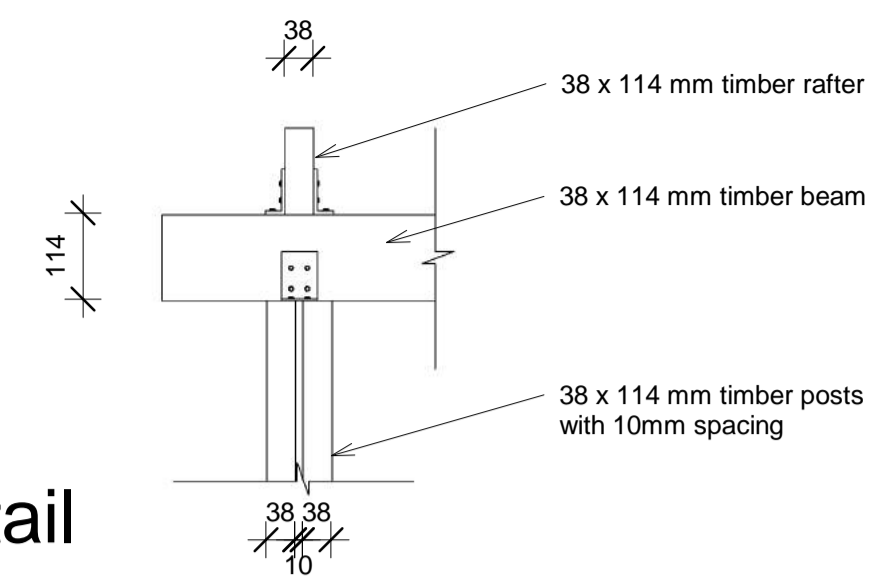
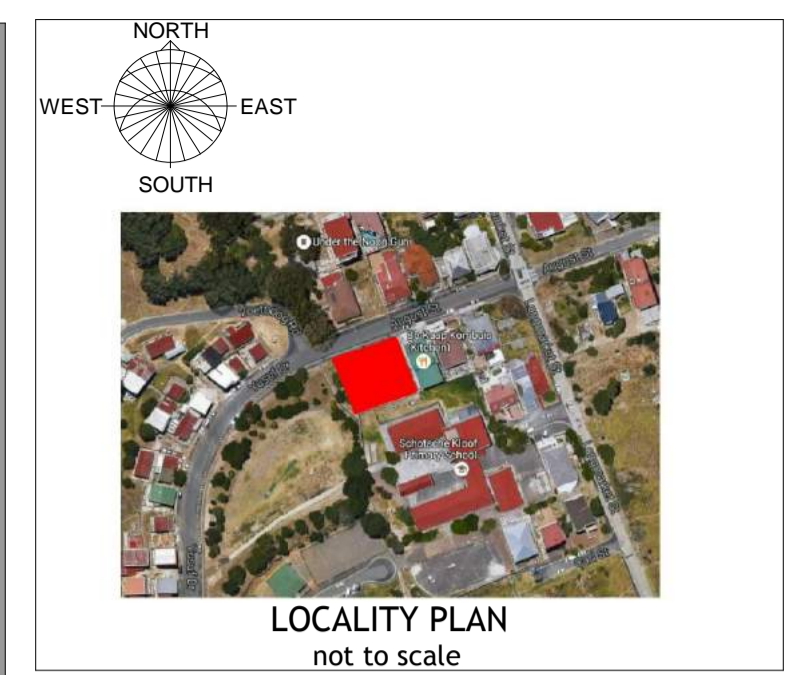
Approved for Approval

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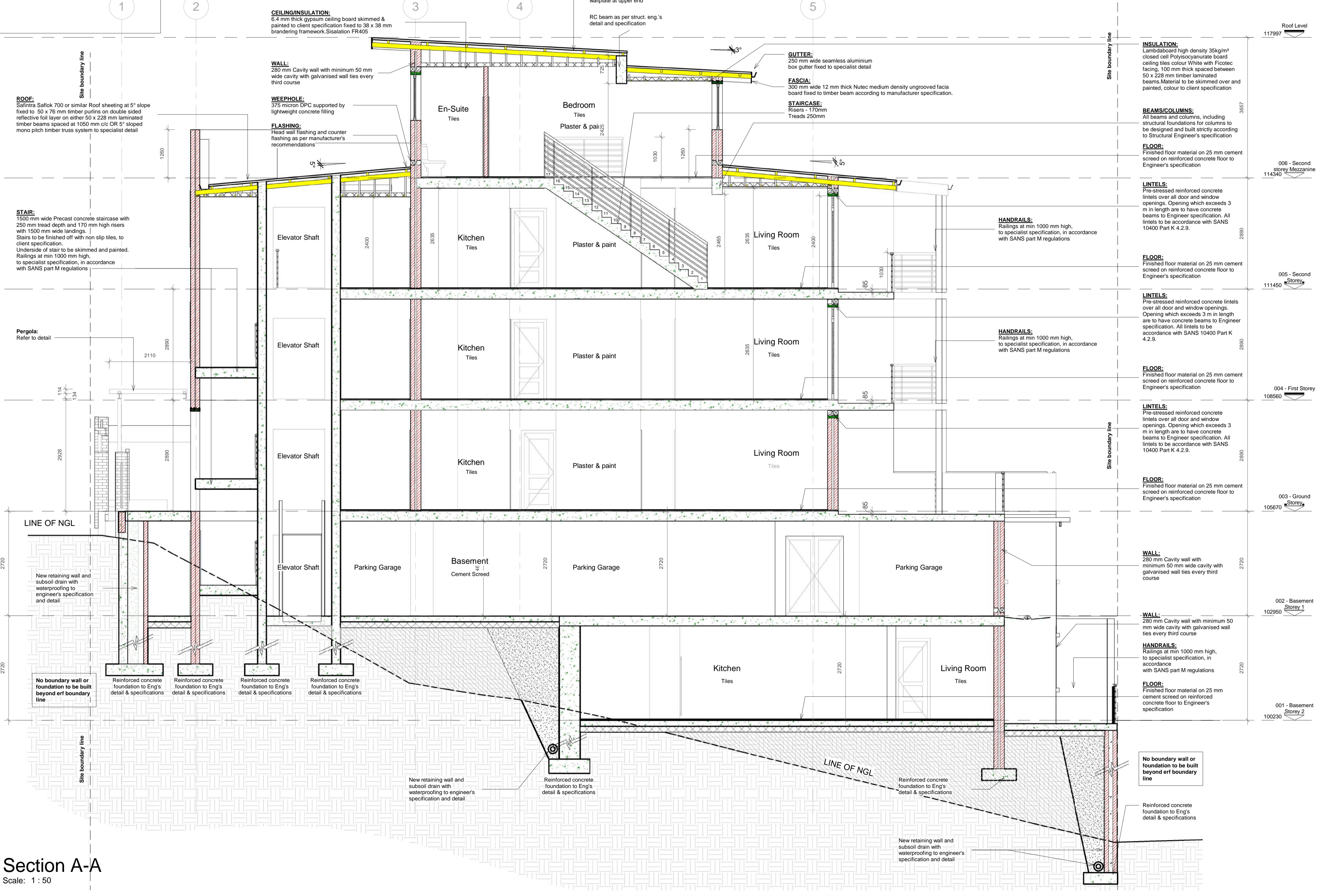
29 Jun 2017  
 Date

Approval Number: 97507956

Application Number: 000070314097



**Pergola detail**  
 Scale: 1 : 10



**Section A-A**  
 Scale: 1 : 50

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**DRAWING REGISTER**

Drawing:	Description Note:	Rev No. Date

**REVISIONS**

No.	Description	Date

OCCUPATION CLASSIFICATION	ZONING CLASSIFICATION
H3	GB5

Development Logo's:

Concept/Design  
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Project: **Erf 173339, August Street, Schotschekloof, Cape Town**

Client: **GOOD HOPE PLASTERERS CC**

Drawing: **SECTION A-A**

CHECKED	SIGNED
C.L. v.d. Spuy	
SACAP Pr. Arch. 24751167	
DATE 16/08/2016	DRAWN GR
SCALE As indicated	DESIGN ELC
JOB 374	REVISION 010
DRAWING NO 400	PAPER A1
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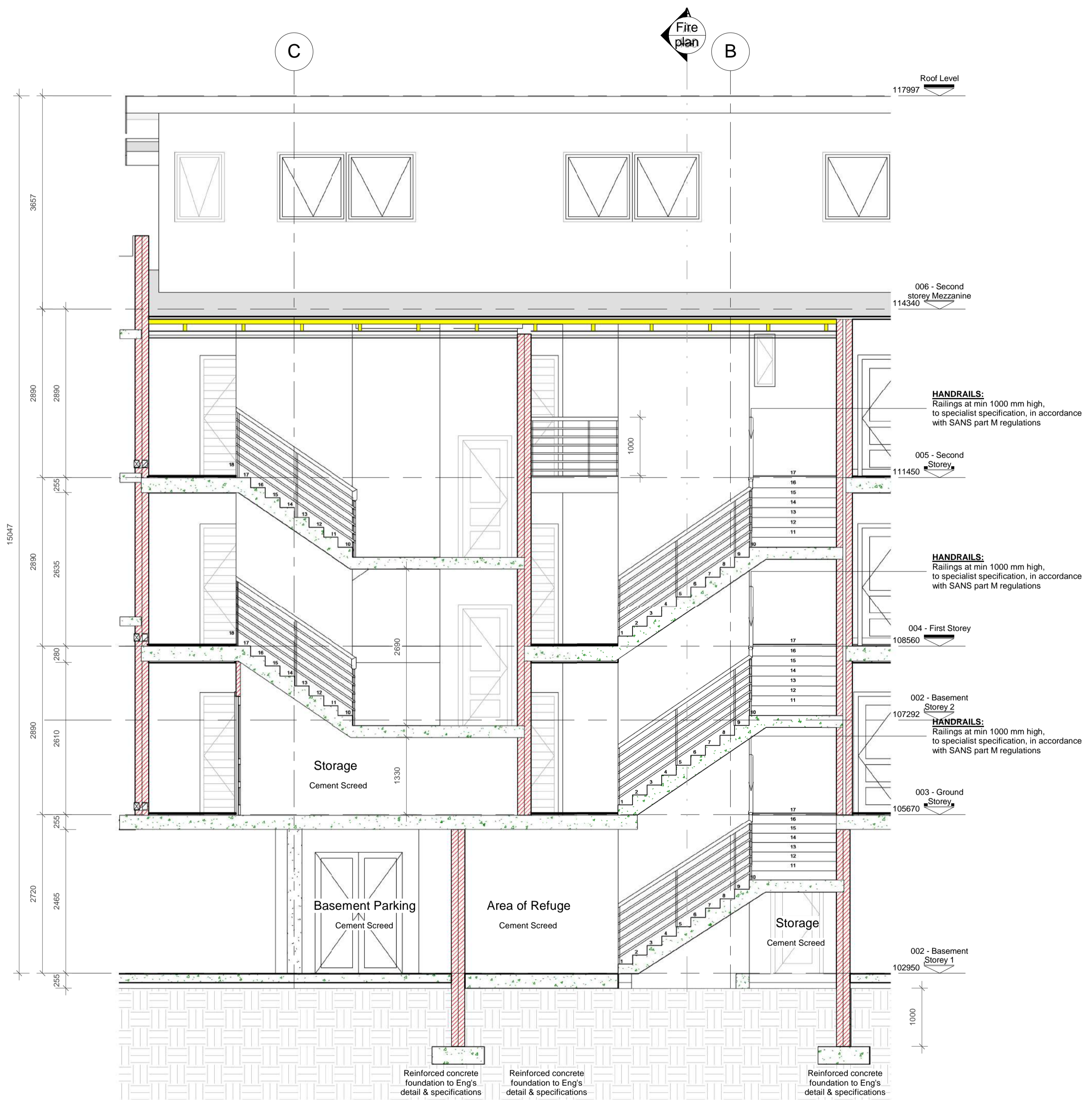
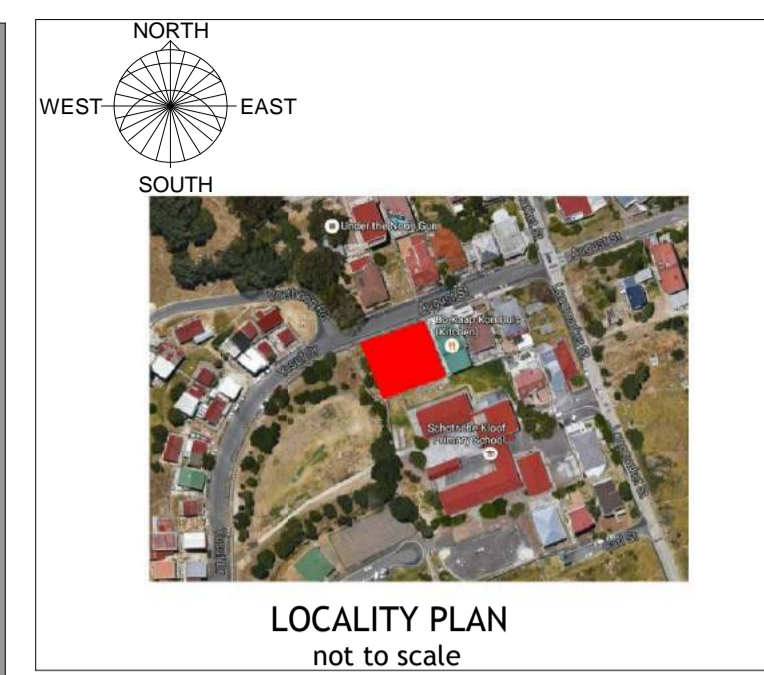
**CITY OF CAPE TOWN**  
 PLANNING & BUILDING DEVELOPMENT MANAGEMENT

Application Number: 000070314097

Approval Number: 97507956

Date: 29 Jun 2017

Application Number: 000070314097



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**DRAWING REGISTER**

Drawing:	Description Note:	Rev No. Date

**REVISIONS**

No.	Description	Date

OCCUPATION CLASSIFICATION	ZONING CLASSIFICATION
H3	GB5

Development Logo's:

Concept/Design    Tender    Marketing/ Presentation

Mun Submission    Construction    Completion/As Build

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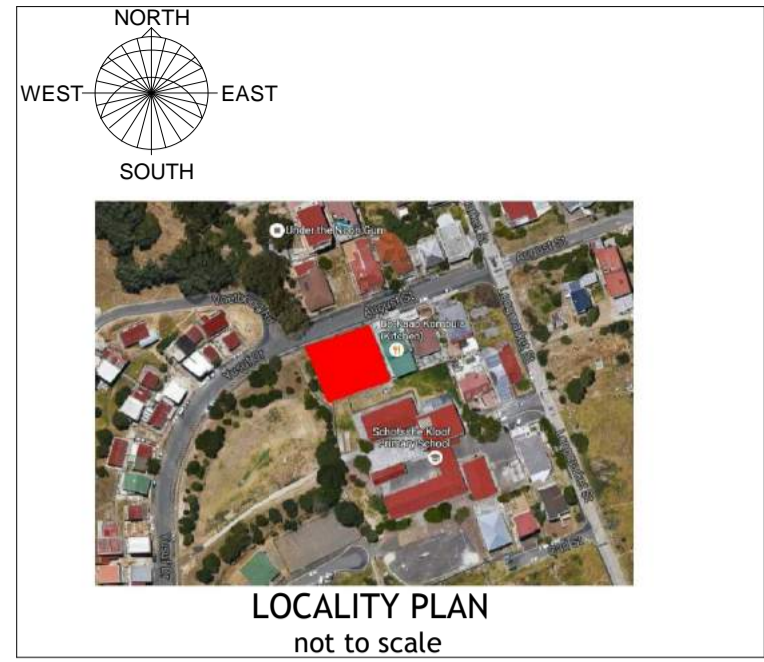
Signatures: \_\_\_\_\_

Project: Erf 173339, August Street, Schotschekloof, Cape Town

Client: GOOD HOPE PLASTERERS CC

Drawing: SECTION B-B

CHECKED	SIGNED
C.L. v.d. Spuy	_____
SACAP Pr. Arch. 24751167	_____
DATE: 22/06/15	DRAWN: GR
SCALE: As indicated	DESIGN: ELC
JOB: 374	REVISION: 010
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**ELECTRICAL LEGEND**

	DISTRIBUTION BOARD
	ELECTRICAL PREPAID METER
	CEILING LIGHT POINT , 12 V
	DOWN LIGHT POINT
	FLUORESCENT TUBE PIONT
	WALL LIGHT @ 2200mm AFFL
	LIGHT SWITCH @ 1100mm AFFL
	DOUBLE PLUG POINT @ 1050mm AFFL
	DOUBLE PLUG POINT @ 300mm AFFL
	STOVE CONNECTION POINT
	ISOLATOR SWITCH @ 1050mm AFFL
	STOVE EXTRACTOR CANOPY POINT @ 2200mm AFFL
	TELEVISION AERIAL POINT @ 300mm AFFL
	TELEPHONE POINT

**DRAWING REGISTER**

Drawing:	Description Note:	Rev No. Date

**REVISIONS**

No.	Description

OCCUPATION CLASSIFICATION	ZONING CLASSIFICATION
<b>H3</b>	<b>GB5</b>

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 Mun Submission    Construction    Completion/As Build  
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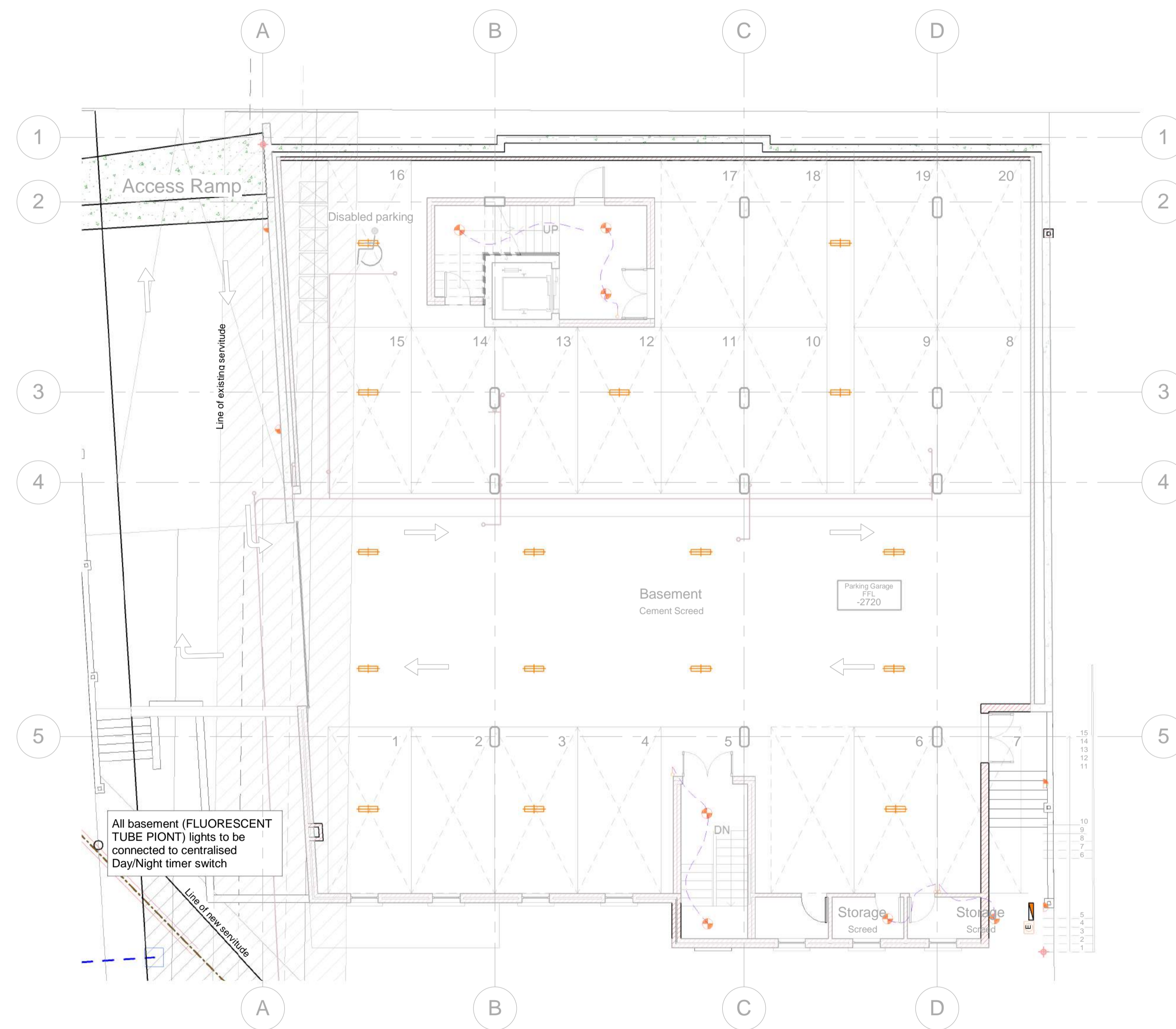
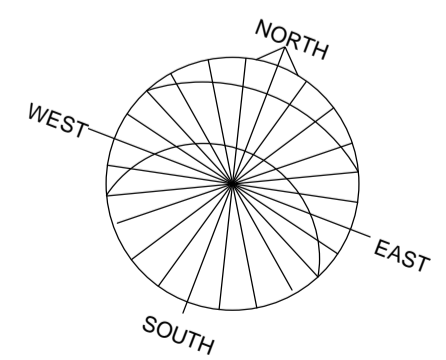


Signatures: \_\_\_\_\_  
 Project: Erf 173339, August Street, Schotschekloof, Cape Town  
 Client: GOOD HOPE PLASTERERS CC  
 Drawing: ELECTRICAL LAYOUT - GROUND STOREY & FIRST STOREY

CHECKED	C.L. v.d. Spuy	SIGNED	
SACAP	Pr. Arch. 24751167	DRAWN	GR
DATE	16/08/2016	DESIGN	ELC
SCALE	As indicated	REVISION	2017-06-07 09:27:05 AM
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DRAWING NO	500	PAPER	A1
PATH: Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokaaap (Erf 173339)\D - Municipal\374 - 005 - 012 - Bo Kaap Apartments.rvt			



**001 Basement Storey - Electrical**  
 Scale: 1 : 100



**002 Basement Storey - Electrical**  
 Scale: 1 : 100

**CITY OF CAPE TOWN**  
 PLANNING & BUILDING DEVELOPMENT MANAGEMENT

Application Number: 000070314097

29 Jun 2017

Approval Number: 97507956

Application Number: 000070314097

**ELECTRICAL LEGEND**

	DISTRIBUTION BOARD
	ELECTRICAL PREPAID METER
	CEILING LIGHT POINT, 12 V
	DOWN LIGHT POINT
	FLUORESCENT TUBE POINT
	WALL LIGHT @ 2200mm AFFL
	LIGHT SWITCH @ 1100mm AFFL
	DOUBLE PLUG POINT @ 1050mm AFFL
	DOUBLE PLUG POINT @ 300mm AFFL
	STOVE CONNECTION POINT
	ISOLATOR SWITCH @ 1050mm AFFL
	STOVE EXTRACTOR CANOPY POINT @ 2200mm AFFL
	TELEVISION AERIAL POINT @ 300mm AFFL
	TELEPHONE POINT



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Drawing:	Description Note:	Rev No. Date

**REVISIONS**

No.	Description	Date

OCCUPATION CLASSIFICATION	ZONING CLASSIFICATION
H3	GB5

Development Logo's:

Concept/Design    Tender    Marketing/ Presentation

Mun Submission    Construction    Completion/As Build

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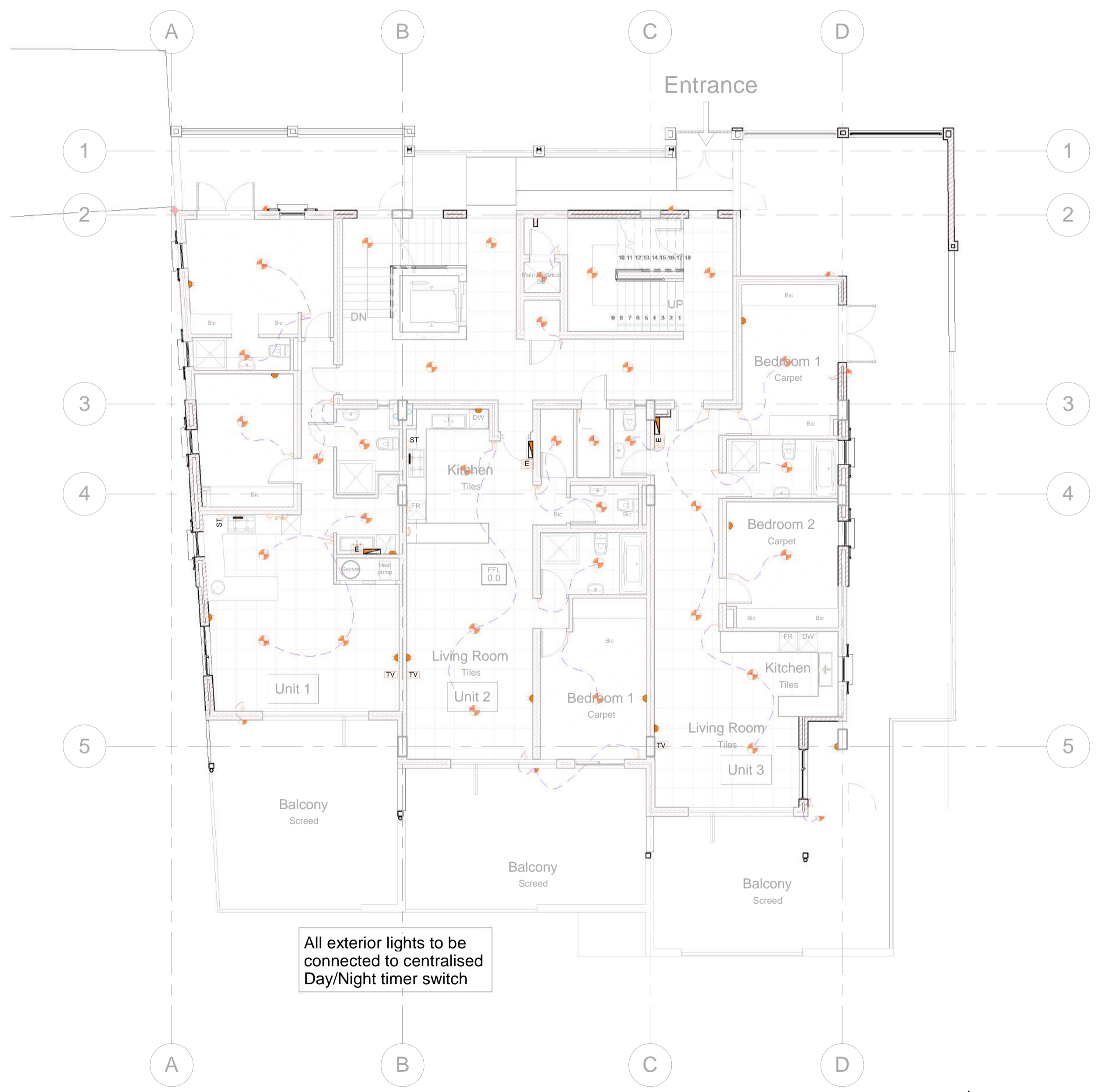
Signatures: \_\_\_\_\_

Project: Erf 173339, August Street, Schotschekloof, Cape Town

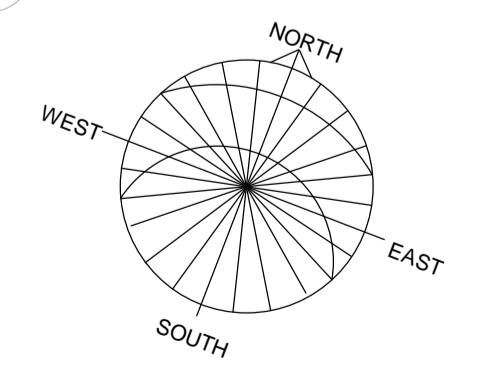
Client: GOOD HOPE PLASTERERS CC

Drawing: ELECTRICAL LAYOUT - SECOND STOREY & THIRD STOREY

CHECKED	SIGNED
C.L. v.d. Spuy	
SACAP Pr. Arch. 24751167	
DATE 08/16/16	DRAWN GR
SCALE As indicated	DESIGN ELC
JOB 374	REVISION 010
DRAWING NO 501	PRINTED 2017-06-07 09:27:07 AM
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	PATH Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokkaap (Erf 173339)\D - Municipal\374 - 005 - 012 - Bo Kaap Apartments.rvt



**Ground Storey - Electrical**  
 Scale: 1 : 100



**First Storey - Electrical**  
 Scale: 1 : 100

**ELECTRICAL LEGEND**

	DISTRIBUTION BOARD
	ELECTRICAL PREPAID METER
	CEILING LIGHT POINT , 12 V
	DOWN LIGHT POINT
	FLUORESCENT TUBE POINT
	WALL LIGHT @ 2200mm AFFL
	LIGHT SWITCH @ 1100mm AFFL
	DOUBLE PLUG POINT @ 1050mm AFFL
	DOUBLE PLUG POINT @ 300mm AFFL
	STOVE CONNECTION POINT
	ISOLATOR SWITCH @ 1050mm AFFL
	STOVE EXTRACTOR CANOPY POINT @ 2200mm AFFL
	TELEVISION AERIAL POINT @ 300mm AFFL
	TELEPHONE POINT



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**DRAWING REGISTER**

Drawing:	Description Note:	Rev No. Date

**REVISIONS**

No.	Description	Date

**OCCUPATION CLASSIFICATION** H3  
**ZONING CLASSIFICATION** GB5  
 Development Logo's:

- Concept/Design
  - Tender
  - Marketing/ Presentation
  - Mun Submission
  - Construction
  - Completion/As Build
- THIS DRAWING TO BE STAMPED BY BPAS FOR PENDING APPROVAL OF CONSTRUCTION. BPAS CAN NOT BE HELD LIABLE, RESPONSIBLE OR ACCOUNTABLE FOR ANY UNAUTHORIZED DRAWINGS USED FOR CONSTRUCTION. THE CONTRACTOR AND/OR EMPLOYER TO ENSURE THAT ALL DRAWINGS ARE STAMPED.

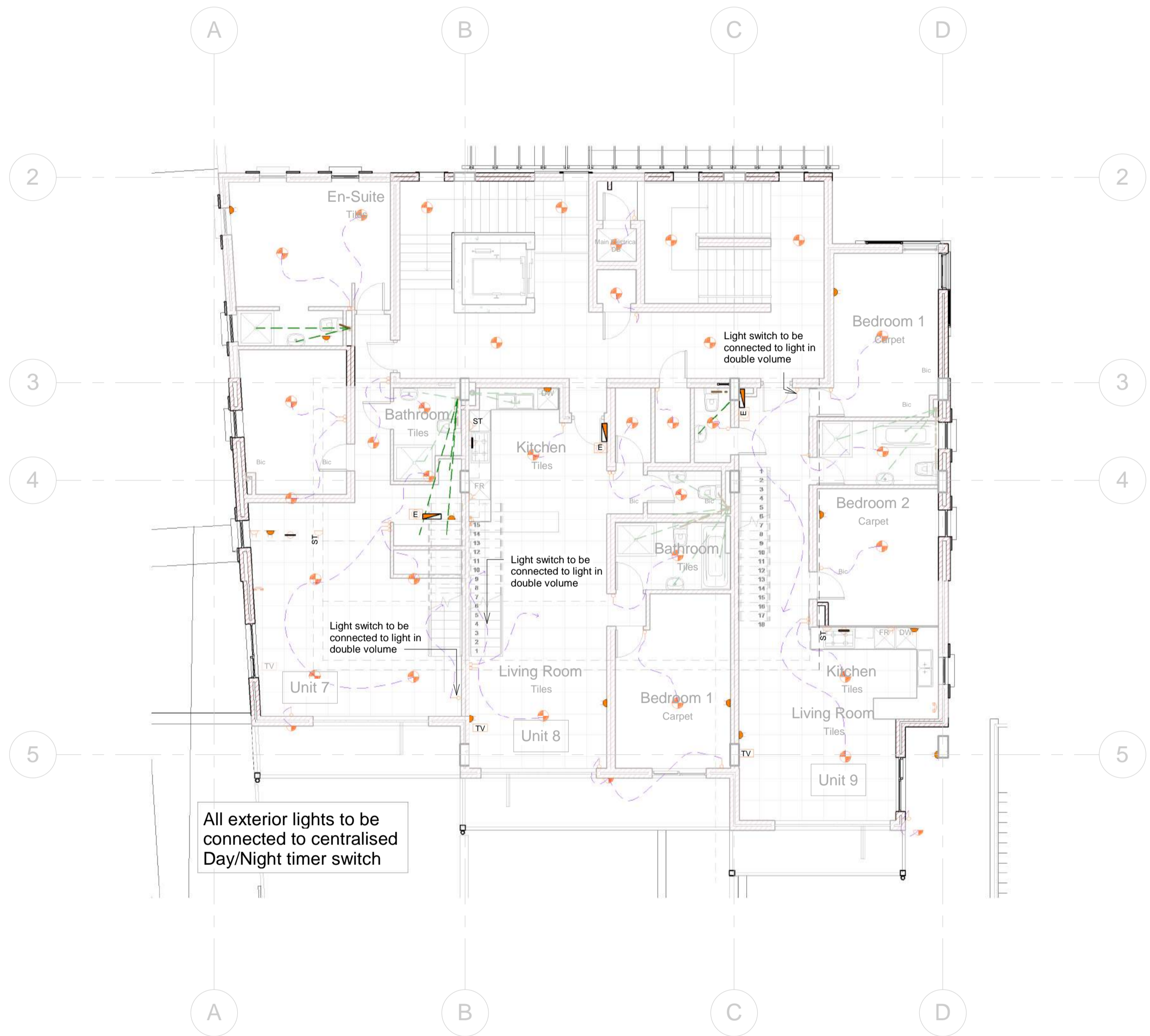


Project: Erf 173339, August Street, Schotschekloof, Cape Town

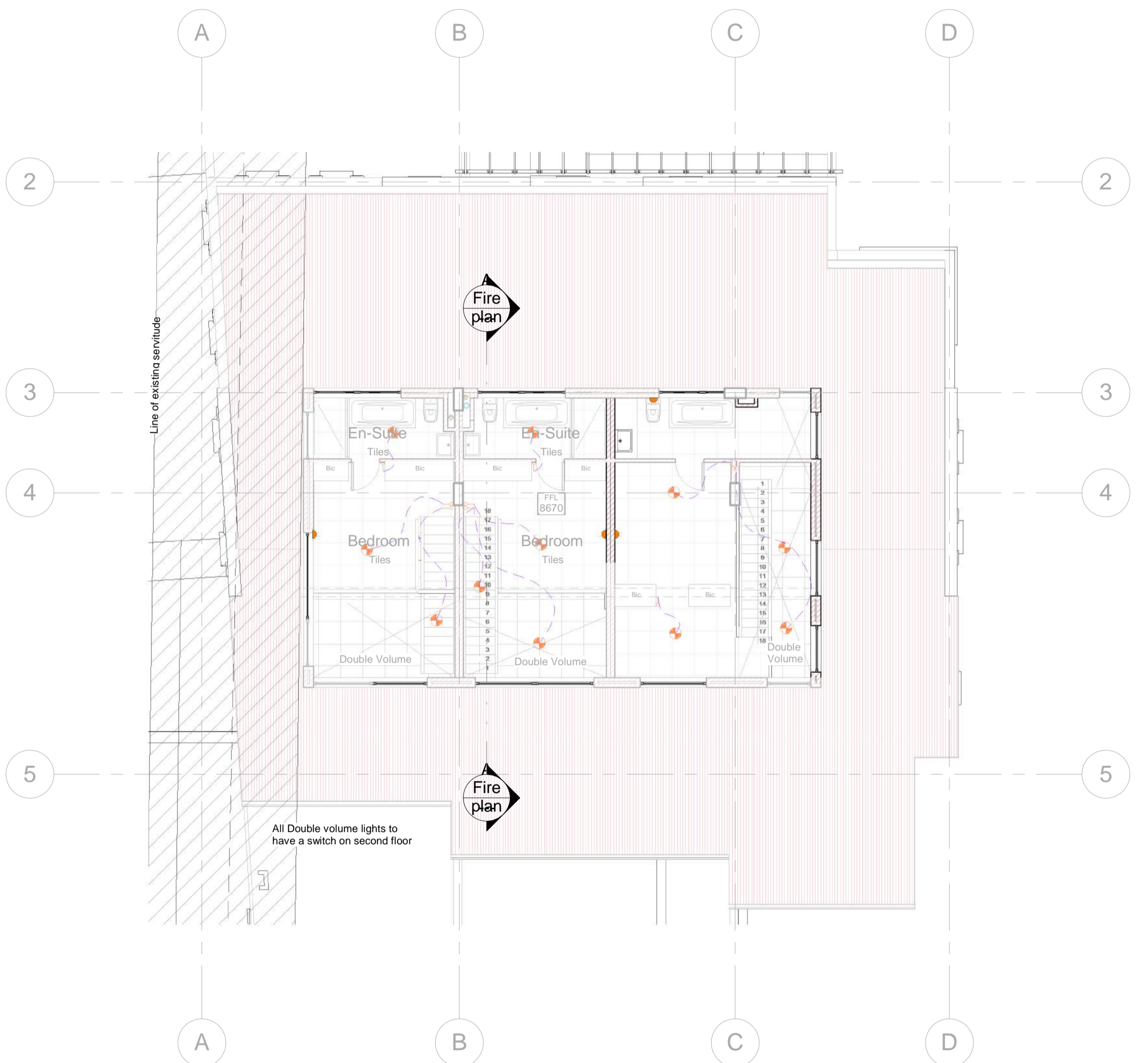
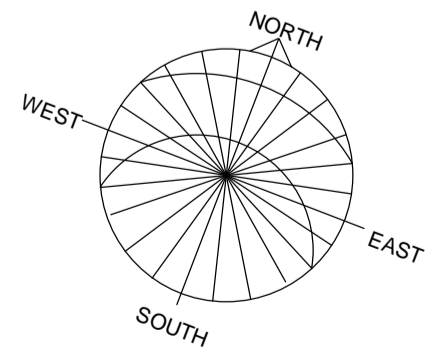
Client: GOOD HOPE PLASTERERS CC

Drawing: ELECTRICAL LAYOUT - FOURTH STOREY & FIFTH STOREY

CHECKED	C.L. v.d. Spuy	SIGNED	
SACAP	Pr. Arch. 24751167	DATE	08/16/16
SCALE	As indicated	DESIGN	ELC
JOB	374	REVISION	010
DRAWING NO	502	PAPER	A1
		PRINTED	2017-06-07 09:27:11 AM
		PATH	Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokaaap (Erf 173339)\D - Municipal\374 - 005 - 012 - Bo Kaap Apartments.rvt



**Second Storey - Electrical**  
 Scale: 1 : 100



**Third Storey - Electrical**  
 Scale: 1 : 100



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**DRAWING REGISTER**

Drawing:	Description Note:	Rev No. Date

**REVISIONS**

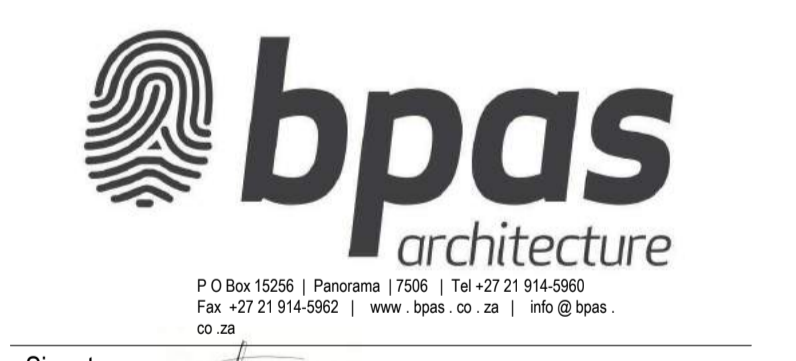
No.	Description

OCCUPATION CLASSIFICATION	ZONING CLASSIFICATION
<b>H3</b>	<b>GB5</b>

Development Logo's:

Concept/Design    Tender    Marketing/ Presentation  
 Mun Submission    Construction    Completion/As Build

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Signatures: \_\_\_\_\_  
 Project: **Erf 173339, August Street, Schotschekloof, Cape Town**

Client: **GOOD HOPE PLASTERERS CC**

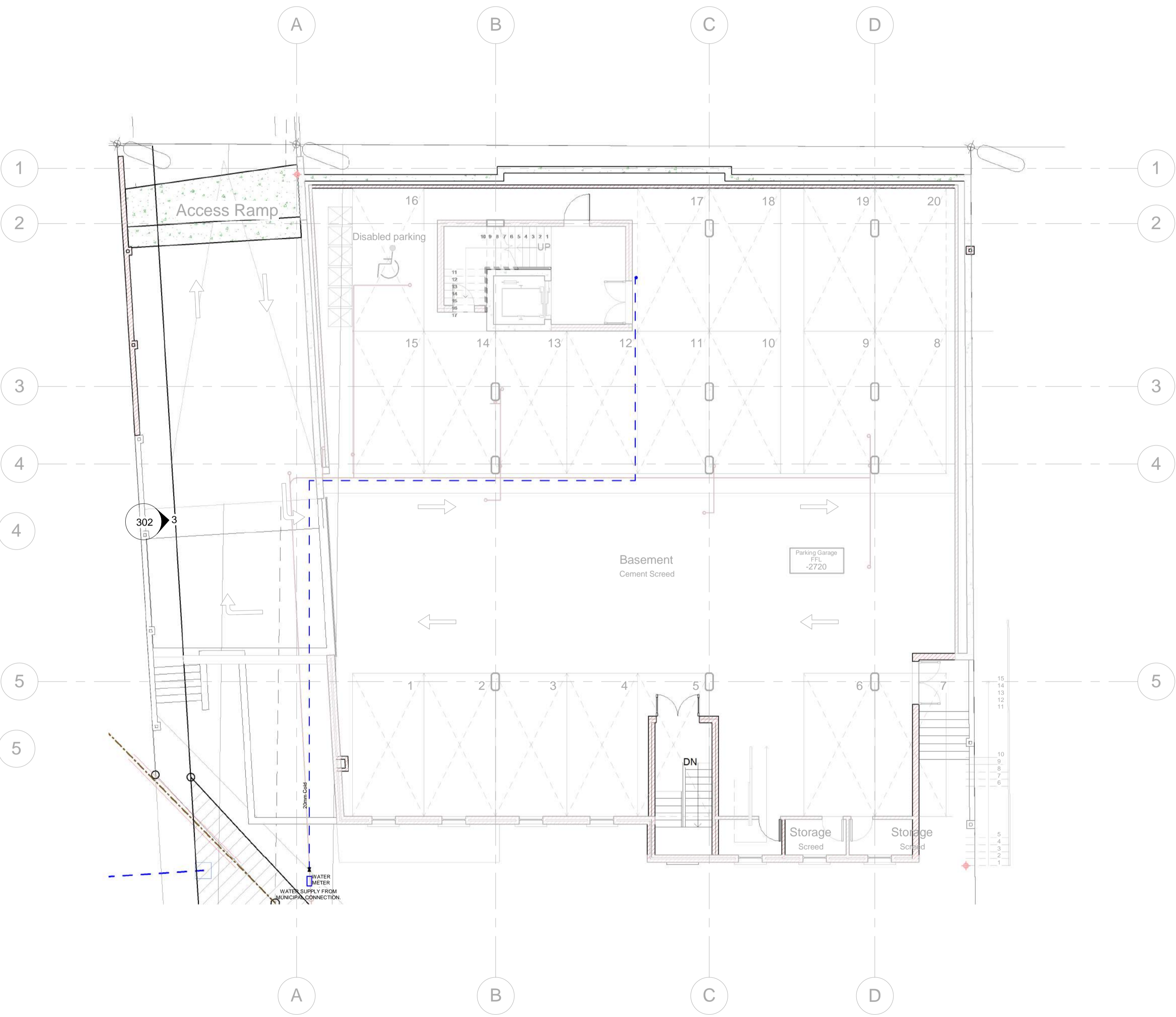
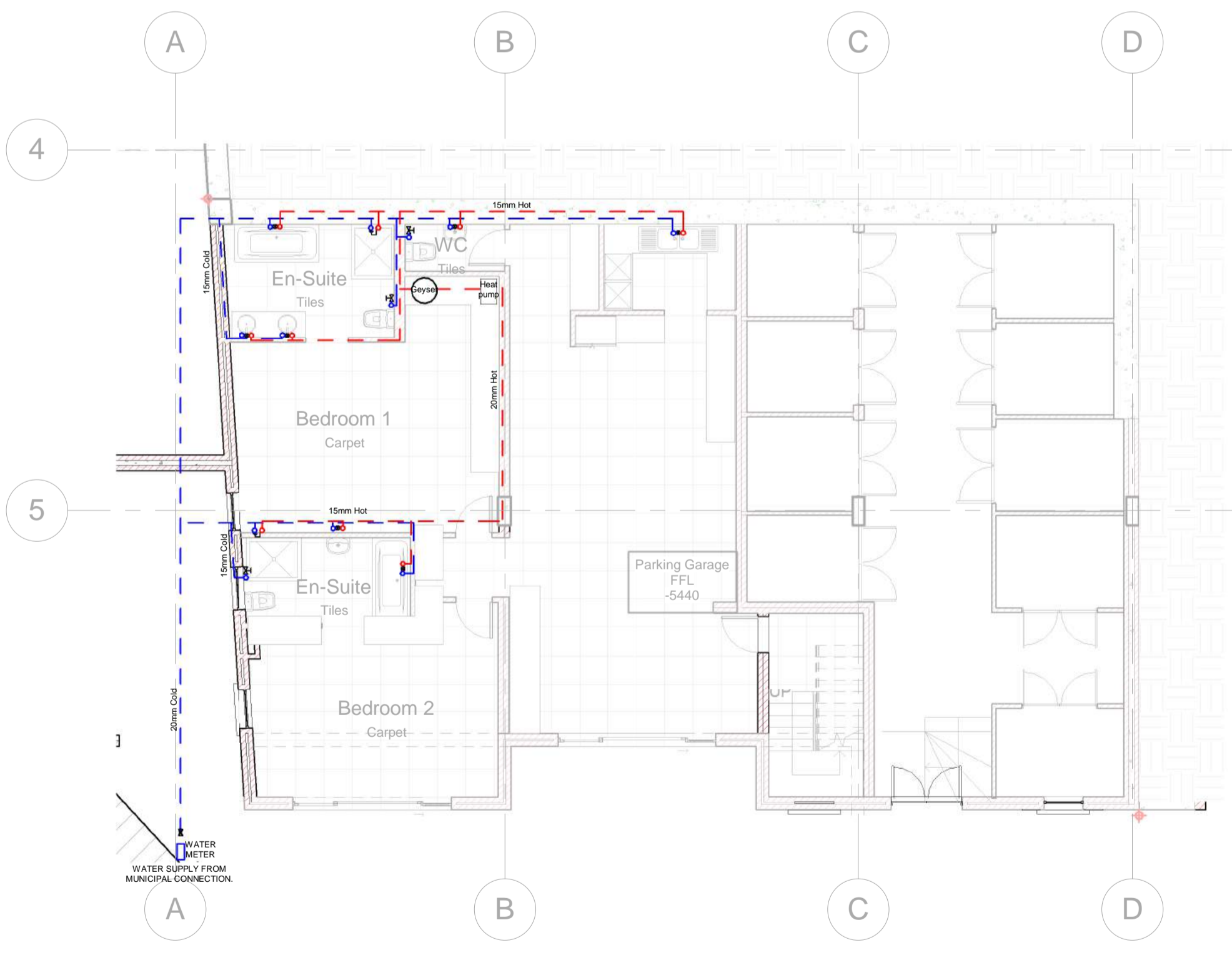
Drawing: **WATER RETICULATION - GROUND STOREY & FIRST STOREY**

CHECKED	SIGNED
C.L. v.d. Spuy	_____
SACAP Pr. Arch. 24751167	
DATE: 16/08/2016	DRAWN: GR
SCALE: As indicated	DESIGN: ELC
JOB: 374	REVISION: 010
DRAWING NO: 700	PAPER: A1
	PRINTED: 2017-06-07 09:27:13 AM
	PATH: Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokaaap (Erf 173339)\D - Municipal\374 - 005 - 012 - Bo Kaap Apartments.rvt

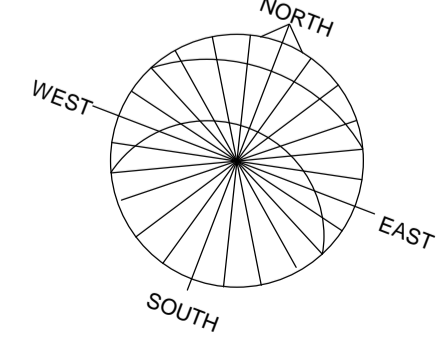
**WATER RETICULATION**

	AUTOMATIC SHUT OFF VALVE
	RISER PIPE - HOT OR COLD (PLAN VIEW, PIPE CROSS)
	DROPPER PIPE - HOT OR COLD (PLAN VIEW, PIPE CROSS SECTION)
	TAP - EXTERNAL WALL MOUNTED
	MIXER TAP
	SHOWER
	STOP COCK
	HOT WATER PIPE
	COLD WATER PIPE
	LAGGED HOT WATER PIPE
	SOLAR HEAT PANEL
	HOT WATER CYLINDER

**SANS 10252-1 WATER LEGEND**  
**GENERAL WATER SUPPLY NOTES:**  
 ALL LAYOUTS OF COLD AND HOT WATER PIPING TO BE CHECKED AND APPROVED BY PLUMBER PRIOR TO ANY WORK BEING PUT TO HAND



**001 Basement Storey - Water Reticulation**  
 Scale: 1 : 100



**002 Basement Storey - Water Reticulation**  
 Scale: 1 : 100

**CITY OF CAPE TOWN**  
 PLANNING & BUILDING DEVELOPMENT MANAGEMENT  
 Approved for Approval  
 This application has been approved in terms of Section 7 (1) (b) of Act 103 of 1977, subject to the conditions in the attached letter of approval.  
 29 Jun 2017  
 Planning & Building Development Management  
 Approval Number: 97507956  
 Application Number: 000070314097

**WATER RETICULATION**

	AUTOMATIC SHUT OFF VALVE
	RISER PIPE - HOT OR COLD (PLAN VIEW, PIPE CROSS)
	DROPPER PIPE - HOT OR COLD (PLAN VIEW, PIPE CROSS SECTION)
	TAP - EXTERNAL WALL MOUNTED
	MIXER TAP
	SHOWER
	STOP COCK
	HOT WATER PIPE
	COLD WATER PIPE
	LAGGED HOT WATER PIPE
	SOLAR HEAT PANEL
	HOT WATER CYLINDER

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**GENERAL WATER SUPPLY NOTES:**  
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**DRAWING REGISTER**

Drawing:	Description Note:	Rev No. Date

**REVISIONS**

No.	Description	Date

<b>OCCUPATION CLASSIFICATION</b>	<b>ZONING CLASSIFICATION</b>
<b>H3</b>	<b>GB5</b>
Development Logo's:	

Concept/Design    Tender    Marketing/ Presentation  
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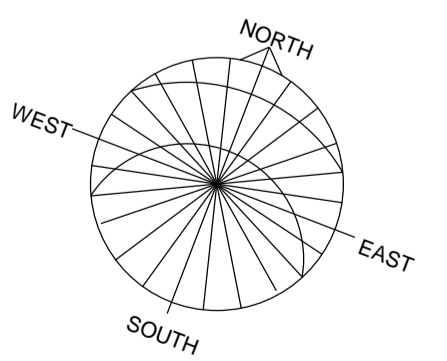
Client: GOOD HOPE PLASTERERS CC

Drawing: WATER RETICULATION - SECOND STOREY & THIRD STOREY

CHECKED	C.L. v.d. Spuy	SIGNED	_____
SACAP	Pr. Arch. 24751167	DRAWN	GR
DATE	08/16/16	DESIGN	ELC
SCALE	As indicated	REVISION	010
JOB	374	PRINTED	2017-06-07 09:27:15 AM
DRAWING NO	701	PAPER	A1
Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokkaap (Erf 173339)\D - Municipal\374 - 005 - 012 - Bo Kaap Apartments.rvt			



**Ground Storey- Water Reticulation**  
 Scale: 1 : 100



**First Storey - Water Reticulation**  
 Scale: 1 : 100

**CITY OF CAPE TOWN**  
 PLANNING & BUILDING DEVELOPMENT MANAGEMENT  
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 Planning & Building Development Management  
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**WATER RETICULATION**

	AUTOMATIC SHUT OFF VALVE
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	DROPPER PIPE - HOT OR COLD (PLAN VIEW PIPE CROSS SECTION)
	TAP - EXTERNAL WALL MOUNTED
	MIXER TAP
	SHOWER
	STOP COCK
	HOT WATER PIPE
	COLD WATER PIPE
	LAGGED HOT WATER PIPE
	SOLAR HEAT PANEL
	HOT WATER CYLINDER

**SANS 10252-1 WATER LEGEND**  
**GENERAL WATER SUPPLY NOTES:**  
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**REVISIONS**

No.	Description	Date

<b>OCCUPATION CLASSIFICATION</b>	<b>ZONING CLASSIFICATION</b>
<b>H3</b>	<b>GB5</b>

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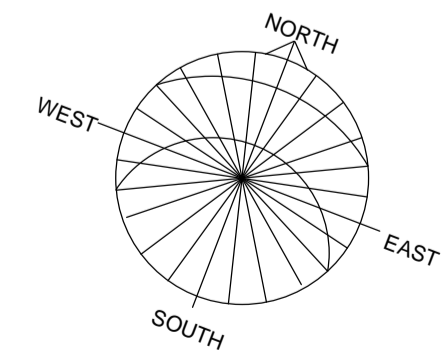
Client: GOOD HOPE PLASTERERS CC

Drawing: WATER RETICULATION - FOURTH STOREY & FIFTH STOREY

CHECKED	C.L. v.d. Spuy	SIGNED	
SACAP	Pr. Arch. 24751167	DATE	08/16/16
SCALE	As indicated	DESIGN	ELC
JOB	374	REVISION	010
DRAWING NO	702	PAPER	A1
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		PATH	Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokkaap (Erf 173339)\D - Municipal\374 - 005 - 012 - Bo Kaap Apartments.rvt



**Second Storey- Water Reticulation**  
 Scale: 1 : 100



**Third Storey - Water Reticulation**  
 Scale: 1 : 100

**CITY OF CAPE TOWN**  
 PLANNING & BUILDING DEVELOPMENT MANAGEMENT

Approved for Approval

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*[Signature]* 29 Jun 2017  
 Date

Planning & Building Development Management  
 Approval Number: 97507956  
 Application Number: 000070314097

**WINDOW SCHEDULE** **SCALE 1:50**

TYPE	A	TYPE	B	TYPE	C	TYPE	D	TYPE	E	TYPE	F
DESCRIPTION	EPOXY COATED ALUMINIUM FRAMED WINDOW WITH TOP HUNG SECTIONS AS SHOWN.	DESCRIPTION	EPOXY COATED ALUMINIUM FRAMED WINDOW WITH TOP HUNG SECTIONS AS SHOWN.	DESCRIPTION	EPOXY COATED ALUMINIUM FRAMED WINDOW WITH TOP HUNG SECTIONS AS SHOWN.	DESCRIPTION	EPOXY COATED ALUMINIUM FRAMED WINDOW WITH TOP HUNG SECTIONS AS SHOWN.	DESCRIPTION	EPOXY COATED ALUMINIUM FRAMED WINDOW WITH SIDE SLIDING SECTIONS AS SHOWN.	DESCRIPTION	EPOXY COATED ALUMINIUM FRAMED WINDOW WITH SIDE SLIDING SECTIONS AS SHOWN.
GLASS	REFER TO FENESTRATION CALCULATION SHEET. OTHERWISE 4mm CLEARFLOAT & 6.38mm SAFETY GLASS IF LOWER THAN 500mm ABOVE FFL. IF GLAZING IS FITTED IN BATHROOM, 4mm OBSCURE GLASS / SANDBLAST FILM TO BE USED.	GLASS	REFER TO FENESTRATION CALCULATION SHEET. OTHERWISE 4mm CLEARFLOAT & 6.38mm SAFETY GLASS IF LOWER THAN 500mm ABOVE FFL. IF GLAZING IS FITTED IN BATHROOM, 4mm OBSCURE GLASS / SANDBLAST FILM TO BE USED.	GLASS	REFER TO FENESTRATION CALCULATION SHEET. OTHERWISE 4mm CLEARFLOAT & 6.38mm SAFETY GLASS IF LOWER THAN 500mm ABOVE FFL. IF GLAZING IS FITTED IN BATHROOM, 4mm OBSCURE GLASS / SANDBLAST FILM TO BE USED.	GLASS	REFER TO FENESTRATION CALCULATION SHEET. OTHERWISE 4mm CLEARFLOAT & 6.38mm SAFETY GLASS IF LOWER THAN 500mm ABOVE FFL. IF GLAZING IS FITTED IN BATHROOM, 4mm OBSCURE GLASS / SANDBLAST FILM TO BE USED.	GLASS	REFER TO FENESTRATION CALCULATION SHEET. OTHERWISE 4mm CLEARFLOAT & 6.38mm SAFETY GLASS IF LOWER THAN 500mm ABOVE FFL. IF GLAZING IS FITTED IN BATHROOM, 4mm OBSCURE GLASS / SANDBLAST FILM TO BE USED.	GLASS	REFER TO FENESTRATION CALCULATION SHEET. OTHERWISE 4mm CLEARFLOAT & 6.38mm SAFETY GLASS IF LOWER THAN 500mm ABOVE FFL. IF GLAZING IS FITTED IN BATHROOM, 4mm OBSCURE GLASS / SANDBLAST FILM TO BE USED.
FRAME	EPOXY COATED ALUMINIUM	FRAME	EPOXY COATED ALUMINIUM	FRAME	EPOXY COATED ALUMINIUM	FRAME	EPOXY COATED ALUMINIUM	FRAME	EPOXY COATED ALUMINIUM	FRAME	EPOXY COATED ALUMINIUM
COLOUR	TO CLIENT SPECIFICATIONS	COLOUR	TO CLIENT SPECIFICATIONS	COLOUR	TO CLIENT SPECIFICATIONS	COLOUR	TO CLIENT SPECIFICATIONS	COLOUR	TO CLIENT SPECIFICATIONS	COLOUR	TO CLIENT SPECIFICATIONS
IRONMONGERY	TO MANUFACTURER'S DETAIL AND SPECIFICATIONS AND CLIENTS APPROVAL	IRONMONGERY	TO MANUFACTURER'S DETAIL AND SPECIFICATIONS AND CLIENTS APPROVAL	IRONMONGERY	TO MANUFACTURER'S DETAIL AND SPECIFICATIONS AND CLIENTS APPROVAL	IRONMONGERY	TO MANUFACTURER'S DETAIL AND SPECIFICATIONS AND CLIENTS APPROVAL	IRONMONGERY	TO MANUFACTURER'S DETAIL AND SPECIFICATIONS AND CLIENTS APPROVAL	IRONMONGERY	TO MANUFACTURER'S DETAIL AND SPECIFICATIONS AND CLIENTS APPROVAL
DESCRIPTION	EPOXY COATED ALUMINIUM FRAMED WINDOW WITH TOP HUNG SECTIONS AS SHOWN.	DESCRIPTION	EPOXY COATED ALUMINIUM FRAMED WINDOW WITH TOP HUNG SECTIONS AS SHOWN.	DESCRIPTION	EPOXY COATED ALUMINIUM FRAMED WINDOW WITH TOP HUNG SECTIONS AS SHOWN.	DESCRIPTION	EPOXY COATED ALUMINIUM FRAMED WINDOW WITH TOP HUNG SECTIONS AS SHOWN.	DESCRIPTION	EPOXY COATED ALUMINIUM FRAMED WINDOW WITH TOP HUNG SECTIONS AS SHOWN.	DESCRIPTION	EPOXY COATED ALUMINIUM FRAMED WINDOW WITH SIDE SLIDING SECTIONS AS SHOWN.
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FRAME	EPOXY COATED ALUMINIUM	FRAME	EPOXY COATED ALUMINIUM	FRAME	EPOXY COATED ALUMINIUM	FRAME	EPOXY COATED ALUMINIUM	FRAME	EPOXY COATED ALUMINIUM	FRAME	EPOXY COATED ALUMINIUM
COLOUR	TO CLIENT SPECIFICATIONS	COLOUR	TO CLIENT SPECIFICATIONS	COLOUR	TO CLIENT SPECIFICATIONS	COLOUR	TO CLIENT SPECIFICATIONS	COLOUR	TO CLIENT SPECIFICATIONS	COLOUR	TO CLIENT SPECIFICATIONS
IRONMONGERY	TO MANUFACTURER'S DETAIL AND SPECIFICATIONS AND CLIENTS APPROVAL	IRONMONGERY	TO MANUFACTURER'S DETAIL AND SPECIFICATIONS AND CLIENTS APPROVAL	IRONMONGERY	TO MANUFACTURER'S DETAIL AND SPECIFICATIONS AND CLIENTS APPROVAL	IRONMONGERY	TO MANUFACTURER'S DETAIL AND SPECIFICATIONS AND CLIENTS APPROVAL	IRONMONGERY	TO MANUFACTURER'S DETAIL AND SPECIFICATIONS AND CLIENTS APPROVAL	IRONMONGERY	TO MANUFACTURER'S DETAIL AND SPECIFICATIONS AND CLIENTS APPROVAL
DESCRIPTION	EPOXY COATED ALUMINIUM FRAMED WINDOW WITH TOP HUNG SECTIONS AS SHOWN.	DESCRIPTION	EPOXY COATED ALUMINIUM FRAMED WINDOW WITH TOP HUNG SECTIONS AS SHOWN.	DESCRIPTION	EPOXY COATED ALUMINIUM FRAMED WINDOW WITH TOP HUNG SECTIONS AS SHOWN.	DESCRIPTION	EPOXY COATED ALUMINIUM FRAMED WINDOW WITH TOP HUNG SECTIONS AS SHOWN.	DESCRIPTION	EPOXY COATED ALUMINIUM FRAMED WINDOW WITH TOP HUNG SECTIONS AS SHOWN.	DESCRIPTION	EPOXY COATED ALUMINIUM FRAMED WINDOW WITH SIDE SLIDING SECTIONS AS SHOWN.
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**DRAWING REGISTER**

Drawing:	Description Note:	Rev No. Date

**REVISIONS**

No.	Description

OCCUPATION CLASSIFICATION	ZONING CLASSIFICATION
<b>H3</b>	<b>GB5</b>

Development Logo's:

Concept/Design  Tender  Marketing/ Presentation

Mun Submission  Construction  Completion/As Build

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Signatures: \_\_\_\_\_

Project: **Erf 173339, August Street, Schotschekloof, Cape Town**

Client: **GOOD HOPE PLASTERERS CC**

Drawing: **WINDOW SCHEDULE**

CHECKED	SIGNED
C.L. v.d. Spuy	<i>[Signature]</i>
SACAP Pr. Arch. 24751167	
DATE 16/08/2016	DRAWN GR
SCALE As indicated	DESIGN ELC
JOB 374	REVISION 010
DRAWING NO 800	PRINTED 2017-06-07 09:27:21 AM
	PAPER A1
	PATH Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokaaap (Erf 173339)\D - Municipals\374 - 005 - 012 - Bo Kaap Apartments.rvt

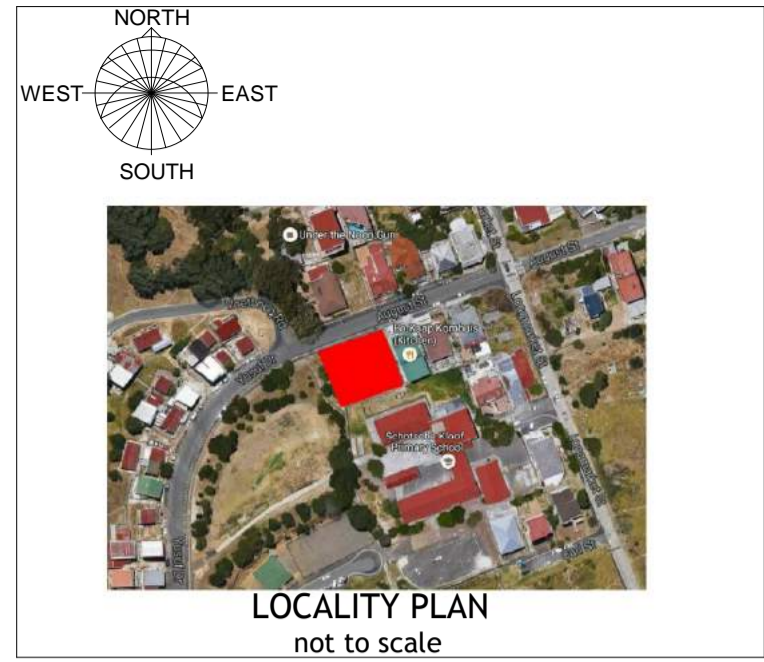
**CITY OF CAPE TOWN**  
 PLANNING & BUILDING DEVELOPMENT MANAGEMENT

Application Number: 000070314097

Approval Number: 97507956

Date: 29 Jun 2017

Application Number: 000070314097



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**DOOR SCHEDULE** SCALE 1:50

TYPE	A	TYPE	B	TYPE	C	TYPE	D	TYPE	E
DESCRIPTION	ALUMINIUM SIDE HUNG DOUBLE DOOR	DESCRIPTION	SIDE HUNG MEDIUM DUTY TIMBER DOOR	DESCRIPTION	CLASS 'A' 60min FIRE DOOR	DESCRIPTION	ALUMINIUM SLIDING DOOR	DESCRIPTION	ALUMINIUM FOLDING DOOR
GLASS	6.38 mm THICK SAFETY GLASS IN ACCORDANCE WITH SANS REGULATIONS	GLASS		GLASS		GLASS	6.38 mm THICK SAFETY GLASS IN ACCORDANCE WITH SANS REGULATIONS	GLASS	6.38 mm THICK SAFETY GLASS IN ACCORDANCE WITH SANS REGULATIONS
FRAME	EPOXY COATED ALUMINIUM	FRAME	TIMBER	FRAME	TO MANUFACTURER'S SPECIFICATION	FRAME	EPOXY COATED ALUMINIUM	FRAME	EPOXY COATED ALUMINIUM
COLOUR	BY DEVELOPER	COLOUR	PAINTED	COLOUR	PAINTED	COLOUR	BY DEVELOPER	COLOUR	BY DEVELOPER
IRONMONGERY	TO MANUFACTURER'S DETAIL AND SPECIFICATIONS AND CLIENTS APPROVAL	IRONMONGERY	TO MANUFACTURER'S DETAIL AND SPECIFICATIONS AND CLIENTS APPROVAL	IRONMONGERY	TO MANUFACTURER'S DETAIL AND SPECIFICATIONS AND CLIENTS APPROVAL	IRONMONGERY	TO MANUFACTURER'S DETAIL AND SPECIFICATIONS AND CLIENTS APPROVAL	IRONMONGERY	TO MANUFACTURER'S DETAIL AND SPECIFICATIONS AND CLIENTS APPROVAL
TYPE	F	TYPE	G	TYPE	H	TYPE	I	TYPE	
DESCRIPTION	ALUMINIUM FOLDING DOOR	DESCRIPTION	CLASS 'B' 120min FIRE DOOR	DESCRIPTION	TIMBER SLATTED GATE	DESCRIPTION	TIMBER SLATTED GATE	DESCRIPTION	
GLASS	6.38 mm THICK SAFETY GLASS IN ACCORDANCE WITH SANS REGULATIONS	GLASS		GLASS		GLASS	N/A	GLASS	
FRAME	EPOXY COATED ALUMINIUM	FRAME	TO MANUFACTURER'S SPECIFICATION	FRAME	TIMBER	FRAME	TIMBER	FRAME	
COLOUR	BY DEVELOPER	COLOUR	PAINTED	COLOUR	PAINTED	COLOUR	PAINTED	COLOUR	
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TYPE	J	TYPE	K	TYPE	L	TYPE		TYPE	
DESCRIPTION	DOUBLE SIDE HUNG TIMBER DOOR	DESCRIPTION	CLASS 'A' 60min FIRE DOOR	DESCRIPTION	DOUBLE SIDE HUNG TIMBER DOOR	DESCRIPTION		DESCRIPTION	
GLASS		GLASS		GLASS		GLASS		GLASS	
FRAME	TIMBER	FRAME	TO MANUFACTURER'S SPECIFICATION	FRAME	TIMBER	FRAME		FRAME	
COLOUR	PAINTED	COLOUR	PAINTED	COLOUR	PAINTED	COLOUR		COLOUR	
IRONMONGERY	TO MANUFACTURER'S DETAIL AND SPECIFICATIONS AND CLIENTS APPROVAL	IRONMONGERY	TO MANUFACTURER'S DETAIL AND SPECIFICATIONS AND CLIENTS APPROVAL	IRONMONGERY	TO MANUFACTURER'S DETAIL AND SPECIFICATIONS AND CLIENTS APPROVAL	IRONMONGERY		IRONMONGERY	

ALL GLASS DOORS TO BE SAFETY GLASS

**DRAWING REGISTER**

Drawing:	Description Note:	Rev No. Date

**REVISIONS**

No.	Description

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 ZONING CLASSIFICATION: **GB5**

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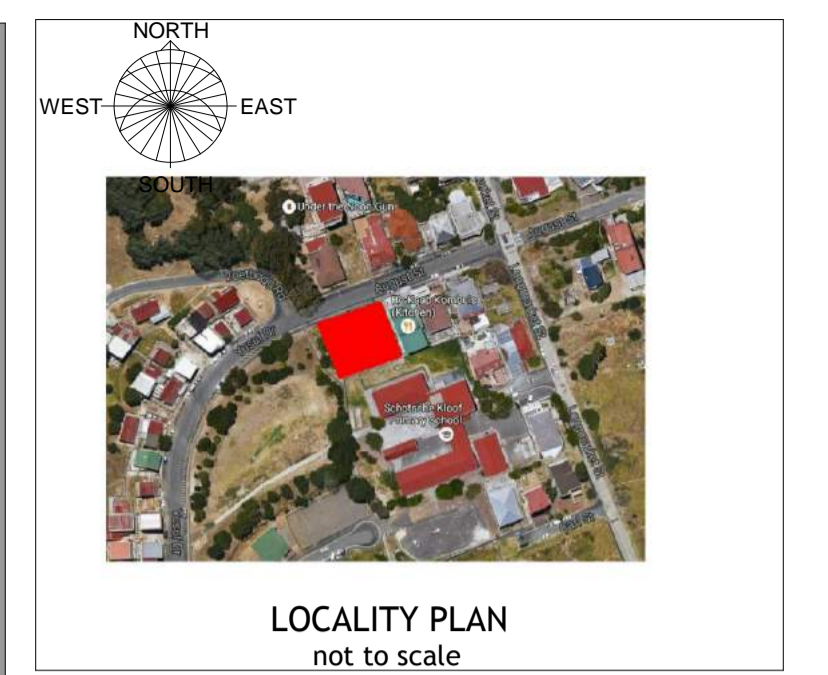
Project: **Erf 173339, August Street, Schotschekloof, Cape Town**

Client: **GOOD HOPE PLASTERERS CC**

Drawing: **DOOR SCHEDULE**

CHECKED	C.L. v.d. Spuy	SIGNED	
SACAP	Pr. Arch. 24751167	DRAWN	GR
DATE	08/22/16	DESIGN	ELC
SCALE	As indicated	REVISION	2017-06-07 09:27:22 AM
JOB	374	PRINTED	010
DRAWING NO	801	PAPER	A1
PATH: Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokaaap (Erf 173339)\D - Municipality\374 - 005 - 012 - Bo Kaap Apartments.rvt			

**CITY OF CAPE TOWN**  
 PLANNING & BUILDING DEVELOPMENT MANAGEMENT  
 Approved for Approval  
 This application has been approved in terms of Section 7 (1) (b) of Act 103 of 1977, subject to the conditions in the attached letter of approval.  
 29 Jun 2017  
 Planning & Building Development Management  
 Approval Number: 97507956  
 Application Number: 000070314097



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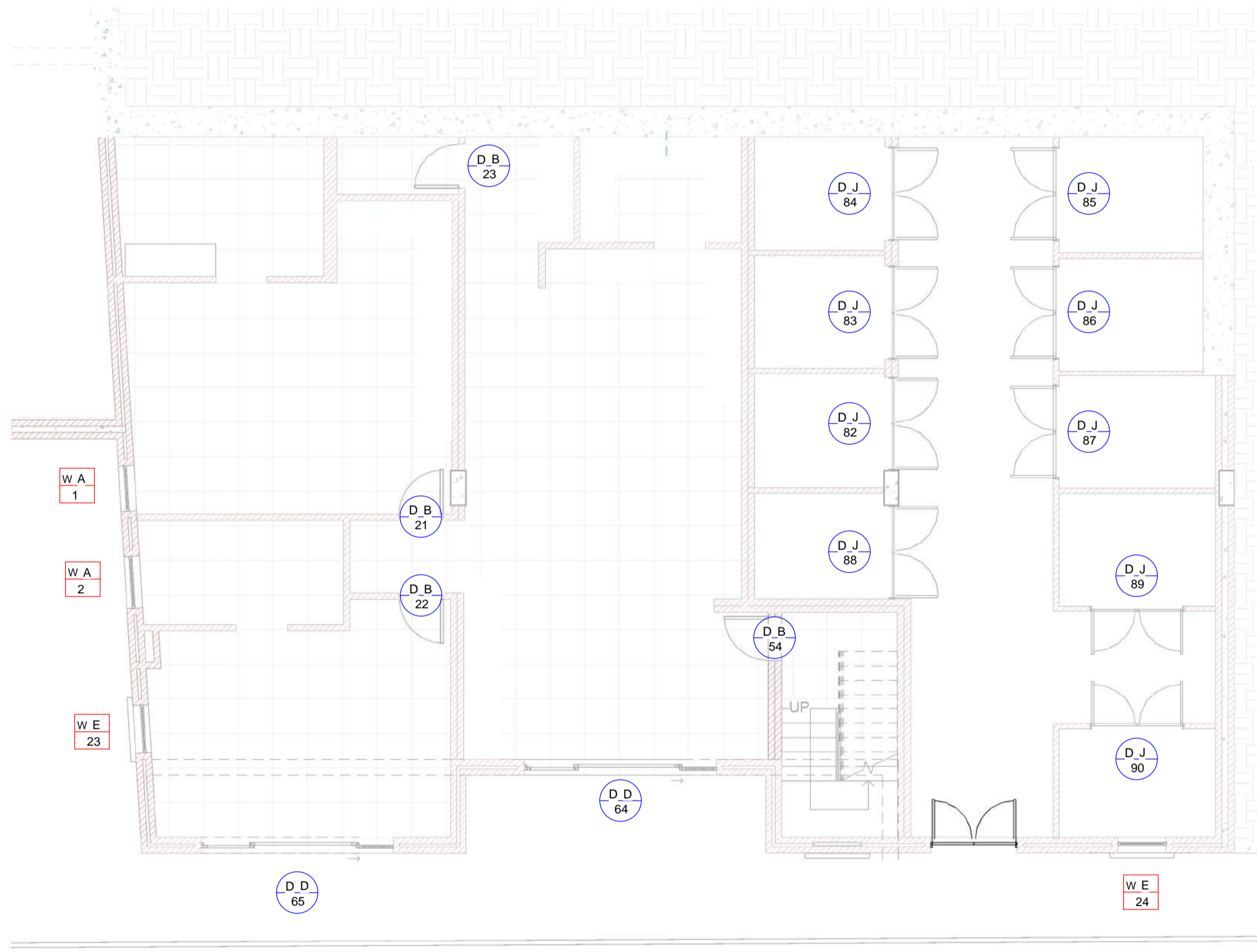
OCCUPATION CLASSIFICATION	ZONING CLASSIFICATION
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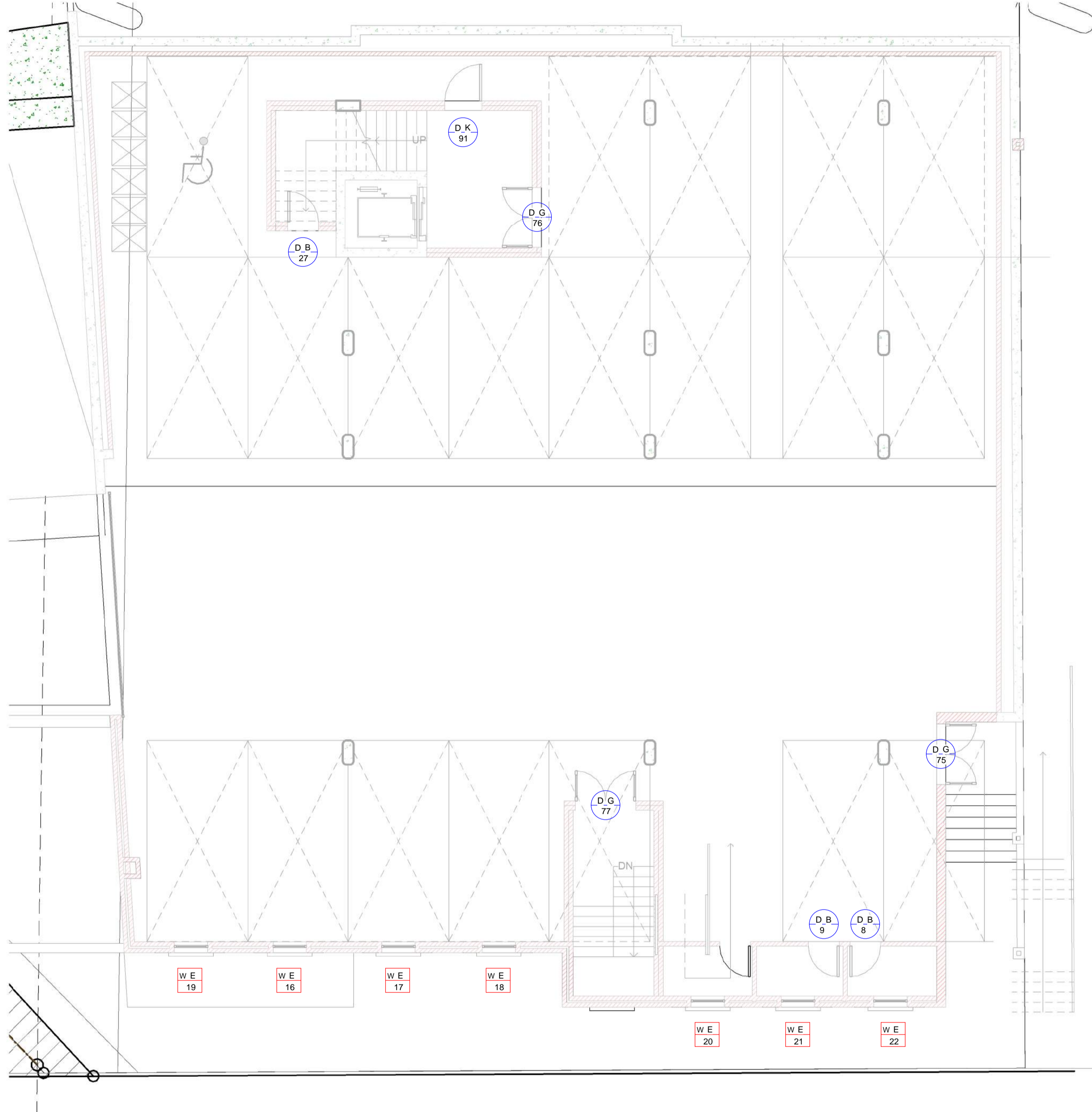
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Signatures: \_\_\_\_\_  
 Project: Erf 173339, August Street, Schotschekloof, Cape Town  
 Client: GOOD HOPE PLASTERERS CC  
 Drawing: WINDOW AND DOOR NUMBERS



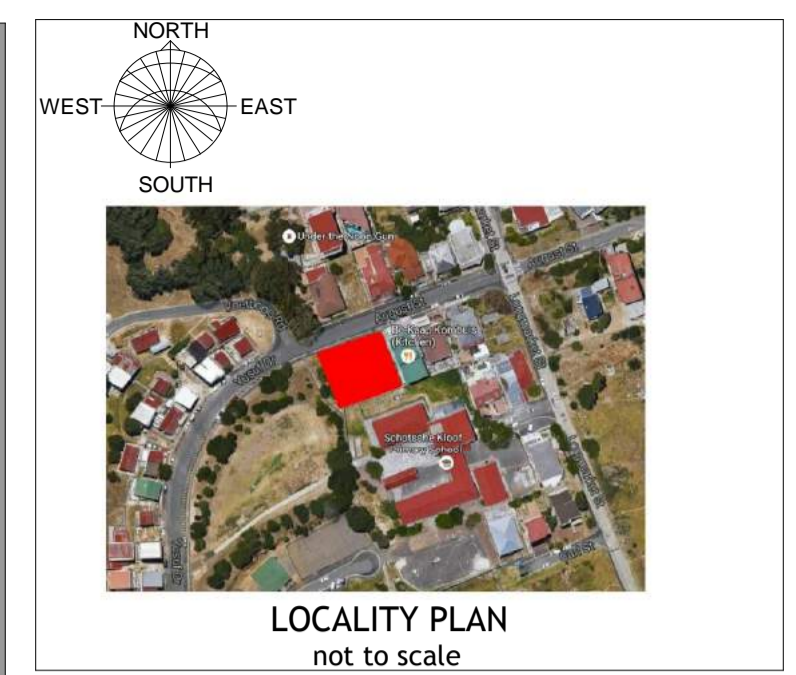
**001 Basement Storey - Window and Door**  
 Scale: 1 : 75



**002 Basement Storey - Window and Door**  
 Scale: 1 : 75

CHECKED	SIGNED
C.L. v.d. Spuy	_____
SACAP Pr. Arch. 24751167	_____
DATE 08/24/16	DRAWN GR
SCALE As indicated	DESIGN ELC
JOB 374	REVISION 010
DRAWING NO 802	PAPER A1
PRINTED 2017-06-07 09:27:24 AM Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokaaap (Erf 173339)\D - Municipal\374 - 005 - 012 - Bo Kaap Apartments.rvt	

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Client: GOOD HOPE PLASTERERS CC

Drawing: WINDOW AND DOOR NUMBERS

CHECKED	SIGNED
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**Ground Storey - Window and Door**  
Scale: 1 : 75



**First Storey - Window and Door**  
Scale: 1 : 75



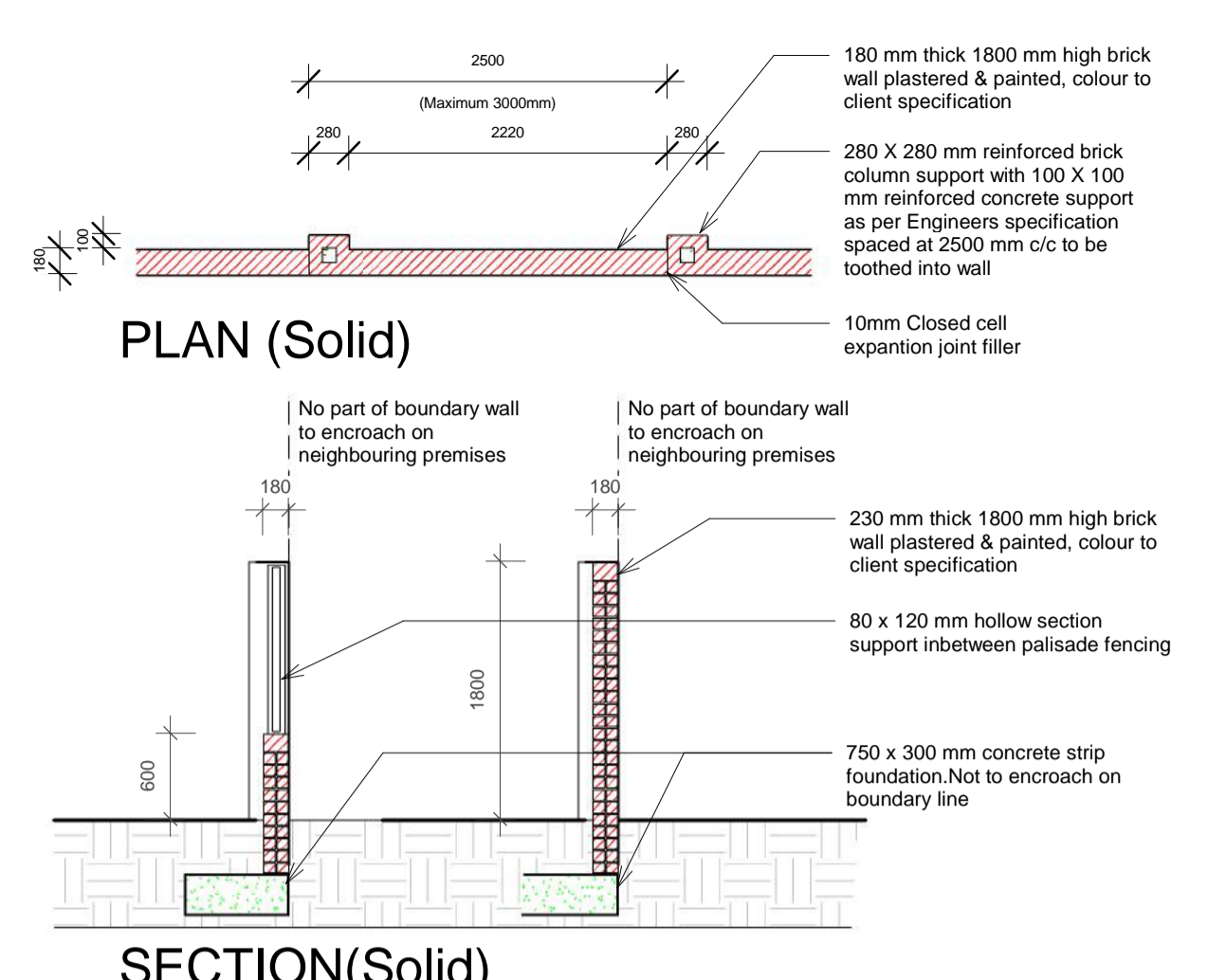
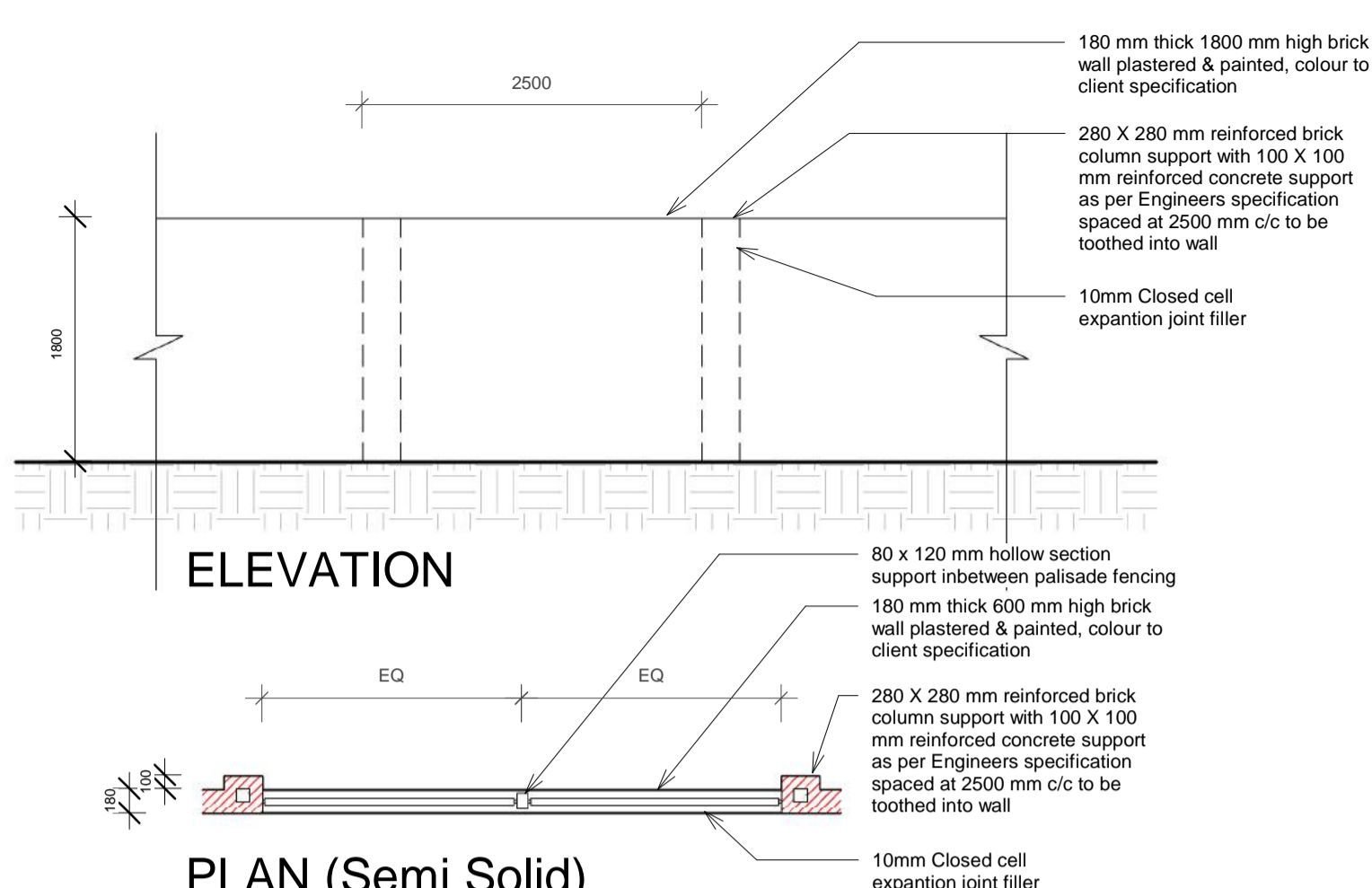


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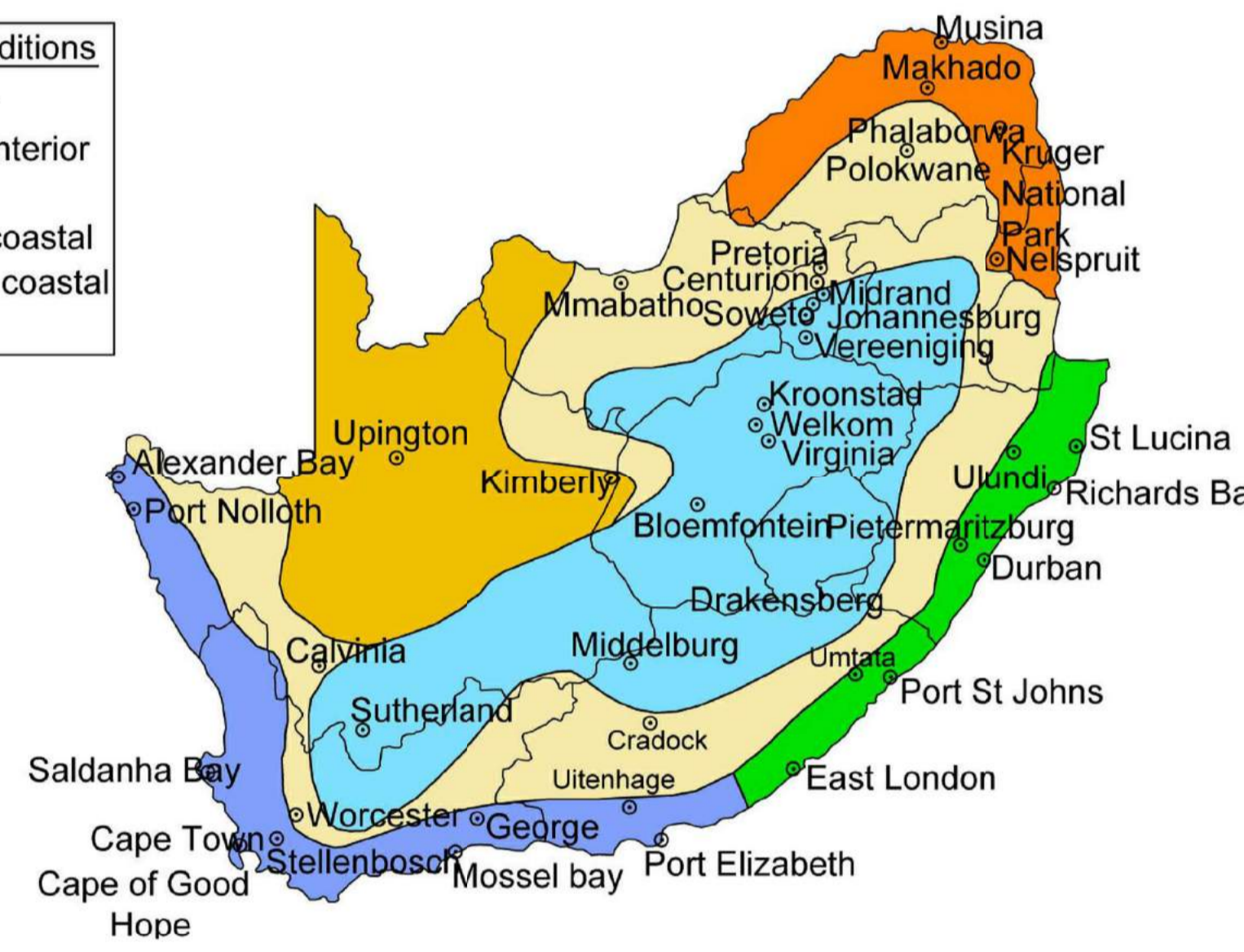


## BOUNDARY WALL DETAIL

Scale: 1 : 50

**Zone Climate Conditions**

1	Cold interior
2	Temperate interior
3	Hot interior
4	Temperate coastal
5	Sub-tropical coastal
6	Arid interior



## WASTE MANAGEMENT

OCCUPATION STAGE			
	TYPE OF WASTE	EXPECTED VOLUME	DISPOSAL METHOD
1	General Waste	2.15m³ daily	Pikitup
2	Putrescible Waste	N/A	None
3	Medical Risk Waste	N/A	None
4	Hazardous Waste	N/A	None

f (g) x FA / 100 = m³ per Week  
0,1425 x 277 m² = 39.47 once per Week

4 bins (250 litres) per m³  
**16 Bins - Provided Bins = 18 Bins**

1 m² per bin  
**17 m² Refuse Room - Provided = 21 Refuse Room**

- REFUSE AREA: REQUIREMENTS**
- \*Door to be 1.2m wide.
  - \*Door to be solid to screen refuse.
  - \*Floor fully to be connected to sewerage system.
  - \*Stormwater from outside refuse area must not enter the floor gully.
  - \*Minimum height of walls to be 1.8m High
  - \*Walls to be cement plastered.
  - \*Painted in a light colour, durable washable surface finish.
  - \*Concrete floor, with rounded screed edges to a height of 75mm around internal perimeter.
  - \*Door shall have steel kicker plate of 150mm at the bottom of the door.
  - \*240l bin - waste removal technology.
  - \*Pikitup must enter premises.

- GENERAL REQUIREMENTS:**
- \*No builders waste/rubble may be deposited in any location other than a permitted landfill or at a builders rubble processing plant.
  - \*Any one found dumping spoil from excavations on private property without a letter of authorization from the owner of the land will be prosecuted.
  - \*Any one found dumping any thing on public property without authorisation will be prosecuted.
  - \*No builder's rubble or spoil from excavations may be dumped in any streambed or within the 1:100 year flood-line area along a stream.
  - \*All hazardous waste such as silica, asbestos, mercury oxide from fluorescent tubes etc must be stored separately and disposed of at a hazardous waste disposal facility.

**NOTE 4.0**  
**HOT WATER DEMAND AND SUPPLY**  
Refer to plan for detail specification  
Assumed Hot Water Consumption 100l/day  
Requirement by alternative resource 50% of daily requirement  
Daily hot water supply required 50l  
Provided 100l

**NOTE 5.0**  
**HOT WATER PIPE INSULATION**  
Pipe Insulation value 1.00  
Isover Snap-On rigid non-combustible lightweight Glasswool (35mm) reinforced pipe insulation with plain facing, nominal density 75kg/m³, in 1000mm snap-on pipe sections, fitted to copper pipes and fittings, all as per manufacturer's recommendations.

**NOTE 6.0**  
**HOT WATER VESSEL**  
Hot water vessel insulation R value 2.56  
Isover 100mm (2x 50 mm) thick non-combustible, lightweight Glasswool foil faced geyser insulation blanket, size 3507 x 1200mm with edges sealed with bonding tape including 15 x 20mm Glasswool Snap-on pipe insulation on hot and cold water pipes, all installed in accordance with manufacturer's recommendations.

**NOTE 7.0**  
**WINDOW AND DOOR DETAILS**  
All architectural details and specifications to the fenestration calculations to comply with SANS 10400 Part X (Energy Efficiency), Part T (Fire) Part W (Fire Installation) and Part N (Glazing).

**NOTE 8.0**  
**AIR LEAKAGE TO WINDOWS AND DOORS**  
Air leakage shall not exceed:  
Opening fenestration area at maximum of 2 #/sqm²  
Fixed glazing/fenestration area at maximum 0.306 #/sqm²  
Swinging doors, sliding doors fenestration area at maximum 5 #/sqm²

**NOTE 9.0**  
**EXTERNAL ALL CONSTRUCTION**  
External load bearing walls to be constructed with 2 x 110 mm masonry bricks. Both external wall facades to be plastered in accordance with minimum manufactures standards (eg. PPC Portland Cement or similar, SABS Approved) and painted in accordance with minimum manufactures standards (eg. Duraline or similar, SABS Approved)

**TOTAL HOT WATER DEMAND & STORAGE | THWD and THWS | Refer to SANS 10252-1 Table 5**

1.0	Annual Energy Use Calculation 1	THWD = f (Mass) x SHC x ΔT = 65 # x (42 persons) x 4.182J x 18° = 205,503 kJ = 0.20555 MJ
2.0	Annual Requirement Calculation 2	THWD / 50% = 102.752 MJ
3.0	Q-Factor Calculation 3 (by supplier)	100 # - 13.982 MJ - Single Solar Panel 150 # - 15.634 MJ - Single Solar Panel 200 # - 21.051 MJ - Single Solar Panel 250 # - 32.451 MJ - Double Solar Panel 300 # - 30.600 MJ - Double Solar Panel
	Provision	11 x 150 # = 11 x 15.634 MJ Total = 171.974 MJ
	Status	Sufficient Supply
4.0	Total Hot Water Supply Calculation 4	THWS = Population x Volume = 42 persons x 65l / capita = 2730 liters
5.0	Conclusion/Compliance	Therefore based on Calculations 1 to 4, a minimum of 100l of daily hot water storage to be provided. Based on the calculations and to comply with the minimum requirements it is recommended that a total of 100 liters (1 x 100 liters), Hot Water Vessel & Heat Pump to be installed to comply with the minimum storage requirement.
6.0	Annual Energy Production Calculation 5	Q-Factor / (1kWh = 3.6 MJ) = 68.79 MJ / 3.6 MJ = 19.108 kWh

Kwikot Kwikpump Domestic Heat Pump Standard, HP 003 150liter. Size 885mm x 360mm x 600mm. Front and back side grid, normal steel with power painting or similar product. All to manufacturer's details and specifications and Architectural professionals Approval.

**REFERENCE NOTES**

**NOTE 1.0**  
**SURFACE BED CONSTRUCTION:**  
Requirement minimum R-value 1.0 required in terms of SANS XA section 4.4.2 and SANS 204 section 4.3:  
100 mm concrete surface bed  
R-value of 0.37  
Achieved 0.37

**NOTE 2.0**  
**FENESTRATION SPECIFICATION**  
Refer to Window and Door schedule for detail specification

Product Specification Aluminium  
Glass Specification GSA E Range Tinted PVB interlayers Cool Grey LOW E

**NOTE 3.0**  
**ROOF CONSTRUCTION**  
Required Value 3.7  
Roof covering 0.34  
Ceiling Board Gypsum plastered and painted = 0.06  
Coverland double-sided Radenshield reflective barrier (Code: 605202) with joints lapped 150mm, fixed over rafters. = 0.75  
Under roof covering insulation Isover flexible min 135mm Thick Aerolite non-combustible lightweight fibreglass reinforced insulation blanket (Class 1 fire index rating), closely fitted with ends butted firmly between tie beams and laid loose on top of bracing between roof timbers, all in accordance with manufacturer's recommendations = 2.55  
Ceiling board insulation Isover flexible min 135mm Thick Aerolite non-combustible lightweight fibreglass reinforced insulation blanket (Class 1 fire index rating), closely fitted with ends butted firmly between tie beams and laid loose on top of bracing between roof timbers, all in accordance with manufacturer's recommendations = 2.55  
Achieved = 3.7 m². k/W

**COMPLIANCE TO SANS 10400 X (XA) AND SANS 204**

**ADDITIONAL SANS 10400 PART X (XA) AND SANS 204 REQUIREMENT NOTES AND SPECIFICATIONS**

To be read in conjunction with the SANS 10400 XA Report (ENERGY EFFICIENCY REPORT) and CONSTRUCTION DRAWINGS with supporting documentation by Suppliers and/or Manufacturers

**PROJECT DETAILS:**  
Project Number 374  
Job Description Domestic Residence  
Client Good Hope Plasterers CC  
Erf Number 173339  
Municipality City Centre

**SANS REGULATION PERIMETERS:**  
Class of Occupation H3  
Orientation North West  
Design 24/7 (hours per day / days per week)  
Design Population 2 persons per bedroom  
Population 40 persons

**BUILDING ORIENTATION:**  
North West  
**CLIMATE ZONE:**  
4 Temperate Coastal

**FLOOR AREA:**  
Gross Floor area 1269.136m²  
nett Floor Area 959.840m²

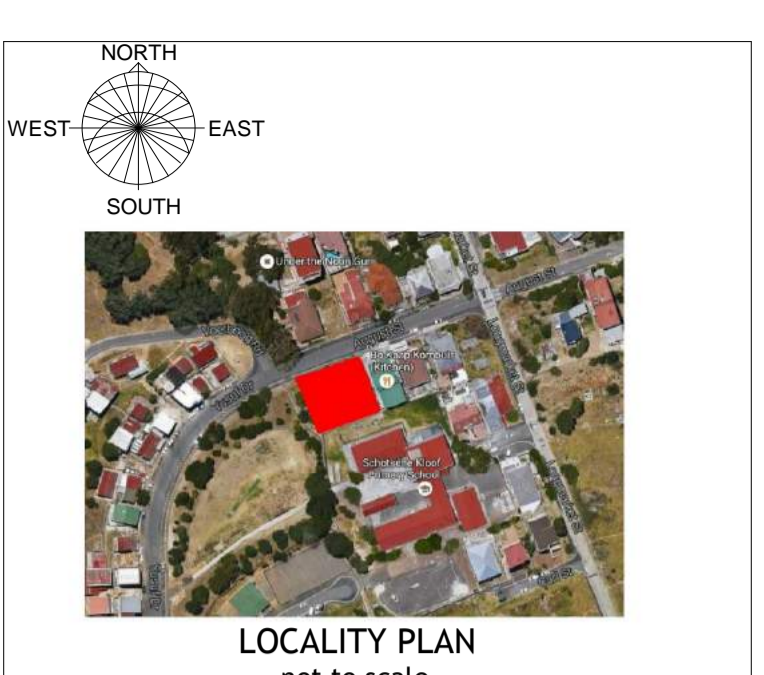
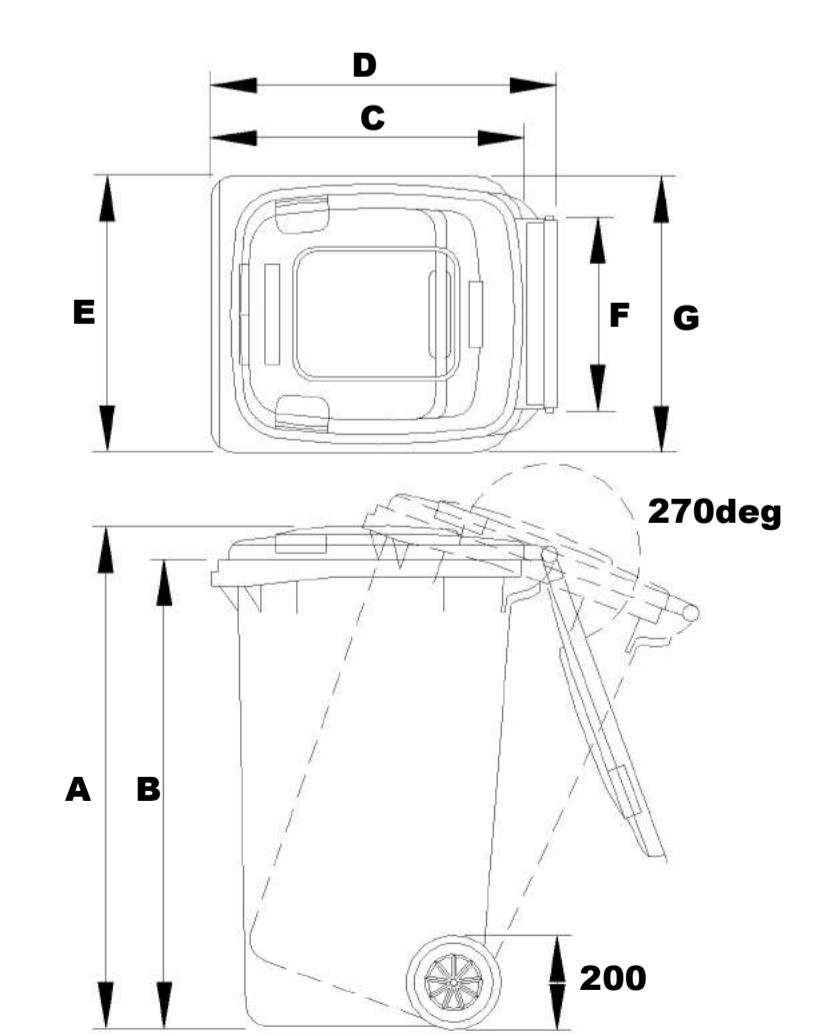
**FENESTRATION:**  
Rational fenestration required: Refer to SANS 10400 XA Report (ENERGY EFFICIENCY REPORT)

Dimensions - Weights - Standards

■ **Nominal volume:** 240 litres  
■ **Nett weight:** approx 13 kg  
■ **Max load:** 96 kg  
■ **Permitted total weight:** 110 kg

■ **A 1060mm** ■ **D 730mm** ■ **G 550mm**  
■ **B 990mm** ■ **E 585mm**  
■ **C 660mm** ■ **F 400mm**

**Measurements to be used as a guide only - variations may occur.**



**LEGAL REQUIREMENTS**  
DIMENSIONS, DESCRIPTIONS & QUANTITIES ON THESE DRAWINGS TO BE VERIFIED ON SITE BEFORE ORDERING MATERIAL OR COMMENCING WITH WORK.  
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THESE DRAWINGS DO NOT CONSTITUTE A COMPREHENSIVE SPECIFICATION FOR THE WORKS.

**DRAWING REGISTER**

Drawing:	Description Note:	Rev No. Date

**REVISIONS**

Rev	Description

OCCUPATION CLASSIFICATION	ZONING CLASSIFICATION
H3	GB5

Development Logo's:

Concept/Design  Tender  Marketing/ Presentation  
 Mun Submission  Construction  Completion/As Build

THIS DRAWING TO BE STAMPED BY BPAS FOR PENDING APPROVAL OR CONSTRUCTION. BPAS CAN NOT BE HELD LIABLE, RESPONSIBLE OR ACCOUNTABLE FOR ANY UNAUTHORIZED DRAWINGS USED FOR CONSTRUCTION. THE CONTRACTOR AND/OR EMPLOYER TO ENSURE THAT ALL DRAWINGS ARE STAMPED.



Project: Erf 173339, August Street, Schotschekloof, Cape Town

Client: GOOD HOPE PLASTERERS CC

Drawing: SANS NOTES

CHECKED	SIGNED
C.L. v.d. Spuy	
SACAP Pr. Arch. 24751167	
DATE 08/25/16	DRAWN GR
SCALE As indicated	DESIGN ELC
JOB 374	REVISION 010
DRAWING NO 900	PAPER A1
	PRINTED 2017-06-07 09:27:32 AM
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**CITY OF CAPE TOWN**  
 PLANNING & BUILDING DEVELOPMENT MANAGEMENT

Approved for Approval

This application has been approved in terms of Section 7 (1) (b) of Act 103 of 1977, subject to the conditions in the attached letter of approval.

29 Jun 2017  
 Date

Planning & Building Development Management  
 Approval Number: 97507956  
 Application Number: 000070314097



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 Fax: +27 21 914-5962 | www.bpas.co.za | info@bpas.co.za

Signatures: \_\_\_\_\_

Project: Erf 173339, August Street, Schotschekloof, Cape Town

Client: GOOD HOPE PLASTERERS CC

Drawing: Fire Protection Plan - Basement 2

CHECKED	C.L. v.d. Spuy	SIGNED	
SACAP	Pr. Arch. 24751167	DATE	11/08/16
SCALE	As indicated	DESIGN	ELC
JOB	374	REVISION	010
DRAWING NO	210	PAPER	A1
PRINTED	2017-06-07 08:54:59 AM	PATH	Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokaaap (Erf 173339)\D - Municipal\374 - 005 - 012 - Bo Kaap Apartments.rvt

**FIRE NOTES (IN TERMS OF SANS 10400:2011 PART 1)**

OCCUPANCY: H3 - DOMESTIC RESIDENCE  
 OCCUPANCY: J4 - PARKING

SECOND STOREY mezz : 102 sqm  
 SECOND STOREY : 308 sqm  
 FIRST STOREY : 308 sqm  
 GROUND STOREY : 308 sqm  
 BASEMENT STOREY 1 : 507 sqm  
 BASEMENT STOREY 2 : 220 sqm

POPULATIONS  
 TYPICAL POPULATIONS ON FLOOR AS PER SEAT COUNT ON DRAWING OR 2 PERSONS PER BEDROOM

FIRE STABILITY OF STRUCTURAL ELEMENTS OR COMPONENTS (4.7)  
 STRUCTURE STABILITY SHALL BE MIN 60MIN ACCORDING TO TABLE 6 FOR DOMESTIC RESIDENCE (H3) 3 STOREY OR HIGHER

TENANCY-SEPARATING ELEMENTS (4.8)  
 MIN 60MIN SEPARATION BETWEEN TENANTS, HORIZONTALLY AND VERTICALLY

PROTECTION OF OPENINGS (4.10)  
 MINIMUM OF 1000mm SEPARATION BETWEEN APARTMENTS, HORIZONTALLY AND VERTICALLY

ROOF ASSEMBLIES AND COVERINGS (T4.12)  
 ANY INSULATION, ROOF LINING OR WATERPROOF MEMBRANE USED UNDER A ROOF COVERING (NOT AS A CEILING) AS PART OF A ROOF ASSEMBLY MUST BE TESTED IN ACCORDANCE WITH SANS 10177-5 AND IF FOUND COMBUSTIBLE, SHALL BE ACCEPTABLE IF CLASSIFIED, MARKED AND INSTALLED IN ACCORDANCE WITH SANS 428

CEILING VOIDS SHALL BE DIVIDED INTO AREAS NO LARGER THAN 250sqm WITH NON-COMBUSTIBLE FIRE STOPS OF STABILITY AND INTEGRITY OF AT LEAST 20mins.

FLOOR COVERINGS (4.14)  
 THE CLASSIFICATION OF ANY NEW FLOOR COVERINGS SHALL BE EQUAL TO OR EXCEED THE FOLLOWING IN TERMS OF SANS10400 PART 1: TABLE 8  
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 FEEDER ROUTES : 3  
 EMERGENCY ROUTES : 1

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ESCAPE ROUTES/EMERGENCY ROUTES (4.16/4.19)  
 DISTANCES TO THE NEAREST ESCAPE DOOR DOES NOT EXCEED 45m EMERGENCY ROUTES WILL BE PROVIDED AS INDICATED

MARKING AND SIGNPOSTING (T4.29)  
 PHOTOLUMINESCENT EMERGENCY SIGNPOSTING IN ACCORDANCE WITH SANS 1186 WILL BE PROVIDED TO INSTRUCT AND INDICATE THE LOCATION OF ALL ESCAPE ROUTES AND FIRE FIGHTING EQUIPMENT.

PROVISION OF EMERGENCY LIGHTING (T4.30)  
 MINIMUM 60min EMERGENCY LIGHTING SHALL BE PROVIDED ALONG ESCAPE ROUTES, INCL. EMERGENCY ESCAPE STAIRS, TO ACHIEVE 50lux, 100mm FROM FLOOR LEVEL, 60min INTERNALLY ILLUMINATED "EXIT" SIGNAGE SHALL BE PROVIDED ABOVE PUBLIC AREA ESCAPE DOORS WITH BATTERY BACK-UP SYSTEM

WATER RETICULATION FOR FIRE FIGHTING (4.33)  
 FIRE HYDRANT AND FIRE HOSE REELS TO BE DESIGNED BY APPROVED COMPETENT INSTALLER TO ENSURE SUFFICIENT FLOW AND PRESSURE AS SPECIFIED IN SANS 10400 PART 1W.

FIRE HOSE REELS (4.34)  
 FIRE HOSE REEL TO BE PROVIDED TO ACHIEVE A RATE OF 1 HOSE REEL PER 500sqm OF BUILDING AREA OR PART THERE-OF

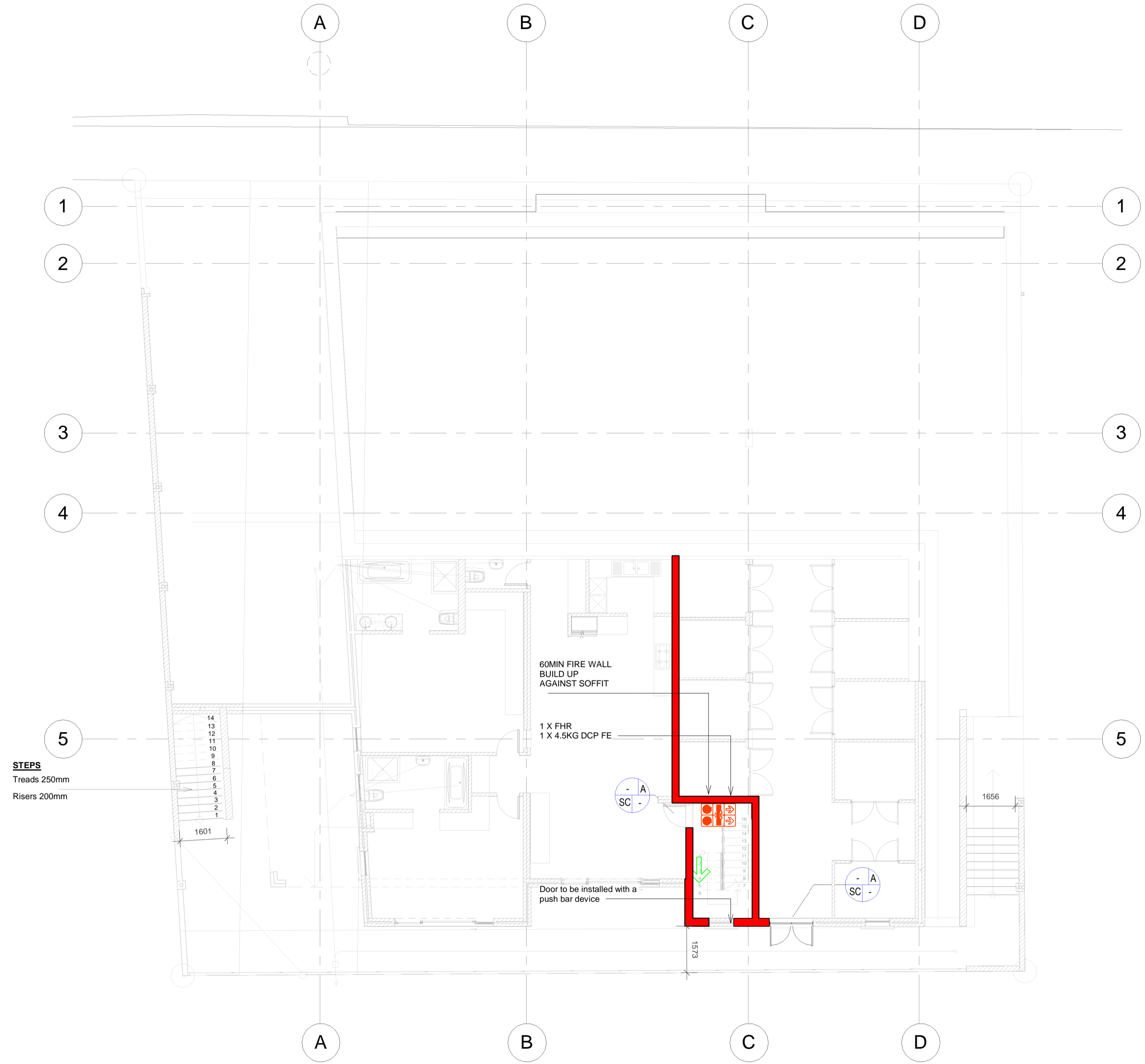
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 SITE HYDRANT TO BE INSTALLED AS INDICATED

PORTABLE FIRE EXTINGUISHERS (4.38)  
 PORTABLE FIRE EXTINGUISHERS OF TYPE 5KG CO2 AND/OR 4.5KG DCP EXTINGUISHERS TO BE PROVIDED TO ACHIEVE RATE OF 1 EXTINGUISHER PER 400sqm OF BUILDING AREA.

LIFTS (4.44)  
 LIFT SHAFT OPEN TO ATMOSPHERE

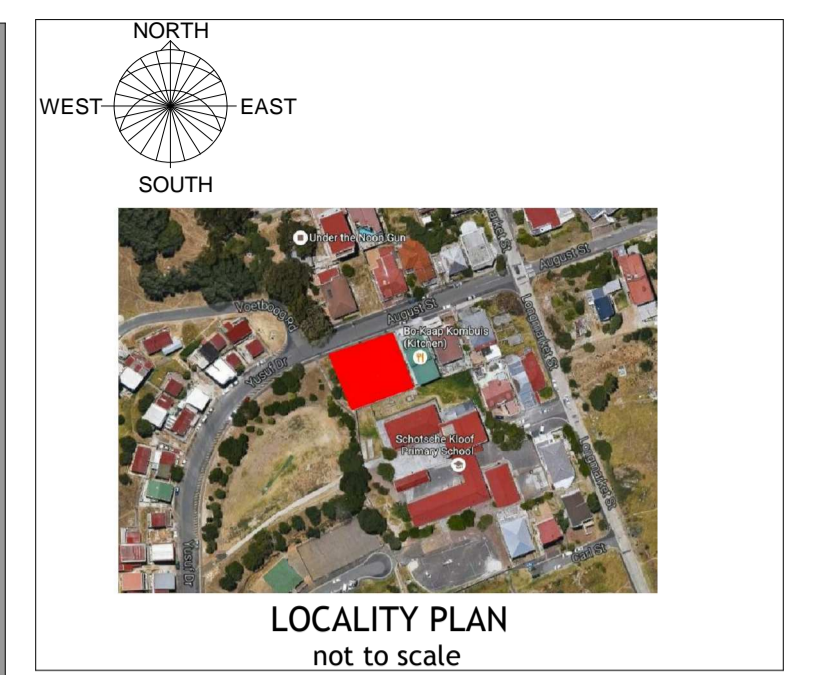
**ADDITIONAL NOTES**

- SUPPLY AND INSTALLATION OF FIRE RATED DOORS AND FRAMES:**  
 THE CONTRACTOR(S) SHALL ENSURE THAT ALL FIRE DOORS AND FRAMES ARE SUPPLIED, ASSEMBLED AND INSTALLED IN ACCORDANCE WITH THE SUPPLIER/MANUFACTURER'S SPECIFICATIONS IN ORDER TO ACHIEVE THE FIRE STABILITY AND INTEGRITY RATINGS QUOTED FOR SUCH DOORS AND FRAMES
- FIRE SEALING OF PENETRATIONS, OPENINGS AND DIVISION (FIRE RATED) WALLS:**  
 ALL PENETRATIONS AND OPENINGS IN WALLS INDICATED ON THE FIRE PLAN DRAWINGS TO BE FIRE RATED WALLS ARE TO BE CLOSED UP AND FIRE SEALED TO THE SAME RATING REQUIRED FOR SAID WALLS, USING SABS APPROVED PRODUCTS
- SURFACE FIRE INDEX OR MATERIALS OTHER THAN FLOORS:**  
 SURFACE FIRE INDEXES OF SUCH MATERIALS, INCL. ROOF INSULATION, SHALL COMPLY WITH THE REQUIREMENTS OF SANS 10400:1 TABLE 17



**Fire Plan - Basement 2**  
 Scale: 1 : 100

**Fire Legend**  
 Scale: 1 : 100



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**DRAWING REGISTER**

Drawing:	Description Note:	Rev No. Date

**REVISIONS**

No.	Description	Date

OCCUPATION CLASSIFICATION: **H3**      ZONING CLASSIFICATION: **GB5**

Development Logo's:

Concept/Design     Tender     Marketing/ Presentation  
 Mun Submission     Construction     Completion/As Build

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Signatures: \_\_\_\_\_

Project: **Erf 173339, August Street, Schotschekloof, Cape Town**

Client: **GOOD HOPE PLASTERERS CC**

Drawing: **Fire Protection Plan - Basement 1**

CHECKED	C.L. v.d. Spuy	SIGNED	_____
SACAP	Pr. Arch. 24751167	DATE	11/08/16
SCALE	As indicated	DESIGN	ELC
JOB	374	REVISION	010
DRAWING NO	211	PAPER	A1
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**OCCUPANCY:** J4 - PARKING

**SECOND STOREY mezz :** 102 sqm  
**SECOND STOREY :** 308 sqm  
**FIRST STOREY :** 308 sqm  
**GROUND STOREY :** 308 sqm  
**BASEMENT STOREY 1 :** 507 sqm  
**BASEMENT STOREY 2 :** 220 sqm

**POPULATIONS**  
 TYPICAL POPULATIONS ON FLOOR AS PER SEAT COUNT ON DRAWING OR 2 PERSONS PER BEDROOM

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 MINIMUM OF 1000mm SEPARATION BETWEEN APARTMENTS, HORIZONTALLY AND VERTICALLY

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 FEEDER ROUTES - 3  
 EMERGENCY ROUTES - 1

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 DISTANCES TO THE NEAREST ESCAPE DOOR DOES NOT EXCEED 45m EMERGENCY ROUTES WILL BE PROVIDED AS INDICATED

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**PROVISION OF EMERGENCY LIGHTING (T4.30)**  
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**WATER RETICULATION FOR FIRE FIGHTING (4.33)**  
 FIRE HYDRANT AND FIRE HOSE REELS TO BE DESIGNED BY APPROVED COMPETENT INSTALLER TO ENSURE SUFFICIENT FLOW AND PRESSURE AS SPECIFIED IN SANS 10400 PART W.

**FIRE HOSE REELS (4.34)**  
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 SITE HYDRANT TO BE INSTALLED AS INDICATED

**PORTABLE FIRE EXTINGUISHERS (4.38)**  
 PORTABLE FIRE EXTINGUISHERS OF TYPE 5KG CO2 AND/OR 4.5KG DCP EXTINGUISHERS TO BE PROVIDED TO ACHIEVE RATE OF 1 EXTINGUISHER PER 400sqm OF BUILDING AREA.

**LIFTS (4.44)**  
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**ADDITIONAL NOTES**

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 THE CONTRACTOR(S) SHALL ENSURE THAT ALL FIRE DOORS AND FRAMES ARE SUPPLIED, ASSEMBLED AND INSTALLED IN ACCORDANCE WITH THE SUPPLIER/MANUFACTURER'S SPECIFICATIONS IN ORDER TO ACHIEVE THE FIRE STABILITY AND INTEGRITY RATINGS QUOTED FOR SUCH DOORS AND FRAMES
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- SURFACE FIRE INDEX OR MATERIALS OTHER THAN FLOORS:**  
 SURFACE FIRE INDEXES OF SUCH MATERIALS, INCL. ROOF INSULATION, SHALL COMPLY WITH THE REQUIREMENTS OF SANS 10400:TABLE 17

**LEGEND**

	4.5kg or 9kg DCP EXTINGUISHER
	FIRE HOSE REEL
	FIRE HYDRANT
	DIRECTION OF TRAVEL
	E1
	E2
	E6
	F15
	F18
	F18
	F4
	F5
	F6
	J1
	J2
	J3
	DOOR CLASS: A - 60min B - 120min F - 30min
	PB - PUSH BAR
	PP - PUSH PLATE
	SC - SELF CLOSER
	DOOR WIDTH (mm)
	F2
	F3
	F23



**Fire Plan - Basement 1**  
 Scale: 1 : 100

**Fire Legend**  
 Scale: 1 : 100

**CITY OF CAPE TOWN**  
 PLANNING & BUILDING DEVELOPMENT MANAGEMENT

Approved for Approval

This application has been approved in terms of Section 7 (1) (b) of Act 103 of 1977, subject to the conditions in the attached letter of approval.

*[Signature]* 29 Jun 2017  
 Date

Planning & Building Development Management

Approval Number: 97507956

Application Number: 000070314097

**FIRE NOTES (IN TERMS OF SANS 10400:2011 PART T)**

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 OCCUPANCY: J4 - PARKING

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 BASEMENT STOREY 2 : 220 sqm

**POPULATIONS**  
 TYPICAL POPULATIONS ON FLOOR AS PER SEAT COUNT ON DRAWING OR 2 PERSONS PER BEDROOM

**FIRE STABILITY OF STRUCTURAL ELEMENTS OR COMPONENTS (4.7)**  
 STRUCTURE STABILITY SHALL BE MIN 60MIN ACCORDING TO TABLE 6 FOR DOMESTIC RESIDENCE (H3) 3 STOREY OR HIGHER

**TENANCY-SEPARATING ELEMENTS (4.8)**  
 MIN 60MIN SEPARATION BETWEEN TENANTS, HORIZONTALLY AND VERTICALLY

**PROTECTION OF OPENINGS (4.10)**  
 MINIMUM OF 1000mm SEPARATION BETWEEN APARTMENTS, HORIZONTALLY AND VERTICALLY

**ROOF ASSEMBLIES AND COVERINGS (T4.12)**  
 ANY INSULATION, ROOF LINING OR WATERPROOF MEMBRANE USED UNDER A ROOF COVERING (NOT AS A CEILING) AS PART OF A ROOF ASSEMBLY MUST BE TESTED IN ACCORDANCE WITH SANS 10177-5 AND IF FOUND COMBUSTIBLE, SHALL BE ACCEPTABLE IF CLASSIFIED, MARKED AND INSTALLED IN ACCORDANCE WITH SANS 428

CEILING VOIDS SHALL BE DIVIDED INTO AREAS NO LARGER THAN 250sqm WITH NON-COMBUSTIBLE FIRE STOPS OF STABILITY AND INTEGRITY OF AT LEAST 20mins.

**FLOOR COVERINGS (4.14)**  
 THE CLASSIFICATION OF ANY NEW FLOOR COVERINGS SHALL BE EQUAL TO OR EXCEED THE FOLLOWING IN TERMS OF SANS10400 PART T: TABLE 8  
 H3 - DOMESTIC RESIDENCE : 3  
 FEEDER ROUTES : 3  
 EMERGENCY ROUTES : 1

**INTERNAL FINISHES (4.15)**  
 THE CLASSIFICATION OF ANY NEW INTERNAL FINISHES SHALL BE EQUAL TO OR EXCEED THE FOLLOWING IN TERMS OF SANS10400 PART T: TABLE 9  
 H3 - DOMESTIC RESIDENCE : 3  
 FEEDER ROUTES : 3  
 EMERGENCY ROUTES : 1

**ESCAPE ROUTES/EMERGENCY ROUTES (4.16/4.19)**  
 DISTANCES TO THE NEAREST ESCAPE DOOR DOES NOT EXCEED 45m EMERGENCY ROUTES WILL BE PROVIDED AS INDICATED

**MARKING AND SIGNPOSTING (T4.29)**  
 PHOTOLUMINESCENT EMERGENCY SIGNPOSTING IN ACCORDANCE WITH SANS 1186 WILL BE PROVIDED TO INSTRUCT AND INDICATE THE LOCATION OF ALL ESCAPE ROUTES AND FIRE FIGHTING EQUIPMENT.

**PROVISION OF EMERGENCY LIGHTING (T4.30)**  
 MINIMUM 60min EMERGENCY LIGHTING SHALL BE PROVIDED ALONG ESCAPE ROUTES, INCL. EMERGENCY ESCAPE STAIRS, TO ACHIEVE 50lux, 100mm FROM FLOOR LEVEL, 60min INTERNALLY ILLUMINATED "EXIT" SIGNAGE SHALL BE PROVIDED ABOVE PUBLIC AREA ESCAPE DOORS WITH BATTERY BACK-UP SYSTEM

**WATER RETICULATION FOR FIRE FIGHTING (4.33)**  
 FIRE HYDRANT AND FIRE HOSE REELS TO BE DESIGNED BY APPROVED COMPETENT INSTALLER TO ENSURE SUFFICIENT FLOW AND PRESSURE AS SPECIFIED IN SANS 10400 PART W.

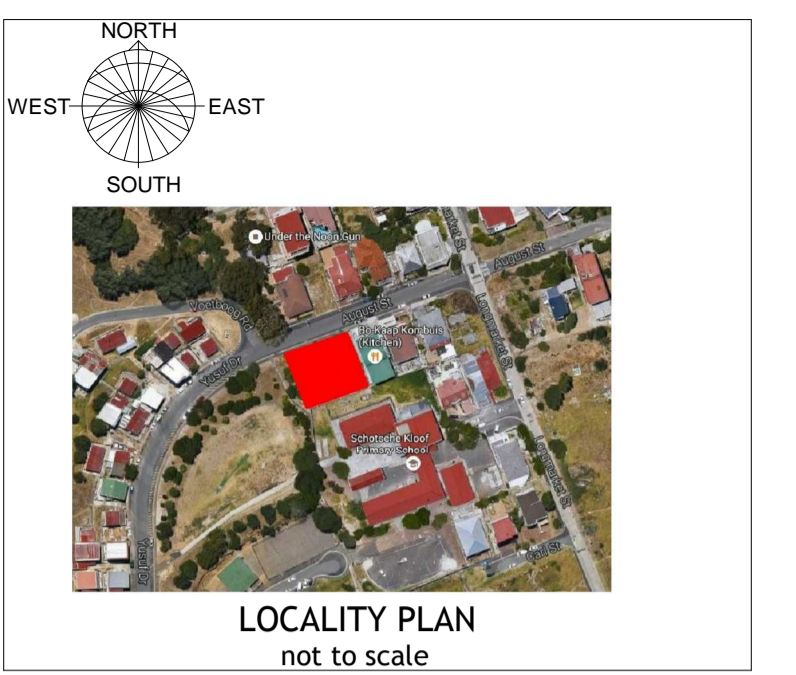
**FIRE HOSE REELS (4.34)**  
 FIRE HOSE REEL TO BE PROVIDED TO ACHIEVE A RATE OF 1 HOSE REEL PER 500sqm OF BUILDING AREA OR PART THERE-OF

**FIRE HYDRANT (4.35)**  
 SITE HYDRANT TO BE INSTALLED AS INDICATED

**PORTABLE FIRE EXTINGUISHERS (4.38)**  
 PORTABLE FIRE EXTINGUISHERS OF TYPE 5KG CO2 AND/OR 4.5KG DCP EXTINGUISHERS TO BE PROVIDED TO ACHIEVE RATE OF 1 EXTINGUISHER PER 400sqm OF BUILDING AREA.

**LIFTS (4.44)**  
 LIFT SHAFT OPEN TO ATMOSPHERE

- ADDITIONAL NOTES**
- SUPPLY AND INSTALLATION OF FIRE RATED DOORS AND FRAMES:**  
 THE CONTRACTOR(S) SHALL ENSURE THAT ALL FIRE DOORS AND FRAMES ARE SUPPLIED, ASSEMBLED AND INSTALLED IN ACCORDANCE WITH THE SUPPLIER/MANUFACTURER'S SPECIFICATIONS IN ORDER TO ACHIEVE THE FIRE STABILITY AND INTEGRITY RATINGS QUOTED FOR SUCH DOORS AND FRAMES
  - FIRE SEALING OF PENETRATIONS, OPENINGS AND DIVISION (FIRE RATED) WALLS:**  
 ALL PENETRATIONS AND OPENINGS IN WALLS INDICATED ON THE FIRE PLAN DRAWINGS TO BE FIRE RATED WALLS ARE TO BE CLOSED UP AND FIRE SEALED TO THE SAME RATING REQUIRED FOR SAID WALLS, USING SABS APPROVED PRODUCTS
  - SURFACE FIRE INDEX OR MATERIALS OTHER THAN FLOORS:**  
 SURFACE FIRE INDEXES OF SUCH MATERIALS, INCL. ROOF INSULATION, SHALL COMPLY WITH THE REQUIREMENTS OF SANS 10400:T TABLE 17



**LEGAL REQUIREMENTS**  
 DIMENSIONS, DESCRIPTIONS & QUANTITIES ON THESE DRAWINGS TO BE VERIFIED ON SITE BEFORE ORDERING MATERIAL OR COMMENCING WITH WORK.

ALL WORK TO BE CARRIED OUT IN STRICT ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS & STANDARDS ACT (ACT 103 OF 1977 & SANS 10400).

ALL TIMBER SIZES & GRADES TO BE VERIFIED & APPROVED BY SUPPLIER'S ENGINEER.

ALL TRUSSES TO BE IN ACCORDANCE WITH SUPPLIER'S / ENGINEER'S DESIGN & APPROVAL BY CLIENT.

ALL MATERIALS TO BE BUILT IN / APPLIED STRICTLY IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.

ALL LOCAL AUTHORITY, UTILITY SERVICE PROVIDER REQUIREMENTS TO BE ESTABLISHED IN ADVANCE AND ADHERED TO.

ALL BOUNDARY PEGS TO BE LOCATED, AND MARKED, BEFORE WORK IS TAKEN IN HAND.

ANY DISCREPANCIES BETWEEN THESE DRAWINGS & LEGISLATION, LOCAL AUTHORITY, UTILITY SERVICE PROVIDER & GOOD CONSTRUCTION PRACTICE TO BE REFERRED TO THE ARCHITECT BEFORE CONSTRUCTION COMMENCES.

ANY ASPECT DEEMED TO BE UNCLEAR TO BE REFERRED TO THE ARCHITECT FOR CLARITY.

THESE DRAWINGS DO NOT CONSTITUTE A COMPREHENSIVE SPECIFICATION FOR THE WORKS.

NO DIMENSIONS TO BE SCALED FROM THESE DRAWINGS.

**DRAWING REGISTER**

Drawing:	Description Note:	Rev No. Date

**REVISIONS**

No.	Description	Date

OCCUPATION CLASSIFICATION: **H3**  
 ZONING CLASSIFICATION: **GB5**

Development Logo's:

Concept/Design  Tender  Marketing/ Presentation  
 Mun Submission  Construction  Completion/As Build

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 Fax: +27 21 914-5982 | www.bpas.co.za | info@bpas.co.za

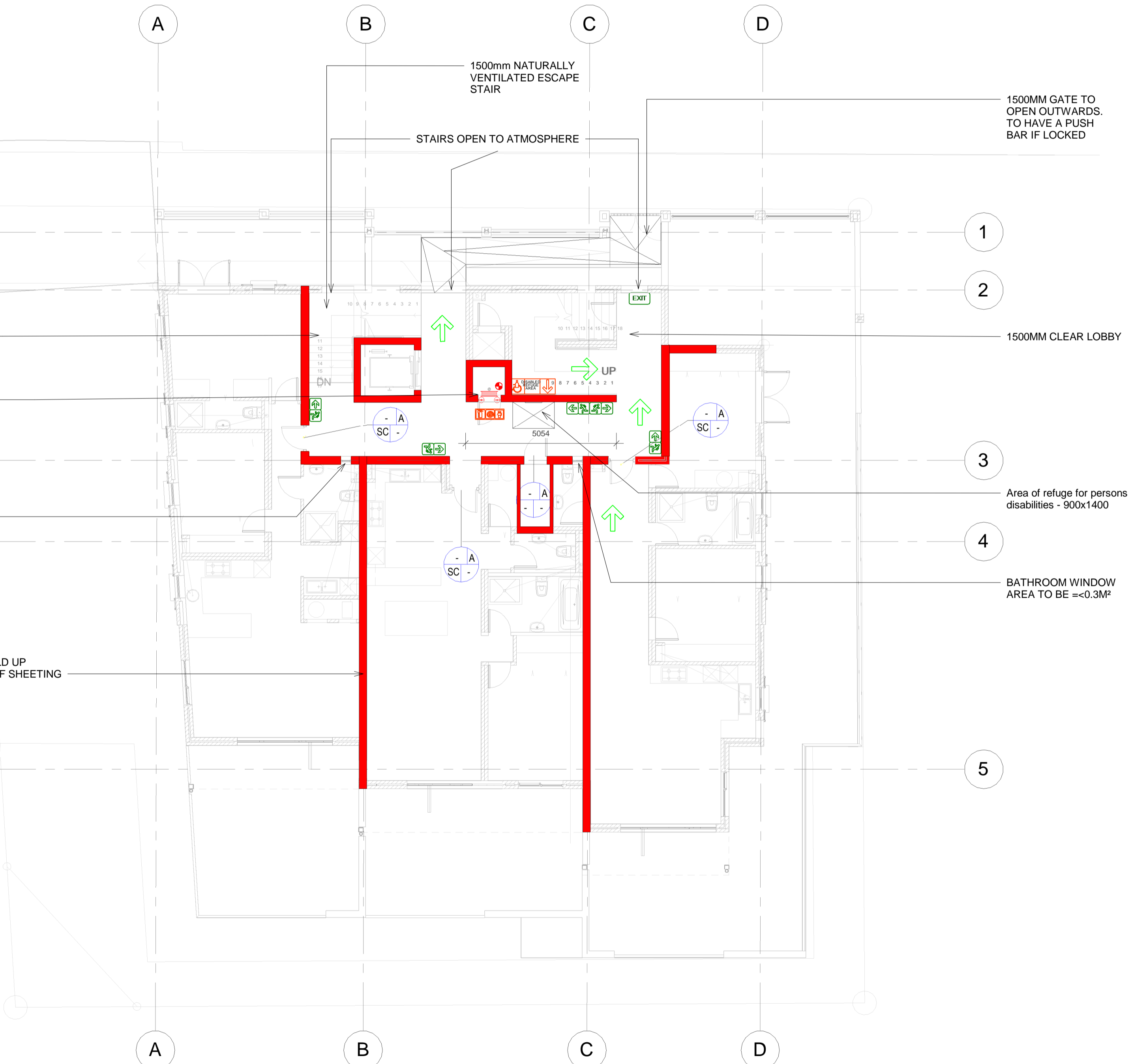
Signatures: *[Signature]*

Project: Erf 173339, August Street, Schotschekloof, Cape Town

Client: **GOOD HOPE PLASTERERS CC**

Drawing: **Fire Protection Plan - Ground Storey**

CHECKED	C.L. v.d. Spuy	SIGNED	<i>[Signature]</i>
SACAP	Pr. Arch. 24751167		
DATE	11/08/16	DRAWN	GR
SCALE	As indicated	DESIGN	ELC
JOB	374	REVISION	010
DRAWING NO	212	PAPER	A1
		PRINTED	2017-06-07 08:55:03 AM
		PATH	Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokkaap (Erf 173339)\D - Municipality\374 - 005 - 012 - Bo Kaap Apartments.rvt



**Fire Plan - Ground Storey**  
 Scale: 1 : 100

**Fire Legend**  
 Scale: 1 : 100

**LEGEND**

- 4.5kg or 9kg DCP EXTINGUISHER
- FIRE HOSE REEL
- FIRE HYDRANT
- DIRECTION OF TRAVEL
- E1
- E2
- EXIT E6
- F15
- F18
- F18
- F4
- F5
- F6
- J1
- J2
- J3
- DOOR CLASS: A - 60min  
B - 120min  
F - 30min
- PB - PUSH BAR  
PP - PUSH PLATE
- SC - SELF CLOSER
- DOOR WIDTH (mm)
- F2
- F3
- F23

**CITY OF CAPE TOWN**  
 PLANNING & BUILDING DEVELOPMENT MANAGEMENT  
 This application has been approved in terms of Section 7 (1) (b) of Act 103 of 1977, subject to the conditions in the attached letter of approval.  
 29 Jun 2017  
 Planning & Building Development Management  
 Approval Number: 97507956  
 Application Number: 000070314097

**FIRE NOTES (IN TERMS OF SANS 10400:2011 PART T)**

**OCCUPANCY:** H3 - DOMESTIC RESIDENCE  
**OCCUPANCY:** J4 - PARKING

**SECOND STOREY mezz :** 102 sqm  
**SECOND STOREY :** 308 sqm  
**FIRST STOREY :** 308 sqm  
**GROUND STOREY :** 308 sqm  
**BASEMENT STOREY 1 :** 507 sqm  
**BASEMENT STOREY 2 :** 220 sqm

**POPULATIONS**  
 TYPICAL POPULATIONS ON FLOOR AS PER SEAT COUNT ON DRAWING OR 2 PERSONS PER BEDROOM

**FIRE STABILITY OF STRUCTURAL ELEMENTS OR COMPONENTS (4.7)**  
 STRUCTURE STABILITY SHALL BE MIN 60MIN ACCORDING TO TABLE 6 FOR DOMESTIC RESIDENCE (H3) 3 STOREY OR HIGHER

**TENANCY-SEPARATING ELEMENTS (4.8)**  
 MIN 60MIN SEPARATION BETWEEN TENANTS, HORIZONTALLY AND VERTICALLY

**PROTECTION OF OPENINGS (4.10)**  
 MINIMUM OF 1000mm SEPARATION BETWEEN APARTMENTS, HORIZONTALLY AND VERTICALLY

**ROOF ASSEMBLIES AND COVERINGS (T4.12)**  
 ANY INSULATION, ROOF LINING OR WATERPROOF MEMBRANE USED UNDER A ROOF COVERING (NOT AS A CEILING) AS PART OF A ROOF ASSEMBLY MUST BE TESTED IN ACCORDANCE WITH SANS 10177-5 AND IF FOUND COMBUSTIBLE, SHALL BE ACCEPTABLE IF CLASSIFIED, MARKED AND INSTALLED IN ACCORDANCE WITH SANS 426

**CEILING VOIDS SHALL BE DIVIDED INTO AREAS NO LARGER THAN 250sqm WITH NON-COMBUSTIBLE FIRE STOPS OF STABILITY AND INTEGRITY OF AT LEAST 20mins.**

**FLOOR COVERINGS (4.14)**  
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 H3 - DOMESTIC RESIDENCE - 3  
 FEEDER ROUTES - 3  
 EMERGENCY ROUTES - 1

**INTERNAL FINISHES (4.15)**  
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 H3 - DOMESTIC RESIDENCE - 3  
 FEEDER ROUTES - 3  
 EMERGENCY ROUTES - 1

**ESCAPE ROUTES/EMERGENCY ROUTES (4.16.1.19)**  
 DISTANCES TO THE NEAREST ESCAPE DOOR DOES NOT EXCEED 45m EMERGENCY ROUTES WILL BE PROVIDED AS INDICATED

**MARKING AND SIGNPOSTING (T4.29)**  
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**PROVISION OF EMERGENCY LIGHTING (T4.30)**  
 MINIMUM 60min EMERGENCY LIGHTING SHALL BE PROVIDED ALONG ESCAPE ROUTES, INCL. EMERGENCY ESCAPE STAIRS, TO ACHIEVE 50lux, 100mm FROM FLOOR LEVEL, 60min INTERNALLY ILLUMINATED "EXIT" SIGNAGE SHALL BE PROVIDED ABOVE PUBLIC AREA ESCAPE DOORS WITH BATTERY BACK-UP SYSTEM

**WATER RETICULATION FOR FIRE FIGHTING (4.33)**  
 FIRE HYDRANT AND FIRE HOSE REELS TO BE DESIGNED BY APPROVED COMPETENT INSTALLER TO ENSURE SUFFICIENT FLOW AND PRESSURE AS SPECIFIED IN SANS 10400 PART W.

**FIRE HOSE REELS (4.34)**  
 FIRE HOSE REEL TO BE PROVIDED TO ACHIEVE A RATE OF 1 HOSE REEL PER 500sqm OF BUILDING AREA OR PART THERE-OF

**FIRE HYDRANT (4.35)**  
 SITE HYDRANT TO BE INSTALLED AS INDICATED

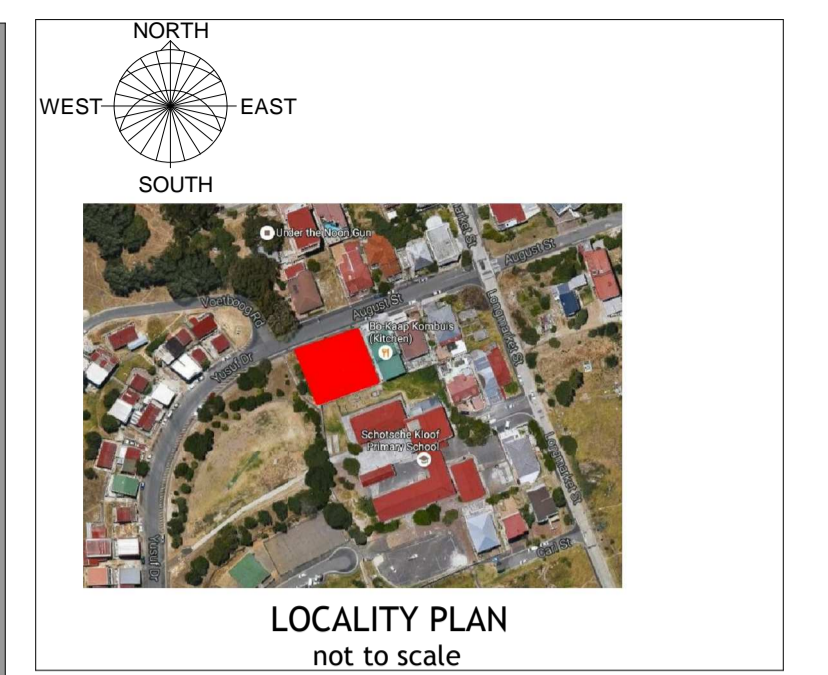
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**LIFTS (4.44)**  
 LIFT SHAFT OPEN TO ATMOSPHERE

**ADDITIONAL NOTES**

- SUPPLY AND INSTALLATION OF FIRE RATED DOORS AND FRAMES:**  
 THE CONTRACTOR(S) SHALL ENSURE THAT ALL FIRE DOORS AND FRAMES ARE SUPPLIED, ASSEMBLED AND INSTALLED IN ACCORDANCE WITH THE SUPPLIER/MANUFACTURERS SPECIFICATIONS IN ORDER TO ACHIEVE THE FIRE STABILITY AND INTEGRITY RATINGS QUOTED FOR SUCH DOORS AND FRAMES
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- SURFACE FIRE INDEX OR MATERIALS OTHER THAN FLOORS:**  
 SURFACE FIRE INDEXES OF SUCH MATERIALS, INCL. ROOF INSULATION, SHALL COMPLY WITH THE REQUIREMENTS OF SANS 10400:T TABLE 17

LEGEND	
	4.5kg or 9kg DCP EXTINGUISHER
	FIRE HOSE REEL
	FIRE HYDRANT
	DIRECTION OF TRAVEL
	E1
	E2
	E6
	F15
	F18
	F18
	F4
	F5
	F6
	J1
	J2
	J3
	DOOR CLASS: A - 60min : B - 120min : F - 30min
	PB - PUSH BAR
	PP - PUSH PLATE
	SC - SELF CLOSER
	DOOR WIDTH (mm)
	F2
	F3
	F23



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 DIMENSIONS, DESCRIPTIONS & QUANTITIES ON THESE DRAWINGS TO BE VERIFIED ON SITE BEFORE ORDERING MATERIAL OR COMMENCING WITH WORK.  
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DRAWING REGISTER		
Drawing:	Description Note:	Rev No. Date

REVISIONS	

OCCUPATION CLASSIFICATION: **H3**      ZONING CLASSIFICATION: **GB5**

Development Logo's:

Concept/Design     Tender     Marketing/ Presentation  
 Mun Submission     Construction     Completion/As Build

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Signatures: \_\_\_\_\_

Project: **Erf 173339, August Street, Schotschekloof, Cape Town**

Client: **GOOD HOPE PLASTERERS CC**

Drawing: **Fire Protection Plan - First Storey**

CHECKED	C.L. v.d. Spuy	SIGNED	
SACAP	Pr. Arch. 24751167	DATE	11/08/16
SCALE	As indicated	DESIGN	ELC
JOB	374	REVISION	010
DRAWING NO	213	PAPER	A1
PRINTED	2017-06-07 08:55:04 AM		
PATH	Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokaaap (Erf 173339)\D - Municipal\374 - 005 - 012 - Bo Kaap Apartments.rvt		



**Fire Plan - First Storey**  
 Scale: 1 : 100

**Fire Legend**  
 Scale: 1 : 100

**FIRE NOTES (IN TERMS OF SANS 10400:2011 PART 1)**

**OCCUPANCY:** H3 - DOMESTIC RESIDENCE  
**OCCUPANCY:** J4 - PARKING

**SECOND STOREY mezz :** 102 sqm  
**SECOND STOREY :** 308 sqm  
**FIRST STOREY :** 308 sqm  
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CEILING VOIDS SHALL BE DIVIDED INTO AREAS NO LARGER THAN 250sqm WITH NON-COMBUSTIBLE FIRE STOPS OF STABILITY AND INTEGRITY OF AT LEAST 20mins.

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 EMERGENCY ROUTES - 1

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 FIRE HOSE REEL TO BE PROVIDED TO ACHIEVE A RATE OF 1 HOSE REEL PER 500sqm OF BUILDING AREA OR PART THEREOF

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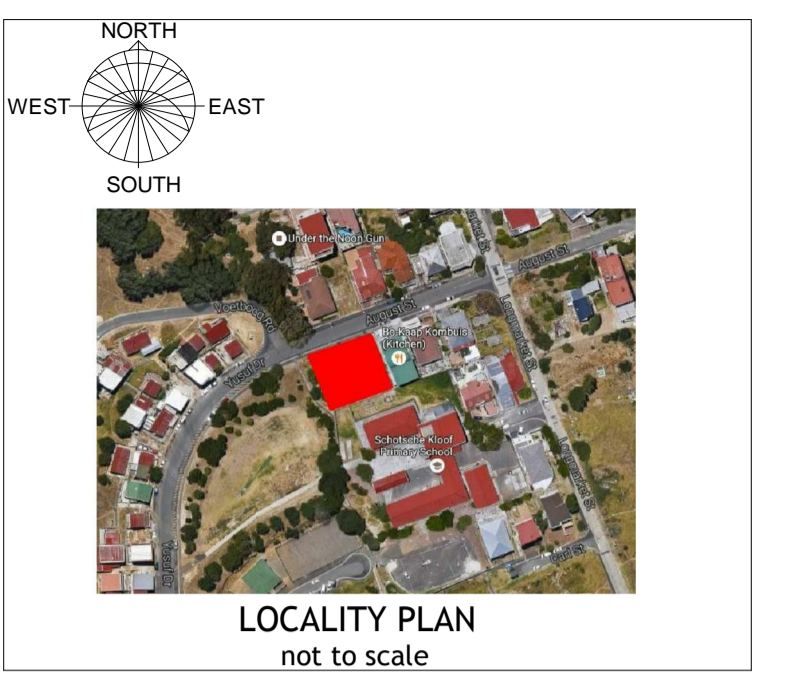
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LEGEND	
	4.5kg or 9kg DCP EXTINGUISHER
	FIRE HOSE REEL
	FIRE HYDRANT
	DIRECTION OF TRAVEL
	E1
	E2
	EXIT
	F15
	F18
	F18
	F4
	F5
	F6
	J1
	J2
	J3
	DOOR CLASS: A - 60min B - 120min F - 30min
	PB - PUSH BAR
	PP - PUSH PLATE
	SC - SELF CLOSER
	DOOR WIDTH (mm)
	F2
	F3
	F23



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DRAWING REGISTER		
Drawing:	Description Note:	Rev No. Date

REVISIONS	

OCCUPATION CLASSIFICATION: **H3**      ZONING CLASSIFICATION: **GB5**

Development Logo's:

Concept/Design     Tender     Marketing/ Presentation  
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 Fax: +27 21 914-9962 | www.bpas.co.za | info@bpas.co.za

Project: **Erf 173339, August Street, Schotschekloof, Cape Town**

Client: **GOOD HOPE PLASTERERS CC**

Drawing: **Fire Protection Plan - Second Storey**

CHECKED	C.L. v.d. Spuy	SIGNED	
SACAP	Pr. Arch. 24751167		
DATE	11/08/16	DRAWN	GR
SCALE	As indicated	DESIGN	ELC
JOB	374	REVISION	010
DRAWING NO	214	PAPER	A1
		PRINTED	2017-06-07 08:55:06 AM
		PATH	Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokaaap (Erf 173339)\D - Municip\374 - 005 - 012 - Bo Kaap Apartments.rvt



**Fire Plan - Second Storey**  
 Scale: 1 : 100

**Fire Legend**  
 Scale: 1 : 100

**CITY OF CAPE TOWN**  
 PLANNING & BUILDING DEVELOPMENT MANAGEMENT

Approved for Approval

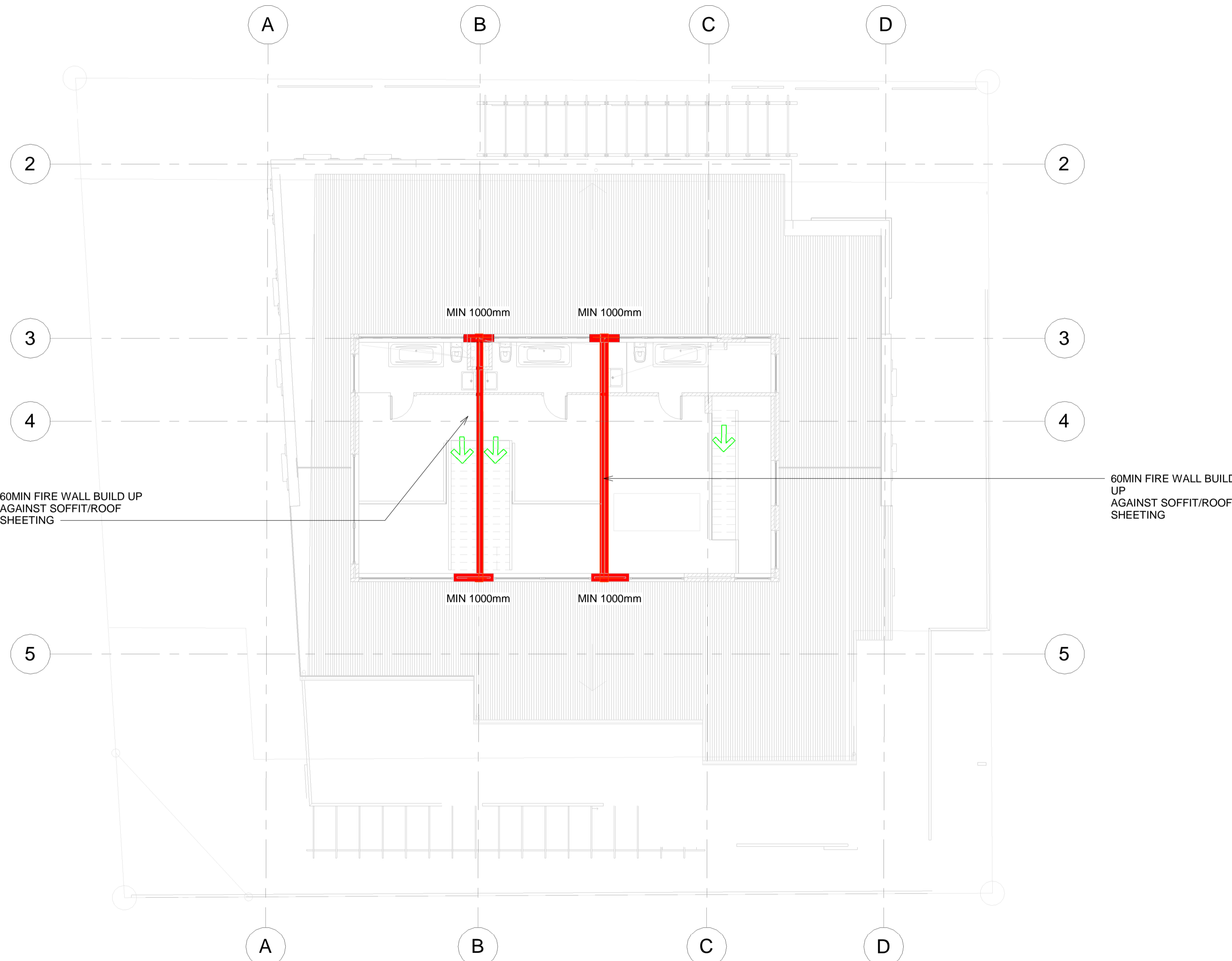
This application has been approved in terms of Section 7 (1) (b) of Act 103 of 1977, subject to the conditions in the attached letter of approval.

*[Signature]* 29 Jun 2017  
 Date

Planning & Building Development Management

Approval Number: 97507956

Application Number: 000070314097



**FIRE NOTES (IN TERMS OF SANS 10400:2011 PART 1)**

**OCCUPANCY:** H3 - DOMESTIC RESIDENCE  
**OCCUPANCY:** J4 - PARKING

**SECOND STOREY mezz :** 102 sqm  
**SECOND STOREY :** 308 sqm  
**FIRST STOREY :** 308 sqm  
**GROUND STOREY :** 308 sqm  
**BASEMENT STOREY 1 :** 507 sqm  
**BASEMENT STOREY 2 :** 220 sqm

**POPULATIONS**  
 TYPICAL POPULATIONS ON FLOOR AS PER SEAT COUNT ON DRAWING OR 2 PERSONS PER BEDROOM

**FIRE STABILITY OF STRUCTURAL ELEMENTS OR COMPONENTS (4.7)**  
 STRUCTURE STABILITY SHALL BE MIN 60MIN ACCORDING TO TABLE 6 FOR DOMESTIC RESIDENCE (H3) 3 STOREY OR HIGHER

**TENANCY-SEPARATING ELEMENTS (4.8)**  
 MIN 60MIN SEPARATION BETWEEN TENANTS, HORIZONTALLY AND VERTICALLY

**PROTECTION OF OPENINGS (4.10)**  
 MINIMUM OF 1000mm SEPARATION BETWEEN APARTMENTS, HORIZONTALLY AND VERTICALLY

**ROOF ASSEMBLIES AND COVERINGS (T4.12)**  
 ANY INSULATION, ROOF LINING OR WATERPROOF MEMBRANE USED UNDER A ROOF COVERING (NOT AS A CEILING) AS PART OF A ROOF ASSEMBLY MUST BE TESTED IN ACCORDANCE WITH SANS 10177-5 AND IF FOUND COMBUSTIBLE, SHALL BE ACCEPTABLE IF CLASSIFIED, MARKED AND INSTALLED IN ACCORDANCE WITH SANS 428

CEILING VOIDS SHALL BE DIVIDED INTO AREAS NO LARGER THAN 250sqm WITH NON-COMBUSTIBLE FIRE STOPS OF STABILITY AND INTEGRITY OF AT LEAST 20mins.

**FLOOR COVERINGS (4.14)**  
 THE CLASSIFICATION OF ANY NEW FLOOR COVERINGS SHALL BE EQUAL TO OR EXCEED THE FOLLOWING IN TERMS OF SANS 10400 PART T, TABLE 8  
 H3 - DOMESTIC RESIDENCE - 3  
 FEEDER ROUTES - 3  
 EMERGENCY ROUTES - 1

**INTERNAL FINISHES (4.15)**  
 THE CLASSIFICATION OF ANY NEW INTERNAL FINISHES SHALL BE EQUAL TO OR EXCEED THE FOLLOWING IN TERMS OF SANS 10400 PART T, TABLE 9  
 H3 - DOMESTIC RESIDENCE - 3  
 FEEDER ROUTES - 3  
 EMERGENCY ROUTES - 1

**ESCAPE ROUTES/EMERGENCY ROUTES (4.18&19)**  
 DISTANCES TO THE NEAREST ESCAPE DOOR DOES NOT EXCEED 45m EMERGENCY ROUTES WILL BE PROVIDED AS INDICATED

**MARKING AND SIGNPOSTING (T4.29)**  
 PHOTOLUMINESCENT EMERGENCY SIGNPOSTING IN ACCORDANCE WITH SANS 1186 WILL BE PROVIDED TO INSTRUCT AND INDICATE THE LOCATION OF ALL ESCAPE ROUTES AND FIRE FIGHTING EQUIPMENT.

**PROVISION OF EMERGENCY LIGHTING (T4.30)**  
 MINIMUM 60min EMERGENCY LIGHTING SHALL BE PROVIDED ALONG ESCAPE ROUTES, INCL. EMERGENCY ESCAPE STAIRS, TO ACHIEVE 50lux, 100mm FROM FLOOR LEVEL. 60min INTERNALLY ILLUMINATED "EXIT" SIGNAGE SHALL BE PROVIDED ABOVE PUBLIC AREA ESCAPE DOORS WITH BATTERY BACK-UP SYSTEM

**WATER RETICULATION FOR FIRE FIGHTING (4.33)**  
 FIRE HYDRANT AND FIRE HOSE REELS TO BE DESIGNED BY APPROVED COMPETENT INSTALLER TO ENSURE SUFFICIENT FLOW AND PRESSURE AS SPECIFIED IN SANS 10400 PART W.

**FIRE HOSE REELS (4.34)**  
 FIRE HOSE REEL TO BE PROVIDED TO ACHIEVE A RATE OF 1 HOSE REEL PER 500sqm OF BUILDING AREA OR PART THERE-OF

**FIRE HYDRANT (4.35)**  
 SITE HYDRANT TO BE INSTALLED AS INDICATED

**PORTABLE FIRE EXTINGUISHERS (4.38)**  
 PORTABLE FIRE EXTINGUISHERS OF TYPE 5KG CO2 AND/OR 4.5KG DCP EXTINGUISHERS TO BE PROVIDED TO ACHIEVE RATE OF 1 EXTINGUISHER PER 400sqm OF BUILDING AREA.

**LIFTS (4.44)**  
 LIFT SHAFT OPEN TO ATMOSPHERE

**ADDITIONAL NOTES**

- SUPPLY AND INSTALLATION OF FIRE RATED DOORS AND FRAMES:**  
 THE CONTRACTOR(S) SHALL ENSURE THAT ALL FIRE DOORS AND FRAMES ARE SUPPLIED, ASSEMBLED AND INSTALLED IN ACCORDANCE WITH THE SUPPLIER/MANUFACTURER'S SPECIFICATIONS IN ORDER TO ACHIEVE THE FIRE STABILITY AND INTEGRITY RATINGS QUOTED FOR SUCH DOORS AND FRAMES
- FIRE SEALING OF PENETRATIONS, OPENINGS AND DIVISION (FIRE RATED) WALLS:**  
 ALL PENETRATIONS AND OPENINGS IN WALLS INDICATED ON THE FIRE PLAN DRAWINGS TO BE FIRE RATED WALLS ARE TO BE CLOSED UP AND FIRE SEALED TO THE SAME RATING REQUIRED FOR SAID WALLS, USING SABS APPROVED PRODUCTS
- SURFACE FIRE INDEX OR MATERIALS OTHER THAN FLOORS:**  
 SURFACE FIRE INDEXES OF SUCH MATERIALS, INCL. ROOF INSULATION, SHALL COMPLY WITH THE REQUIREMENTS OF SANS 10400:T TABLE 17

LEGEND	
	4.5kg or 9kg DCP EXTINGUISHER
	FIRE HOSE REEL
	FIRE HYDRANT
DIRECTION OF TRAVEL	
	E1
	E2
	E6
	F15
	F18
	F18
	F4
	F5
	F6
	J1
	J2
	J3
	DOOR CLASS: A - 60min : B - 120min : F - 30min
	PB - PUSH BAR PP - PUSH PLATE
	SC - SELF CLOSER
	DOOR WIDTH (mm)
	F2
	F3
	F23



**LEGAL REQUIREMENTS**  
 DIMENSIONS, DESCRIPTIONS & QUANTITIES ON THESE DRAWINGS TO BE VERIFIED ON SITE BEFORE ORDERING MATERIAL OR COMMENCING WITH WORK.  
 ALL WORK TO BE CARRIED OUT IN STRICT ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS & STANDARDS ACT (ACT 103 OF 1977 & SANS 10400).  
 ALL TIMBER SIZES & GRADES TO BE VERIFIED & APPROVED BY SUPPLIER'S ENGINEER.  
 ALL TRUSSES TO BE IN ACCORDANCE WITH SUPPLIER'S / ENGINEER'S DESIGN & APPROVAL BY CLIENT.  
 ALL MATERIALS TO BE BUILT IN / APPLIED STRICTLY IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.  
 ALL LOCAL AUTHORITY, UTILITY SERVICE PROVIDER REQUIREMENTS TO BE ESTABLISHED IN ADVANCE AND ADHERED TO.  
 ALL BOUNDARY PEGS TO BE LOCATED, AND MARKED, BEFORE WORK IS TAKEN IN HAND.  
 ANY DISCREPANCIES BETWEEN THESE DRAWINGS & LEGISLATION, LOCAL AUTHORITY, UTILITY SERVICE PROVIDER & GOOD CONSTRUCTION PRACTICE TO BE REFERRED TO THE ARCHITECT BEFORE CONSTRUCTION COMMENCES.  
 ANY ASPECT DEEMED TO BE UNCLEAR TO BE REFERRED TO THE ARCHITECT FOR CLARITY.  
 THESE DRAWINGS DO NOT CONSTITUTE A COMPREHENSIVE SPECIFICATION FOR THE WORKS.  
 NO DIMENSIONS TO BE SCALED FROM THESE DRAWINGS.

DRAWING REGISTER		
Drawing:	Description Note:	Rev No. Date

REVISIONS	

OCCUPATION CLASSIFICATION: **H3**      ZONING CLASSIFICATION: **GB5**

Development Logo's:

Concept/Design     Tender     Marketing/ Presentation

Mun Submission     Construction     Completion/As Build

THIS DRAWING TO BE STAMPED BY BPAS FOR PENDING APPROVAL OF CONSTRUCTION. BPAS CAN NOT BE HELD LIABLE, RESPONSIBLE OR ACCOUNTABLE FOR ANY UNAUTHORIZED DRAWINGS USED FOR CONSTRUCTION. THE CONTRACTOR AND/OR EMPLOYER TO ENSURE THAT ALL DRAWINGS ARE STAMPED.

Signatures: \_\_\_\_\_

Project: **Erf 173339, August Street, Schotschekloof, Cape Town**

Client: **GOOD HOPE PLASTERERS CC**

Drawing: **Fire Protection Plan - Second Storey Mezz**

**Fire Plan - Second Storey Mezz**  
 Scale: 1 : 100

**Fire Legend**  
 Scale: 1 : 100

CHECKED	C.L. v.d. Spuy	SIGNED	
SACAP	Pr. Arch. 24751167	DATE	11/08/16
SCALE	As indicated	DESIGN	ELC
JOB	374	REVISION	010
DRAWING NO	215	PAPER	A1
PRINTED	2017-06-07 08:55:08 AM	PATH	Z:\CAD Projects\C - CURRENT PROJECTS\374 - Bokaaap (Erf 173339)\D - Municipal\374 - 005 - 012 - Bo Kaap Apartments.rvt