

# New Construction Residence for Blue Cedar Property Group

10 Fife Rd, Wellesley, MA 02481

Permit Set  
December 20, 2024



- GENERAL NOTES:**
1. ALL WORK SHALL COMPLY WITH THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION, ONE AND TWO FAMILY DWELLINGS.
  2. NO WORK SHALL COMMENCE WITHOUT RECEIPT OF APPROPRIATE BUILDING PERMITS AND APPROVALS FROM THE TOWN OF WELLESLEY.
  3. THE GENERAL CONTRACTOR (GC) SHALL NOTIFY THE ARCHITECT OF ALL DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
  4. THE PROJECT SHALL MEET THE MA ENERGY STRETCH CODE, IECC 2021 W/ MA AMENDMENTS + STRETCH CODE ADMMENDMENTS.
  5. ALL APPLICABLE APPLIANCES SHALL BE ENERGY STAR RATED.
  6. EXTERIOR WALL DIMENSIONS ARE TO THE OUTSIDE FACE OF STUD AND/OR CONCRETE.
  7. INTERIOR PARTITION DIMENSIONS ARE TO THE FACE OF THE STUD OR TO THE CENTERLINE OF THE WALL.
  8. FLOOR LEVELS ARE SET TO THE TOP OF THE PLYWOOD SUBFLOOR AND TO THE CENTERLINE OF THE CONCRETE SLAB IN THE BASEMENT.
  9. WINDOWS ARE DIMENSIONED TO THE CENTERLINE OF THE ROUGH OPENING.
  10. DOORS ARE DIMENSIONED TO THE CENTERLINE OF THE ROUGH OPENING OR TO THE FINISH EDGE OF DOOR JAMBS.
  11. INTERIOR SQUARE FOOTAGES LISTED ON PLANS IS NET SQUARE FOOTAGE OF EACH ROOM, NOT INCLUDING CLOSETS, UNLESS OTHERWISE NOTED. SEE AREA SCHEDULE FOR GROSS SQUARE FOOTAGE.
  12. GC SHALL COORDINATE ALL EARTHWORK AND EXCAVATION WITH EXISTING SEWER, GAS, WATER, ELECTRICAL AND TELECOMMUNICATIONS SERVICES.
  13. GC SHALL COORDINATE THE LOCATION OF ALL CHASES, INSERTS, OPENINGS, SLEEVES, REVEALS AND OTHER PROJECT REQUIREMENTS NOT SHOWN IN DRAWINGS.
  14. ALL NEW GYPSUM BOARD SHALL BE FINISHED WITH SKIMCOAT PLASTER, LEVEL 5 FINISH, UNLESS OTHERWISE NOTED.
  15. PROVIDE MOLD & MOISTURE RESISTANT GWB AND PLASTER IN THE BATHROOM.
  16. EXTERIOR TRIM AND MOLDINGS SHALL BE AZEK PVC. ALL FASTENERS SHALL BE STAINLESS STEEL AND HOLES FILLED HIGH PERFORMANCE SPACKLING PASTE. SAND & PRIME ALL TRIM BOARD, AND FINISH WITH 2 COATS OF EXTERIOR PAINT FOR PVC TRIM. PAINT COLOR TBD.
  17. EXTERIOR SIDING SHALL BE FIBER CEMENT PLANKS. PRE-FINISHED PLANKS MAY BE USED, BUT MUST HAVE AT LEAST ONE COAT OF EXTEIOR PAINT APPLIED AFTER INSTALLATION. PAINT COLOR TBD.

- PLUMBING NOTES:**
1. ALL PLUMBING SYSTEMS SHALL BE DESIGN/BUILD BY THE GENERAL CONTRACTOR (GC).
  2. THE GC SHALL COORDINATE THE NEW PLUMBING SYSTEM CONNECTIONS TO THE EXISTING.
  3. ALL PLUMBING FIXTURE SELECTIONS SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND THE OWNER/ARCHITECT.
  4. ALL PLUMBING PENETRATIONS IN WALLS, FLOORS AND CEILINGS SHALL BE FIRE-STOPPED W/ AN APPROVED, RATED SEALANT.
  5. THE GC SHALL PROVIDE A PASSIVE RADON VENTILATION SYSTEM BELOW THE BASEMENT SLAB. PROVIDE CONDUIT TO THE VENT LOCATION IN THE ATTIC WHERE AN ACTIVE SYSTEM CAN BE INSTALLED IN THE FUTURE. GC TO COORDINATE THIS SCOPE W/ ARCHITECT.

- HEATING, VENTILATION & AIR CONDITIONING (HVAC) NOTES:**
1. ALL HVAC SYSTEMS SHALL BE DESIGN/BUILD BY THE GENERAL CONTRACTOR (GC).
  2. THE GC SHALL PROVIDE A NEW ALL-ELECTRIC AIR-SOURCE HEAT PUMP 2-ZONE FORCED AIR HEATING AND COOLING SYSTEM. THE AIR HANDLER IN THE BASEMENT WILL SERVE THE BASEMENT AND FIRST FLOOR. THE AIR HANDLER IN THE ATTIC WILL SERVE THE SECOND FLOOR.
  3. THE GC AND MC SHALL COORDINATE THE HVAC DESIGN WITH THE INSULATION, WINDOW & DOOR SCOPE. REFER TO THE SCHEDULES AS BASIS-OF-DESIGN. IF THE SCOPE CHANGES THE GC AND MC SHALL ADJUST THE SYSTEMS ACCORDINGLY.
  4. PROVIDE PROGRAMMABLE THERMOSTATS. COORDINATE LOCATION IN FIELD WITH OWNER.
  5. THE GC SHALL COORDINATE THE SIZE AND LOCATIONS FOR ALL INTERIOR AND EXTERIOR HVAC EQUIPMENT.
  6. THE GC SHALL INFORM THE ARCHITECT OF ANY REVISIONS REQUIRED DUE TO THE LOCATIONS OF MECHANICAL EQUIPMENT AND/OR DUCTS.
  7. THE GC SHALL PROVIDE ENVIRONMENTAL EXHAUSTS FOR ALL BATHROOMS, DRYERS AND RANGE HOODS. DO NOT VENT THROUGH THE ROOF.
  8. ALL VENTS SHALL BE SIDEWALL VENTS PER THE ELEVATION DRAWINGS.

- ELECTRICAL NOTES:**
1. ALL ELECTRICAL SYSTEMS SHALL BE DESIGN/BUILD BY THE GENERAL CONTRACTOR (GC).
  2. THE GC SHALL COORDINATE THE NEW ELECTRICAL AND TELECOMMUNICATION SYSTEM CONNECTIONS TO THE EXISTING SERVICE IN THE STREET.
  3. THE GC SHALL COORDINATE THE SMOKE, CARBON MONOXIDE AND HEAT DETECTOR LOCATIONS WITH THE TOWN OF WELLESLEY BUILDING AND FIRE DEPARTMENTS. SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP.
  4. ALL LIGHTING FIXTURE SELECTION SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND THE OWNER/ARCHITECT.
  5. ALL APPLICABLE LIGHTING FIXTURES SHALL BE ENERGY STAR RATED.
  6. OUTLETS AND SWITCHES SHALL BE LEVITON DECORA WITH SNAP-ON COVERS, OR EQUAL. ALL SWITCHES SHALL BE ROCKER STYLE WITH SLIDE DIMMER. FINISH SHALL BE WHITE.

- SOLAR NOTES:**
1. THE ROOF SHALL BE DESIGNED TO BE SOLAR READY. SEE ROOF PLAN FOR SOLAR-READY AREA. NO PLUMBING VENTS OR OTHER OBSTRUCTIONS SHALL BE LOCATED IN THIS AREA.
  2. PROVIDE ELECTRICAL CONDUIT FROM ELECTRICAL PANEL TO ATTIC FOR THE FUTURE INSTALLATION OF PHOTOVOLTAIC PANELS.
  3. THE ELECTRICAL CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISIONS IN THE MAIN ELECTRICAL PANEL FOR FUTURE SOLAR PANEL INSTALLATION.

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SHEET LIST	
SHEET NUMBER	SHEET NAME
T0.01	TITLE PAGE
T0.02	3D VIEWS
A0.01	SITE PLAN & TLAG AREA PLANS
A0.02	WINDOW & DOOR SCHEDULE & DETAILS
A1.01	PROPOSED FLOOR PLANS
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A5.01	BUILDING SECTIONS & DETAILS
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A5.04	BUILDING SECTIONS & DETAILS
A5.05	BUILDING SECTIONS & DETAILS
A6.01	INTERIOR ELEVATIONS

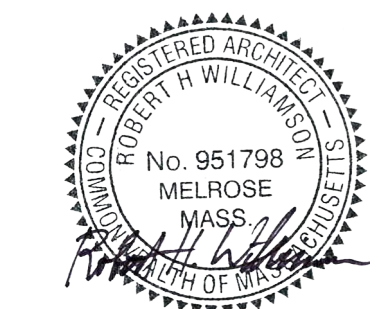
Project Name:  
**NEW RESIDENCE AT 10 FIFE RD FOR BLUE CEDAR PROPERTY GROUP**

Client: BLUE CEDAR PROPERTY GROUP  
Location: 10 Fife Rd, Wellesley, MA 02481  
Sheet Name: **TITLE PAGE**



SITE LOCATION PLAN

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Revision:

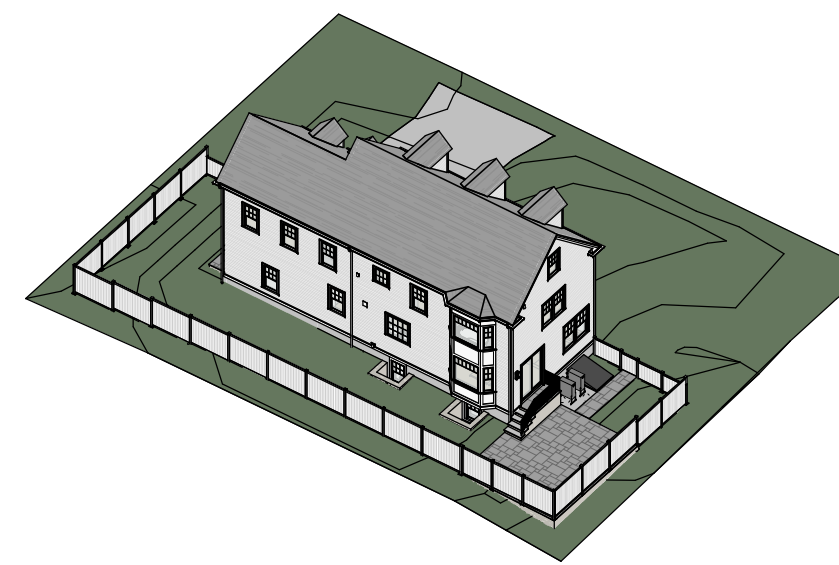
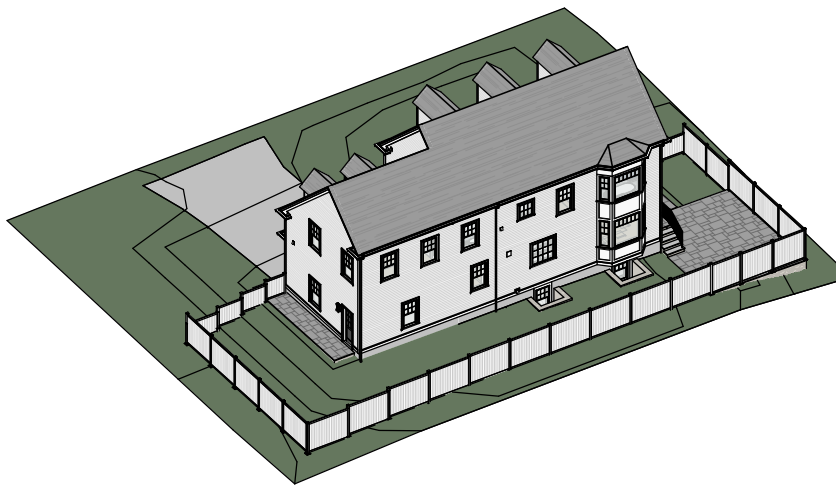
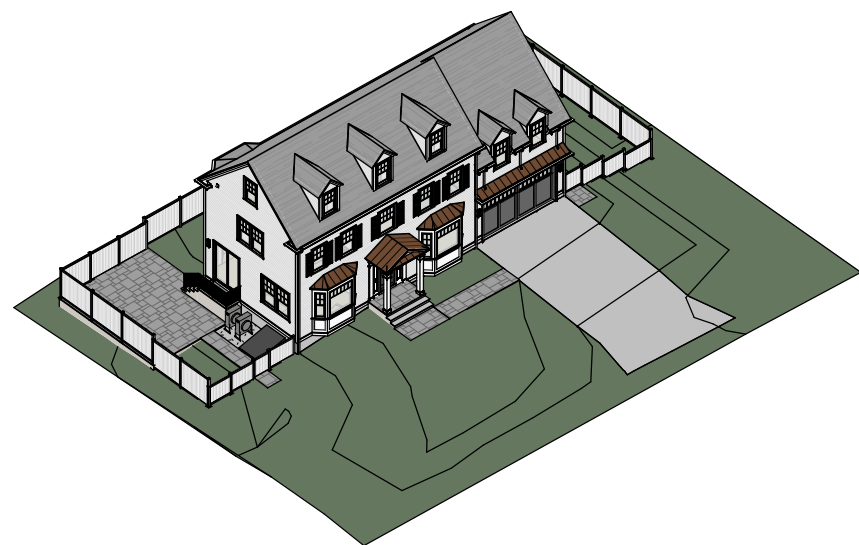
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Sheet Number:

**T0.01**



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**3D VIEWS**

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**INSULATION SCHEDULE**

LOCATION	TYPE DESCRIPTION	DIM.	R-VALUE	NOTES
BASEMENT WALLS INTERIOR	CLOSED CELL SPRAY FOAM (CCSF)	3-1/2"	R-24	-
FLOOR OVER UNFINISHED BASEMENT	ROCKWOOL COMFORTBATT	7-1/4"	R-30	-
NEW EXTERIOR WALLS	CLOSED CELL SPRAY FOAM (CCSF)	4-1/2"	R-30	-
RIMBOARDS	CLOSED CELL SPRAY FOAM (CCSF)	4-1/2"	R-30	-
NEW ROOF RAFTERS	CLOSED CELL SPRAY FOAM (CCSF)	8-1/2"	R-60	-
ACOUSTIC INSULATION	ROCKWOOL SAFE'NSOUND FOR I-JOISTS	6"	R-21	PROVIDE ACOUSTIC INSULATION AT FLOORS & WALLS SEPARATING THE MASTER SUITE FROM ADJACENT SPACES

NOTE: REFER TO HERS RATER'S REPORT FOR THE COMPLETE INSULATION SCOPE OF WORK.

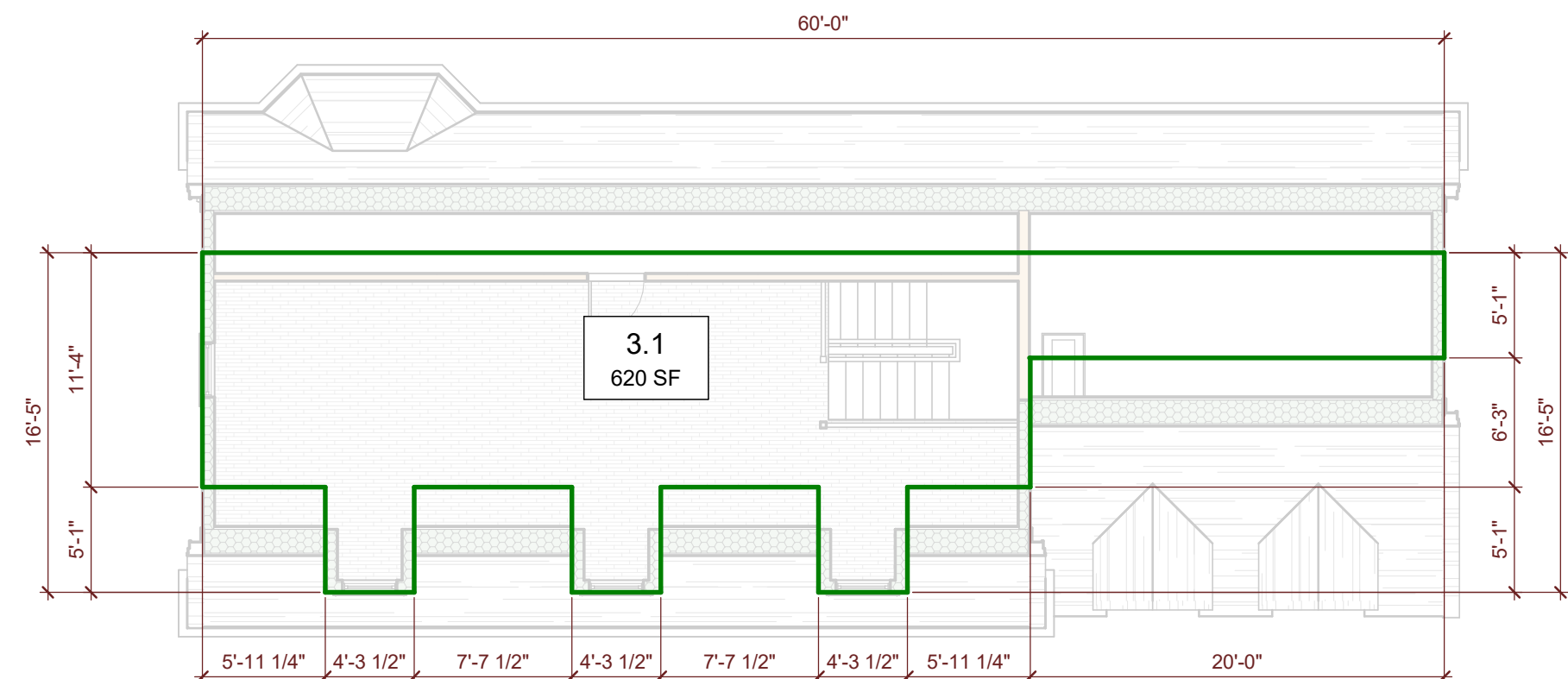
**INSULATION NOTES**

- CCSF INSULATION SHALL HAVE A MINIMUM R-VALUE OF 7.1 PER INCH.
- CCSF SHALL HAVE AN INTEGRAL VAPOR BARRIER, SO ROOF CAVITY VENTILATION IS NOT REQUIRED.
- PROVIDE FIRE IGNITION BARRIER FOR ANY CCSF INSULATION THAT IS NOT DIRECTLY COVERED WITH A GYPSUM BOARD FINISH.

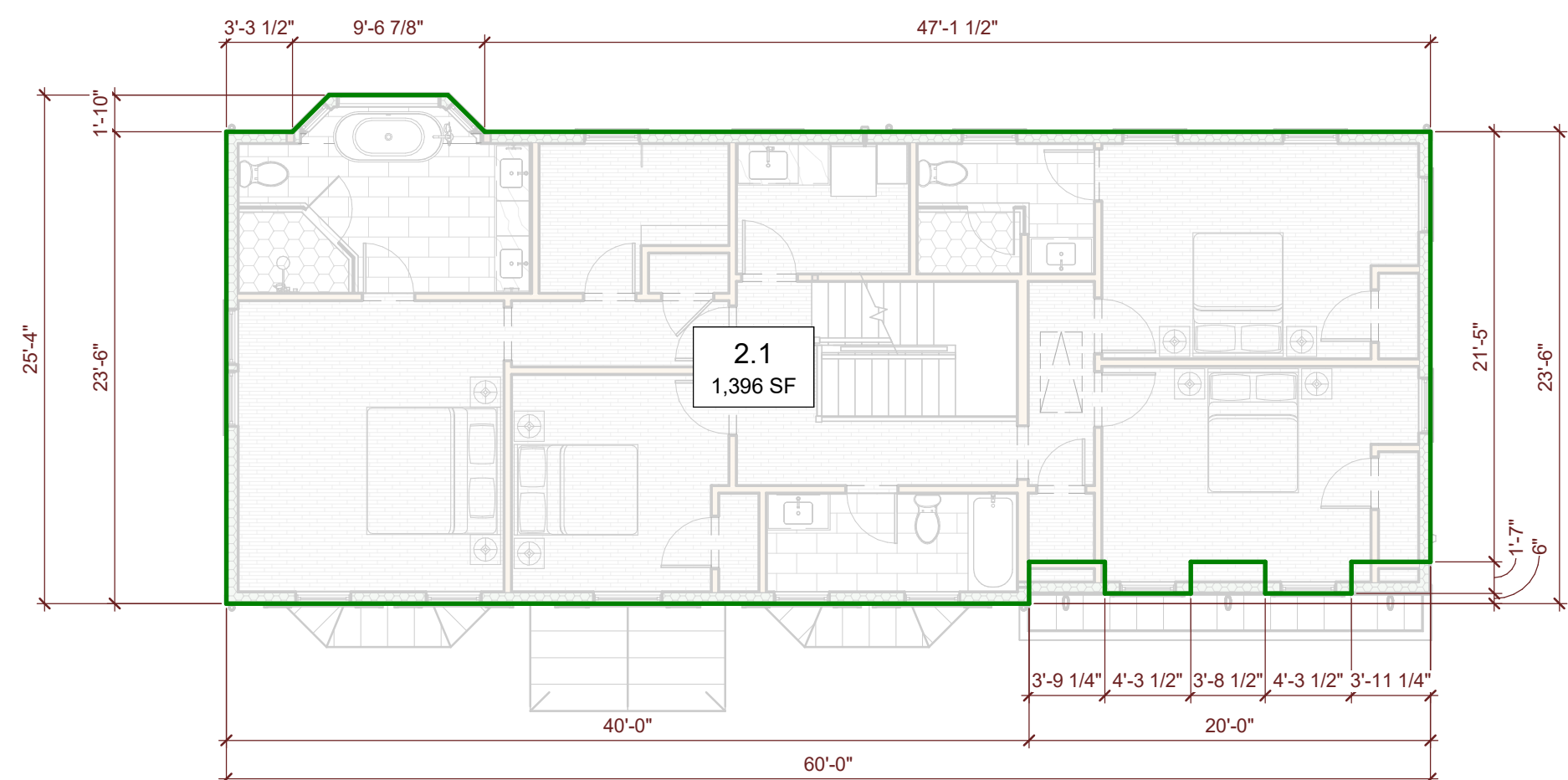
**ZONING SUMMARY: SR-15**

CRITERIA	REQUIREMENT	PROPOSED	NOTES
LOT AREA (MIN.)	15,000 SF	6,956 SF +/-	SEE PLOT PLAN
LOT FRONTAGE (MIN.)	60.0 FT.	100.0 FT.	SEE PLOT PLAN
LOT COVERAGE (MAX.)	20% OR 2,500 SF	20% (2,005 SF)	SEE PLOT PLAN
FRONT YARD DEPTH (MIN.)	32.2 FT.	31.2 FT.	SEE PLOT PLAN
SIDE YARD WIDTH (MIN.)	20.0 FT.	20.1 FT.	SEE PLOT PLAN
REAR YARD DEPTH (MIN.)	10.0 FT.	15.1 FT.	SEE PLOT PLAN
BUILDING HEIGHT (MAX.)	36 FT.	34.25 FT.	2.5 STORIES

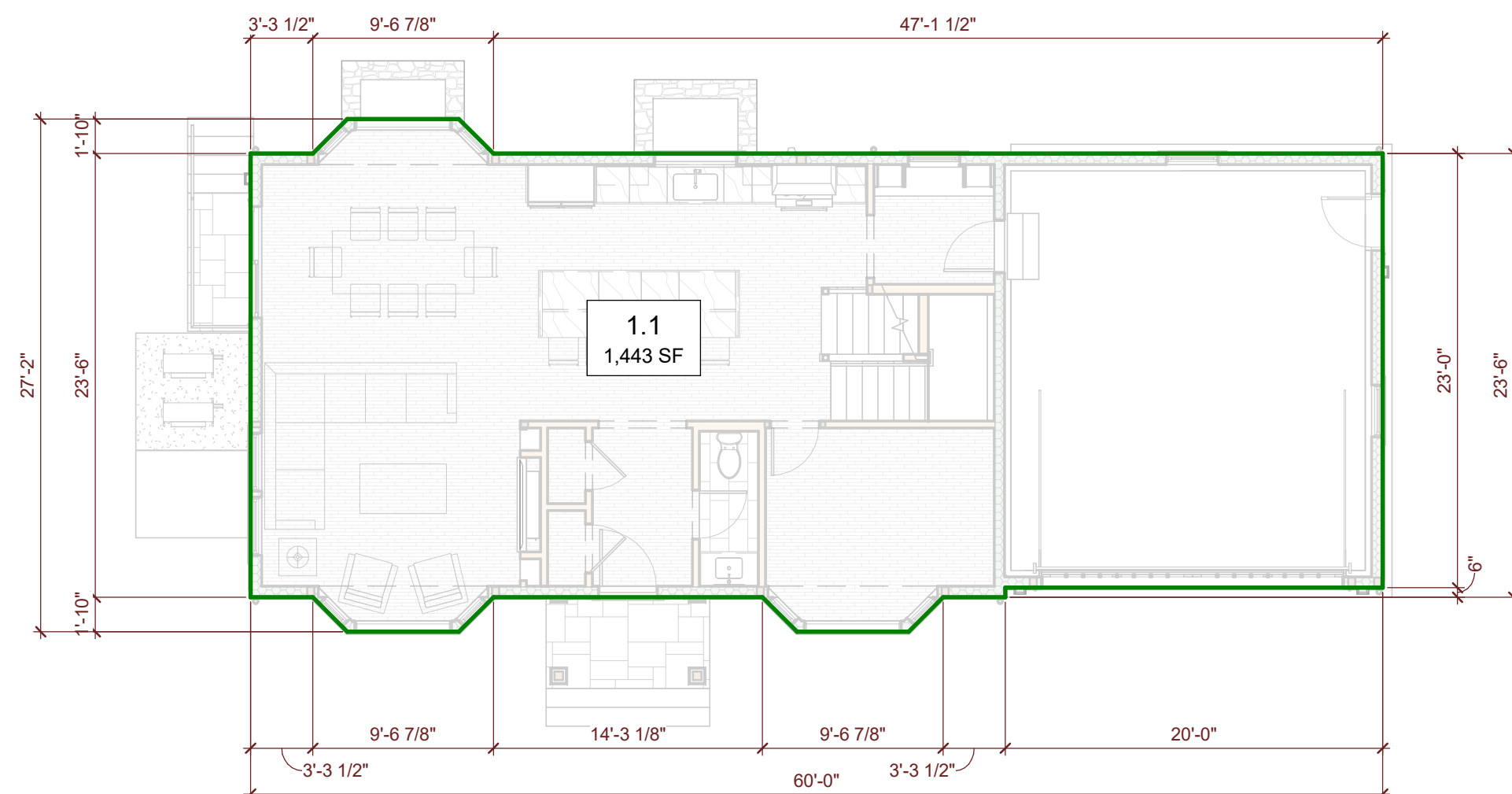
GROSS AREA SCHEDULE			
LEVEL	NAME	AREA	COMMENTS
FIRST FLOOR	1.1	1,443 SF	PROPOSED
SECOND FLOOR	2.1	1,396 SF	PROPOSED
ATTIC FLOOR	3.1	620 SF	
		<b>3,459 SF</b>	



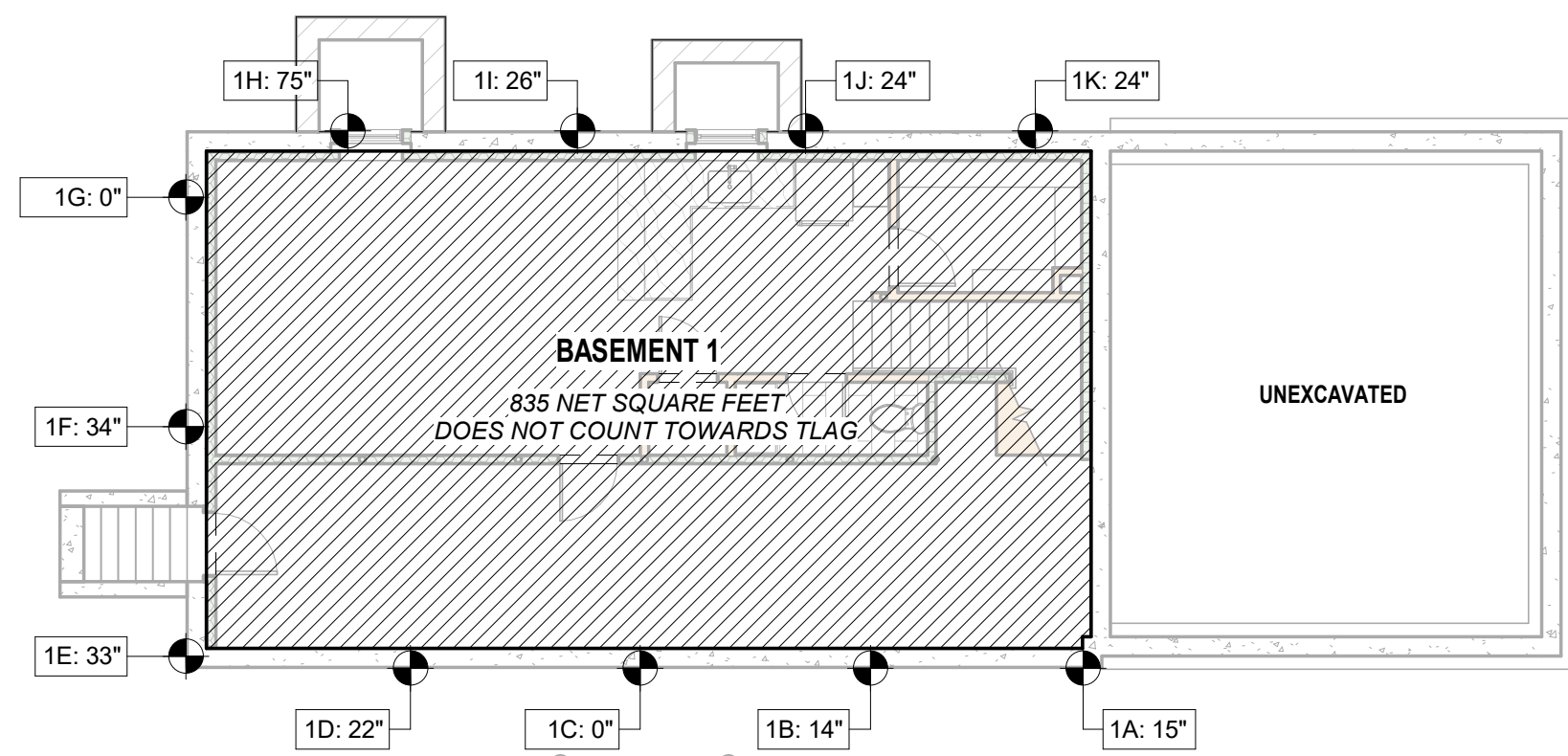
**4 ATTIC FLOOR PLAN - TLAG**  
Scale: 1/8" = 1'-0"



**3 2ND FLOOR PLAN - TLAG**  
Scale: 1/8" = 1'-0"



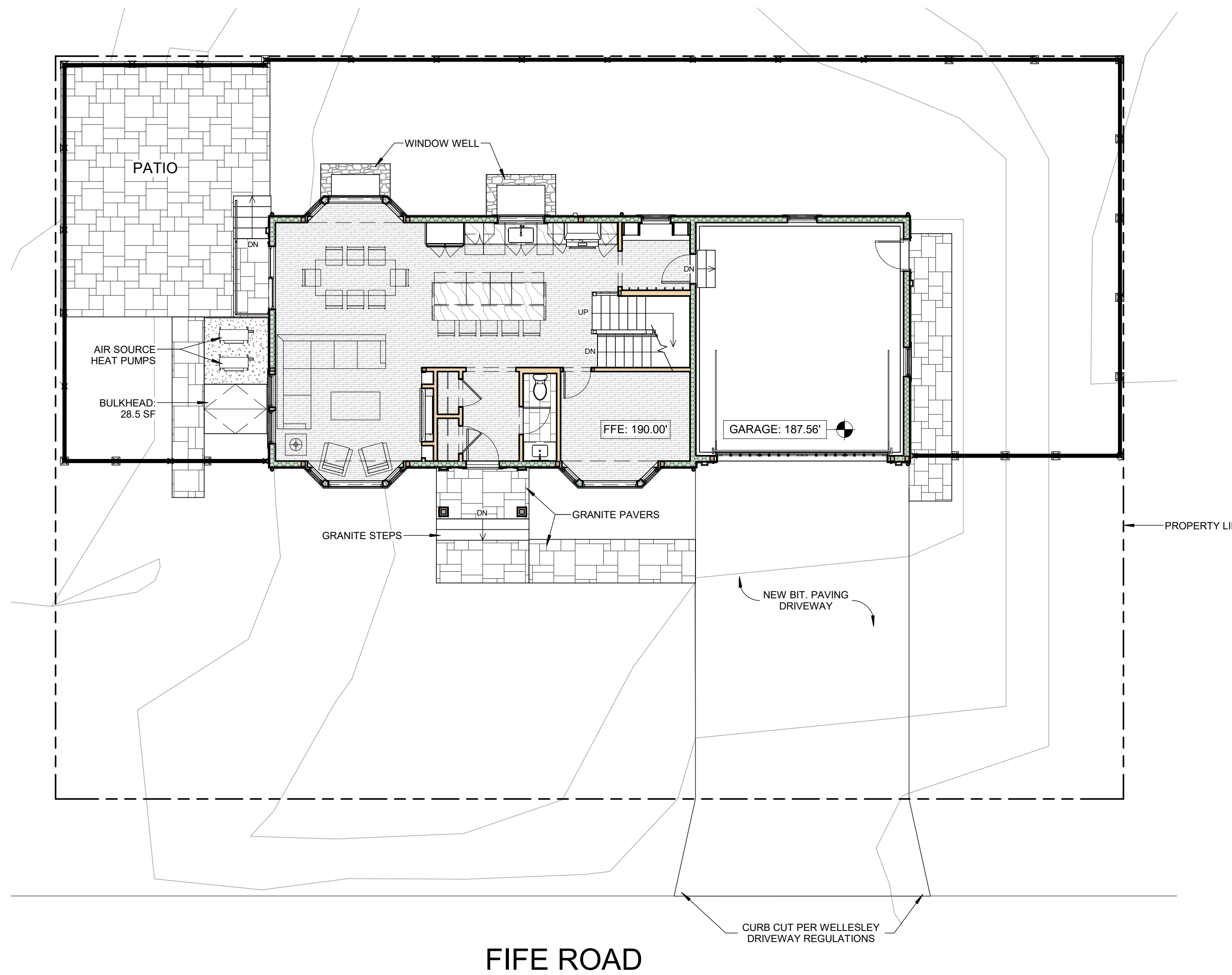
**2 1ST FLOOR PLAN - TLAG**  
Scale: 1/8" = 1'-0"



**1 BASEMENT PLAN - TLAG**  
Scale: 1/8" = 1'-0"

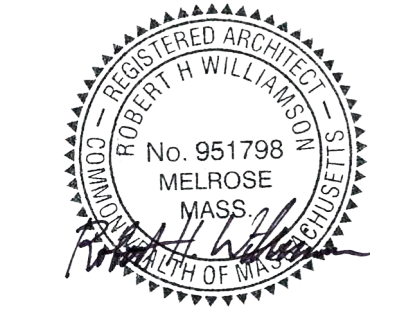
LOCATION	HEIGHT
1A	15"
1B	14"
1C	0"
1D	22"
1E	33"
1F	34"
1G	0"
1H	75"
1I	26"
1J	24"
1K	24"
TOTAL	267"
COUNT	11
AVERAGE	24.27"

PROPOSED BASEMENT 1	
AVERAGE HEIGHT OF BASEMENT WALLS ABOVE GRADE	24.27"
HEIGHT FROM BASEMENT SLAB TO FLOOR JOISTS	105"
PERCENTAGE OF WALL ABOVE GRADE	23.1%



**11 ARCHITECTURAL SITE PLAN**  
Scale: 1/8" = 1'-0"



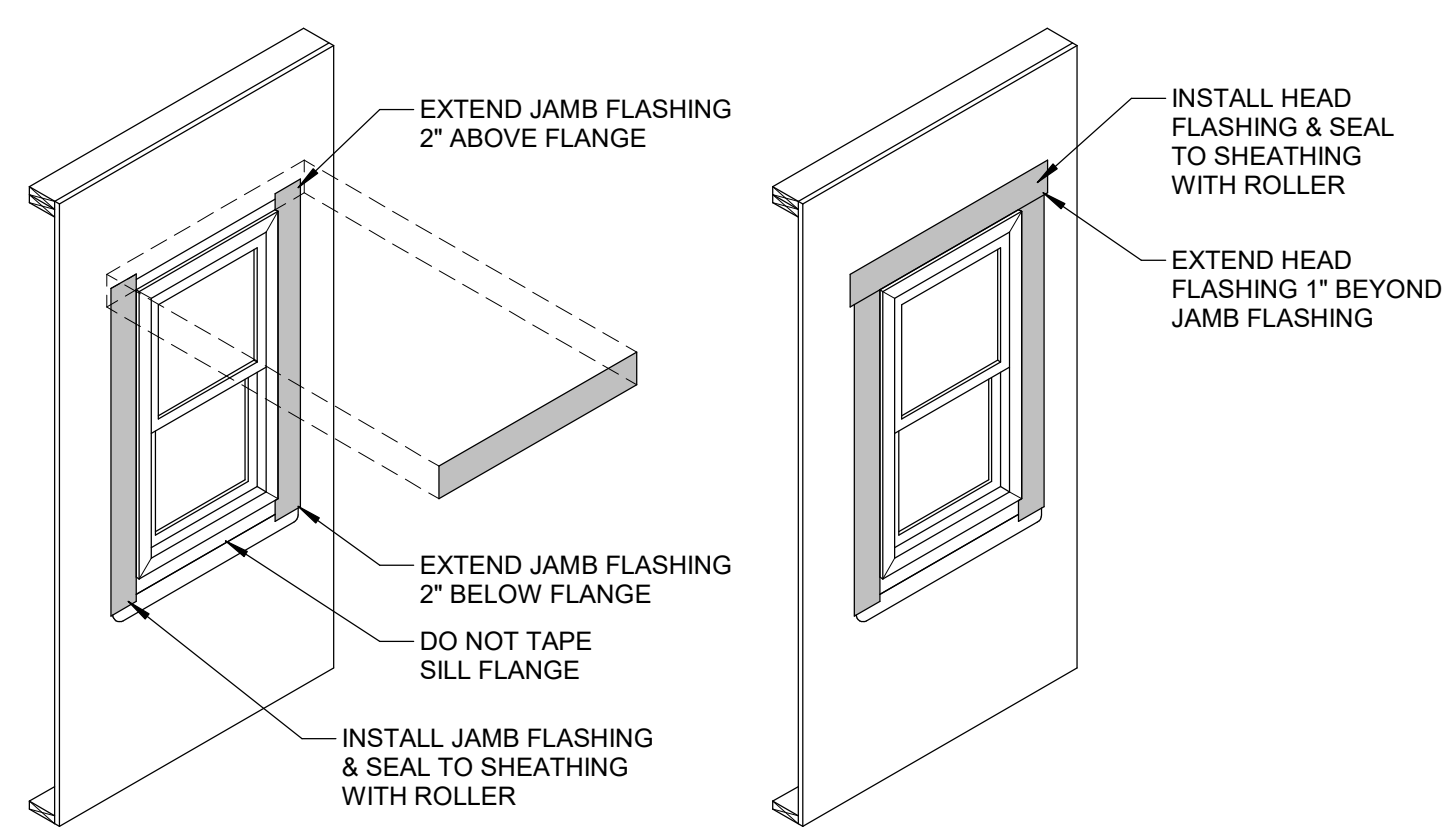


WINDOW SCHEDULE											
TAG	QTY.	MANUFACTURER	MODEL	WIDTH	HEIGHT	ROUGH WIDTH	ROUGH HEIGHT	TYPE	EGRESS	GLASS	COMMENTS
A1	1	PELLA	3235	2'-8"	2'-11"	2'-8 3/4"	2'-11 3/4"	AWNING			
A2	1	PELLA	5353	4'-5"	4'-5"	4'-5 3/4"	4'-5 3/4"	AWNING			
B1	3	PELLA	61.5-65	5'-1 1/2"	5'-5"	5'-2 1/4"	5'-5 3/4"	FIXED			
B2	1	PELLA	61.5-59	5'-1 1/2"	4'-11"	5'-2 1/4"	4'-11 3/4"	FIXED		TEMPERED	
D1	2	PELLA	3765	3'-1"	5'-5"	3'-1 3/4"	5'-5 3/4"	DOUBLE HUNG			
D2	6	PELLA	2165	1'-9"	5'-5"	1'-9 3/4"	5'-5 3/4"	DOUBLE HUNG			
D3	13	PELLA	3359	2'-9"	4'-11"	2'-9 3/4"	4'-11 3/4"	DOUBLE HUNG	YES		
D4	4	PELLA	3359	2'-9"	4'-11"	2'-9 3/4"	4'-11 3/4"	DOUBLE HUNG		TEMPERED	
D5	2	PELLA	3357	2'-9"	4'-9"	2'-9 3/4"	4'-9 3/4"	DOUBLE HUNG			
D6	1	PELLA	4159	3'-5"	4'-11"	3'-5 3/4"	4'-11 3/4"	DOUBLE HUNG			
D7	4	PELLA	31.5-53.5	2'-7 1/2"	4'-5 1/2"	2'-8 1/4"	4'-6 1/4"	DOUBLE HUNG	YES		
D8	2	PELLA	2159	1'-9"	4'-11"	1'-9 3/4"	4'-11 3/4"	DOUBLE HUNG		TEMPERED	
T1	1	PELLA	36.5-15	3'-0 1/2"	1'-3"	3'-1 1/4"	1'-3 3/4"	TRANSOM			

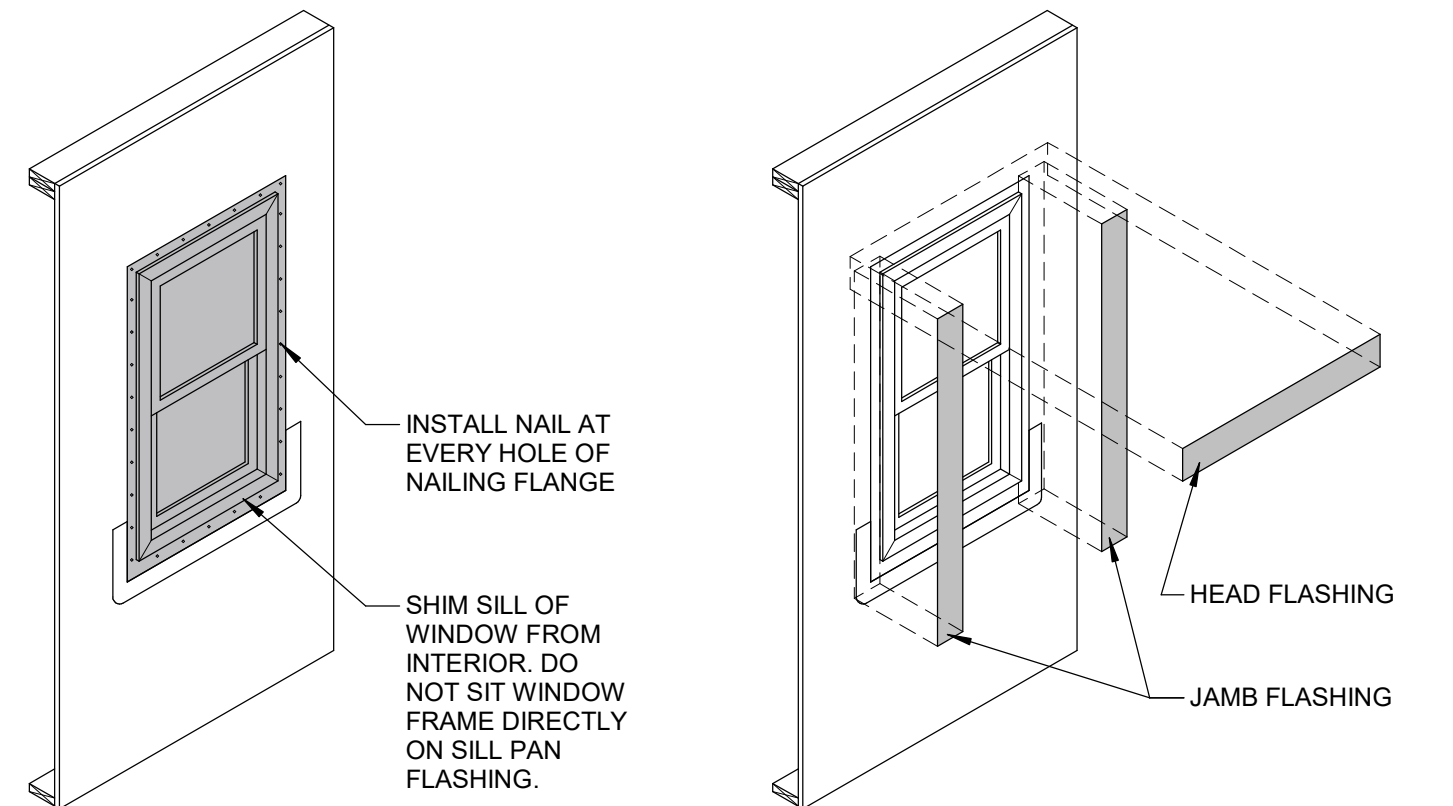
**OUTLINE SPECIFICATION - EXTERIOR WINDOWS**

- A. WINDOWS: BASIS-OF-DESIGN IS PELLA, LIFESTYLE SERIES, UNLESS OTHERWISE NOTED. ENERGY STAR RATED - NORTHERN ZONE.
- B. NEW CONSTRUCTION WITH INTEGRAL NAILING FINIS. EXTERIOR COLOR TO BE WHITE. INTERIOR TO BE PRE-FINISHED WHITE.
- C. WINDOW MANUFACTURER TO DETERMINE DESIGN PRESSURE & MULLION REINFORCEMENT REQUIREMENTS.
- D. GC IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES.
- E. GC IS RESPONSIBLE FOR COORDINATING THE ROUGH OPENING SIZES WITH MANUFACTURER REQUIREMENTS.
- F. GC TO COORDINATE INTERIOR EXTENSION JAMBS WITH WALL TYPE & INTERIOR SPECIFICATIONS FOR TRIM.
- G. PROVIDE 7/8" SIMULATED DIVIDED LITE W/ SPACER BAR. SEE ELEVATIONS FOR PATTERS.
- H. PROVIDE EXTRUDED ALUMINUM. INSECT SCREEN FRAMES W/ FINISH TO MATCH EXTERIOR WINDOW FRAME.
- I. GLAZING TO BE INSULATED GLASS Low-E3 - ARGON - SDLS <1" - 0.30 MAX U-FACTOR, 0.30 SHGC.
- J. SEE ELEVATIONS FOR TEMPERED GLAZING LOCATIONS.
- K. HARDWARE TO BE WHITE SASH LOCK AND OPERATORS.

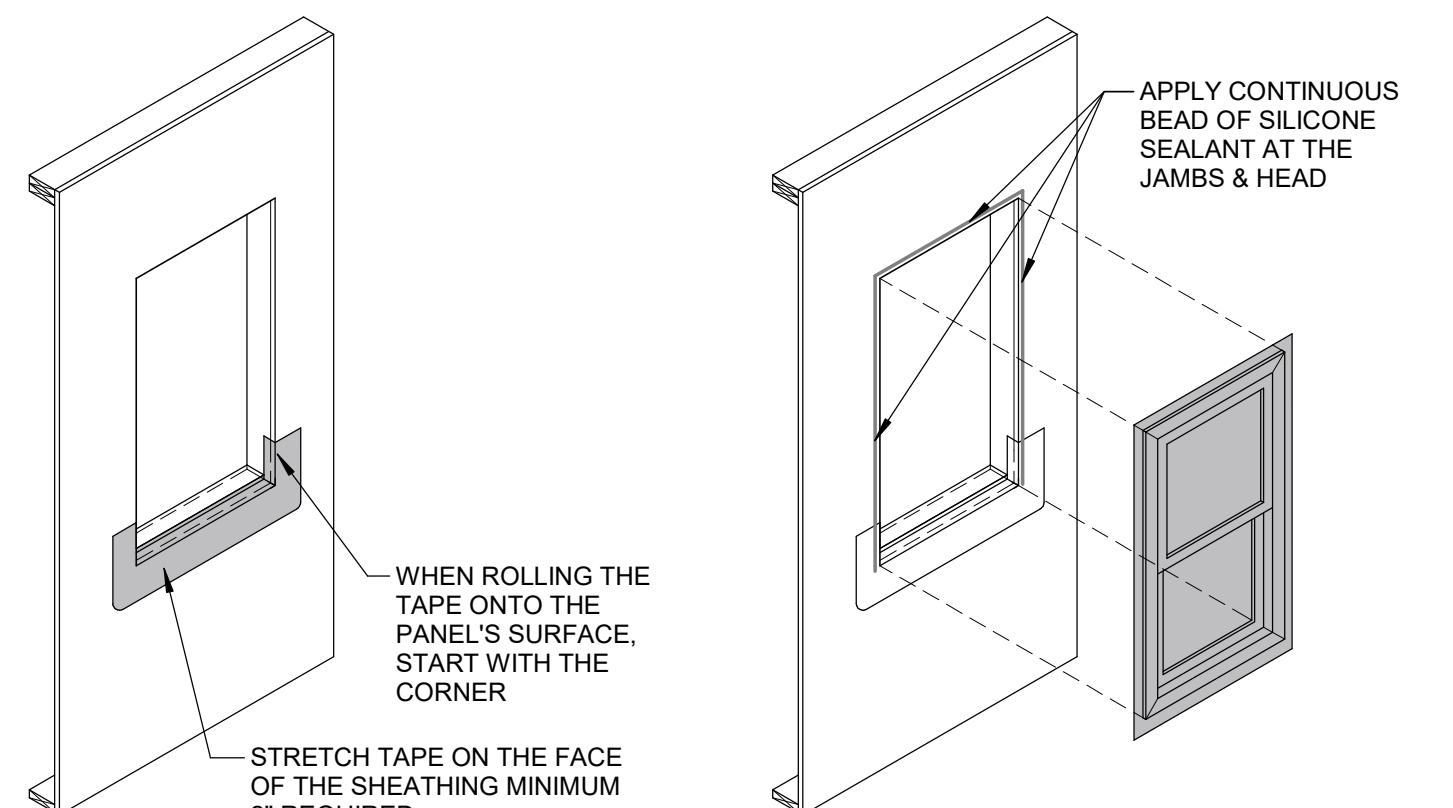
**GC SHALL SUBMIT A FULL WINDOW & DOOR SUBMITTAL TO ARCHITECT FOR REVIEW & APPROVAL.**



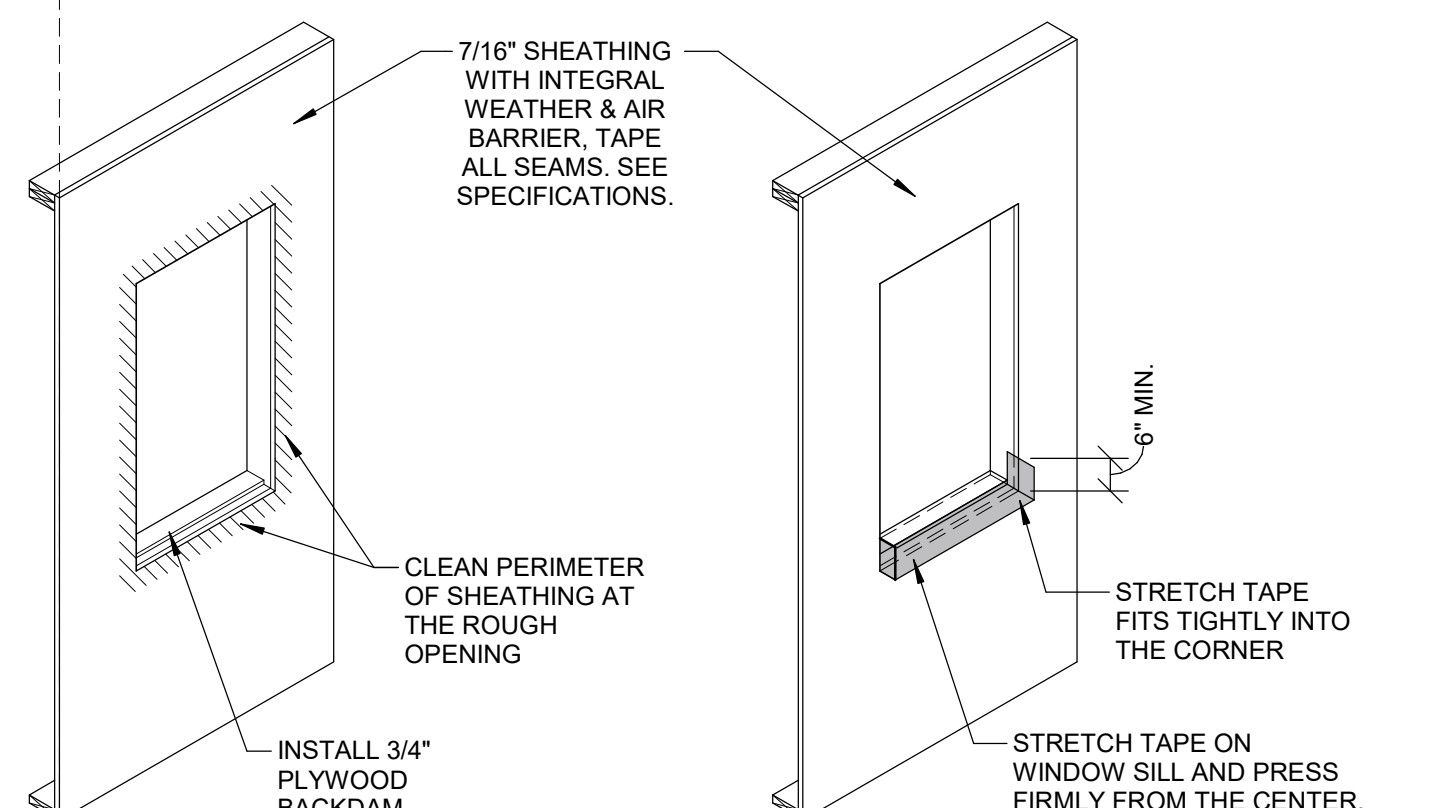
**STEP 7** INSTALL JAMB FLASHING TAPE OVER NAILING FLANGES & SEAL TO SHEATHING WITH ROLLER  
**STEP 8** INSTALL HEAD FLASHING TAPE OVER NAILING FLANGES & SEAL TO SHEATHING WITH ROLLER



**STEP 5** INSTALL WINDOW, NAIL FLANGE PERIMETER AT EVERY HOLE TO FRAMING.  
**STEP 6** PREP JAMB & HEAD FLASHING TAPE FOR INSTALLATION OVER NAILING FLANGES

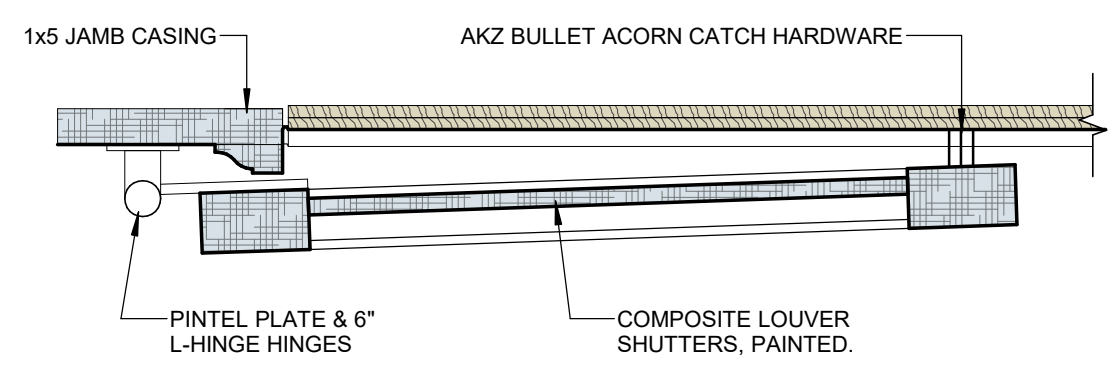


**STEP 3** INSTALL SILL PAN MEMBRANE FLASHING CONTINUED.....  
**STEP 4** INSTALL SEALANT BEHIND NAILING FLANGE AT JAMBS & HEAD PRIOR TO WINDOW INSTALLATION.

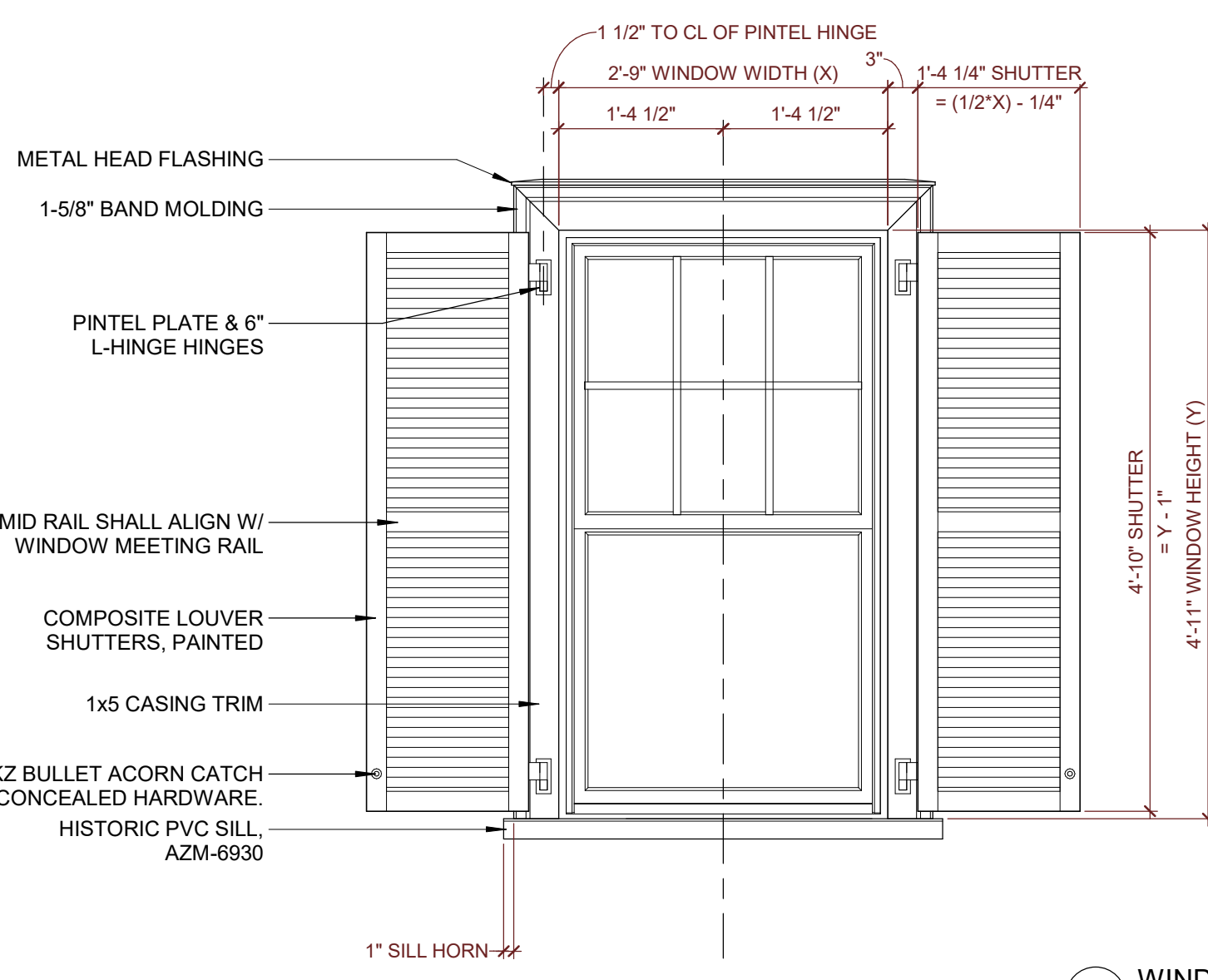


**STEP 1** INSTALL PLYWOOD BACKDAM & CLEAN PERIMETER OF OPENING  
**STEP 2** INSTALL SILL PAN MEMBRANE FLASHING

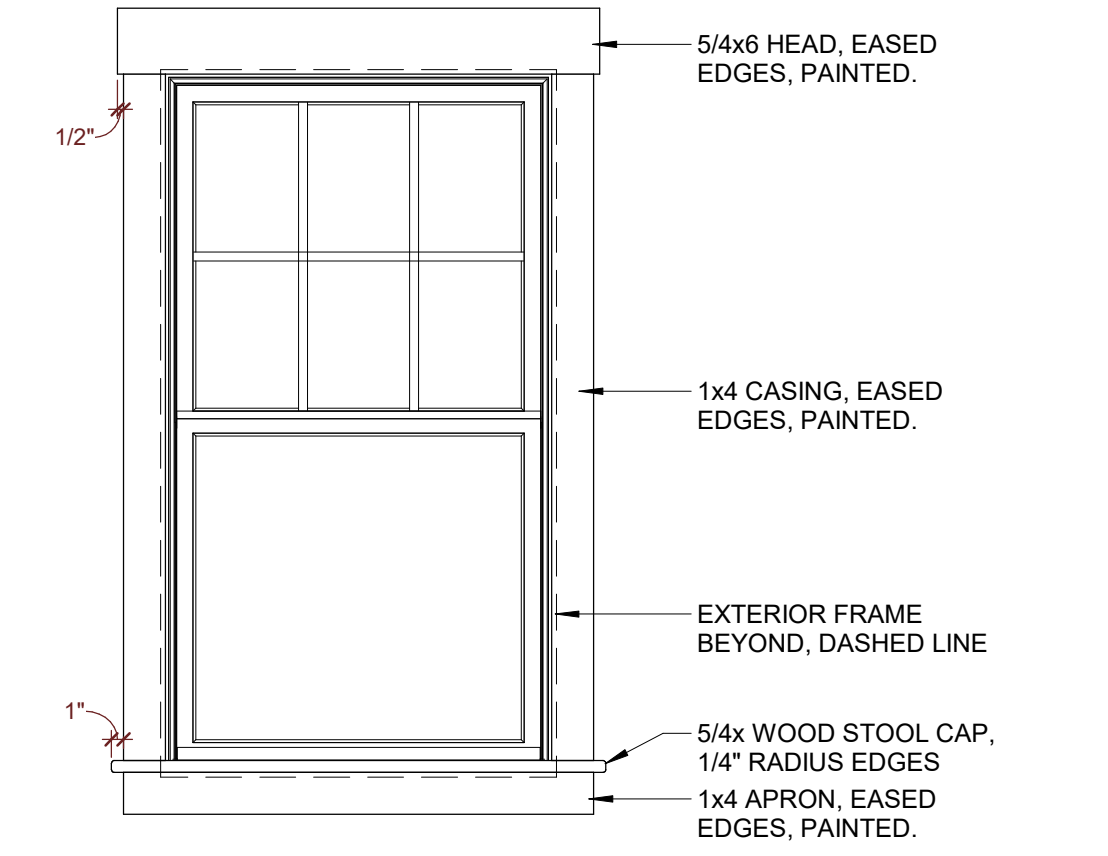
**PRIOR TO FLASHING & WINDOW INSTALLATION:** CLEAN THE PERIMETER OF THE ZIPWALL SHEATHING OPENING WITH MINERAL SPIRITS SOLVENT TO REMOVE ANY DIRT/DEBRIS.



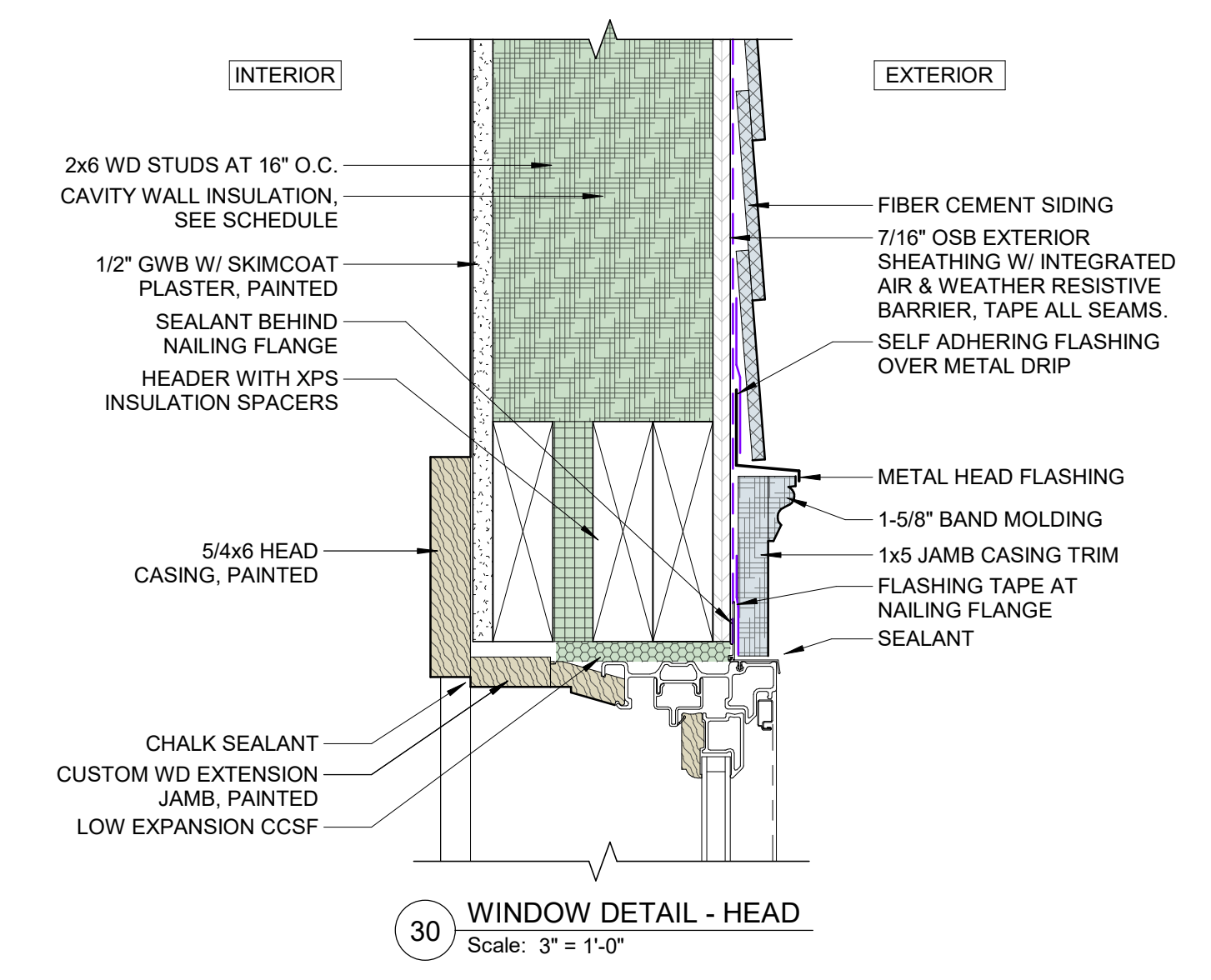
**2 SHUTTER DETAIL - JAMB**  
Scale: 3" = 1'-0"



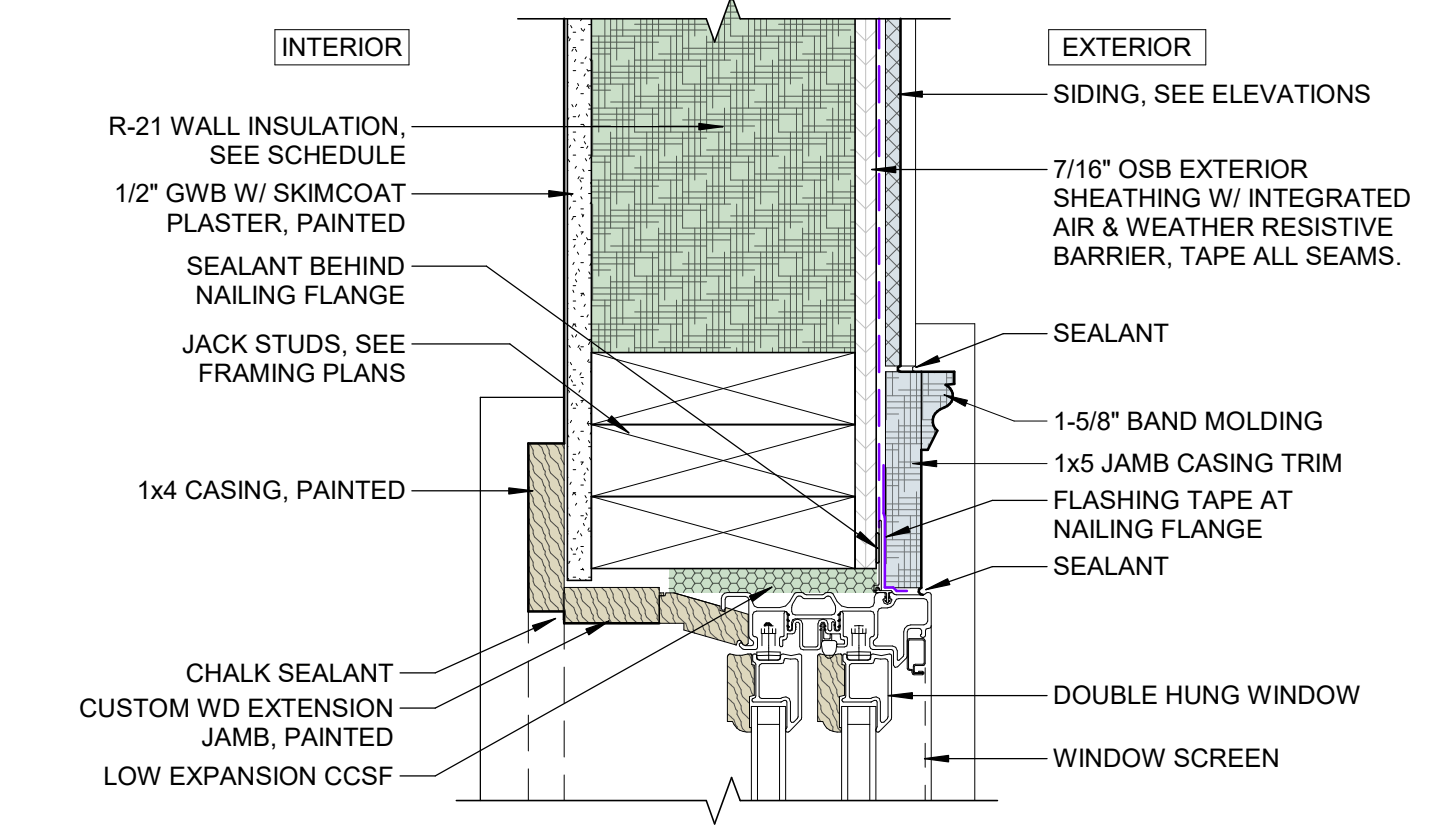
**WINDOW ELEVATIONS**  
Scale: 3/4" = 1'-0"



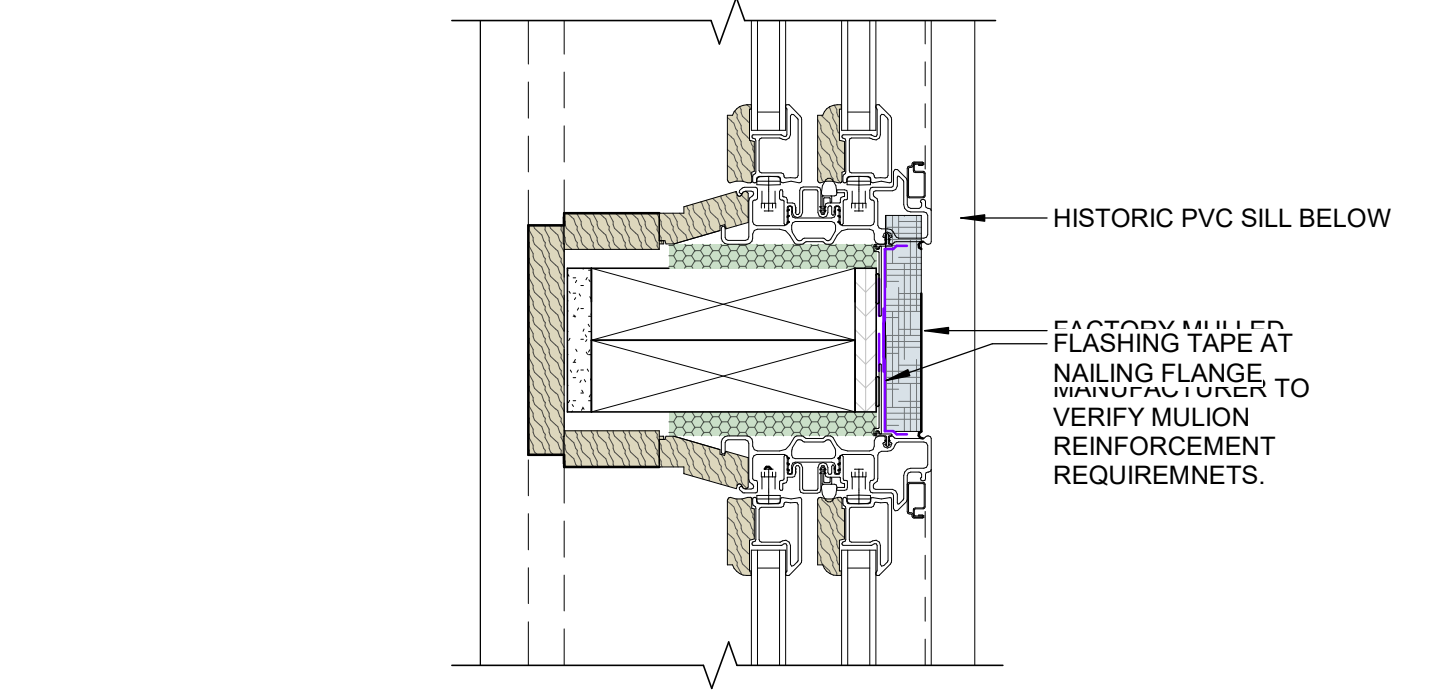
**INTERIOR**



**30 WINDOW DETAIL - HEAD**  
Scale: 3" = 1'-0"



**20 WINDOW DETAIL - JAMB**  
Scale: 3" = 1'-0"



**10 WINDOW DETAIL - SILL**  
Scale: 3" = 1'-0"

DOOR SCHEDULE									
DOOR NO.	MANUFACTURER	MODEL	WIDTH	HEIGHT	THICK	FIRE RATING	DOOR PANEL #	HARDWARE	REMARKS
Exterior									
BASEMENT									
001	THERMA TRU		2'-8"	6'-8"	0'-1 3/4"		EXT.4		
FIRST FLOOR									
101	THERMA TRU	TBD	3'-0"	6'-8"	0'-1 3/4"		EXT.1		
102	PELLA	7296	5'-11"	7'-11 1/2"	0'-1 3/4"		EXT.2		
103	THERMA TRU	TBD	2'-8"	7'-0"	0'-1 3/4"		EXT.3		
104	THERMA TRU	TBD	2'-8"	7'-0"	0'-1 3/4"	20 MIN.	EXT.4		
105	DESIGNER GARAGE DOORS	TBD	16'-0"	8'-0"	0'-0"		EXT.5		
Interior									
BASEMENT									
002			2'-6"	6'-8"	0'-1 3/8"		INT.1		
003			2'-6"	6'-8"	0'-1 3/8"		INT.1		
004			2'-6"	6'-8"	0'-1 3/8"		INT.1		
005			2'-6"	6'-8"	0'-1 3/8"		INT.1		
FIRST FLOOR									
106			2'-6"	7'-0"	0'-1 3/8"		INT.1		
107			2'-6"	7'-0"	0'-1 3/8"		INT.1		
108			2'-6"	7'-0"	0'-1 3/8"		INT.1		
109			2'-6"	7'-0"	0'-1 3/8"		INT.1		
SECOND FLOOR									
201			2'-8"	7'-0"	0'-1 3/8"		INT.1		
202			2'-8"	7'-0"	0'-1 3/8"		INT.1		
203			2'-8"	7'-0"	0'-1 3/8"		INT.1		
204			2'-8"	7'-0"	0'-1 3/8"		INT.1		
205			2'-8"	7'-0"	0'-1 3/8"		INT.1		
206			2'-6"	7'-0"	0'-1 3/8"		INT.1		
207			2'-4"	7'-0"	0'-1 3/8"		INT.1		
208			2'-6"	7'-0"	0'-1 3/8"		INT.1		
209			2'-6"	7'-0"	0'-1 3/8"		INT.1		
210			2'-6"	7'-0"	0'-1 3/8"		INT.1		
211			2'-6"	7'-0"	0'-1 3/8"		INT.1		
212			2'-6"	7'-0"	0'-1 3/8"		INT.1		
213			2'-6"	7'-0"	0'-1 3/8"		INT.1		
214			2'-6"	7'-0"	0'-1 3/8"		INT.1		
ATTIC FLOOR									
301			2'-8"	5'-8"	0'-1 3/8"		INT.1		

**GENERAL NOTES - CONCRETE**

- ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF ACI-318, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE".
- EXTERIOR FOUNDATIONS SHALL BE A MINIMUM OF 4 FT. BELOW FINISH GRADE.
- CONCRETE FOOTINGS SHALL BE CONTINUOUS 24" WIDE x 12" DEEP CARRIED DOWN 6" INTO UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 2 TONS PER SQUARE FOOT. FOOTINGS SHALL HAVE (2)#5 CONTINUOUS REINFORCEMENT RODS RUNNING HORIZONTALLY.
- FOUNDATION WALLS SHALL BE 10" WIDE AND HAVE #4 CONTINUOUS REINFORCEMENT RODS AT 24" O.C. RUNNING HORIZONTALLY AND VERTICALLY, UNLESS OTHERWISE NOTED.
- PROVIDE 2" MINIMUM CONCRETE COVER OVER ALL STEEL REINFORCEMENT.
- POURED IN PLACE CONCRETE SHALL BE NORMAL WEIGHT, 3000 PSI MAXIMUM AGGREGATE SIZE OF 1 1/2", AND SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH CURING TIME.
- DO NOT PLACE CONCRETE IN WATER OR ON FROZEN SUBGRADE.
- ALL CONCRETE FOUNDATIONS WITH BASEMENT SPACES SHALL HAVE BITUMINOUS DAMPROOFING FROM THE TOP OF THE FOOTING TO FINISHED GRADE.
- FOUNDATION WATERPROOFING MAY BE REQUIRED WHERE A HIGH WATER TABLE OR OTHER SEVERE SOIL-WATER CONDITIONS ARE KNOWN TO EXIST. THE GC SHALL INFORM THE ARCHITECT IF SUCH CONDITIONS ARE DISCOVERED.
- PROVIDE PERIMETER FOOTING DRAIN PERFORATED PIPE, 6" O.D. AT THE EXTERIOR OF ALL FOOTINGS OF FULL HEIGHT FOUNDATION WALLS. FOOTING DRAIN PIPE SHALL DRAIN TOWARDS DAYLIGHT. PROVIDE 6" MINIMUM CRUSHED STONE OVER COMPACTED STRUCTURAL FILL BELOW ALL FOUNDATIONS AND CONCRETE SLABS.
- PROVIDE 10" MIN. CRUSHED STONE UNDERLAYMENT BELOW SLABS THAT REQUIRE RADON MITIGATION SYSTEM AND/OR UNDERSLAB DRAINAGE SYSTEM.
- PROVIDE 10 MIL POLY VAPOR BARRIER BELOW CONCRETE SLABS ON GRADE.
- PROVIDE 2" XPS INSULATION BELOW SLAB PER INSULATION SCHEDULE.
- PROVIDE 1/2" PERIMETER JOINT FILLER AT THE EDGE OF ALL CONCRETE SLABS ON GRADE.
- PROVIDE CONSTRUCTION/CONTROL JOINTS IN CONCRETE SLABS ON GRADE AT 20', BOTH DIRECTIONS, UNLESS OTHERWISE NOTED.
- CONCRETE SLABS ON GRADE SHALL BE REINFORCED WITH #6x10 GA. WELDED WIRE MESH IN THE MIDDLE OF THE SLAB OR WITH FIBERMESH ADMIXTURE.
- WOOD FRAMED WALLS SHALL BE ANCHORED TO CONCRETE FOUNDATION WITH 5/8" DIA. GALVANIZED J-BOLTS AT 4'-0" O.C.

**FLOOR PLAN LEGEND**

- WINDOW TAG, SEE A0.02
- DOOR TAG, SEE A0.03
- CAST-IN-PLACE CONCRETE WALL
- PARTITION STUD WALL, 2x4 OR 2x6 AT 16" O.C., SEE INSULATION SCHEDULE FOR ACOUSTIC BATTS
- EXTERIOR STUD WALL, 2x6 AT 16" O.C., INSULATED
- COLUMN / POST, SEE A4 FRAMING PLANS
- SIMPSON STDH14 HOLD-DOWN TO BE CAST INTO FOUNDATION WALL. FASTEN TO STUDS WITH (3) 1/4" DIA. SINKER NAILS. SEE PORTAL FRAME ELEVATION.

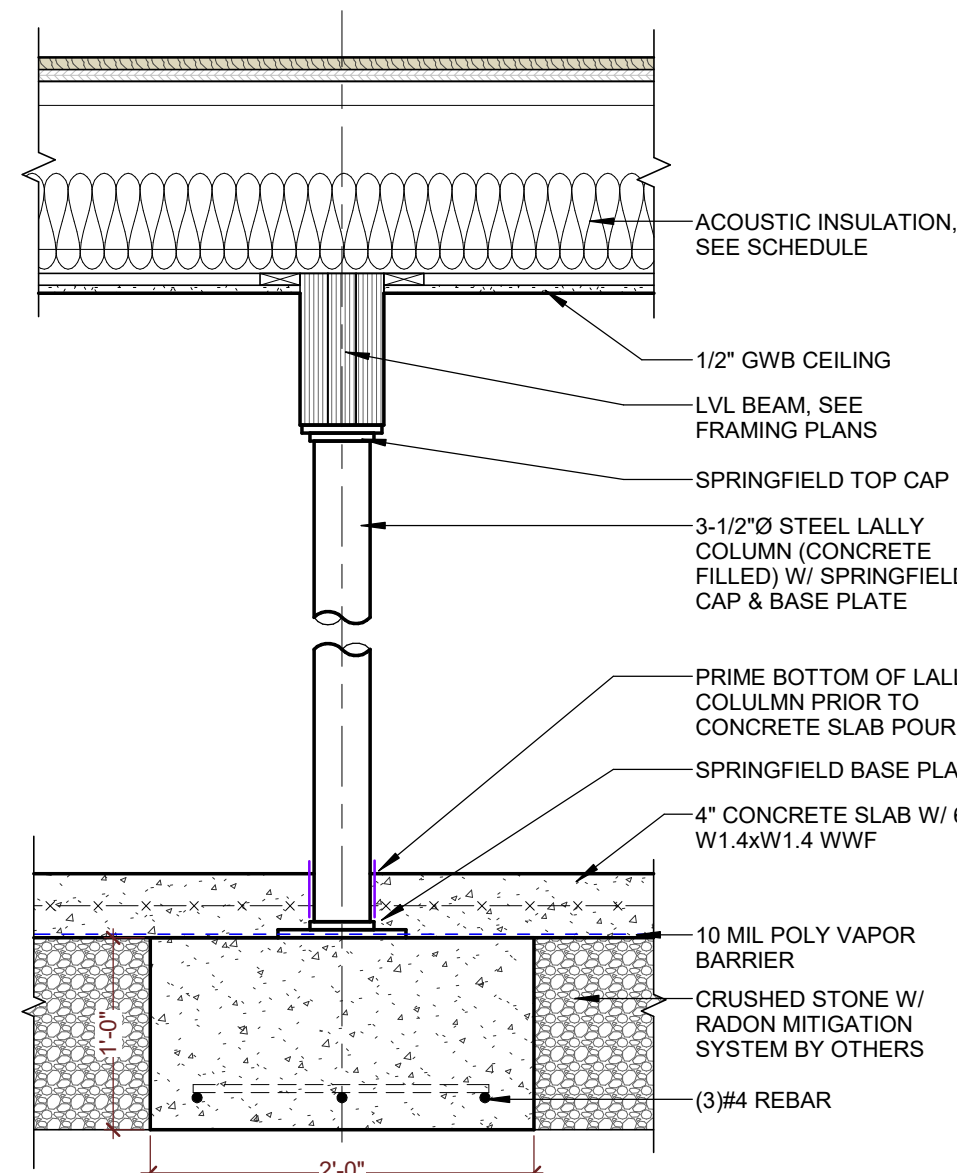
**FLOOR PLAN NOTES**

- EXTERIOR WALL DIMENSIONS ARE TO THE OUTSIDE FACE OF STUD AND/OR CONCRETE.
- INTERIOR PARTITION DIMENSIONS ARE TO THE FINISH FACE OF THE WALL OR TO THE CENTERLINE OF THE WALL.
- WINDOWS ARE DIMENSIONED TO THE CENTERLINE OF THE ROUGH OPENING.
- DOORS ARE DIMENSIONED TO THE CENTERLINE OF THE ROUGH OPENING OR TO THE FINISH EDGE OF DOOR JAMBS.
- INTERIOR SQUARE FOOTAGES LISTED ON PLANS IS NET SQUARE FOOTAGE OF EACH ROOM, NOT INCLUDING CLOSETS, UNLESS OTHERWISE NOTED. SEE AREA SCHEDULE FOR GROSS SQUARE FOOTAGE.
- GC SHALL COORDINATE ALL EARTHWORK AND EXCAVATION WITH EXISTING SEWER, GAS, WATER, ELECTRICAL AND TELECOMMUNICATIONS SERVICES.
- GC SHALL COORDINATE THE LOCATION OF ALL CHASES, INSERTS, OPENINGS, SLEEVES, REVEALS AND OTHER PROJECT REQUIREMENTS NOT SHOWN IN DRAWINGS.
- ALL NEW GYPSUM BOARD SHALL BE FINISHED WITH SKIMCOAT PLASTER, LEVEL 5 FINISH, UNLESS OTHERWISE NOTED.
- PROVIDE MOLD & MOISTURE RESISTANT GWB AND PLASTER IN THE BATHROOM.
- EXTERIOR TRIM AND MOLDINGS SHALL BE AZEK PVC. ALL FASTENERS SHALL BE STAINLESS STEEL AND HOLES FILLED HIGH PERFORMANCE SPACKLING PASTE. SAND & PRIME ALL TRIM BOARD, AND FINISH WITH 2 COATS OF EXTERIOR PAINT FOR PVC TRIM. PAINT COLOR TBD.
- EXTERIOR SIDING SHALL BE FIBER CEMENT. SHINGLE SIDING SHALL BE STRAIGHT EDGE. LAP SIDING SHALL BE SMOOTH. PRE-FINISHED PLANKS MAY BE USED, BUT MUST HAVE AT LEAST ONE COAT OF EXTERIOR PAINT APPLIED AFTER INSTALLATION. PAINT COLOR TBD.

**COLUMN TOP OF WALL (TOW) SCHEDULE**

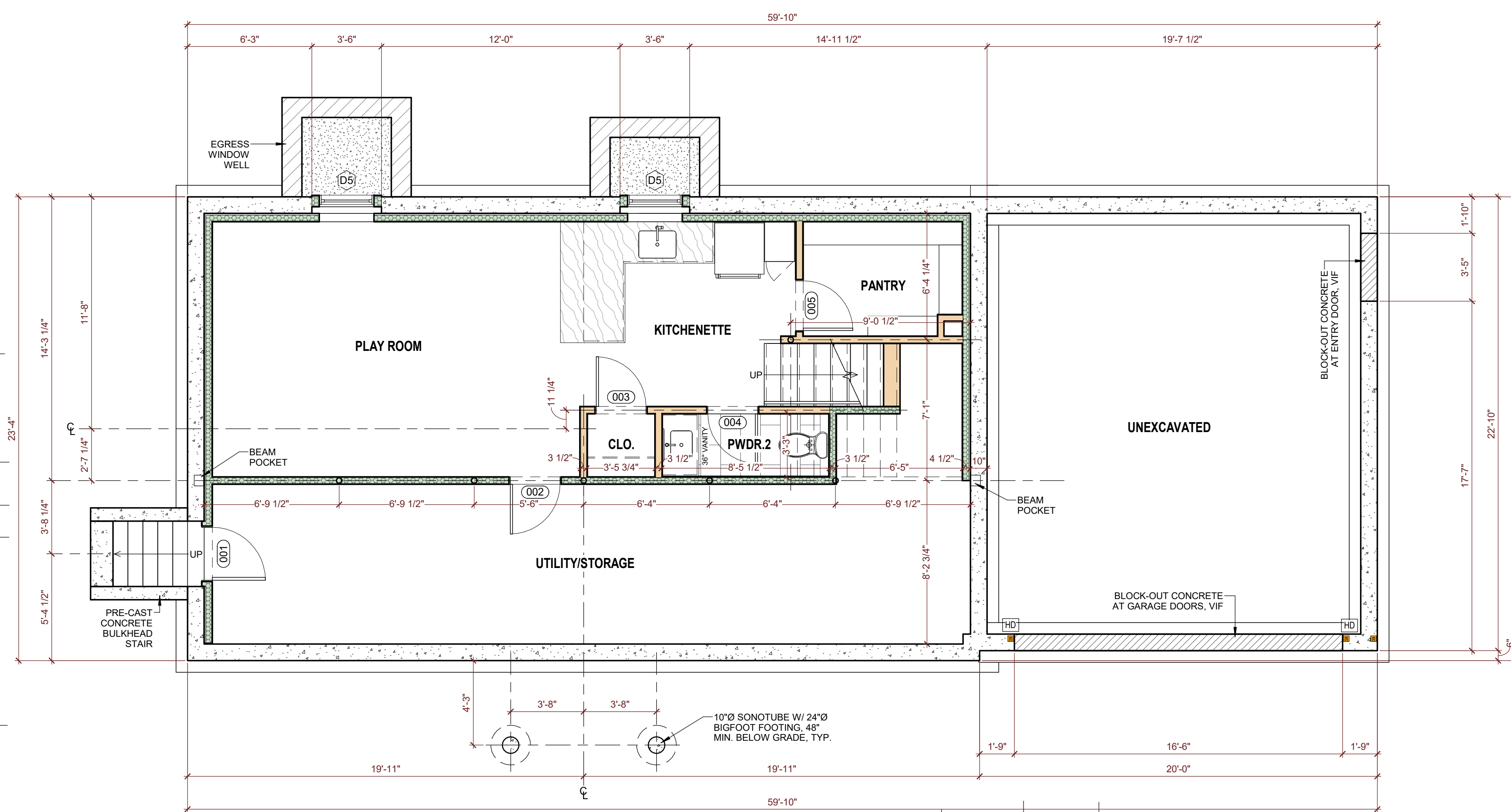
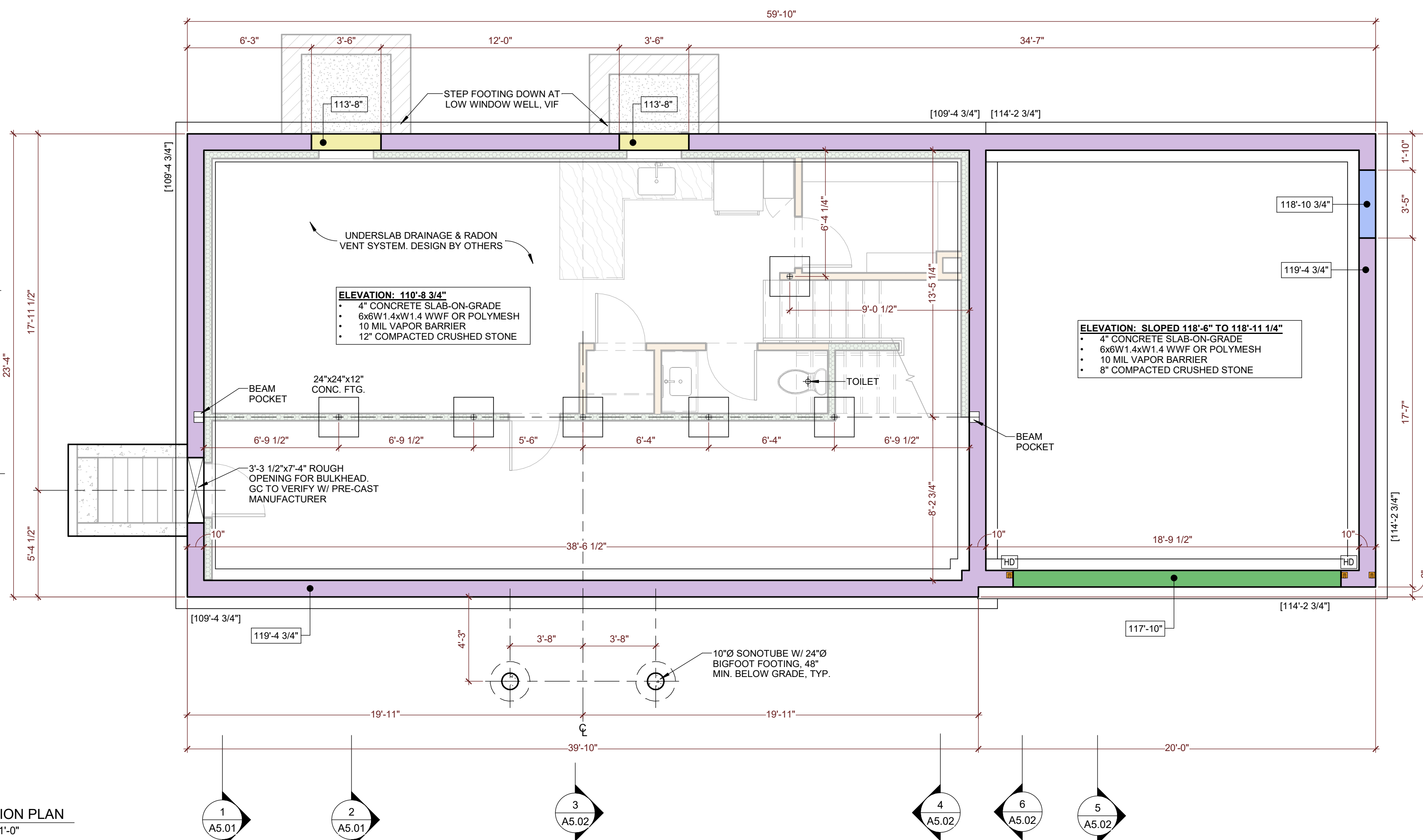
TOP OF WALL / MUDDISSILL	ELEVATION	COLOR
TOP OF WALL	119'-4 3/4"	
TOP OF DOOR OPENING	118'-10 3/4"	
TOP OF DOOR OPENING	117'-10"	
TOP OF WINDOW OPENING	113'-8"	

BOTTOM OF FOOTING. → [109'-4 3/4"] ELEVATION VARIES

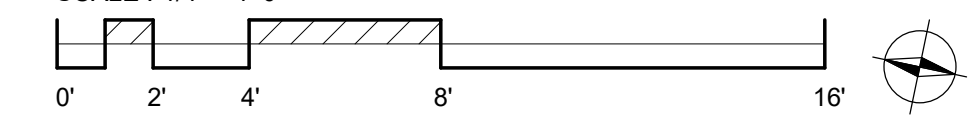


**2 FOUNDATION PLAN**  
Scale: 1/4" = 1'-0"

**1 PROPOSED BASEMENT PLAN**  
Scale: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



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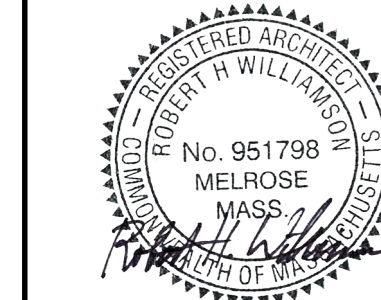
Consultant:

Project Name:  
**NEW RESIDENCE AT 10 FIFE RD FOR BLUE CEDAR PROPERTY GROUP**

Client: BLUE CEDAR PROPERTY GROUP  
Location: 10 Fife Rd, Wellesley, MA 02481  
Sheet Name:

**PROPOSED FLOOR PLANS**

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







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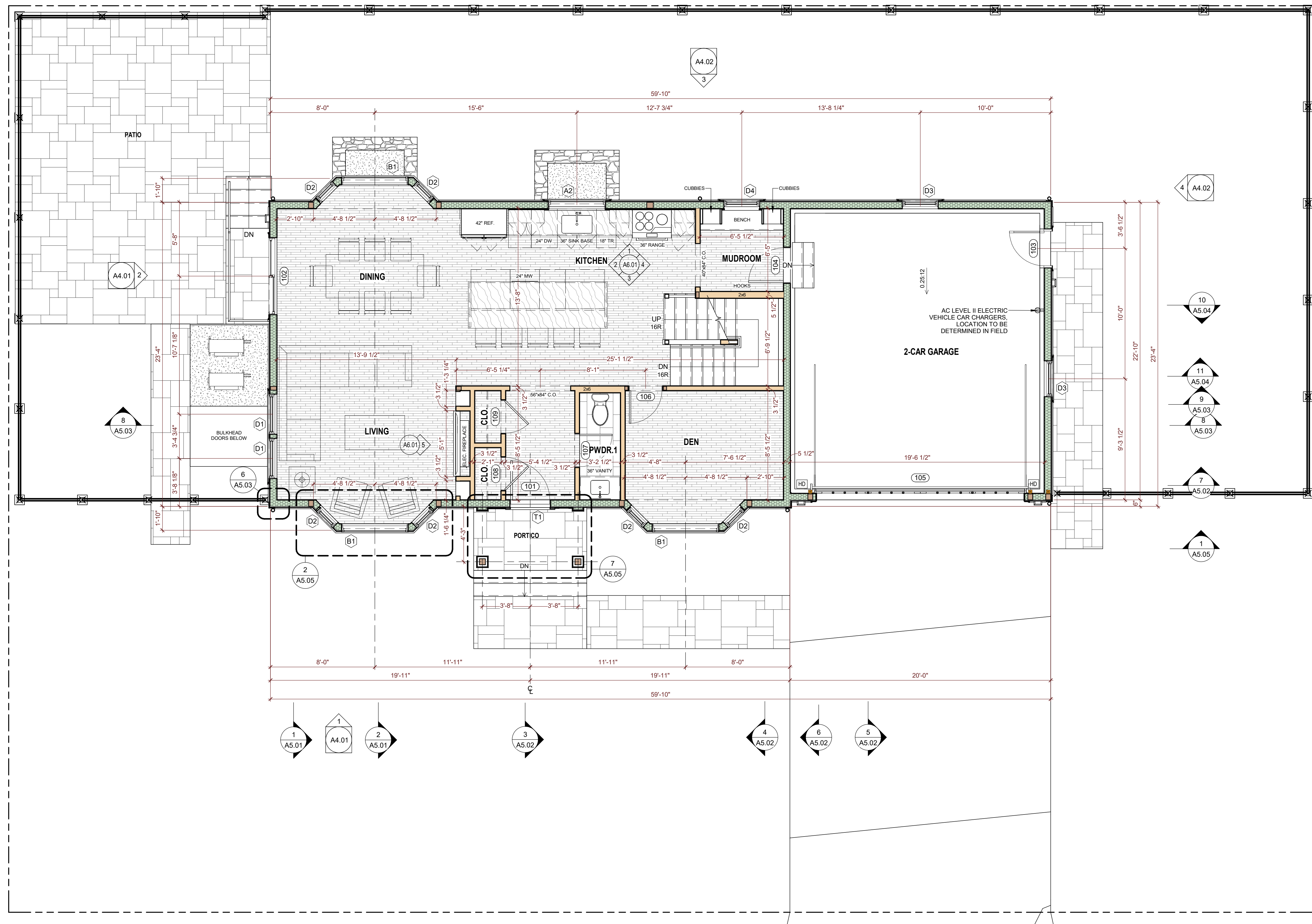
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**A1.01**

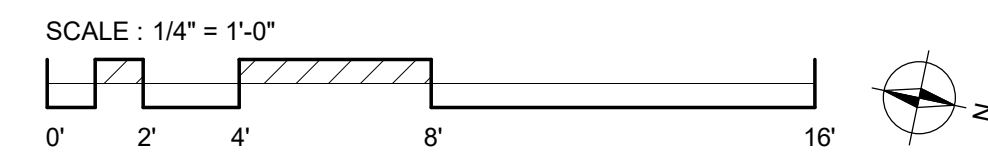
**FLOOR PLAN LEGEND**

-  WINDOW TAG, SEE A0.02
-  DOOR TAG, SEE A0.03
-  CAST-IN-PLACE CONCRETE WALL
-  PARTITION STUD WALL, 2x4 OR 2x6 AT 16" O.C., SEE INSULATION SCHEDULE FOR ACOUSTIC BATTS
-  EXTERIOR STUD WALL, 2x6 AT 16" O.C., INSULATED
-  COLUMN / POST, SEE A4 FRAMING PLANS
-  SIMPSON STDH14 HOLD-DOWN TO BE CAST INTO FOUNDATION WALL, FASTEN TO STUDS WITH (30) 16d SINKER NAILS. SEE PORTAL FRAME ELEVATION.

- FLOOR PLAN NOTES:**
1. EXTERIOR WALL DIMENSIONS ARE TO THE OUTSIDE FACE OF STUD AND/OR CONCRETE.
  2. INTERIOR PARTITION DIMENSIONS ARE TO THE FINISH FACE OF THE WALL OR TO THE CENTERLINE OF THE WALL.
  3. WINDOWS ARE DIMENSIONED TO THE CENTERLINE OF THE ROUGH OPENING.
  4. DOORS ARE DIMENSIONED TO THE THE CENTERLINE OF THE ROUGH OPENING OR TO THE FINISH EDGE OF DOOR JAMBS.
  5. INTERIOR SQUARE FOOTAGES LISTED ON PLANS IS NET SQUARE FOOTAGE OF EACH ROOM, NOT INCLUDING CLOSETS, UNLESS OTHERWISE NOTED. SEE AREA SCHEDULE FOR GROSS SQUARE FOOTAGE.
  6. GC SHALL COORDINATE ALL EARTHWORK AND EXCAVATION WITH EXISTING SEWER, GAS, WATER, ELECTRICAL AND TELECOMMUNICATIONS SERVICES.
  7. GC SHALL COORDINATE THE LOCATION OF ALL CHASES, INSERTS, OPENINGS, SLEEVES, REVEALS AND OTHER PROJECT REQUIREMENTS NOT SHOWN IN DRAWINGS.
  8. ALL NEW GYPSUM BOARD SHALL BE FINISHED WITH SKIMCOAT PLASTER, LEVEL 5 FINISH, UNLESS OTHERWISE NOTED.
  9. PROVIDE MOLD & MOISTURE RESISTANT GWB AND PLASTER IN THE BATHROOM.
  10. EXTERIOR TRIM AND MOLDINGS SHALL BE AZEK PVC. ALL FASTENERS SHALL BE STAINLESS STEEL AND HOLES FILLED HIGH PERFORMANCE SPACKLING PASTE. SAND & PRIME ALL TRIM BOARD, AND FINISH WITH 2 COATS OF EXTERIOR PAINT FOR PVC TRIM. PAINT COLOR TBD.
  11. EXTERIOR SIDING SHALL BE FIBER CEMENT. SHINGLE SIDING SHALL BE STRAIGHT EDGE. LAP SIDING SHALL BE SMOOTH. PRE-FINISHED PLANKS MAY BE USED, BUT MUST HAVE AT LEAST ONE COAT OF EXTERIOR PAINT APPLIED AFTER INSTALLATION. PAINT COLOR TBD.



**1 PROPOSED FIRST FLOOR PLAN**  
Scale: 1/4" = 1'-0"



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Project Name:  
**NEW RESIDENCE AT 10  
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CEDAR PROPERTY  
GROUP**

Client: BLUE CEDAR PROPERTY GROUP  
Location: 10 Fife Rd, Wellesley, MA 02481  
Sheet Name:

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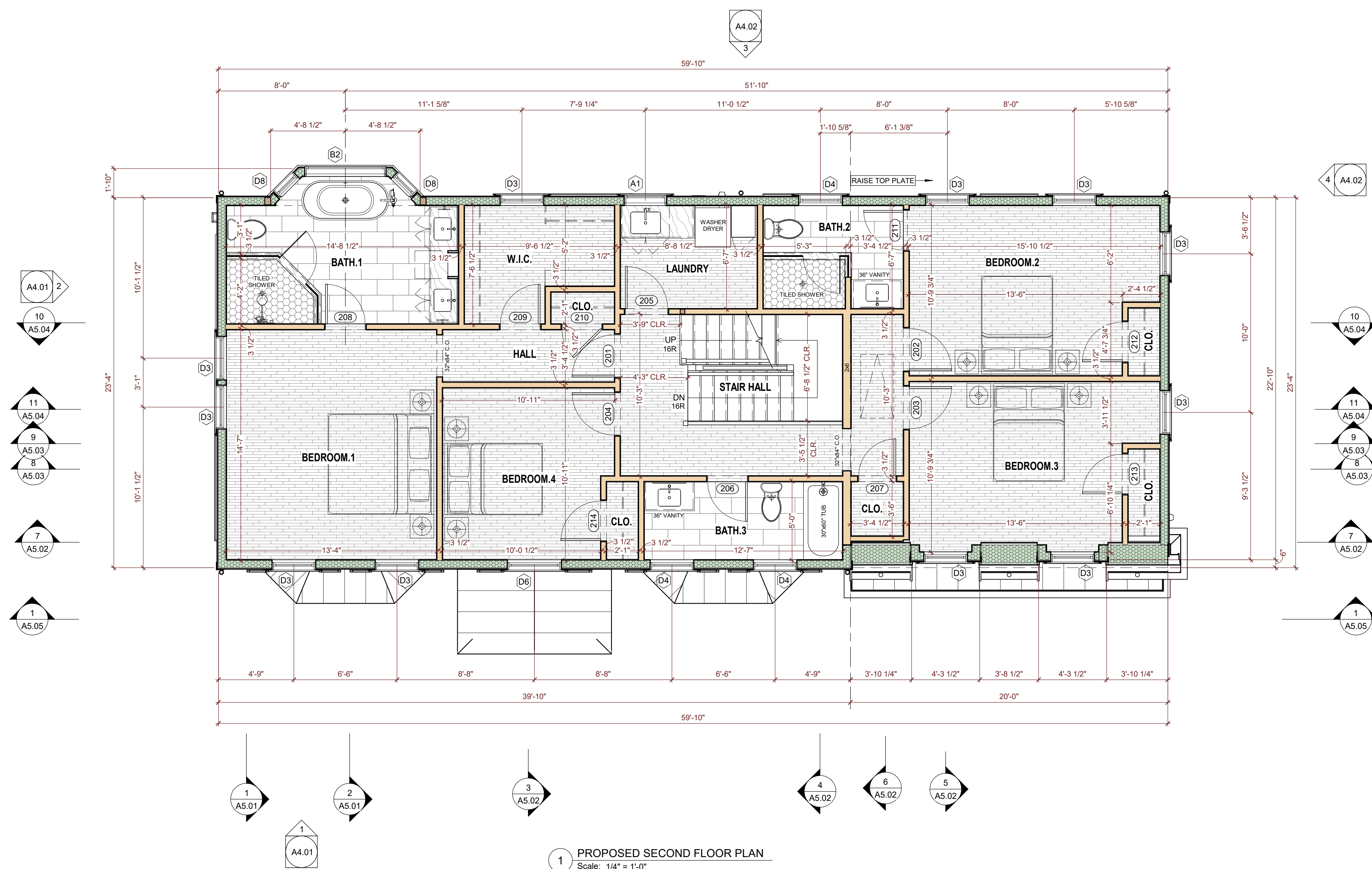
**A1.02**

**FLOOR PLAN LEGEND**

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11. EXTERIOR SIDING SHALL BE FIBER CEMENT. SHINGLE SIDING SHALL BE STRAIGHT EDGE, LAP SIDING SHALL BE SMOOTH, PRE-FINISHED PLANKS MAY BE USED, BUT MUST HAVE AT LEAST ONE COAT OF EXTERIOR PAINT APPLIED AFTER INSTALLATION. PAINT COLOR TBD.



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**NEW RESIDENCE AT 10 FIFE RD FOR BLUE CEDAR PROPERTY GROUP**

Client: BLUE CEDAR PROPERTY GROUP  
Location: 10 Fife Rd, Wellesley, MA 02481  
Sheet Name:  
**PROPOSED FLOOR PLANS**

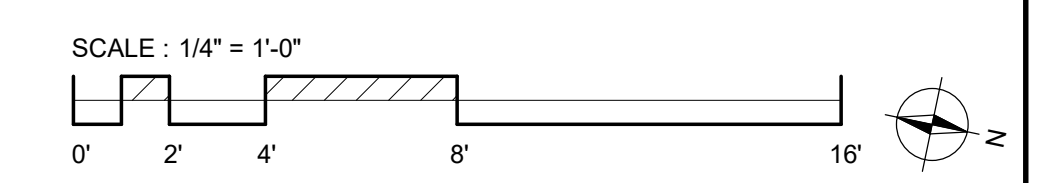
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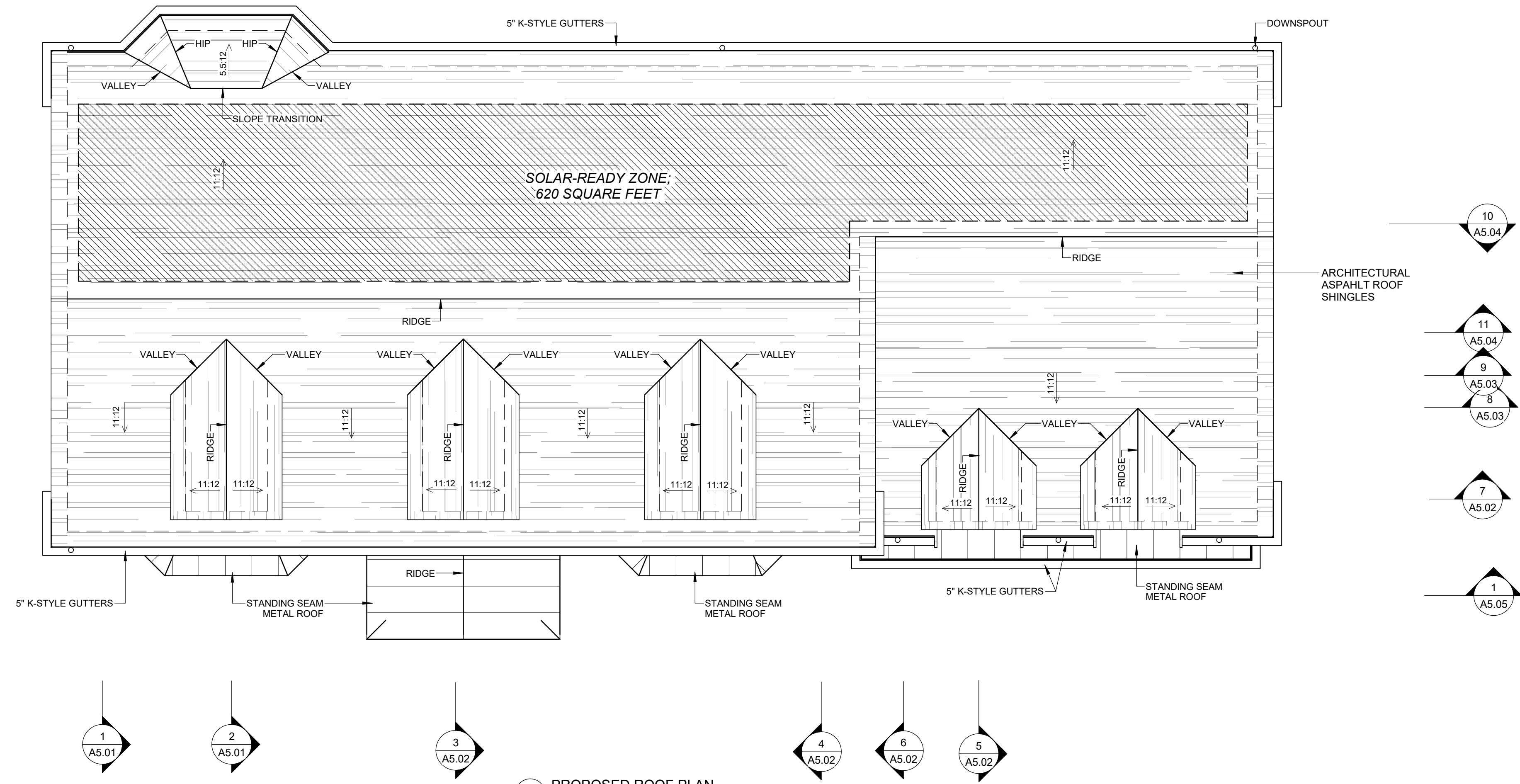
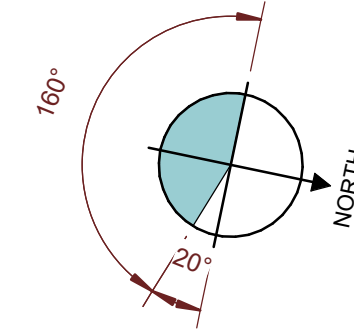
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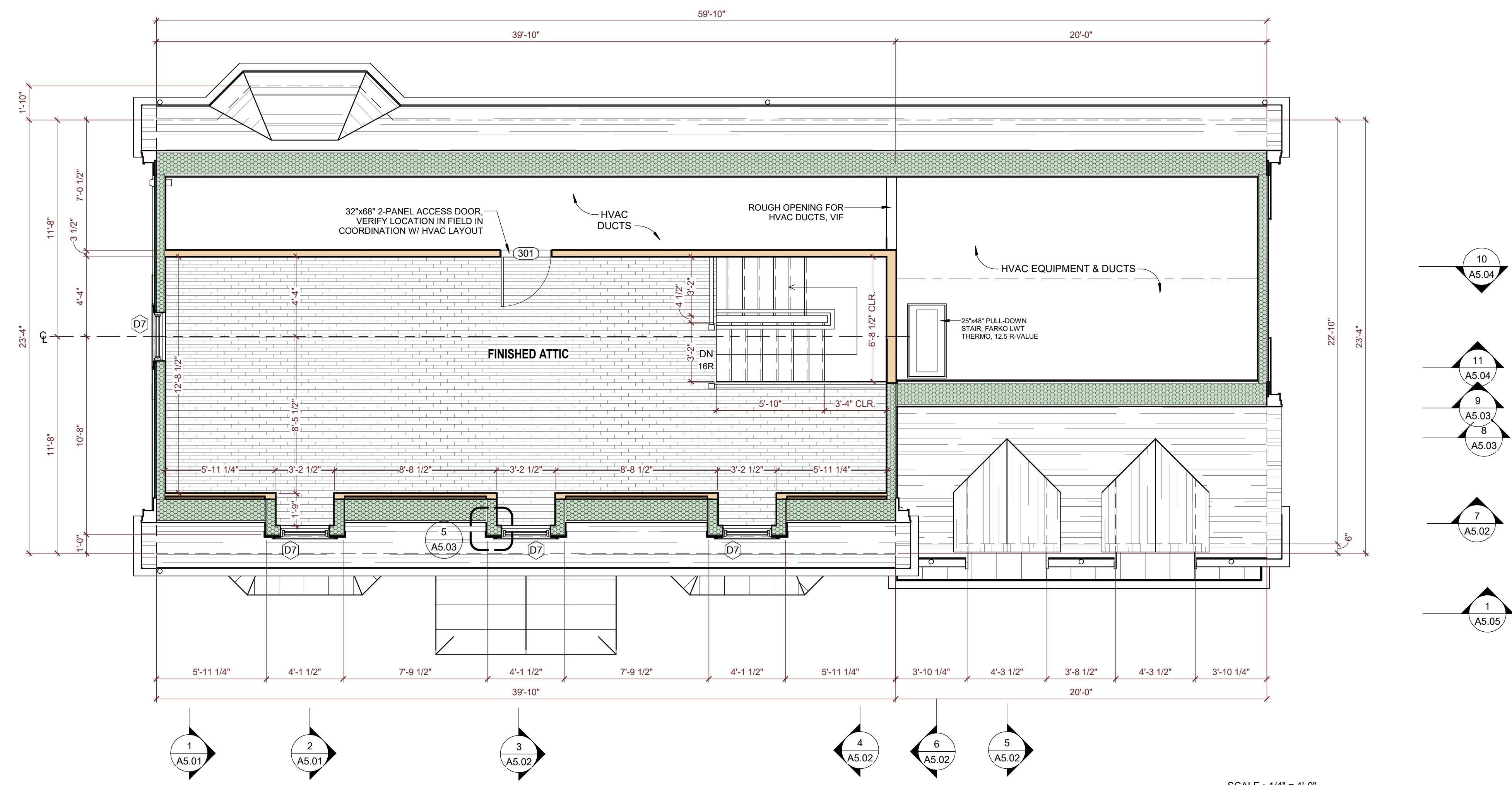


**GENERAL NOTES - ROOF PLANS**

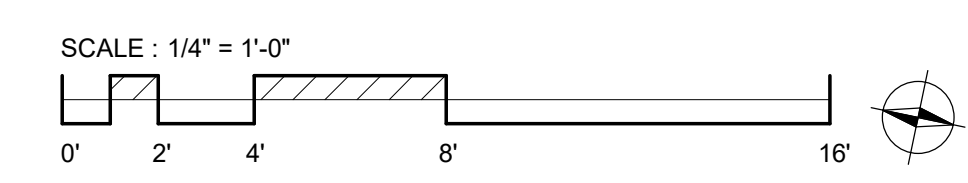
1. PROVIDE NEW GAF TIMBERLINE HD SHINGLE ROOF SYSTEM AT ALL SLOPED ROOFS, OR APPROVED EQUAL, UNLESS OTHERWISE NOTED. COLOR TO BE SELECTED BY ARCHITECT AND/OR OWNER FROM MANUFACTURER'S FULL RANGE.
2. PROVIDE SEAM METAL ROOFING SYSTEM AT LOCATIONS INDICATED IN DRAWINGS. 16" PANEL WIDTH. PROVIDE SLIP SHEET BETWEEN METAL ROOFING AND UNDERLAYMENT.
3. PROVIDE FULL ICE & WATER SHIELD UNDERLAYMENT OVER ENTIRE ROOF SURFACE.
4. ICE & WATER SHIELD SHALL LAP OVER FASCIA BOARD 1" MINIMUM TO HELP PREVENT ICE DAMING.
5. ICE & WATER SHIELD SHALL EXTEND UP ADJACENT VERTICAL WALLS 18" MINIMUM.
6. PROVIDE STANDARD 0.26 GAUGE 1" METAL DRIP EDGE AND STEP FLASHING. EAVES MAY REQUIRE METAL DRIP EDGES WITH EXTENDED FASCIAS TO COVER ICE & WATER SHIELD.
7. GUTTERS TO BE ALUMINUM, 6" HALF-ROUND STYLE, BLACK.
8. DOWNSPOUTS SHALL BE 3" DIA. PIPE, SMOOTH, BLACK.
9. DO NOT INSTALL ANY PLUMBING VENTS IN THE FRONT OF THE HOUSE. THEY SHALL BE INSTALLED AT THE REAR FACING SLOPES.
10. DO NOT INSTALL ANY ENVIRONMENTAL EXHAUSTS IN THE SLOPED ROOF SURFACES. SEE REFLECTED CEILING PLANS & EXTERIOR ELEVATIONS FOR SIDEWALL EXHAUST LOCATIONS.



**2 PROPOSED ROOF PLAN**  
Scale: 1/4" = 1'-0"



**1 PROPOSED ATTIC PLAN**  
Scale: 1/4" = 1'-0"



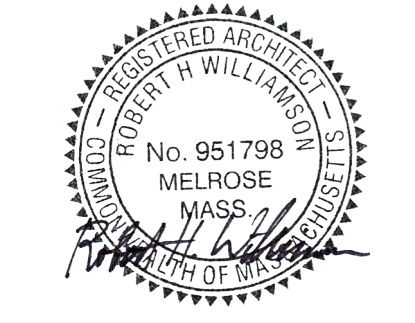
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**NEW RESIDENCE AT 10 FIFE RD FOR BLUE CEDAR PROPERTY GROUP**

Client: BLUE CEDAR PROPERTY GROUP  
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**PROPOSED FLOOR PLANS**

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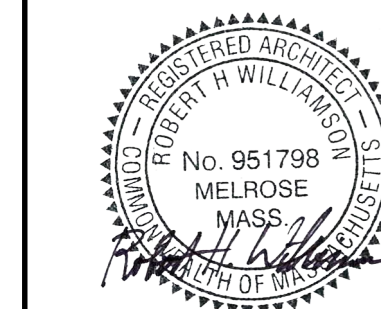


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**A1.04**





**SMOKE, HEAT AND CARBON MONOXIDE ALARM NOTES**

**SMOKE DETECTOR - R314.3**

SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

1. IN EACH SLEEPING ROOM
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN THREE FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT THE PLACEMENT OF A SMOKE ALARM REQUIRED BY SECTION 4314.3.
5. FOR EACH 1,000 SQUARE FEET OF AREA OR PART THEREOF.
6. AT THE TOP AND BOTTOM OF EACH FLIGHT OF STAIRS.

**HEAT DETECTOR - R314.8 & R314.8.1**

A HEAT DETECTOR LISTED FOR THE AMBIENT ENVIRONMENT SHALL BE INSTALLED IN:

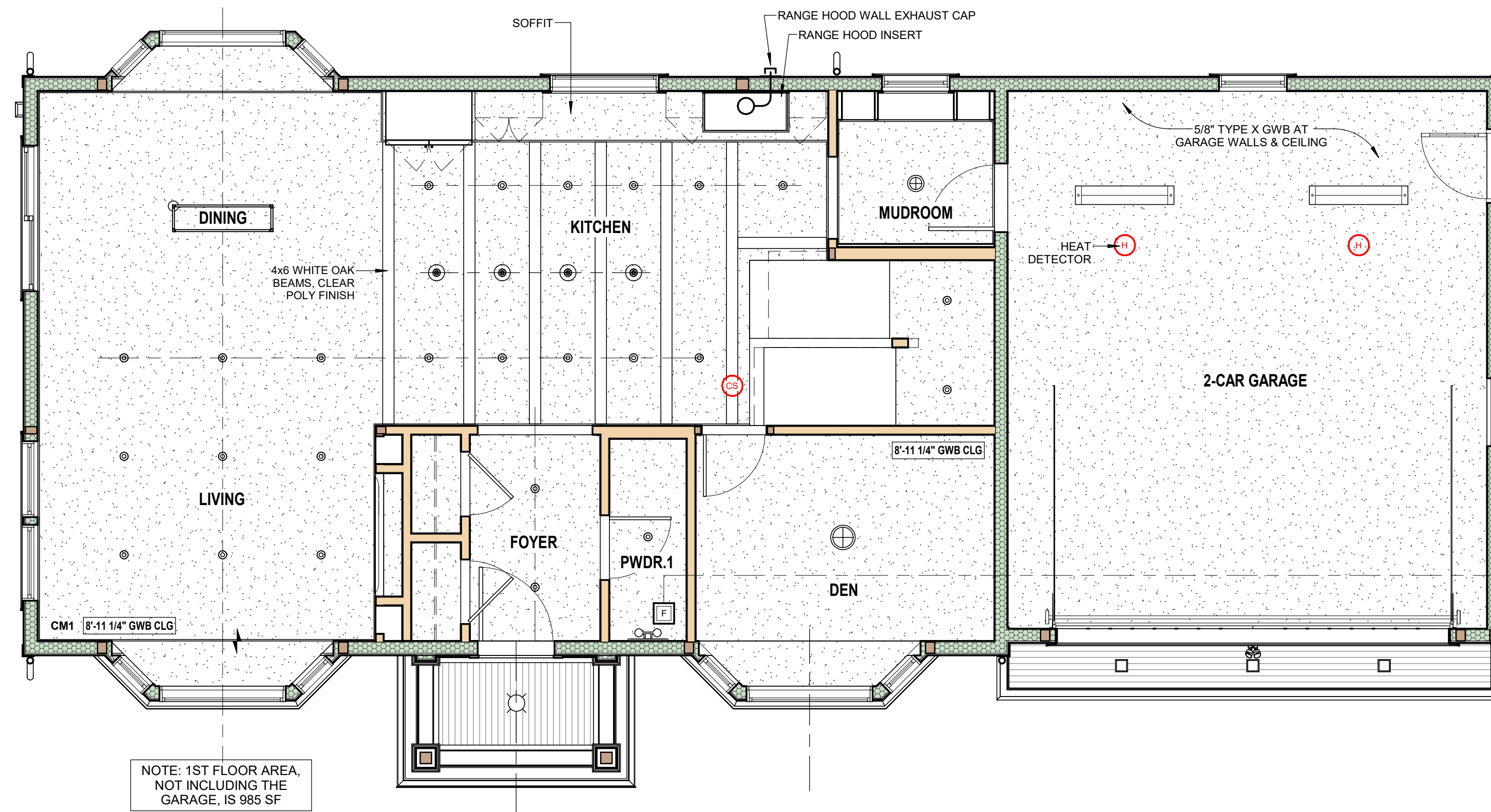
1. ANY INTEGRAL GARAGE ("GARAGE UNDER") OR ATTACHED GARAGE TO THE MAIN HOUSE. DETACHED GARAGES DO NOT REQUIRE A HEAT DETECTOR.
2. THERE SHALL BE ONE HEAT DETECTOR PER VEHICLE BAY.

**HEAT DETECTOR PLACEMENT:**

FOR FLAT FINISHED CEILING, THE SINGLE HEAT DETECTOR SHALL BE PLACED ON OR NEAR THE CENTER OF THE GARAGE CEILING. FOR SLOPED CEILING HAVING A RISE TO RUN GREATER THAN ONE FOOT IN EIGHT FEET, THE SINGLE HEAT DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE VAULTED CEILING, BUT NO CLOSER THAN FOUR INCHES TO ANY WALL.

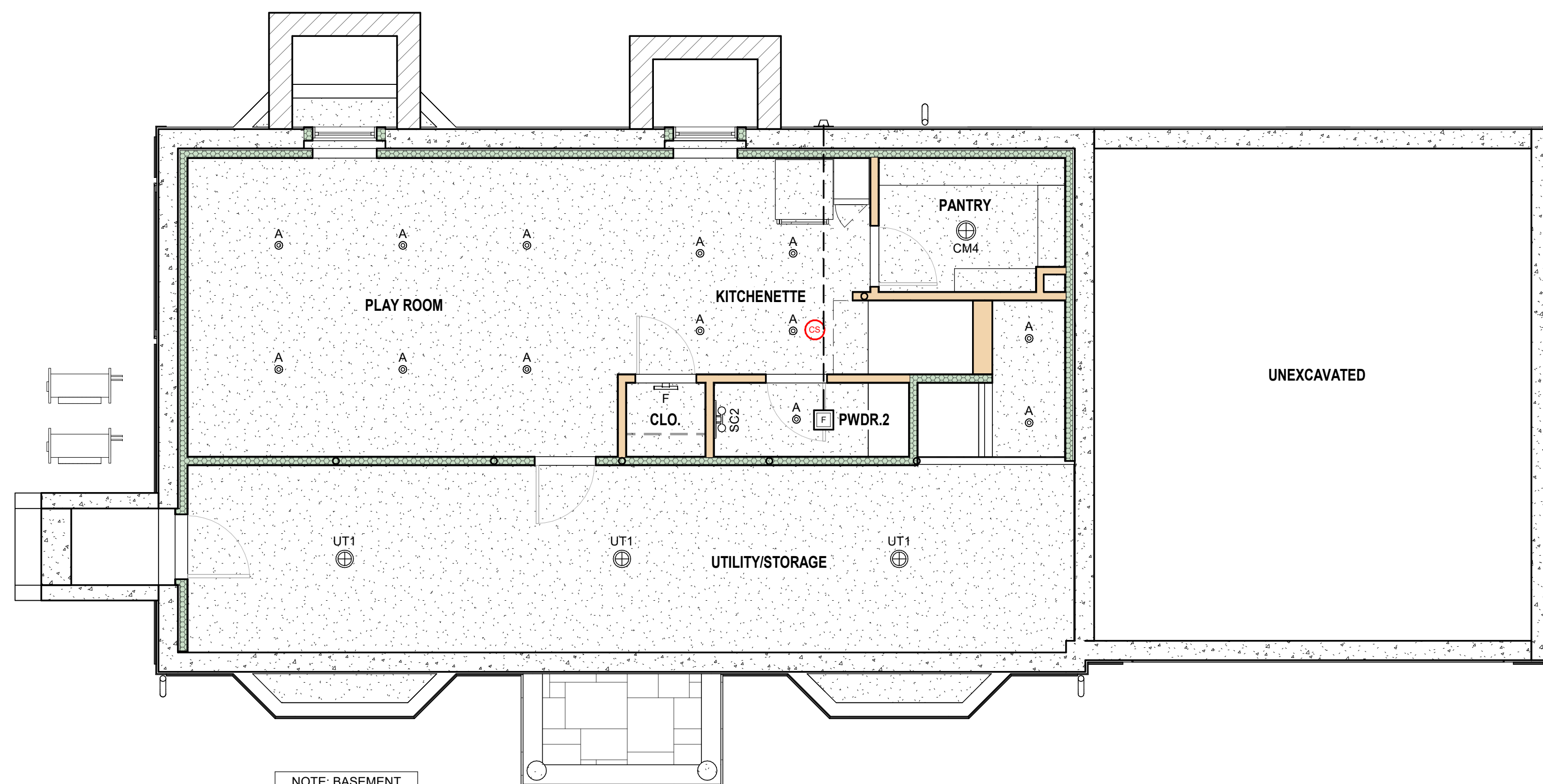
**CARBON MONOXIDE ALARM - R315.3**

CARBON MONOXIDE ALARMS IN DWELLING UNITS SHALL BE OUTSIDE OF EACH SEPARATE SLEEPING AREA WITHIN TEN FEET OF THE BEDROOMS, WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM. AT LEAST ONE ALARM SHALL BE INSTALLED ON EACH STORY OF A DWELLING UNIT, INCLUDING BASEMENT AND CELLARS, BUT NOT IN CRAWL SPACES AND UNINHABITABLE ATTICS.



NOTE: 1ST FLOOR AREA, NOT INCLUDING THE GARAGE, IS 985 SF

2 1ST FLOOR REFLECTED CEILING PLAN  
Scale: 1/4" = 1'-0"

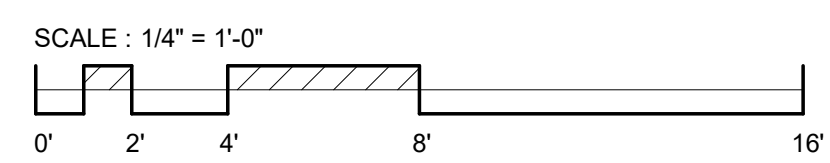


NOTE: BASEMENT AREA IS 938 SF

1 BASEMENT REFLECTED CEILING PLAN  
Scale: 1/4" = 1'-0"

**REFLECTED CEILING PLAN LEGEND**

- 1 SINGLE POLE SWITCH
- 2 TWO-WAY POLE SWITCH
- D DIMMER SWITCH
- O SWITCH W/ DUPLEX OUTLET
- RECESSED DOWNLIGHT
- RECESSED WALL WASHER
- ◐ EXTERIOR WALL SCONCE
- ◑ INTERIOR WALL SCONCE
- ▬ LINEAR WALL SCONCE
- P PENDANT LIGHT
- ⊕ CEILING MOUNTED LIGHT
- ⊗ CEILING FAN
- ▬ LINEAR LED LIGHT
- ▬ UNDERCABINET LIGHT
- ▬ TRACK LIGHTING
- ▬ FLOOD LIGHT
- ⊙ OCCUPANCY SENSOR
- ⊙ T THERMOSTAT
- ⊙ F BATHROOM EXHAUST FAN
- ⊙ FL BATHROOM EXHAUST FAN W/ LIGHT
- ⊙ DB DOORBELL
- ⊙ S SMOKE DETECTOR
- ⊙ CS COMBINATION CARBON MONOXIDE & SMOKE DETECTOR
- ⊙ H HEAT DETECTOR
- ⊙ HVAC SUPPLY GRILLE
- ⊙ HVAC RETURN GRILLE
- ▬ CEILING SURFACE TRANSITION



**SMOKE, HEAT AND CARBON MONOXIDE ALARM NOTES**

**SMOKE DETECTOR - R314.3**

SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

1. IN EACH SLEEPING ROOM
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN THREE FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT THE PLACEMENT OF A SMOKE ALARM REQUIRED BY SECTION 4314.3.
5. FOR EACH 1,000 SQUARE FEET OF AREA OR PART THEREOF.
6. AT THE TOP AND BOTTOM OF EACH FLIGHT OF STAIRS.

**HEAT DETECTOR - R314.8 & R314.8.1**

A HEAT DETECTOR LISTED FOR THE AMBIENT ENVIRONMENT SHALL BE INSTALLED IN:

1. ANY INTEGRAL GARAGE ("GARAGE UNDER") OR ATTACHED GARAGE TO THE MAIN HOUSE. DETACHED GARAGES DO NOT REQUIRE A HEAT DETECTOR.
2. THERE SHALL BE ONE HEAT DETECTOR PER VEHICLE BAY.

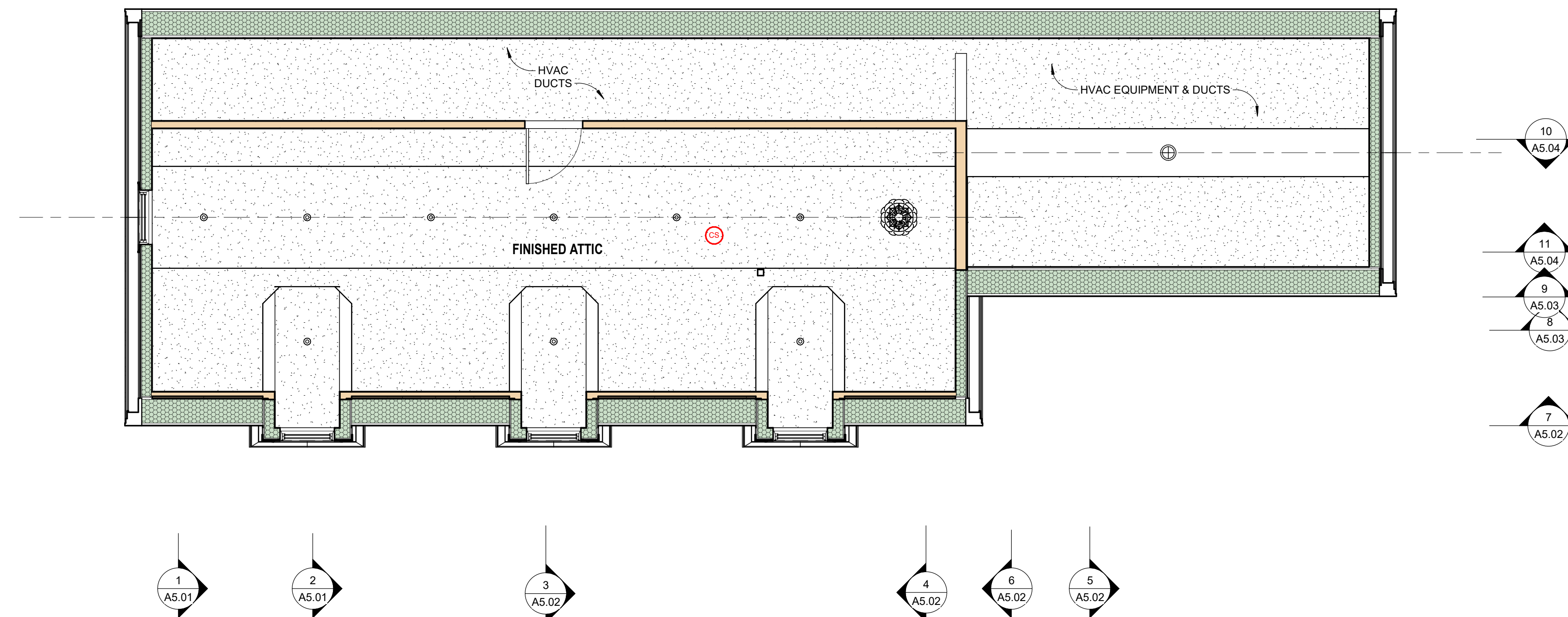
**HEAT DETECTOR PLACEMENT:**

FOR FLAT FINISHED CEILINGS: THE SINGLE HEAT DETECTOR SHALL BE PLACED ON OR NEAR THE CENTER OF THE GARAGE CEILING. FOR SLOPED CEILINGS HAVING A RISE TO RUN GREATER THAN ONE FOOT IN EIGHT FEET, THE SINGLE HEAT DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE VAULTED CEILING, BUT NO CLOSER THAN FOUR INCHES TO ANY WALL.

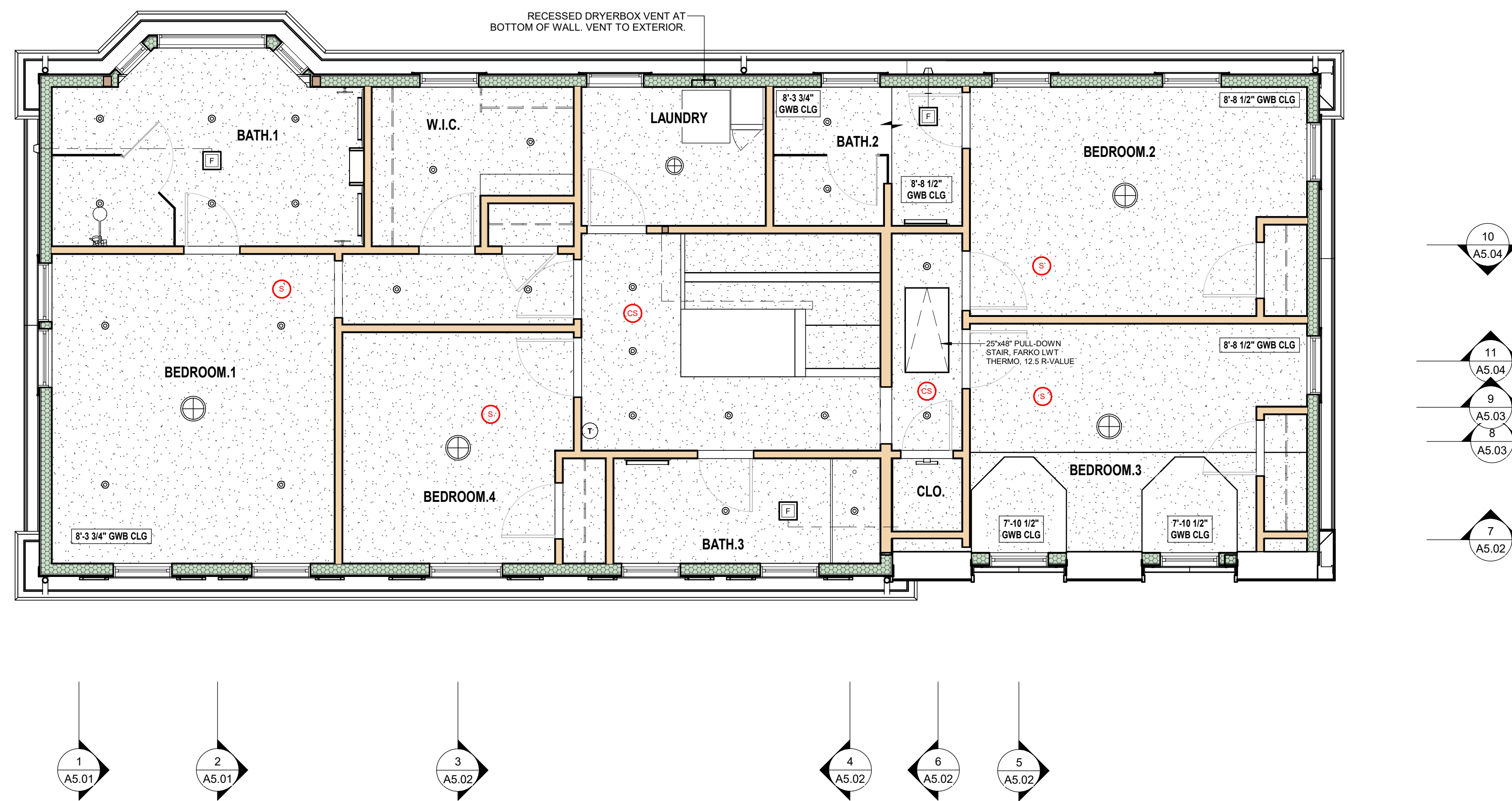
**CARBON MONOXIDE ALARM - R315.3**

CARBON MONOXIDE ALARMS IN DWELLING UNITS SHALL BE OUTSIDE OF EACH SEPARATE SLEEPING AREA WITHIN TEN FEET OF THE BEDROOMS. WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM. AT LEAST ONE ALARM SHALL BE INSTALLED ON EACH STORY OF A DWELLING UNIT, INCLUDING BASEMENT AND CELLARS, BUT NOT IN CRAWL SPACES AND UNINHABITABLE ATTICS.

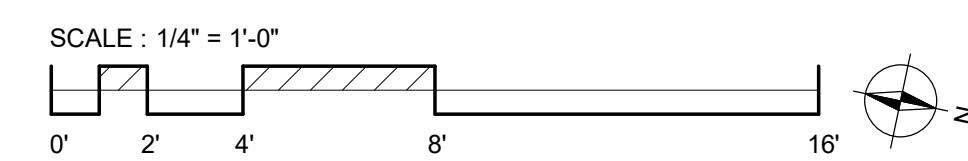
REFLECTED CEILING PLAN LEGEND	
—	SINGLE POLE SWITCH
— 2	TWO-WAY POLE SWITCH
— D	DIMMER SWITCH
— O	SWITCH W/ DUPLEX OUTLET
○	RECESSED DOWNLIGHT
●	RECESSED WALL WASHER
△	EXTERIOR WALL SCONCE
○	INTERIOR WALL SCONCE
—	LINEAR WALL SCONCE
○	PENDANT LIGHT
⊕	CEILING MOUNTED LIGHT
⊗	CEILING FAN
—	LINEAR LED LIGHT
—	UNDERCABINET LIGHT
—	TRACK LIGHTING
—	FLOOD LIGHT
⊙	OCCUPANCY SENSOR
⊙	THERMOSTAT
F	BATHROOM EXHAUST FAN
F	BATHROOM EXHAUST FAN W/ LIGHT
DB	DOORBELL
⊙	SMOKE DETECTOR
⊙	COMBINATION CARBON MONOXIDE & SMOKE DETECTOR
⊙	HEAT DETECTOR
⊗	HVAC SUPPLY GRILLE
⊗	HVAC RETURN GRILLE
—	CEILING SURFACE TRANSITION



2 ATTIC REFLECTED CEILING PLAN  
 Scale: 1/4" = 1'-0"



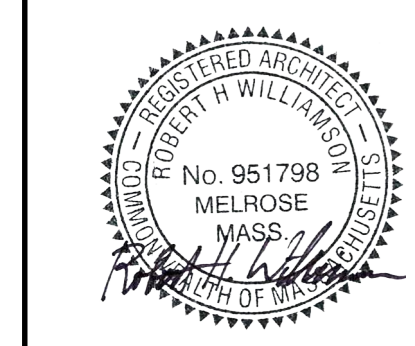
1 2ND FLOOR REFLECTED CEILING PLAN  
 Scale: 1/4" = 1'-0"



Project Name:  
**NEW RESIDENCE AT 10 FIFE RD FOR BLUE CEDAR PROPERTY GROUP**

Client: BLUE CEDAR PROPERTY GROUP  
 Location: 10 Fife Rd, Wellesley, MA 02481  
 Sheet Name:  
**REFLECTED CEILING PLANS**

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**A2.02**

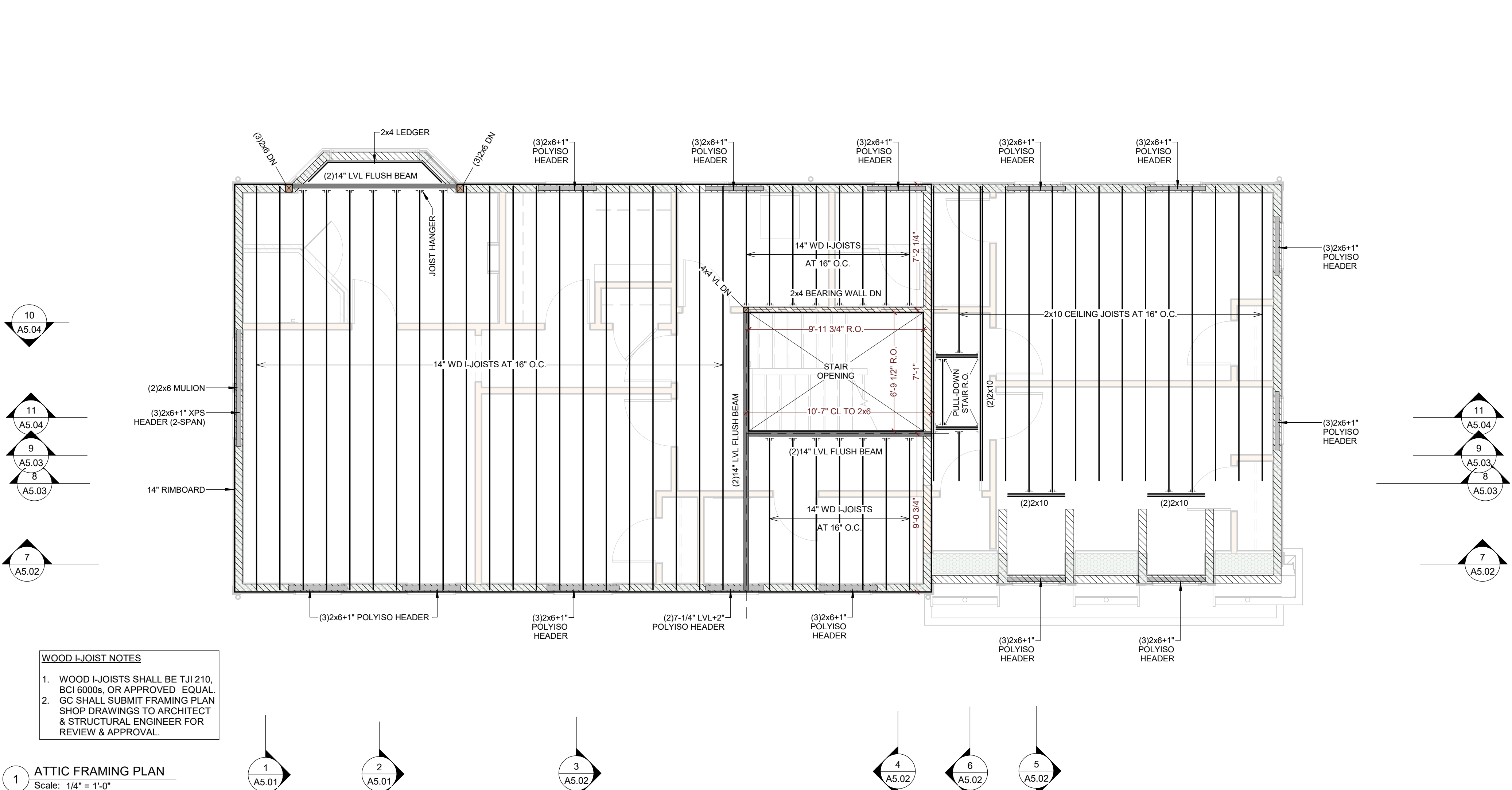
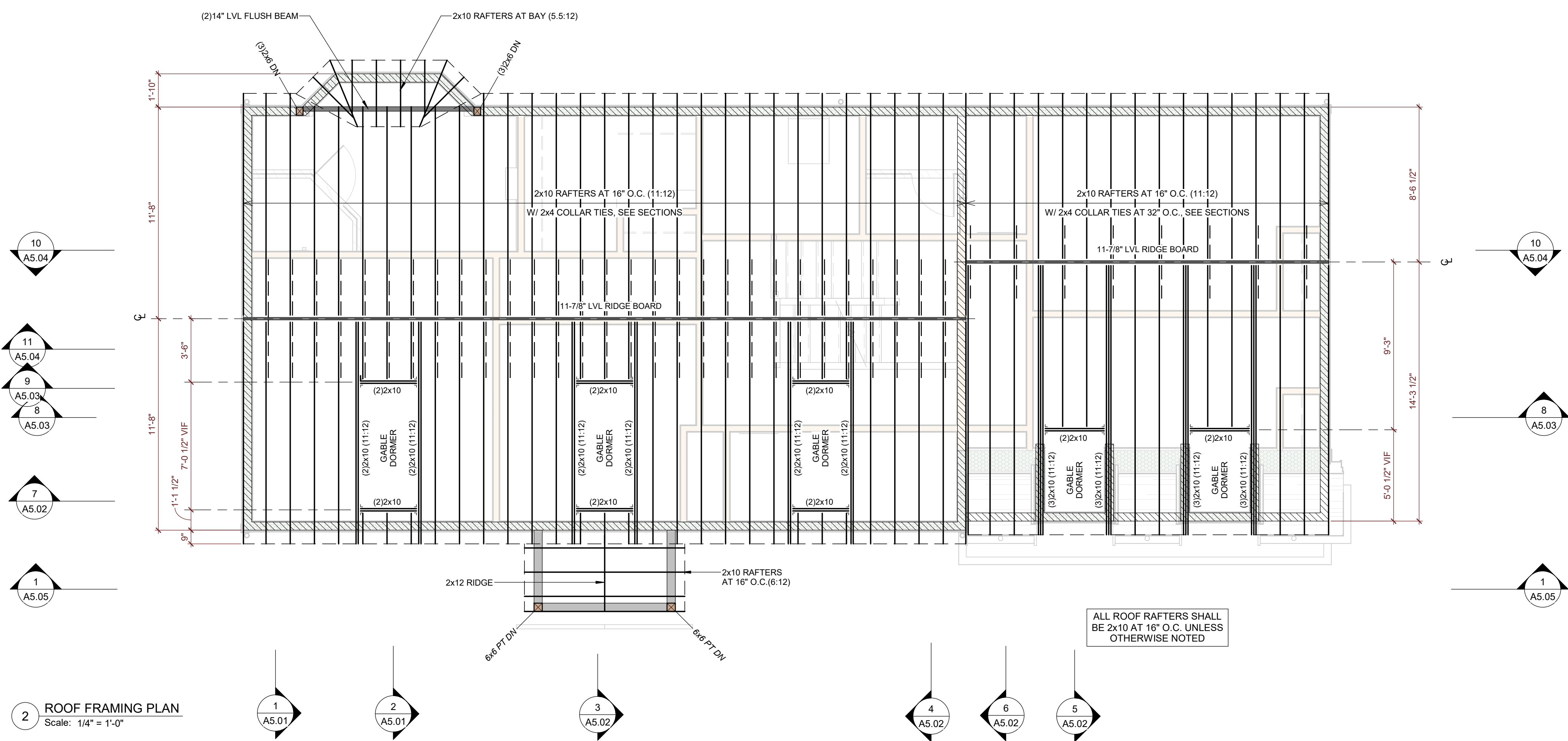
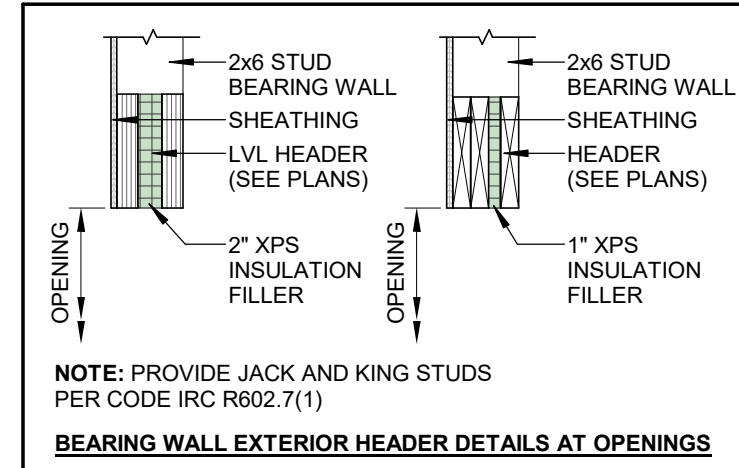
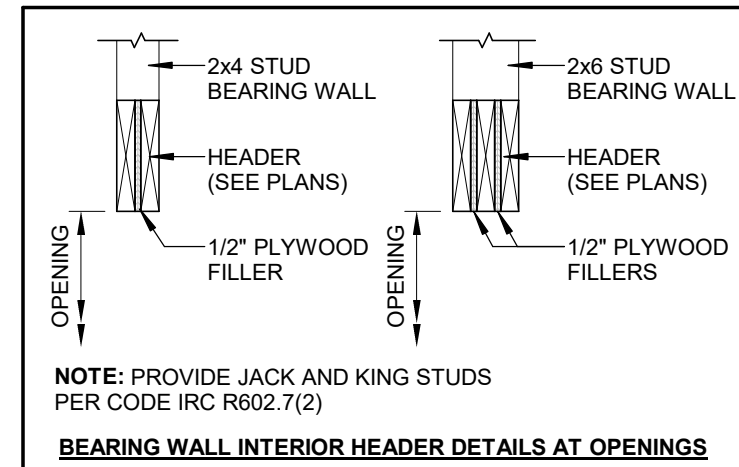


- STRUCTURAL NOTES:**
- REFER TO ADDITIONAL FRAMING PLANS & DETAILS BY NATIONAL LUMBER FOR ALL ENGINEERED LUMBER SPECIFICATIONS, BEAM SIZES, JOIST SIZES, AND ALL HANGERS AND CONNECTIONS.
  - ARCHITECTURAL FRAMING PLANS ARE PROVIDED TO SHOW THE LAYOUTS OF ALL FRAMING MEMBERS FOR DESIGN COORDINATION WITH ENGINEERED LUMBER DESIGN BY OTHERS. NOMINAL LUMBER FRAMING IS SHOWN AND SPECIFIED PER THE MA STATE BUILDING CODE, 9TH EDITION, ONE AND TWO FAMILY DWELLINGS.
  - THE GC SHALL COORDINATE THE APPROPRIATE STRUCTURAL FASTENERS, HANGERS AND ANGLES FOR ALL CONNECTIONS NOT SPECIFICALLY CALLED OUT IN THE DRAWINGS WITH THE MANUFACTURER.
  - ALL MATERIAL SHALL BE STORED IN A LEVEL, DRY AREA UNTIL INSTALLED.
  - "PT" INDICATES PRESSURE TREATED LUMBER.
  - "LVL" INDICATES ENGINEERED LAMINATED VENEER LUMBER.
  - "VL" INDICATES VERSALAM ENGINEERED COLUMN.
  - SEE ROOF PLANS FOR SOLAR-READY AREA ON ROOF.

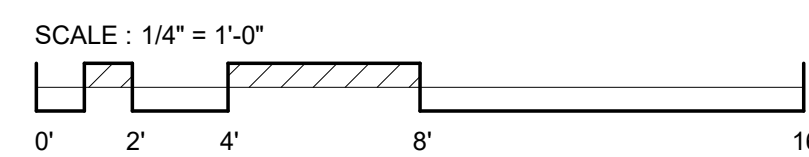
- DESIGN LOADS:**
- DEAD LOADS: WEIGHT OF BUILDING COMPONENTS.
  - LIVE LOADS:
    - TYPICAL FLOOR - 40 PSF
    - EXTERIOR DECKS/BALCONIES - 60 PSF
    - GROUND SNOW LOAD - 55 PSF (WELLESLEY, MA)
  - WIND LOADS - PER MA BUILDING CODE; EXPOSURE CATEGORY B

- WOOD FRAMING NOTES:**
- NON-ENGINEERED WOOD FRAMING SHALL BE NO.2 GRADE SPRUCE, PINE, FIR, AT A MINIMUM.
  - FLOOR DECKING (SUBFLOOR) SHALL BE 3/4" TONGUE & GROOVE ADVANTECH, GLUED AND NAILED TO JOISTS AND BEAMS.
  - ROOF DECKING (SHEATHING) SHALL BE 5/8" TONGUE & GROOVE ADVANTECH.
  - DRILLING OR CORING JOISTS AND BEAMS SHALL FOLLOW THE GUIDELINES IN THE 2015 IRC OR PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS FOR ENGINEERED LUMBER.
  - INTERIOR WALLS SHALL BE FRAMED WITH 2x4's OR 2x6's AT 16" ON CENTER.
  - PRESSURE TREATED WOOD SHALL BE USED WHEREVER WOOD IS IN DIRECT CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS.
  - WOOD FRAMED ROUGH OPENINGS AT MASONRY CHIMNEYS SHALL HAVE A MINIMUM 2" CLEARANCE.
  - WHERE VERTICAL SUPPORTS ARE NOT SHOWN IN FRAMING PLANS AS "COLLUM" PROVIDE TRIPLE 2x4 OR 2x6 SUPPORTS IN WALL DOWN TO CONCRETE FOUNDATION.
  - LVL SHALL BE VERSA LAM 2.0 3100 OR APPROVED EQUAL. MECHANICALLY FASTEN MULTI-PLY LVLS TOGETHER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS TO ACT AS A SINGLE MEMBER.

- SHEAR WALL NOTES:**
- EXTERIOR WALLS AT THE 1ST FLOOR SHALL BE SHEATHED WITH 7/16" APA RATED WALL SHEATHING APPLIED DIRECTLY AGAINST THE OUTSIDE FACE OF WALL STUDS. FASTEN SHEATHING TO STUDS WITH 8d COMMON NAILS SPACED 4" ON CENTER ALONG SHEATHING EDGES AND 12" ON CENTER IN THE FIELD. BLOCK ALL EDGES OF SHEATHING WITH 2x TIMBERS.
  - EXTERIOR WALLS AT THE 2ND FLOOR SHALL BE SHEATHED WITH 7/16" APA RATED WALL SHEATHING APPLIED DIRECTLY AGAINST THE OUTSIDE FACE OF WALL STUDS. FASTEN SHEATHING TO STUDS WITH 8d COMMON NAILS SPACED 6" ON CENTER ALONG SHEATHING EDGES AND 12" ON CENTER IN THE FIELD. BLOCK ALL EDGES OF SHEATHING WITH 2x TIMBERS.
  - REFER TO THE LOCATION AND DETAILS FOR THE PORTAL FRAME DESIGN AT THE GARAGE DOOR.

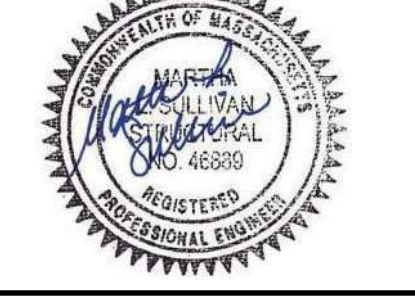


- WOOD I-JOIST NOTES**
- WOOD I-JOISTS SHALL BE TJI 210, BCI 6000s, OR APPROVED EQUAL.
  - GC SHALL SUBMIT FRAMING PLAN SHOP DRAWINGS TO ARCHITECT & STRUCTURAL ENGINEER FOR REVIEW & APPROVAL.



Architect:  
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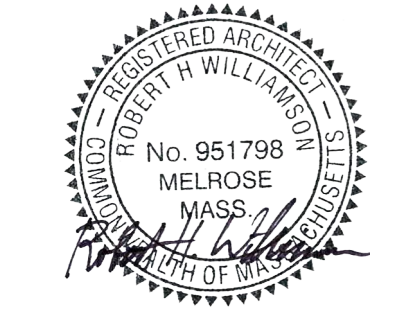
Consultant:  
Martha Sullivan, PE  
Structural Engineer  
martha.sullivan@gmail.com  
617-308-7936



Project Name:  
**NEW RESIDENCE AT 10 FIFE RD FOR BLUE CEDAR PROPERTY GROUP**

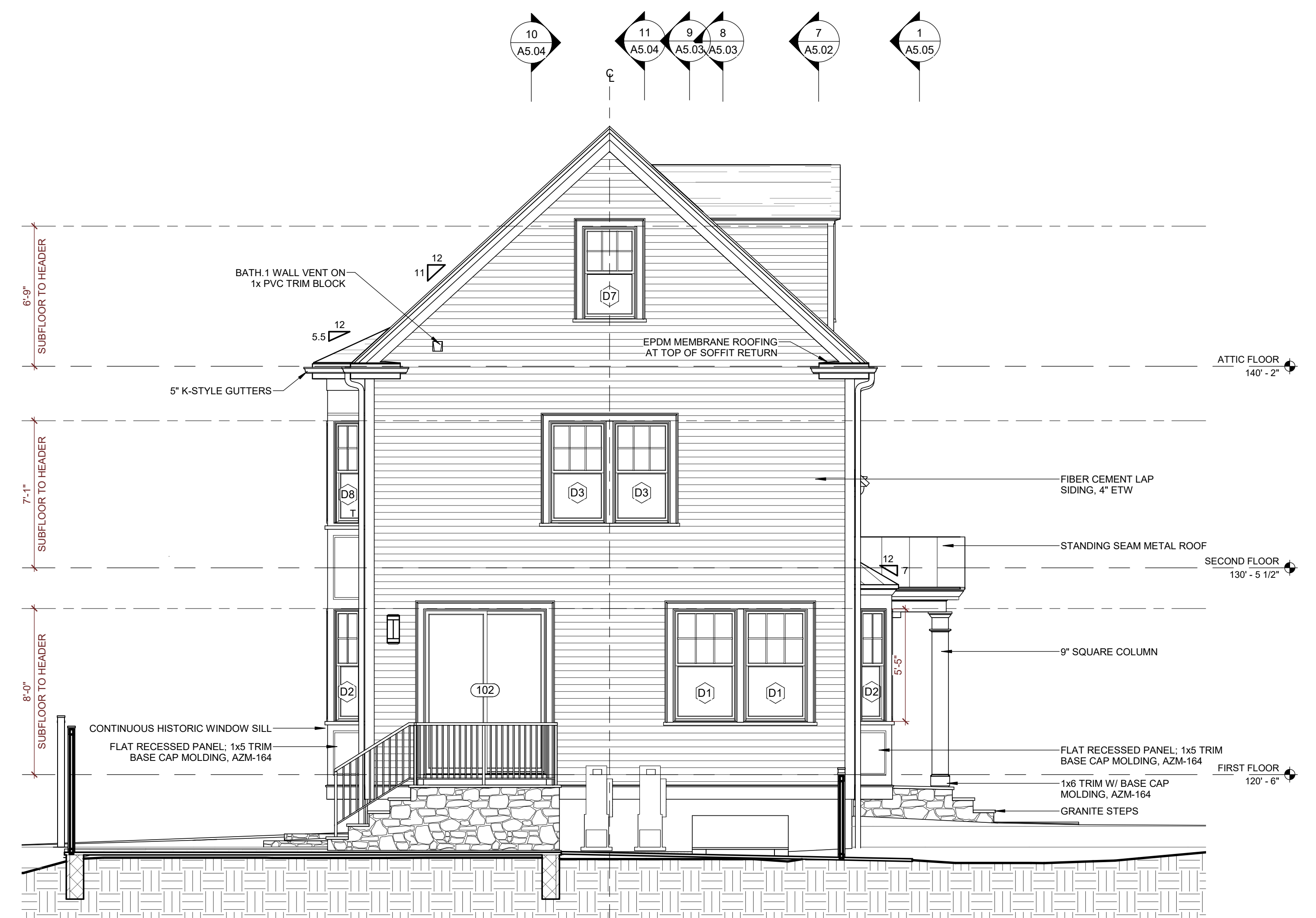
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Location: 10 Fife Rd, Wellesley, MA 02481  
Sheet Name: **FRAMING PLANS**

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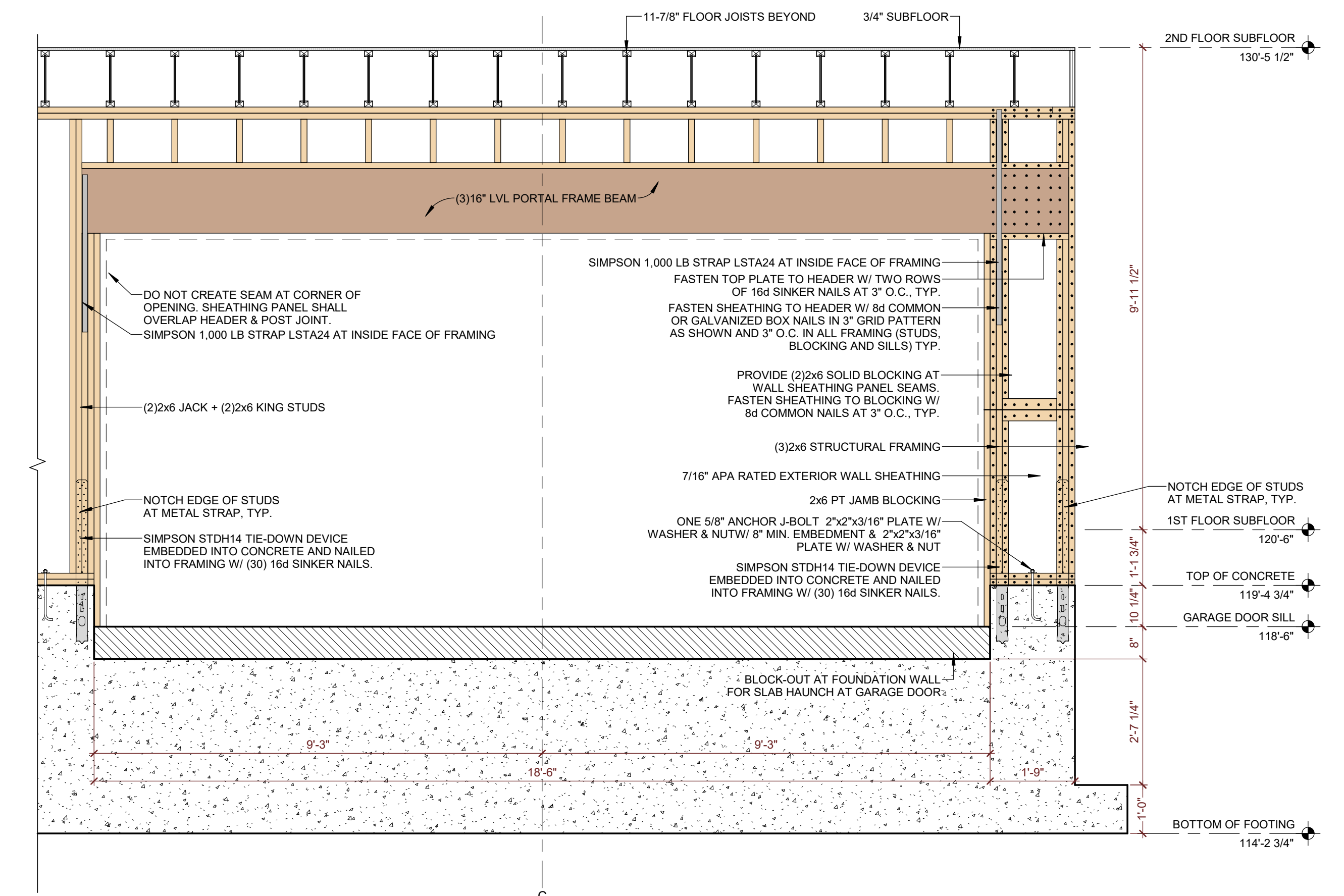


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Sheet Number:

**A3.02**



**2 SOUTH EXTERIOR ELEVATION**  
 Scale: 1/4" = 1'-0"



**3 PORTAL FRAME ELEVATION AT GARAGE**  
 Scale: 1/2" = 1'-0"



**1 EAST EXTERIOR ELEVATION**  
 Scale: 1/4" = 1'-0"

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Consultant:

Project Name:  
**NEW RESIDENCE AT 10  
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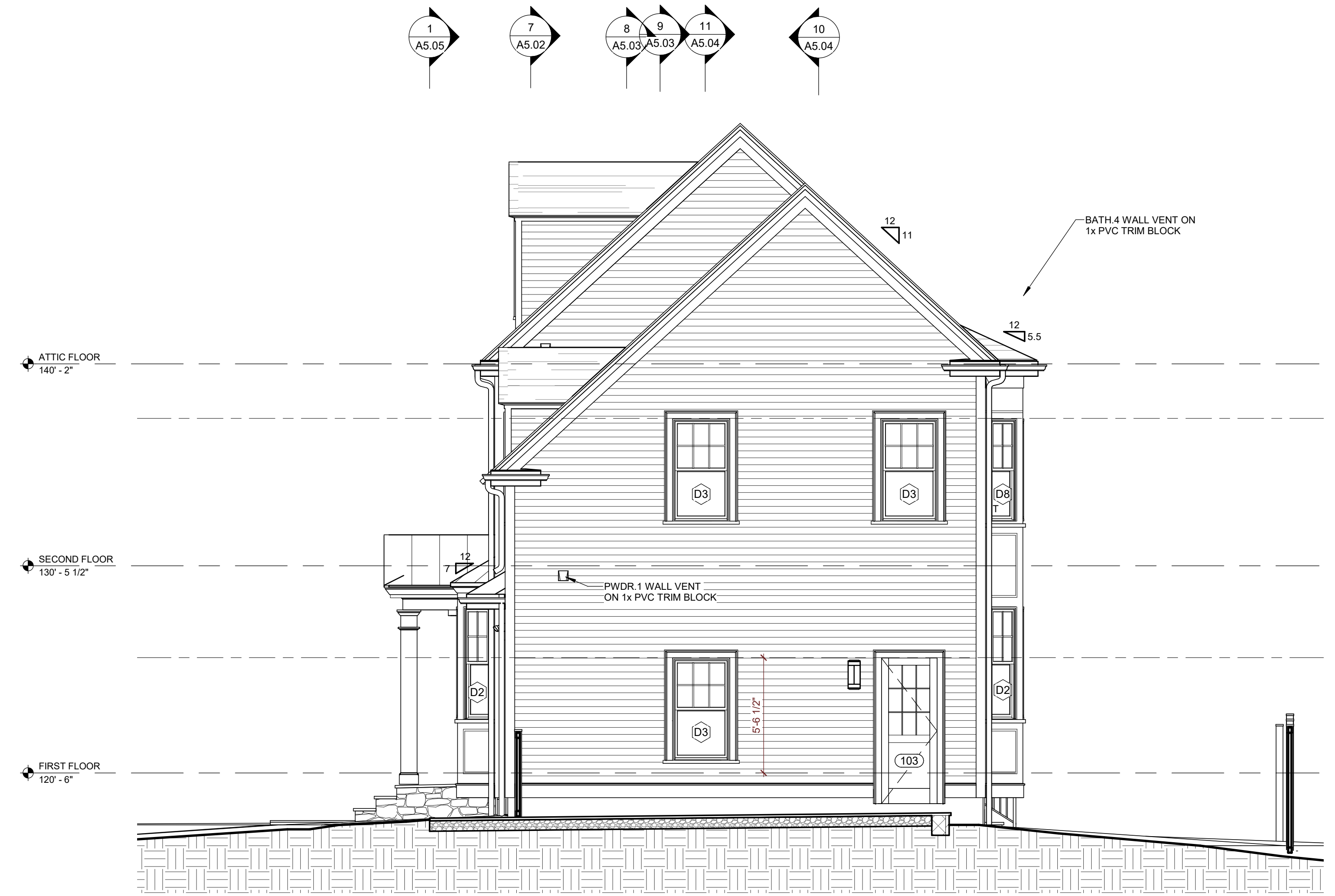
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 Location: 10 Fife Rd, Wellesley, MA 02481  
 Sheet Name:  
**EXTERIOR ELEVATIONS**

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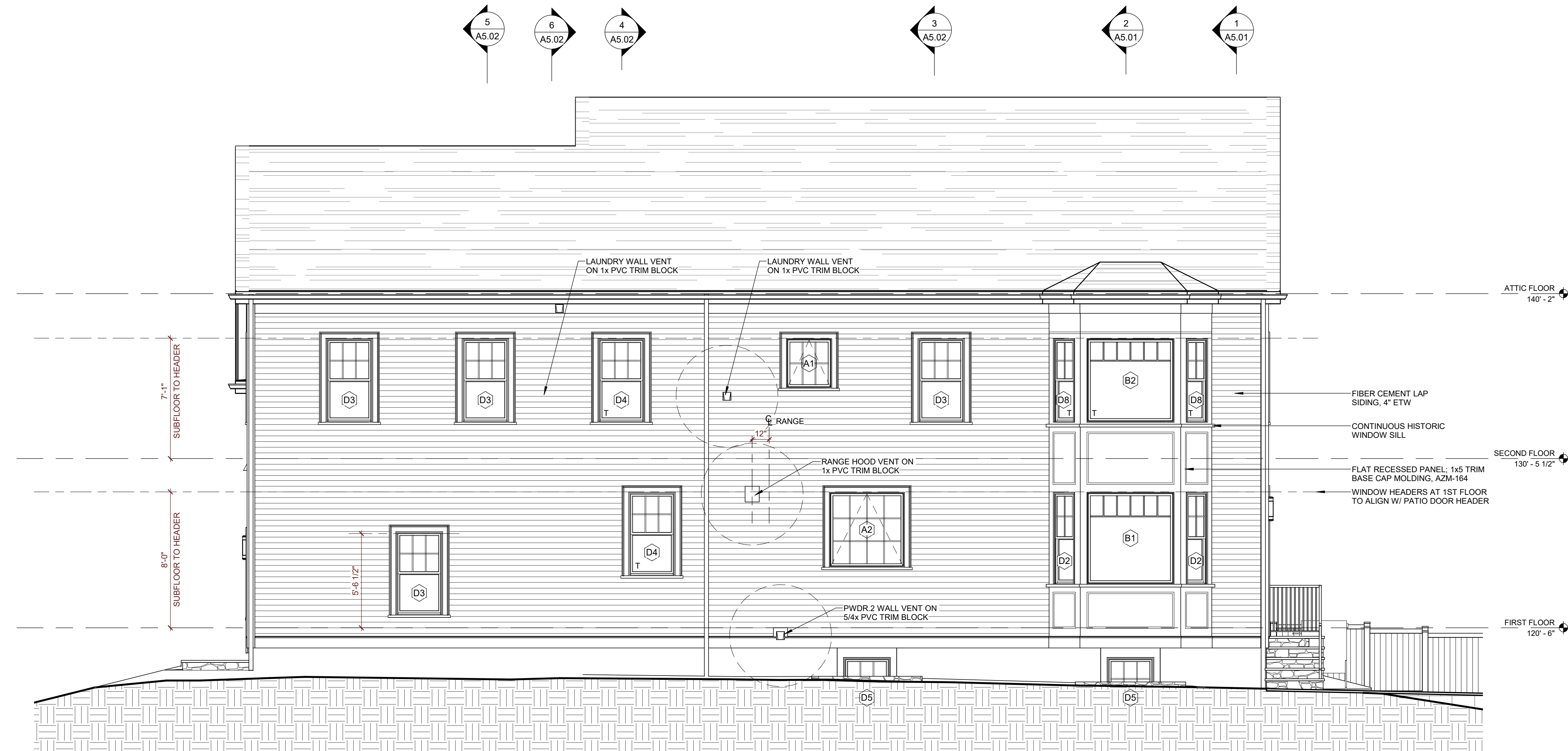


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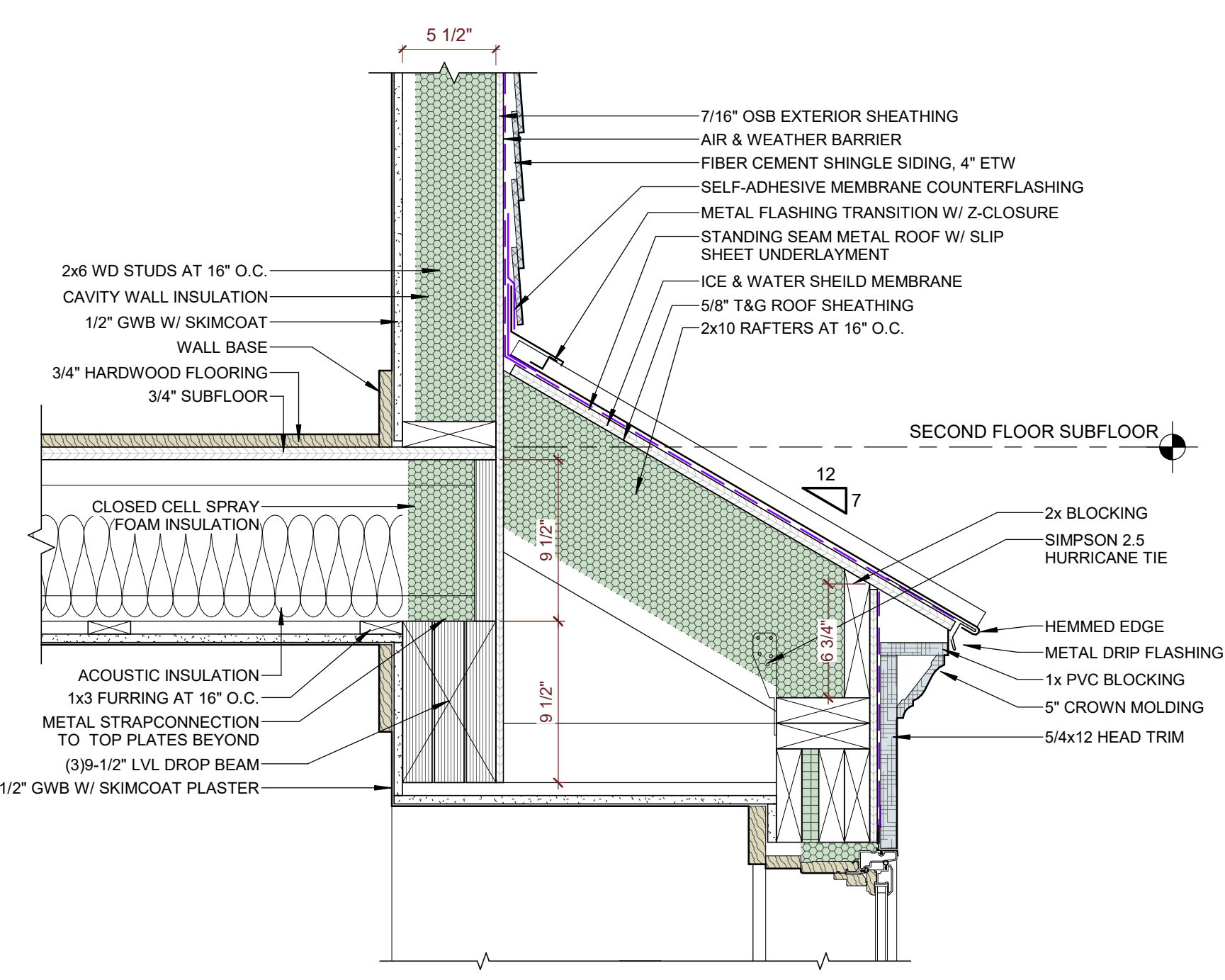
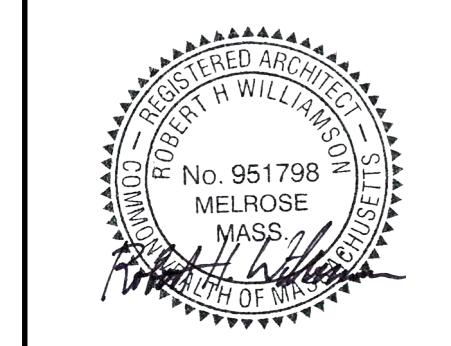
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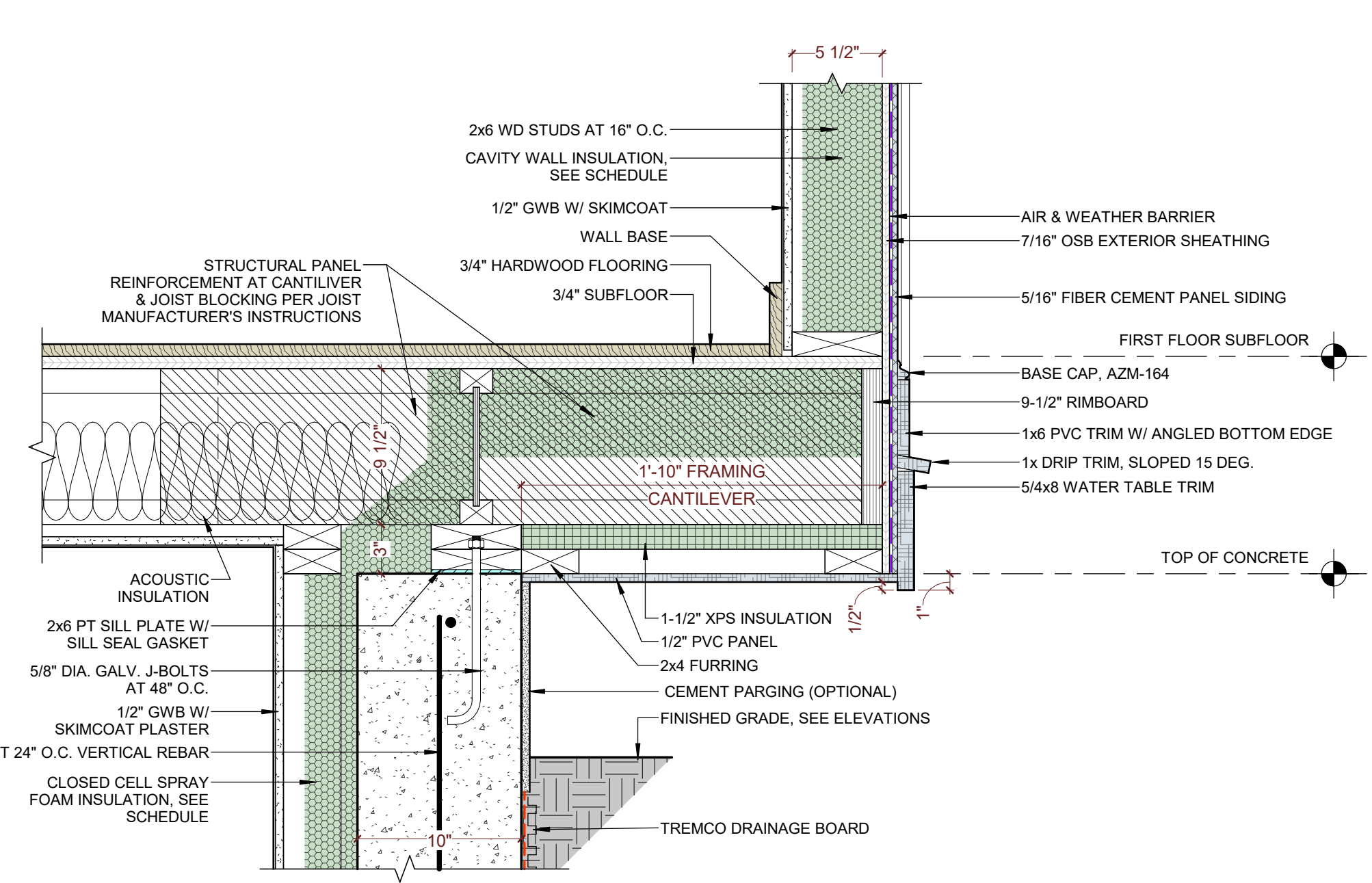
**4 NORTH EXTERIOR ELEVATION**  
 Scale: 1/4" = 1'-0"



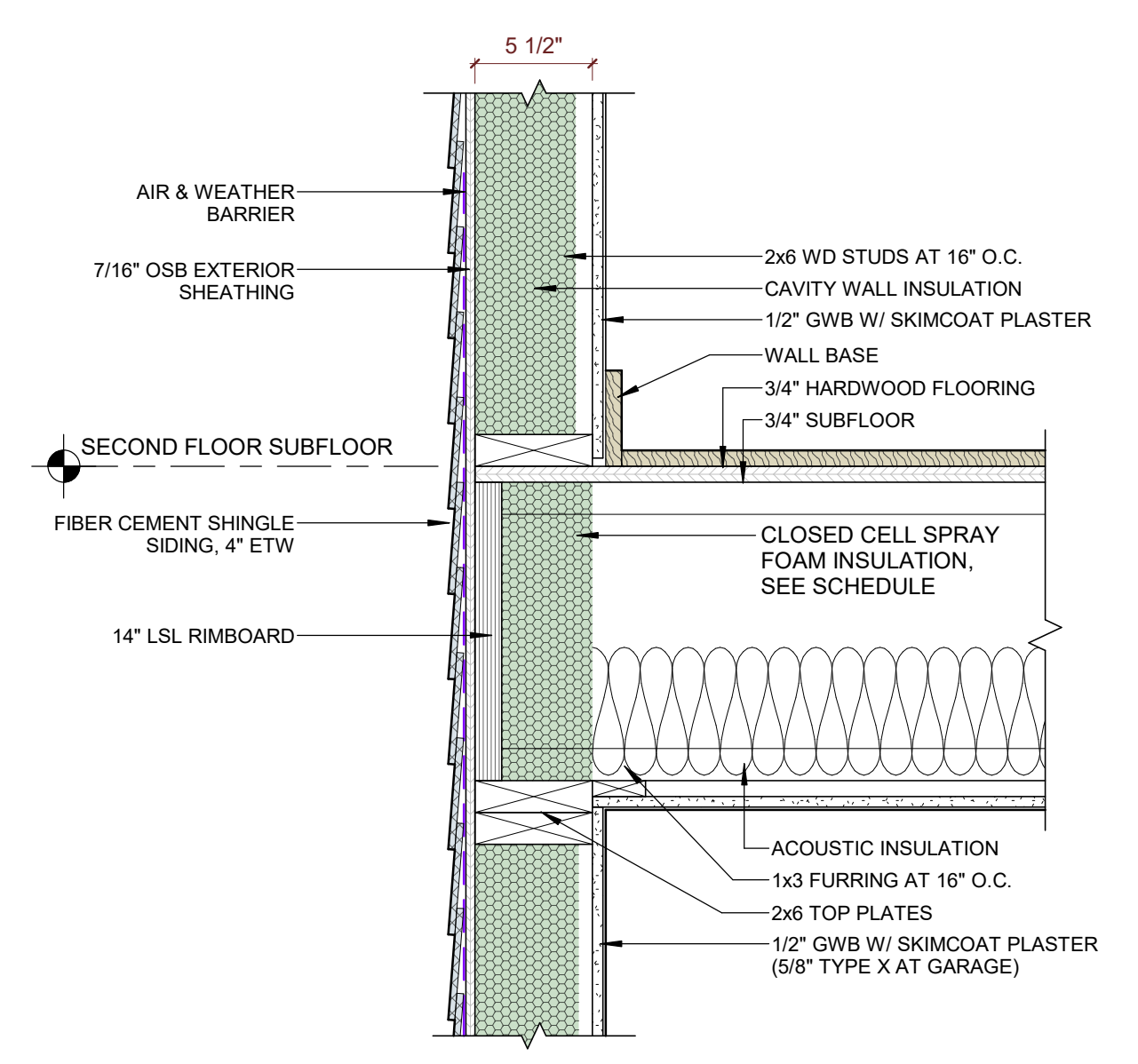
**3 WEST EXTERIOR ELEVATION**  
 Scale: 1/4" = 1'-0"



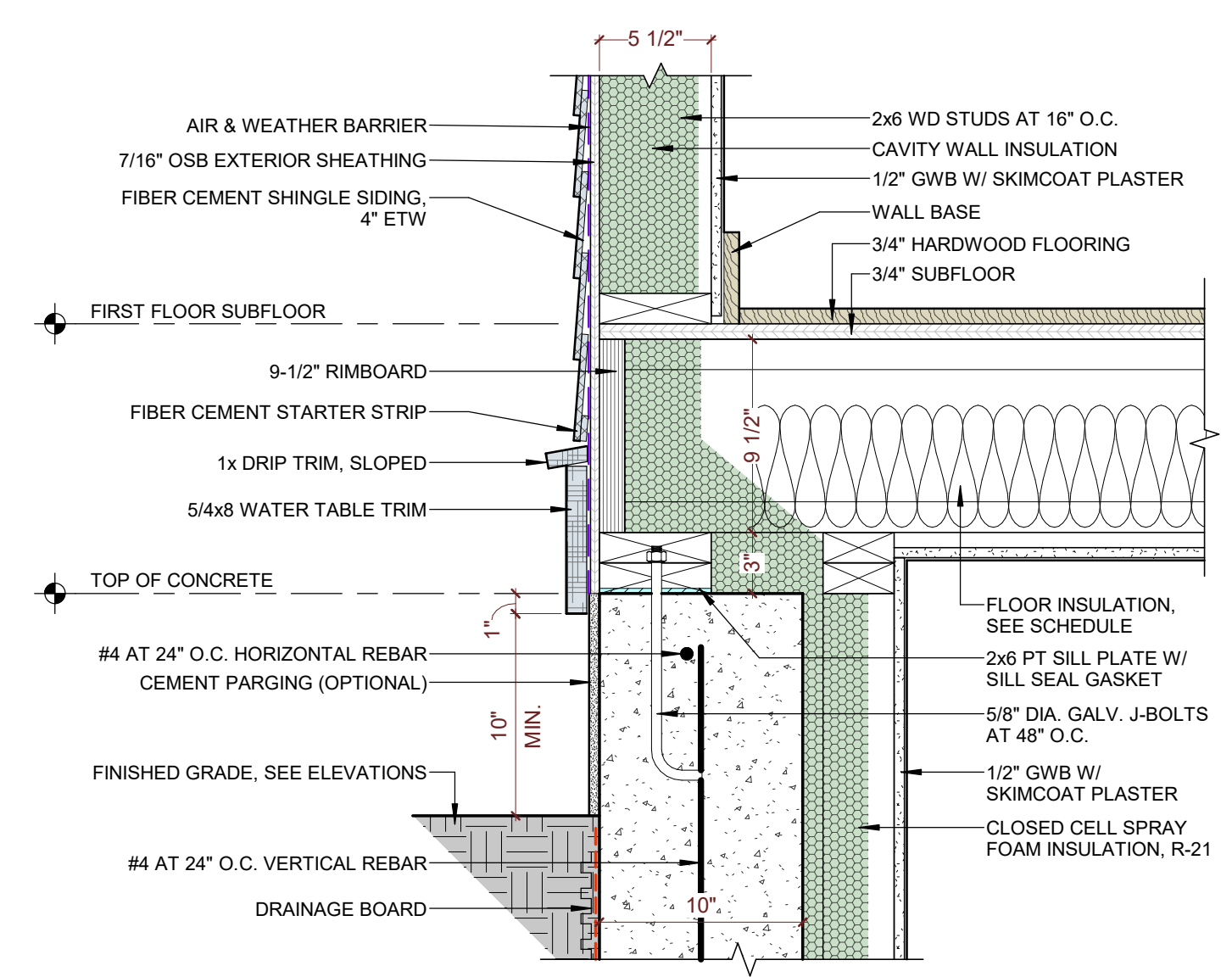
4 BAY WINDOW ROOF DETAIL  
 Scale: 1 1/2" = 1'-0"



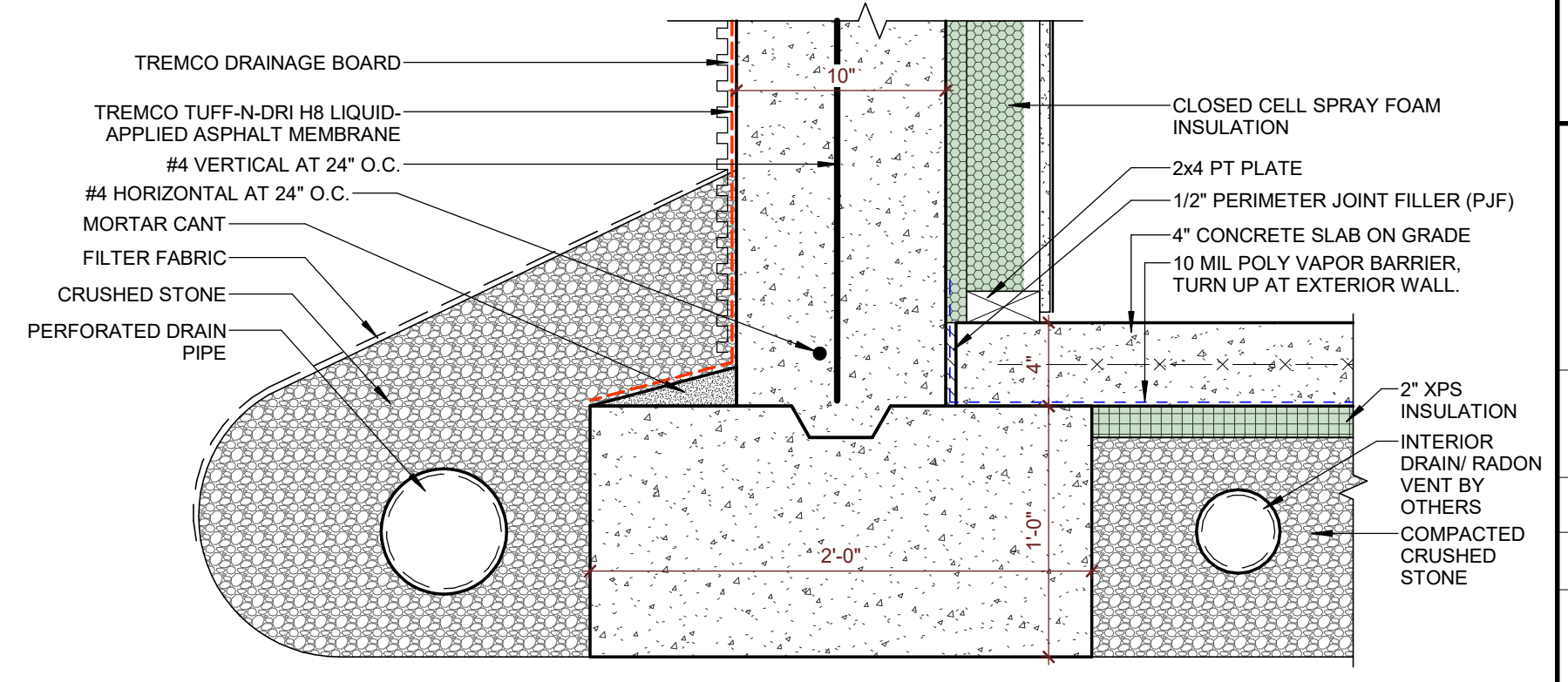
3 FOUNDATION WALL DETAIL - WATER TABLE AT BAY WINDOW  
 Scale: 1 1/2" = 1'-0"



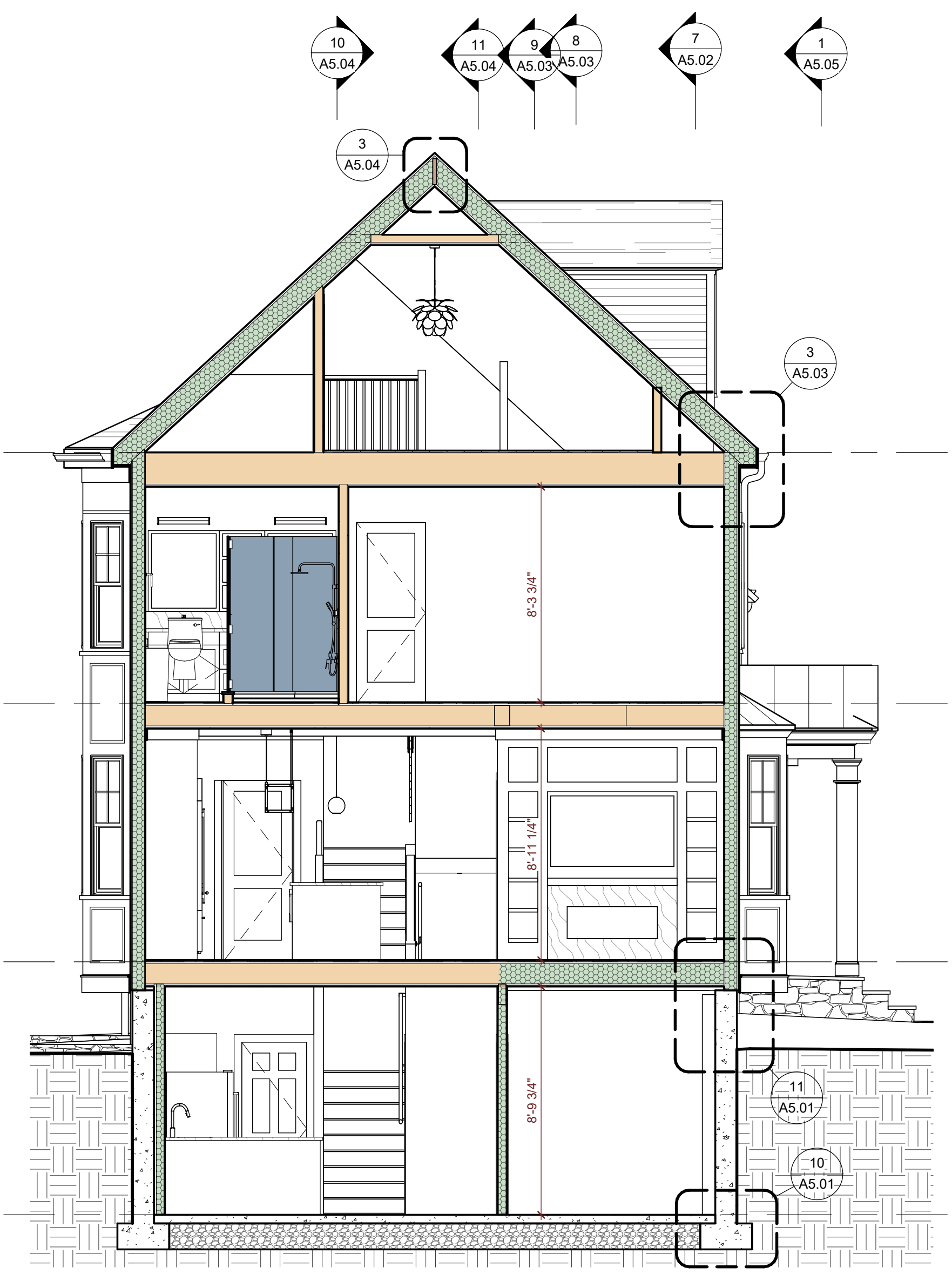
12 RIMBOARD DETAIL - LEVEL 2 TYP.  
 Scale: 1 1/2" = 1'-0"



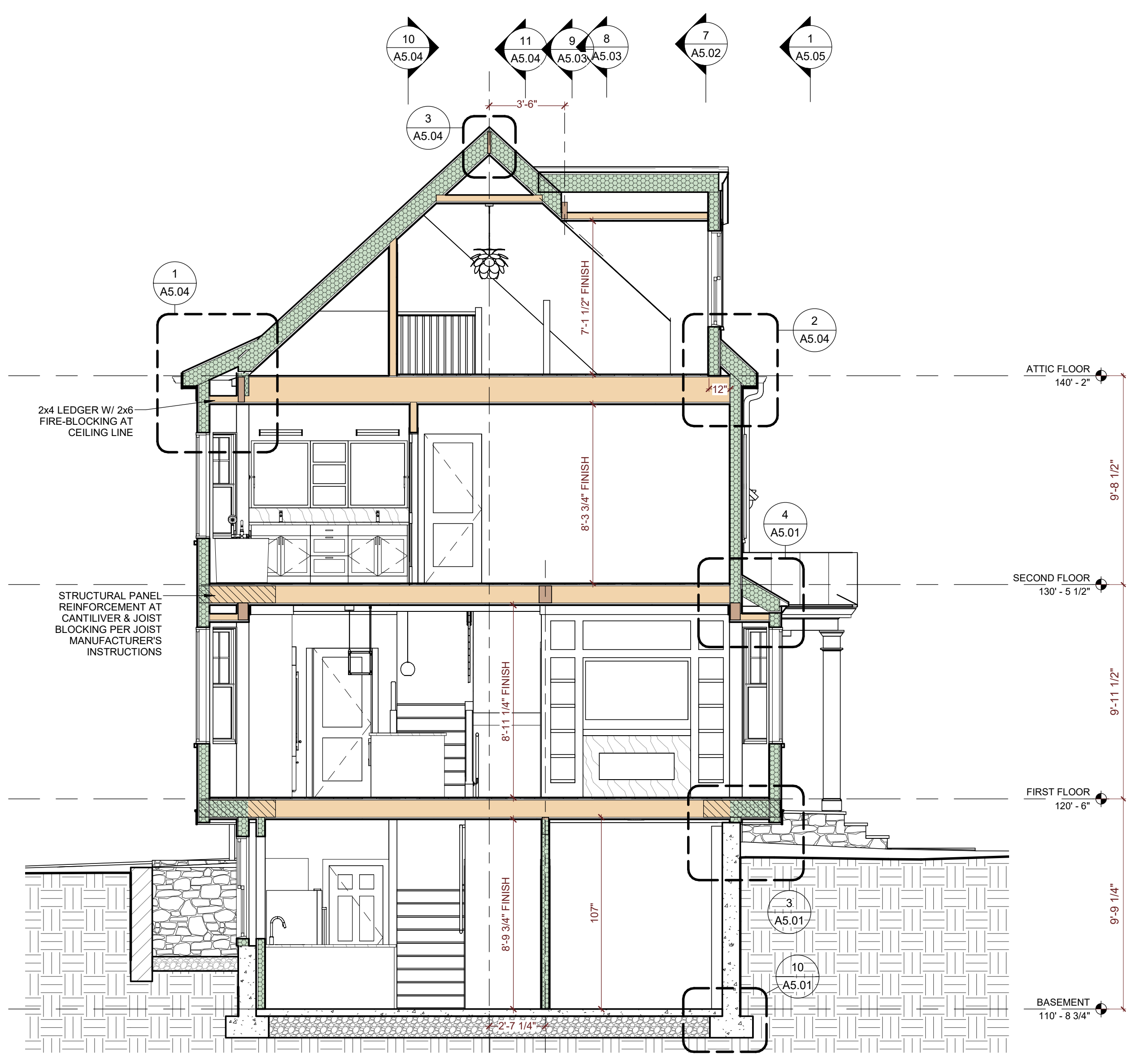
11 FOUNDATION WALL DETAIL - TYPICAL WATER TABLE  
 Scale: 1 1/2" = 1'-0"



10 FOUNDATION WALL DETAIL - FOOTING  
 Scale: 1 1/2" = 1'-0"



1 BUILDING SECTION 1  
 Scale: 1/4" = 1'-0"



2 BUILDING SECTION 2  
 Scale: 1/4" = 1'-0"

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Consultant:

Project Name:  
**NEW RESIDENCE AT 10  
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Client: BLUE CEDAR PROPERTY GROUP  
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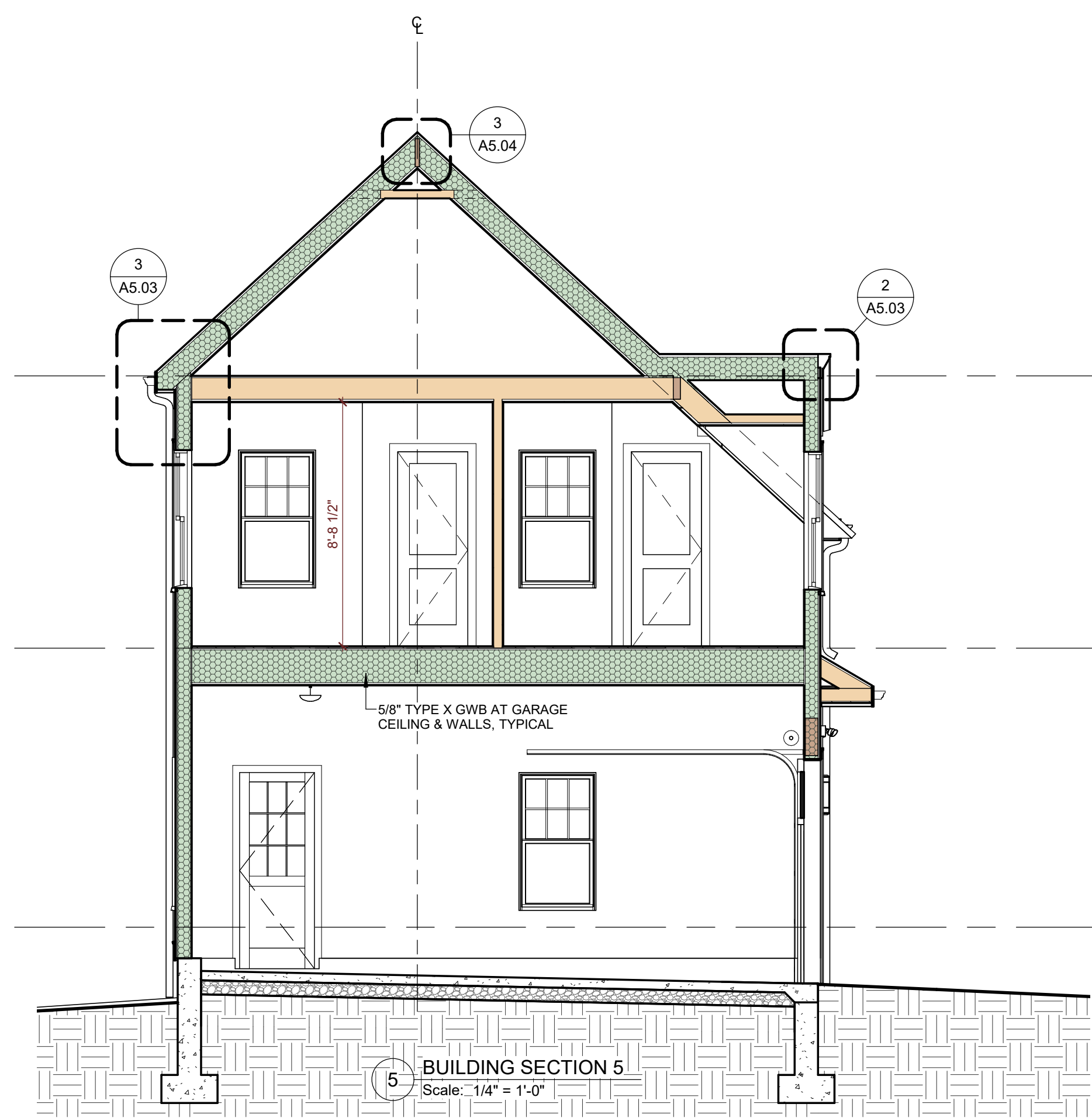
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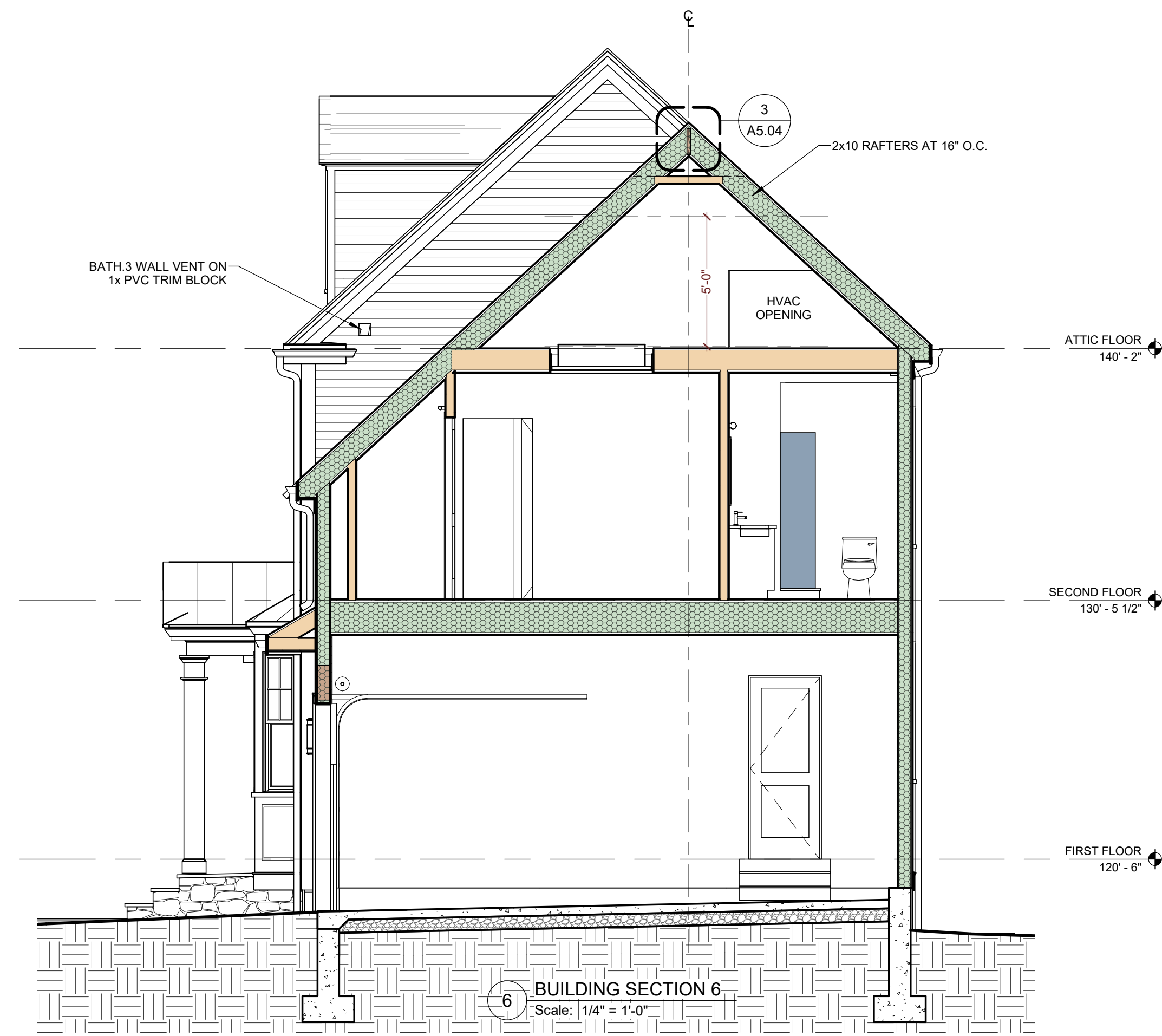
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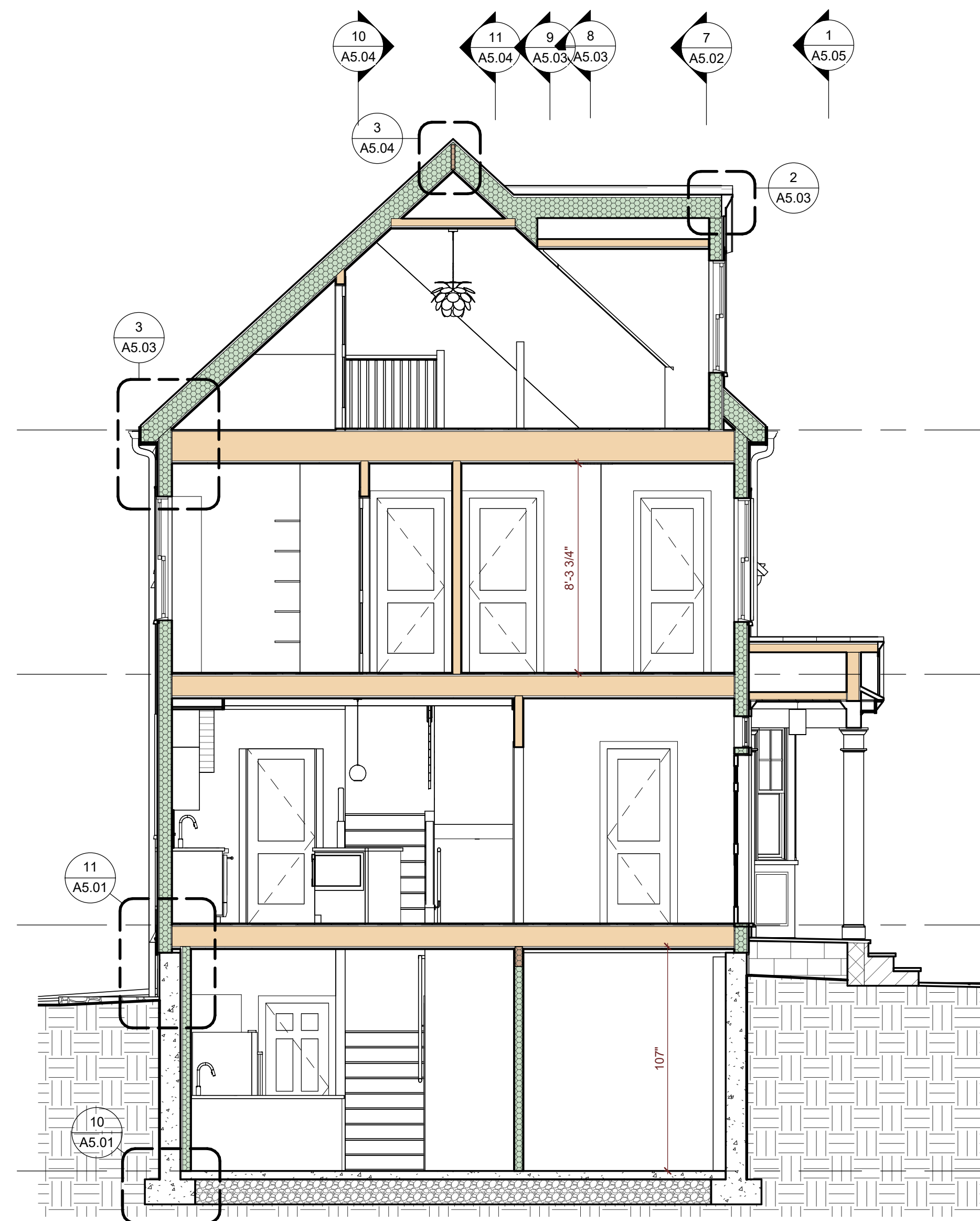
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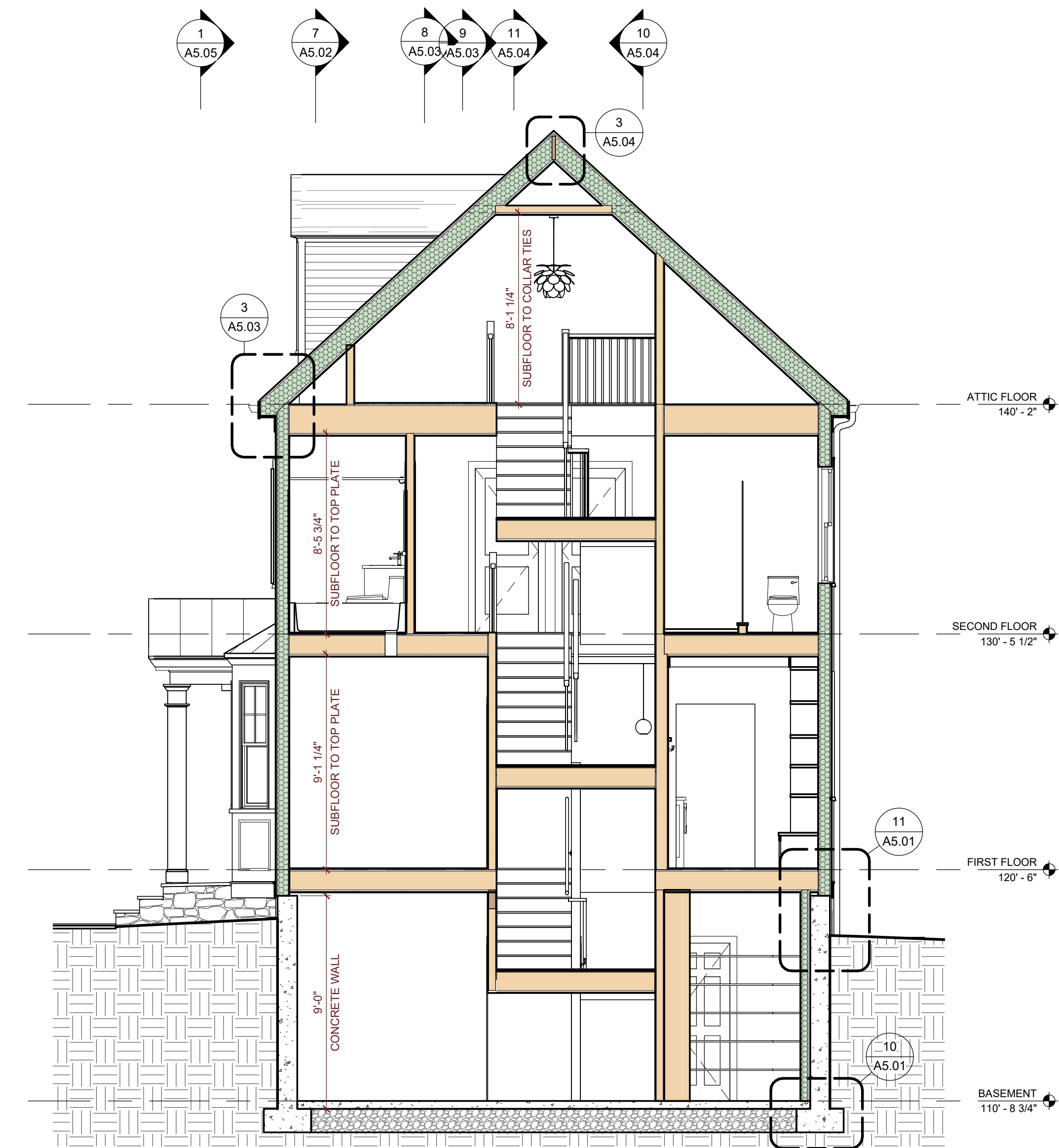
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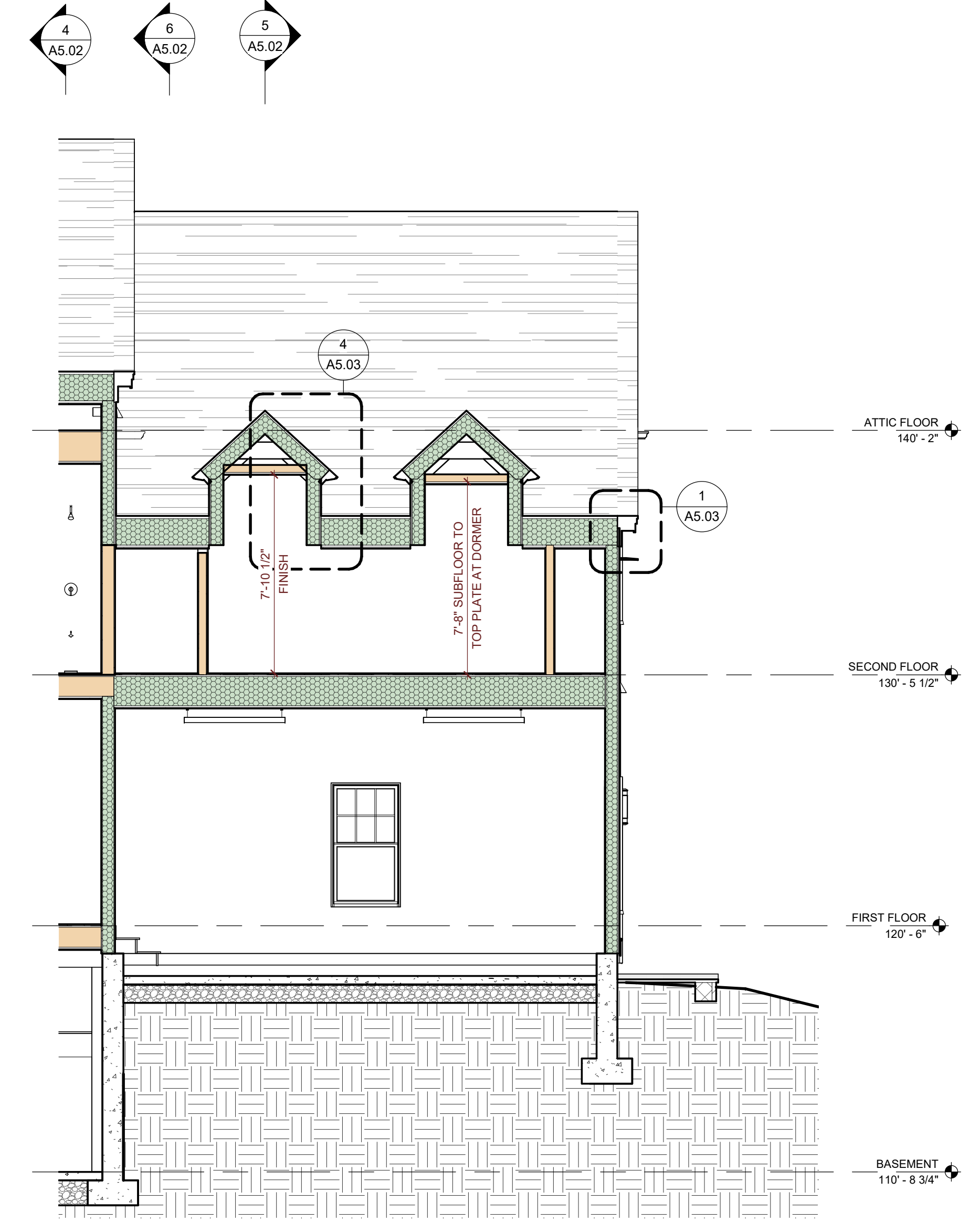
**6** BUILDING SECTION 6  
 Scale: 1/4" = 1'-0"



**3** BUILDING SECTION 3  
 Scale: 1/4" = 1'-0"

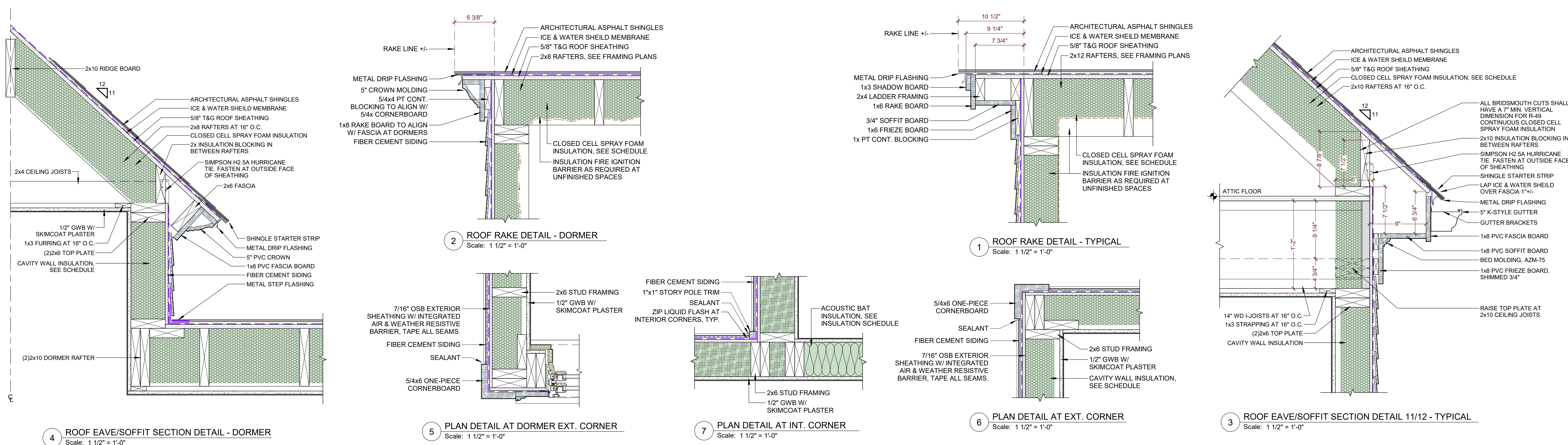
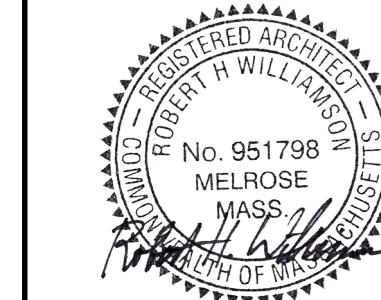


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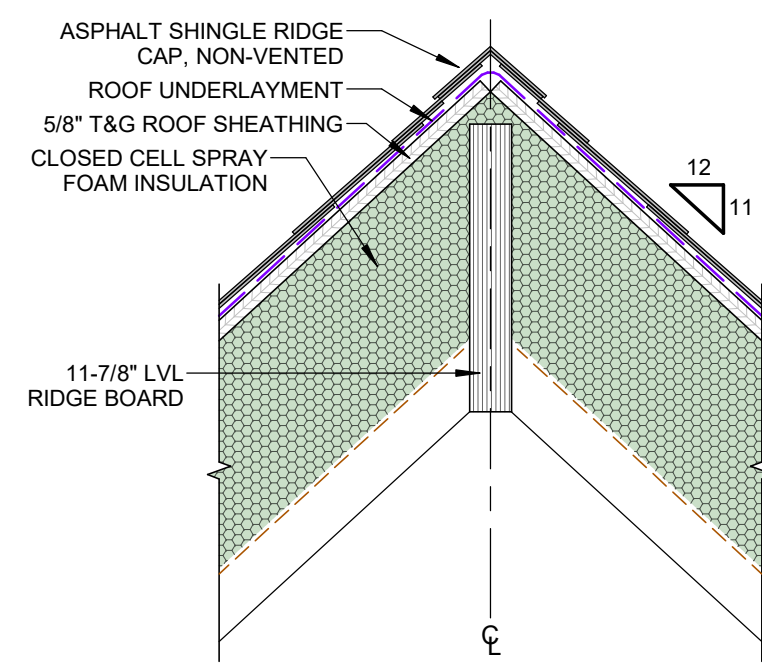
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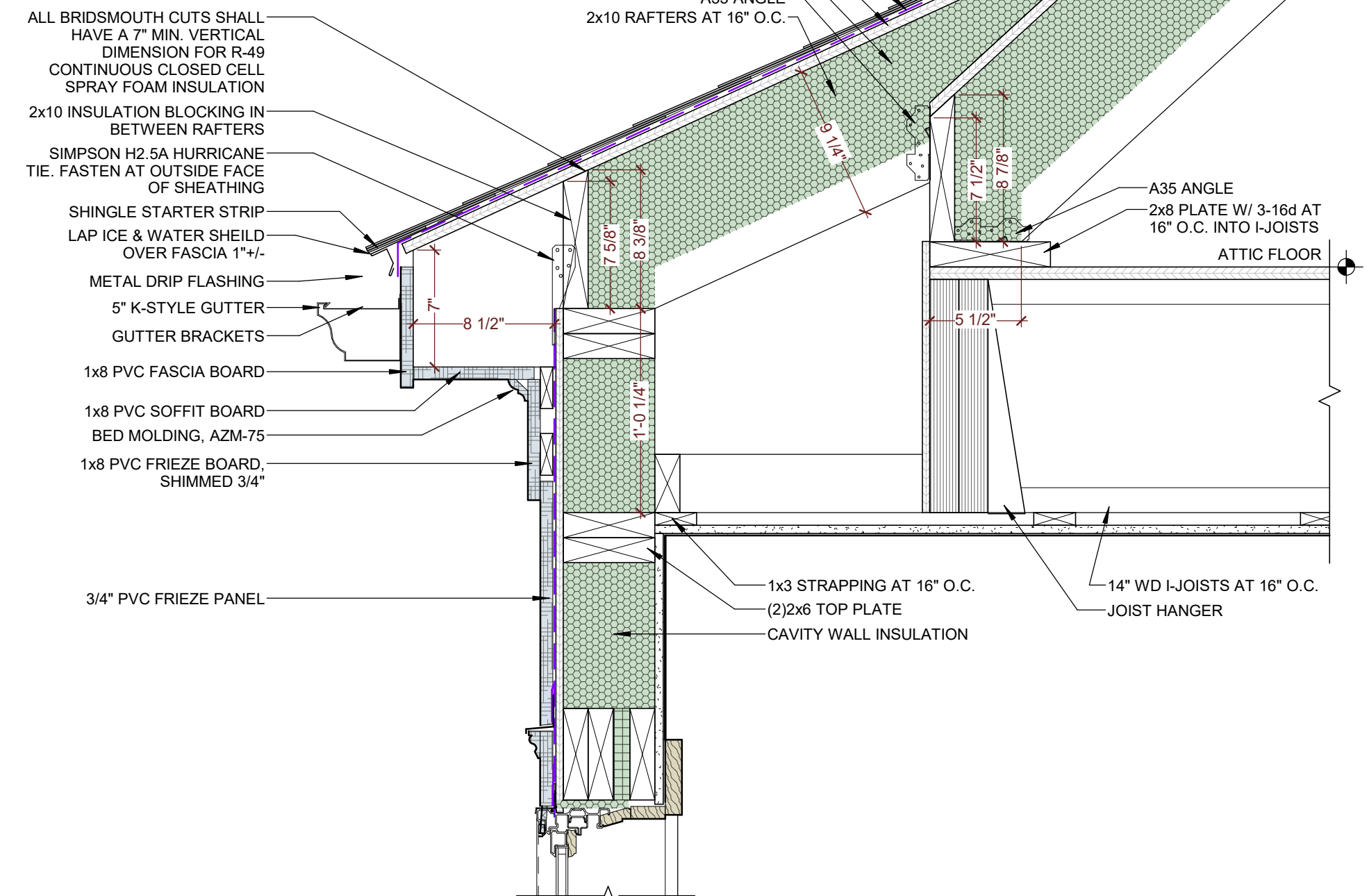


**8 BUILDING SECTION 8**  
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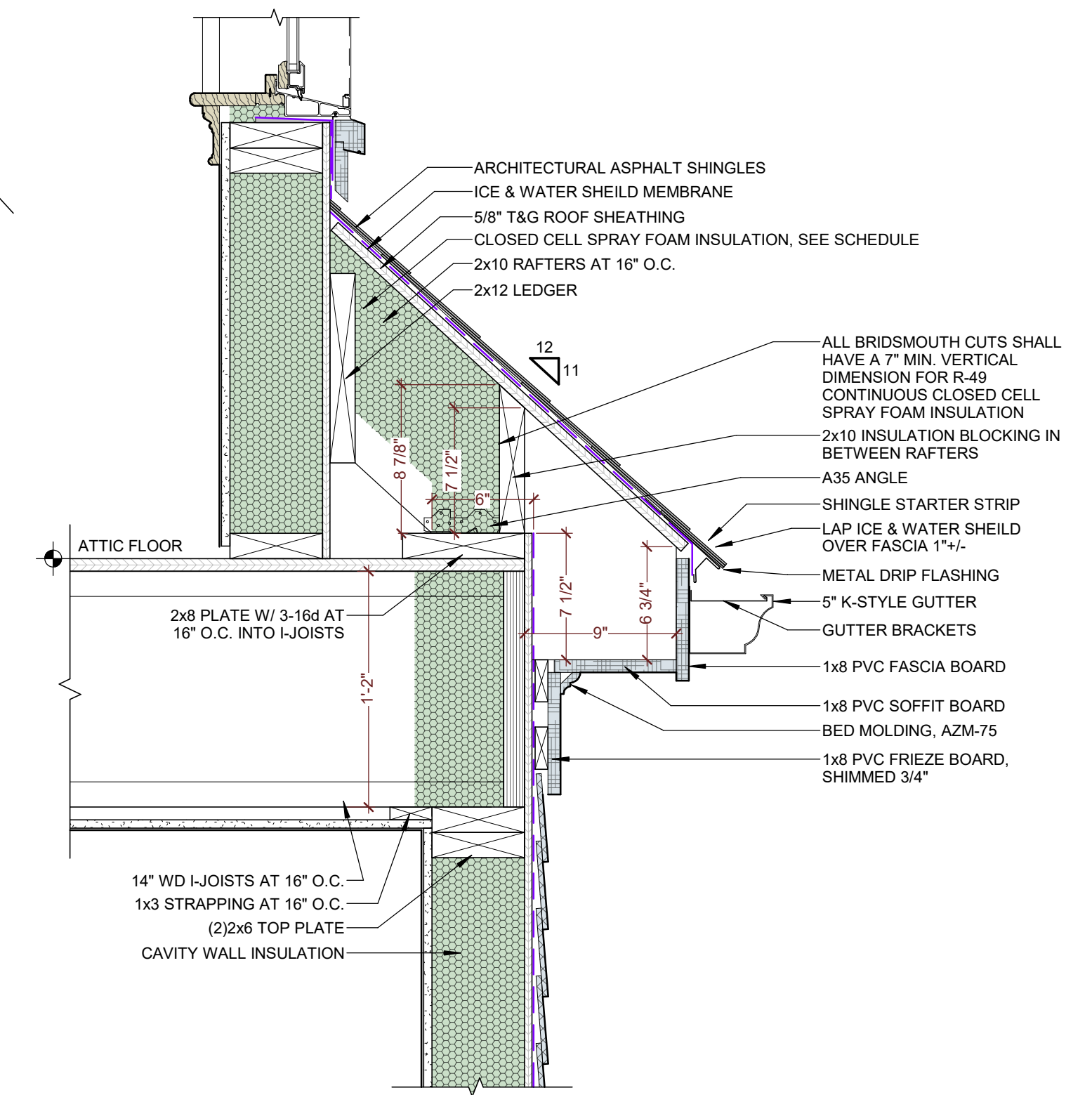
**9 BUILDING SECTION 9**  
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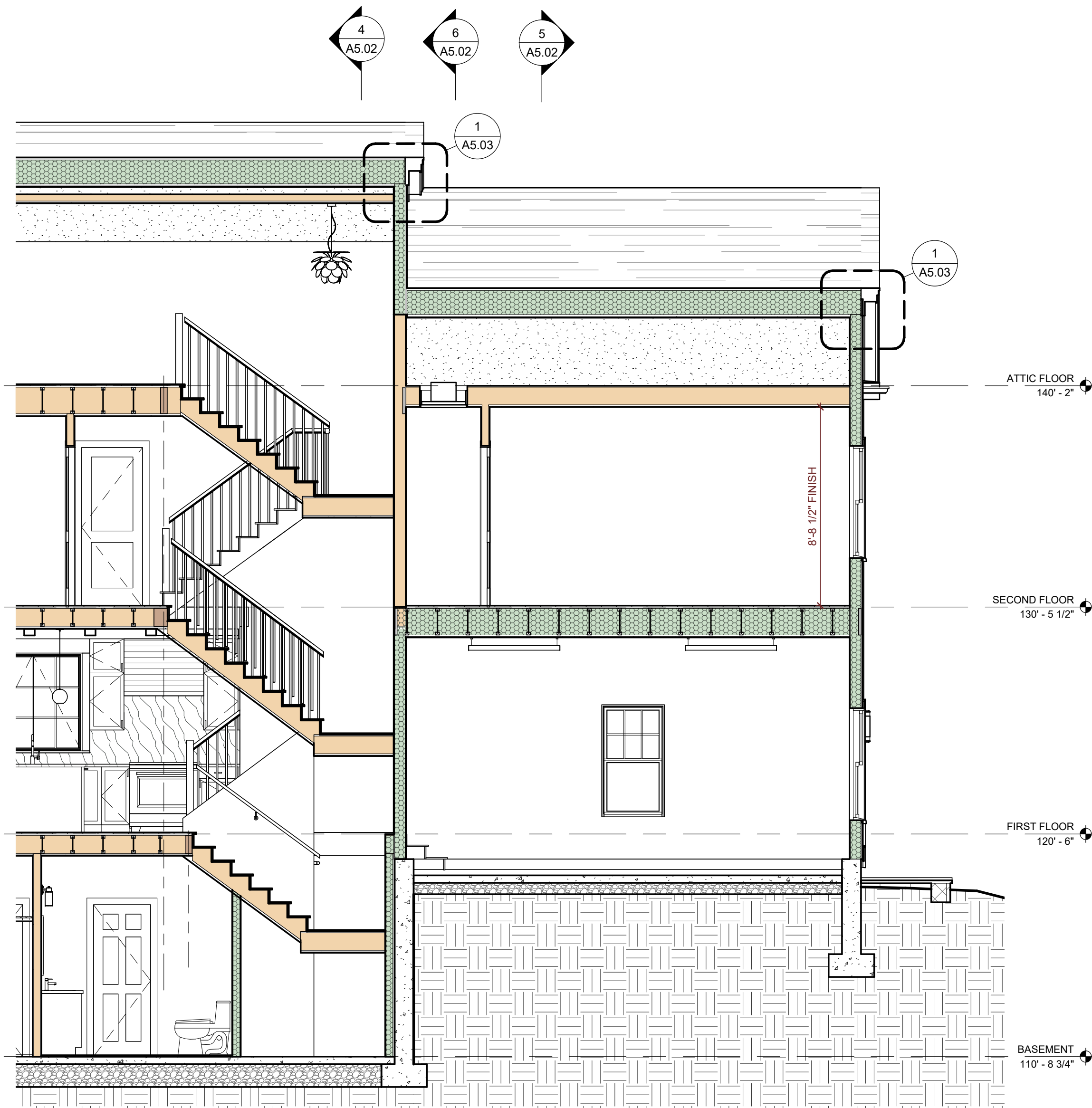
3 ROOF RIDGE DETAIL 11-12  
Scale: 1 1/2" = 1'-0"



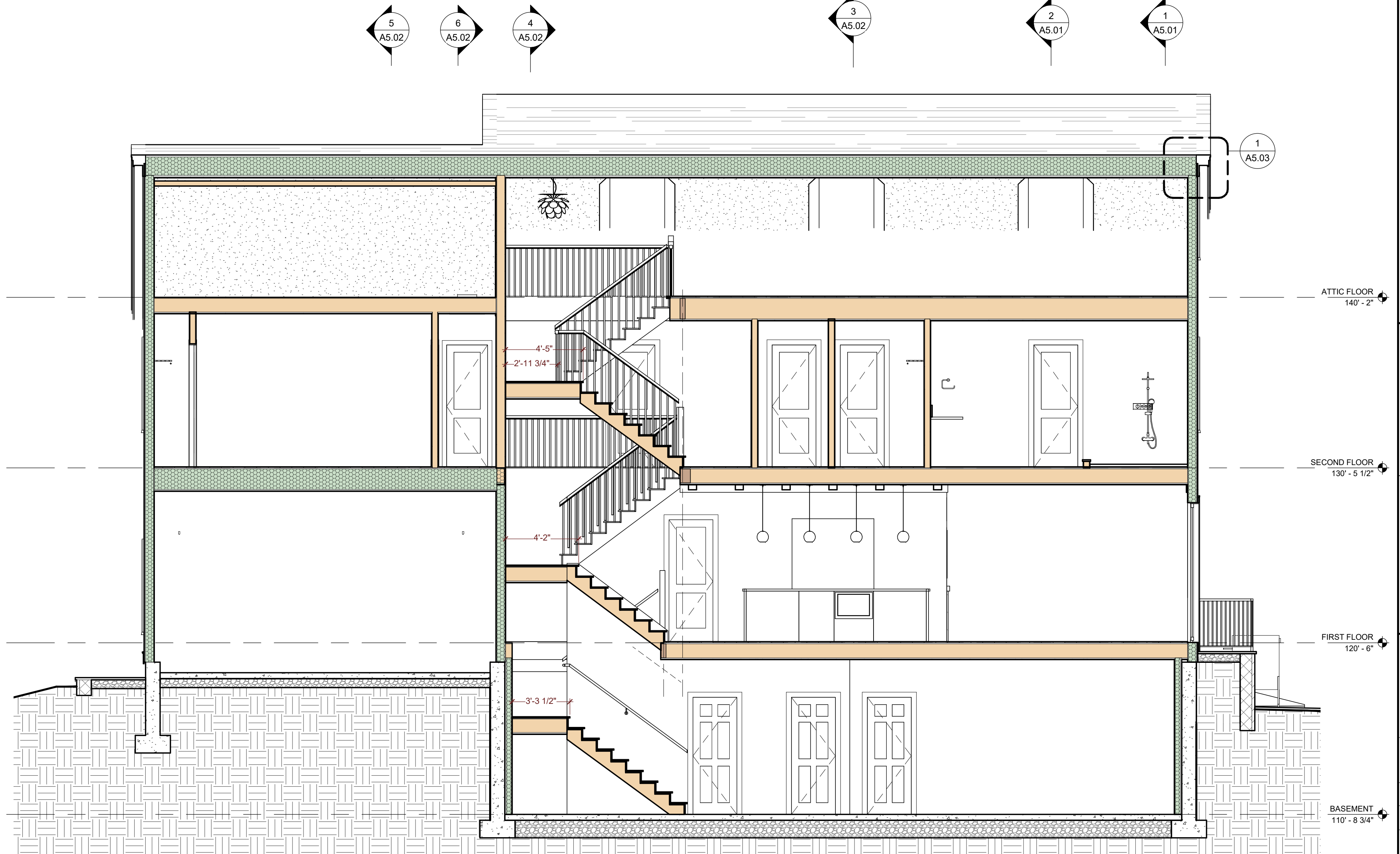
1 ROOF EAVE/SOFFT SECTION DETAIL 11/12 - BAY WINDOW  
Scale: 1 1/2" = 1'-0"



2 ROOF EAVE/SOFFT SECTION DETAIL 11/12 - DORMER  
Scale: 1 1/2" = 1'-0"



11 BUILDING SECTION 11  
Scale: 1/4" = 1'-0"



10 BUILDING SECTION 10  
Scale: 1/4" = 1'-0"

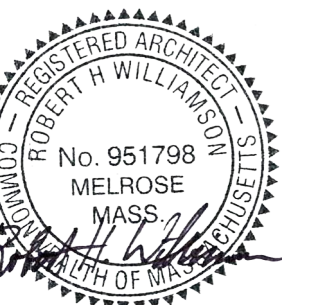
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Consultant:

Project Name:  
**NEW RESIDENCE AT 10  
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Client: BLUE CEDAR PROPERTY GROUP  
Location: 10 Fife Rd, Wellesley, MA 02481  
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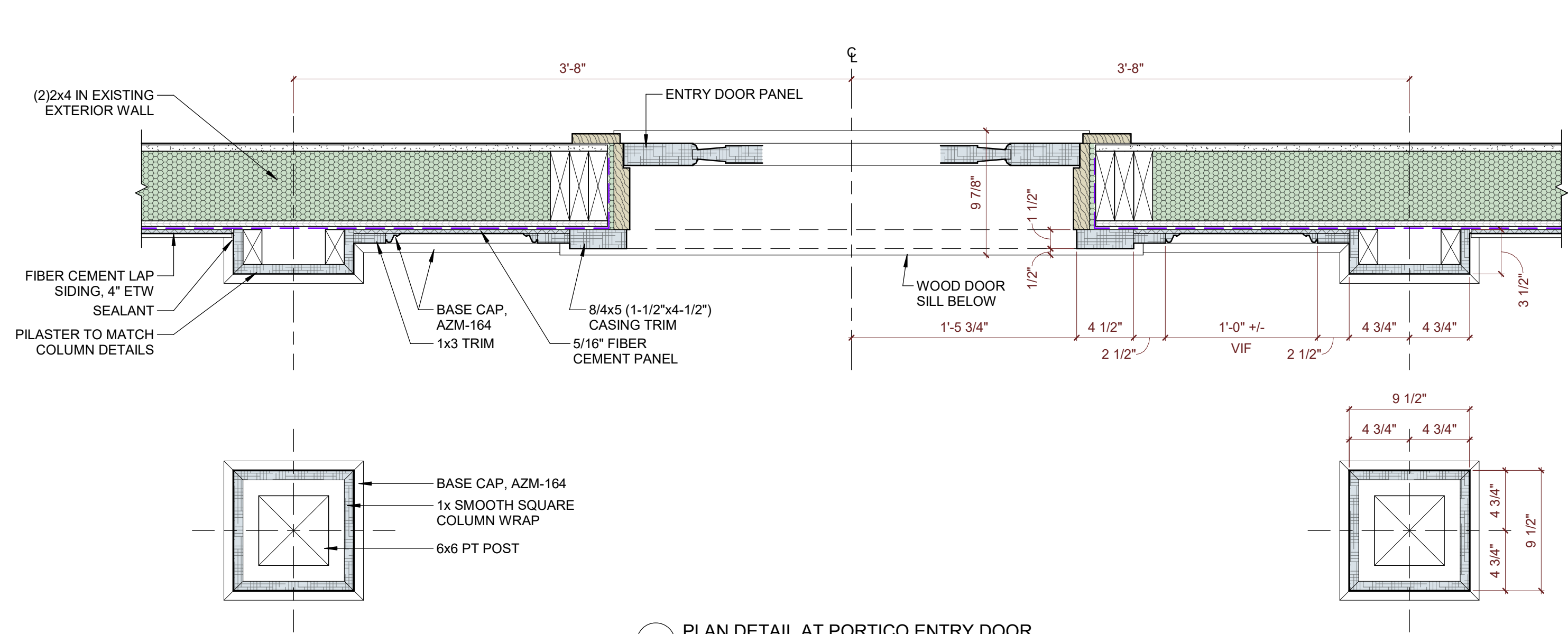
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Project No: 24011

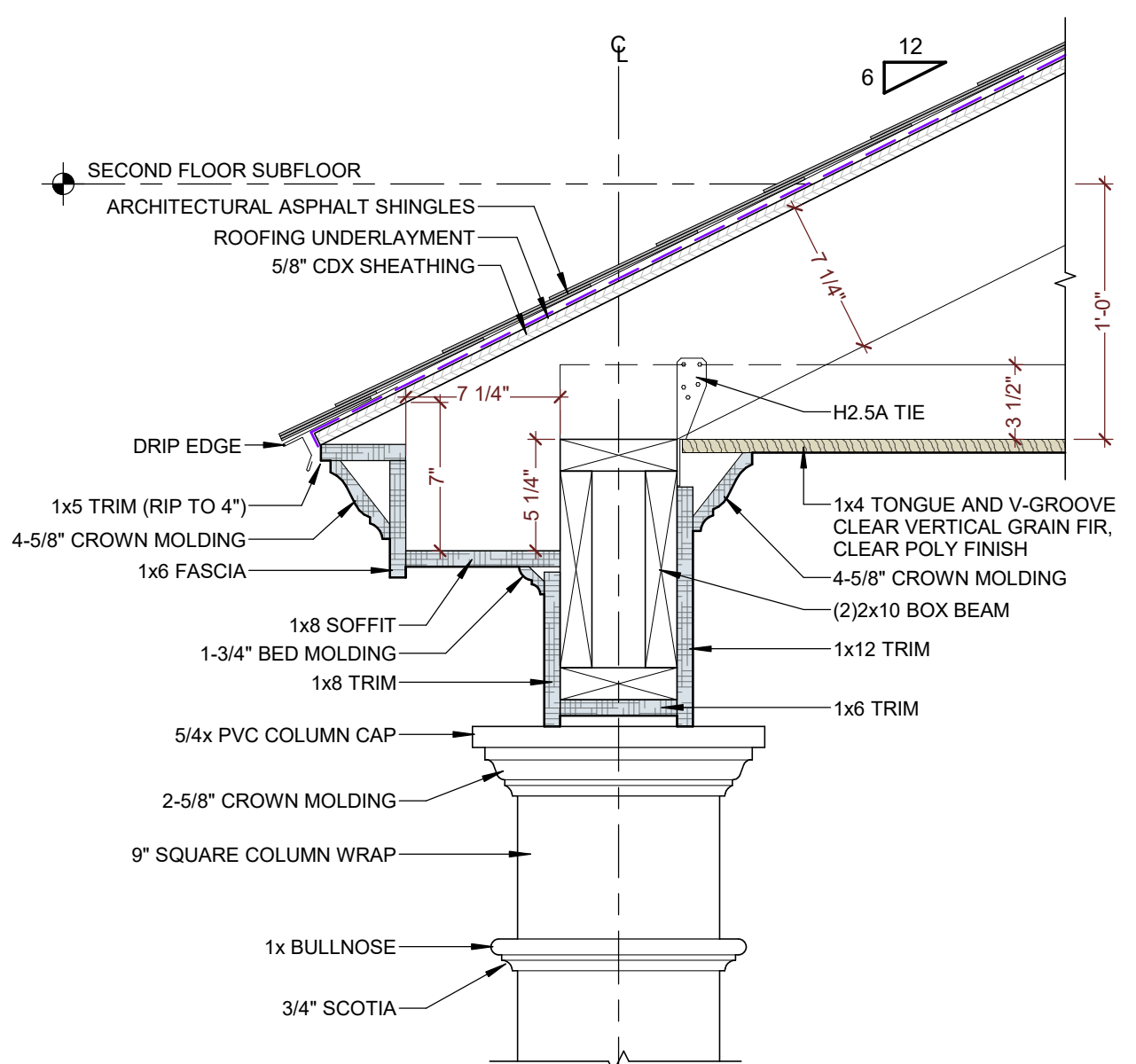
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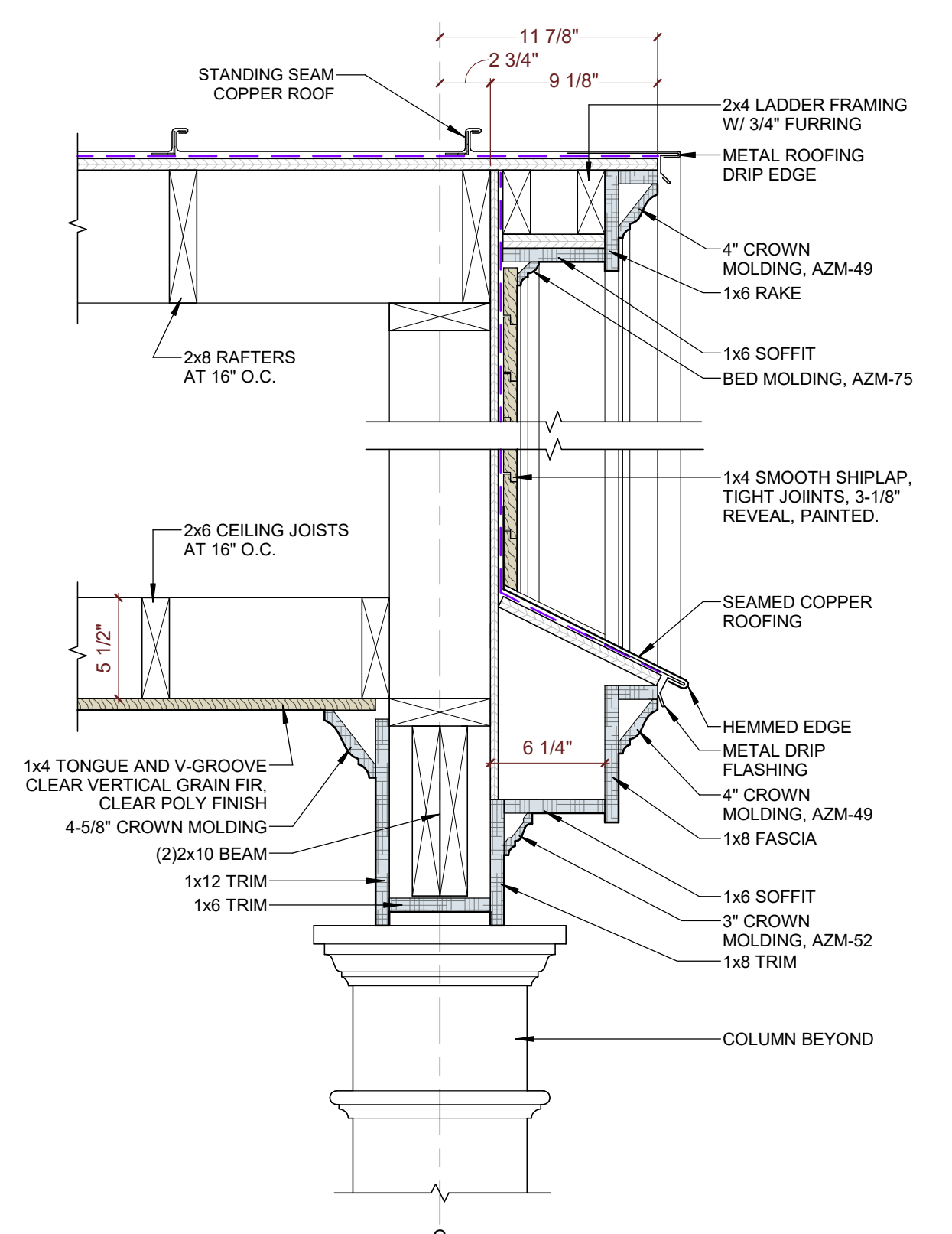
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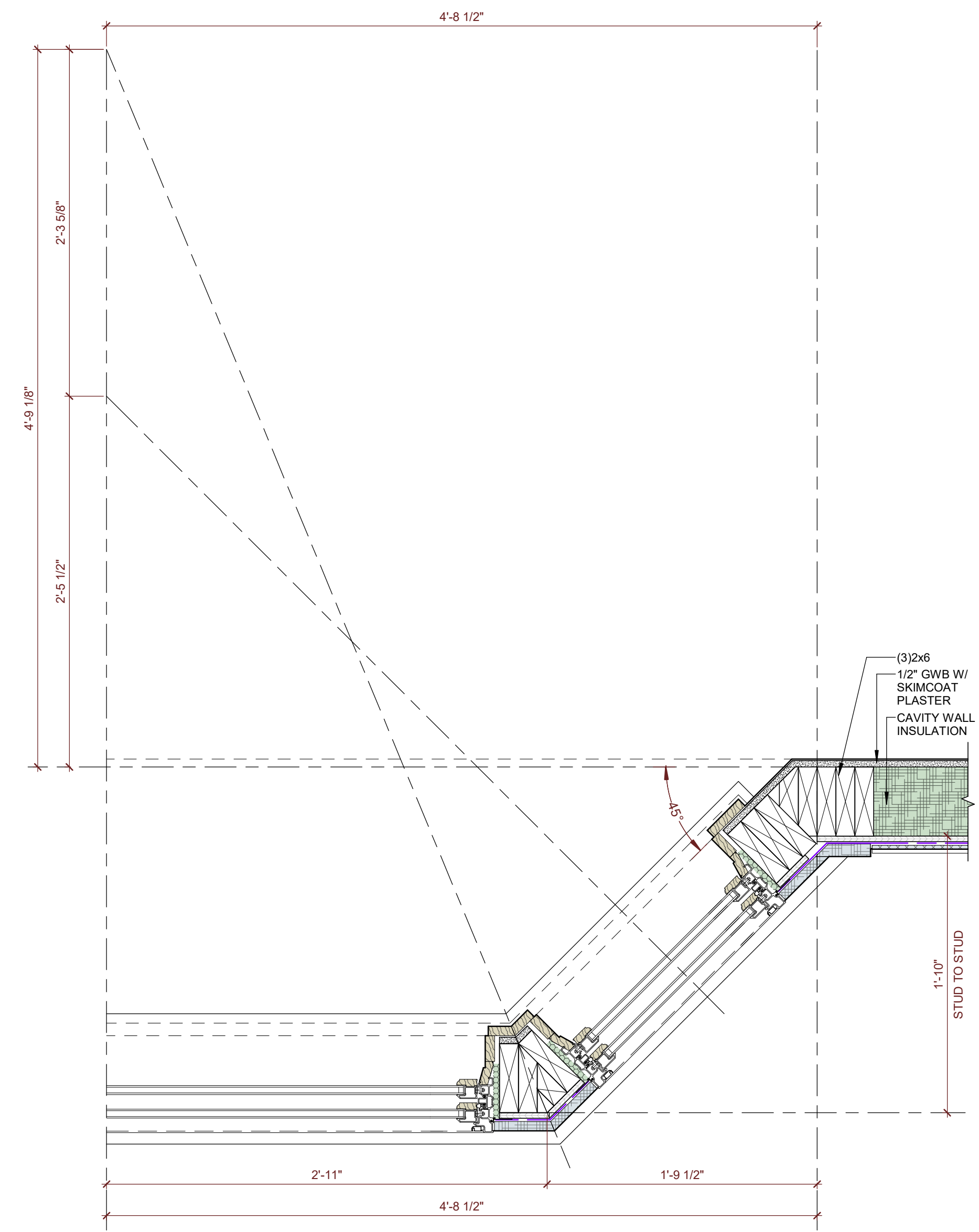
7 PLAN DETAIL AT PORTICO ENTRY DOOR  
Scale: 1 1/2" = 1'-0"



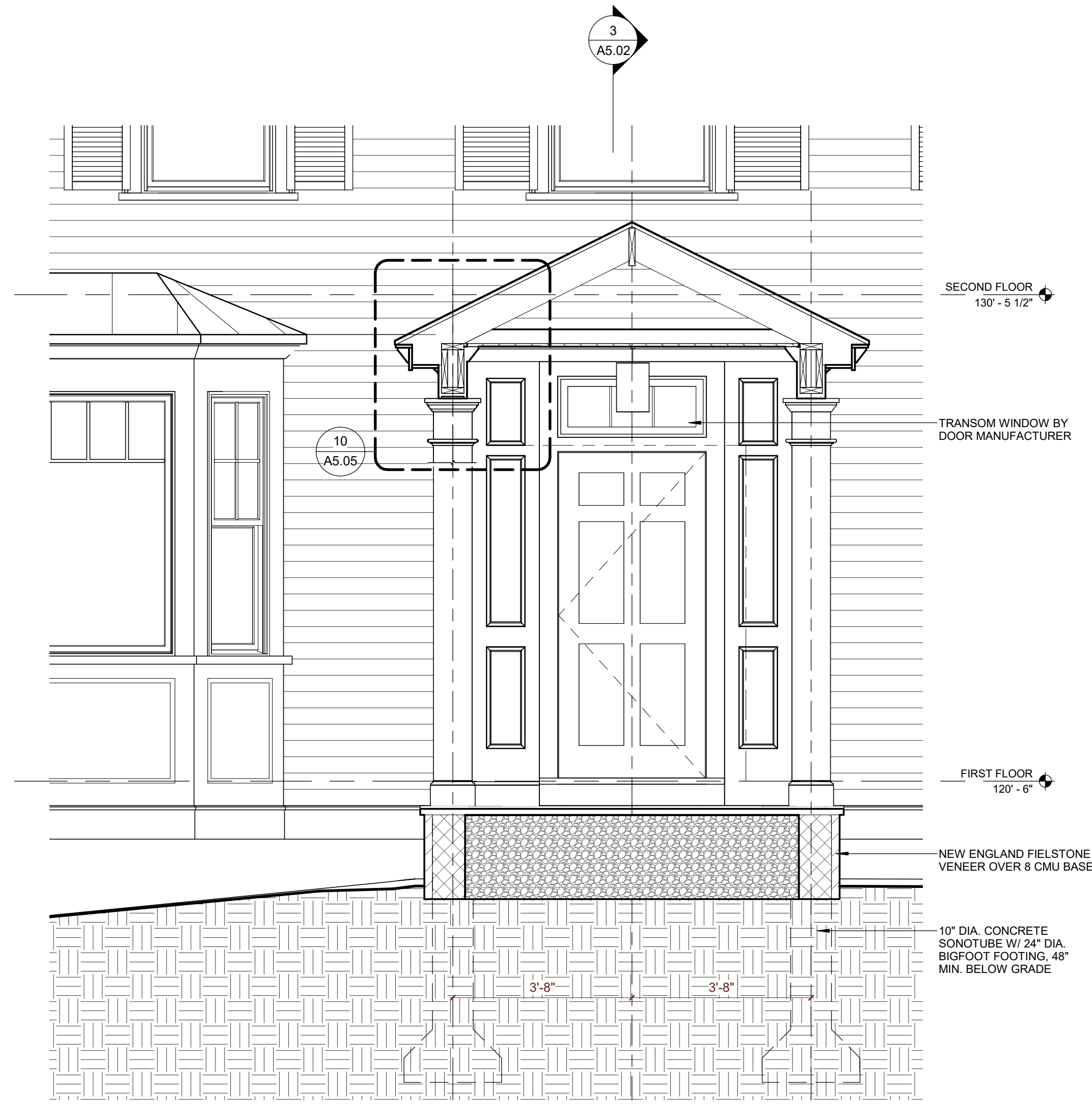
10 PORTICO EAVE DETAIL  
Scale: 1 1/2" = 1'-0"



11 PORTICO GABLE DETAIL  
Scale: 1 1/2" = 1'-0"



2 PLAN DETAIL AT BAY WINDOW  
Scale: 1 1/2" = 1'-0"



1 PORTICO SECTION  
Scale: 1/2" = 1'-0"

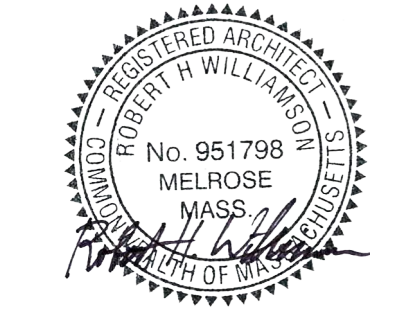
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 802-342-2502  
 www.rhwaarchitect.com

Consultant:

Project Name:  
**NEW RESIDENCE AT 10 FIFE RD FOR BLUE CEDAR PROPERTY GROUP**

Client: BLUE CEDAR PROPERTY GROUP  
 Location: 10 Fife Rd, Wellesley, MA 02481  
 Sheet Name: **BUILDING SECTIONS & DETAILS**

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Revision:  
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 \_\_\_\_\_

Issue Date:  
 DECEMBER 20, 2024  
 Project No: 24011  
 Scale: As indicated  
 Sheet Number:

**A5.05**

Architect:  
 RHWA, LLC.  
 PO BOX 761118  
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 802-342-2502  
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Project Name:  
**NEW RESIDENCE AT 10  
 FIFE RD FOR BLUE  
 CEDAR PROPERTY  
 GROUP**

Client: BLUE CEDAR PROPERTY GROUP  
 Location: 10 Fife Rd, Wellesley, MA 02481  
 Sheet Name:  
**INTERIOR ELEVATIONS**

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Revision:

Issue Date:  
 DECEMBER 20, 2024

Project No: 24011

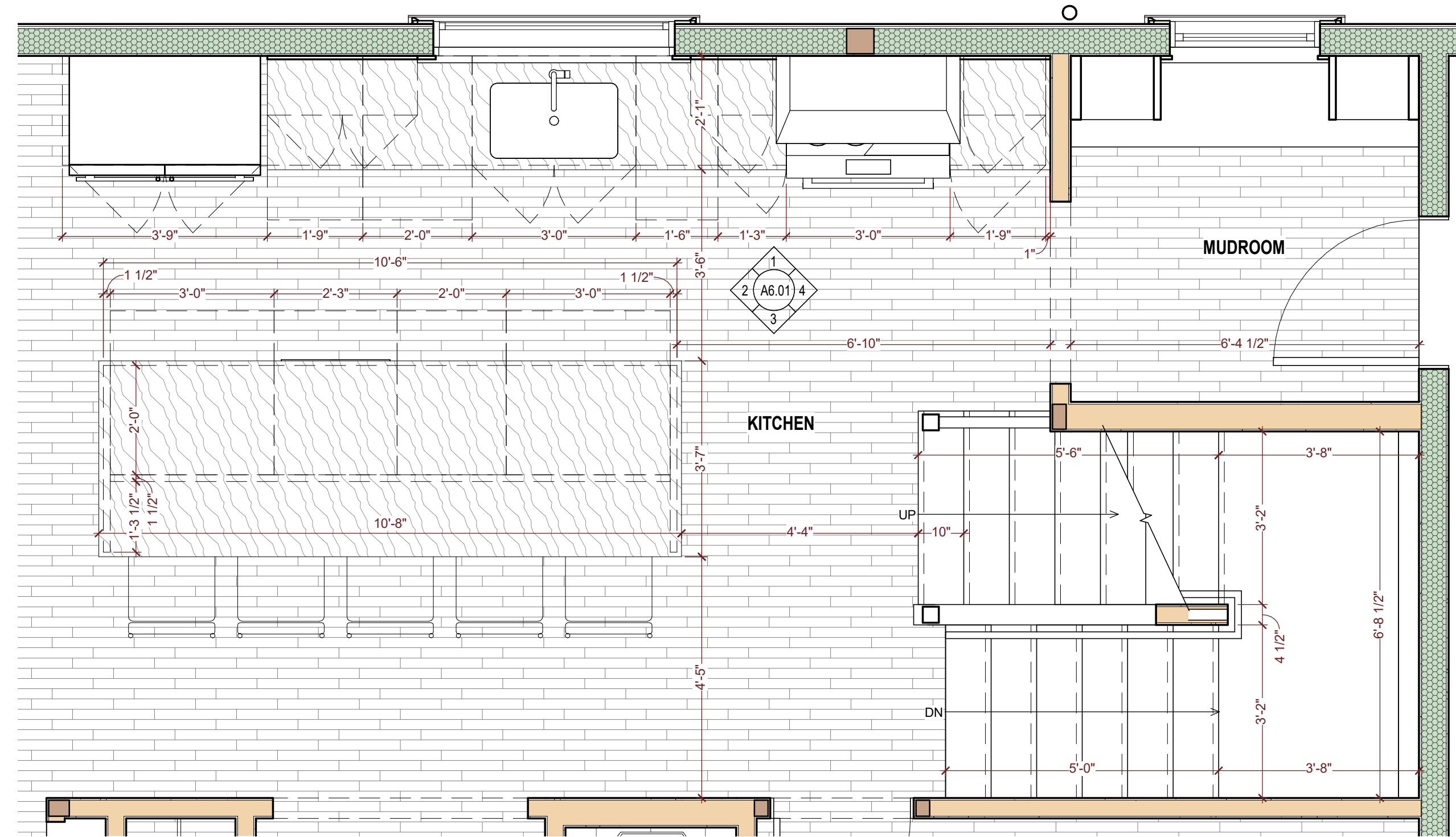
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Sheet Number:

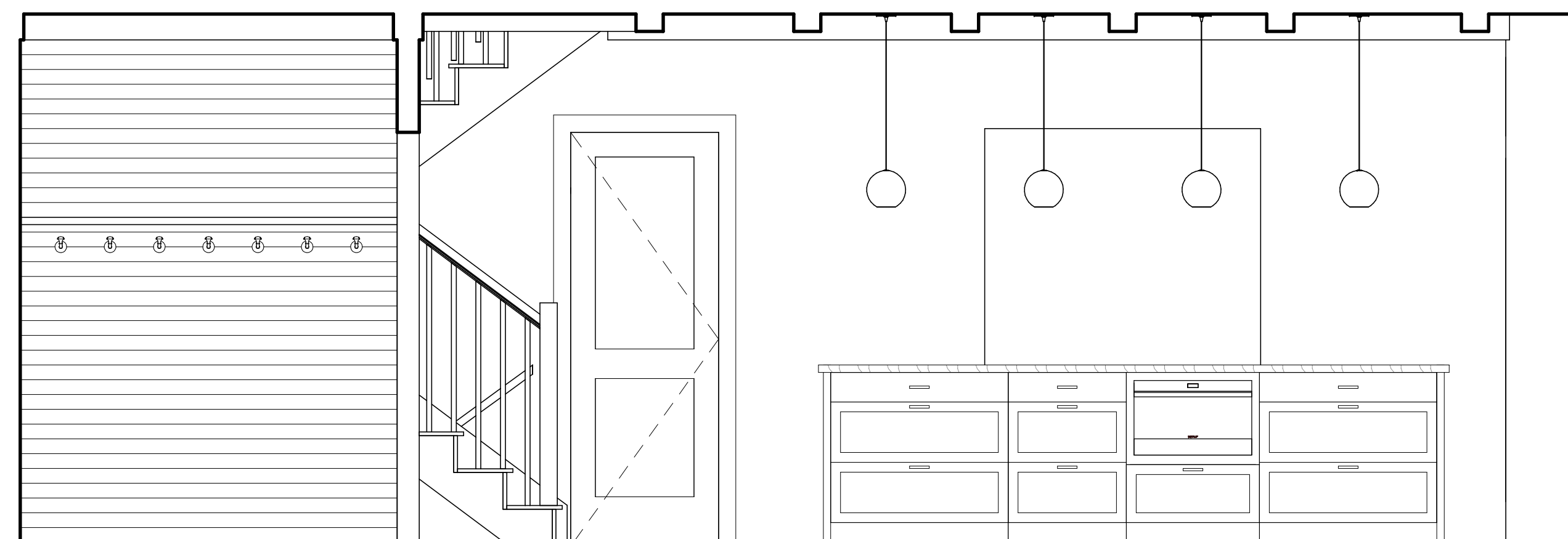
**A6.01**



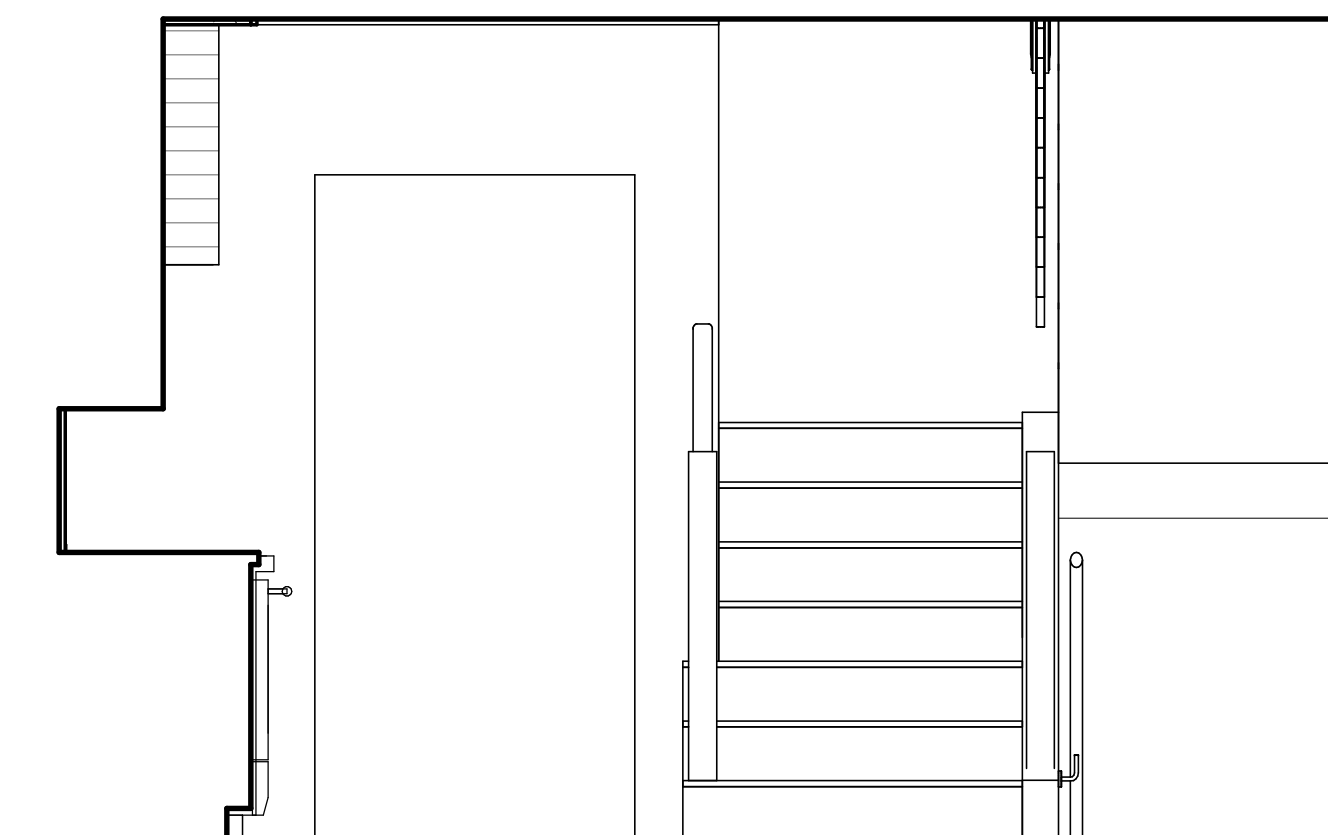
5 LIVING ROOM ELEV.1  
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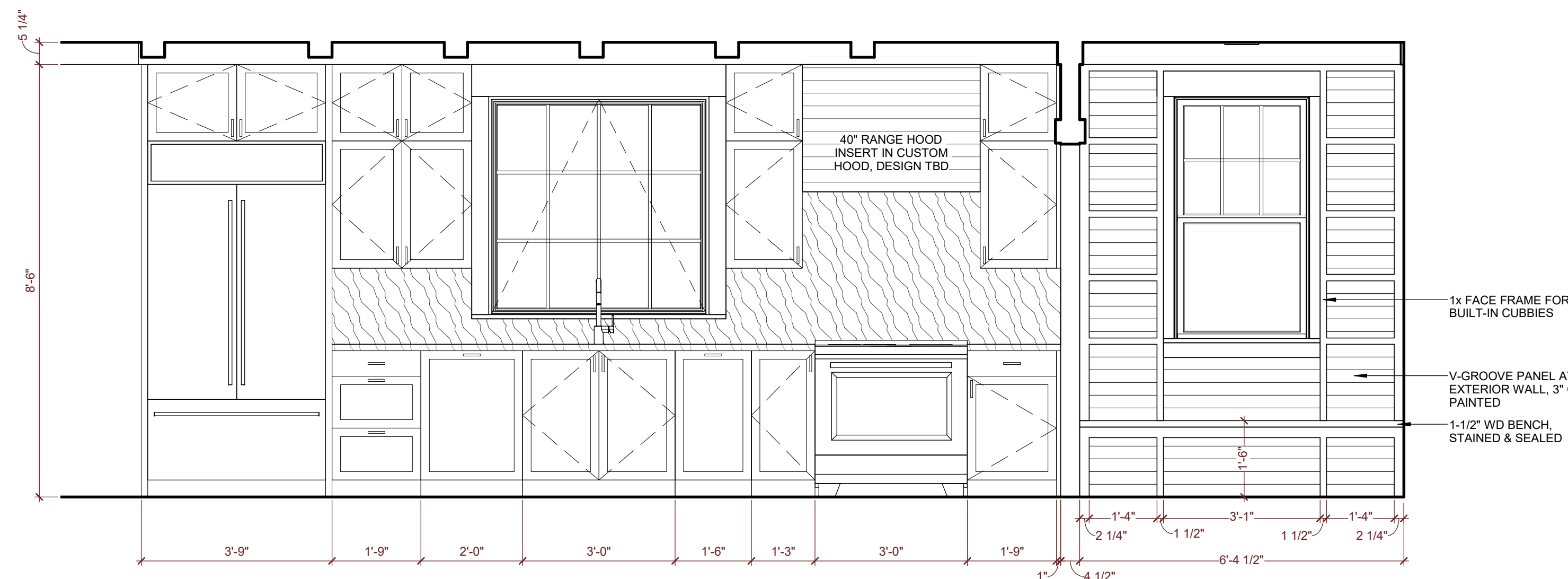
10 KITCHEN DETAIL PLAN  
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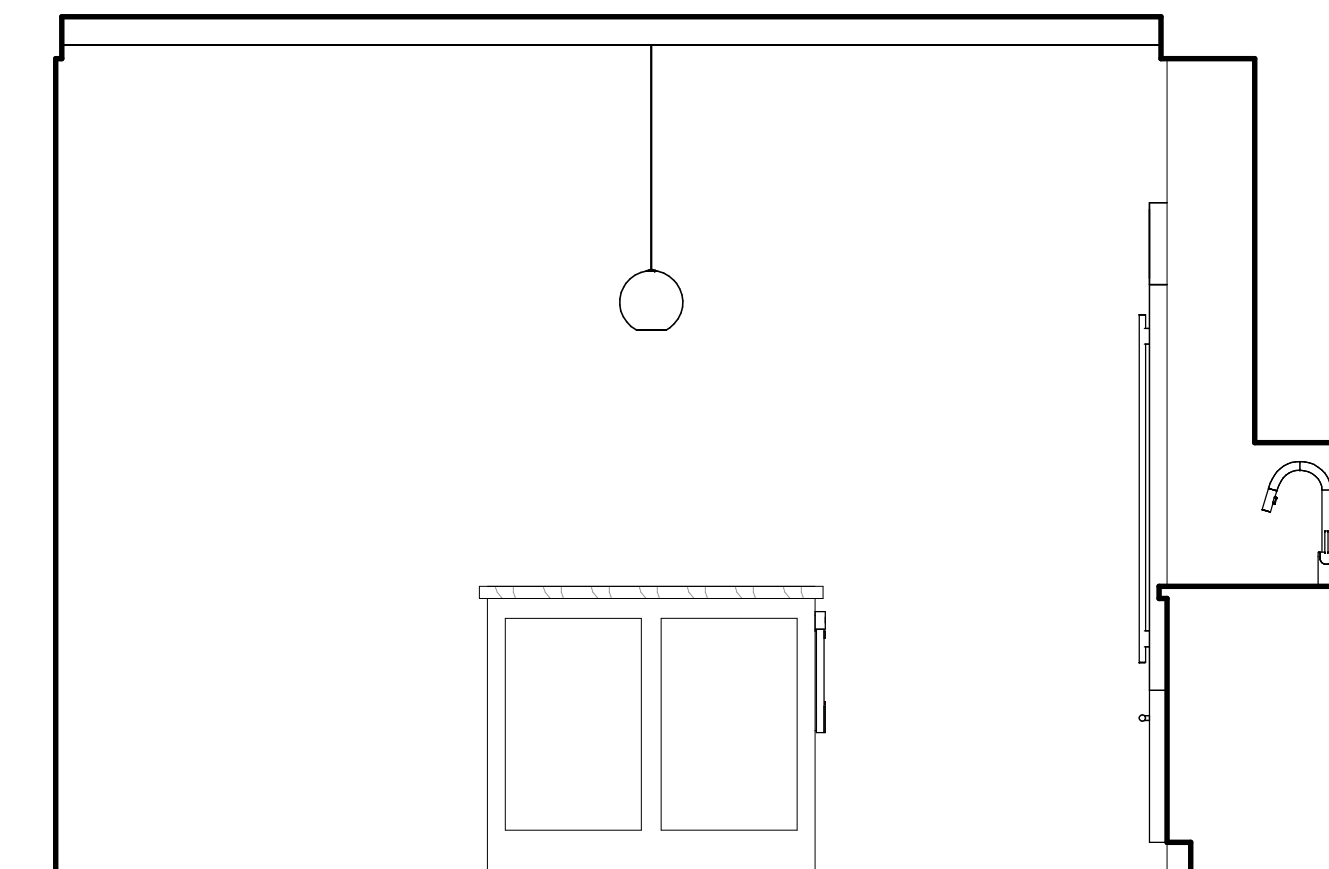
3 KITCHEN ELEV.3  
 Scale: 1/2" = 1'-0"



4 KITCHEN ELEV.4  
 Scale: 1/2" = 1'-0"



1 KITCHEN ELEV.1  
 Scale: 1/2" = 1'-0"



2 KITCHEN ELEV.2  
 Scale: 1/2" = 1'-0"