City of Saginaw

Meeting and/or Executive Session Agenda

Tuesday, October 15, 2024, 6:00 PM
333 West McLeroy Boulevard
Saginaw, Texas 76179

In accordance with Section 551.043 of the Texas Government Code, this agenda has been posted at Saginaw City Hall, and distributed to the appropriate news media within the required time frame. All meetings of the Saginaw City Council are open to the public. Public participation and written comments are invited on all open session business items.

The Mayor and City Council request that all cell phones and pagers be turned off or set to vibrate. Members of the audience are requested to step outside to respond to a page or to conduct a phone conversation. The City Hall is wheelchair accessible and special parking is available on the east side of the building. If special accommodations are required please contact the City Secretary a minimum of 72 hours in advance at 817-232-4640.

1. Call To Order

1A. Call To Order -- Todd Flippo, Mayor

1B. Pledges--Pledge of Allegiance to the United States; Pledge of Allegiance to the State of Texas--"Honor the Texas Flag; I pledge allegiance to thee, Texas, one State under God, one and indivisible"

1C. Invocation--Pastor Ronnie Mills, Saginaw Family Bible Church

1D. Audience Participation--Anyone wishing to speak during the discussion of an item listed on the agenda must complete an audience participation form. These forms are located by the Police Chief. After completing the form, give it to the City Secretary. She will give it to the Mayor. The Mayor will call on you when that item is discussed. You will have three (3) minutes to make your comments.

2. Consent Agenda

All items listed are part of the Consent Agenda. Public hearing and review are held collectively unless opposition is presented, in which case the contested item will be heard separately.

2A. Action regarding Minutes, October 1, 2024--Janice England, City Secretary

2B. Action Regarding Approval of Amendment No. 1 to the Interlocal Agreement with Tarrant County for Old Decatur Road North Roadway Improvements. -- Lee Howell, Asst. City Manager

2C. Action Regarding Dedication of Utility Easements by Separate Instrument to Juan Armendaris Survey Abstract No. 59, City of Saginaw, Tarrant County--Lee Howell, Asst. City Manager

2D. Action Regarding the Purchase of a Mower for the Drainage Department--Randy Newsom, Director of Public Works

2E. Action Regarding the Softball Complex Fence Repairs--Randy Newsom, Director of Public Works

2F. Action Regarding the Purchase of a New Gymnasium Floor for the Recreation Center--Keith Rinehart, Director of Community & Economic Development

2G. Action Regarding the Purchase of a Storage Building to Provide Equipment Storage for the Recreation Center--Keith Rinehart, Director of Community & Economic Development

3. Proclamations-Presentations

3A. Employee Recognitions/Presentations--Gabe Reaume, City Manager

—

3B. Community Presentation--Family, Career and Community Leaders of America (FCCLA)--Maggie Henderson, Region II Vice President of Texas State Association of FCCLA

3C. Presentation of the 212 Program--Jarred Coursey, Assistant Director of Public Works

3D. Presentation Regarding the Remodeling of the John Ed Keeter Library--Jarred Coursey, Asst. Public Works Director

4. Business

4A. Consideration and Action regarding City Council Meeting scheduled for November 5, 2024, Election Day--Janice England, City Secretary

5. Executive Session

The City Council may take action on any Executive Session item posted.

5A. 551.071. Texas Government Code. Consultation with Attorney. The City Council may convene in executive session to conduct a private consultation with its attorney on any legally posted item, when the City Council seeks the advice of its attorney about pending or contemplated litigation, a settlement offer, or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the provisions of Chapter 551, including the following items:

5B. Any Posted Item

6. Adjournment

6A. Adjournment--Todd Flippo, Mayor

Date Posted: October 10, 2024

City of Saginaw

City Council Memorandum

Prepared By: Janice England

A. Action regarding Minutes, October 1, 2024--Janice England, City Secretary

Meeting	Agenda Group
Tuesday, October 15, 2024, 6:00 PM	Consent Agenda Item: 2A.
Reference File	
Community Goals	

BACKGROUND/DISCUSSION:

The minutes of the City Council Meeting held on October 1, 2024 are presented for consideration.

FINANCIAL IMPACT:

N/A

RECOMMENDATION:

Staff recommends approval.

Attachments

Draft Minutes--October 1 2024.pdf

**** The following document is a draft of the minutes and the not the official approved minutes ****

City of Saginaw

Minutes for the City Council

Held on October 1, 2024

333 West McLeroy Boulevard, Saginaw, Texas 76179

Present at the Meeting:

- Todd Flippo, Mayor
- Paul Felegy, Mayor Pro-Tem, Place 1
- Nick Lawson, Place 2
- Valerie Junkersfeld, Place 3
- Brack St. Clair, Place 4
- Cindy Bighorse, Place 5
- Mary Copeland, Place 6
- Bryn Meredith, City Attorney
- Gabe Reaume, City Manager
- Lee Howell, Asst. City Manager
- Kim Quin, Finance Director
- Elizabeth Thorp, Finance Manager
- Janice England, City Secretary
- Russell Ragsdale, Police Chief
- Corey Burnett, Police Lieutenant
- Doug Spears, Fire Chief
- Randy Newsom, Director of Public Works
- Keith Rinehart, Director of Community & Economic Development
- Melanie McManus, Director of Human Resources
- Ellen Ritchie, Library Director
- Pedro Zambrano, Communications Manager

Absent from the Meeting:

- Trenton Tidwwell, P.E., City Engineer

Visitors at the Meeting:

- Judy Deller
- Michael Hill
- Fred Besco
- Glenn Reeves

- Jeree Reames
- David Reames
- Dale Reed
- Pastor Mark Towns
- Ronnie Horton
- Matt Regan
- John Gant
- Duane Mann
- Kristi Dean
- Jana Marsh
- Cpl. Rodriguez
- Sgt. Gonzalez
- Cpl. Osteen
- Mattie Osteen
- Ofcr. Soriano
- Ofcr. Renner
- Ofcr. Barber

1. Call To Order

1A. Call To Order--Todd Flippo, Mayor

Mayor Flippo called the meeting to order at 6:00 p.m.

1B. Pledges--Pledge of Allegiance to the United States; Pledge of Allegiance to the State of Texas--"Honor the Texas Flag; I pledge allegiance to thee, Texas, one State under God, one and indivisible"

1C. Invocation--Dr. Mark Towns, First Baptist Church

Dr. Mark Towns gave the invocation.

1D. Audience Participation--Anyone wishing to speak during the discussion of an item listed on the agenda must complete an audience participation form. These forms are located by the Police Chief. After completing the form, give it to the City Secretary. She will give it to the Mayor. The Mayor will call on you when that item is discussed. You will have three (3) minutes to make your comments.

2. Consent Agenda

Motion was made by Councilmember Junkersfeld with a second by Mayor Pro-Tem Felegy to approve the Consent Agenda as presented. 7-0-0-0

2A. Action regarding Minutes, September 17, 2024--Janice England, City Secretary

2B. Action regarding Minutes, September 23, 2024--Joint Workshop--City Council & Advisory Recreation & Parks Board--Janice England, City Secretary

2C. Action regarding Ordinance No. 2024-23, Industrial Waste Ordinance Amendment--Matt Regan, Enviromental/Drainage Manager

The Fort Worth City Council amended their Pretreatment Program with approval from the Texas Commission on Environmental Quality (TCEQ). Each Fort Worth Wholesale Customer City is required to modify their ordinance to meet the obligations of the Pretreatment Program by October 31, 2024. Newly adopted changes in the ordinance require industrial customers found to have wastewater containing PFAS (Per- and Poly-Fluoroalkyl Substances) compounds above the background level of 25 ng/L (established from the collection system monitoring) to implement a PFAS Management Plan for Significant Industrial Users (SIUs) for identifying and eliminating sources of these substances within one year of PFAS detection and notification. Proposed Ordinance No. 2024-23 addresses the required amendments. It has been reviewed by the City Attorney.

2D. Action regarding the 2024 Holiday Event Drone Show -- Pedro Zambrano, Communications Manager

The Advisory Recreation & Parks Board unanimously voted to recommend the use of $24,000 from the Parks Donation Fund for a drone show by FlyLight Drones, LLC after the parade and tree lighting ceremony. The show will include a brand new design lasting ten to twelve minutes with a total of 250 drones. This is the same cost as the 2023 show.

2E. Action regarding amendment to STW, Inc/OpenGov Software Agreement--Kim Quin, Finance Director

The City has used financial management software provided by STW, Inc. (purchased by OpenGov) for many years. The latest agreement approved by the City Council on November 5, 2019 was for the period of 10/01/2019 through 9/30/2024. We have been notified that the current software is being phased out. The City will have to convert to the cloud based OpenGov software or change software vendors. The proposed amendment extends the current software agreement by one year to allow staff to evaluate and plan for conversion to a new software system. The cost is $18,033.75 and is included in the Fiscal Year 2024/2025 budget.

3. Proclamations-Presentations

3A. Employee Recognitions/Presentations- Gabe Reaume, City Manager

Police Chief Ragsdale recognized Corporal Will Osteen who was promoted to his position earlier this year. A ceremonial badge pinning by Mattie Osteen, Corporal Osteen's wife, followed.

Police Lieutenant Burnett recognized the many volunteers from the Community Emergency Response Team (CERT), and the Citizen's Police Academy Alumni Association (CPAAA) as well as Police Department employees that assisted with the July 4th event. He expressed his appreciation for their assistance. He presented Certifications of Appreciation to the volunteers and Certificates of Commendation to the employees.

3B. Proclamation--Saginaw Day of Prayer, October 18, 2024--Todd Flippo, Mayor

Councilmember Junkersfeld read a proclamation declaring Friday, October 18, 2024 to be "Saginaw Day of Prayer".

4. Business

4A. Discussion of Debt Capacity--Kim Quin, Finance Director

Finance Director Quin gave a presentation on the City's debt capacity as well as the effect of any additional debt issued before 2034 on the tax rate. Future bond elections as well as other considerations regarding future debt issuance and factors that would affect the tax rate were discussed.

4B. Consideration and Action regarding Chapter 380 Economic Development Agreement with Fuel City Saginaw, LLC--Randy Newsom, Director of Public Works, & Keith Rinehart, Director of Community & Economic Development

Director of Public Works Newsom explained that the proposed Chapter 380 Economic Development Agreement is with Fuel City Saginaw, LLC. The agreement will incentivize Fuel City to maximize their sales tax receipts, which they believe will increase as a direct result of the future improvement of the intersection of Blue Mound Road and Industrial Blvd. Fuel City Saginaw, LLC hired a third party consultant and project manager to secure Texas Department of Transportation funding to make this project happen. The agreement will rebate 1% of sales tax collections back to Fuel City Saginaw, LLC each year for five years, up to a not-to-exceed amount of $250,000 until 2029. The sales tax collections for 2024 will serve as a base year, so Fuel City Saginaw, LLC must bring in receipts higher than 2024 in order to receive any reimbursement.

Motion was made by Councilmember Lawson with a second by Councilmember Junkersfeld to approve the Chapter 380 Economic Development Agreement with Fuel City Saginaw, LLC as

presented. Motion carried unanimously. 7-0-0-0

4C. Consideration and Action regarding the addition of a Public Comment Item to Future City Council Agendas--Bryn Meredith, City Attorney

The addition of a public comment item to future City Council agendas was discussed. City Attorney Meredith explained the various options to consider. Following discussion, the consensus of the City Council was to appoint a Sub Committee of three Councilmembers to review the options and make a recommendation to the City Council at a future meeting. Any Councilmembers interested in serving on the Sub Committee were asked to contact the Mayor.

4D. Discussion/Presentation of City Manager End of Fiscal Year Performance Review from 9/17/2024 City Council Meeting--Gabe Reaume, City Manager

City Manager Reaume reviewed the feedback from his recent End of Fiscal Year Performance Review. He added that he wanted staff to be aware of the comments.

5. Executive Session

Mayor Flippo declared the meeting recessed into Executive Session at 7:13 p.m.

5A. 551.071. Texas Government Code. Consultation with Attorney. The City Council may convene in executive session to conduct a private consultation with its attorney on any legally posted item, when the City Council seeks the advice of its attorney about pending or contemplated litigation, a settlement offer, or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the provisions of Chapter 551, including the following items:

5B. Any Posted Item

5C. 551.074 Texas Government Code. Personnel Matters. The City Council may convene in executive session to deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; or to hear a complaint or charge against an offer or employee, including deliberation regarding the following officers or employees:

5D. 2023/2024 City Manager End of Fiscal Year Performance Review

Mayor Flippo declared the meeting back in Regular Session at 7:52 p.m.

6. Adjournment

6A. Adjournment--Todd Flippo, Mayor

Motion was made by Councilmember St. Clair with a second by Councilmember Felegy to adjourn the meeting. Motion carried unanimously. 7-0-0-0

Mayor Flippo declared the October 1, 2024 City Council Meeting adjourned at 7:53 p.m.

City of Saginaw

City Council Memorandum

Prepared By: Janice England

B. Action Regarding Approval of Amendment No. 1 to the Interlocal Agreement with Tarrant County for Old Decatur Road North Roadway Improvements. -- Lee Howell, Asst. City Manager

Meeting	Agenda Group
Tuesday, October 15, 2024, 6:00 PM	Consent Agenda Item: 2B.

Reference File

Community Goals

BACKGROUND/DISCUSSION:

The City and Tarrant County previously entered into an Interlocal Agreement for financial support of up to $300,000.00 for the cooperative funding of improvements to Old Decatur Road. The City requested consideration of additional funding. Precinct 4 Commissioner Ramirez agreed to provide additional assistance of $150,000.00 through the Tarrant County 2006 Transportation Bond Program. This would bring the Tarrant County contribution for this ILA to a "not to exceed" total of $450,000.00 on a reimbursement basis of actual eligible project costs. Approval of this item would also extend the term of the ILA to September 30, 2025. (See attached original executed ILA for reference.)

The City of Fort Worth has been contacted to participate in this project and a response is pending.

FINANCIAL IMPACT:

Funds provided from this ILA are included in the Saginaw FY 2024-2025 adopted budget, Capital Projects Fund (line item 06-1502-45-00). Also included in the budget for Old Decatur improvements are funds previously obtained by reimbursement from Tarrant County on Knowles Phase 1. Additional funding would be provided through an anticipated bond sale in 2025 Capital Projects Fund (06-1502-25-00). Total expenditures needed on this project for FY 24-25 are estimated at $2,613,625.00.

RECOMMENDATION:

Staff recommends approval.

Attachments

2006 TBP ILA Amedment No. 1_Old Decatur North (150k from Pct 4 Disc added) FINAL.pdf

Old-Decatur-Rd-North-Improvements-Funding-ILA-FINAL-120622.pdf

STATE OF TEXAS §
§ **Amendment No. 1 to the Interlocal Agreement**
§ **for Old Decatur Road North Roadway Improvements**
COUNTY OF TARRANT §

BACKGROUND

Tarrant County ("COUNTY") and the City of Saginaw ("CITY") entered into an Interlocal Agreement approved by Tarrant County Commissioners Court Order No. 139866, for financial support of up to $300,000.00, for the cooperative funding of improvements to Old Decatur Road from Bailey Boswell Road to south of the Saginaw/Saginaw city limit line ("Project") as described in the 2006 Tarrant County Bond Program.

The city has requested to amend the Interlocal Agreement (ILA) with additional funding assistance of $150,000.00 and to extend the term of the project. The Precinct 4 Commissioner has agreed to provide the additional funding through the 2006 TBP, Pct 4 Discretionary funds, and to extend the agreement Term as shown in Article III.

Therefore, the COUNTY and CITY agree to the following revisions. Paragraphs III, IV, and V from the original Interlocal Agreement are repealed and replaced with the following language:

III.
TERM

This ILA shall become effective upon the approval of both parties and shall terminate on September 30, 2025, unless terminated as described in Section XII in the original ILA or extended in writing and approved by both parties.

IV.
FISCAL FUNDING ACKNOWLEDGEMENT

Tarrant County bond funds will be encumbered on a fiscal year basis in accordance with the Certification of Available Funds shown herein. In the event no funds or insufficient funds are appropriated and budgeted or are otherwise unavailable by any means whatsoever in any fiscal period for payments due under this ILA Amendment, then the affected party will immediately notify the other party of such occurrence and this Amendment may be terminated on the last day of the fiscal period for which appropriations were received without penalty or expense to the affected party of any kind whatsoever, except to the portions of annual payments herein agreed upon for which funds shall have been appropriated.

V.
REIMBURSEMENT PROCESS

The COUNTY agrees to reimburse the CITY for the actual eligible PROJECT costs in an amount not to exceed $450,000.00. Any reimbursement request from the CITY should include: 1) a copy

of the invoice or billing for design services, right-of-way acquisition purchase, and construction; and 2) a copy of the check, a certification letter, or other documentation to verify the CITY's proof of payment. The final reimbursement payment to the CITY will be contingent upon the City Manager or Mayor providing written notification to the COUNTY that the project is complete along with identification of final project costs. COUNTY bond funds for the Project are allocated as follows:

County Payment by Phase*

Design:	$0.00
ROW Acquisition:	$0.00
Construction:	$450,000.00
TOTAL:	$450,000.00

TBP Funding Category: 2006, Pct 4 Discretionary

* *Reimbursement payments will be issued by the COUNTY for eligible expenses incurred during the Fiscal Year for which bond funds are certified by the Tarrant County Auditor.*

The CITY understands that the CITY will be responsible for cost overruns and any other expenses incurred by the CITY in performing the services described herein. The CITY agrees that the COUNTY retains control over when reimbursement payments will be disbursed to the CITY.

In addition to the foregoing replacement language, Attachment A is removed and deleted from the original Interlocal Agreement in full. All other paragraphs, terms and language outside of paragraphs III, IV, and V as well as Attachment A remain unchanged and in effect.

APPROVED on this day the _____ day of _____, 2024, by Tarrant County.

Commissioners Court Order No. _____.

TARRANT COUNTY, TEXAS

_____
Tim O'Hare, County Judge

_____
Manny Ramirez, Commissioner, Precinct 4

CITY OF SAGINAW

_____
Todd Flippo, Mayor

APPROVED AS TO FORM:

_____	_____
Criminal District Attorney's Office*	City Attorney

_____
City Secretary (If applicable)

* By law, the Criminal District Attorney's Office may only approve contracts for its clients. We reviewed this document as to form from our client's legal perspective. Other parties may not rely on this approval. Instead, those parties should seek contract review from independent counsel.

CERTIFICATION OF AVAILABLE FUNDS IN THE AMOUNT OF:

$_____ as follows:

Fiscal year ending September 30, 2025:	$150,000.00, 2006 TBP Precinct 4 Discretionary

_____
Auditor's Office

STATE OF TEXAS	§	**Funding Interlocal Agreement**
	§	**for Old Decatur Road North Roadway Improvements**
COUNTY OF TARRANT	§	**(Construction Phase)**

This Funding Interlocal Agreement (ILA) is entered into between Tarrant County, Texas, hereinafter referred to as COUNTY, and the City of Saginaw, hereinafter referred to as CITY, and collectively referred to as the "parties", for the purpose of providing financial support of up to $300,000.00 in Precinct 4 discretionary funds through the 2006 Tarrant County Transportation Bond Program (TBP) to a needed transportation project which both parties find serves a public purpose and promotes the public welfare of the citizens of Tarrant County.

The COUNTY and the CITY make the following findings of fact:

1. This Funding ILA is made pursuant to Chapter 791 of the Texas Government Code;

2. To the extent necessary the parties will use current revenues to pay obligations in this Funding ILA;

3. The project benefits the public in that it is a needed transportation project;

4. The COUNTY and the CITY each has the legal authority to perform its obligations in this Funding ILA;

5. The division of costs provided in this Funding ILA constitute adequate consideration to each party; and

6. Both parties acknowledge they are each a "governmental entity" and not a "business entity" as those terms are defined in Texas Government Code Section 2252.908, and therefore, no disclosure of interested parties is required.

I.
PROJECT DESCRIPTION

This project, hereinafter referred to as the "Project", will consist of the reconstruction of Old Decatur Road from asphalt to concrete and widened to five lanes at the intersection with West Bailey Boswell Road and then transitioning to three lanes for approximately 1,400 linear feet to just south of the Saginaw/Fort Worth city limit line. Other improvements will include internal storm drain and major culvert crossings, water line relocations, sanitary sewer adjustments, illumination, pavement markings and signage, and traffic signal modifications.

II.
SCOPE OF SERVICES PROVIDED BY CITY

The services to be provided by the CITY shall include, but are not limited to, the following:

A. All total project costs, including all construction, right of way acquisition, utility relocation, engineering, planning, surveying, and governmental approval costs (collectively referred to as "Costs");

B. Construction agreement administration, site review, permitting, and inspection;

C. Interagency cooperation;

D. A detailed schedule of the project shall be provided to the COUNTY; and

E. The CITY will notify the COUNTY of completion of the Project.

III.
TERM

This Funding ILA shall become effective upon the approval of both parties and shall expire on September 30, 2024 unless terminated as described in Section XIII in this Funding ILA or extended in writing and approved by both parties.

IV.
FISCAL FUNDING ACKNOWLEDGEMENT

In the event no funds or insufficient funds are appropriated and budgeted or are otherwise unavailable by any means whatsoever in any fiscal period for payments under this Funding ILA, then the affected party will immediately notify the other party of such occurrence and this Funding ILA shall be terminated on the last day of the fiscal period for which appropriations were received without penalty or expense to the affected party of any kind whatsoever, except to the portions of payments herein agreed upon for which funds shall have been appropriated.

V.
COST

The COUNTY agrees to reimburse the CITY for eligible construction expenses required for the Project in an amount not to exceed $300,000.00 in accordance with the reimbursement payment schedule in Attachment A. Any reimbursement request from the CITY should include: 1) a copy of the contractor's invoice; 2) a copy of the contractor's progress report or the latest project schedule; and 3) a copy of the check, certification letter, or other documentation to verify the CITY's proof of payment to the contractor.

The CITY understands that the CITY will be responsible for cost overruns of the Project and for other expenses incurred by the CITY in performing the services under this Funding ILA.

VI.
AGENCY-INDEPENDENT CONTRACTOR

Neither the COUNTY nor any employee thereof is an agent of the CITY, and neither the CITY

nor any employee thereof is an agent of the COUNTY. This Funding ILA does not and shall not be construed to entitle either party or any of their respective employees, if applicable, to any benefit, privilege or other amenities of employment by the other party.

The COUNTY will have no right to control the manner or means of construction of the Project.

VII.
ASSIGNMENT

Neither party may assign, in whole nor in part, any interest it may have in this Funding ILA without the prior written consent of the other party.

VIII.
THIRD-PARTY BENEFICIARY EXCLUDED

No person other than a party to this Funding ILA may bring a cause of action pursuant to this Funding ILA as a third-party beneficiary. This Funding ILA may not be interpreted to waive the sovereign or governmental immunity of any party to this Funding ILA to the extent such party may have immunity under Texas law.

IX.
AUDIT OF RECORDS

The CITY's records regarding this Project shall be subject to audit by the COUNTY during the term of this Funding ILA and for two years after the completion of the Project.

X.
ENTIRE AGREEMENT

This Funding ILA represents the entire understanding of and between the parties and superseded all prior representations. This Funding ILA may not be varied orally but must be amended by written document of subsequent date duly executed by these parties.

XI.
VENUE

This Funding ILA shall be governed by the laws of the State of Texas and venue for any action under this Funding ILA shall be in the district courts of Tarrant County, Texas.

XII.
SCHEDULING

The CITY agrees that the COUNTY retains control over the reimbursement payment schedule in Attachment A. The COUNTY agrees to notify the CITY of any changes to the reimbursement payment schedule 30 days in advance. Such notification will be in the form of

written correspondence delivered by regular mail.

XIII.
TERMINATION

Until funded by the COUNTY as described in Section V, this Funding ILA may be terminated by either party by providing written notice to the other party at least thirty (30) days prior to the intended date of termination. Any notice or other writing required by this Funding ILA shall be deemed given when personally delivered or mailed by certified or registered mail to the following officials:

COUNTY:
County Administrator
Tarrant County
100 E. Weatherford Street, Suite 404
Fort Worth, Texas 76196

CITY:
City Manager
City of Saginaw
333 West McLeroy Boulevard
Saginaw, Texas 76179

XIV.
SOVEREIGN POWERS

The COUNTY and the CITY agree and understand neither party waives nor surrenders any of its governmental powers by execution of this Funding ILA.

APPROVED on this day the 6 day of December, 2022, by Tarrant County.

Commissioners Court Order No. 139866.

TARRANT COUNTY, TEXAS

B. Glen Whitley, County Judge

J.D. Johnson, Commissioner, Precinct 4

CITY OF SAGINAW

Todd Flippo, Mayor

APPROVED AS TO FORM:

Criminal District Attorney's Office*

Bryn Meridith, City Attorney

* By law, the Criminal District Attorney's Office may only approve contracts for its clients. We reviewed this document as to form from our client's legal perspective. Other parties may not rely on this approval. Instead those parties should seek contract review from independent counsel.

CERTIFICATION OF AVAILABLE FUNDS IN THE AMOUNT OF

$ 300,000 *as follows:*

Fiscal year ending September 30, 2023 - $ 225,000.00
Fiscal year ending September 30, 2024 - $ 75,000.00
$ 300,000.00**

Renée Tidwell

Auditor's Office

*** Funds will be provided by Precinct 4 discretionary funds from the 2006 Transportation Bond Program*

ATTACHMENT A

Project Information

City: City of Saginaw
Project Name: Old Decatur Road North Roadway Improvements

Project Schedule

	Start Date	Duration (mo.)	End Date
Design:	-	-	-
ROW Acquisition:	-	-	-
Construction:	Jan-2023	12	Dec-2023

Reimbursement Payment by Phase

Design:	$0.00
ROW Acquisition:	$0.00
Construction:	$ 300,000.00
TOTAL:	$ 300,000.00*

* ***Funded with Precinct 4 discretionary funds from the 2006 Transportation Bond Program***

Reimbursement Payment Schedule by Calendar Quarter (SUBJECT TO CHANGE)

	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter
2021	$0	$0	$0	$0
2022	$0	$0	$0	$0
2023	$75,000.00	$75,000.00	$75,000.00	$75,000.00
2024	$0	$0	$0	$0

City of Saginaw

City Council Memorandum

Prepared By: Janice England

C. Action Regarding Dedication of Utility Easements by Separate Instrument to Juan Armendaris Survey Abstract No. 59, City of Saginaw, Tarrant County--Lee Howell, Asst. City Manager

Meeting	Agenda Group
Tuesday, October 15, 2024, 6:00 PM	Consent Agenda Item: 2C.

Reference File

Community Goals

BACKGROUND/DISCUSSION:

Approval of this item dedicates utility easements to Oncor and Atmos to construct electricity and natural gas connections to supply the new Saginaw Public Library and Senior Center. Attached are two separate instruments prepared by Kimley Horn detailing legal descriptions and locations by metes and bounds.

FINANCIAL IMPACT:

N/A

RECOMMENDATION:

N/A

Attachments

Saginaw McLeroy Library_Gas Esmt 20241003.pdf
Saginaw McLeroy Library_Util Esmt 20241003.pdf

LEGAL DESCRIPTION

BEING a 0.0533 acre (2,320 square foot) tract of land situated in the Juan Armendaris Survey, Abstract No. 59, City of Saginaw, Tarrant County, Texas, and being a portion of Lot 1, Block 1, Starnes Addition, an addition to the City of Saginaw according to the plat recorded in Instrument No. D224005793, Official Public Records, Tarrant County, Texas, and being more particularly described as follows:

COMMENCING at an aluminum disk found for the southwest corner of said Lot 1, and being in the north right-of-way line of McLeroy Boulevard, a variable width right-of-way, from which a 1/2-inch iron rod found for the southwest corner of Lot 2, Block 1, Session's Addition, an addition to the City of Saginaw according to the plat recorded in Cabinet F, Slide 445, Plat Records, Tarrant County, Texas, and being in the intersection of the said north right-of-way line and the east right-of-way line of Western Avenue, a 50-foot right-of-way, bears South 89°02'33" West, a distance of 113.73 feet;

THENCE North 71°04'26" East, along the said north right-of-way line, a distance of 57.63 feet to the **POINT OF BEGINNING**;

THENCE North 01°46'25" East, departing the said north right-of-way line, a distance of 233.67 feet to a point for corner;

THENCE North 88°56'16" East, a distance of 10.01 feet to a point for corner;

THENCE South 01°46'25" West, a distance of 230.39 feet to a point for corner in the said north right-of-way line, from which a 2-inch bolt found for reference bears North 71°04'26" East, a distance of 291.62 feet;

THENCE South 71°04'26" West, along the said north right-of-way line, a distance of 10.69 feet to the **POINT OF BEGINNING** and containing 2,320 square feet or 0.0533 acres of land, more or less.

NOTES

Bearing system based on the Texas Coordinate System of 1983 (2011 adjustment), North Central Zone (4202).
A survey plat of even survey date herewith accompanies this metes and bounds description.

The undersigned, Registered Professional Land Surveyor, hereby certifies that the foregoing description accurately sets out the metes and bounds of the easement tract.

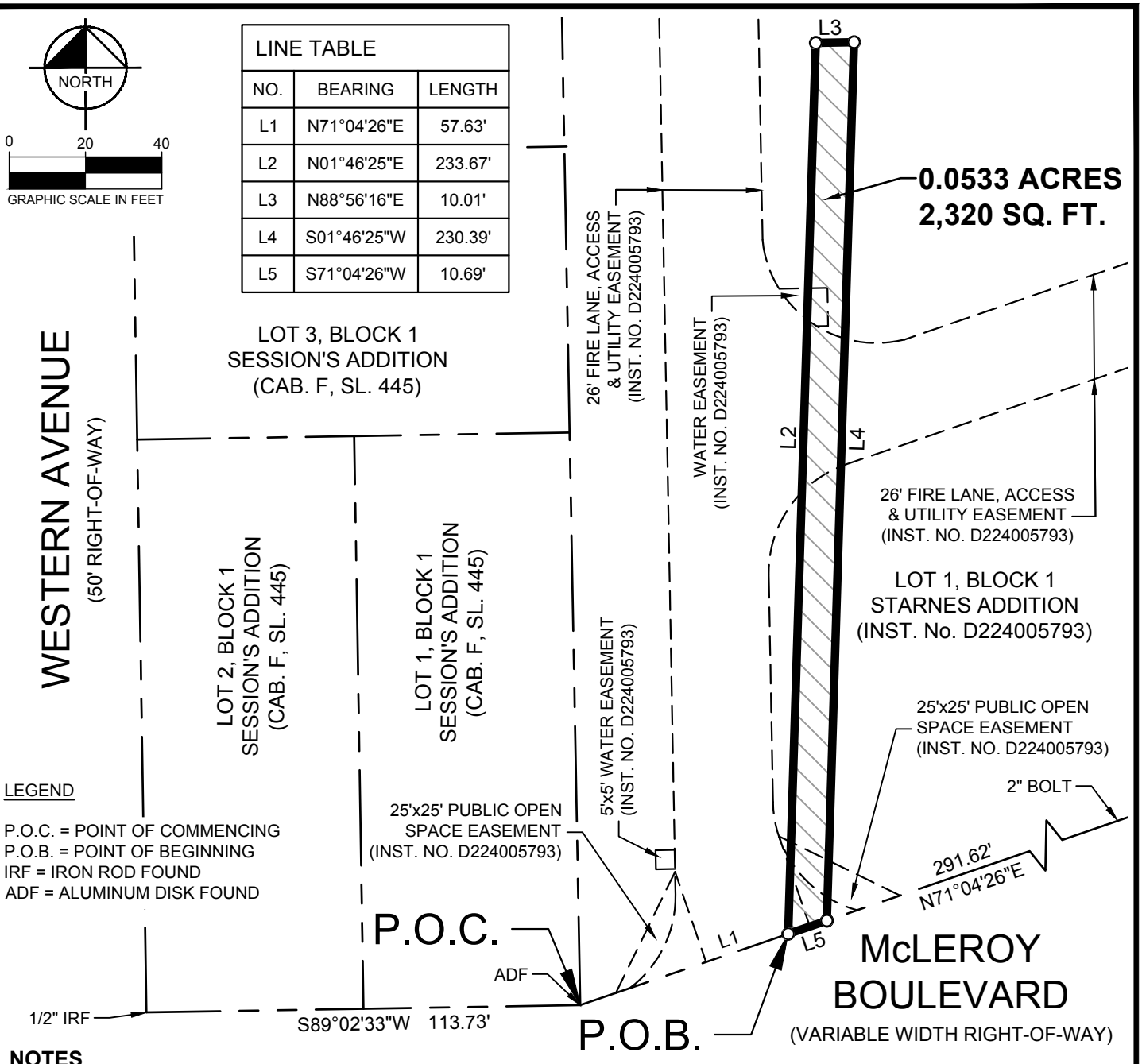
JOSHUA D. WARGO
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 6391
801 CHERRY STREET,
UNIT 11 SUITE 1300
FORT WORTH, TEXAS 76102
PH. 817-335-6511
josh.wargo@kimley-horn.com

STATE OF TEXAS
REGISTERED
JOSHUA D. WARGO
6391
PROFESSIONAL
LAND SURVEYOR

GAS EASEMENT
JUAN ARMENDARIS SURVEY
ABSTRACT No. 59
CITY OF SAGINAW
TARRANT COUNTY, TEXAS

Kimley»Horn
801 Cherry Street, Unit 11, # 1300
Fort Worth, Texas 76102
FIRM # 10194040
Tel. No. (817) 335-6511
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	CRG	JDW	10/3/2024	061003162	1 OF 2



NOTES

Bearing system based on the Texas Coordinate System of 1983 (2011 adjustment), North Central Zone (4202).
A metes and bounds description of even survey date herewith accompanies this survey plat.

The undersigned, Registered Professional Land Surveyor, hereby certifies that this survey plat accurately sets out the metes and bounds of the easement tract.

GAS EASEMENT
JUAN ARMENDARIS SURVEY
ABSTRACT No. 59
CITY OF SAGINAW
TARRANT COUNTY, TEXAS

JOSHUA D. WARGO
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 6391
801 CHERRY STREET,
UNIT 11 SUITE 1300
FORT WORTH, TEXAS 76102
PH. 817-335-6511
josh.wargo@kimley-horn.com

STATE OF TEXAS
REGISTERED
JOSHUA D. WARGO
6391
PROFESSIONAL
LAND SURVEYOR

Kimley»Horn
801 Cherry Street, Unit 11, # 1300
Fort Worth, Texas 76102
FIRM # 10194040
Tel. No. (817) 335-6511
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 40'	CRG	JDW	10/3/2024	061003162	2 OF 2

LEGAL DESCRIPTION

BEING a 0.2201 acre (9,587 square foot) tract of land situated in the Juan Armendaris Survey, Abstract No. 59, City of Saginaw, Tarrant County, Texas, and being a portion of Lot 1, Block 1, Starnes Addition, an addition to the City of Saginaw according to the plat recorded in Instrument No. D224005793, Official Public Records, Tarrant County, Texas, and being more particularly described as follows:

BEGINNING at an aluminum disk found for the southwest corner of said Lot 1, and being in the north right-of-way line of McLeroy Boulevard, a variable width right-of-way, from which a 1/2-inch iron rod found for the southwest corner of Lot 2, Block 1, Session's Addition, an addition to the City of Saginaw according to the plat recorded in Cabinet F, Slide 445, Plat Records, Tarrant County, Texas, and being in the intersection of the said north right-of-way line and the east right-of-way line of Western Avenue, a 50-foot right-of-way, bears South 89°02'33" West, a distance of 113.73 feet;

THENCE North 01°03'44" West, departing the said north right-of-way line and along the west line of said Lot 1, a distance of 357.51 feet to a point for corner;

THENCE North 88°56'16" East, departing the said west line, a distance of 72.00 feet to a point for corner;

THENCE South 01°03'44" East, a distance of 9.48 feet to a point for corner;

THENCE South 88°56'16" West, a distance of 21.50 feet to a point for corner, being the beginning of a tangent curve to the left with a radius of 25.00 feet, a central angle of 90°00'00", and a chord bearing and distance of South 43°56'16" West, 35.36 feet;

THENCE in a southwesterly direction, with said tangent curve to the left, an arc distance of 39.27 feet to a point for corner;

THENCE South 01°03'44" East, a distance of 314.82 feet to a point for corner in the said north right-of-way, from which a 2-inch bolt found for reference bears North 71°04'26" East, a distance of 333.15 feet;

THENCE South 71°04'26" West, along the said north right-of-way line, a distance of 26.79 feet to the **POINT OF BEGINNING** and containing 9,587 square feet or 0.2201 acres of land, more or less.

NOTES

Bearing system based on the Texas Coordinate System of 1983 (2011 adjustment), North Central Zone (4202).
A survey plat of even survey date herewith accompanies this metes and bounds description.

The undersigned, Registered Professional Land Surveyor, hereby certifies that the foregoing description accurately sets out the metes and bounds of the easement tract.

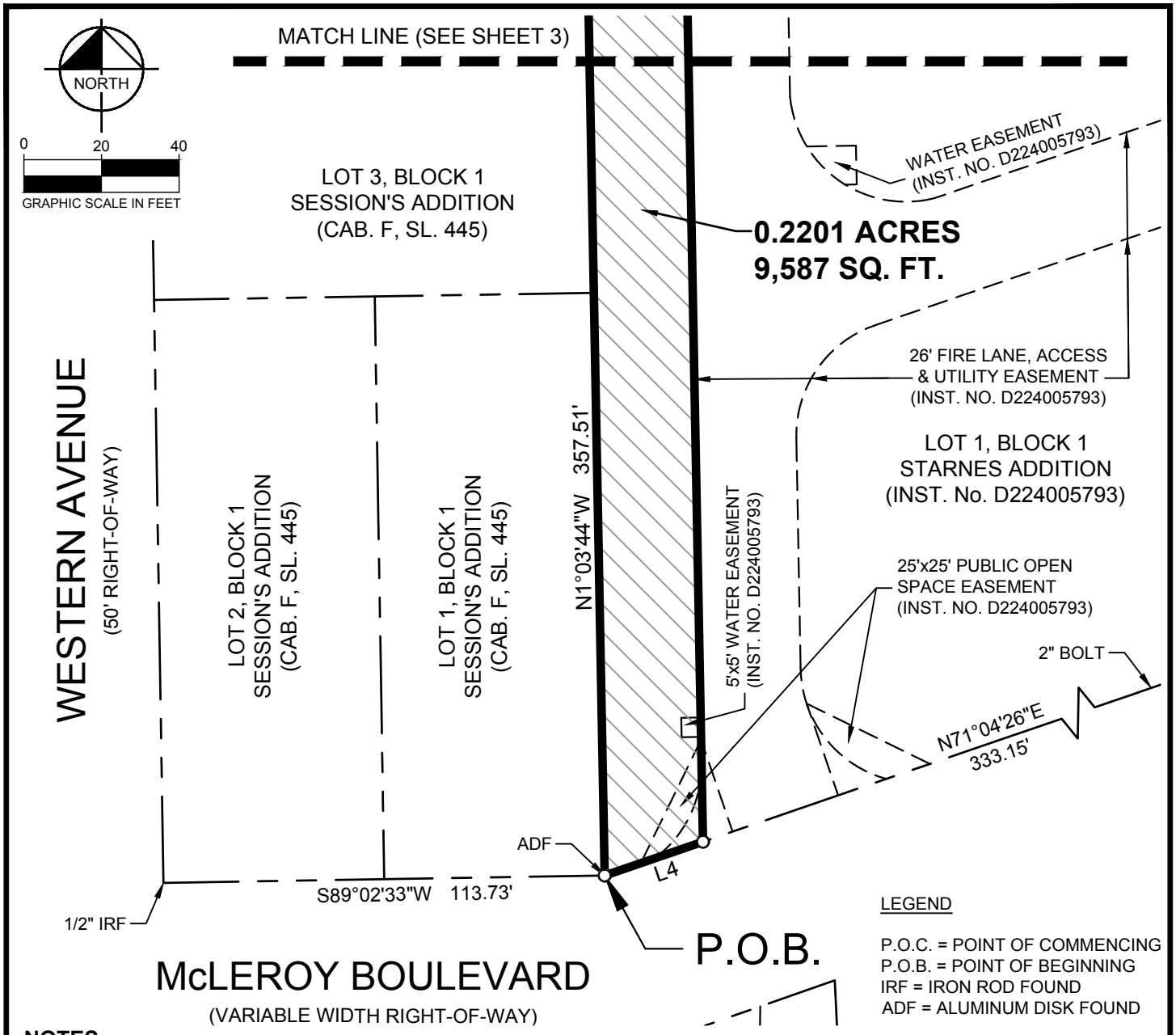
JOSHUA D. WARGO
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 6391
801 CHERRY STREET,
UNIT 11 SUITE 1300
FORT WORTH, TEXAS 76102
PH. 817-335-6511
josh.wargo@kimley-horn.com

STATE OF TEXAS
REGISTERED
JOSHUA D. WARGO
6391
PROFESSIONAL
LAND SURVEYOR

UTILITY EASEMENT
JUAN ARMENDARIS SURVEY
ABSTRACT No. 59
CITY OF SAGINAW
TARRANT COUNTY, TEXAS

Kimley»Horn
801 Cherry Street, Unit 11, # 1300
Fort Worth, Texas 76102
FIRM # 10194040
Tel. No. (817) 335-6511
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	CRG	JDW	10/3/2024	061003162	1 OF 3



LEGEND

P.O.C. = POINT OF COMMENCING
P.O.B. = POINT OF BEGINNING
IRF = IRON ROD FOUND
ADF = ALUMINUM DISK FOUND

NOTES

Bearing system based on the Texas Coordinate System of 1983 (2011 adjustment), North Central Zone (4202).
A metes and bounds description of even survey date herewith accompanies this survey plat.

The undersigned, Registered Professional Land Surveyor, hereby certifies that this survey plat accurately sets out the metes and bounds of the easement tract.

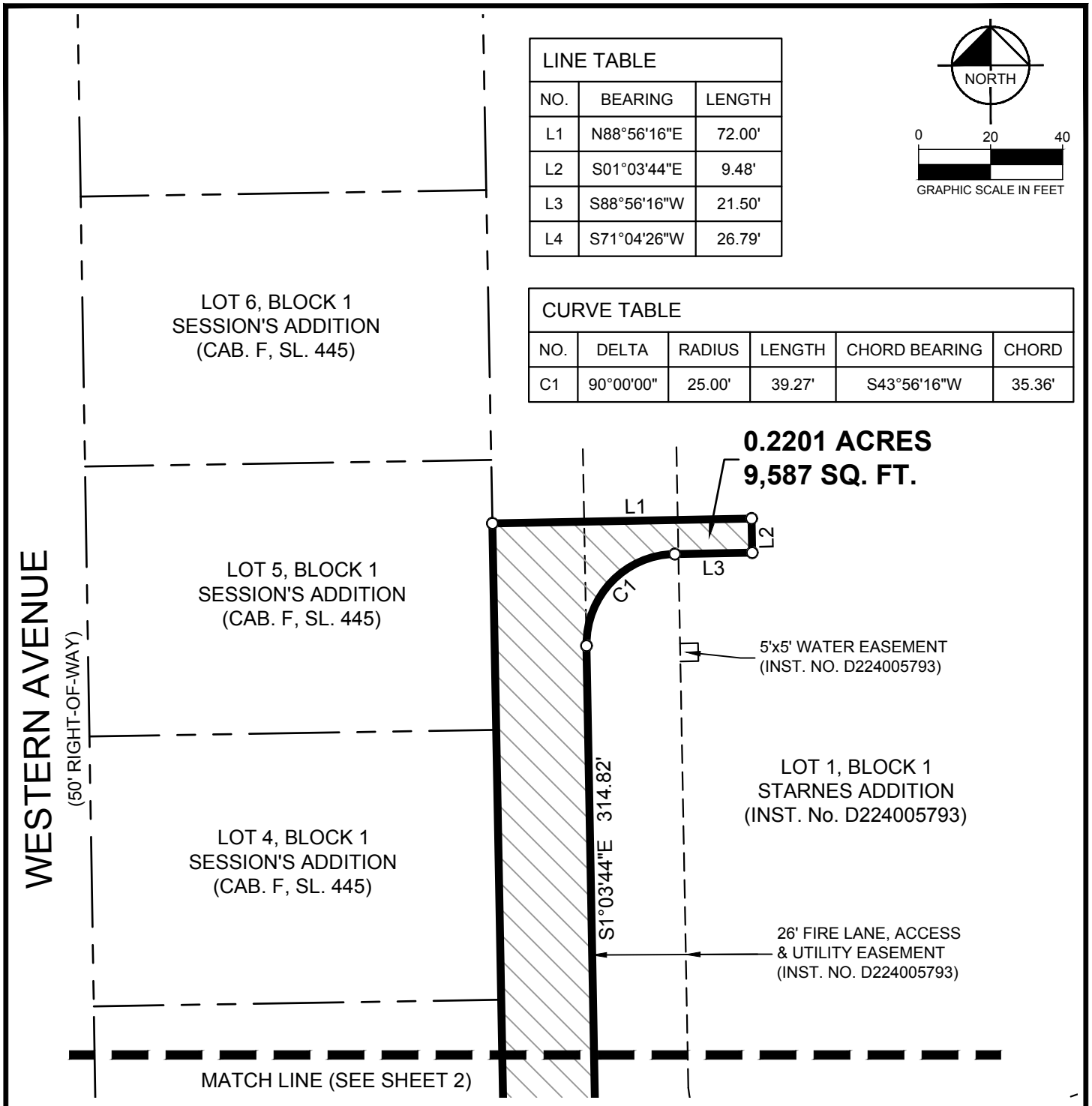
JOSHUA D. WARGO
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 6391
801 CHERRY STREET,
UNIT 11 SUITE 1300
FORT WORTH, TEXAS 76102
PH. 817-335-6511
josh.wargo@kimley-horn.com

STATE OF TEXAS
REGISTERED
JOSHUA D. WARGO
6391
PROFESSIONAL
LAND SURVEYOR

UTILITY EASEMENT
JUAN ARMENDARIS SURVEY
ABSTRACT No. 59
CITY OF SAGINAW
TARRANT COUNTY, TEXAS

Kimley»Horn
801 Cherry Street, Unit 11, # 1300
Fort Worth, Texas 76102
FIRM # 10194040
Tel. No. (817) 335-6511
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 40'	CRG	JDW	10/3/2024	061003162	2 OF 3



UTILITY EASEMENT
JUAN ARMENDARIS SURVEY
ABSTRACT No. 59
CITY OF SAGINAW
TARRANT COUNTY, TEXAS

LEGEND

P.O.C. = POINT OF COMMENCING
P.O.B. = POINT OF BEGINNING
IRF = IRON ROD FOUND
ADF = ALUMINUM DISK FOUND

Kimley»Horn
801 Cherry Street, Unit 11, # 1300
Fort Worth, Texas 76102
FIRM # 10194040
Tel. No. (817) 335-6511
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 40'	CRG	JDW	10/3/2024	061003162	3 OF 3

City of Saginaw

City Council Memorandum

Prepared By: Janice England

D. Action Regarding the Purchase of a Mower for the Drainage Department--Randy Newsom, Director of Public Works

Meeting	Agenda Group
Tuesday, October 15, 2024, 6:00 PM	Consent Agenda Item: 2D.
Reference File	
Community Goals	

BACKGROUND/DISCUSSION:

The 2024-25 Drainage Department Budget included budgeted funds in the amount of $75,000 for the purchase of a Remote-Operated Robotic Mower. This mower will allow the Drainage Department staff the ability to better maintain all of the floodplain areas that they have to mow. Some of these areas take weeks and sometimes months before they dry out enough to mow.

We received a bid from Kinloch Equipment utilizing their BuyBoard Contract #706-23 in the amount of $70,412.50.

FINANCIAL IMPACT:

The total financial impact will be $70,412.50.

Funds in the amount of $75,000 were budgeted for purchase of this mower in account 14-7000-00-00. The actual cost of the mower being $70,412.50 will result in a cost savings of $4,587.50.

RECOMMENDATION:

Staff recommends approval for the purchase of the Remote-Operated Robotic Mower from Kinloch Equipment in the amount of $70,412.50.

Attachments

Purchase of a Mower Memo.pdf

Consideration and Action regarding purchase of a Remote Operated Robotic Mower for the Drainage Department.

BACKGROUND/DISCUSSION:

The 2024-25 Drainage Department Budget included budgeted funds in the amount of $75,000 for the purchase of a Remote-Operated Robotic Mower. This mower will allow the Drainage Department staff the ability to better maintain all of the floodplain areas that they have to mow. Some of these areas take weeks and sometimes months before they dry out enough to mow.

We received a bid from Kinloch Equipment utilizing their BuyBoard Contract #706-23 in the amount of $70,412.50.

FINANCIAL IMPACT:

The total financial impact will be $70,412.50.

Funds in the amount of $75,000 were budgeted for purchase of this mower in account 14-7000-00-00. The actual cost of the mower being $70,412.50 will result in a cost savings of $4,587.50.

RECOMMENDATION:

Staff recommends approval for the purchase of the Remote-Operated Robotic Mower from Kinloch Equipment in the amount of $70,412.50.

Kinloch
Equipment & Supply, Inc.

www.kinlochequip.com
Ph. 713-473-6213 Fax: 713-473-7858
By: Trenton Crump Cell: 817-880-3209
Email: trenton.crump@kinlochequip.com

3320 Pasadena Blvd, Pasadena, TX 77503

R-60
City of Saginaw

RC MOWERS

QUOTATION

R-60 **10/1/2024**

Tracked 60" Rotary Mower, 38.5hp Kawasaki EFI Engine, 50° Max Slope

REMOTE-OPERATED ROBOTIC MOWER	PRICE	Qty	Extended
R-60	66950.00	1	$ 66,950.00

OPTIONS FOR CONSIDERATION

Light Kit Installed	747.50	1	$ 747.50
4500 LB Winch Kit Installed	1115.00	1	$ 1,115.00

FREIGHT	1600.00	1	$ 1,600.00

SUBTOTAL	$	70,412.50
8.25% SALES TAX		
TOTAL	**$**	**70,412.50**

14-7000-00-00

Matt Regan

PROPOSAL NOTES:

1. Prices quoted herein are firm until 11.1.24.
2. Prices quoted herein are from BuyBoard Contract # 706-23.
3. Payment terms are net due upon delivery.

City of Saginaw

City Council Memorandum

Prepared By: Kim Quin

E. Action Regarding the Softball Complex Fence Repairs--Randy Newsom, Director of Public Works

Meeting	Agenda Group
Tuesday, October 15, 2024, 6:00 PM	Consent Agenda Item: 2E.
Reference File	
Community Goals	

BACKGROUND/DISCUSSION:

The 2024-25 Parks Department Budget included budgeted funds in the amount of $54,000 for the repair work to the Softball Complex fence. Included in the repair work was the addition of wind slats added to the outfield fence.

We received a bid from Ware Fencing utilizing their TIPS Contract #23010402 in the amount of $53,474.00.

FINANCIAL IMPACT:

The total financial impact will be $53,475.00.

Funds in the amount of $54,000 were budgeted for fence repair work in account# 01-7000-07-00. Staff recommends using the balance ($37,928.33) of the American Rescue Plan Act for partial funding for this project resulting in a savings to the General Fund.

RECOMMENDATION:

Staff recommends approval for the fence repair work to be awarded to Ware Fencing in the amount of $53,475.00.

Attachments

Softball Complex Fence Repairs Memo.pdf

Consideration and Action regarding the repairs to the Softball Complex fence.

BACKGROUND/DISCUSSION:

The 2024-25 Parks Department Budget included budgeted funds in the amount of $54,000 for the repair work to the Softball Complex fence. Included in the repair work was the addition of wind slats added to the outfield fence.

We received a bid from Ware Fencing utilizing their TIPS Contract #23010402 in the amount of $53,474.00.

FINANCIAL IMPACT:

The total financial impact will be $53,475.00.

Funds in the amount of $54,000 were budgeted for fence repair work in account # 01-7000-07-00. The actual cost of the repair work is $53,475.00 and will result in a cost savings of $525.00.

RECOMMENDATION:

Staff recommends approval for the fence repair work to be awarded to Ware Fencing in the amount of $53,475.00.

ESTIMATE

Ware Fencing, LLC
P.O. Box 1171
Crowley, TX 76036
(817) 948-4503

WAREFENCING

Randy Newsom
400 S. Saginaw Blvd.,
TIPS CONTRACT 23010402
Saginaw, TX 76179

Estimate #	6059
Date	10/7/2024

Item	Description	Qty	Amount
Services.	WILLOW CREEK SOFRBALL FIELD	1.00	$0.00
Services.	CONCRETE 12"X12" FOOTER This footer will go under the backstop fence. Footer will have #3 steel added for strength. This footer will be strong enough to add a block wall on later.	1.00	$2,200.00
Services.	2-13X25 CONCRETE PADS FOR SPECTATOR SEATING Pads will be approximately 13ft x 25ft and will be 4" thick. Concrete will have #3 steel rebar on 18" centers. Concrete will have a 2% slope away from the field so water will drain away from the field. Concrete will have a broom finish.	1.00	$11,400.00
Services.	APPROXIMATELY 200 FT OF 4FT FENCING We will remove approximately 200 feet of existing 4ft tall chain link fence. We will install new fence using 2 3/8" posts with 1 5/8" top rail. New chain link will be 4ft tall 9ga galvanized. We will use steel ties to attach fabric to posts.	200.00	$6,400.00
Services.	APPROXIMATELY 200 FT OF 6FT FENCING We will remove approximately 200 feet of existing 6ft tall chain link fence. We will install new fence using the existing 2 3/8" posts with new 1 5/8" top rail. New chain link will be 6ft tall 9ga galvanized. We will use steel ties to attach fabric to posts. This fence will have a new bottom rail added.	200.00	$8,400.00
Services.	APPROXIMATELY 70 FT OF 12FT FENCING We will remove approximately 70 feet of existing 12ft tall chain link fence. We will install new fence using the existing posts. New chain link will be 12ft tall 9ga galvanized. We will use steel ties to attach fabric to posts. This fence will have a new bottom rail added where needed.	70.00	$4,550.00

Item	Description	Qty	Amount
Services.	OUTFIELD FENCE- GREEN PRIVACY SLATS We will supply and install new green privacy slats. Slats will fill all the 10ft tall outfield fence and will go across to the lower fence sections going from right field to left. Slats will go to the top of the fence with an approximate 12" gap along the bottom. This will include materials and labor.	625.00	$18,125.00
Services.	10FT TALL CHAIN LINK FENCE BLOCKING RESTROOM We will remove the chain link from the area blocking the restrooms and haul it off. We will use the same posts and add new 8ft tall chain link fence with green privacy slats.	1.00	$2,400.00

Please send PO's to traci@warefencing.com. PO's must be received prior to start of job.

THE ABOVE DESCRIBES WHAT WORK WILL BE DONE. IF IT IS NOT IN THE CONTRACT, IT IS NOT BEING INSTALLED. PLEASE ASK IF YOU HAVE QUESTIONS.

Billing for the estimate may be structured in increments based on the nature of the job.

Credit/Debit cards will incur a 4% fee.

Sub Total	$53,475.00
Total	$53,475.00

Prior to the start of the job you agree to contact Texas811 for a dig test. www.texas811.org Any charges incurred by not completing a dig test will be customers responsibility. Anything underground must be properly marked and is the responsibility of the contract owner to do so. Access to water and electricity will be required.

Additional costs will be incurred for rock encountered during dig. Payment is due NET 30.

PLEASE NOTE CHANGES MADE WHILE JOB IS BEING INSTALLED WILL CHANGE THIS ESTIMATE. IF THE ESTIMATED FOOTAGE CHANGES THE FINAL INVOICE WILL CHANGE.

Estimates are valid for 7 days from Date sent

Please contact us at 817-948-4503 with any questions. Thank you for your business!

SPECIAL INSTRUCTIONS

City of Saginaw

City Council Memorandum

Prepared By: Janice England

F. Action Regarding the Purchase of a New Gymnasium Floor for the Recreation Center--Keith Rinehart, Director of Community & Economic Development

Meeting	Agenda Group
Tuesday, October 15, 2024, 6:00 PM	Consent Agenda Item: 2F.
Reference File	
Community Goals	

BACKGROUND/DISCUSSION:

The Recreation Center is over 20 years old, and the gym floor is used 7 days per week. The existing gym floor needs to be replaced. The tiles are warping, and the "dead spots" have made adding the addition of three (3) indoor Pickleball Courts impossible. The floor's surface is not smooth. A durable floor designed for multipurpose use from Pickleball, Volleyball, Basketball, and Rentals will optimize the use and revenue of our gym while serving the needs of our residents.

FINANCIAL IMPACT:

This item was budgeted for and approved by the City Council as a Special Request in the Fiscal Year 24-25 budget. The Buy Board bid of $107,454 from the GFC Floor Company is less than budgeted.

RECOMMENDATION:

N/A

Attachments

101524 Gym Floor.pdf

City of Saginaw

COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT

333 W. McLeroy Blvd., Saginaw, Texas 76179

Council Agenda Background

To: Gabe Reaume, City Manager

From: Keith C. Rinehart, Director of Community & Economic Development

Date: City Council Meeting – October 15, 2024

ITEM:

Consideration and Action Regarding the Purchase of a New Gymnasium Floor for the Recreation Center

PRESENTER:

Keith C. Rinehart, Director of Community & Economic Development

DISCUSSION:

The Recreation Center is over 20 years old, and the gym floor is used 7 days per week. The existing gym floor needs to be replaced. The tiles are warping, and the "dead spots" have made adding the addition of three (3) indoor Pickleball Courts impossible. The floor's surface is not smooth. A durable floor designed for multipurpose use from Pickleball, Volleyball, Basketball, and Rentals will optimize the use and revenue of our gym while serving the needs of our residents.

FINANCIAL IMPACT:

This item was budgeted for and approved by the City Council as a Special Request in the Fiscal Year 24-25 budget. The Buy Board bid of $107,454 from the GFC Floor Company is less than budgeted.

RECOMMENDATION

NA

ATTACHMENTS:

- Buy Board Quote from GFC Flooring for Gymnasium Flooring (Available Upon Request)

If you have any questions, please contact me at 817-230-0331.
Thank you, Keith C. Rinehart, Director of Community & Economic Development

City of Saginaw

City Council Memorandum

Prepared By: Janice England

G. Action Regarding the Purchase of a Storage Building to Provide Equipment Storage for the Recreation Center--Keith Rinehart, Director of Community & Economic Development

Meeting	Agenda Group
Tuesday, October 15, 2024, 6:00 PM	Consent Agenda Item: 2G.
Reference File	
Community Goals	

BACKGROUND/DISCUSSION:

The Recreation Center is over 20 years old, and we've outgrown it. Currently, the Senior Center operates out of our two largest rooms until their new Senior Center is constructed. We've lost space for equipment storage and need to meet code compliance.

FINANCIAL IMPACT:

This item was budgeted for and approved by the City Council as a Special Request in the Fiscal Year 24-25 budget. The financial impact will be a total of $9,362, which includes the cost of the building (Tuff Shed - $8,362) and the cost of pouring a 10x16 concrete pad (in-house - $1,000). This cost is less than that which was budgeted.

RECOMMENDATION:

N/A

Attachments

101524 Storage Bldg.pdf

City of Saginaw

COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT

333 W. McLeroy Blvd., Saginaw, Texas 76179

Council Agenda Background

To: Gabe Reaume, City Manager

From: Keith C. Rinehart, Director of Community & Economic Development

Date: City Council Meeting – October 15, 2024

ITEM:

Consideration and Action Regarding the Purchase of a Storage Building to Provide Equipment Storage for the Recreation Center

PRESENTER:

Keith C. Rinehart, Director of Community & Economic Development

DISCUSSION:

The Recreation Center is over 20 years old, and we've outgrown it. Currently, the Senior Center operates out of our two largest rooms until their new Senior Center is constructed. We've lost space for equipment storage and need to meet code compliance.

FINANCIAL IMPACT:

This item was budgeted for and approved by the City Council as a Special Request in the Fiscal Year 24-25 budget. The financial impact will be a total of $9,362, which includes the cost of the building (Tuff Shed - $8,362) and the cost of pouring a 10x16 concrete pad (in-house - $1,000). This cost is less than that which was budgeted.

RECOMMENDATION

NA

ATTACHMENTS:

- Quote for Building (Available Upon Request)
- Quote for Concrete Pad (Available Upon Request)

If you have any questions, please get in touch with me at 817-230-0331.

Thank you, Keith C. Rinehart, Director of Community & Economic Development

City of Saginaw

City Council Memorandum

Prepared By: Janice England

B. Community Presentation--Family, Career and Community Leaders of America (FCCLA)--Maggie Henderson, Region II Vice President of Texas State Association of FCCLA

Meeting	Agenda Group
Tuesday, October 15, 2024, 6:00 PM	Proclamations-Presentations Item: 3B.
Reference File	
Community Goals	

BACKGROUND/DISCUSSION:

Maggie Henderson, a student at Boswell High School, will give a brief presentation. She is the Region II Vice President of the Texas State Association of Family, Career and Community Leaders of American (FCCLA). Her presentation is a requirement of the duties of the office she holds.

FINANCIAL IMPACT:

N/A

RECOMMENDATION:

N/A

City of Saginaw

City Council Memorandum

Prepared By: Janice England

D. Presentation Regarding the Remodeling of the John Ed Keeter Library--Jarred Coursey, Asst. Public Works Director

Meeting	Agenda Group
Tuesday, October 15, 2024, 6:00 PM	Proclamations-Presentations Item: 3D.
Reference File	
Community Goals	

BACKGROUND/DISCUSSION:

Asst. Public Works Director Coursey will give an update on the progress of the design concept for the John Ed Keeter Building remodel.

FINANCIAL IMPACT:

N/A

RECOMMENDATION:

N/A

Attachments

Presentation of John Ed Keeter Remodel Design and Cost Estimate for Construction.pdf
Design and Construction Cost Estimate Update John Ed Keeter Building.pdf
KEETER RENOVATION_ADDITION SCHEMATIC DESIGN.pdf
Saginaw Library Keeter Bldg Reno Concept v2.00.pdf
Saginaw City Hall Annex Exterior Options and Interior Perspectives_2024.10.15.pdf

Presentation of John Ed Keeter Remodel Design and Cost Estimate for Construction

This presentation is to update City Council on the progress of the design concept for the John Ed Keeter Building remodel. The design process is closing in on being 50% completed. PGAL has projected a 100% completion of the design process in mid-December. The design costs are being funded through ARPA funds which was approved by City Council.

Design

The building is being designed to efficiently allow 23-26 employees to have a work space. There are a total of 21 offices being built (some offices will have multiple shared work spaces). There will be a large conference room to hold various types of meetings, front lobby for citizens and guests, employee breakroom, copier/mailroom work station, 2 bathrooms for citizens and guests, 2 bathrooms for employees, 9 storage rooms, and a connection hallway between the Keeter building and City Hall which will not only be a walkway for employees, it will also house 4 of the 9 storage rooms.

Construction Cost Estimate

This is just estimates for the construction and it is not under contract. Staff is currently going over each line item to see where savings can occur, an example of this would be the furniture expense, the majority of the employees already have reliable and quality office furniture and computers to plug into their new work spaces which will dramatically bring this expense estimate down. Staff will have a more accurate estimate of construction costs at the 100% design completion point. Staff is recommending to use the Construction Management at Risk (CMAR) process which is what Saginaw used for the new Library project.

Must Haves: New HVAC system, Fire Protection (Library and City Hall), and new roof (not a part of the cost estimate).

Alternative Exterior Designs

PGAL added some alternative exterior designs, they are not apart of the cost estimate nor do they have an estimate of what that would cost. These are for strictly to showcase what could be done to the exterior.

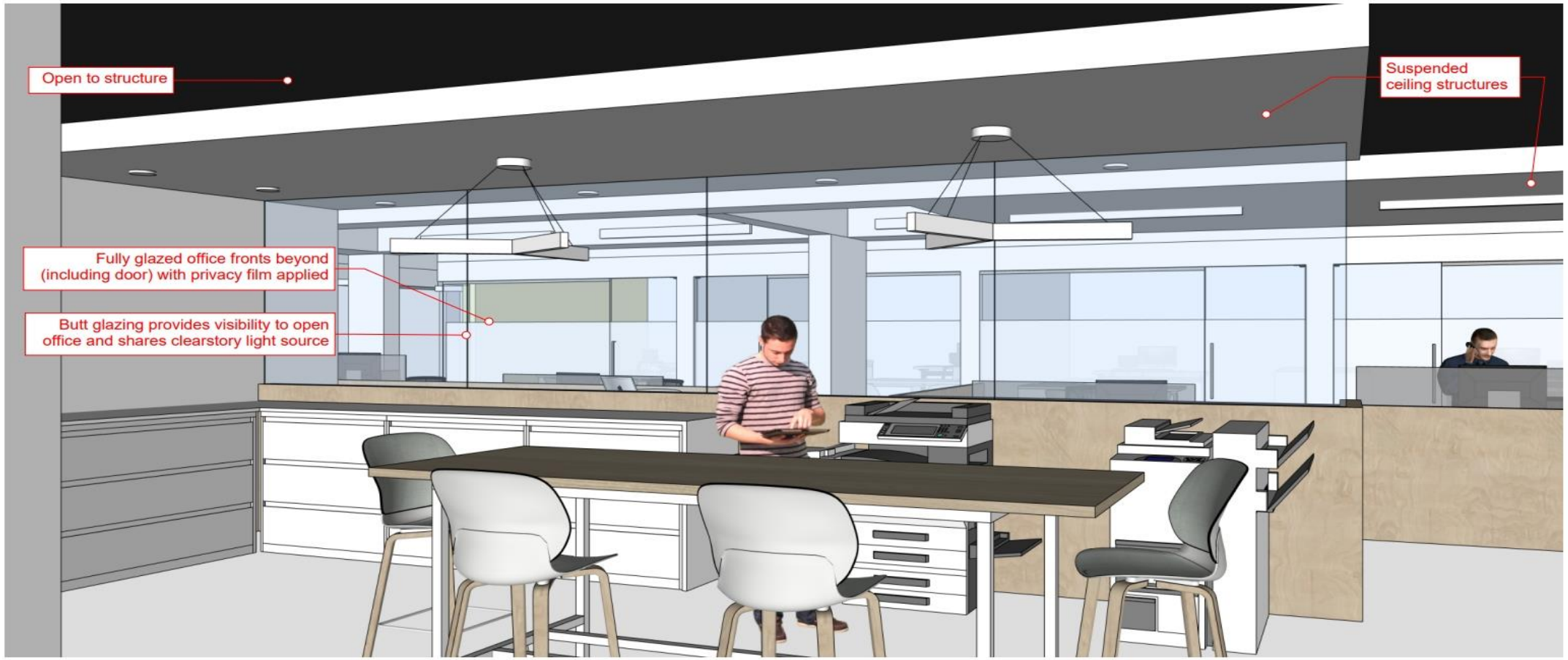
CONCEPTUAL DESIGN AND CONSTRUCTION COST ESTIMATE UPDATE FOR JOHN ED KEETER BUILDING

CITY OF SAGINAW


FIRE RISER
PUBLIC WORKS CONF.
CONF. STORAGE
VESTIBULE
WOMEN'S RESTROOM
ELECTRICAL
MEN'S RESTROOM
JAN. CLOSET
STORAGE
MDF
F. DESK MARIA
F. DESK SALVADOR
LOBBY
PRIVATE BREAKROOM
MEN'S RR
CORRIDOR
SERVE FROM SPLIT SYSTEM
ECONMIC DEV. (POD) DEPT. DIRECTOR
OPEN OFFICE
ASST. DIRECTOR
P.W. (POD) PLANNING MANAGER
P.W. (POD) ENV. MANAGER
CORRIDOR
VESTIBULE
STORAGE
STORAGE
STORAGE
STORAGE
WOMEN'S RR
PUBLIC WORKS (POD) DEPT. DIRECTOR
OPEN OFFICE
B.D. (POD) CODE ENF. MANAGER
P.W. (POD) CODE ENF. OFFICER
PUBLIC WORKS (POD) ENV. TECH.
CITY SECRETARY (POD)
BUILD DEPT. (POD) CHIEF BUILD OFFICIAL
C.S. SECURED STORAGE
E.D. (WS) ASSISTENT
CORRIDOR
B.D. (WS) PERMIT TECH.
P.W. (WS) INTERN/ENV. TECH
B.D. (WS) PERMIT TECH.
BUILD DEPT. CONF.
COMM. (POD) COMM. MANAGER
AV STORAGE
BUILD DEPT. CUSTOM POD
SHARED SPACE MUD ROOM
SHARED SPACE COPY/WORKROOM
TECHNOLOGY SHARED OFFICE


EXISTING CITY HALL
NEW CORRIDOR ADDITION
POWER WASH EXTERIOR MATERIALS
NEW LANDSCAPE AREA
RECONFIGURED DRIVEWAY

LOBBY | WAITING AREA

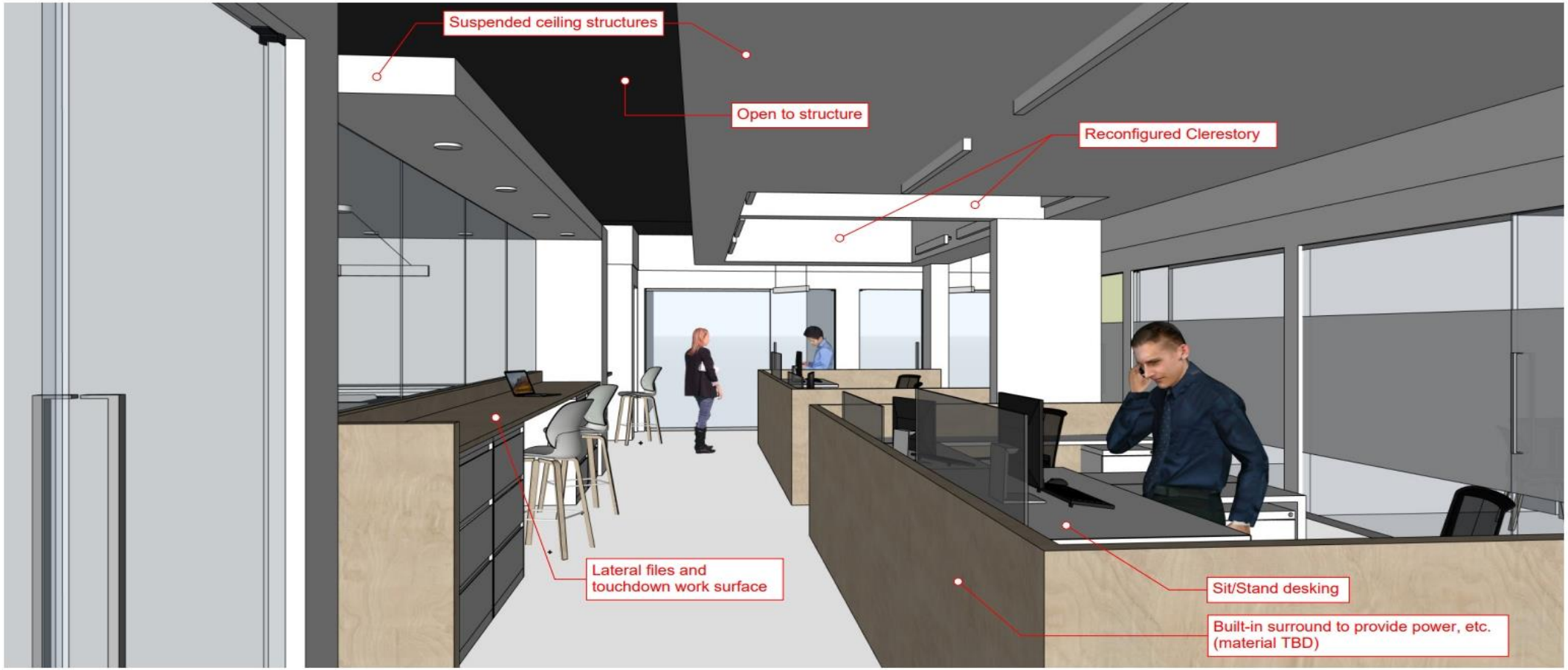


WORK ROOM

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

City of Saginaw

PGAL



City of Saginaw

OPEN OFFICE | ASSISTANTS

Estimate Report

Saginaw Keeter Bldg. Renovation

Saginaw, TX

AACEi Class 4: Concept

September 06, 2024

Version 2.00

Prepared for:

PGAL

Basis of Estimate

01 EXECUTIVE SUMMARY

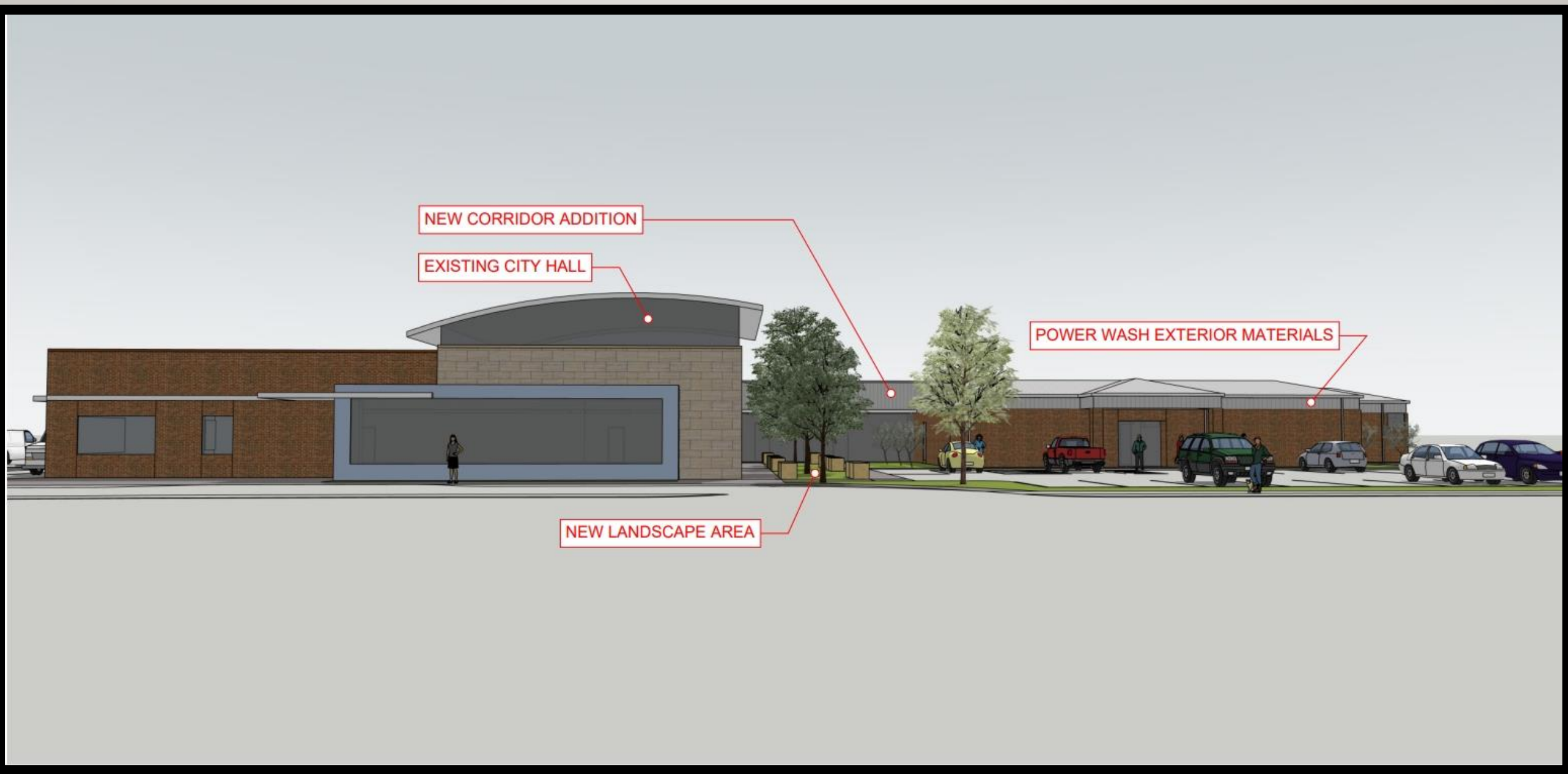
The total project cost for the scope of this project:

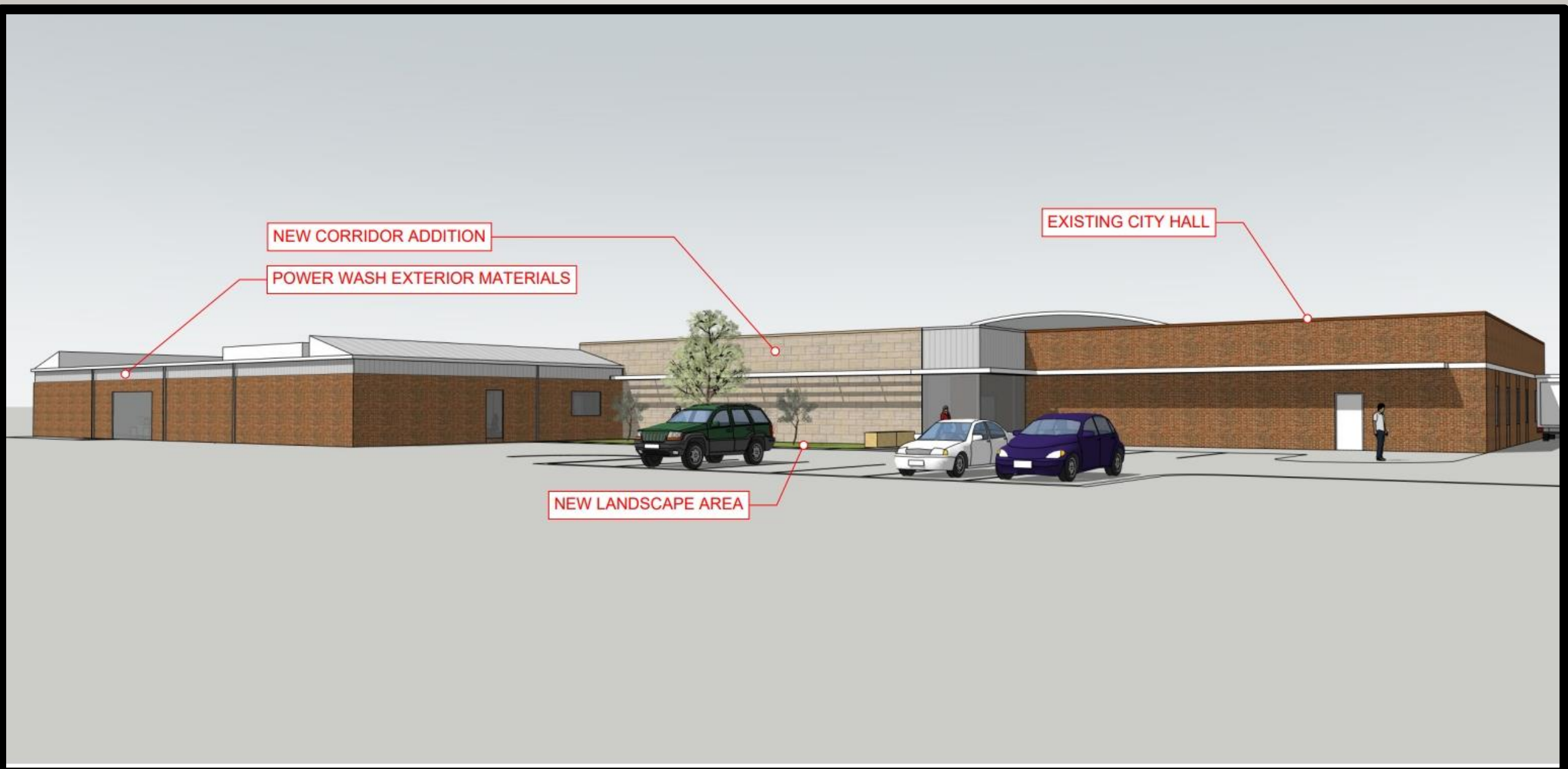
SUBTOTAL DIRECT COST (COST OF WORK)	$	3,640,248
DESIGN EVOLUTION	$	728,050
SUBTOTAL GMP (No Fee)	**$**	**4,368,297**
CMAR FEE	$	218,415
ESTIMATED CONSTRUCTION COST (ECC) W/FEE	**$**	**4,586,712**
CONSTRUCTION CONTINGENCY	$	458,671
ESTIMATED CONSTRUCTION COSTS (Final)	**$**	**5,045,383**
ESCALATION $	$	321,946
TOTAL PROJECT COSTS	**$**	**5,367,329**

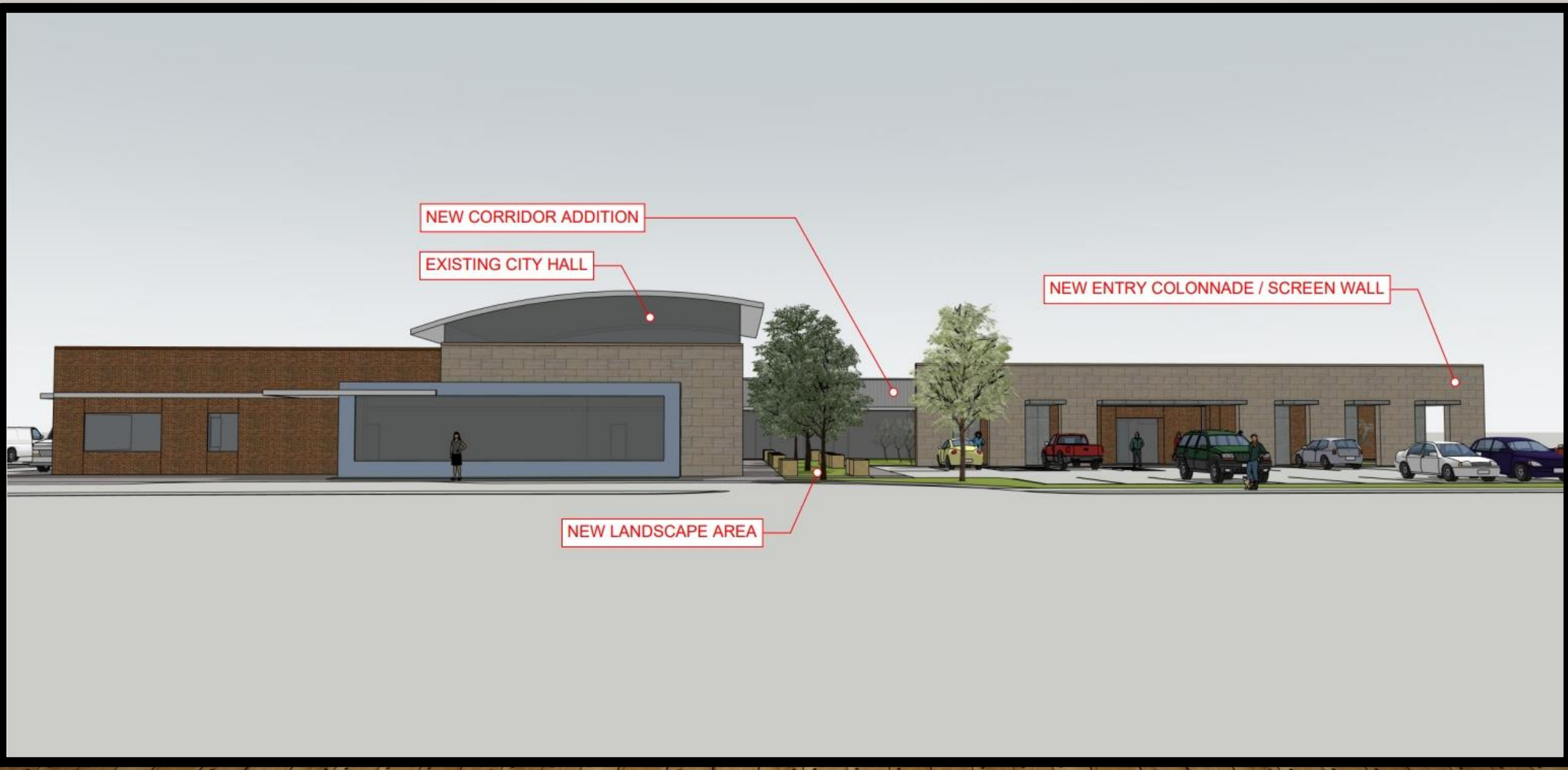
400	**FURNITURE**	**1**	**LS**	**$179,637**	**21.3%**	**23.8%**	**$269,676**	**$361,473**	
401	Corner Decks	6.00	Ea.	$22,884.66	21.3%	23.8%	$34,355.03	$46,050	$7,674.92
402	Cardenza	6.00	Ea.	$12,192.33	21.3%	23.8%	$18,303.44	$24,534	$4,088.99
403	Small Conference Tables	30.00	Ea.	$25,980.83	21.3%	23.8%	$39,003.08	$52,280	$1,742.66
404	Large Conference Tables	2.00	Ea.	$6,032.06	21.3%	23.8%	$9,055.47	$12,138	$6,068.98
405	Office Desk	13.00	Ea.	$10,375.08	21.3%	23.8%	$15,575.33	$20,877	$1,605.94
406	Tall Storage Cabinet	33.00	Ea.	$60,986.74	21.3%	23.8%	$91,554.83	$122,720	$3,718.79
407	Breakroom Tables	4.00	Ea.	$2,064.11	21.3%	23.8%	$3,098.70	$4,153	$1,038.37
408	Breakroom Chair	8.00	Ea.	$1,608.22	21.3%	23.8%	$2,414.30	$3,236	$404.52
409	Task Chair	110.00	Ea.	$37,513.05	21.3%	23.8%	$56,315.53	$75,485	$686.23
410	**EQUIPMENT**	**1**	**LS**	**$25,000**	**21.3%**	**23.8%**	**$37,531**	**$50,306**	
411	Copy Machine	2.00	Ea.	$9,500.00	21.3%	23.8%	$14,261.64	$19,116	$9,558.15
412	Refrigerator	1.00	Ea.	$2,000.00	21.3%	23.8%	$3,002.45	$4,024	
413	Dish Washer	1.00	Ea.	$1,500.00	21.3%	23.8%	$2,251.84	$3,018	
414	Secured Storage - Allowance	1.00	Ea.	$12,000.00	21.3%	23.8%	$18,014.70	$24,147	

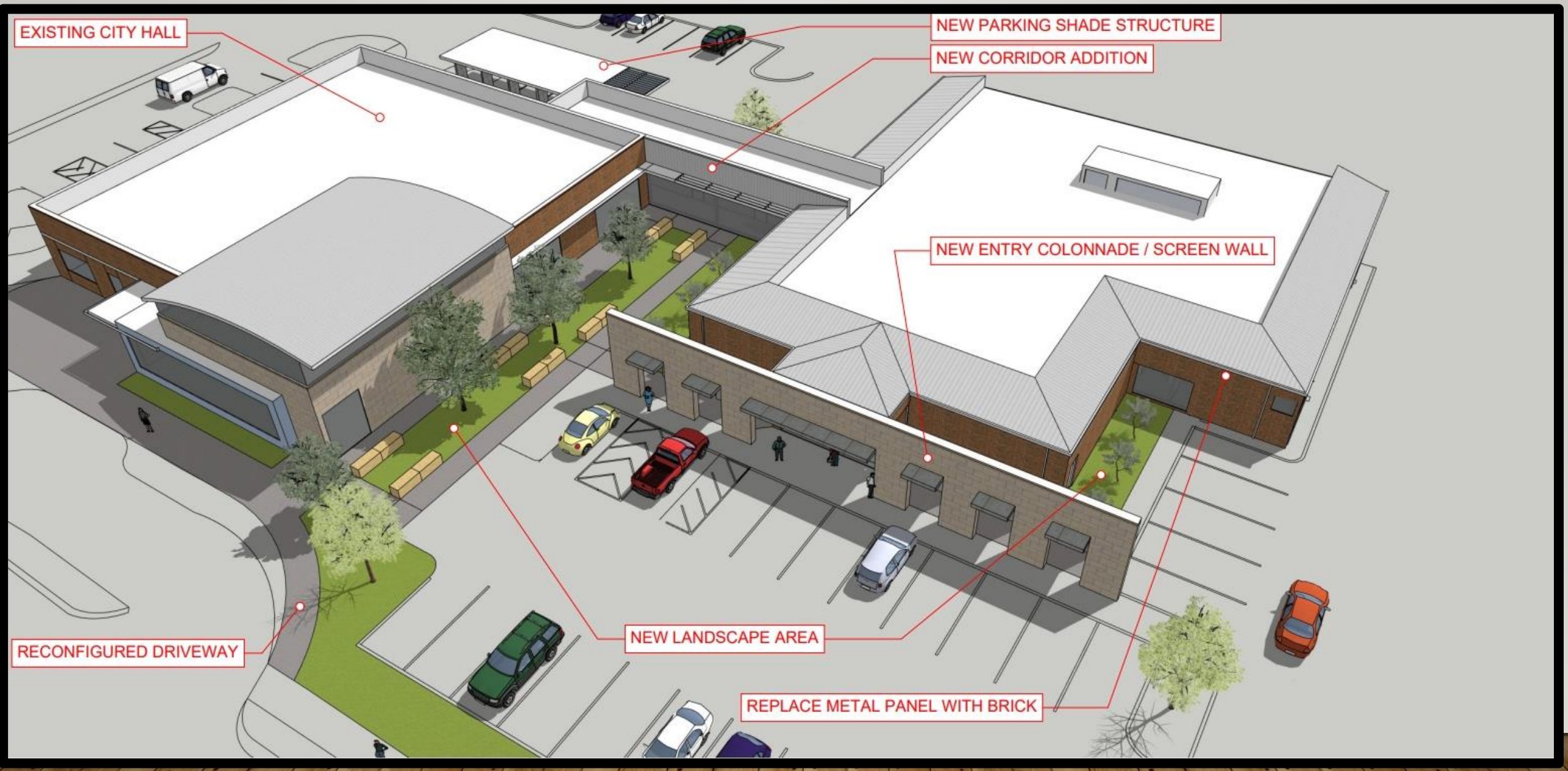
ALTERNATIVE EXTERIOR OPTIONS

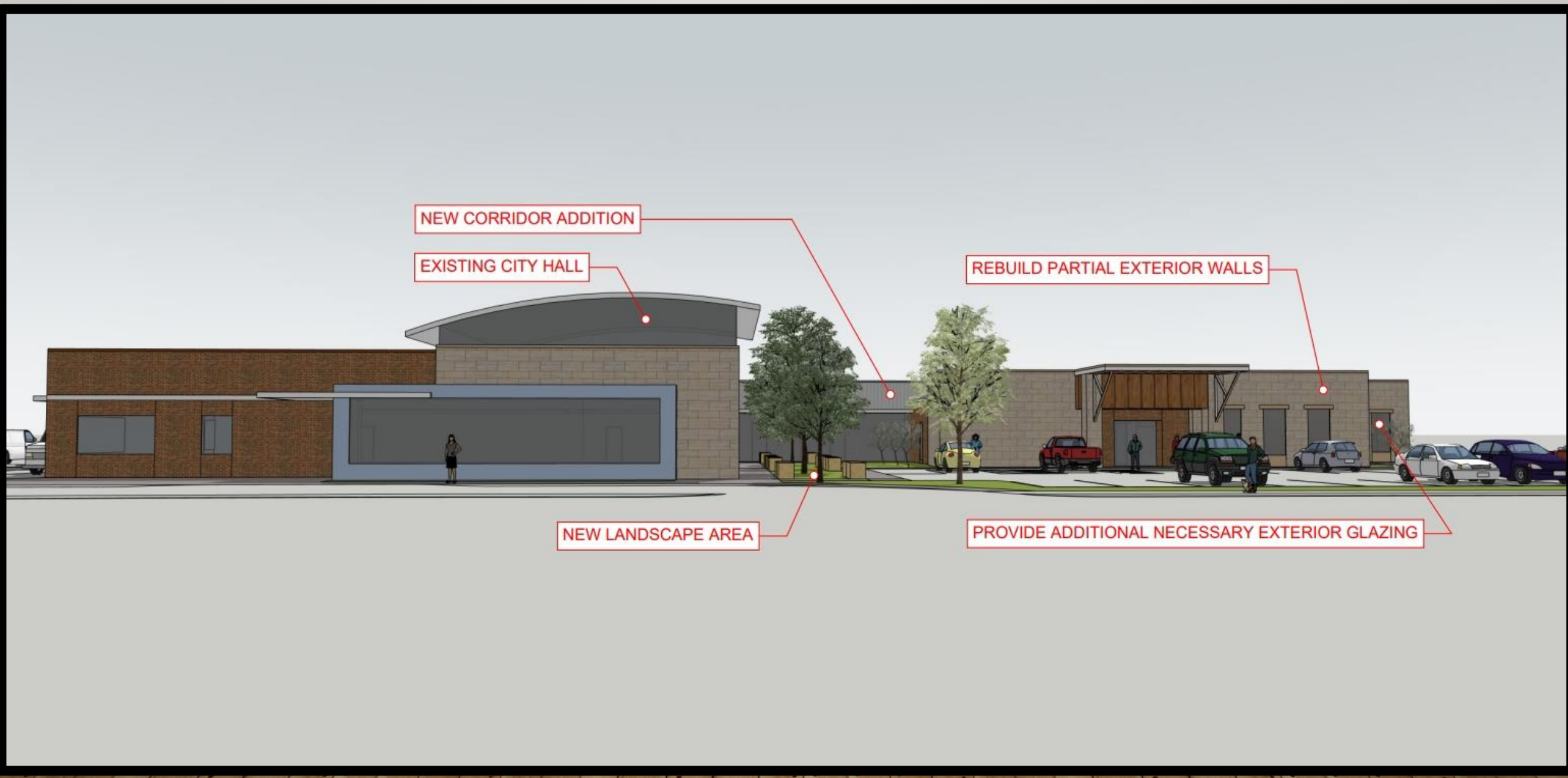
CITY OF SAGINAW

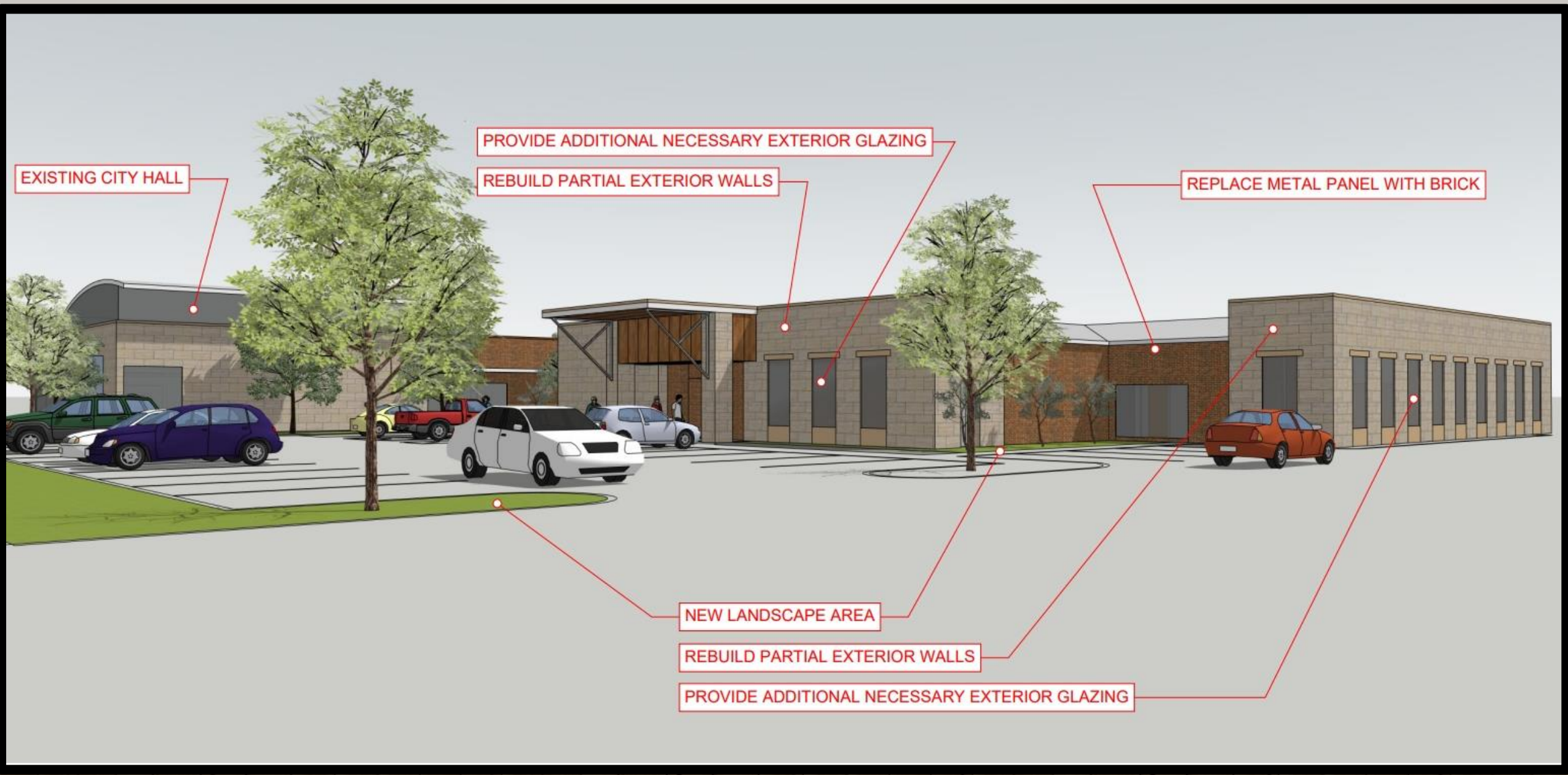

NEW CORRIDOR ADDITION
EXISTING CITY HALL
POWER WASH EXTERIOR MATERIALS
NEW LANDSCAPE AREA


NEW CORRIDOR ADDITION
POWER WASH EXTERIOR MATERIALS
EXISTING CITY HALL
NEW LANDSCAPE AREA


NEW CORRIDOR ADDITION
EXISTING CITY HALL
NEW ENTRY COLONNADE / SCREEN WALL
NEW LANDSCAPE AREA


EXISTING CITY HALL
NEW PARKING SHADE STRUCTURE
NEW CORRIDOR ADDITION
NEW ENTRY COLONNADE / SCREEN WALL
RECONFIGURED DRIVEWAY
NEW LANDSCAPE AREA
REPLACE METAL PANEL WITH BRICK


NEW CORRIDOR ADDITION
EXISTING CITY HALL
REBUILD PARTIAL EXTERIOR WALLS
NEW LANDSCAPE AREA
PROVIDE ADDITIONAL NECESSARY EXTERIOR GLAZING


EXISTING CITY HALL
PROVIDE ADDITIONAL NECESSARY EXTERIOR GLAZING
REBUILD PARTIAL EXTERIOR WALLS
REPLACE METAL PANEL WITH BRICK
NEW LANDSCAPE AREA
REBUILD PARTIAL EXTERIOR WALLS
PROVIDE ADDITIONAL NECESSARY EXTERIOR GLAZING

QUESTIONS

SAGINAW KEETER BUILDING RENOVATION

355 W McLeroy Blvd.
Saginaw,TX 76179

Project State Registration #: TBD

SHEET INDEX

ARCHITECT

PGAL, INC.
14135 Midway Road
Suite G-200
Addison, TX 75001
T) 972.871.2225

MEP

MEPCE
7500 Glenview Drive
Suite A
Fort Worth, TX 76118
T) 972.870.9060

CIVIL

TNP
5237 N Riverside Dr.
Suite #100
Fort Worth, TX 76137
T) 817.336.5773

I.T.

MEPCE
7500 Glenview Drive
Suite A
Fort Worth, TX 76118
T) 972.870.9060

STRUCTURAL

JQ
3107 W. 7th St.
Suite 400
Fort Worth, TX 76107
T) 817.546.7200

COST EST.

APR
4425 W Airport Fwy
Suite 110
Irving, TX 75062
T) 972.784.1277

08/23/2024

SCHEMATIC DESIGN

FILE NAME: Autodesk Docs://1006633.02 - City of Saginaw Library Keeter Building Reno/ARCH-SPL-KeeterReno.rvt
DATE STAMP: 9/9/2024 5:47:24 PM

PGAL

ARCHITECTURE
ENGINEERING
INTERIORS
PLANNING

ALEXANDRIA
ATLANTA
AUSTIN
BOCA RATON
CHICAGO
DALLAS
DENVER
HOBOKEN
HOUSTON
LAS VEGAS
LOS ANGELES
SALT LAKE CITY
SAN DIEGO

REGISTRATION

INTERIM REVIEW
THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF MICHAEL LLOYD, ARCHITECT TEXAS REG. NO. 18250 NOT FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.

DRAWING HISTORY

№	DATE	DESCRIPTION
A	2024/08/23	SCHEMATIC DESIGN

PROJECT NUMBER
1006633.02

SHEET TITLE
COVER SHEET & SHEET INDEX

SHEET NUMBER
G0.00

PROJECT GRAPHIC STANDARDS

PROJECT SYMBOLS

PLAN NORTH
PLAN NORTH
NORTH ARROW

PLAN NORTH
ALTERNATE:
TRUE NORTH
NORTH ARROW

78.0
EXISTING
POINT ELEVATION

79.0
NEW OR FINISH
POINT ELEVATION

LEVEL POINT
DATUM POINT

100
PARTITION TYPE
(RE: PARTITION SCHEDULE)

LEVEL
02123
DOOR NUMBER
(RE: DOOR SCHEDULE)

ROOM
ROOM NAME
02132
(RE: ROOM FINISH SCHEDULE)
ROOM NUMBER
LEVEL
? ALTERNATE:
SECTOR/AREA

?
CEILING TYPE
? A.F.F.
CEILING HEIGHT
(RE: ROOM FINISH SCHEDULE)

EXIT SIGN
DIRECTION SYMBOL

MATCHLINE
SEE ? / ?
MATCHLINE
VIEW REFERENCE

CP1
CURTAIN PANEL TAG

W1
WINDOW TAG

L1
LOUVER TAG

ABC-1
SPECIALTY EQUIPMENT TAG

ABC-1
FURNITURE TAG

2
REVISION TAG

A3\0
SHEET KEYNOTE

FINISH KEYNOTES:
P1
FLOOR MATERIALS/FINISHES

GT1
GLAZING MATERIAL/FINISH

PT-1
WALL MATERIALS/FINISHES

012233.A1
MasterSpec KEYNOTE

012233.A1
DESCRIPTION
MasterSpec KEYNOTE w DESCRIPTION

PROJECT SYMBOLS

1
A
COLUMN LINE
REFERENCE

1
A
EXISTING/NEW COLUMN LINE
REFERENCE

1D
A101/01
SIM
DETAIL NUMBER
REFERENCE
LARGE CALLOUT
REFERENCE
SHEET NUMBER

1D
A7/01
SIM
DETAIL NUMBER
REFERENCE
SMALL CALLOUT
REFERENCE
SHEET NUMBER

ALTERNATES:
1D
A7/01
SIM
?/?
EXTERIOR
ELEVATION NUMBER
SHEET NUMBER
REFERENCE

17 A101
SIM

ALTERNATES:
INTERIOR
1D SIM
A101
1 / 3A101
1D
A8/101
ELEVATION NUMBER
17 A101
SIM
SHEET NUMBER
REFERENCE

1D
A7/01
SIM
REFERENCE
BUILDING SECTION
REFERENCE

ALTERNATE:
1D
A7/01
1D
A7/01
SIM
REFERENCE
BUILDING SECTION
REFERENCE

C
CENTER LINE, & SYMBOL

ABOVE LINE

BEYOND LINE

BREAK LINE

P1
P1
FLOOR FINISH
TRANSITION

ALTERNATE:
B1
3D
?
3A
?
2B
?
??
CASEWORK TYPE
SIZE (WxH)

0 4'-0" 8'-0" 16'-0"
SCALE

CONSTRUCTION TYPE SYMBOLS

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW NON-RATED CONSTRUCTION
- NEW SMOKE RATED CONSTRUCTION (30 MIN)
- NEW 1 HR. RATED CONSTRUCTION
- NEW 2 HR. RATED CONSTRUCTION
- NEW 3 HR. RATED CONSTRUCTION

MATERIAL SYMBOLS - PLAN

- BRICK
- CONCRETE MASONRY UNIT
- CONCRETE
- CAST-IN-PLACE CONCRETE
- PRECAST CONCRETE
- STONE
- GRAVEL
- COMPACTED EARTH FILL
- SAND

MATERIAL SYMBOLS - DETAIL

- STEEL
- OTHER METALS
- BATT INSULATION
- RIGID INSULATION
- GYPSUM BOARD
- PLASTER ON LATHE
- PLYWOOD
- MDF BOARD
- FINISHED WOOD
- GLASS
- TILE
- CARPET
- ACOUSTICAL TILE
- CONTINUOUS WOOD BLOCKING
- WOOD SHIM
- GRAVEL
- CONCRETE
- SAND

RCP REFERENCE SYMBOLS

- RECESSED DOWNLIGHT
- WATERPROOF RECESSED DOWNLIGHT
- PENDANT LIGHT
- SURFACE MOUNTED CEILING LIGHT FIXTURE
- JUNCTION BOX
- WALL SCONCE
- WALL MOUNTED LIGHT
- SURFACE MOUNTED FLUORESCENT LIGHT
- UNDER CABINET LIGHT
- TRACK LIGHT
- CABLE TRACK LIGHT
- SUPPLY AIR GRILLE
- RETURN AIR GRILLE
- EXHAUST AIR GRILLE
- WALL EXHAUST GRILLE
- WALL SUPPLY GRILLE
- ELECTRICAL PANEL
- CONTINUOUS AIR SUPPLY & RETURN SLOT
- SPRINKLER HEAD
- SD — SMOKE DETECTOR
- S — ALARM SPEAKER
- EXIT LIGHT
- WALL WASHERS
- ACCESS PANEL
- EXIT SIGNAGE WITH DIRECTION ARROW TO EXIT DOOR

RCP REFERENCE SYMBOLS - MECH

- BLDG. STND. SPRINKLER HEAD
- BLDG. STND. SLOT DIFFUSER
- BLDG. STND. LAY-IN SUPPLY AIR GRILLE
- BLDG. STND. LAY-IN RETURN AIR GRILLE
- EF — EXHAUST FAN

*REFER TO MEP DRAWINGS FOR ADDITIONAL INFO.

RCP REFERENCE SYMBOLS - LIGHTING

- EXISTING LIGHT FIXTURE TO REMAIN
- 2' x 4' FLUORESCENT LIGHT FIXTURE BUILDING STANDARD, UNO.
- 2' x 2' FLUORESCENT LIGHT FIXTURE BUILDING STANDARD, UNO
- RECESSED DOWNLIGHT
- RECESSED WALL WASHER
- WALL MOUNTED SCONCE RE: ELEVATIONS FOR MOUNTING HEIGHT
- EXIT SIGN FIXTURE BUILDING STANDARD, UNO
- FLUORESCENT STRIP LIGHT
- TRACK WITH LIGHT FIXTURE
- 1' x 4' OR 1' x 8' PENDANT FIXTURE
- CEILING MOUNTED PROJECTOR
- T-BAR SUSPENDED CEILING GRID SYSTEM RE: SHEET A2.1.2 FOR ADDITIONAL INFORMATION.

GENERAL PROJECT NOTES

NO.	DESCRIPTION
1.	The Construction Documents are to include AIA document A201"General Conditions of the Contract for Construction". The City of Saginaw shall be designated as "The Owner", PGAL Architects shall be designated as "The Architect". The AIA document shall also include the Agreement, Performance and Payment Bonds, General Conditions, Supplementary Conditions, the Specifications, the Drawings Addendum, and Contract Modifications, Building Rules and Regulations & any other documents required by the Owner.
2.	The General Contractor shall be both licensed and bonded in Texas and shall provide documents upon request.
3.	The Work shall be done in accordance with the rules and regulations of all applicable safety and building codes, and as approved by the Authority Having Jurisdiction. The General Contractor is responsible for securing and paying for all permits required for the Work and for the scheduling of all required inspections during the course of the Work.
4.	The General Contractor shall review and verify existing conditions as provided in the Construction Documents. The Contractor shall notify the Architect of all discrepancies, errors, inconsistencies or ambiguities prior to proceeding with the Work.
5.	The General Contractor shall be responsible for, and provide protection of, any existing finishes, materials, and equipment to remain. The General Contractor shall repair or replace any damaged finishes, materials, and equipment as a result of the work. All existing finishes to remain shall be cleaned at the completion of construction. The General Contractor shall photograph and document all existing damages, and provide to the Architect, prior to proceeding with the Work.
6.	All materials and systems shall be installed per manufacturer's specifications. All construction shall be of industry standard or better. The Architect shall be final judge of quality.
7.	Only new materials and equipment of recent manufacture, of standard quality and free from defects, will be permitted in the Work, unless otherwise noted. Rejected materials and equipment shall be removed immediately from the Work and replaced with materials and equipment of the quality specified. Failure to remove rejected materials and equipment shall not relieve the General Contractor from the responsibility for quality of material and equipment used nor from any other obligation imposed by the Contract.
8.	Do not scale drawings. Stated & written dimensions govern. The General Contractor shall verify all dimensions in the field and shall be responsible for their accuracy. No extra charge or compensation shall be allowed because of difference between actual dimensions and those indicated on the drawings, unless they contribute to a change in the scope of the Work. Any difference found shall be submitted to the Architect for coordination prior to ordering, manufacturing, or proceeding with the Work. Horizontal dimensions indicated are to/from face of finish, unless noted otherwise. Vertical dimensions are from top of floor slab except where noted to be above finished floor (AFF). Dimensions are not adjustable without approval of Architect unless noted +/-.
9.	In the event of conflict between data shown on drawings and data provided in the specification, the specification shall govern. Detail drawings take precedent over drawings of larger scope. The Contractor shall provide written notification to the Architect of any discrepancies, prior to proceeding with the Work. In case of an inconsistency between Drawings and Specifications or within either Document, not clarified by Addendum, the more specific provision shall take precedence.
10.	The General Contractor shall verify that no conflicts exist between the locations of existing and proposed new mechanical, electrical, plumbing, data, and sprinkler equipment (including but not limited to structural members, piping, duct work, conduit and sprinklers) and that clearances for installation and maintenance of equipment are provided. Elements in conflict shall be documented and provided to the Architect prior to proceeding with the Work.
11.	The General Contractor shall provide the Architect with shop drawings for review and approval, for all, but not limited to, the following: shop-fabricated millwork, carpet layout, flooring, light fixtures, doors, misc. steel, metal fabrication, glass/glazing, sprinkler layouts, hardware. Shop drawings shall be submitted in the form of 3 sets of prints. Shop drawings shall not be reproductions of Contract Documents. Material Submittals (3 samples) shall be provided for wood, fasteners, acrylic, carpet, tile, base, paint, laminate and any other materials indicated in the shop drawing.
12.	The General Contractor shall provide the Architect with manufacturer's cut sheets and specifications for all equipment including but not limited to: light fixtures, plumbing equipment, electrical equipment, fans, supplementary heating and cooling elements, all hardware and security equipment.
13.	The General Contractor shall not proceed with work for which he expects additional compensation beyond the contract amount with out written authorization from the Architect and Owner. Failure to obtain such authorization shall invalidate a claim for extra compensation. The Contractor shall not proceed with work which, if completed in strict conformance with the Construction Documents, will result in additional work beyond the scope of the Contract without written authorization from the Architect and Owner. Any field conditions that significantly vary from the Contract Documents or will result in additional work, shall be brought to the attention of the Architect prior to proceeding with work.
14.	The General Contractor shall include all x-ray and core drill costs. The General Contractor shall review and coordinate the size and location of all slab openings with all related disciplines. The General Contractor shall submit proposed locations of core drilling and slab openings to Architect and Structural Engineer of Record for review and approval prior to proceeding with the Work.
15.	Patch, repair, and install all fireproofing as required by Code. Fireproof all new penetrations as required for approval by the Authority Having Jurisdiction.
16.	Where building seismic joints are located, the General Contractor shall provide applicable Code and industry best practices for routing of all piping, ducts, conduits and other continuous runs.
17.	The General Contractor shall continuously check architectural and structural clearances for accessibility of equipment and mechanical and electrical systems. No allowances of any kind will be made for the General Contractor's negligence to foresee means of installing equipment into position.
18.	The finished work shall be firm, well-anchored, in true alignment, plumb, level, with smooth, clean, uniform, appearance without waves, distortions, holes, marks, cracks, stains, or discoloration. Jointing shall be close fitting, neat and well scribed. The finished work shall have no exposed unsightly anchors or fasteners and shall not present hazardous, unsafe corners. All work shall have the provision for expansion, contraction and shrinkage as necessary to prevent cracks, buckling, and warping due to temperature and humidity conditions.
19.	Attachments, connections or fasteners of any nature are to properly and permanently be secured in conformance with industry best practices. The drawings highlight special conditions only and by no means illustrate every connection. The Contractor is responsible for improving connection accordingly.
20.	General Contractor shall waive "Common Practice" and "Common Usage" as construction criteria wherever details and Contract Documents of governing codes, ordinances, etc. require quantity or better quality than common practice or common usage would require.
21.	The General Contractor shall submit shop drawings and submittals, and shall order and schedule delivery of materials to avoid delays in construction. If an item is found to be unavailable or to have a long lead time, the General Contractor shall notify Architect immediately with a proposed alternative.
22.	The General Contractor shall notify the Owner, the Landlord, and the Architect in writing of any deficiencies in base building work prior to the commencement of the Work. Any unreported deficiencies will become the responsibility of the General Contractor to correct.
23.	The General Contractor shall exercise industry best practices for care and caution during the construction of the Work, and shall schedule work to minimize disturbances to occupants, adjacent spaces and/or structures, property, public thoroughfares, etc. The General Contractor shall take precautions and be responsible for the safety of all building occupants during construction procedures. The General Contractor shall be responsible for any costs incurred.
24.	All debris shall be removed from the site on a daily basis, or as directed by the Authority Having Jurisdiction. Upon completion of the work, remove all debris from the building created by the work provided under this Contract and leave all areas clean. Trash is not permitted to be burned on site.
25.	All abandoned and miscellaneous nails, hangers, staples, wires, conduits and debris shall be removed from exposed areas of the floors, walls, and ceilings. Remove all abandoned pipe sleeves in floor slabs. Patch existing slab as required to maintain UL fire rating of floor slab where pipes and conduits have been removed.
26.	Slab penetrations shall be sealed as required to maintain fire rating, using materials and methods approved by the Authority Having Jurisdiction. Expansion material shall be approved by the Architect.
27.	The General Contractor shall notify the Architect of any access panels which may be required prior to proceeding with the Work. Contractor shall be responsible for coordinating all trades. Required access panels shall be included in the Contractor's scope of Work.
28.	Contractor shall provide the Team with a construction schedule showing the proposed phasing. Long lead items that will affect the Substantial Completion date shall be brought to the Architect's attention immediately.

CLIENT

SAGINAW TEXAS

City of Saginaw, Texas

333 West McLeroy Blvd.
Saginaw, TX 76179
T 817 232 4640
F 817 232 0311

ARCHITECT

PGAL

PGAL, Inc.
3131 Briarpark Dr.
Suite 200
Houston, TX 77042
T 713 622 1444
F 713 622 1444
www.pgal.com

REGISTRATION

INTERIM REVIEW
THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF MICHAEL LLOYD, ARCHITECT TEXAS REG. NO. 18250 NOT FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.

DRAWING HISTORY

№	DATE	DESCRIPTION
A	2024/08/23	SCHEMATIC DESIGN

PROJECT NAME
SAGINAW KEETER BUILDING RENOVATION

PROJECT LOCATION
355 W McLeroy Blvd.
Saginaw,TX 76179

PROJECT NUMBER
1006633.02

SHEET TITLE
GENERAL PROJECT INFORMATION

SHEET NUMBER
G0.02

FILE NAME: Autodesk Docs://1006633.02 - City of Saginaw Library Keeter Building Reno/ARCH-SPL-KeeterReno.rvt
DATE STAMP: 9/9/2024 5:47:28 PM

SAGINAW KEETER BUILDING RENOVATIONS

SCHEMATIC DESIGN
CIVIL/LANDSCAPE NARRATIVE
AUGUST 30, 2024
TNP Project Number: PGA 24336

CIVIL/LANDSCAPE

I. DEMOLITION & PHASING PLAN

A. Prepare a demolition based on the proposed improvements. The existing buildings will remain active during construction. Construction will need to be phased accordingly to ensure the existing facility remains active. Existing drives/parking lots/utilities that serve the existing buildings shall remain in service throughout construction. The demolition plan will include the removal of all pavements, utilities and storm drain within the limits of the proposed improvements.

II. SITE & DIMENSIONAL CONTROL PLAN

A. Prepare a detailed site and dimensional control plan based on the architect's site plan. Site plan will include all elements of design including building, drives, and parking lot changes. All fire lanes will be striped in accordance with local standards where necessary. Parking lot striping and signage will be provided throughout the limits of the improvements.

III. GRADING PLAN

A. Drives and parking lots will be graded to eliminate the need for a storm drain system, if possible. Grades will slope away from the building to mitigate ponding against the structure and around the new connector. Additional grading and flatwork will be needed to correct the drainage issues around the perimeter of the existing library building. A Storm Water Pollution Prevention Plan (SWPPP) and Erosion Control will be required for this site. Silt fence will be necessary along the limits of work. In addition, a construction entrance/exit will be required.

IV. STORM DRAIN PLAN

A. An underground storm drain with associated catch basins and inlets exist between the two buildings. The current storm drain system drains water from the north side of the existing building in the drop off drive, between the buildings towards the south, and under the proposed connector. The new storm drain system will be rerouted to go to the west, be achieved through changes in grading on the north side or drain through the proposed curb with a flume.

V. UTILITY PLAN

A. Gas/Electric/Fiber
    1. It is anticipated that all existing franchise services are available at the site and extensions will not be necessary.

B. Water
    1. There are existing domestic water lines to the site to serve both buildings. Fire lines may need to be extended within the site for internal fire sprinklers. Double detector check backflow assembly will be provided on the fire line at the water main connection. Fire hydrants will be located to meet local standards where necessary.

C. Sewer
    1. There are existing sewer lines connecting both buildings. A private 6"/8" sewer line will be extending within the site to collect all building sewer locations determined by the MEP.

VI. PAVING PLAN

A. All paving will be designed per recommendations in the geotechnical report. The subgrade for all paving areas will be treated with either lime or cement as determined by the geotechnical report. Fire lanes will be 7" thick concrete. All other drives will be 6" thick concrete. All parking areas will be 5" thick concrete. Miscellaneous flatwork throughout the campus will be 4" or 5" thick.

VII. DETAILS & SPECIFICATIONS

A. All applicable site, paving, water, sewer and storm drain details will be provided. A comprehensive set of specifications will be provided.

VIII. LANDSCAPE

A. Landscape Character (proposed in necessary area only)
    1. Sustainability
    2. Low water use
    3. Low maintenance
    4. Low fertility requirements
    5. Native Texas plants and stone where possible
    6. Shrub beds limited to the public-facing front of the building and where required by code.
    7. Match existing landscaping

B. Code Requirements: Landscape and irrigation follow the City of Saginaw's code.

C. Shrub Planting
    1. Proposed shrub beds will be kept near the building entrances and only as required by code throughout the site.

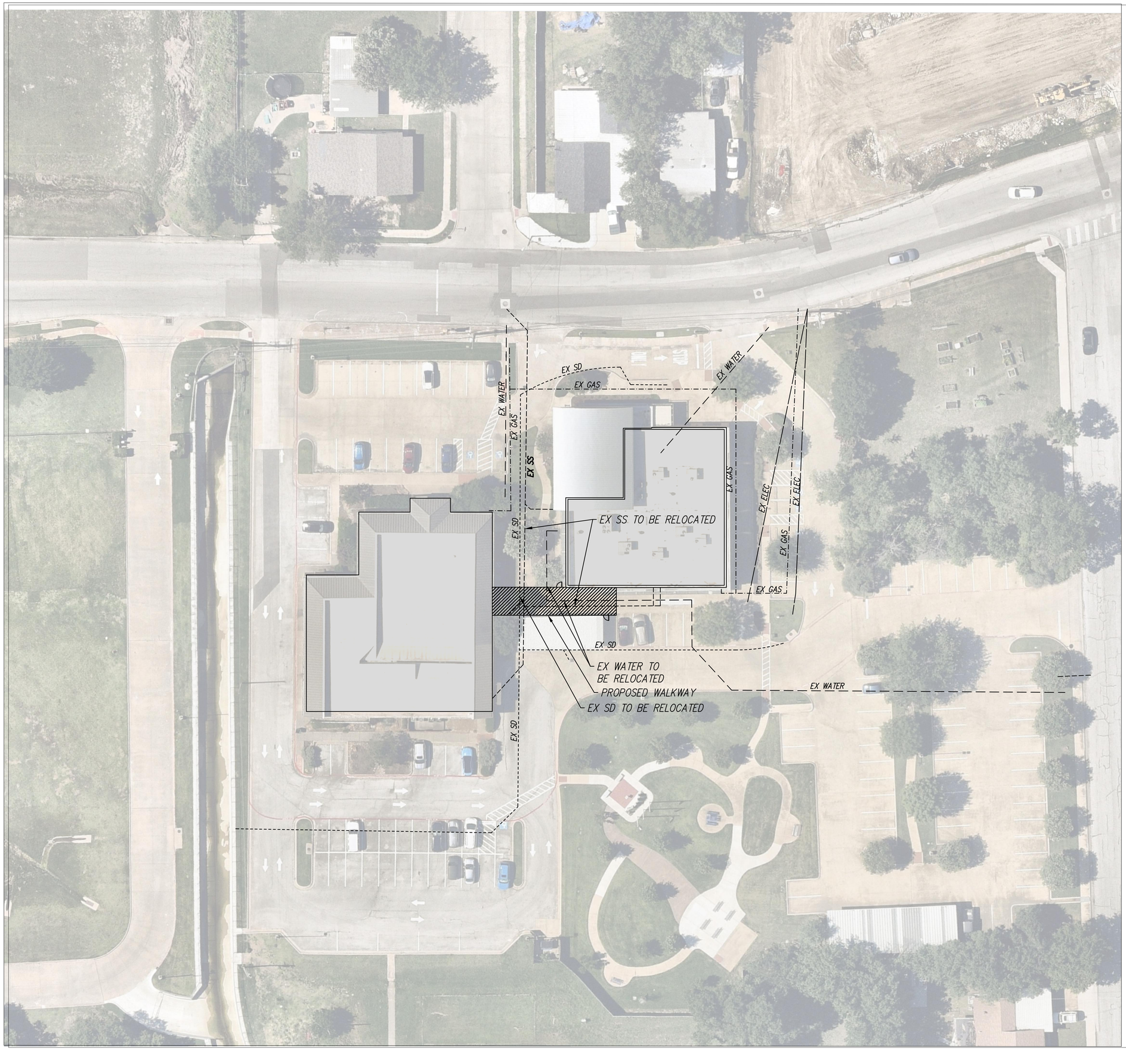
D. Tree Planting
    1. Ornamental trees will be used to accent the buildings architecture and entrances. To avoid future conflicts with the building, large canopy trees will be planted at least 30' away from the building where necessary.
    2. All trees shall have a minimum size of 3" caliper at time of planting.

E. Turf Planting
    1. For faster establishment of turfgrass, no hydroseed will be used. Instead, solid Bermuda sod will be proposed for all the turf areas.

F. Quantities are not able to be determined until the limits of work are known and the site plan is further developed.

IX. IRRIGATION

A. All proposed landscaping should have a permanent underground irrigation system. The system design will follow Texas TCEQ irrigation standards.
    1. Existing Water source: potable water will be used with backflow preventers for this site.
    2. A water pressure test will be conducted to determine if a booster pump is needed for the irrigation system.
    3. The irrigation controller, extensions and heads will match the existing system.



tnp

GRAPHIC SCALE

20 0 10 20 40

GRAPHIC SCALE: 1" = 20'

UTILITY NOTE

THE UTILITIES SHOWN ON THE PLANS WERE COMPILED FROM VARIOUS SOURCES AND ARE INTENDED TO SHOW THE GENERAL EXISTENCE AND LOCATION OF UTILITIES IN THE AREA OF CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITY INFORMATION SHOWN ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT UTILITY COMPANIES 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES IN ORDER TO DETERMINE IF THERE IS ANY CONFLICT WITH THE PROPOSED FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICTS WITH EXISTING UTILITIES ARE DISCOVERED.

NOTE:
CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR IMPROVEMENTS WITHIN PUBLIC ROW.

NOTE:
ALL TRAFFIC CONTROL SIGNS, BARRICADES, AND FLAGGING SHALL BE IN ACCORDANCE WITH THE CURRENT TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND PHASING.

NOTE:
CONTRACTOR SHALL VERIFY EXACT LOCATION AND SIZE OF ALL UTILITIES AND USE EXTREME CAUTION DURING CONSTRUCTION.

CLIENT

SAGINAW TEXAS

City of Saginaw, Texas

333 West McLeroy Blvd.
Saginaw, TX 76179
T 817 232 4640
F 817 232 0311

ARCHITECT

PGAL

PGAL, Inc.
3131 Briarpark Dr.
Suite 200
Houston, TX 77042
T 713 622 1444
F 713 622 1444
www.pgal.com

REGISTRATION

DRAWING HISTORY

No	DATE	DESCRIPTION
A	2024/08/23	PRELIM COST ESTIMATE
B	2024/08/30	SCHEMATIC DESIGN

PROJECT NAME

SAGINAW KEETER BUILDING RENOVATION

PROJECT LOCATION

355 W McLeroy Blvd.
Saginaw,TX 76179

PROJECT NUMBER

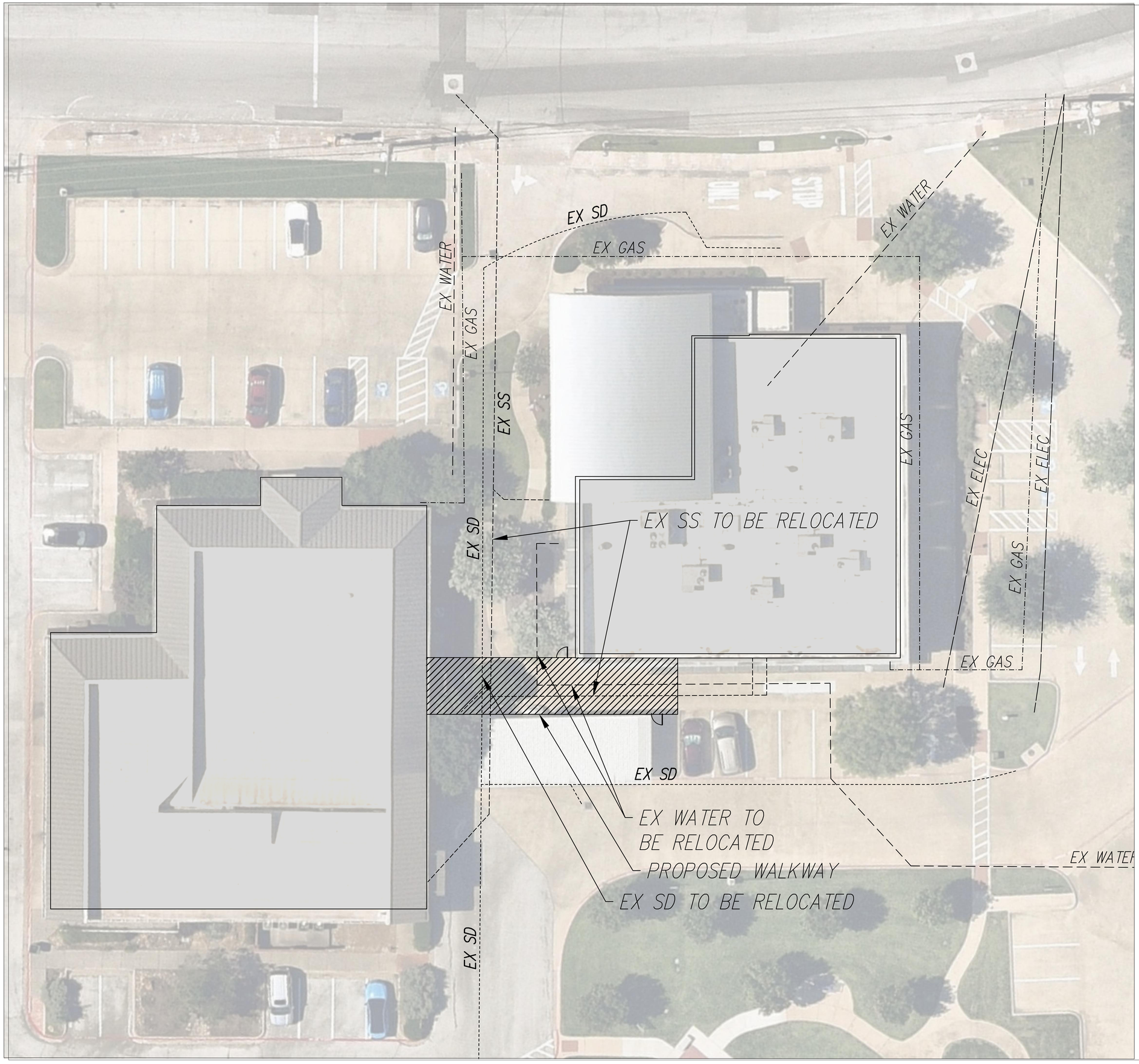
1006633.02

SHEET TITLE

EX UTILITY EXHIBIT

SHEET NUMBER

EX-1



tnp

GRAPHIC SCALE

10 0 5 10 20

GRAPHIC SCALE: 1" = 10'

UTILITY NOTE

THE UTILITIES SHOWN ON THE PLANS WERE COMPILED FROM VARIOUS SOURCES AND ARE INTENDED TO SHOW THE GENERAL EXISTENCE AND LOCATION OF UTILITIES IN THE AREA OF CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITY INFORMATION SHOWN ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT UTILITY COMPANIES 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES IN ORDER TO DETERMINE IF THERE IS ANY CONFLICT WITH THE PROPOSED FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICTS WITH EXISTING UTILITIES ARE DISCOVERED.

NOTE:
CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR IMPROVEMENTS WITHIN PUBLIC ROW.

NOTE:
ALL TRAFFIC CONTROL SIGNS, BARRICADES, AND FLAGGING SHALL BE IN ACCORDANCE WITH THE CURRENT TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND PHASING.

NOTE:
CONTRACTOR SHALL VERIFY EXACT LOCATION AND SIZE OF ALL UTILITIES AND USE EXTREME CAUTION DURING CONSTRUCTION.

CLIENT

SAGINAW TEXAS

City of Saginaw, Texas

333 West McLeroy Blvd.
Saginaw, TX 76179
T 817 232 4640
F 817 232 0311

ARCHITECT

PGAL

PGAL, Inc.
3131 Briarpark Dr.
Suite 200
Houston, TX 77042
T 713 622 1444
F 713 622 1444
www.pgal.com

REGISTRATION

DRAWING HISTORY

#	DATE	DESCRIPTION
A	2024/08/23	PRELIM COST ESTIMATE
B	2024/08/30	SCHEMATIC DESIGN

PROJECT NAME

SAGINAW
KEETER
BUILDING
RENOVATION

PROJECT LOCATION

355 W McLeroy Blvd.
Saginaw,TX 76179

PROJECT NUMBER

1006633.02

SHEET TITLE

EX UTILITY EXHIBIT

SHEET NUMBER

EX-2

Saginaw Keeter Building Renovation
Schematic Design – Preliminary Cost Estimate
STRUCTURAL NARRATIVE

Descriptive Specifications

- **Concrete**
  Normal weight Portland cement concrete with 3" to 7" slump, depending on the application.
  Minimum 28-day compressive strength:

Drilled Piers	4,000 psi
Grade Beams, Pilasters, and Pier Caps	4,000 psi
Slab-on-Void	4,000 psi
Elevated Slabs	4,000 psi

- **Reinforcing Steel**

Deformed Bars (typical)	ASTM A615, Grade 60

- **Structural Steel**

Wide-Flange Shapes	ASTM A992
Steel Angles, Channels, Plates	ASTM A36
Steel Tubes (HSS)	ASTM A500, GR C (50 ksi)
Steel Pipe	ASTM A53, GR B or A500, GR C
Field Bolted Connections	ASTM A325 Bolts
Anchor Rods	ASTM F1554, GR 36
Welding	70 ksi Filler Metal per AWS D1.1

- **Steel Roof Deck**

  1 1/2", 20 GA, Type B (wide rib) roof deck; ASTM A653, G60 Galv. Finish.

Design Analysis

- **Codes and Standards**
  The following codes and standards will be used for the structural design of the project:

  International Building Code (IBC), 2021 Edition.

  International Existing Building Code (IBC), 2021 Edition.

American Society of Civil Engineers (ASCE) 7, Minimum Design Loads for Buildings and Other Structures.[1]

American Concrete Institute (ACI) 318, Building Code Requirements for Structural Concrete.[1]

American Institute of Steel Construction (AISC) Specification for Structural Steel Buildings, AISC 360.[1]

Design Loads

- **Dead Loads**
  Design dead loads for the structural frame will include self-weight of the structural elements and the following superimposed dead loads:

Ceiling and Mechanical at Roof	10 psf
Roofing and Rigid Insulation	15 psf
Ceiling and Mechanical at Floors	5 psf

- **Live Loads**
  Based on the anticipated functions to be contained in the building, the following superimposed live loads will be utilized in the design of the structural frame:

Public areas, corridors, lobbies	100 psf
Offices	50 psf
Partitions at areas with less than 80 psf live load	15 psf
Mechanical rooms	150 psf
Storage (minimum)	125 psf
Restrooms	60 psf
Roof (unreducible)	20 psf

- **Wind Loads**
  Wind Loads will be determined per ASCE 7 using the following anticipated parameters:

Wind Speed (3-sec gust)	**106** MPH
Exposure Category	"**C**"
Enclosed Structure	

- **Seismic Loads**
  Seismic loads will be determined per ASCE 7-**16** using the following anticipated parameters:

Site Class	**C**
Seismic Design Category	**A**
Seismic Importance Factor	**1.00**
Response Modification Factor	**3**

[1] The edition of the standard will be the edition referenced in the noted edition of the International Building Code.

- **Snow Loads**
  Snow loads will be determined per ASCE 7 using the following anticipated parameters:
  Ground snow load, Pg **5 psf**

- **Ice Loads**
  Ice loads will be determined per ASCE 7 using the following anticipated parameters:
  Ice thickness **1 1/2”**

Building Addition Superstructure

The superstructure of the building must be adequate to resist the applied design loading, satisfy the performance criteria for such items as deflection and vibration control, and accommodate the architectural design. For this building the following structural systems are recommended:

- **Ground Level Structure**
  It is anticipated that the ground floor will consist of a 5” slab-on-grade reinforced with #3 bars at 16” on-center each way, over prepared subgrade. Subgrade preparation is anticipated to consist of removal of on-site expansive soils and replacement with select fill, or a combination of moisture conditioned on-site soil and select fill. The slab-on-grade will be placed over a 15 mil, Class A vapor retarder. Perimeter grade beams are anticipated to be 16” wide x 24” deep with 18 plf of reinforcing. Grade beams will be isolated from the subgrade with 8” to 12” deep carton void forms, and soil retainers each side to prevent soil from entering the void space.

- **Typical Roof Structure**
  It is anticipated that the roof framing will consist of 1.5” deep x 20 gage steel roof deck, open-web steel joists, and steel girders. Wide-flange, tube steel, and pipe columns will be used to support the superstructure. Additional miscellaneous steel will be required to support the proposed prefabricated canopies.

Foundation

The foundation for the building will be designed in accordance with the final Geotechnical Engineering Report prepared specifically for this site. Based on our previous experience, it is anticipated that the foundation system will consist of drilled, straight shaft bearing at a depth to be determined by the geotechnical report in unweathered limestone or shale. Typical piers will be approximately 24 inches in diameter, reinforced with 6 - #6 vertical bars and #3 ties at 18” on-center, with 10 feet of penetration into the bearing strata.

Lateral Stability

The lateral stability of the building will be provided by rigid steel frames and steel bracing located so as to have minimal impact on the architectural configuration of the building.

Existing Library Building

JQ now IMEG currently does not have structural drawings for the existing Library Building. From field investigations, the existing building consists of structural steel framing with wide-flange columns, wide-flange girders, and cold-formed c-purlin joists. The existing foundation is unknown but is anticipated to be a structural slab-on-grade slab with isolated piers underneath the columns.

A new mechanical unit is planned to be installed on the existing roof. The existing roof will need to be reinforced for this additional load. Roof reinforcement will include doubling-up of c-purlins and reinforcement of wide-flange girders with nestled steel channels welded to the web. Final reinforcement information will be determined once the mechanical unit weight is finalized.

The new bathrooms in the existing library will require penetrations/trenching in the existing slab. Explorational coring of the existing slab should be performed prior to slab demolition to confirm foundation type.

GENERAL ROOF NOTES

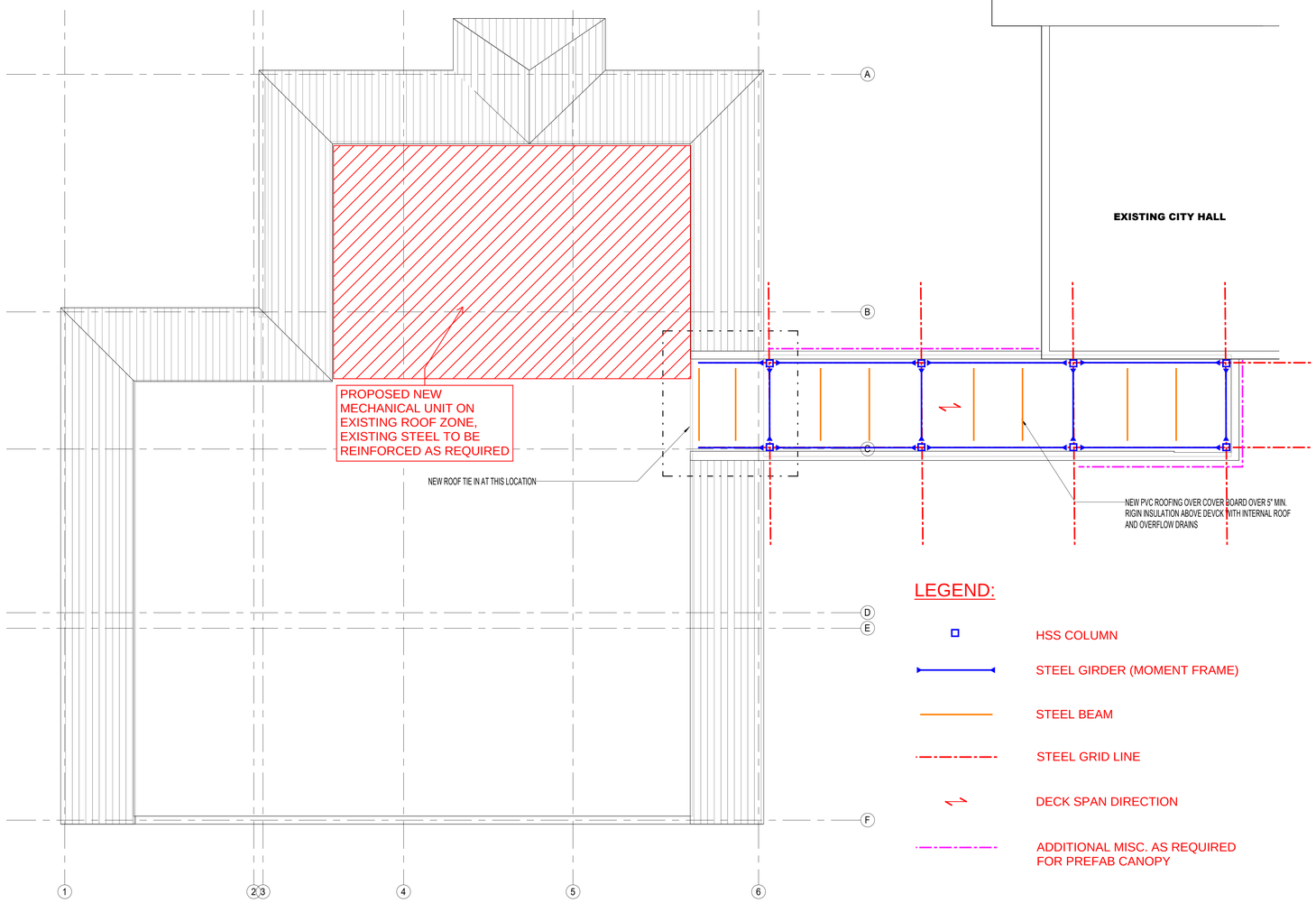
1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFORMATION BEFORE EXECUTION OF WORK.
3. DO NOT SCALE DIMENSIONS FROM DRAWINGS. ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
4. CONTRACTOR SHALL FIELD COORDINATE LOCATION, SIZE AND TYPE OF BLOCKING FOR INSTALLATION OF SIGNAGE, PLUMBING FIXTURES, MILLWORK, ETC. ALL CONCEALED WOOD SHALL BE FIRE RETARDANT TREATED (F.R.T).
5. ALL SHAFTS PENETRATING SLAB SHALL BE RATED 2HR.
6. ALL FLAT ROOF SLOPES SHALL BE 1/4" PER FOOT U.N.O.
7. PROVIDE WALKWAY ROOF PADS TO AND FROM ALL ACCESS POINTS AND AROUND THE PERIMETER OF ALL EQUIPMENT IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND ROOF MANUFACTURER SPECIFICATIONS.

ROOF GRAPHICS LEGEND

INDICATES 1/4" PER FOOT SLOPE TO DRAIN AT ROOF OR 2% SLOPE TO DRAIN AT EXTERIOR TERRACE

NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CSI DIVISION

NUMBER	DESCRIPTION



LEGEND:

- HSS COLUMN
- STEEL GIRDER (MOMENT FRAME)
- STEEL BEAM
- STEEL GRID LINE
- DECK SPAN DIRECTION
- ADDITIONAL MISC. AS REQUIRED FOR PREFAB CANOPY

STRUCTURAL ROOF MARKUP

CLIENT

City of Saginaw, Texas

333 West McLeroy Blvd.
Saginaw, TX 76179
T 817 232 4640
F 817 232 0311

ARCHITECT

PGAL, Inc.
3131 Briarpark Dr.
Suite 200
Houston, TX 77042
T 713 622 1444
F 713 622 1444
www.pgal.com

REGISTRATION

INTERIM REVIEW
THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF TIM KONGANDA, ARCHITECT TEXAS REG. NO. 19078 NOT FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.

DRAWING HISTORY

No.	DATE	DESCRIPTION
A	2024/08/30	SCHEMATIC DESIGN

PROJECT NAME
SAGINAW KEETER BUILDING RENOVATION

PROJECT LOCATION
355 W McLeroy Blvd.
Saginaw,TX 76179

PROJECT NUMBER
1006633.02

SHEET TITLE
OVERALL ROOF PLAN

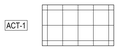
SHEET NUMBER
S2.30

FILE NAME: Autodesk Docs://1006633.02 - City of Saginaw Library Keeter Building Reno/ARCH-SPL-KeeterReno.rvt
DATE STAMP: 8/16/2024 10:36:16 AM

GENERAL RCP NOTES

1. DO NOT SCALE DIMENSIONS FROM DRAWINGS, ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
3. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFO. PRIOR TO EXECUTION OF THE WORK.
4. REFER TO PARTITION INFORMATION FOR ADDITIONAL INFORMATION.
5. ALL SHAFTS PENETRATING SLABS SHALL BE RATED 2HR.
6. LIGHT FIXTURES ARE DIMENSIONED TO CENTERLINE OF FIXTURE, OR PROVIDE THE "CL" (CENTERLINE) SYMBOL, AND / OR LINE TYPE ON THE DIMENSION STRING AT EACH FIXTURE.
7. REFER TO ELECTRICAL DRWGS FOR FIXTURE DESIGNATIONS AND TYPES.
8. FIXTURES SHALL BE CENTERED BETWEEN WALLS U.N.O.
9. CEILING GRIDS SHALL BE CENTERED IN ROOMS U.N.O.

RCP GRAPHIC LEGEND

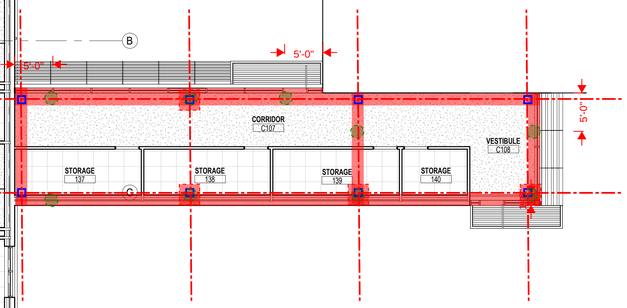
ACT-1		2x2 ACOUSTICAL CEILING TILE SYSTEM
GWB-1		PAINTED, (1) LAYER 5/8" GWB CEILING ON METAL FRAMING SYSTEM.
STR-1		EXPOSED STRUCTURE PAINTED BLACK.

NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CSI DIVISION

NUMBER	DESCRIPTION

EXISTING CITY HALL

PROVIDE NEW FIRE SPRINKLER SYSTEM THROUGHOUT ABOVE CEILINGS. PROVIDE NEW CEILINGS WITH REINSTALLED DEVICES.



LEGEND:

- GRADE BEAM
- STEEL GRID LINE
- STRAIGHT-SHAFT PIER
- HSS COLUMN

STRUCTURAL FOUNDATION MARKUP

CLIENT

SAGINAW TEXAS

City of Saginaw, Texas

333 West McLeroy Blvd.
Saginaw, TX 76179
T 817 232 4640
F 817 232 0311

ARCHITECT

PGAL

PGAL, Inc.
3131 Briarpark Dr.
Suite 200
Houston, TX 77042
T 713 622 1444
F 713 622 1444
www.pgal.com

REGISTRATION

INTERIM REVIEW

THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF TIM KONGANDA, ARCHITECT TEXAS REG. NO. 19078 NOT FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.

DRAWING HISTORY

No.	DATE	DESCRIPTION
A	2024/08/30	SCHEMATIC DESIGN

PROJECT NAME

SAGINAW KEETER BUILDING RENOVATION

PROJECT LOCATION

355 W McLeroy Blvd.
Saginaw,TX 76179

PROJECT NUMBER

1006633.02

SHEET TITLE

OVERALL REFLECTED CEILING PLAN

SHEET NUMBER

S3.10

FILE NAME: Autodesk Docs://1006633.02 - City of Saginaw Library Keeter Building Reno/ARCH-SPL-KeeterReno.rvt
DATE STAMP: 8/16/2024 10:36:20 AM

GENERAL DEMO SITE PLAN NOTES

1. FFE OF 0'-0" IN THESE PLANS REFERS TO CIVIL ELEVATION XX.XX' NAVD OR XX.XX' NGVD.
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
3. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFORMATION BEFORE EXECUTION OF WORK.
4. DO NOT SCALE DIMENSIONS FROM DRAWINGS, ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
5. REFER TO CIVIL AND LANDSCAPE DWGS FOR ALL INFORMATION REGARDING SITE ELEMENTS INCLUDING BUT NOT LIMITED TO PAVING, GRADING, SITE DRAINAGE, PLANTINGS ECT.

ARCHITECTURAL DEMO SITE PLAN 1/16" = 1'-0" (1)

FILE NAME: Autodesk Docs://1006633.02 - City of Saginaw Library Keeter Building Reno/ARCH-SPL-KeeterReno.rvt
DATE STAMP: 9/9/2024 5:39:15 PM

CLIENT

SAGINAW TEXAS

City of Saginaw, Texas

333 West McLeroy Blvd.
Saginaw, TX 76179
T 817 232 4640
F 817 232 0311

ARCHITECT

PGAL

PGAL, Inc.
3131 Briarpark Dr.
Suite 200
Houston, TX 77042
T 713 622 1444
F 713 622 1444
www.pgal.com

REGISTRATION

INTERIM REVIEW
THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF MICHAEL LLOYD, ARCHITECT TEXAS REG. NO. 18250 NOT FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.

DRAWING HISTORY

№	DATE	DESCRIPTION
A	2024/08/23	SCHEMATIC DESIGN

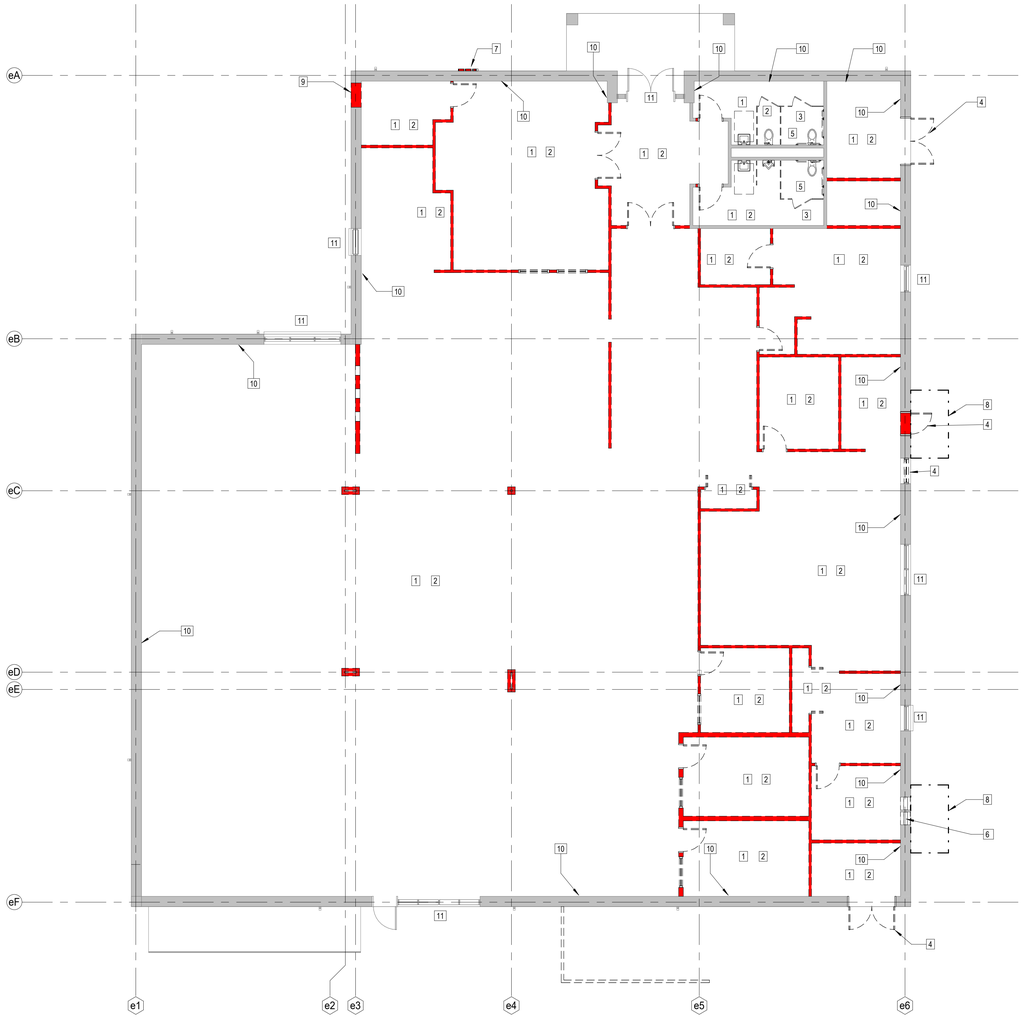
PROJECT NAME
SAGINAW KEETER BUILDING RENOVATION

PROJECT LOCATION
355 W McLeroy Blvd.
Saginaw,TX 76179

PROJECT NUMBER
1006633.02

SHEET TITLE
OVERALL DEMO SITE PLAN

SHEET NUMBER
AD1.01



DEMO FLOOR PLAN | 1/8" = 1'-0" | 1

GENERAL DEMOLITION NOTES

1. ROOM AND DOOR REFERENCE NUMBERS ARE FOR CONSTRUCTION COORDINATION ONLY. CONTRACTOR SHALL COORDINATE WITH OWNER FOR FINAL ROOM & DOOR IDENTIFICATION.
2. DO NOT SCALE DIMENSIONS FROM DRAWINGS, ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
3. ALL DIMENSIONS ARE TO FACE OF GYP., GRID LINES AND FACE OF WALL U.N.O. ALL DIMENSIONS TO EXISTING WALLS ARE TO FACE OF WALL ASSEMBLY U.N.O.
4. ALL 36" WIDE INTERIOR SWING DOORS SHALL BE LOCATED 2'-0" FROM CENTER OF DOOR TO PERPENDICULAR SURFACE OF ADJACENT WALL AT DOOR JAMB U.N.O.
5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
6. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFORMATION BEFORE EXECUTION OF WORK.
7. REFER TO WALL TYPE SCHEDULE FOR ADDITIONAL INFORMATION.
8. CONTRACTOR SHALL FIELD COORDINATE LOCATION, SIZE AND TYPE OF BLOCKING FOR INSTALLATION OF SIGNAGE, MILLWORK, ETC. ALL CONCEALED WOOD SHALL BE FIRE RETARDANT TREATED (F.R.T.)
9. PROVIDE IN-WALL REINFORCEMENT FOR ALL WALL MOUNTED FURNITURE AND EQUIPMENT AS REQUIRED.
10. GENERAL CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ABATEMENT OF HAZARDSUS MATERIALS ARE COMPLETED PRIOR TO THE START OF ANY WORK. COORDINATE WITH OWNER.

CUTTING AND PATCHING NOTES

1. PROVIDE MATERIALS FOR CUTTING AND PATCHING WHICH WILL RESULT IN EQUAL-OR-BETTER WORK THAN THAT BEING CUT OR PATCHED.
2. CAREFULLY REMOVE EXISTING COMPONENTS THAT ARE TO BE REMOVED, SO AS NOT TO DAMAGE EXISTING CONSTRUCTION THAT IS TO REMAIN. PATCH FLOORS/WALLS IN A RECTANGULAR PATTERN TO MATCH EXISTING CONDITIONS AND MAKE THEM READY TO RECEIVE ANY NEW WORK INDICATED.
3. CONTRACTOR TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES. COORDINATE DEMOLITION AS REQUIRED TO AVOID DAMAGE TO EXISTING UTILITY LINES. CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING AND PATCHING UTILITY LINES DAMAGED DURING CONSTRUCTION.
4. WHERE EXISTING AREAS OF FLOOR FINISH IS TO BE REMOVED, SURFACES TO REMAIN SHALL BE STRIPPED CLEAN AND MADE READY TO RECEIVE NEW WORK. FLOAT FLOOR AS REQUIRED FOR A LEVEL FLOOR FINISH.

DEMO PLAN GRAPHICS LEGEND

- INDICATES SCOPE OF WORK
- INDICATES WALLS TO BE DEMOLISHED
- 1 REMOVE FLOORING AND PREP FOR NEW FINISHES.
- 2 REMOVE CEILINGS AND ASSOCIATED LIGHTS AND DEVICES RE: MEP.
- 3 DEMO RESTROOM PARTITIONS AND ASSOCIATED FRAMING.
- 4 DEMO EXTERIOR DOOR/WINDOW AND FRAME AND PREP FOR NEW WORK.
- 5 DEMO RESTROOM FIXTURES AND ASSOCIATED PLUMBING RE: MEP.
- 6 DEMO BOOK DROP AND PREP FOR NEW WORK.
- 7 DEMO BUILDING SIGNAGE AND REPAIR WALL.
- 8 DEMO CANOPY AND PREP FOR NEW WORK.
- 9 DEMO PARTIAL EXTERIOR WALL AND PREP FOR NEW WORK.
- 10 DEMO EXISTING FINISHES ON ENTIRE INTERIOR GYP. FACE.
- 11 PREP EXISTING WINDOWS FOR NEW CAULKING

KEYNOTE LEGEND

NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CSI DIVISION

CLIENT

SAGINAW TEXAS

City of Saginaw, Texas

333 West McLeroy Blvd.
Saginaw, TX 76179
T 817 232 4640
F 817 232 0311

ARCHITECT

PGAL

PGAL, Inc.
3131 Briarpark Dr.
Suite 200
Houston, TX 77042
T 713 622 1444
F 713 622 1444
www.pgal.com

DRAWING HISTORY

NO	DATE	DESCRIPTION
A	2024/08/23	SCHEMATIC DESIGN

PROJECT NAME
SAGINAW KEETER BUILDING RENOVATION

PROJECT LOCATION
355 W McLeroy Blvd.
Saginaw,TX 76179

PROJECT NUMBER
1006633.02

SHEET TITLE
OVERALL DEMO FLOOR PLAN

SHEET NUMBER
AD2.10

FILE NAME: Autodesk Docs://1006633.02 - City of Saginaw Library Keeter Building Reno/ARCH-SPL-KeeterReno.rvt
DATE STAMP: 9/9/2024 5:39:16 PM

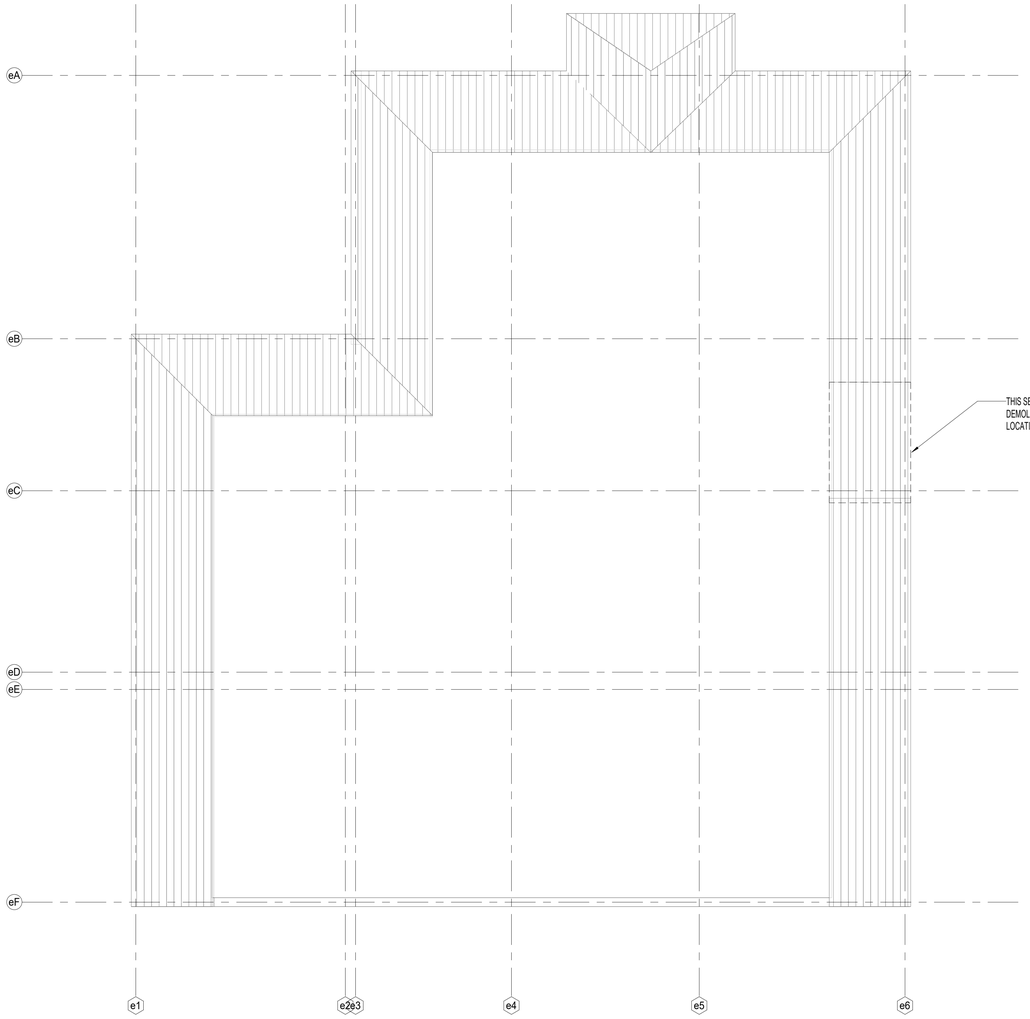
GENERAL DEMO ROOF NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFORMATION BEFORE EXECUTION OF WORK.
3. DO NOT SCALE DIMENSIONS FROM DRAWINGS, ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
4. CONTRACTOR SHALL FIELD COORDINATE LOCATION, SIZE AND TYPE OF BLOCKING FOR INSTALLATION OF SIGNAGE, PLUMBING FIXTURES, MILLWORK, ETC. ALL CONCEALED WOOD SHALL BE FIRE RETARDANT TREATED (F.R.T).
5. ALL SHAFTS PENETRATING SLAB SHALL BE RATED 2HR.
6. ALL FLAT ROOF SLOPES SHALL BE 1/4" PER FOOT U.N.O.
7. PROVIDE WALKWAY ROOF PADS TO AND FROM ALL ACCESS POINTS AND AROUND THE PERIMETER OF ALL EQUIPMENT IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND ROOF MANUFACTURER SPECIFICATIONS.

ROOF GRAPHICS LEGEND

INDICATES 1/4" PER FOOT SLOPE TO DRAIN AT ROOF OR 2% SLOPE TO DRAIN AT EXTERIOR TERRACE

NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CSI DIVISION



DEMO ROOF PLAN 1/8" = 1'-0" (1)

FILE NAME: Autodesk Docs://1006633.02 - City of Saginaw Library Keeter Building Reno/ARCH-SPL-KeeterReno.rvt
DATE STAMP: 9/9/2024 5:39:17 PM

CLIENT

SAGINAW TEXAS

City of Saginaw, Texas

333 West McLeroy Blvd.
Saginaw, TX 76179
T 817 232 4640
F 817 232 0311

ARCHITECT

PGAL

PGAL, Inc.
3131 Briarpark Dr.
Suite 200
Houston, TX 77042
T 713 622 1444
F 713 622 1444
www.pgal.com

REGISTRATION

INTERIM REVIEW
THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF MICHAEL LLOYD, ARCHITECT TEXAS REG. NO. 18250 NOT FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.

DRAWING HISTORY

No.	DATE	DESCRIPTION
A	2024/08/23	SCHEMATIC DESIGN

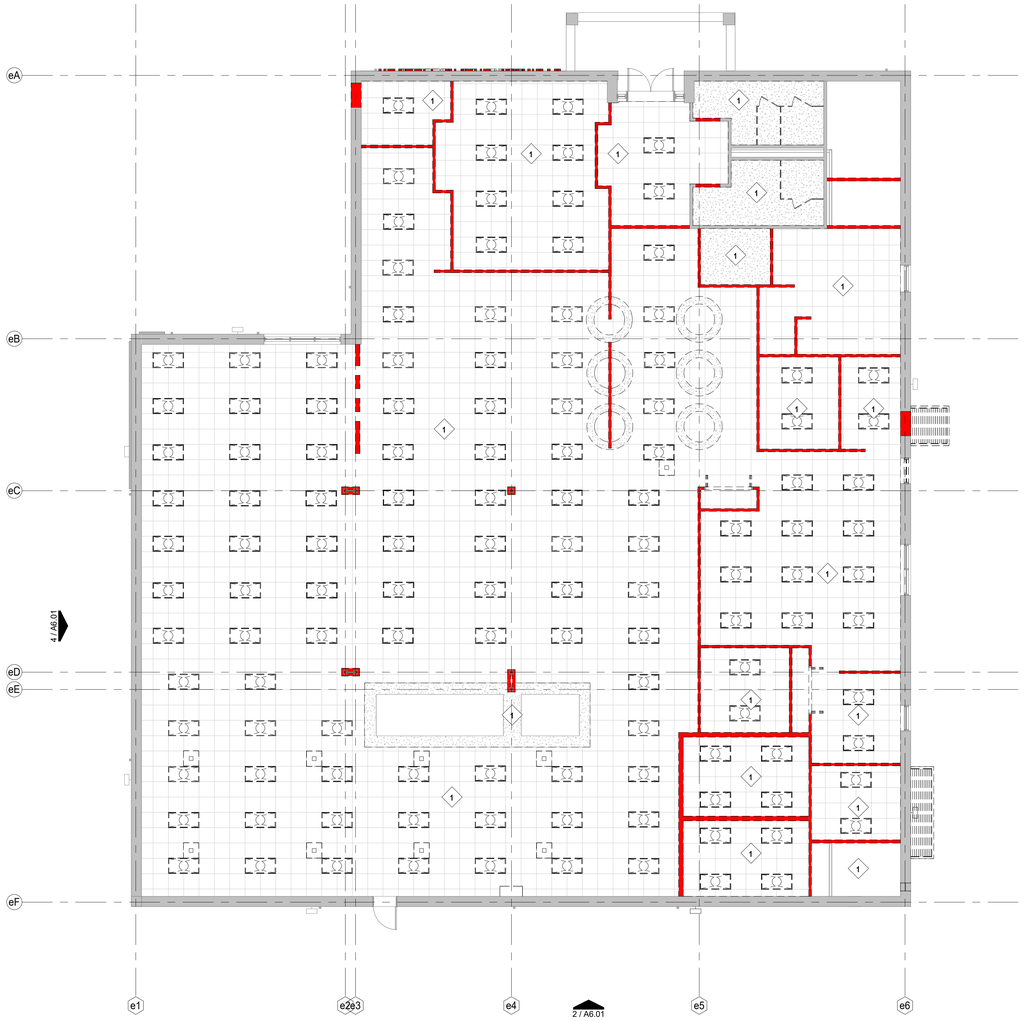
PROJECT NAME
SAGINAW KEETER BUILDING RENOVATION

PROJECT LOCATION
355 W McLeroy Blvd.
Saginaw,TX 76179

PROJECT NUMBER
1006633.02

SHEET TITLE
OVERALL DEMO ROOF PLAN

SHEET NUMBER
AD2.30



EXISTING CITY HALL

DEMOLISH ALL EXISTING CEILINGS AND CORRESPONDING FRAMING. SALVAGE ALL CEILING DEVICES FOR REINSTALLATION.

DEMO REFLECTED CEILING PLAN 1/8" = 1'-0" (1)

GENERAL DEMO RCP NOTES

1. ROOM AND DOOR REFERENCE NUMBERS ARE FOR CONSTRUCTION COORDINATION ONLY. CONTRACTOR SHALL COORDINATE WITH OWNER FOR FINAL ROOM & DOOR IDENTIFICATION.
2. DO NOT SCALE DIMENSIONS FROM DRAWINGS, ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
3. ALL DIMENSIONS ARE TO FACE OF GYP. GRID LINES AND FACE OF WALL U.N.O. ALL DIMENSIONS TO EXISTING WALLS ARE TO FACE OF WALL ASSEMBLY U.N.O.
4. ALL 36" WIDE INTERIOR SWING DOORS SHALL BE LOCATED 2'-0" FROM CENTER OF DOOR TO PERPENDICULAR SURFACE OF ADJACENT WALL AT DOOR JAMB U.N.O.
5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
6. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFORMATION BEFORE EXECUTION OF WORK.
7. REFER TO WALL TYPE SCHEDULE FOR ADDITIONAL INFORMATION.
8. CONTRACTOR SHALL FIELD COORDINATE LOCATION, SIZE AND TYPE OF BLOCKING FOR INSTALLATION OF SIGNAGE, MILLWORK, ETC. ALL CONCEALED WOOD SHALL BE FIRE RETARDANT TREATED (F.R.T.)
9. PROVIDE IN-WALL REINFORCEMENT FOR ALL WALL MOUNTED FURNITURE AND EQUIPMENT AS REQUIRED.
10. LICENSED FIRE SUPPRESSION/FIRE ALARM CONTRATOR TO MODIFY SPRINKLER LINES AS REQUIRED PER AHJ REQUIREMENTS.

CUTTING AND PATCHING NOTES

1. PROVIDE MATERIALS FOR CUTTING AND PATCHING WHICH WILL RESULT IN EQUAL-OR-BETTER WORK THAN THAT BEING CUT OR PATCHED.
2. CAREFULLY REMOVE EXISTING COMPONENTS THAT ARE TO BE REMOVED, SO AS NOT TO DAMAGE EXISTING CONSTRUCTION THAT IS TO REMAIN. PATCH FLOORS/WALLS IN A RECTANGULAR PATTERN TO MATCH EXISTING CONDITIONS AND MAKE THEM READY TO RECEIVE ANY NEW WORK INDICATED.
3. CONTRACTOR TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES. COORDINATE DEMOLITION AS REQUIRED TO AVOID DAMAGE TO EXISTING UTILITY LINES. CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING AND PATCHING UTILITY LINES DAMAGED DURING CONSTRUCTION.
4. WHERE EXISTING AREAS OF FLOOR FINISH IS TO BE REMOVED, SURFACES TO REMAIN SHALL BE STRIPPED CLEAN AND MADE READY TO RECEIVE NEW WORK. FLOAT FLOOR AS REQUIRED FOR A LEVEL FLOOR FINISH.

DEMO PLAN GRAPHICS LEGEND

- INDICATES NOT IN SCOPE
- ACOUSTICAL CEILING TILE SYSTEM, EXISTING TO BE DEMOLISHED
- GYPSUM BOARD CEILING ON METAL FRAMING SYSTEM, EXISTING TO BE DEMOLISHED
- 1 — REMOVE ALL CEILING TILES AND GRIDS AND PREP. FOR NEW CEILING TREATMENT. PREP ANY GYPSUM BOARD CEILINGS FOR NEW FINISHES. REMOVE ALL EXISTING CEILING LIGHTS AND DIFFUSERS.
- 2' X 4' LIGHT FIXTURE, EXISTING TO BE DEMOLISHED
- DIFFUSER, EXISTING TO BE DEMOLISHED

KEYNOTE LEGEND

NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CSI DIVISION

CLIENT

SAGINAW TEXAS

City of Saginaw, Texas

333 West McLeroy Blvd.
Saginaw, TX 76179
T 817 232 4640
F 817 232 0311

ARCHITECT

PGAL

PGAL, Inc.
3131 Briarpark Dr.
Suite 200
Houston, TX 77042
T 713 622 1444
F 713 622 1444
www.pgal.com

REGISTRATION

INTERIM REVIEW
THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF MICHAEL LLOYD, ARCHITECT TEXAS REG. NO. 18250 NOT FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.

DRAWING HISTORY

NO.	DATE	DESCRIPTION
A	2024/08/23	SCHEMATIC DESIGN

PROJECT NAME
SAGINAW KEETER BUILDING RENOVATION

PROJECT LOCATION
355 W McLeroy Blvd.
Saginaw,TX 76179

PROJECT NUMBER
1006633.02

SHEET TITLE
OVERALL DEMO REFLECTED CEILING PLAN

SHEET NUMBER
AD3.10

FILE NAME: Autodesk Docs://1006633.02 - City of Saginaw Library Keeter Building Reno/ARCH-SPL-KeeterReno.rvt
DATE STAMP: 9/9/2024 5:39:19 PM

ROOM FINISH SCHEDULE

ROOM DATA		FLOOR		WALL FINISH (ALL	WALL FINISHES				CEILINGS	
№	NAME	FINISH	BASE FINISH	U.N.O.)	NORTH	EAST	SOUTH	WEST	FINISH	COMMENTS
100A	VESTIBULE	TILE	TILE	PAINT					GYP. BD.	
100B	LOBBY	TILE	TILE	PAINT		ACOUSTIC PANEL			GYP. BD.	
101	PUBLIC WORKS CONF.	CARPET	RUBBER	PAINT	ACOUSTIC PANEL	ACOUSTIC PANEL	ACOUSTIC PANEL		CEILING TILE	
102	CONF. STORAGE	VINYL TILE	RUBBER	PAINT					CEILING TILE	
103	FIRE RISER	CONCRETE	RUBBER	PAINT					OPEN TO STRUC.	
104A	F. DESK MARIA	CARPET	RUBBER	PAINT					CEILING TILE	
104B	F. DESK SALVADOR	CARPET	RUBBER	PAINT					CEILING TILE	
105	WOMEN'S RESTROOM	TILE	TILE	TILE				PAINT	GYP. BD.	
106	MEN'S RESTROOM	TILE	TILE	TILE				PAINT	GYP. BD.	
107	PRIVATE BREAKROOM	VINYL TILE	RUBBER	PAINT		TILE			CEILING TILE	
108	JAN. CLOSET	VINYL TILE	RUBBER	PAINT					CEILING TILE	
109	ELECTRICAL	CONCRETE	RUBBER	PAINT	FRP	FRP			OPEN TO STRUC.	
110	MEN'S RR	TILE	TILE	TILE				PAINT	GYP. BD.	
111	WOMEN'S RR	TILE	TILE	TILE				PAINT	GYP. BD.	
112	CITY SECRETARY (POS)	CARPET	RUBBER	PAINT					CEILING TILE	
113	C.S. SECURED STORAGE	CARPET	RUBBER	PAINT					CEILING TILE	
114	COMM. (POS) COMM. MANAGER	CARPET	RUBBER	PAINT					CEILING TILE	
115	AV STORAGE	CARPET	RUBBER	PAINT					CEILING TILE	
116	TECHNOLOGY SHARED OFFICE	CARPET	RUBBER	PAINT					CEILING TILE	
117	SHARED SPACE COPY/WORKROOM	VINYL TILE	RUBBER	PAINT					CEILING TILE	
118	SHARED SPACE MUD ROOM	VINYL TILE	RUBBER	PAINT					CEILING TILE	
119	BUILD DEPT. CUSTOM POD	CARPET	RUBBER	PAINT					CEILING TILE	
120	BUILD DEPT. CONF.	CARPET	RUBBER	PAINT					CEILING TILE	
121	BUILD DEPT. (PO6) CHIEF BUILD OFFICIAL	CARPET	RUBBER	PAINT					CEILING TILE	
122	PUBLIC WORKS (PO6) DEPT. DIRECTOR	CARPET	RUBBER	PAINT					CEILING TILE	
123	ECONIMIC DEV. (PO6) DEPT. DIRECTOR	CARPET	RUBBER	PAINT					CEILING TILE	
124A	STORAGE	CONCRETE	RUBBER	PAINT					OPEN TO STRUC.	
124B	MDF	CONCRETE	RUBBER	PAINT					OPEN TO STRUC.	
125	OPEN OFFICE	CARPET	RUBBER	PAINT					CEILING TILE	
126	ASST. DIRECTOR	CARPET	RUBBER	PAINT					CEILING TILE	
127	P.W. (PO5) PLANNING MANAGER	CARPET	RUBBER	PAINT					CEILING TILE	
128	P.W. (PO5) ENV. MANAGER	CARPET	RUBBER	PAINT					CEILING TILE	
129	PUBLIC WORKS (PO5) ENV. TECH.	CARPET	RUBBER	PAINT					CEILING TILE	
130	P.W (PO5) CODE ENF. OFFICER	CARPET	RUBBER	PAINT					CEILING TILE	
131	B.D. (PO5) CODE ENF. MANAGER	CARPET	RUBBER	PAINT					CEILING TILE	
132	OPEN OFFICE	CARPET	RUBBER	PAINT					CEILING TILE	
133	E.D. (WS) ASSISTENT	CARPET	RUBBER	PAINT					CEILING TILE	
134	P.W. (WS) INTERN/ENV. TECH	CARPET	RUBBER	PAINT					CEILING TILE	
135	B.D. (WS) PERMIT TECH.	CARPET	RUBBER	PAINT					CEILING TILE	
136	B.D. (WS) PERMIT TECH.	CARPET	RUBBER	PAINT					CEILING TILE	
137	STORAGE	VINYL TILE	RUBBER	PAINT					CEILING TILE	
138	STORAGE	VINYL TILE	RUBBER	PAINT					CEILING TILE	
139	STORAGE	VINYL TILE	RUBBER	PAINT					CEILING TILE	
140	STORAGE	VINYL TILE	RUBBER	PAINT					CEILING TILE	
C100	CORRIDOR	CARPET	RUBBER	PAINT					CEILING TILE	
C101	CORRIDOR	CARPET	RUBBER	PAINT					CEILING TILE	
C102	CORRIDOR	CARPET	RUBBER	PAINT					CEILING TILE	
C103	CORRIDOR	CARPET	RUBBER	PAINT					CEILING TILE	
C104	CORRIDOR	CARPET	RUBBER	PAINT					CEILING TILE	
C105	CORRIDOR	CARPET	RUBBER	PAINT					CEILING TILE	
C106	CORRIDOR	CARPET	RUBBER	PAINT					CEILING TILE	
C107	CORRIDOR	VINYL TILE	RUBBER	PAINT					GYP. BD.	
C108	VESTIBULE	WALKOFF	RUBBER	PAINT					GYP. BD.	

LEVEL 01

CLIENT

SAGINAW TEXAS

City of Saginaw, Texas

333 West McLeroy Blvd.
Saginaw, TX 76179
T 817 232 4640
F 817 232 0311

ARCHITECT

PGAL

PGAL, Inc.
3131 Briarpark Dr.
Suite 200
Houston, TX 77042
T 713 622 1444
F 713 622 1444
www.pgal.com

REGISTRATION

INTERIM REVIEW
THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF MICHAEL LLOYD, ARCHITECT TEXAS REG. NO. 18250 NOT FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.

DRAWING HISTORY

№	DATE	DESCRIPTION
A	2024/08/23	SCHEMATIC DESIGN

PROJECT NAME

SAGINAW
KEETER
BUILDING
RENOVATION

PROJECT LOCATION

355 W McLeroy Blvd.
Saginaw,TX 76179

PROJECT NUMBER

1006633.02

SHEET TITLE

FINISH LEGEND & SCHEDULE

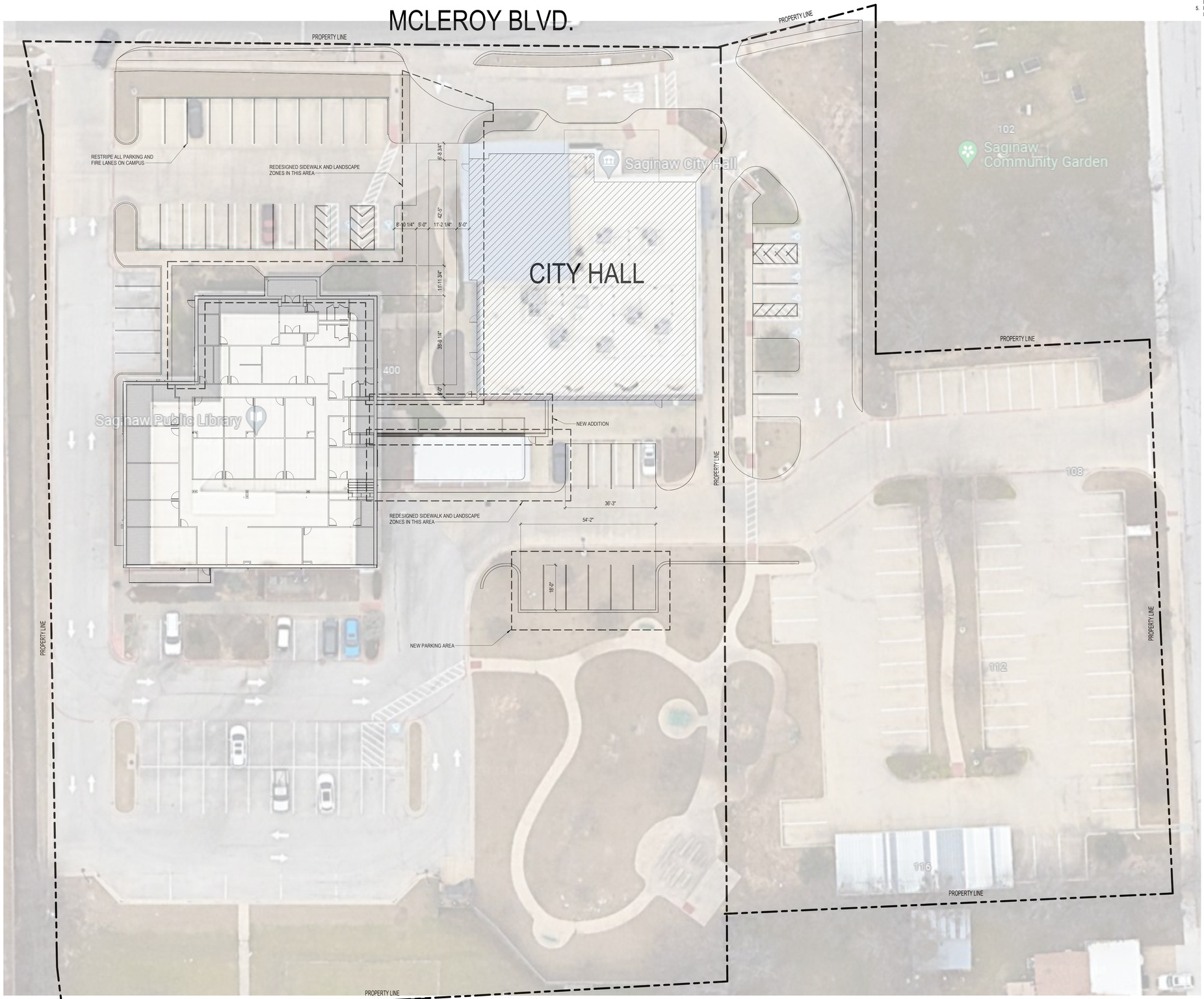
SHEET NUMBER

A0.20

FILE NAME: Autodesk Docs://1006633.02 - City of Saginaw Library Keeter Building Reno/ARCH-SPL-KeeterReno.rvt
DATE STAMP: 9/9/2024 5:39:21 PM

GENERAL SITE PLAN NOTES

1. FFE OF 0'-0" IN THESE PLANS REFERS TO CIVIL ELEVATION XX.XX' NAVD OR XX.XX' NGVD.
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
3. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFORMATION BEFORE EXECUTION OF WORK.
4. DO NOT SCALE DIMENSIONS FROM DRAWINGS, ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
5. REFER TO CIVIL AND LANDSCAPE DWGS FOR ALL INFORMATION REGARDING SITE ELEMENTS INCLUDING BUT NOT LIMITED TO PAVING, GRADING, SITE DRAINAGE, PLANTINGS ECT.



ARCHITECTURAL SITE PLAN 1/16" = 1'-0" (1)

FILE NAME: Autodesk Docs://1006633.02 - City of Saginaw Library Keeter Building Reno/ARCH-SPL-KeeterReno.rvt
DATE STAMP: 9/9/2024 5:39:22 PM

CLIENT

SAGINAW TEXAS

City of Saginaw, Texas

333 West McLeroy Blvd.
Saginaw, TX 76179
T 817 232 4640
F 817 232 0311

ARCHITECT

PGAL

PGAL, Inc.
3131 Briarpark Dr.
Suite 200
Houston, TX 77042
T 713 622 1444
F 713 622 1444
www.pgal.com

REGISTRATION

INTERIM REVIEW
THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF MICHAEL LLOYD, ARCHITECT TEXAS REG. NO. 18250 NOT FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.

DRAWING HISTORY

NO.	DATE	DESCRIPTION
A	2024/08/23	SCHEMATIC DESIGN

PROJECT NAME
SAGINAW KEETER BUILDING RENOVATION

PROJECT LOCATION
355 W McLeroy Blvd.
Saginaw,TX 76179

PROJECT NUMBER
1006633.02

SHEET TITLE
SITE PLAN

SHEET NUMBER
A1.01

GENERAL PLAN NOTES

1. ROOM AND DOOR REFERENCE NUMBERS ARE FOR CONSTRUCTION COORDINATION ONLY. CONTRACTOR SHALL COORDINATE WITH OWNER FOR FINAL ROOM & DOOR IDENTIFICATION.
2. DO NOT SCALE DIMENSIONS FROM DRAWINGS, ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
3. ALL DIMENSIONS ARE TO FACE OF STUD, GRID LINES AND FACE OF MASONRY INFILL WALL U.N.O. ALL DIMENSIONS TO EXISTING WALLS ARE TO FACE OF WALL ASSEMBLY U.N.O.
4. ALL 36" WIDE INTERIOR SWING DOORS SHALL BE LOCATED 2'-0" FROM CENTER OF DOOR TO PERPENDICULAR SURFACE OF ADJACENT WALL AT DOOR JAMB U.N.O.
5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
6. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFORMATION BEFORE EXECUTION OF WORK.
7. REFER TO WALL TYPE SCHEDULE FOR ADDITIONAL INFORMATION.
8. ALL SHAFTS PENETRATING SLAB SHALL BE RATED 2HR.
9. CONTRACTOR SHALL FIELD COORDINATE LOCATION, SIZE AND TYPE OF BLOCKING FOR INSTALLATION OF SIGNAGE, PLUMBING FIXTURES, MILLWORK, ETC. ALL CONCEALED WOOD SHALL BE FIRE RETARDANT TREATED (F.R.T.).
10. PROVIDE IN-WALL REINFORCEMENT FOR ALL WALL MOUNTED FURNITURE AND EQUIPMENT AS REQUIRED.
11. POWERWASH ENTIRE EXTERIOR FACADES.
12. POINT EXISTING BRICK AS NEEDED.
13. RECAULK EXTERIOR GLAZING.

PLAN GRAPHICS LEGEND

INDICATES 1/4" PER FOOT SLOPE TO DRAIN AT ROOF

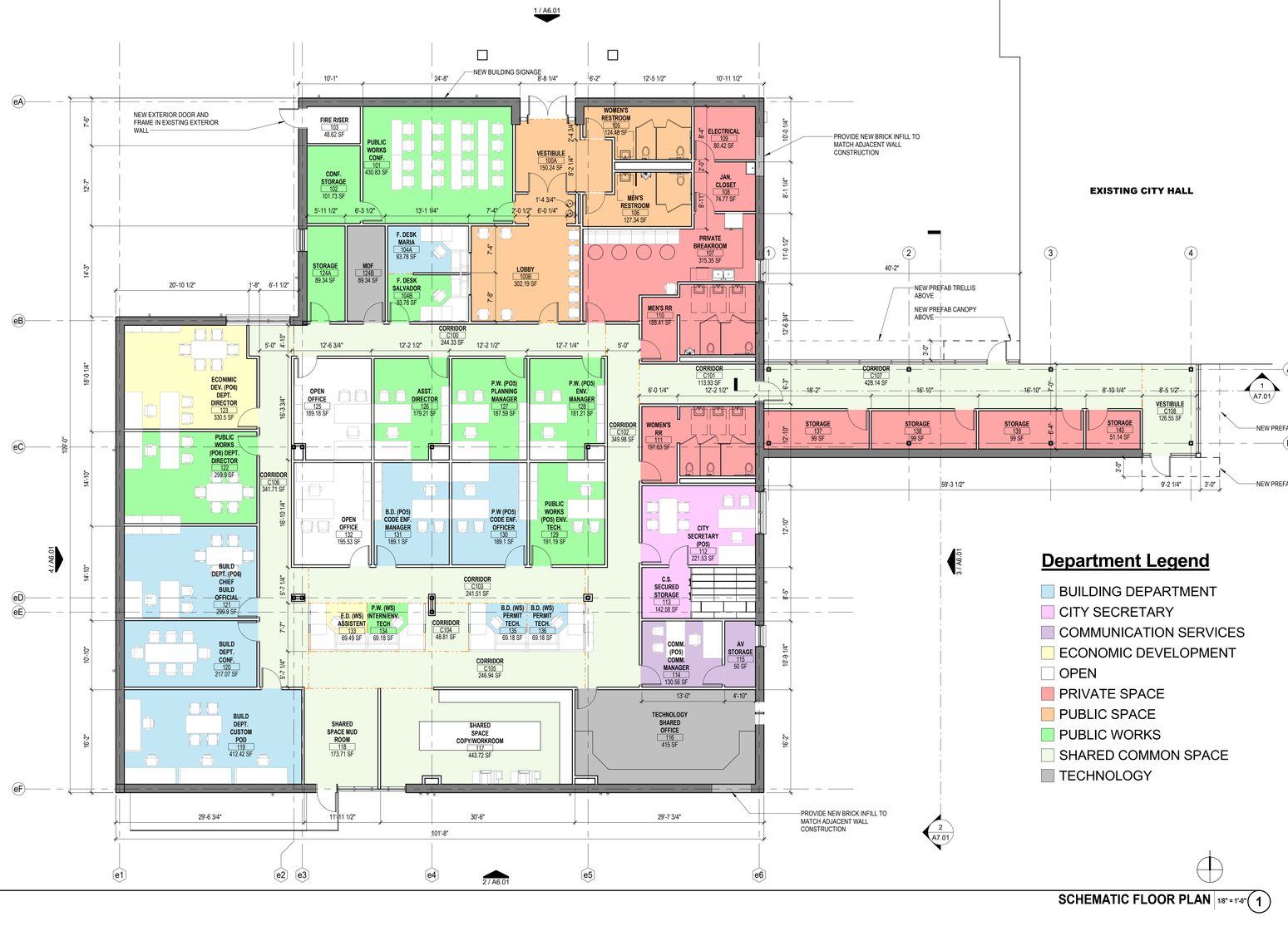
INDICATES SCOPE OF WORK TO BE INCLUDED IN THIS PERMIT

INDICATES SCOPE OF WORK TO BE INCLUDED IN FUTURE FIT OUT UNDER SEPARATE PERMIT

KEYNOTE LEGEND

NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CSI DIVISION

NUMBER	DESCRIPTION



Department Legend

- BUILDING DEPARTMENT
- CITY SECRETARY
- COMMUNICATION SERVICES
- ECONOMIC DEVELOPMENT
- OPEN
- PRIVATE SPACE
- PUBLIC SPACE
- PUBLIC WORKS
- SHARED COMMON SPACE
- TECHNOLOGY

SCHEMATIC FLOOR PLAN 1/8" = 1'-0" (1)

CLIENT

SAGINAW TEXAS

City of Saginaw, Texas

333 West McLeroy Blvd.
Saginaw, TX 76179
T 817 232 4640
F 817 232 0311

ARCHITECT

PGAL

PGAL, Inc.
3131 Briarpark Dr.
Suite 200
Houston, TX 77042
T 713 622 1444
F 713 622 1444
www.pgal.com

REGISTRATION

INTERIM REVIEW

THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF MICHAEL LLOYD, ARCHITECT TEXAS REG. NO. 18250 NOT FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.

DRAWING HISTORY

№	DATE	DESCRIPTION
A	2024/08/23	SCHEMATIC DESIGN

PROJECT NAME

SAGINAW KEETER BUILDING RENOVATION

PROJECT LOCATION

355 W McLeroy Blvd.
Saginaw,TX 76179

PROJECT NUMBER

1006633.02

SHEET TITLE

OVERALL FLOOR PLAN

SHEET NUMBER

A2.10

FILE NAME: Autodesk Docs://1006633.02 - City of Saginaw Library Keeter Building Reno/ARCH-SPL-KeeterReno.rvt
DATE STAMP: 9/9/2024 5:39:23 PM

GENERAL ROOF NOTES

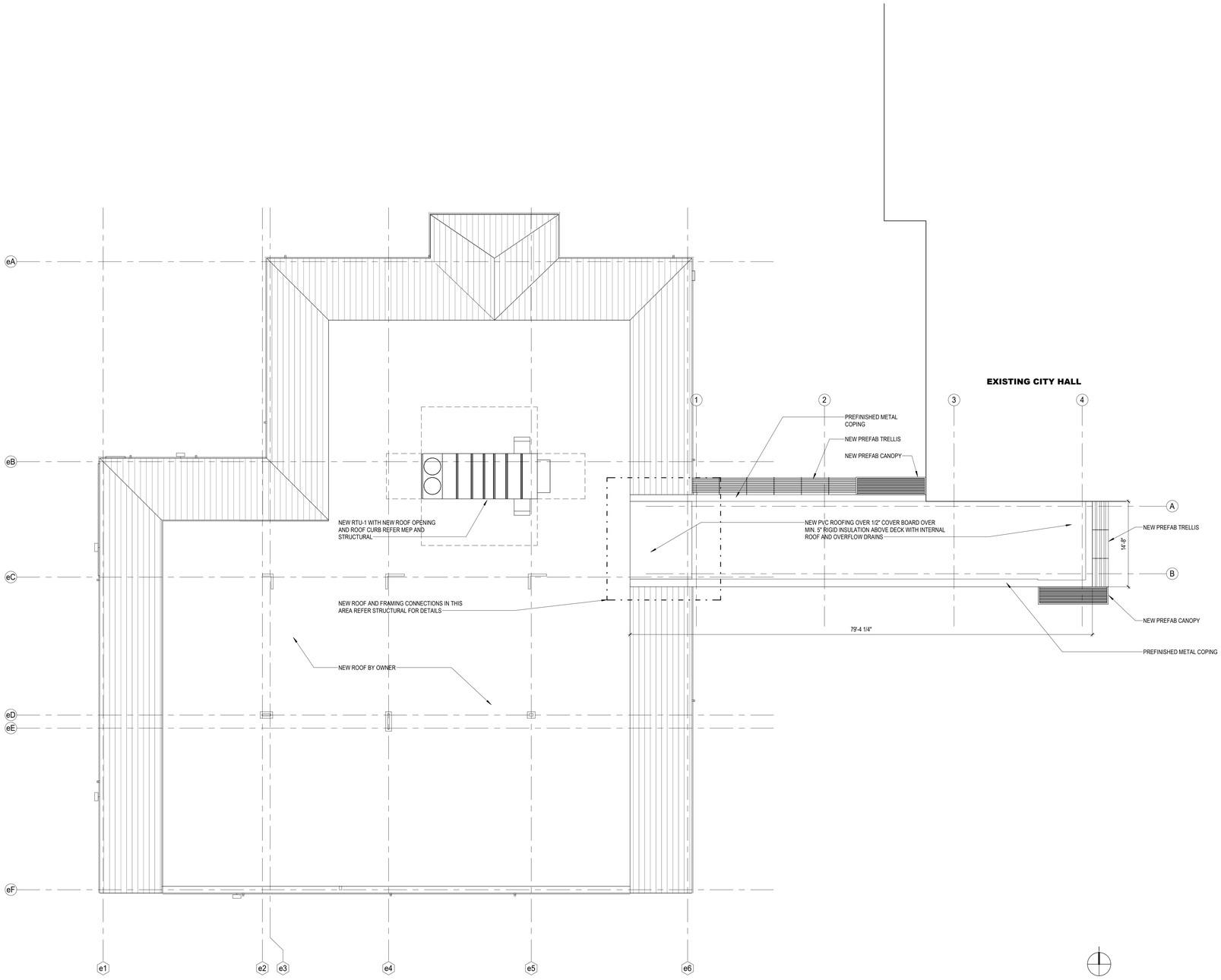
1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFORMATION BEFORE EXECUTION OF WORK.
3. DO NOT SCALE DIMENSIONS FROM DRAWINGS. ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
4. CONTRACTOR SHALL FIELD COORDINATE LOCATION, SIZE AND TYPE OF BLOCKING FOR INSTALLATION OF SIGNAGE, PLUMBING FIXTURES, MILLWORK, ETC. ALL CONCEALED WOOD SHALL BE FIRE RETARDANT TREATED (F.R.T).
5. ALL SHAFTS PENETRATING SLAB SHALL BE RATED 2HR.
6. ALL FLAT ROOF SLOPES SHALL BE 1/4" PER FOOT U.N.O.
7. PROVIDE WALKWAY ROOF PADS TO AND FROM ALL ACCESS POINTS AND AROUND THE PERIMETER OF ALL EQUIPMENT IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND ROOF MANUFACTURER SPECIFICATIONS.

ROOF GRAPHICS LEGEND

INDICATES 1/4" PER FOOT SLOPE TO DRAIN AT ROOF OR 2% SLOPE TO DRAIN AT EXTERIOR TERRACE

NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CSI DIVISION

NUMBER	DESCRIPTION



ROOF PLAN 1/8" = 1'-0" (1)

CLIENT

SAGINAW TEXAS

City of Saginaw, Texas

333 West McLeroy Blvd.
Saginaw, TX 76179
T 817 232 4640
F 817 232 0311

ARCHITECT

PGAL

PGAL, Inc.
3131 Briarpark Dr.
Suite 200
Houston, TX 77042
T 713 622 1444
F 713 622 1444
www.pgal.com

REGISTRATION

DRAWING HISTORY

No.	DATE	DESCRIPTION
A	2024/08/23	SCHEMATIC DESIGN

PROJECT NAME
SAGINAW KEETER BUILDING RENOVATION

PROJECT LOCATION
355 W McLeroy Blvd.
Saginaw,TX 76179

PROJECT NUMBER
1006633.02

SHEET TITLE
OVERALL ROOF PLAN

SHEET NUMBER
A2.30

FILE NAME: Autodesk Docs://1006633.02 - City of Saginaw Library Keeter Building Reno/ARCH-SPL-KeeterReno.rvt
DATE STAMP: 9/9/2024 5:39:24 PM

GENERAL RCP NOTES

1. DO NOT SCALE DIMENSIONS FROM DRAWINGS, ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
3. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFO. PRIOR TO EXECUTION OF THE WORK.
4. REFER TO PARTITION INFORMATION FOR ADDITIONAL INFORMATION.
5. ALL SHAFTS PENETRATING SLABS SHALL BE RATED 2HR.
6. CEILING HEIGHTS TO BE 10'-0" A.F.F. U.N.O.
7. LIGHT FIXTURES ARE DIMENSIONED TO CENTERLINE OF FIXTURE, OR PROVIDE THE "CL" (CENTERLINE) SYMBOL, AND / OR LINE TYPE ON THE DIMENSION STRING AT EACH FIXTURE.
8. REFER TO ELECTRICAL DRWGS FOR FIXTURE DESIGNATIONS AND TYPES.
8. FIXTURES SHALL BE CENTERED BETWEEN WALLS U.N.O.
9. CEILING GRIDS SHALL BE CENTERED IN ROOMS U.N.O.

RCP GRAPHIC LEGEND

ACT-1	2x2 ACOUSTICAL CEILING TILE SYSTEM
GWB-1	PAINTED, (1) LAYER 5/8" GWB CEILING ON METAL FRAMING SYSTEM.
STR-1	EXPOSED STRUCTURE PAINTED BLACK.

NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CSI DIVISION

NUMBER	DESCRIPTION

EXISTING CITY HALL

PROVIDE NEW FIRE SPRINKLER SYSTEM THROUGHOUT ABOVE CEILINGS. PROVIDE NEW CEILINGS WITH REINSTALLED DEVICES.

OVERALL REFLECTED CEILING PLAN 1/8" = 1'-0" (1)

FILE NAME: Autodesk Docs://1006633.02 - City of Saginaw Library Keeter Building Reno/ARCH-SPL-KeeterReno.rvt
DATE STAMP: 9/9/2024 5:39:25 PM

CLIENT

SAGINAW TEXAS

City of Saginaw, Texas

333 West McLeroy Blvd.
Saginaw, TX 76179
T 817 232 4640
F 817 232 0311

ARCHITECT

PGAL

PGAL, Inc.
3131 Briarpark Dr.
Suite 200
Houston, TX 77042
T 713 622 1444
F 713 622 1444
www.pgal.com

REGISTRATION

INTERIM REVIEW
THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF MICHAEL LLOYD, ARCHITECT TEXAS REG. NO. 18250 NOT FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.

DRAWING HISTORY

No.	DATE	DESCRIPTION
A	2024/08/23	SCHEMATIC DESIGN

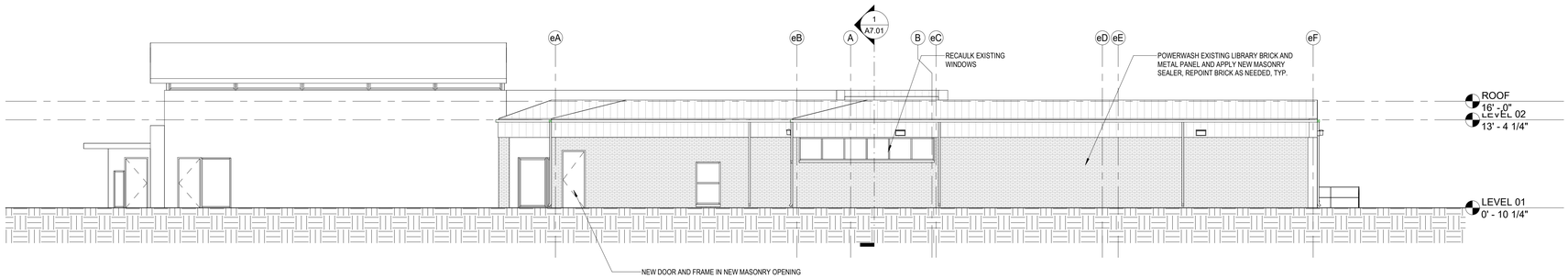
PROJECT NAME
SAGINAW KEETER BUILDING RENOVATION

PROJECT LOCATION
355 W McLeroy Blvd.
Saginaw,TX 76179

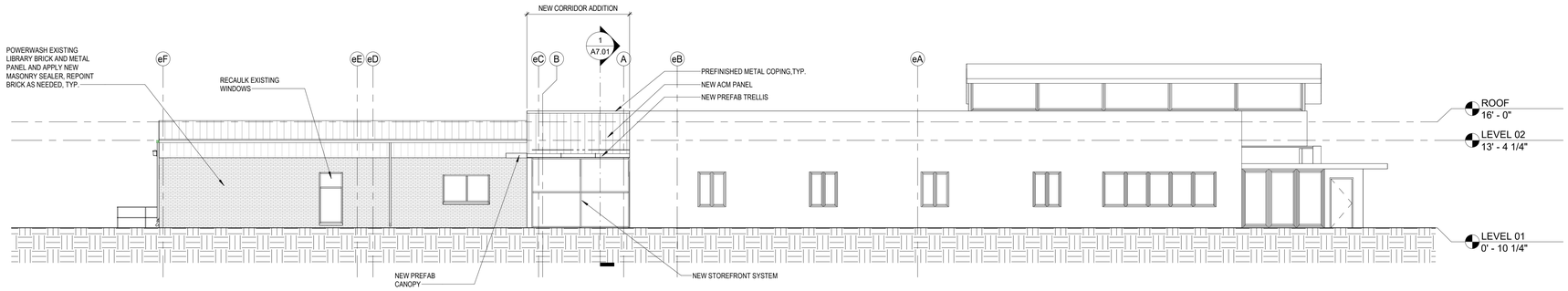
PROJECT NUMBER
1006633.02

SHEET TITLE
OVERALL REFLECTED CEILING PLAN

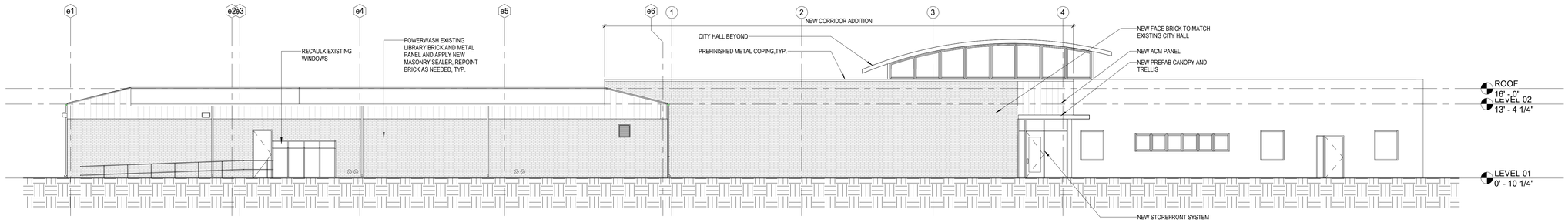
SHEET NUMBER
A3.10



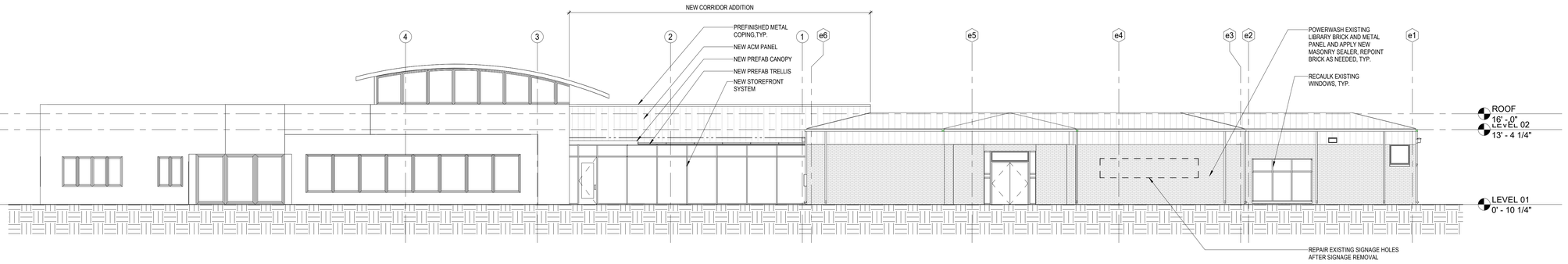
EXTERIOR ELEVATION - WEST 1/8" = 1'-0" (4)



EXTERIOR ELEVATION - EAST 1/8" = 1'-0" (3)



EXTERIOR ELEVATION - SOUTH 1/8" = 1'-0" (2)



EXTERIOR ELEVATION - NORTH 1/8" = 1'-0" (1)

GENERAL EXT. ELEV. NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFORMATION BEFORE EXECUTION OF WORK.
3. DO NOT SCALE DIMENSIONS FROM DRAWINGS, ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
4. CONTRACTOR SHALL FIELD COORDINATE LOCATION, SIZE AND TYPE OF BLOCKING FOR INSTALLATION OF SIGNAGE, PLUMBING FIXTURES, MILLWORK, ETC. ALL CONCEALED WOOD SHALL BE FIRE RETARDANT TREATED (F.R.T).
5. ALL SHAFTS PENETRATING SLAB SHALL BE RATED 2HR.
6. ALL ROOF SLOPES SHALL BE 1/4" PER FOOT U.N.O.
7. VERIFY ALL EXTERIOR PAINT COLORS WITH OWNER PRIOR TO PURCHASE.
8. STUCCO CONTROL JOINTS (CJ) SHOWN FOR ARCHITECTURAL PURPOSES. PROVIDE ADDITIONAL CONTROL JOINTS AS REQUIRED NOT EXCEEDING AREA LIMITATIONS AND MAXIMUM HEIGHT / LENGTH OF STUCCO SURFACES AS SPECIFIED. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
9. FINISHES, TRIM, DECORATIVE ELEMENTS ETC. SHALL WRAP ALL ELEVATIONS OF WALLS, COLUMNS ETC. WHEN ALL ELEVATIONS OF ARCHITECTURAL FEATURES ARE NOT PROVIDED IN THE CONSTRUCTION DOCUMENTS.

EXT. ELEV. GRAPHICS LEGEND

INDICATES 1/4" PER FOOT SLOPE TO DRAIN AT ROOF OR 2% SLOPE TO DRAIN AT EXTERIOR TERRACE

C J — CONTROL JOINT

NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CSI DIVISION

NUMBER	DESCRIPTION

CLIENT

SAGINAW TEXAS

City of Saginaw, Texas

333 West McLeroy Blvd.
Saginaw, TX 76179
T 817 232 4640
F 817 232 0311

ARCHITECT

PGAL

PGAL, Inc.
3131 Briarpark Dr.
Suite 200
Houston, TX 77042
T 713 622 1444
F 713 622 1444
www.pgal.com

REGISTRATION

INTERIM REVIEW
THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF MICHAEL LLOYD, ARCHITECT TEXAS REG. NO. 18250 NOT FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.

DRAWING HISTORY

№	DATE	DESCRIPTION
A	2024/08/23	SCHEMATIC DESIGN

PROJECT NAME
SAGINAW KEETER BUILDING RENOVATION

PROJECT LOCATION
355 W McLeroy Blvd.
Saginaw,TX 76179

PROJECT NUMBER
1006633.02

SHEET TITLE
EXTERIOR BUILDING ELEVATIONS

SHEET NUMBER
A6.01

FILE NAME: Autodesk Docs://1006633.02 - City of Saginaw Library Keeter Building Reno/ARCH-SPL-KeeterReno.rvt
DATE STAMP: 9/9/2024 5:39:31 PM

GENERAL SECTION NOTES

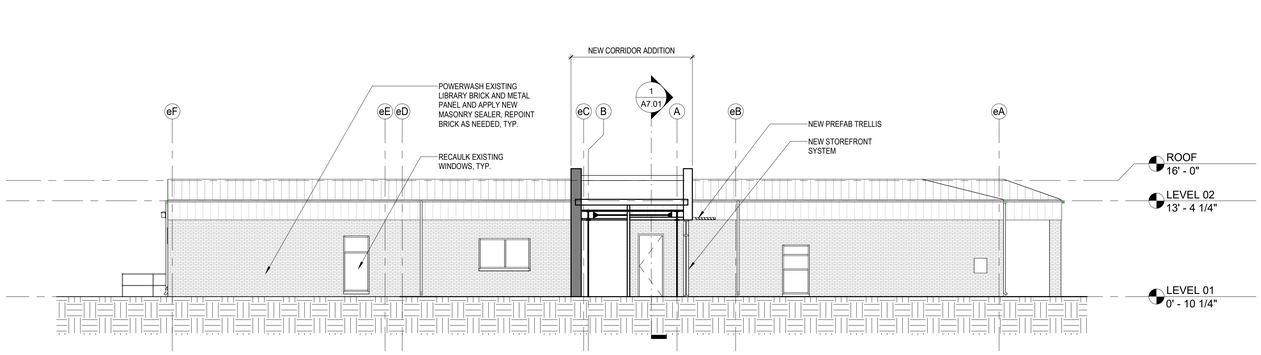
1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFORMATION BEFORE EXECUTION OF WORK.
3. DO NOT SCALE DIMENSIONS FROM DRAWINGS, ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
4. CONTRACTOR SHALL FIELD COORDINATE LOCATION, SIZE AND TYPE OF BLOCKING FOR INSTALLATION OF SIGNAGE, PLUMBING FIXTURES, MILLWORK, ETC. ALL CONCEALED WOOD SHALL BE FIRE RETARDANT TREATED (F.R.T).
5. ALL SHAFTS PENETRATING SLABS SHALL BE RATED 2HR.
6. ALL ROOF SLOPES SHALL BE 1/4" PER FOOT U.N.O.
7. REFER TO SHEETS AS.01T AND AS.02T FOR TYPICAL ROOF DETAILS.

SECTION GRAPHICS LEGEND

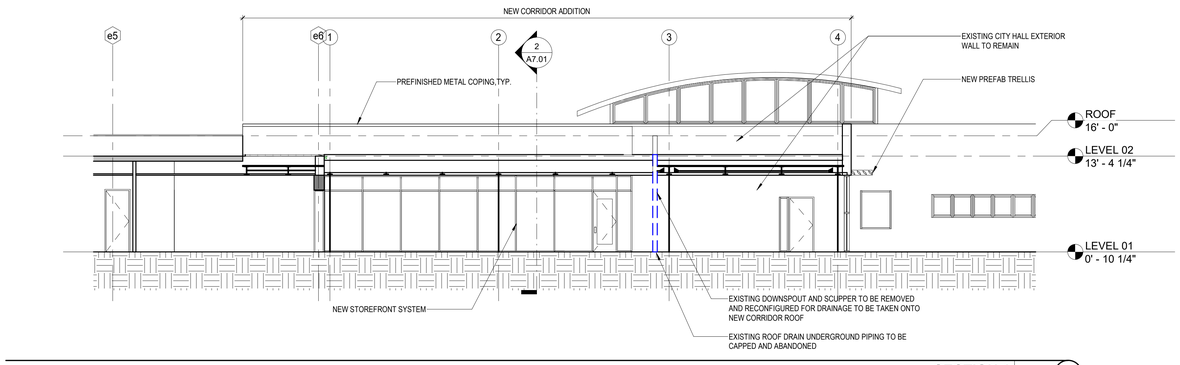
INDICATES 1/4" PER FOOT SLOPE TO DRAIN AT ROOF OR FINSHED GRADE SLOPED PER CIVIL DRAWINGS

NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CSI DIVISION

NUMBER	DESCRIPTION



SECTION 2 1/8" = 1'-0" (2)



SECTION 1 1/8" = 1'-0" (1)

CLIENT

City of Saginaw, Texas

333 West McLeroy Blvd.
Saginaw, TX 76179
T 817 232 4640
F 817 232 0311

ARCHITECT

PGAL, Inc.
3131 Briarpark Dr.
Suite 200
Houston, TX 77042
T 713 622 1444
F 713 622 1444
www.pgal.com

DRAWING HISTORY

№	DATE	DESCRIPTION
A	2024/08/23	SCHEMATIC DESIGN

PROJECT NAME

SAGINAW KEETER BUILDING RENOVATION

PROJECT LOCATION

355 W McLeroy Blvd.
Saginaw,TX 76179

PROJECT NUMBER

1006633.02

SHEET TITLE

BUILDING SECTIONS

SHEET NUMBER

A7.01

FILE NAME: Autodesk Docs://1006633.02 - City of Saginaw Library Keeter Building Reno/ARCH-SPL-KeeterReno.rvt
DATE STAMP: 9/9/2024 5:39:34 PM

Keeter Bldg. Renovation

31.00548

Schematic Design Narrative

Issue Date: 08/30/2024

Insert photo or rendering here

Client: **City of Saginaw, Texas**
Architect: **PGAL**
Engineer: **MEPCE, Inc.**

Table of Contents

EXECUTIVE SUMMARY

Design Narrative Intent

- The intent of this narrative is to give a description of the Mechanical, Electrical, and Plumbing (MEP) systems that will be used to serve the new renovations and additions to the project. Descriptions of the major renovations to the existing MEP systems in the existing building are also included in this narrative.

Applicable Codes and Standards

- 2021 International Fuel Gas Code (IFGC)
- 2021 International Building Code (IBC)
- 2021 International Mechanical Code (IMC)
- 2021 International Plumbing Code (IPC)
- 2021 International Energy Conservation Code (IECC)
- 2021 International Fire Code (IFC)
- 2020 National Electrical Code (NEC)
- Electrical Industries Association (EIA-242-D, EIA-485)
- ANSI/TIA-568-C.1: Commercial Building Telecommunications Cabling Standard, Part 1
- ANSI/TIA-568-C.2-1: Commercial Building Telecommunications Cabling Standard, Part 2: Balanced Twisted-Pair
- ANSI/TIA-568-C.3: Commercial Building Telecommunications Cabling Standard, Part 3: Optical Fiber Cabling
- ANSI/TIA-455-A: Standard Test Procedures for Fiber Optic Cables
- ANSI/CEA S83-596: Fiber Optic Premises Distribution Cable
- ANSI/TIA-526-7: Optical Power Loss Measurements of Installed Single Mode Fiber Cable Plant- OFSTP-7
- ANSI/TIA-526-14-A: Optical Power Loss Measurements of Installed Multi Mode Fiber Cable Plant- OFSTP-14A
- ANSI/TIA-569-A: Commercial Building Standards for Telecommunications Pathways and Spaces
- ANSI/TIA-606: The Administration Standard for the Telecommunications Infrastructure of Commercial Buildings
- ANSI/TIA-607: Commercial Building Grounding and Bonding Requirements for Telecommunications
- TIA/EIA 758: Customer-Outside Plant Telecommunications Cabling Standard

FIRE SUPPRESSION SCOPE NARRATIVE

Design Criteria

- Applicable Codes and Standards
  - Refer to Executive Summary section for applicable codes and standards

Existing Conditions

- The existing Library and City Hall currently do not have a fire suppression system.

Fire Suppression Site Utility Estimates

- MEPCE has developed preliminary fire suppression service utility estimates for the new hospital. The load analysis is based on building height, quantities of stairwell standpipes, NFPA 20 requirements, and historical experience with similarly occupied structures. This information is preliminary and will be developed further as the design progresses. Further development of the piping routing will occur as the building floorplan design progresses.

Building	Utility	Demand	Pipe Size (in)
Library and City Hall	Fire Suppression	500 GPM	6

- Both buildings will be provided with a single 6-inch fire suppression water line routed into the new fire riser room. All standpipes will be Class I, combination automatic wet type/riser system. All systems will comply with NFPA 13, 14, 20, and 24. The building will be protected throughout by wet pipe automatic sprinkler with floor control valves connected to the combination standpipes at all levels. The building will be predominantly light hazard.
- The contractor will need to provide a hydrant flow test taken with a year for all hydraulic calculations.
- For IT/MDF/IDF rooms, a pre-action sprinkler system shall be installed. It shall consist of a double interlocking system that is activated upon a signal from the fire alarm when a detection device is activated and the sprinkler opens simultaneously. The systems shall comply with NFPA 13.

Outline Specifications

21 05 00 Common Work Results for Fire Suppression
21 10 00 Water-Based Fire-Suppression Systems

- This section specifies various components for water-based fire suppression systems. Included are piping, hangers, sprinklers, valves and alarm bells. Fire sprinkler piping will be schedule 40 and schedule 10 steel pipe.
- Required submittals will include calculations, product data, shop drawings, and approval from the local Authority Having Jurisdiction (AHJ).

PLUMBING SCOPE NARRATIVE

Design Criteria

- Applicable Codes and Standards
    - Refer to Executive Summary section for applicable codes and standards

Existing Conditions

- The existing library's domestic water line size is unidentified on existing as-built drawings and will need further investigation. There is no domestic water backflow preventer protecting the domestic water line connection to the city. The sanitary sewer line is assumed to be a 4 " sanitary sewer line until this can be confirmed through accurate record drawings. The natural gas line is approximately a 1" line at an unknown pressure. The storm drain system is currently gutters and downspouts around the perimeter of the building.

Domestic Water System

- The existing domestic water and natural gas system will be rerouted from the northwest corner of the facility to the new riser room located in the northwest corner of the building. The domestic water line will have a new reduced pressure backflow preventer installed.
- The new domestic water line into the building will be 2 ½".
- A new 100" gallon, 120 MBH natural gas water heater will store water at 140 degrees F with a thermostatic mixing valve used to deliver hot water at 120 degrees F.
- A recirculating domestic hot water system will be utilized. The domestic hot water main will be a approximately 1 ½" in diameter.
- Lavatories will utilize ASSE 1070 thermostatic mixing valves to temper water from 120 degrees F to 110 degrees F.

Plumbing Fixtures

- All existing plumbing fixtures will be replaced. All new plumbing fixtures will be hard-wired sensor type fixtures. Estimated flow rates are as follows:

Water Closets:	1.28 gallons per flush (GPF)
Urinals:	0.125 GPF
Lavatories:	0.5 gallons per minute (GPM)
Showers:	1.5 gallons per minute (GPM)

Other Sinks: 1.5 gallons per minute (GPM)

Sanitary Sewer System

- New sanitary sewer piping will tie into the existing sanitary sewer outside of the building.

Storm Drain System

- The storm drain system will remain gutters and downspouts. No new storm drains are anticipated.

Natural Gas System

- The gas meter and natural gas main to the building will be rerouted around the north end of the building to the new riser room. The size will remain 1 ½". The gas meter will be replaced and a new gas regulator will be installed to maintain a minimum of 2 psig. A new 1" natural gas line will be installed downstream of the new gas regulator to the new mechanical equipment and water heater.

Outline Specifications

22 05 00 Common Work Results for Plumbing
22 05 16 Expansion Fittings and Loops for Plumbing Piping
22 05 19 Thermometers and Gages for Plumbing Piping
- Required submittals will include product data.

22 05 23 General-Duty Valves for Plumbing Piping
- This section specifies various valves used for plumbing piping for shut-off duty, throttling duty and drain valves. It does not include stop valves for plumbing fixtures. Valves for this project will include the following:
- For domestic water shut-off: two piece, copper alloy ball valves with full port, chrome plated bronze ball with PTFE seats.
- For flow direction control: Type 2, class 125 bronze check valves with non-metallic disc and bronze seat.
- Required submittals will include product data for all valve types.

22 05 29 Hangers and Supports for Plumbing Piping and Equipment
- Required submittals will include product data and application.

22 05 53 Identification for Plumbing Piping and Equipment

- This section specifies labels for piping, equipment and valves. In addition, it specifies the color code used to identify warning signs and various fluids in the plumbing system. All equipment will have metal labels. Labels should include the following:
    - Drawing designation or unique equipment number
    - Drawing numbers where equipment is identified on plans, details and schedules
    - Specification section number and title where equipment is specified
    - Equipment manufacturer
    - Equipment model number
    - Equipment serial number
    - Voltage
    - MCA
    - GPM
- Date of manufacture
- Required submittals will be product data, samples, equipment label schedule, valve numbering scheme, and valve schedule.

22 07 00 Plumbing Insulation

- This section specifies the various insulations used for domestic water piping and jacketing required. Allowable insulation materials will be as follows:
    - Domestic Cold water:
    - Flexible Elastomeric, ½" thick minimum
    - Domestic Hot water:
    - Flexible elastomeric ½" thick minimum
    - Mineral-fiber, preformed, type I, 1" thick minimum
    - Condensate and equipment drain piping:
    - Flexible elastomeric ¾" thick minimum
    - Drawing numbers where equipment is identified on plans, details and schedules
    - Required submittals will include product data.

22 11 16 Domestic Water Piping

- This section specifies the piping, fittings, and support spacing used for domestic, potable water for the project. Pipe types allowed for this project will be soft copper tube, types K and L, and hard copper tube, types L and M.
- Required submittals will be product data and shop drawings.

22 11 19 Domestic Water Piping Specialties

22 11 24 Facility Natural Gas Piping

- This section specifies the piping, fittings and support spacing used for natural gas piping within the building. Pipe type allowed for this project will be steel piping with welded fittings.
- Required submittals will include product data and shop drawings.

22 13 16 Sanitary Waste and Vent Piping

- This section specifies the waste and vent piping used for the project, within the building, both above and below grade. This includes piping, fittings and supports. Pipe types allowed for this project will be the following:
    - Service class cast iron soil pipe and fittings, gaskets, and gasketed joints
    - Hubless cast iron soil pipe and fittings
    - Steel pipe, drainage fittings and threaded joints
    - Stainless steel pipe and fittings, gaskets and gasketed joints
    - Solid-wall PVC pipe, PVC socket fittings, and solvent-cemented joints (not for use in return air plenums
    - Required submittals will be product data and shop drawings.

22 13 19 Sanitary Waste Piping Specialties

22 34 00 Fuel-Fired Domestic Water Heaters

- Domestic water heaters will be commercial type, vertical storage tank, small footprint, fire tube, condensing water heater, 96% efficient minimum, with 299,000 BTU/hr input and 100 gallon capacity. Water heaters will be PVI Conquest -299 or approved equal. Water heaters will come with a 15 year factory warranty.
- Required submittals will be product data and shop drawings.

22 40 00 Plumbing Fixtures

- Fixture types will be as follows:
    - Water closets – wall hung, sensor-operated flush valves, 1.28 gallon per flush maximum, 1000 MaP rating, white, vitreous china. Both standard and TAS accessible heights.
    - Lavatories – undermount, sensor-operated faucets, 0.5 gallon per minute maximum flow, white, vitreous china. TAS accessible.
    - Urinals – wall-hung, sensor-operated flush valves, 0.125 gallon per flush maximum, white, vitreous china. Both standard and TAS accessible heights.
    - Breakroom sinks – single- or double- compartment, TAS accessible, countertop, stainless steel with single, lever handle and pull-out sprayer. 1.0 gpm maximum flow.
    - Showers – TAS accessible and standard. Shower valves will be pressure-balancing type. 1.5 gpm maximum flow.
    - Commercial kitchen plumbing fixtures will be specified by the kitchen equipment supplier, but will be water-saving type to comply with LEED requirements.
    - Sensor operated fixtures will be either hard-wired or battery-powered, but only if a regenerative battery option is provided (such as the EcoPower option by Toto, in which a turbine recharges the battery)
- Required submittals will be product data.

22 47 00 Drinking Fountains and Water Coolers

- Water coolers will be wall-hung, bi-level, TAS accessible, vandal-resistant, stainless steel with bottle fillers.
- Required submittals will be product data.

HVAC SCOPE NARRATIVE

Design Criteria

- Indoor Design Conditions
  - Cooling: 75.0°F Dry-Bulb / 60.0°F Dew-Point (approx. 50% RH)
  - Heating: 70.0°F Dry-Bulb
- Outdoor Design Conditions
  - Cooling: 101.6°F Dry-Bulb / 74.0°F Wet-Bulb
  - Heating: 22.6°F Dry-Bulb

Existing Conditions

The facility is currently served by seven (7) split-system air-conditioning units. Six (6) systems provide 5-ton (nominal) cooling capacity and the remaining system adds 4-ton more for a total of 34-ton.

Mechanical Load Estimate

MEPCE has developed a preliminary HVAC load estimate for the project. The load analysis is based on climatic design conditions according to World Meteorological Organization (WMO) station 747390, “Ft. Worth Meacham, TX, USA,” and Climate Zone 2A. Building assemblies are assumed to meet 2021 IECC minimum thermal envelope requirments.

HVAC System

Option 1:

The primary HVAC system will be configured as Multiple-Zone (MZ) Variable-Air-Volume (VAV) using packaged, rooftop air-conditioning units (RTU) and single-duct, VAV air terminal units (ATU). The estimated nominal cooling capacity required for the facility is 30-ton. (See attached roof plan) Heating will not be provided at the RTU; instead, the ATUs will include electric-resistance heating coils as required. (See attached zoning plan)

The basis-of-design RTU will be a Carrier 50V series unit and include the following components, options, and accessories:

- Air-Side Economizer
  - Differential enthalpy with fixed dry-bulb temperature
  - Low-leakage dampers
  - Outdoor air flow measurment for ventilation control
- Relief Fan
  - 2-stage (minimum), low-static air flow control
  - Barometric dampers
- Air Filtration

    - 2” thick, pleated, panel filter rack
    - Minimum MERV-11 filtration accomodations
- Cooling
    - High-efficiency direct-expansion (DX) refrigerant system
    - Modulating capacity control
    - Variable-speed condenser fans
    - Condenser hail and vandal guards
- Supply Fan
    - Factory-mounted variable-speed drive
    - Shaft grounding system
- Roof Curb
    - Manufacturer’s standard, insulated 1’-2” tall curb
    - Acoustic attenuation fill material
- Controls
    - Stand-alone, manufacturer furnished equipment controller
    - Optimized startup
    - Supply air temperature control with temperature reset
    - Duct-mounted supply air static pressure VAV fan control
    - Demand control ventilation only as needed (if applicable)
- Safeties
    - Return air smoke detection
    - Condensate overflow
    - Filter status (differential pressure switch)
    - Economizer fault detection and diagnositcs
    - Supply air high-static pressure

The basis-of-design ATUs will be Price SDV units and include the following components, options, and accessories:

- Air flow measurement sensor
- Motorized damper
- Controls
    - Stand-alone, manufacturer furnished equipment controller
    - Manufacturer furnished space-mounted sensor
- Electric Reheat
    - Modulating capacity control

Option 2:

The existing split-system air-conditioning units will be replaced with new, comparable equipment. The basis-of-design split-systems will be Carrier Infinity Series condensing units, evaporators (cooling coils), and gas-fired furnaces and include the following components, options, and accessories:

- Air-Side Economizer Kit
- Air Filtration
    - 2” thick, pleated, panel filter rack

    - Minimum MERV-11 filtration accomodations
- Oudoor Condensing Unit
    - Staged capacity control
- Indoor Evaporator Coil
- Gas-Fired Furnace
    - High efficiency, condensing furnace
- Supply Fan
    - Multiple-speed, direct-drive motor
- Controls
    - Stand-alone, manufacturer furnished thermostatic controller
- Safeties
    - Condensate overflow
    - Filter status (differential pressure switch)
    - Economizer fault detection and diagnositcs

Both Options:

- Ductless Split-System Air-Conditioning Units – Electrical and Data/Communications Rooms
    - Carrier Infinity Series High Wall Indoor Unit (Basis-of-Design)
    - Cooling only
- Concealed, Ducted Split-System Air-Conditions Unit – New Connector Addition
    - Carrier Performance Series Ducted Indoor Unit (Basis-of-Design)
    - Heat pump
- Electric Unit Heaters – Fire Riser Room
    - Q-Mark MUH Series (Basis-of-Design)

Air Distribution System

- Supply Air
    - Externally wrapped sheet metal ductwork
    - Constructed according to current SMACNA Standards
    - Insulated per 2021 IECC requirements
- Return Air
    - Open plenum, above ceiling return
    - Internally-line, transfer-air ducts where plenum is separated with partitions
- Exhaust Air
    - Uninsulated sheet metal ductwork
    - Constructed according to current SMACNA Standards

Ventilation and Exhaust

Outdoor (fresh air) will be supplied, according to 2021 IMC ventilation rate procedure, to each zone with the conditioned air. Outdoor air will be supplied continuously during occupied hours of building operation.

Demand controlled ventilation (DCV) will be provided for spaces larger than 500 square feet and with an average occupant load of 15 people or greater per 1,000 square feet of floor area. Additional criteria and exceptions may be found in 2021 IECC.

Restrooms will be exhausted at a rate of 75 cfm per fixture (water closet or urinal). Exhaust will be continuous during occupied hours of building operation. The basis-of-design exhaust air fans will be Loren Cook ACED roof-mounted, downblast, direct-drive fans with speed controller for balancing.

Outline Specifications

23 05 13	Common Motor Requirements for HVAC Equipment
23 05 17	Sleeves and Sleeve Seals for HVAC Piping
23 05 29	Hangers & Supports for HVAC
23 05 48	Vibration and Seismic Controls for HVAC
23 05 53	Identification for HVAC
23 05 93	Testing, Adjusting, and Balancing for HVAC
23 07 00	HVAC Insulation
23 11 23	Facility Natural-Gas Piping
23 23 00	Refrigerant Piping
23 31 13	Metal Ducts
23 33 00	Air Duct Accessories
23 34 23	HVAC Power Ventilators
23 36 00	Air Terminal Units
23 37 13	Diffusers, Registers, and Grilles
23 41 00	Particulate Air Filtration
23 74 16	Packaged, Rooftop Air-Conditioning Units (Option 1)
23 81 26	Split-Sytem Air-Conditioners
23 82 39	Unit Heaters

ELECTRICAL SCOPE NARRATIVE

Design Criteria

- Applicable Codes and Standards
    - Refer to Executive Summary section for applicable codes and standards

Existing Conditions

- The existing electrical service is 120/240v, 1ph, 3W. Service entrance feeders are provided by a pole mounted utility transformer and run underground to the building's main service entrance meter and disconnect switch. A feeder is fed from the main disconnect switch to the main distribution panel. The distribution panel serves additional panels downstream to serve the building's electrical distribution system. Based on the proposed renovation portions of the existing electrical distribution system will need to be demolished and replaced with new.

Electrical Load Estimates

- The total square footage of the renovated space is approximately 10,000 square foot (sqft). Based on an estimated 8 Watts/sqft the electrical service needed to serve the space is 100kVA (416 amperes). As the drawings develop a comprehensive electrical load analysis will be developed to determine the exact loads needed to service the building including, lighting, power, HVAC and equipment loads. Load calculations will be based on the NEC 2023 edition. Power density calculations for lighting will be included using Comcheck. Energy calculations will be performed in accordance with the local energy codes and will ensure the building complies with an energy efficiency design.

Main Electrical Service

- The current utility provider for the building is ONCOR.
- Based on the load information above, MEPCE proposes to reuse the existing electrical service size, including the service feeders and meter. If the electrical service needs to be upgraded or modified, MEPCE will coordinate with the utility provider while notifying other disciplines of the impact.

Electrical Distribution equipment

- A new distribution panel and branch panels will he located in the main electrical room to serve the building's electrical distribution system. Owner may elect to salvage the existing electrical equipment for reuse in the building, however some equipment appears be past its useful life. MEPCE will further evaluate the condition of the equipment and provide recommendations for reuse of existing equipment.

Emergency and Standby Power Systems

- A centralized Battery inverter will be in the main electrical room to serve the egress lighting in the corridors, vestibule and building exits.

Electrical Equipment Spatial Allocation, Access and Maintenance

- Based on the newly allocated space for the electrical room, the square footage appears to have been decreased. To accommodate the revised space, the electrical panels will be arranged and positioned to ensure the proper NEC working clearances in front of all electrical equipment. The preliminary design will include 3, surface mounted branch panels that will each require a maximum horizontal wall space of roughly 30".
- The centralized battery inverter will be installed in the electrical room. The estimated horizontal wall space needed for installation is 26".
- A lighting control time clock will be installed in the electrical room for exterior lighting controls. The estimated horizontal wall space needed for installation is 8".

Lighting Systems

- Lighting throughout the building will consist of a variety of fixture types to suit individual space needs and applications. All fixtures will be specified as LED type. The majority of lighting in general back of house areas will be 2'x4' lay-in fixtures. Decorative fixtures will be provided in public lobbies and entry areas.
- Various lighting fixtures throughout the path of egress in the building will be connected to the centralized battery inverter. The remainder of the lighting will be connected to the normal power system.
- Lighting power densities throughout the building will be designed in accordance with the local energy codes. Light levels and fixture types within each space shall be designed in accordance with the latest IESNA guidelines.
- Coordination with the architect for specialty fixture models and locations will be ongoing throughout the project. Preliminary fixture schedules will be provided at Design Development submittal package.

Lighting Controls

- Controls will be provided to control lighting fixtures and loads in accordance with the local energy codes. Lighting controls will consist of vacancy/occupancy sensing devices, daylight photosensors, and timer-based relay panels as required to control lights per code.
- Generally, lighting controls functionality will consist of the following:
    - Vacancy sensors for manual on / auto off in all small rooms, back of house, storage, offices and housekeeping. Vacancy sensors may be integrated into wall switch if room is <200s.f.
    - Timer based controls for all public lobbies and corridors. Override switches will be provided at various locations for manual ON after normal operating hours.
    - Ceiling mounted vacancy sensors in all larger rooms for manual on / auto off control.
    - Open office areas will be provided with automatic control of not more than 600s.f. zones, with manual override push-button switches.
    - Daylight sensing will provide for automatic dimming of fixtures in daylight zones, where daylight zone exceeds 150W of lighting.
- Exterior building lighting control will be provided to reduce lighting power by not less than 30% after business hours. This will be accomplished be either dimming fixtures to lower output levels or turning off select exterior fixtures.

Outline Specifications

26 05 19 Low-Voltage Electrical Power Conductors

- All branch circuit and feeder conductors within the building will be 98% conductivity copper. Conductors #8 AWG and larger shall be stranded. Type THHN or THWN insulation will be specified for all conductors. The use of metal-clad type MC cable shall be limited to fixture whips and final connection to equipment, lengths not to exceed 6 feet.
- Typical manufacturers who provide basis-of-design quality conductors are Southwire, General Cable, and Encore Wire.

26 05 26 Grounding and Bonding for Electrical Systems

- All ground conductors shall be copper. All ground conductors #8 AWG and larger shall be stranded. Ground rods shall be 3/4" x 10’ copper-clad steel. Ground busses shall be rectangular bars of annealed copper, 1/4" x 2” in cross section and shall have lengths as required to accommodate all connected ground conductors. All grounding and bonding materials and equipment shall comply with UL 467.

- A ground ring will be constructed in the basement and crawlspace areas of the building, to provide a solidly grounded system for the lightning protection and electrical distribution systems. At various locations along the perimeter ground ring, the loop conductor will be connected to a triad of ground rods. Grounding busses will be provided within each electrical and telecommunications room. All feeders and branch circuit s shall contain an insulated equipment grounding conductor.
- Grounding system resistance tests shall be performed by a qualified agency or contractor. Grounding resistance shall not exceed 3 ohms at the electrical services.

26 05 29 Hangers and Supports for Electrical Systems

- Hangers and supports for electrical equipment, busways, and conduit systems shall be constructed of slotted galvanized steel support systems. Installation of support systems shall be in strict compliance with the requirements of NECA 1 and NECA 101.
- Manufacturers offering slotted steel support products with the basis-of-design quality include Eaton/Cooper B-Line, Unistrut, and Thomas & Betts.

23 05 29 Hangers & Supports for HVAC Piping and Equipment

- Required submittals will include product data.

26 05 33 Raceway and Boxes for Electrical Systems

- Within the building, conduit shall be used for all branch circuits and feeders. Where concealed within ceilings or walls, type EMT shall be used. Where exposed conduit is used, it shall be either type IMC or galvanized rigid steel conduit. Flexible metal conduit will only be acceptable at final connections to light fixtures or vibrating equipment, and shall only be used in lengths of less than 6 feet.
- Wireways and junction / device boxes shall be made of sheet metal. Enclosures and cabinets shall have continuous hinged covers.
- Manufacturers offering conduit that meets the basis-of-design quality include Wheatland Tube, Allied Tube and Conduit, and Republic Conduit.

26 05 53 Identification for Electrical Systems

- All equipment, conduit, raceways, boxes, and conductors shall be adequately identified. Raceways / conduit shall be identified with self-adhesive vinyl labels indicating feeder voltage, origination, and destination. Conductors shall be either factory color coded or labeled with color-coding tape. Each phase conductor and ground conductor shall be color coded in accordance with industry standard color systems. All equipment (including panelboards, disconnect switches, switchboards, UPS equipment, transfer switches, transformers, and equipment cabinets) shall be labeled with self adhesive engraved laminated acrylic or melamine labels. Equipment labels shall include device/equipment name/tag, voltage, phase, and “fed from” location.

26 05 73 Overcurrent Protective Device Coordination Study

- Project shall include an overcurrent device coordination study, performed by a qualified licensed professional engineer. All distribution system components/breakers shall be properly coordinated to ensure fault isolation to the nearest upstream circuit breaker.

The overcurrent device study shall include time/current curves and settings for all electronic trip and adjustable trip setting breakers/devices.

26 09 23 Lighting Control Devices

- Lighting control devices will include occupancy/vacancy sensors. Ceiling mounted occupant sensing devices shall be dual technology (passive infrared and ultrasonic) type. Combination wall switch sensors shall be passive infrared type, with manual override switches.
- Manufacturers offering products that meet the basis-of-design quality include Wattstopper, Acuity Controls/Sensor Switch, and Leviton.

26 24 16 Panelboards

- Panelboards shall be surface mounted type, with bolt-on, molded case overcurrent protection devices. Panels shall be NEMA 250, Type 1, with tinned aluminum bussing and hinged front cover. All lugs shall be compression type. Each panel shall have an integral/internal power monitoring device with digital display, capable of recording and monitoring voltage levels, and power consumption. Metering devices will assist in verification of electrical power consumption as required by LEED Credit EA5, Measurement and Verification.
- Manufacturers offering products that meet the basis-of-design are Eaton, Square-D/Schneider Electric, or Siemens.

26 27 26 Wiring Devices

- Commercial grade wiring devices shall be used for all receptacles and switches.
- Manufacturers offering products that meet the basis-of-design include Cooper Wiring Devices, Hubbell, Leviton, and Pass & Seymour/Legrand.

26 28 16 Enclosed Switches and Circuit Breakers

- Enclosed switches and circuit breakers shall be heavy-duty type. Fusible and non-fusible switches shall be used where applicable. In dry locations, switches shall be NEMA 250, Type 1. In outdoor areas, switches shall be NEMA 250, Type 4.
- Manufacturers offering products that meet the basis-of-design are Eaton, Square-D/Schneider Electric, or Siemens.

26 33 53 Static Uninterruptible Power Supply

- UPS units shall be battery type (VRLA), with minimum 30 minutes of battery backup at full load. Units shall be full on-line double conversion type, with power quality filtering and internal static bypass functionality.
- Manufacturers offering products that meet the basis-of-design quality are Emerson, APC/Schneider Electric, and Eaton.

26 43 13 Surge Protection Devices for Low-Voltage Electrical Power Circuits

- All service entrance switchboards, distribution panels, and branch circuit panels serving electronic/telecommunication circuits shall have integral/internal surge protection devices. Devices shall be factory installed by the same manufacturer as the switchboard/panel.

- Manufacturers offering products that meet the basis-of-design are Eaton, Square-D/Schneider Electric, or Siemens.

26 51 00 Interior Lighting

- All interior lighting fixtures shall be LED type, selected in accordance with general requirements outlined above. All light fixtures shall have a minimum of 5 year warranty against defects. Drivers for LED fixtures shall be dimmable where required, with 0-10v dimming capability.

- Manufacturers offering products that meet the basis-of-design quality are Emerson, APC/Schneider Electric, and Eaton.

26 36 00 Transfer Switches

- Transfer switches shall be contactor type, open/programmed transition, with 4-pole contacts. Neutral pole shall be switched with phase contacts. Switches shall be automatic type, with fault current closing and withstand ratings adequate for fault conditions at switch location. Switch shall have silver or silver alloy composition.
- Manufacturer of switches shall be the same as the generator manufacturer.

26 41 13 Lightning Protection for Structures

- Lightning protection system shall be installed on the building in accordance with NFPA 780 requirements. Provide aluminum air terminals and aluminum main and bonding conductors. Building shall have approximately 12 down conductors, connecting to the ground loop in accordance with the requirements.

26 43 13 Surge Protection Devices for Low-Voltage Electrical Power Circuits

- All service entrance switchboards, distribution panels, and branch circuit panels serving electronic/telecommunication circuits shall have integral/internal surge protection devices. Devices shall be factory installed by the same manufacturer as the switchboard/panel.
- Manufacturers offering products that meet the basis-of-design are Eaton, Square-D/Schneider Electric, or Siemens.

26 51 00 Interior Lighting

- All interior lighting fixtures shall be LED type, selected in accordance with general requirements outlined above. All light fixtures shall have a minimum of 5 year warranty against defects. Drivers for LED fixtures shall be dimmable where required, with 0-10v dimming capability.

LOW VOLTAGE SCOPE NARRATIVE

Design Criteria

- Applicable Codes and Standards
  - Refer to Executive Summary section for applicable codes and standards.

General Conditions

The Structured Cabling System (SCS) will be designed to applicable Telecommunication Industry Standards

- Association (TIA) standards. The SCS design will consist of horizontal links (Category 6) to designated workstations/device outlets and a fiber optic and copper backbone to each technology room.

The owner will provide the network equipment and programming for the Project's Local Area Network (LAN) and, as such, provide communications connectivity for the following systems:

- Network switches and port configuration
- Voice over Internet Protocol (VoIP)
- Wireless Local Area Network (WLAN)
- Security camera subnets
- Audiovisual subnets (if applicable)

Main Telecommunication Equipment Room

As it is currently configured, each facility has a single Equipment Room/Entrance Facility where site fiber and utility will be terminated. All local structured cabling will be terminated in this room.
MEPCE suggests utilizing a combination 4-post racks and cabinets to house the owner's server equipment. For local structured cabling distribution, 4-post racks are recommended.
Owner requested that each facilities Equipment Room be interconnected with conduit pathways for a future fiber loop.
All facility headend equipment will be located in this room including:

- Video Surveillance System
- Paging System
- Intrusion Detection System
- Access Control Server

Telecommunication Rooms

The Training facility will include a small TR supporting the Virtual Reality area and the AV for the Training and Multi-purpose rooms. The room will be configured similarly to the Main Equipment Room with racks and pathways into the room. Fiber will be utilized to connect the TR to the Main Equipment Room.

Backbone Cabling

The primary utility feed for the faciligy will be supplied by the local internet service provider. Two 2" conduits are to be routed underground from an ISP coordinated location to the Entrance Facility/Equipment Room.
All fiber cabling to be tight buffer for all indoor applications and loose tube for outdoor applications. The grade index shall be multi-mode, armored, at 50/125 micron fiber. All end connections for all fiber strands to be 'LC' connections. All fiber pathways will consist of inner-duct, conduit, or a combination of both. Each fiber run will be labeled with number of fibers and cable type.

Horizontal Cabling
Blue Cat6 cabling will be the faciligy standard and will be utilized for all voice/data cabling, patch panel connections, connectors, patch cords, and faceplate connections. High-density 48 port patch panels to be utilized for final terminations from work area outlets. Patch panels will be split from the owner provided switch with a horizontal cable manager. Secondary horizontal cabling for accessible ceiling space to utilize single outlet cable hangers from the cable tray to the device or outlet termination point. For non-accessible ceiling spaces, conduit to be utilized to device or outlet termination point. Larger offices to include (2) 2-data locations and all standard or smaller offices to have single 2-data location. All cabling to be terminated in “keystone” style jack. Owner will procure VOIP phones with network passthrough, no separate voice outlets will be required. Copper cabling not to exceed 295-feet.

Pathway Distribution
The structured cabling system design will include primary and branch pathways to support and protect the horizontal link and backbone cabling within the scope of the project. These pathways will be designed with a 50% fill rate capacity. J-hook or similar supports will only be allowed for branch distribution. EMT conduit will be required above all ceilings that do not have removal access panels or lay-in ceiling tiles. Mechanical and non-mechanical firestopping systems will be specified for all double and single membrane penetrations of fire rated walls and floors.

Telecommunications Grounding System
Busbars will be provided in each Equipment Room/Entrance Facility rooms.
Racks, cable tray, and other metal telecommunications equipment will be grounded to the building grounding system.

Wireless System
Wireless LAN coverage (Wi-Fi) is to be provided throughout the interior of the Training Center and Gun range. The structured cable design will provide (1) data outlet to each access point (AP) location. The access point data outlet will include (1) CAT-6 cables with 15’-0” of cable slack.
The owner will provide the Wi-Fi antennas.

Distributed Antenna System
Owner confirmed a DAS system will not be required for this project.

Outline Specifications

27 05 26	Communications Grounding and Bonding A grounding system composed of busbars, grounding conductors, bonding conductors, and connecting devices, will create a low impedance grounding system.
27 05 28	Communications Building Pathways The structured cabling system design will include primary and branch pathways of cable tray to support and protect the horizontal link and backbone cabling within the scope of the project. These pathways will be design with a 50% fill rate capacity. J-hook or similar support will only be allowed for branch distribution. EMT conduit will be required above all ceilings that do not have removal access panels or lay-in ceiling tiles. Mechanical and non-mechanical firestopping systems will be specified for all double and single membrane penetrations of fire rated walls and floors.
27 08 11	Communications Twisted Pair Testing

The testing requirements shall be in accordance with EIA-568 standards and will test continuity, opens, shorts, crossed pairs, and split pairs.

27 08 21 Communications Fiber Optic Testing

The testing requirements shall be in accordance with EIA-526 standards to verify integrity of fiber connections between devices.

27 11 00 Communications Equipment Rooms

The equipment rooms will be comprised of a server cabinets and 4-post racks. All owner switches to be placed in 4-post racks and will include a N+1 power solution. PDU's to be vertically installed on back of racks and will be coordinated with electrical for power requirements. Racks to be separated by vertical wire managers, 8" in between racks, and 4" managers on the ends. Copper will be landed into the room on a horizontal ladder system that will be routed around the room and over the racks.

27 13 13 Communications Twisted Pair Cabling

The project standard cable will consist of 4-pair Category 6 UTP plenum rated cable. At the station end of the location, CAT 6 white jack inserts should be terminated on a single or multi-port double gang faceplates. Cables will be terminated in patch panels and will be separated between General, Wireless Access Points, and Security. Basis for design will be Panduit. City of Weatherford to provide cable and outlet labeling standards. Category 3 cabling shall be provided in between each TR for traditional analog systems.

27 13 23 Communications Fiber Optic Cabling

Fiber optics will be used as the backbone connecting the facility Technology Rooms to the Entrance Facility. Multimode fiber is expected basis for design for owner provided switches.

27 41 16 Communications Integrated Audiovisual Systems

The AV systems will be coordinated on a room-by-room basis per the owner's needs. Each room will have an intuitive control system with clearly marked buttons. The contractor will be required to train the owner on the system.

DEMOLITION GENERAL NOTES

1. COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE BEGINNING SELECTIVE DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
2. MAINTAIN FIRE-PROTECTION FACILITIES IN SERVICE DURING SELECTIVE DEMOLITION OPERATIONS.
3. REMOVE, REPLACE, PATCH, AND REPAIR MATERIALS AND SURFACES CUT OR DAMAGED DURING SELECTIVE DEMOLITION, BY METHODS AND WITH MATERIALS SO AS NOT TO VOID EXISTING WARRANTIES.
4. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED BEFORE PROCEEDING TO DEMOLITION.
5. MAINTAIN SYSTEMS TO REMAIN AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.
6. LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
7. IF SERVICES/SYSTEMS ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, BEFORE PROCEEDING WITH SELECTIVE DEMOLITION PROVIDE TEMPORARY SERVICES/SYSTEMS THAT BYPASS AREA OF SELECTIVE DEMOLITION AND THAT MAINTAIN CONTINUITY OF SERVICES/SYSTEMS TO OTHER PARTS OF BUILDING.
8. REMOVE AIR-CONDITIONING EQUIPMENT WITHOUT RELEASING REFRIGERANTS.
9. ANY WORK INVOLVING A SERVICE SUSPENSION SHALL BE SCHEDULED IN ADVANCE WITH THE OWNER. OBTAIN WRITTEN APPROVAL FROM THE OWNER WHEN INTERRUPTION OF SERVICES IS UNAVOIDABLE.
10. PERFORM NO WORK IN ANY BUILDING WHICH WOULD INTERFERE WITH ITS USE DURING NORMAL HOURS OF OCCUPANCY, UNLESS SPECIAL PERMISSION IS GRANTED BY THE OWNER. INCLUDED ARE OPERATIONS WHICH WOULD CAUSE OBJECTIONABLE NOISE OR SERVICE INTERRUPTIONS.
11. DO NOT CUT ANY STRUCTURAL MEMBER UNLESS SPECIFIC WRITTEN PERMISSION IS PROVIDED BY THE ARCHITECT AND STRUCTURAL ENGINEER.
12. WHERE OPENINGS ARE CUT IN FIRE-RATED WALLS OR FLOORS, SEAL THE ANNULAR SPACE BETWEEN THE WORK INSTALLED AND THE FIRE-RATED CONSTRUCTION. SEALANT, AS APPLIED, SHALL BE FIRE-RATED TO MAINTAIN THE FIRE RATING OF THE CONSTRUCTION PENETRATED, AND SHALL BE APPROVED BY THE ARCHITECT.

ABBREVIATIONS

A/C	AIR CONDITIONING
ACH	AIR CHANGE PER HOUR
AD	ACCESS DOOR
AFF	ABOVE FINISHED FLOOR
AFMS	AIR FLOW MEASURING STATION
AFUE	ANNUAL FUEL UTILIZATION EFFICIENCY
AHU	AIR HANDLING UNIT
AHJ	AUTHORITY HAVING JURISDICTION
APD	AIR PRESSURE DROP
AS	AIR SEPARATOR
BAS	BUILDING MANAGEMENT SYSTEM
BD	BALANCING DAMPER
BFF	BELOW FINISH FLOOR
BHP	BRAKE HORSEPOWER
BTUH	BRITISH THERMAL UNITS PER HOUR
CAV	CONSTANT AIR VOLUME
CFM	CUBIC FEET PER MINUTE
CHWP	CHILLED WATER PUMP
CLG	CEILING
CO	CLEAN OUT
CD	CONDENSATE DRAIN
CP	CONDENSATE PUMP
CRAC	COMPUTER ROOM A/C UNIT
CT	COOLING TOWER
CU	CONDENSING UNIT
CV	CONSTANT VOLUME/ CONTROL VALVE
(D)	DEMO
dB	DECIBELS
DDC	DIRECT DIGITAL CONTROL
DEG	DEGREES
DN	DOWN
DX	DIRECT EXPANSION
(E)	EXISTING
EA	EXHAUST AIR
EAT	ENTERING AIR TEMPERATURE
EER	ENERGY EFFICIENCY RATIO
EF	EXHAUST FAN
ET	EXPANSION TANK
EUH	ELECTRIC UNIT HEATER
FCU	FAN COIL UNIT
FD	FIRE DAMPER
FLA	FULL LOAD AMPS
FPI	FINS PER INCH
FSD	FIRE-SMOKE DAMPER
G	GAS
GPM	GALLONS PER MINUTE
GV	GRAVITY VENTILATOR
HD	HEAD
HP	HORSEPOWER
HPS	HIGH PRESSURE STEAM
HVAC	HEATING, VENTILATION & AIR CONDITIONING
HWP	HYDRONIC HEATING WATER PUMP
HX	HEAT EXCHANGER
KW	KILOWATT
KWH	KILOWATT HOUR
LAT	LEAVING AIR TEMPERATURE
LBS	POUNDS
LPS	LOW PRESSURE STEAM
MBH	THOUSAND BTU PER HOUR
MCA	MINIMUM CIRCUIT AMPACITY
MFG	MANUFACTURER
MOCP	MAXIMUM OVERCURRENT PROTECTION
(N)	NEW
N/A	NOT APPLICABLE
NC	NOISE CRITERIA
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OA	OUTSIDE AIR
OBD	OPPOSED BLADE DAMPER
PD	PRESSURE DROP
PH	PHASE (ELECTRICAL)
PLBG	PLUMBING
PSI	POUNDS PER SQUARE INCH
QTY	QUANTITY
RA	RETURN AIR
RH	RELATIVE HUMIDITY
RTU	ROOF TOP UNIT
SA	SUPPLY AIR
SD	SMOKE DAMPER
SF	SUPPLY FAN
SP	STATIC PRESSURE
T	THERMOSTAT/ THERMOMETER
TYP	TYPICAL
UH	UNIT HEATER
VAV	VARIABLE AIR VOLUME
VFD	VARIABLE FREQUENCY DRIVE
WB	WET BULB
W.G.	WATER GAUGE
W.P.D.	WATER PRESSURE DROP
WSHP	WATER-SOURCE HEAT PUMP
WT	WEIGHT

MECHANICAL GENERAL NOTES

1. ALL DUCTWORK DIMENSIONS SHOWN REPRESENT INSIDE CLEAR DIMENSIONS.
2. THE MECHANICAL LAYOUT SHOWN ON THIS DRAWING IS FOR GENERAL ARRANGEMENT ONLY. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE CONDITIONS AT THE JOB SITE AND ALL THE OTHER TRADES INVOLVED.
3. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL THE NECESSARY PIPING, FITTINGS, VALVES, HARDWARE, SUPPORTS AND ACCESSORIES REQUIRED FOR THE PROPER INSTALLATION AND OPERATION OF THE NEW MECHANICAL SYSTEM(S).
4. DO NOT SCALE LOCATIONS OR PARTITIONS FROM THIS DRAWING. THE CONTRACTOR SHALL REFER TO THE MANUFACTURER'S CUT-SHEETS, ROUGHING-IN DIMENSIONS, DETAILS, SPECIFICATIONS AND ALL OTHER INFORMATION RELATED TO THIS PROJECT, AS REQUIRED.
5. THE CONTRACTOR SHALL COORDINATE ALL THE FLOOR AND PARTITION PENETRATIONS WITH THE FIELD CONDITIONS AND STRUCTURAL DESIGN BEFORE DRILLING OR CORE-BORING.
6. THE CONTRACTOR SHALL SEAL ALL PENETRATIONS WITH A CODE APPROVED FIRE RATED MATERIAL AS REQUIRED TO MAINTAIN THE FIRE SEPARATION BETWEEN FLOORS/ROOF REQUIRED BY THE ARCHITECTURAL DRAWINGS. REFER TO THE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION AND FIRE BARRIER LOCATIONS.
7. THE CONTRACTOR SHALL SUBMIT MANUFACTURER'S SPECIFICATIONS AND CUT-SHEETS FOR ALL THE EQUIPMENT, FITTINGS AND COMPONENTS AS REQUIRED FOR FINAL APPROVAL BY THE ENGINEER BEFORE PURCHASING OR INSTALLING THEM. REFER TO SPECIFICATIONS FOR MORE COMPLETE INFORMATION ABOUT THE EQUIPMENT SCHEDULED.
8. THE CONTRACTOR SHALL TEST ALL NEW PIPING AND NEW EQUIPMENT FOR PROPER OPERATION AND SHALL MAKE ALL NECESSARY REPAIRS AS REQUIRED TO PROVIDE A COMPLETE WORKING SYSTEM.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL THE AREAS AFFECTED BY THE WORK REQUIRED IN THESE DRAWINGS TO THEIR ORIGINAL CONDITION AS REQUIRED BY THE OWNER/ARCHITECT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE JOB-SITE AS REQUIRED BY THIS CONTRACT IN COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING, PERMITTING, AND CONDUCTING ALL THE INSPECTIONS AND TESTS REQUIRED BY THE LOCAL AUTHORITY HAVING JURISDICTION. CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE OF COMMISSIONING INSPECTION TO THE ENGINEER.
12. ALL WORK AND INSTALLATION SHALL BE DONE BY A LICENSED CONTRACTOR WITH EXPERIENCE IN THE WORK REQUIRED FOR THIS PROJECT.
13. ALL WORK SHALL COMPLY WITH THE 2021 INTERNATIONAL BUILDING CODE (2021 IBC), 2021 INTERNATIONAL MECHANICAL CODE (2021 IMC), 2021 INTERNATIONAL PLUMBING CODE (2021 IPC), 2021 INTERNATIONAL FUEL GAS CODE (2021 IFGC), 2021 INTERNATIONAL ENERGY CONSERVATION CODE (2021 IECC), AND THE NATIONAL FIRE PROTECTION ASSOCIATION AND ALL OTHER CODES AND STANDARDS AS MAY BE APPLICABLE WITHIN THE CITY OF SAGINAW.
14. ALL EQUIPMENT SHALL BE SUPPORTED FROM STRUCTURAL MEMBERS. NO WEIGHT CAN BE PLACED ON THE ROOFING MATERIALS OR INSULATION.
15. ALL PIPING, CLAMPS, SUPPORTS, ETC. SHALL BE FASTENED TO JOISTS OR BEAMS. DO NOT ATTACH ANYTHING DIRECTLY TO THE DECK, CEILING SUPPORT SYSTEM, PIPING, CONDUIT OR DUCTWORK ABOVE.
16. CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ENGINEER ANY CODE ISSUES NOT ALREADY ADDRESSED.
17. THESE DRAWINGS DO NOT INDICATE OR SHOW ALL EXISTING PIPING, EQUIPMENT, DUCTWORK, ETC. THESE DRAWINGS ARE NOT A SUBSTITUTE FOR FIELD VERIFICATION.
18. ALL NEW ROOF PENETRATIONS SHALL BE PER THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.
19. ALL NEW EQUIPMENT SUPPORTS SHALL BE INSTALLED PER THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.
20. ALL NEW CURB CAPS SHALL BE INSTALLED PER THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.
21. ALL ROOF MOUNTED EQUIPMENT LOCATIONS SHALL BE VERIFIED AND APPROVED BY A TEXAS REGISTERED STRUCTURAL ENGINEER.
22. DUCTWORK SHOP DRAWINGS SHALL BE PROVIDED TO, REVIEWED BY, AND APPROVED BY THE ENGINEER PRIOR TO ANY DUCTWORK FABRICATION AND OR INSTALLATION. DUCTWORK SHOP DRAWINGS SHALL INDICATE THE ACTUAL SIZE OF EACH SECTION OF DUCT AND ALL REQUIRED FITTINGS AND TRANSITIONS.
23. CONTRACTOR SHALL PROVIDE UL LISTED FIRE DAMPERS AT ALL FIRE WALL PENETRATIONS. REFER TO ARCHITECTURAL FOR FIRE WALL RATING. REFER TO MECHANICAL FLOOR PLANS FOR DAMPER SIZING.
24. PROVIDE DUCTWORK TRANSITIONS AS REQUIRED FOR ALL AIR DEVICE AND EQUIPMENT CONNECTIONS.
25. REMOVE: DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF-SITE, UNLESS INDICATED TO BE REMOVED AND SALVAGED OR REMOVED AND REINSTALLED.
26. REMOVE AND SALVAGE: DETACH ITEMS FROM EXISTING CONSTRUCTION AND DELIVER THEM TO OWNER OR OWNER'S REPRESENTATIVE READY FOR REUSE.
27. REMOVE AND REINSTALL: DETACH ITEMS FROM EXISTING CONSTRUCTION, PREPARE THEM FOR REUSE, AND REINSTALL THEM WHERE INDICATED.
28. EXISTING TO REMAIN: EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED, REMOVED AND SALVAGED, OR REMOVED AND REINSTALLED.
29. CONTRACTOR SHALL BID EQUIPMENT IN SCHEDULE AS BASIS OF DESIGN. ALTERNATE EQUIPMENT BY ACCEPTABLE MANUFACTURERS MEETING PERFORMANCE REQUIREMENTS MAY BE REVIEWED BY DESIGN TEAM AND OWNER RESULTING IN A CREDIT IF USED.
30. IN THESE DOCUMENTS, "FURNISH" SHALL MEAN TO SUPPLY AND DELIVER TO PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION AND SIMILAR OPERATIONS. "INSTALL" SHALL MEAN TO UNLOAD, TEMPORARILY STORE, UNPACK, ASSEMBLE, ERECT, PLACE, ANCHOR, APPLY, WORK TO DIMENSION, FINISH, CURE, PROTECT, CLEAN, AND SIMILAR OPERATIONS AT THE PROJECT SITE. "PROVIDE" SHALL MEAN TO FURNISH AND INSTALL, COMPLETE AND READY FOR INTENDED USE.

HVAC LEGEND

DUCT

14"x12"	RECTANGULAR DUCT -1ST NUMBER INDICATES SIZE ON PLAN -2ND NUMBER INDICATES SIZE NOT SHOWN	14"x14"	RECTANGULAR DUCT - INTERNALLY LINED
14"ø	ROUND DUCT	14"ø	ROUND DUCT - INTERNALLY LINED
14"/12"	OVAL DUCT -1ST NUMBER INDICATES SIZE ON PLAN -2ND NUMBER INDICATES SIZE NOT SHOWN	14"/12"	OVAL DUCT - INTERNALLY LINED
	MITERED ELBOW WITH TURNING VANES		DUCTWORK BRANCH TAKE-OFF
	LONG RADIUS ELBOW (1.5 x O.D.)		SMACNA 45 HIGH EFFICIENCY TAP
	DUCKWORK TRANSITION		FLEXIBLE DUCTWORK
	DEMOLITION		DEMO TO EXISTING
	EXISTING TO REMAIN		CONNECT TO EXISTING
	SUPPLY/OUTSIDE AIR DUCTWORK UP		SUPPLY/OUTSIDE AIR DUCTWORK UP
	RETURN AIR DUCTWORK UP		RETURN AIR DUCTWORK DOWN
	EXHAUST AIR DUCTWORK UP		EXHAUST AIR DUCTWORK DOWN

SYMBOLS AND ACCESSORIES

	SUPPLY AIR DEVICE		MECHANICAL EQUIPMENT PATTERN
	RETURN AIR DEVICE		
	EXHAUST AIR DEVICE	MARK 400 (TYP) CFM	DIFFUSER/GRILLE TAG (TYPICAL)
	BALANCE DAMPER	1 MX.XX	DETAIL NUMBER / DETAIL CALL-OUT
FD	FIRE DAMPER	SHEET NUMBER / PLAN NUMBER MX.XX	ENLARGED PLAN CALL-OUT
FSD	FIRE/SMOKE DAMPER	SHEET NUMBER / ELEVATION NUMBER X MX.XX	ELEVATION CALL-OUT
BD	BACKDRAFT DAMPER		
T	THERMOSTAT @ARCH. SWITCH HEIGHT U.N.O.		
S	THERMOSTAT SENSOR @ARCH. SWITCH HEIGHT U.N.O.		
H	HUMIDISTAT @ARCH. SWITCH HEIGHT U.N.O.		
C	CARBON DIOXIDE SENSOR (CO2) @ARCH. SWITCH HEIGHT U.N.O.		
N	NITROGEN DIOXIDE SENSOR (NO2) @ARCH. SWITCH HEIGHT U.N.O.		

HYDRONIC PIPING SYSTEMS

CHS	CHILLED WATER SUPPLY	HWS	HEATING WATER SUPPLY
CHR	CHILLED WATER RETURN	HWR	HEATING WATER RETURN
CWS	CONDENSER WATER SUPPLY	RP	REFRIGERANT
CWR	CONDNESER WATER RETURN	SP	STEAM
CD	CONDENSATE DRAIN	SC	STEAM CONDENSATE
	PIPE UP		PIPE DOWN
	ISOLATION VALVE		

CLIENT

SAGINAW TEXAS

ARCHITECT

PGAL

PGAL, Inc.
3131 Briarpark Dr.
Suite 200
Houston, TX 77042
T 713 622 1444
F 713 622 1444
www.pgal.com

NOT FOR CONSTRUCTION

THIS DOCUMENT IS INTENDED FOR REVIEW ONLY AND IS NOT INTENDED FOR BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.

MEP CONSULTING ENGINEERS
ENGINEER: TANNER BRADLEY
TEXAS REGISTRATION NO. 115518

REGISTRATION

INTERIM REVIEW
THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF TIM KONGANDA, ARCHITECT TEXAS REG. NO. 19078 NOT FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.

DRAWING HISTORY

№	DATE	DESCRIPTION
A	08/30/2024	SCHEMATIC DESIGN

PROJECT NAME
SAGINAW KEETER BUILDING RENOVATION

PROJECT LOCATION
355 W McLeroy Blvd.
Saginaw, TX 76179

PROJECT NUMBER
1006633.02

SHEET TITLE
MECHANICAL GENERAL NOTES & LEGEND

SHEET NUMBER
M-001

FILE NAME: Autodesk Docs://1006633.02 - City of Saginaw Library Keeter Building Reno/31.00548 - Saginaw Library Renovation v24 MEP.rvt
DATE STAMP: 9/9/2024 10:28:13 AM

1 MECHANICAL ZONE PLAN

1/8" = 1'-0"

FILE NAME: Autodesk Docs://1006633.02 - City of Saginaw Library Keeter Building Reno/31.00548 - Saginaw Library Renovation v24 MEP.rvt

DATE STAMP: 9/9/2024 10:28:13 AM

CLIENT

SAGINAW TEXAS

ARCHITECT

PGAL

PGAL, Inc.
3131 Briarpark Dr.
Suite 200
Houston, TX 77042
T 713 622 1444
F 713 622 1444
www.pgal.com

NOT FOR CONSTRUCTION

THIS DOCUMENT IS INTENDED FOR REVIEW ONLY AND IS NOT INTENDED FOR BIDDING, PERMIT OR CONSTRUCTION PURPOSES.

MEP CONSULTING ENGINEERS

ENGINEER: TANNER BRADLEY
TEXAS REGISTRATION NO: 115518

REGISTRATION

INTERIM REVIEW

THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF TIM KONGANDA, ARCHITECT TEXAS REG. NO. 19078 NOT FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.

DRAWING HISTORY

No	DATE	DESCRIPTION
A	08/30/2024	SCHEMATIC DESIGN

PROJECT NAME

SAGINAW KEETER BUILDING RENOVATION

PROJECT LOCATION

355 W McLeroy Blvd.
Saginaw, TX 76179

PROJECT NUMBER

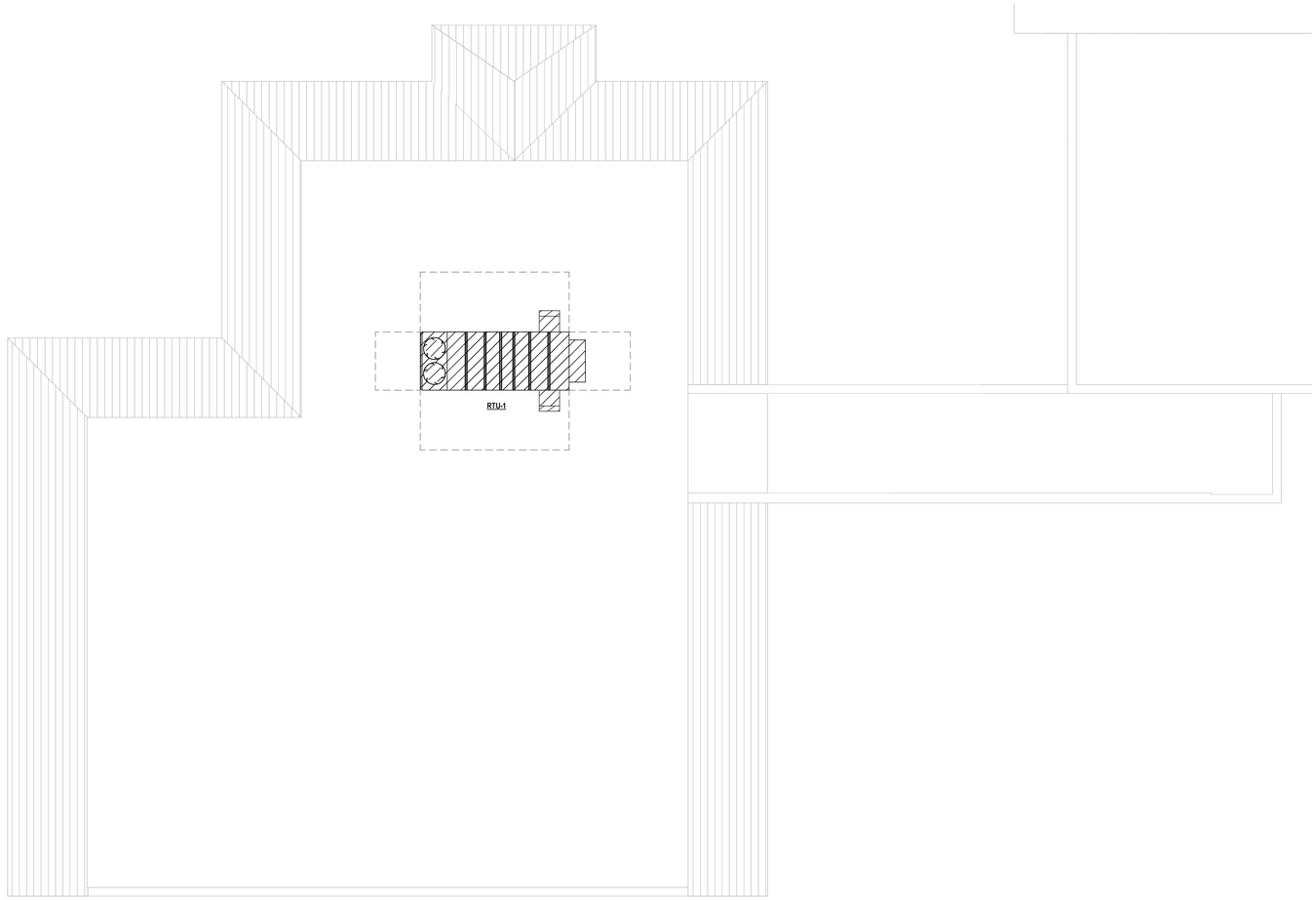
1006633.02

SHEET TITLE

LEVEL 01
MECHANICAL PLAN

SHEET NUMBER

M-101



1 ROOF LEVEL MECHANICAL PLAN
1/8" = 1'-0"

FILE NAME: Autodesk Docs://1006633.02 - City of Saginaw Library Keeter Building Reno/31.00548 - Saginaw Library Renovation v24 MEP.rvt
DATE STAMP: 9/9/2024 10:28:14 AM

CLIENT

SAGINAW TEXAS

ARCHITECT

PGAL

PGAL, Inc.
3131 Briarpark Dr.
Suite 200
Houston, TX 77042
T 713 622 1444
F 713 622 1444
www.pgal.com

NOT FOR CONSTRUCTION
THIS DOCUMENT IS RELEASED FOR REVIEW ONLY AND IS NOT INTENDED FOR BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.
MEP CONSULTING ENGINEERS
ENGINEER: TANNER BRADLEY
TEXAS REGISTRATION NO: 115518

REGISTRATION

INTERIM REVIEW
THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF TIM KONGANDA, ARCHITECT TEXAS REG. NO. 19078 NOT FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.

DRAWING HISTORY

№	DATE	DESCRIPTION
A	08/30/2024	SCHEMATIC DESIGN

PROJECT NAME
SAGINAW KEETER BUILDING RENOVATION

PROJECT LOCATION
355 W McLeroy Blvd.
Saginaw, TX 76179

PROJECT NUMBER
1006633.02

SHEET TITLE
ROOF LEVEL MECHANICAL PLAN

SHEET NUMBER
M-102

Estimate Report

Saginaw Keeter Bldg. Renovation

Saginaw, TX

AACEi Class 4: Concept

September 06, 2024

Version 2.00

Prepared for:

PGAL

Prepared by:

apr aguirre project resources
achieving project results.

Table of Contents

Saginaw Keeter Bldg. Renovation

Sections

Estimate Version History

Estimate Ver. #	Comments/Modifications
1.00	Initial Delivered Version
2.00	Updates based on client comments - Phone Conversation with Raynaldo Herreros 9/4/24
	Updates based on client comments - E-mail from Linsey Barta dated 9/4/24
	Updates based on client comments - E-mail from Brady Buckles dated 9/5/24

Basis of Estimate

01 EXECUTIVE SUMMARY

The total project cost for the scope of this project:

SUBTOTAL DIRECT COST (COST OF WORK)	$	3,640,248
DESIGN EVOLUTION	$	728,050
SUBTOTAL GMP (No Fee)	**$**	**4,368,297**
CMAR FEE	$	218,415
ESTIMATED CONSTRUCTION COST (ECC) W/FEE	**$**	**4,586,712**
CONSTRUCTION CONTINGENCY	$	458,671
ESTIMATED CONSTRUCTION COSTS (Final)	**$**	**5,045,383**
ESCALATION $	$	321,946
TOTAL PROJECT COSTS	**$**	**5,367,329**

02 PROJECT DESCRIPTION

Renovation of the existing Keeter Building including an approx. 1,000 S.F. addition and associated sitework.

03 QUANTITY TABULATION

See Estimate Details section for quantities.

04 BASIS OF ESTIMATE

Within the Aviation sector, APR has adapted from best practices and lessons learned to apply the collective method and approach to meet the purpose from which the owner/agency will use the estimate. This opinion of probable construction cost is based on files/drawing(s): Saginaw Keeter Bldg - Preliminary Cost Estimate Issue.pdf dated 8./23/24 produced by PGAL. Therefore, the estimators have applied an approach to developing this estimate that uses AACEi Class 4 methodologies.

05 BASIS OF PRICING

This Opinion of Probable Construction Cost reflects the fair market value for the construction of this project and should not be construed as a prediction of low bid. The unit costs include labor, material, and equipment costs plus subcontractors' overhead and profit costs.
In parts of this Opinion of Probable Construction Cost, scope of work was measured to a discrete item from the drawings provided, or otherwise conceptualized. Construction costs, labor and equipment rates, and installation effort from R.S. Means were used as a general reference in addition to APR's construction cost libraries of historical cost information. However, the APR estimators adjusted line item costs for productivity (installation manhours) to account for job-site conditions and cost indices.

Taxes

0.0% Sales Tax on Material was applied to this Opinion of Probable Construction Cost.

Wage Rates

This Opinion of Probable Construction Cost is priced on the basis of fully burdened localized wage rates in the Fort Worth, TX area.

Duration

The anticipated duration of construction for this project is assumed as follows:
Construction Award Year: 2025
Construction Finish Year: 2026

Phasing

Phasing has been anticipated and taken into account for this project scope.

Access and Security

The Opinion of Probable Construction Cost anticipates and has taken into account potential constraints to site access or security.

06 ESCALATION

Cost Basis Year of 2024
Initial Escalation Rate: 4.50% beginning in 2025 and Compounding Annually per table below.
Overall Project Escalation: 6.38%, $321,946

		Escalation Rate Applied Per Year	Compounding Escalation	Escalation $'s Per Year
Cost Basis Year	2024	4.50%	0.00%	$0
Construction Award Year	2025	4.50%	4.50%	$136,225
Construction Finish Year	2026	4.50%	9.20%	$185,721

07 MARK-UPS

DESIGN EVOLUTION	20.00%
BID ALLOWANCE	Not part of this Estimate.
CMAR FEE	5.00%
CONSTRUCTION CONTINGENCY	10.00%
DESIGN	Not part of this Estimate.
CONSTRUCTION MANAGEMENT	Not part of this Estimate.
PM/CM	Not part of this Estimate.
PLANNING	Not part of this Estimate.
TESTING	Not part of this Estimate.

Prime Contractor

General Requirements	15.0%
Overhead	5.0%
Profit	0.0%
Bond & Insurance	1.5%
Mob/Demob	1.0%

Sub Contractor

General Conditions	5.0%
Overhead	10.0%
Profit	5.0%

The 20.00% DESIGN EVOLUTION allowance on construction costs included in this Opinion of Probable Construction Cost is a budgeting value used to compensate for the lack of detail and definition during preliminary phases of design, as well as assumptions and allowances made with reference to quantities and pricing. This percentage is provided to cover scope which is not yet defined within the provided documents or narratives. These are monies which are expected to be absorbed into the line item detail as the design evolves.

AACE COST ESTIMATING CLASSIFICATION SYSTEM

Estimate Class	MATURITY LEVEL OF PROJECT DEFINITION DELIVERABLES	END USAGE	METHODOLOGY	DESIGN DEVELOPMENT / ESTIMATING CONTINGENCY	
	(Expressed as % of complete definition)	(Typical purpose of estimate)	(Typical purpose of estimate)	(Typical estimating method)	(Typical allowance)
Class 5	0% to 2%	Functional area, or concept screening	Program or Rough order of Magnitude (ROM)	SF or m2 factoring, parametric models, judgment, or analogy	20% +
Class 4	1% to 15%	Schematic design or concept study	Concept or Feasibility	Parametric models, assembly driven models	15% to 20%
Class 3	10% to 40%	Design development, budget authorization, feasibility	Schematic Design	Semi-detailed unit costs with assembly level line items	10% to 15%
Class 2	30% to 75%	Control or bid/tender, semi-detailed	Design Development	Detailed unit cost with forced detailed take-off	5% to 10%
Class 1	65% to 100%	Check estimate or pre bid/tender, change order	Construction Documents	Detailed unit cost with detailed take-off	0% to 5%

The cost estimator makes the determination of the estimate class based upon the maturity level of project definition (design % complete). While the determination of the estimate class is somewhat subjective, the design input data, completeness and quality of the design deliverables serve to make the determination more objective. The cost estimator will make the final determination based on the actual detail provided, which may vary from the AACE Cost Estimating Classification System listed above.

08 BID ALLOWANCE

Not part of this Estimate.

09 APR PROJECT TEAM

Principal Estimator	C. Aguirre
Estimating Project Manager	B. Reisinger
Estimators	B. Reisinger, C. Reisinger, Z. Pavlic, E. Kruel
Cost Analyst, Coordination	C. Watson, L. Smith
Quality Review	C. Aguirre

10 ASSUMPTIONS / CLARIFICATIONS

System Description		Typical Sub Systems (Not all sub systems are necessarily included in project scope)
A	**Substructure**	
A10	Foundations	Standard and special foundations, floor slabs on grade
B	**Shell**	
B10	Superstructure	Above grade structural frames, floors, roofs, exterior stairs and ladders
B20	Exterior Closure	Exterior skin and walls, insulation and vapor barriers, curtain wall, soffits, parapets, clerestory, windows and openings, doors, louvers and screens, exterior sun control devices, railings
B30	Roofing	Roof covering systems, fascia, insulation, skylights, roof access hatches, gutters and downspouts
C	**Interiors**	
C10	Interior Construction	Fixed, demountable and retractable walls and partitions, ceiling systems, personnel and specialty doors, specialties, compartments, signage, lockers, casework, countertops, interior windows, glazed partitions and storefronts, balustrades and screens, toilet and bath accessories
C30	Interior Finishes	Finishes for walls, partitions, floors, ceilings
D	**Services**	
D20	Plumbing	Storm Drain piping system, top level area drains, trench drains @ entry/exits
D20	Plumbing	Fixtures and related equipment, domestic water systems, sanitary waste and conveyance, storm water collection, natural gas, and special systems
D30	HVAC	Heating and cooling energy supply equipment, hydronic piping, air distribution, ventilation and exhaust, control systems and devices, testing and balancing, commissioning, refrigeration systems, grease and fume hoods and ducts
D40	Fire Protection	Water supply, sprinkler heads and release devices, stand-pipes and fire department connections, fire extinguishers, special application suppression systems
D50	Electrical	Power distribution equipment, transformers, motor-controls, stand-by/emergency power equipment, lighting fixtures and devices, communications, data, security and access control, fire safety systems, public address, grounding, lightning protection

System Description		Typical Sub Systems (Not all sub systems are necessarily included in project scope)
E	**Equipment & Furnishings**	
E20	Furnishings	Fixed and movable modular furniture, artwork, window treatments, seating, rugs and floor mats, planters
F	**Special Construction & Demo**	
F20	Demolition	Structure removal, demolition, abatement of hazardous materials
G	**Building Sitework**	
G10	Site Preparation	Earthwork, soil stabilization, clearing of vegetation, exterior demolition or relocations of pavements and surfaces, remediation or removal of hazardous soils
G20	Site Improvements	Roadways, parking surfaces and pedestrian pavements, site developments, landscaping, flag poles, exterior seating
G30	Site Mechanical Systems	Water supply, sanitary and storm water sewers and collection, heating and cooling distribution, fuel and gas distribution and storage
G40	Site Electrical Utilities	Power distribution, substations, site lighting, grounding, communications, security and alarm systems, cathodic protection, CCTV monitoring, emergency power generators

11 EXCLUSIONS

Hazardous Materials
Design Fees
Owner Soft costs
Owner Contingency
Building Permit

Estimate Component Summary

Delivery Method: CMAR
Estimate Type: AACEi Class 4
WBS: Component/Uniformat

Saginaw Keeter Bldg Reno Concept

Line #	Description	Qty.	UoM	ECC w/Escalation
2	**SITE**	**1**	**LS**	**$458,278**
3	**SPECIAL CONSTRUCTION AND DEMOLITION**	**1**	**LS**	**$81,316**
20	**SITEWORK**	**1**	**LS**	**$376,962**
79	**BUILDING**	**1**	**LS**	**$4,421,112**
80	**SUBSTRUCTURE**	**1**	**LS**	**$79,285**
107	**SHELL**	**1**	**LS**	**$413,225**
161	**INTERIORS**	**1**	**LS**	**$859,680**
225	**SERVICES**	**1**	**LS**	**$2,343,819**
394	**EQUIPMENT AND FURNISHINGS**	**1**	**LS**	**$467,387**
415	**SPECIAL CONSTRUCTION AND DEMOLITION**	**1**	**LS**	**$257,716**
464	**ALTERNATES**	**1**	**LS**	**-$40,516**
465	**HVAC OPTION #2**	**1**	**LS**	**-$40,516**

Project Cost Summary

Saginaw Keeter Bldg. Renovation

WBS: Component/Uniformat **Estimate Type: AACEi Class 4**

Delivery Method: CMAR **Estimate Date: 09/06/2024**

Project Component	Direct Cost CY 2024 $'s	Primary Quantity	Unit of Measure	Design Evolution A	Design Evolution B	Design Evolution C	Design Evolution Amount	Subtotal GMP Unescalated	Subtotal GMP Escalated	Component Scope of Work
SITE	341,896	1	LS	10%	0%	10%	68,379	410,276	436,455	
BUILDING	3,298,351	1	LS	10%	0%	10%	659,670	3,958,022	4,210,583	
SUBTOTAL DIRECT COST (COST OF WORK)	**3,640,248**	**1**	**LS**	**Design Evolution Factors** A. Scope Understanding to meet requirements B. Allowances provided in Direct Cost C. Confidence level of pricing in Direct Cost						This subtotal includes all contractor overheads, profits, bonds, and insurance.
DESIGN EVOLUTION	728,000	20.00%								a.k.a Design Growth Allowance
SUBTOTAL GMP (No Fee)	4,368,000	1	LS					4,368,000	4,647,000	Estimated cost at time of bid (Award).
CMAR FEE	218,000	5.00%						218,000	232,000	
ESTIMATED CONSTRUCTION COST (ECC) W/FEE	4,587,000							4,587,000	*4,879,390*	ECC with CMAR Fee
CONSTRUCTION CONTINGENCY	459,000	10.00%	LS					459,000	488,000	Construction Contingency (Change Orders) - Not included in ECC.
ESTIMATED CONSTRUCTION COSTS (Final)	**5,045,000**	**1**	**LS**					5,045,000	***5,367,329***	Estimated Final Contract
ESCALATION %	6.38%									
ESCALATION $	322,000	1	LS							
TOTAL PROJECT COSTS	**5,367,000**	**1**	**LS**						5,367,000	

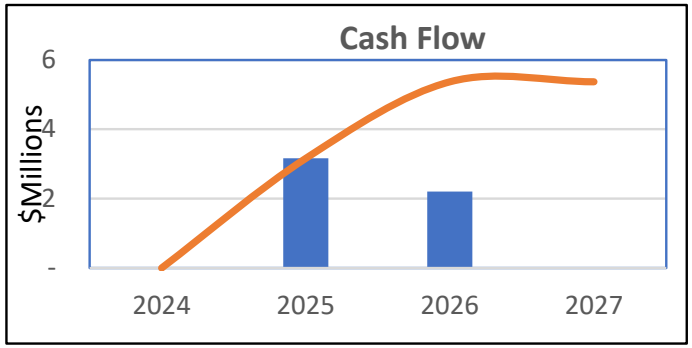
NOTE: With the exception of the Subtotal GMP (No Fee) Escalated column, and the ESCALATION $ and TOTAL PROJECT COSTS rows, all cost values are displayed in 2024 dollars.

Alternates/Options	Direct Cost CY 2024 $'s	Primary Quantity	Unit of Measure	Design Evolution A	Design Evolution B	Design Evolution C	Design Evolution Amount	Subtotal GMP Unescalated	Subtotal GMP Escalated
HVAC OPTION #2	(31,738)	1	LS	10%	0%	10%	-6,348	-38,086	-40,516

Project Escalation

Saginaw Keeter Bldg. Renovation

WBS: Component/Uniformat
Delivery Method: CMAR
Estimate Type: AACEi Class 4
Estimate Date: 09/06/2024



Project Component	Project Summary					Estimated CY Distribution in $Millions				Escalated Total
	Start CY	End CY	$ Millions Total CY24	Primary Quantity	Unit of Measure	YR 1 2024	YR 2 2025	YR 3 2026	YR 4 2027	
SITE	2025	2026	0.342	1	LS	-	0.205	0.137	-	0.364
BUILDING	2025	2026	3.298	1	LS	-	1.979	1.319	-	3.509
SUBTOTAL DIRECT COST	2025	2026	3.640	1	LS	**-**	**2.184**	**1.456**	**-**	3.873
DESIGN EVOLUTION			0.728	20.00%		-	0.437	0.291	-	0.775
SUBTOTAL GMP (No Fee)			4.368	1	LS	-	2.621	1.747	-	4.647
CMAR FEE			0.218	5.00%		-	0.131	0.087	-	0.232
ESTIMATED CONSTRUCTION COST (ECC) W/FEE			4.587	1	LS	-	2.752	1.835	-	4.879
CONSTRUCTION CONTINGENCY			0.459	10.00%		-	0.275	0.183	-	0.488
ESTIMATED CONSTRUCTION COSTS (Final)			**5.045**	**1**	**LS**	**-**	**3.027**	**2.018**	**-**	**5.367**
ESCALATION %			6.38%			0.00%	4.50%	9.20%	0.00%	
ESCALATION $			0.322			$0.00	$0.14	$0.19	$0.00	
TOTAL PROJECT COSTS			**5.367**	**1**	**LS**	**-**	**3.163**	**2.204**	**-**	**5.367**

NOTE: With the exception of the Escalated Total column, and the ESCALATION $ and TOTAL PROJECT COSTS rows, all cost values are displayed in 2024 dollars.

Estimate Uniformat Summary

Delivery Method: CMAR
Estimate Type: AACEi Class 4
WBS: Component/Uniformat

Saginaw Keeter Bldg Reno Concept

Line #	Description	Qty.	UoM	ECC w/Escalation	ECC Unit Cost
2	**SITE**	1	LS	$458,278	
3	**SPECIAL CONSTRUCTION AND DEMOLITION**	1	LS	$81,316	
4	**DEMOLITION**	1	LS	$81,316	
20	**SITEWORK**	1	LS	$376,962	
21	**SITE PREPARATION**	1	LS	$16,665	
34	**SITE IMPROVEMENTS**	1	LS	$96,813	
49	**LIQUID AND GAS SITE UTILITIES**	1	LS	$81,007	
69	**ELECTRICAL SITE IMPROVEMENTS**	1	LS	$182,478	
79	**BUILDING**	1	LS	$4,421,112	
80	**SUBSTRUCTURE**	1	LS	$79,285	
81	**DEEP FOUNDATIONS**	1,003	S.F.	$79,285	$79.05
107	**SHELL**	1	LS	$413,225	
108	**SUPERSTRUCTURE**	1	LS	$116,734	
118	**EXTERIOR VERTICAL ENCLOSURES**	1	LS	$184,811	
154	**EXTERIOR HORIZONTAL ENCLOSURES**	1	LS	$111,681	
161	**INTERIORS**	1	LS	$859,680	
162	**INTERIOR CONSTRUCTION**	1	LS	$334,988	
185	**INTERIOR FINISHES**	1	LS	$524,693	
225	**SERVICES**	1	LS	$2,343,819	
226	**PLUMBING**	1	LS	$397,074	
272	**HEATING, VENTILATION, AND AIR CONDITIONING (HVAC)**	1	LS	$673,051	
330	**FIRE SUPPRESSION - LIBRARY**	1	LS	$243,232	
332	**FIRE SUPPRESSION - CITY HALL**	1	LS	$251,339	
335	**ELECTRICAL**	1	LS	$405,087	
361	**COMMUNICATIONS**	1	LS	$57,356	
369	**ELECTRONIC SAFETY AND SECURITY**	1	LS	$118,503	
389	**INTEGRATION AUTOMATION**	1	LS	$198,176	
394	**EQUIPMENT AND FURNISHINGS**	1	LS	$467,387	
395	**FURNISHINGS**	1	LS	$417,081	
410	**EQUIPMENT**	1	LS	$50,306	
415	**SPECIAL CONSTRUCTION AND DEMOLITION**	1	LS	$257,716	
416	**SPECIAL CONSTRUCTION**	1	LS	$124,598	
419	**DEMOLITION**	1	LS	$133,118	

464	**ALTERNATES**	1	LS	-$40,516	
465	**HVAC OPTION #2**	1	LS	-$40,516	
466	**PLUMBING**	1	LS	$6,311	
514	**HVAC**	10,073	GSF	-$46,827	-$4.65

Estimate Details

Delivery Method: CMAR
Estimate Type: AACEi Class 4
WBS: Component/Uniformat

Saginaw Keeter Bldg Reno Concept

Line #	Description	Qty.	UoM	Subtotal	Sub %	Prime %	Total Direct Cost	ECC w/Escalation	ECC Unit Cost
2	**SITE**	**1**	**LS**	**$227,745**	**21.3%**	**23.8%**	**$341,896**	**$458,278**	
3	**SPECIAL CONSTRUCTION AND DEMOLITION**	**1**	**LS**	**$40,410**	**21.3%**	**23.8%**	**$60,665**	**$81,316**	
4	**DEMOLITION**	**1**	**LS**	**$40,410**	**21.3%**	**23.8%**	**$60,665**	**$81,316**	
5	Note: Demo Curb	0.00		$0.00	0.0%	0.0%	$0.00	$0	
6	Demolish, remove pavement & curb, remove concrete curbs, reinforced, excludes hauling and disposal fees	64.00	L.F.	$358.91	21.3%	23.8%	$538.81	$722	$11.28
7	Note: Demo Driveway	0.00		$0.00	0.0%	0.0%	$0.00	$0	
8	Demolish, remove pavement & curb, remove concrete, rod reinforced, to 6" thick, excludes hauling and disposal fees	100.00	S.Y.	$1,958.98	21.3%	23.8%	$2,940.87	$3,942	$39.42
9	Note: Demo Mechanical Pads	0.00		$0.00	0.0%	0.0%	$0.00	$0	
10	Demolish, remove pavement & curb, remove concrete, rod reinforced, to 6" thick, excludes hauling and disposal fees	21.50	S.Y.	$421.18	21.3%	23.8%	$632.29	$848	$39.42
11	Note: Demo Mechanical Yard Fencing	0.00		$0.00	0.0%	0.0%	$0.00	$0	
12	Fencing demolition, remove chain link posts & fabric, 8' to 10' high	61.00	L.F.	$212.33	21.3%	23.8%	$318.76	$427	$7.00
13	Note: Demo Sidewalk	0.00		$0.00	0.0%	0.0%	$0.00	$0	
14	Demolish, remove pavement & curb, sidewalk, concrete, rod reinforced, 6" thick, with hand held air equipment, excludes hauling	2,906.00	S.F.	$9,944.88	21.3%	23.8%	$14,929.50	$20,012	$6.89
15	Note: Demo Shade Structure	0.00		$0.00	0.0%	0.0%	$0.00	$0	
16	Shade Structure, selective demolition, including frame	1,251.00	S.F.	$26,851.14	21.3%	23.8%	$40,309.61	$54,031	$43.19
17	Note: Rubbish Disposal	0.00		$0.00	0.0%	0.0%	$0.00	$0	
18	1-1/2 C.Y. bucket, loading and/or spreading, shovel	80.00	B.C.Y.	$199.81	21.3%	23.8%	$299.96	$402	$5.03
19	Cycle hauling (wait, load, travel, unload or dump & return) time per cycle, excavated or borrow, loose cubic yards, 20 min load/wait/unload, 42 C.Y. truck, cycle 4 mile, 25 MPH, excludes loading equipment	80.00	L.C.Y.	$463.24	21.3%	23.8%	$695.43	$932	$11.65
20	**SITEWORK**	**1**	**LS**	**$187,334**	**21.3%**	**23.8%**	**$281,231**	**$376,962**	
21	**SITE PREPARATION**	**1**	**LS**	**$8,282**	**21.3%**	**23.8%**	**$12,433**	**$16,665**	
22	Note: Excavation	0.00		$0.00	0.0%	0.0%	$0.00	$0	
23	Excavating, bulk bank measure, 1-1/2 C.Y. capacity = 125 C.Y./hr, backhoe, hydraulic, crawler mounted, excluding truck loading	212.70	B.C.Y.	$519.02	21.3%	23.8%	$779.17	$1,044	$4.91
24	1-1/2 C.Y. bucket, loading and/or spreading, shovel	212.70	B.C.Y.	$531.24	21.3%	23.8%	$797.51	$1,069	$5.03
25	Cycle hauling (wait, load, travel, unload or dump & return) time per cycle, excavated or borrow, loose cubic yards, 25 min load/wait/unload, 60 C.Y. truck, cycle 4 mile, 25 MPH, excludes loading equipment	276.50	L.C.Y.	$1,572.23	21.3%	23.8%	$2,360.27	$3,164	$11.44
26	Note: Grading	0.00		$0.00	0.0%	0.0%	$0.00	$0	
27	Fine grading, finish grading	764.33	S.Y.	$572.09	21.3%	23.8%	$858.84	$1,151	$1.51
28	Note: Aggregate Base	0.00		$0.00	0.0%	0.0%	$0.00	$0	
29	Aggregate for earthwork, crushed stone, 1.40 tons per C.Y., 1/2", spread with 200 HP dozer, includes load at pit and haul, 2 miles round trip, excludes compaction	111.00	L.C.Y.	$3,353.72	21.3%	23.8%	$5,034.69	$6,749	$60.80
30	Compaction, walk behind, vibrating plate	85.30	B.C.Y.	$71.78	21.3%	23.8%	$107.75	$144	$1.69
31	Note: Topsoil	0.00		$0.00	0.0%	0.0%	$0.00	$0	
32	Soils for earthwork, topsoil borrow, weed free, spread with 200 HP dozer, includes load at pit and haul, 2 miles round trip, excludes compaction	54.70	C.Y.	$1,626.29	21.3%	23.8%	$2,441.43	$3,272	$59.83
33	Compaction, walk behind, vibrating plate	42.10	B.C.Y.	$35.43	21.3%	23.8%	$53.18	$71	$1.69
34	**SITE IMPROVEMENTS**	**1**	**LS**	**$48,112**	**21.3%**	**23.8%**	**$72,227**	**$96,813**	
35	**PAVING**	**1**	**LS**	**$30,873**	**21.3%**	**23.8%**	**$46,347**	**$62,123**	
36	Note: New Parking Pavement	0.00		$0.00	0.0%	0.0%	$0.00	$0	
37	Concrete pavement, 4500 psi, fixed form, unreinforced, 12' pass, 6" thick, includes joints, finishing, and curing	144.00	S.Y.	$5,685.80	21.3%	23.8%	$8,535.66	$11,441	$79.45
38	Concrete pavement, reinforcing steel for rigid paving, 12 lbs/SY	144.00	S.Y.	$1,384.68	21.3%	23.8%	$2,078.71	$2,786	$19.35
39	Note: Sidewalks	0.00		$0.00	0.0%	0.0%	$0.00	$0	
40	Sidewalks, driveways, and patios, sidewalk, concrete, cast-in-place with 6 x 6 - W1.4 x W1.4 mesh, broomed finish, 3,000 psi, 5" thick, excludes base	3,312.00	S.F.	$20,627.40	21.3%	23.8%	$30,966.37	$41,507	$12.53
41	Note: Curbs	0.00		$0.00	0.0%	0.0%	$0.00	$0	
42	Cast-in place concrete curbs & gutters, concrete, machine formed, 6" x 18", includes concrete	282.00	L.F.	$3,174.80	21.3%	23.8%	$4,766.08	$6,388	$22.65
43	**PAVEMENT STRIPING**	**1**	**LS**	**$1,335**	**21.3%**	**23.8%**	**$2,005**	**$2,687**	
44	Painted pavement markings, acrylic waterborne, white or yellow, 4" wide	3,000.00	L.F.	$849.14	21.3%	23.8%	$1,274.74	$1,709	$0.57
45	Painted pavement markings, white or yellow, arrows or handicap	300.00	S.F.	$486.17	21.3%	23.8%	$729.85	$978	$3.26
46	**LANDSCAPING AND IRRIGATION**	**1**	**LS**	**$15,904**	**21.3%**	**23.8%**	**$23,875**	**$32,003**	
47	Landscaping allowance	2,272.00	S.F.	$11,360.00	21.3%	23.8%	$17,053.92	$22,859	$10.06
48	Irrigation allowance	2,272.00	S.F.	$4,544.00	21.3%	23.8%	$6,821.57	$9,144	$4.02
49	**LIQUID AND GAS SITE UTILITIES**	**1**	**LS**	**$40,257**	**21.3%**	**23.8%**	**$60,435**	**$81,007**	
50	Note: Excavation & Backfill - 165'L x 3'W x 4'D 50'L x 4'W x 10'D	0.00		$0.00	0.0%	0.0%	$0.00	$0	
51	Excavating, trench or continuous footing, common earth, 3/4 C.Y. excavator, to 14' deep	48.89	B.C.Y.	$1,112.60	21.3%	23.8%	$1,670.26	$2,239	$45.79
52	Backfill, haul from existing stockpile, excludes compaction	63.56	L.C.Y.	$846.86	21.3%	23.8%	$1,271.33	$1,704	$26.81
53	Compaction, vibrating plate	63.56	E.C.Y.	$176.85	21.3%	23.8%	$265.49	$356	$5.60
54	Fill, gravel embed in pipe trench, compacted, to 9" deep	149.00	S.F.	$276.54	21.3%	23.8%	$415.15	$556	$3.73
55	Note: Domestic water main 2-1/2"	0.00		$0.00	0.0%	0.0%	$0.00	$0	
56	Water supply distribution piping, copper tubing, 20' joints, 2-1/2" diameter, type K, excludes excavation or backfill	165.00	L.F.	$5,181.20	21.3%	23.8%	$7,778.15	$10,426	$63.19
57	Valves, bronze, ball, 150 lb., 2-1/2", soldered	1.00	Ea.	$249.08	21.3%	23.8%	$373.92	$501	
58	Water supply meter, detector, serves dual systems such as fire and domestic or process water, wide range capacity, 400 GPM, 3" mainline x 2" by-pass, UL and FM approved	1.00	Ea.	$15,537.73	21.3%	23.8%	$23,325.64	$31,266	
59	Water supply meter, domestic/commercial, bronze, threaded/flanged, 2-1/2" diameter	1.00	Ea.	$2,605.53	21.3%	23.8%	$3,911.48	$5,243	
60	Backflow preventer, reduced pressure principle, bronze, automatic operation, OS&Y valves, flanged, 2-1/2" pipe size, includes valves and four test cocks	1.00	Ea.	$5,285.53	21.3%	23.8%	$7,934.77	$10,636	
61	Interior domestic water service piping, copper, tubing, solder, 2-1/2" diameter, type L, includes coupling & clevis hanger assembly 10' OC	1.00	Ea.	$1,874.94	21.3%	23.8%	$2,814.71	$3,773	
62	Note: Natural gas main 1-1/2"	0.00		$0.00	0.0%	0.0%	$0.00	$0	
63	Natural gas piping, service & distribution, bimodal yellow MDPE, pipe, SDR 11, 80psi, 500ft coils, IPS, 1-1/2" dia, ASTM D2513, PE 2406/PE2708, socket fusion coupling @ 100ft, excludes excavation & backfill	165.00	L.F.	$644.98	21.3%	23.8%	$968.25	$1,298	$7.87
64	Natural gas metering, risers, fixed, anodeless, MDPE x epoxy CS, SDR 11, 125 psi, 1-1/2" IPS x 1-1/2" MPT, 36" x 26", fusion joints, ASTM D2513/F1973, excluding excavation & backfill, no cathodic protection required	1.00	Ea.	$218.74	21.3%	23.8%	$328.38	$440	
65	Sleeve, pipe, steel with water stop, 12" long, 4" diam. for 1-1/2" carrier pipe, includes link seal	1.00	Ea.	$308.24	21.3%	23.8%	$462.74	$620	
66	Natural gas metering, lubricated semi-steel plug valve, 1-1/2" diameter, excludes excavation or backfill	1.00	Ea.	$299.12	21.3%	23.8%	$449.05	$602	
67	Meter, gas, commercial1-1/2" , 1-1/2" pipe size	1.00	Ea.	$3,616.88	21.3%	23.8%	$5,429.76	$7,278	
68	Interior natural gas piping, carbon steel, Sch 40, threaded, 1-1/2" diameter	1.00	Ea.	$2,022.03	21.3%	23.8%	$3,035.52	$4,069	

Estimate Details

Delivery Method: CMAR
Estimate Type: AACEi Class 4
WBS: Component/Uniformat

Saginaw Keeter Bldg Reno Concept

Line #	Description	Qty.	UoM	Subtotal	Sub %	Prime %	Total Direct Cost	ECC w/Escalation	ECC Unit Cost
69	**ELECTRICAL SITE IMPROVEMENTS**	**1**	**LS**	**$90,684**	**21.3%**	**23.8%**	**$136,137**	**$182,478**	
70	Grounding rod, copper clad, 8' long, 3/4" diameter	9.00	Ea.	$1,125.01	21.3%	23.8%	$1,688.90	$2,264	$251.53
71	Exothermic weld, cadweld exothermic welding kit, multi vertical	9.00	Ea.	$10,640.22	21.3%	23.8%	$15,973.37	$21,411	$2,378.97
72	Copper electrolytic ground rod system, L-shaped, 2" diameter, 4' vertical x 10' horizontal, incl exothermic weld connection	3.00	Ea.	$5,252.16	21.3%	23.8%	$7,884.67	$10,569	$3,522.87
73	Insulated ground wire, copper, stranded, #4	10.00	C.L.F.	$2,336.04	21.3%	23.8%	$3,506.93	$4,701	$470.07
74	Ground wire, copper wire, bare solid, #6	10.00	C.L.F.	$1,322.62	21.3%	23.8%	$1,985.56	$2,661	$266.14
75	Trench duct, steel with cover, standard adjustable, straight, single compartment, depths to 4", 24" wide	75.00	L.F.	$53,647.38	21.3%	23.8%	$80,536.80	$107,952	$1,439.35
76	Rigid galvanized steel conduit, 4" diameter, to 10' high, includes 11 couplings per 100'	150.00	L.F.	$8,236.46	21.3%	23.8%	$12,364.78	$16,574	$110.49
77	Wire, copper, stranded, 600 volt, 500 kcmil, type THWN-THHN, normal installation conditions in wireway, conduit, cable tray	4.50	C.L.F.	$6,607.73	21.3%	23.8%	$9,919.70	$13,296	$2,954.75
78	Wire, copper, stranded, 600 volt, 250 kcmil, type THWN-THHN, normal installation conditions in wireway, conduit, cable tray	1.60	C.L.F.	$1,516.21	21.3%	23.8%	$2,276.17	$3,051	$1,906.86
79	**BUILDING**	**1**	**LS**	**$2,197,106**	**21.3%**	**23.8%**	**$3,298,351**	**$4,421,112**	
80	**SUBSTRUCTURE**	**1**	**LS**	**$39,401**	**21.3%**	**23.8%**	**$59,150**	**$79,285**	
81	**DEEP FOUNDATIONS**	**1,003**	**S.F.**	**$39,401**	**21.3%**	**23.8%**	**$59,150**	**$79,285**	**$79.05**
82	Note: Excavation & Grading	0.00		$0.00	0.0%	0.0%	$0.00	$0	
83	Excavating, trench or continuous footing, common earth, 1/2 C.Y. excavator, 4' to 6' deep, excludes sheeting or dewatering	14.84	B.C.Y.	$105.85	21.3%	23.8%	$158.91	$213	$14.35
84	Borrow, common earth, 1 C.Y. bucket, loading and/or spreading, shovel	14.84	B.C.Y.	$359.09	21.3%	23.8%	$539.08	$723	$48.68
85	Cycle hauling (wait, load, travel, unload or dump & return) time per cycle, excavated or borrow, loose cubic yards, 15 min load/wait/unload, 20 C.Y. truck, cycle 20 miles, 40 MPH, excludes loading equipment	19.76	L.C.Y.	$140.96	21.3%	23.8%	$211.62	$284	$14.36
86	Disposal Fees	19.76	L.C.Y.	$395.18	21.3%	23.8%	$593.26	$795	$40.24
87	Fine grading, fine grade for slab on grade, machine	111.43	S.Y.	$242.11	21.3%	23.8%	$363.46	$487	$4.37
88	Note: Drilled Piers	0.00		$0.00	0.0%	0.0%	$0.00	$0	
89	Fixed end caisson piles, for mobilization, 50 mile radius, rig to 36"	1.00	Ea.	$1,707.95	21.3%	23.8%	$2,564.02	$3,437	
90	Fixed end caisson piles, open style in stable ground, to 50' deep, 18" diameter, 0.065 CY/LF, machine drilled, includes excavation, concrete, 50 lb. reinforcing/C.Y., excludes mobilization, boulder removal, disposal, casings or ground water	300.00	V.L.F.	$8,196.78	21.3%	23.8%	$12,305.21	$16,494	$54.98
91	Fixed end caisson piles, for rock excavation, sockets, add, average	53.00	C.F.	$5,283.00	21.3%	23.8%	$7,930.97	$10,631	$200.58
92	Fixed end caisson piles, for other than 50 lb. reinforcing per C.Y., add or deduct	975.00	Lb.	$1,176.46	21.3%	23.8%	$1,766.13	$2,367	$2.43
93	Fixed end caisson piles, load and haul excess excavation, 2 miles	20.00	L.C.Y.	$204.96	21.3%	23.8%	$307.69	$412	$20.62
94	Fixed end caisson piles, bottom inspection, add	6.00	Ea.	$2,591.57	21.3%	23.8%	$3,890.53	$5,215	$869.15
95	Note: Grade Beams	0.00		$0.00	0.0%	0.0%	$0.00	$0	
96	C.I.P. concrete forms, grade beam, plywood, 1 use, includes erecting, bracing, stripping and cleaning	100.30	SFCA	$1,158.57	21.3%	23.8%	$1,739.28	$2,331	$23.24
97	Reinforcing steel, in place, beams and girders, #3 to #7, A615, grade 60, incl labor for accessories, excl material for accessories	1.11	Ton	$2,720.60	21.3%	23.8%	$4,084.23	$5,475	$4,917.24
98	Structural concrete, ready mix, heavyweight, 4000 psi, includes local aggregate, sand, Portland cement (Type I) and water, delivered, excludes all additives and treatments	14.84	C.Y.	$2,717.05	21.3%	23.8%	$4,078.90	$5,467	$368.31
99	Structural concrete, placing, grade beam, pumped, includes leveling (strike off) & consolidation, excludes material	14.84	C.Y.	$330.31	21.3%	23.8%	$495.87	$665	$44.78
100	Note: 8" Slab-On-Grade	0.00		$0.00	0.0%	0.0%	$0.00	$0	
101	C.I.P. concrete forms, slab on grade, edge, wood, 7" to 12" high, 4 use, includes erecting, bracing, stripping and cleaning	26.78	SFCA	$145.94	21.3%	23.8%	$219.08	$294	$10.97
102	Reinforcing steel, in place, beams and girders, #3 to #7, A615, grade 60, incl labor for accessories, excl material for accessories	2.51	Ton	$6,127.48	21.3%	23.8%	$9,198.73	$12,330	$4,917.24
103	Structural concrete, ready mix, heavyweight, 4000 psi, includes local aggregate, sand, Portland cement (Type I) and water, delivered, excludes all additives and treatments	24.77	C.Y.	$4,534.53	21.3%	23.8%	$6,807.36	$9,125	$368.31
104	Structural concrete, placing, elevated slab, pumped, 6" to 10" thick, includes leveling (strike off) & consolidation, excludes material	24.77	C.Y.	$619.39	21.3%	23.8%	$929.85	$1,246	$50.31
105	Concrete finishing, specified Random Access Floors ACI Classes 1, 2, 3 & 4, for Composite Overall Floor Flatness & Levelness to FF35/FL25, power screed, bull float, machine float & steel trowel (ride-on), excl placing, striking off & consolidating	1,003.00	S.F.	$402.47	21.3%	23.8%	$604.20	$810	$0.81
106	Concrete surface treatment, curing, sprayed membrane compound	10.03	C.S.F.	$241.01	21.3%	23.8%	$361.81	$485	$48.35
107	**SHELL**	**1**	**LS**	**$205,356**	**21.3%**	**23.8%**	**$308,285**	**$413,225**	
108	**SUPERSTRUCTURE**	**1**	**LS**	**$58,012**	**21.3%**	**23.8%**	**$87,089**	**$116,734**	
109	**STRUCTURAL STEEL FRAMING**	**7.50**	**Ton**	**$46,019**	**21.3%**	**23.8%**	**$69,085**	**$92,602**	**$12,346.90**
110	Structural steel project, A992 steel, shop fabricated, incl shop primer	7.50	Ton	$46,019.17	21.3%	23.8%	$69,085.13	$92,602	$12,346.90
111	**ROOF DECK**	**1,003**	**S.F.**	**$6,368**	**21.3%**	**23.8%**	**$9,559**	**$12,813**	**$12.78**
112	Metal roof decking, steel, open type B wide rib, galvanized, under 50 Sq, 1-1/2" D, 18 gauge	1,003.00	S.F.	$6,367.69	21.3%	23.8%	$9,559.33	$12,813	$12.78
113	**DUNNAGE**	**1**	**LS**	**$3,625**	**21.3%**	**23.8%**	**$5,442**	**$7,294**	
114	Note: Existing Roof Steel Reinforcement	0.00		$0.00	0.0%	0.0%	$0.00	$0	
115	Dunnage allowance	0.50	Ton	$3,625.00	21.3%	23.8%	$5,441.94	$7,294	$14,588.76
116	**ROOF TIE-IN**	**1**	**LS**	**$2,000**	**21.3%**	**23.8%**	**$3,002**	**$4,024**	
117	Roof tie-in at library and addition	1.00	LS	$2,000.00	21.3%	23.8%	$3,002.45	$4,024	
118	**EXTERIOR VERTICAL ENCLOSURES**	**1**	**LS**	**$91,843**	**21.3%**	**23.8%**	**$137,877**	**$184,811**	
119	**CMU WALL**	**1,023**	**S.F.**	**$37,931**	**21.3%**	**23.8%**	**$56,942**	**$76,326**	**$74.61**
120	Scaffolding, steel tubular, regular, labor only to erect & dismantle, building exterior, wall face, 6'-4" x 5' frames, 1 to 5 stories, excludes planks	10.23	C.S.F.	$1,908.38	21.3%	23.8%	$2,864.91	$3,840	$375.38
121	Scaffolding, steel tubular, regular, rent/month only for complete system for face of walls, 6' -4" x 5' frames, excludes planks	10.23	C.S.F.	$979.21	21.3%	23.8%	$1,470.02	$1,970	$192.61
122	Concrete block, exterior, tooled joints both sides, normal weight, 2000 psi, 12" x 8" x 16", includes mortar and horizontal joint reinforcing every other course, excludes scaffolding, grout and vertical reinforcing	1,023.00	S.F.	$16,832.15	21.3%	23.8%	$25,268.85	$33,870	$33.11
123	Concrete block, bond beam, normal weight, 2000 psi, 12" x 8" x 16", includes mortar, excludes scaffolding, horizontal reinforcing, vertical reinforcing and grout	40.92	L.F.	$497.41	21.3%	23.8%	$746.73	$1,001	$24.46
124	Masonry reinforcing bars, #5 and #6 reinforcing steel bars, placed vertically, ASTM A615	239.18	Lb.	$380.40	21.3%	23.8%	$571.07	$765	$3.20
125	Masonry reinforcing bars, #5 and #6 reinforcing steel bars, placed horizontally, ASTM A615	444.19	Lb.	$641.40	21.3%	23.8%	$962.88	$1,291	$2.91
126	Grout, bond beams and lintels, 8" deep, 12" thick, 0.30 C.F./L.F., pumped, excludes blockwork	40.92	L.F.	$150.21	21.3%	23.8%	$225.50	$302	$7.39
127	Grout, concrete masonry unit (CMU) cores, 12" thick, 0.422 C.F./S.F., pumped, excludes blockwork	1,023.00	S.F.	$5,701.44	21.3%	23.8%	$8,559.15	$11,473	$11.21
128	Thin brick veneer, emperor, 4" x 3/4" x 16", on masonry/plaster back-up, includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	1,023.00	S.F.	$9,921.09	21.3%	23.8%	$14,893.79	$19,964	$19.51
129	Masonry anchors, veneer wall ties, corrugated, galvanized, 16 ga., 7/8" x 7"	10.00	C	$918.88	21.3%	23.8%	$1,379.44	$1,849	$184.90

Estimate Details

Delivery Method: CMAR
Estimate Type: AACEi Class 4
WBS: Component/Uniformat

Saginaw Keeter Bldg Reno Concept

Line #	Description	Qty.	UoM	Subtotal	Sub %	Prime %	Total Direct Cost	ECC w/Escalation	ECC Unit Cost
130	**BRICK INFILL**	**100**	**S.F.**	**$4,361**	**21.3%**	**23.8%**	**$6,546**	**$8,774**	**$87.74**
131	Concrete block, exterior, tooled joints both sides, normal weight, 2000 psi, 12" x 8" x 16", includes mortar and horizontal joint reinforcing every other course, excludes scaffolding, grout and vertical reinforcing	100.00	S.F.	$2,336.48	21.3%	23.8%	$3,507.58	$4,702	$47.02
132	Concrete block, bond beam, normal weight, 2000 psi, 12" x 8" x 16", includes mortar, excludes scaffolding, horizontal reinforcing, vertical reinforcing and grout	4.00	L.F.	$62.16	21.3%	23.8%	$93.31	$125	$31.27
133	Masonry reinforcing bars, #5 and #6 reinforcing steel bars, placed vertically, ASTM A615	23.38	Lb.	$49.51	21.3%	23.8%	$74.33	$100	$4.26
134	Masonry reinforcing bars, #5 and #6 reinforcing steel bars, placed horizontally, ASTM A615	43.42	Lb.	$81.78	21.3%	23.8%	$122.77	$165	$3.79
135	Grout, bond beams and lintels, 8" deep, 12" thick, 0.30 C.F./L.F., pumped, excludes blockwork	4.00	L.F.	$19.45	21.3%	23.8%	$29.20	$39	$9.78
136	Grout, concrete masonry unit (CMU) cores, 12" thick, 0.422 C.F./S.F., pumped, excludes blockwork	100.00	S.F.	$749.45	21.3%	23.8%	$1,125.09	$1,508	$15.08
137	Thin brick veneer, emperor, 4" x 3/4" x 16", on masonry/plaster back-up, includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	100.00	S.F.	$969.80	21.3%	23.8%	$1,455.89	$1,951	$19.51
138	Masonry anchors, veneer wall ties, corrugated, galvanized, 16 ga., 7/8" x 7"	1.00	C	$91.89	21.3%	23.8%	$137.94	$185	
139	**ACM PANELING**	**425**	**S.F.**	**$12,750**	**21.3%**	**23.8%**	**$19,141**	**$25,656**	**$60.37**
140	ACM Paneling	425.00	S.F.	$12,750.00	21.3%	23.8%	$19,140.62	$25,656	$60.37
141	**STOREFRONT**	**635**	**S.F.**	**$26,311**	**21.3%**	**23.8%**	**$39,499**	**$52,944**	**$83.38**
142	Note: North Elevation Storefront	0.00		$0.00	0.0%	0.0%	$0.00	$0	
143	Storefront systems, aluminum frame, institutional grade, clear 3/8" plate glass, 3' x 7' door with hardware	402.00	S.F.	$16,682.97	21.3%	23.8%	$25,044.89	$33,570	$83.51
144	Note: Southeast Elevation Storefront	0.00		$0.00	0.0%	0.0%	$0.00	$0	
145	Storefront systems, aluminum frame, institutional grade, clear 3/8" plate glass, 3' x 7' door with hardware	232.00	S.F.	$9,627.98	21.3%	23.8%	$14,453.77	$19,374	$83.51
146	**EXTERIOR DOOR**	**1**	**Ea.**	**$3,623**	**21.3%**	**23.8%**	**$5,439**	**$7,290**	
147	Frames, steel, knock down, hollow metal, single, 16 ga., up to 5-3/4" deep, 3'-0" x 7'-0"	1.00	Ea.	$428.02	21.3%	23.8%	$642.56	$861	
148	Doors, commercial, steel, insulated, full panel, 18 ga., 3'-0" x 7'-0" x 1-3/4" thick	1.00	Ea.	$697.80	21.3%	23.8%	$1,047.55	$1,404	
149	Door hardware, single, exterior, incl. lever, panic device	1.00	Door	$2,496.96	21.3%	23.8%	$3,748.50	$5,024	
150	**MAINTENANCE OF EXTERIORS**	**1**	**LS**	**$6,868**	**21.3%**	**23.8%**	**$10,311**	**$13,821**	
151	Power wash exterior ACM panels and brick masonry	6,251.00	S.F.	$4,883.14	21.3%	23.8%	$7,330.69	$9,826	$1.57
152	Allowance for repointing of brick as needed	4,188.00	S.F.	$1,465.80	21.3%	23.8%	$2,200.50	$2,950	$0.70
153	Replace caulking around windows	285.00	L.F.	$519.35	21.3%	23.8%	$779.66	$1,045	$3.67
154	**EXTERIOR HORIZONTAL ENCLOSURES**	**1**	**LS**	**$55,501**	**21.3%**	**23.8%**	**$83,319**	**$111,681**	
155	**ROOFING**	**1,055**	**S.F.**	**$21,100**	**21.3%**	**23.8%**	**$31,676**	**$42,458**	**$40.24**
156	PVC roofing over coverboard over 5" rigid insulation	1,055.00	S.F.	$21,100.00	21.3%	23.8%	$31,675.85	$42,458	$40.24
157	**PREFAB TRELLIS AND CANOPIES**	**1**	**LS**	**$34,401**	**21.3%**	**23.8%**	**$51,643**	**$69,222**	
158	Note: Prefab Trellis	0.00		$0.00	0.0%	0.0%	$0.00	$0	
159	Sunshade louvers, aluminum, 36" projection, includes mounting brackets, hardware, outriggers, paint	43.00	L.F.	$27,416.44	21.3%	23.8%	$41,158.26	$55,169	$1,282.99
160	Canopies, wall hung, aluminum, prefinished	88.00	S.F.	$6,984.16	21.3%	23.8%	$10,484.80	$14,054	$159.70
161	**INTERIORS**	**1**	**LS**	**$427,225**	**21.3%**	**23.8%**	**$641,361**	**$859,680**	
162	**INTERIOR CONSTRUCTION**	**1**	**LS**	**$166,475**	**21.3%**	**23.8%**	**$249,916**	**$334,988**	
163	**PARTITIONS**	**13,143**	**S.F.**	**$67,165**	**21.3%**	**23.8%**	**$100,829**	**$135,152**	**$10.28**
164	Partition wall, interior, standard, taped both sides, installed on & incl. 25 ga, NLB metal studs, 3-5/8" wide, 16" OC, 8' to 12' high, 5/8" gypsum drywall	13,143.00	S.F.	$67,164.70	21.3%	23.8%	$100,829.33	$135,152	$10.28
165	**INTERIOR DOORS**	**37**	**Ea.**	**$68,931**	**21.3%**	**23.8%**	**$103,481**	**$138,707**	**$3,748.83**
166	Frames, steel, knock down, hollow metal, single, 16 ga., up to 5-3/4" deep, 3'-0" x 7'-0"	36.00	Ea.	$15,408.79	21.3%	23.8%	$23,132.07	$31,006	$861.28
167	Frames, steel, knock down, hollow metal, double, 16 ga., up to 5-3/4" deep, 7'-0" h x 6'-0" w	1.00	Ea.	$386.80	21.3%	23.8%	$580.67	$778	
168	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	38.00	Ea.	$12,926.08	21.3%	23.8%	$19,404.96	$26,010	$684.48
169	Door hardware, single, interior, regular use, incl. lever handle	36.00	Door	$35,517.22	21.3%	23.8%	$53,319.34	$71,469	$1,985.26
170	Door hardware, double, exterior, incl. panic device	1.00	Pair	$4,692.43	21.3%	23.8%	$7,044.39	$9,442	
171	**RESTROOM ACCESSORIES**	**1**	**LS**	**$30,379**	**21.3%**	**23.8%**	**$45,605**	**$61,129**	
172	Supports for ceiling hung units	8.00	Ea.	$2,000.00	21.3%	23.8%	$3,002.45	$4,024	$503.06
173	Toilet cubicles, ceiling hung, phenolic	8.00	Ea.	$14,517.77	21.3%	23.8%	$21,794.45	$29,213	$3,651.66
174	Partitions, toilet, plastic, cubicles, ceiling hung, for handicap units, add	4.00	Ea.	$580.67	21.3%	23.8%	$871.72	$1,168	$292.11
175	Partitions, toilet, urinal screen, polymer plastic, 18" w, pilaster flush	1.00	Ea.	$479.05	21.3%	23.8%	$719.15	$964	
176	Toilet accessories, dispenser units, towel dispenser & waste receptacle, 18 gallon capacity	4.00	Ea.	$2,505.76	21.3%	23.8%	$3,761.71	$5,042	$1,260.55
177	Toilet accessories, grab bars, straight, stainless steel, 1-1/4" diameter x 18" long	4.00	Ea.	$170.33	21.3%	23.8%	$255.70	$343	$85.68
178	Toilet accessories, grab bars, straight, stainless steel, 36" long	4.00	Ea.	$276.48	21.3%	23.8%	$415.05	$556	$139.08
179	Toilet accessories, grab bars, straight, stainless steel, 42" long	4.00	Ea.	$278.47	21.3%	23.8%	$418.04	$560	$140.09
180	Toilet accessories, mirror, 30" x 48", with stainless steel 3/4" square frame	8.00	Ea.	$1,431.99	21.3%	23.8%	$2,149.74	$2,882	$360.19
181	Toilet accessories, sanitary napkin receptacle	5.00	Ea.	$1,521.21	21.3%	23.8%	$2,283.67	$3,061	$612.21
182	Toilet accessories, toilet seat cover dispenser, stainless steel	8.00	Ea.	$1,956.91	21.3%	23.8%	$2,937.76	$3,938	$492.22
183	Toilet accessories, toilet tissue dispenser, stainless steel, double roll	8.00	Ea.	$1,024.73	21.3%	23.8%	$1,538.35	$2,062	$257.75
184	Toilet accessories, soap dispenser, stainless steel, automatic, liquid	8.00	Ea.	$3,635.36	21.3%	23.8%	$5,457.49	$7,315	$914.40
185	**INTERIOR FINISHES**	**1**	**LS**	**$260,750**	**21.3%**	**23.8%**	**$391,445**	**$524,693**	
186	**CEILINGS**	**1**	**LS**	**$149,838**	**21.3%**	**23.8%**	**$224,940**	**$301,510**	
187	Note: Ceiling Tile	0.00		$0.00	0.0%	0.0%	$0.00	$0	
188	Complete suspended ceilings, fiberglass ceiling board, plain faced, offices, 2' x 2' x 3/4", include standard suspension system, excl. 1-1/2" carrier channels	7,733.00	S.F.	$76,108.48	21.3%	23.8%	$114,255.97	$153,149	$19.80
189	Note: Gypsum	0.00		$0.00	0.0%	0.0%	$0.00	$0	
190	Suspended ceiling system, 1-1/2" carriers, 24" OC with 7/8" channels, 16" OC, incl. carriers	1,729.00	S.F.	$4,975.20	21.3%	23.8%	$7,468.90	$10,011	$5.79
191	Gypsum wallboard, on ceilings, standard, taped & finished (level 4 finish), 5/8" thick	1,729.00	S.F.	$3,159.24	21.3%	23.8%	$4,742.73	$6,357	$3.68
192	Note: Ceiling Replacement in City Hall: ACT	0.00		$0.00	0.0%	0.0%	$0.00	$0	
193	Allowance - Complete suspended ceilings, fiberglass ceiling board, plain faced, offices, 2' x 2' x 3/4", include standard suspension system, excl. 1-1/2" carrier channels	6,662.00	GSF	$52,930.87	21.3%	23.8%	$79,461.15	$106,510	$15.99
194	Note: Ceiling Replacement in City Hall: GWB	0.00		$0.00	0.0%	0.0%	$0.00	$0	
195	Suspended ceiling system, 1-1/2" carriers, 24" OC with 1-5/8" channels, 16" OC, incl. carriers	1,665.00	S.F.	$7,858.13	21.3%	23.8%	$11,796.83	$15,812	$9.50
196	Gypsum wallboard, on ceilings, standard, w/compound skim coat (level 5 finish), 5/8" thick	1,665.00	S.F.	$4,805.74	21.3%	23.8%	$7,214.50	$9,670	$5.81
197	**FLOORING**	**1**	**LS**	**$50,605**	**21.3%**	**23.8%**	**$75,969**	**$101,829**	
198	Note: Carpet	0.00		$0.00	0.0%	0.0%	$0.00	$0	
199	Carpet tile, tufted nylon, hard back, 26 oz., 18" x 18"	717.22	S.Y.	$13,588.60	21.3%	23.8%	$20,399.55	$27,344	$38.12
200	Note: Tile	0.00		$0.00	0.0%	0.0%	$0.00	$0	
201	Ceramic tile, floors, glazed, porcelain type	1,089.00	S.F.	$15,335.27	21.3%	23.8%	$23,021.69	$30,858	$28.34
202	Ceramic tile, cove base, thin set, 6" x 4-1/4" h	393.00	L.F.	$5,908.94	21.3%	23.8%	$8,870.64	$11,890	$30.26
203	Note: VCT	0.00		$0.00	0.0%	0.0%	$0.00	$0	
204	Flooring, vinyl composition tile, 12" x 12" x 1/16"	1,872.00	S.F.	$5,517.84	21.3%	23.8%	$8,283.52	$11,103	$5.93

Estimate Details

Delivery Method: CMAR
Estimate Type: AACEi Class 4
WBS: Component/Uniformat

Saginaw Keeter Bldg Reno Concept

Line #	Description	Qty.	UoM	Subtotal	Sub %	Prime %	Total Direct Cost	ECC w/Escalation	ECC Unit Cost
205	Note: Walk-off	0.00		$0.00	0.0%	0.0%	$0.00	$0	
206	Carpet, commercial grades, direct cement, nylon, plush, 42 oz., medium to heavy traffic	13.00	S.Y.	$375.03	21.3%	23.8%	$563.01	$755	$58.05
207	Note: Concrete	0.00		$0.00	0.0%	0.0%	$0.00	$0	
208	Polished concrete floors, processing of interior floors, spray on penetrating densifier/hardener, 2 coats	0.31	M.S.F.	$140.95	21.3%	23.8%	$211.60	$284	$920.88
209	Note: Resilient Base	0.00		$0.00	0.0%	0.0%	$0.00	$0	
210	Wall base, vinyl, straight or cove, standard colors, 6" high, 1/8" thick	2,288.00	L.F.	$9,737.89	21.3%	23.8%	$14,618.77	$19,595	$8.56
211	**WALLS**	**1**	**LS**	**$38,765**	**21.3%**	**23.8%**	**$58,195**	**$78,005**	
212	Note: Acoustic Panel	0.00		$0.00	0.0%	0.0%	$0.00	$0	
213	Sound absorbing panels, fiberboard panels, sound deadening, 1/2" thick	883.00	S.F.	$1,011.68	21.3%	23.8%	$1,518.76	$2,036	$2.31
214	Note: FRP Panel	0.00		$0.00	0.0%	0.0%	$0.00	$0	
215	Fiberglass reinforced plastic panel, on walls, adhesive mounted, smooth surface, .090" thick	215.00	S.F.	$943.06	21.3%	23.8%	$1,415.75	$1,898	$8.83
216	Note: Tile	0.00		$0.00	0.0%	0.0%	$0.00	$0	
217	Ceramic tile, walls, glazed, porcelain type	2,614.00	S.F.	$36,810.28	21.3%	23.8%	$55,260.52	$74,071	$28.34
218	**PAINTING**	**1**	**LS**	**$21,543**	**21.3%**	**23.8%**	**$32,341**	**$43,350**	
219	Note: Dryfall	0.00		$0.00	0.0%	0.0%	$0.00	$0	
220	Dry fall painting, ceilings, concrete or textured plaster, two coat, spray	307.00	S.F.	$159.51	21.3%	23.8%	$239.46	$321	$1.05
221	Note: Ceilings and Walls	0.00		$0.00	0.0%	0.0%	$0.00	$0	
222	Paints & coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, primer or sealer coat, smooth finish, spray	28,457.00	S.F.	$5,501.93	21.3%	23.8%	$8,259.64	$11,071	$0.39
223	Paints & coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, spray	28,457.00	S.F.	$9,620.80	21.3%	23.8%	$14,442.99	$19,359	$0.68
224	Backroll finish coats of paint	28,457.00	S.F.	$6,260.72	21.3%	23.8%	$9,398.76	$12,598	$0.44
225	**SERVICES**	**1**	**LS**	**$1,164,779**	**21.3%**	**23.8%**	**$1,748,596**	**$2,343,819**	
226	**PLUMBING**	**1**	**LS**	**$197,329**	**21.3%**	**23.8%**	**$296,235**	**$397,074**	
227	**DOMESTIC WATER PIPING**	**10,071**	**S.F.**	**$99,422**	**21.3%**	**23.8%**	**$149,254**	**$200,061**	**$19.87**
228	Domestic distribution piping, type L copper, solder joints	10,071.00	S.F.	$85,603.50	21.3%	23.8%	$128,510.13	$172,255	$17.10
229	Domestic water piping insulation, fiberglass with all service jacket. 1" thick	10,071.00	S.F.	$12,588.75	21.3%	23.8%	$18,898.55	$25,332	$2.52
230	Pump, domestic recirculating	1.00	Ea.	$1,229.49	21.3%	23.8%	$1,845.74	$2,474	
231	**COMMERCIAL PLUMBING FIXTURES**	**1**	**LS**	**$50,846**	**21.3%**	**23.8%**	**$76,332**	**$102,315**	
232	Water closet, wall mount, IR sensor flush valve, carrier	8.00	Ea.	$20,942.95	21.3%	23.8%	$31,440.08	$42,142	$5,267.79
233	Urinal, wall mount, IR sensor flush valve, carrier	2.00	Ea.	$4,551.80	21.3%	23.8%	$6,833.28	$9,159	$4,579.67
234	Lavatory, wall mount, IR sensor faucet, carrier	8.00	Ea.	$13,407.21	21.3%	23.8%	$20,127.25	$26,979	$3,372.32
235	Breakroom sink, ss double comp, manual faucet	1.00	Ea.	$1,775.90	21.3%	23.8%	$2,666.03	$3,574	
236	Mop sink, floor mount, manual faucet	1.00	Ea.	$2,567.87	21.3%	23.8%	$3,854.95	$5,167	
237	Floor drain, mech room	1.00	Ea.	$727.46	21.3%	23.8%	$1,092.08	$1,464	
238	Floor drain, bathroom	4.00	Ea.	$2,509.84	21.3%	23.8%	$3,767.83	$5,050	$1,262.60
239	Water cooler, electric, bi-level, with bottle filler	1.00	Ea.	$3,885.74	21.3%	23.8%	$5,833.37	$7,819	
240	Coffee maker connection with backflow preventer	1.00	Ea.	$477.46	21.3%	23.8%	$716.77	$961	
241	**SANITARY WASTE & VENT PIPING**	**1**	**LS**	**$28,482**	**21.3%**	**23.8%**	**$42,758**	**$57,312**	
242	Note: Sawcutting, removal and pour back	350.00	S.F.	$0.00	0.0%	0.0%	$0.00	$0	$0.00
243	Concrete sawing, concrete slabs, rod reinforced, up to 3" deep, includes blade cost, layout and set up time	255.00	L.F.	$700.37	21.3%	23.8%	$1,051.41	$1,409	$5.53
244	Concrete sawing, concrete, existing slab, rod reinforced, for each additional inch of depth over 3", includes blade cost, layout and set up time	765.00	L.F.	$736.12	21.3%	23.8%	$1,105.08	$1,481	$1.94
245	Selective concrete demolition, reinforcing more than 2% cross-sectional area, break up into small pieces, excludes shoring, bracing, saw or torch cutting, loading, hauling, dumping	6.48	C.Y.	$1,672.81	21.3%	23.8%	$2,511.26	$3,366	$519.46
246	1-1/2 C.Y. bucket, loading and/or spreading, shovel	6.48	B.C.Y.	$16.18	21.3%	23.8%	$24.30	$33	$5.03
247	Cycle hauling (wait, load, travel, unload or dump & return) time per cycle, excavated or borrow, loose cubic yards, 25 min wait/load/unload, 8 C.Y. truck, cycle 4 miles, 15 MPH, excludes loading equipment	6.48	L.C.Y.	$82.08	21.3%	23.8%	$123.22	$165	$25.49
248	Structural concrete, in place, slab on grade (3500 psi), 6" thick, includes forms(4 uses), Grade 60 rebar, concrete (Portland cement Type I), and placing	6.48	C.Y.	$1,687.97	21.3%	23.8%	$2,534.03	$3,397	$524.17
249	Note: Excavation & backfill	0.00		$0.00	0.0%	0.0%	$0.00	$0	
250	Excavating, trench or continuous footing, common earth, 3/4 C.Y. excavator, to 14' deep	51.11	B.C.Y.	$1,038.50	21.3%	23.8%	$1,559.02	$2,090	$40.89
251	Backfill, haul from existing stockpile, excludes compaction	66.44	L.C.Y.	$790.39	21.3%	23.8%	$1,186.55	$1,590	$23.94
252	Compaction, vibrating plate	66.44	E.C.Y.	$165.06	21.3%	23.8%	$247.79	$332	$5.00
253	Fill, gravel embed in pipe trench, compacted, to 9" deep	345.00	S.F.	$601.68	21.3%	23.8%	$903.26	$1,211	$3.51
254	Note: New sanitary waste & vent piping	0.00		$0.00	0.0%	0.0%	$0.00	$0	
255	Sanitary waste piping, below grade, Sch 40 PVC	400.00	L.F.	$6,000.00	21.3%	23.8%	$9,007.35	$12,073	$30.18
256	Sanitary vent piping, above grade, no hub cast iron	320.00	L.F.	$11,200.00	21.3%	23.8%	$16,813.72	$22,537	$70.43
257	Drain, floor, medium duty, cast iron, deep flange, with polished bronze top, 7" diameter top	4.00	Ea.	$2,102.73	21.3%	23.8%	$3,156.67	$4,231	$1,057.80
258	Note: Concrete pour back	0.00		$0.00	0.0%	0.0%	$0.00	$0	
259	Structural concrete, in place, slab on grade (3500 psi), 6" thick, includes forms(4 uses), Grade 60 rebar, concrete (Portland cement Type I), and placing	6.48	C.Y.	$1,687.97	21.3%	23.8%	$2,534.03	$3,397	$524.17
260	**NATURAL GAS PIPING**	**1**	**LS**	**$4,949**	**21.3%**	**23.8%**	**$7,430**	**$9,959**	
261	Note: Natural gas piping	0.00		$0.00	0.0%	0.0%	$0.00	$0	
262	Pipe, steel, black, threaded, 1" diameter, schedule 40, A-106, grade A/B seamless, includes coupling and clevis hanger assembly sized for covering, 10' OC	100.00	L.F.	$3,091.63	21.3%	23.8%	$4,641.24	$6,221	$62.21
263	Elbow, 90 Deg., steel, malleable iron, black, straight, threaded, 150 lb., 1"	24.00	Ea.	$1,490.66	21.3%	23.8%	$2,237.81	$3,000	$124.98
264	Tee, steel, malleable iron, black, straight, threaded, 150 lb., 1"	3.00	Ea.	$300.08	21.3%	23.8%	$450.49	$604	$201.28
265	Pressure regulator, gas appliance, main burner and pilot applications, rubber seat poppet type, threaded, 3/4" pipe size	1.00	Ea.	$66.85	21.3%	23.8%	$100.35	$135	
266	**COMMERCIAL GAS DOMESTIC WATER HEATER**	**1**	**LS**	**$13,630**	**21.3%**	**23.8%**	**$20,461**	**$27,427**	
267	Note: New domestic water heater -100 Gallon	0.00		$0.00	0.0%	0.0%	$0.00	$0	
268	Water heater, gas fired, 120 MBH input, includes standard controls, excludes vent	1.00	Ea.	$7,080.03	21.3%	23.8%	$10,628.72	$14,247	
269	Domestic water piping connection, specialties & accessories	1.00	Ea.	$4,799.87	21.3%	23.8%	$7,205.68	$9,659	
270	Water heater flue/vent	1.00	Ea.	$633.31	21.3%	23.8%	$950.74	$1,274	
271	Natural gas piping connection	1.00	Ea.	$1,116.62	21.3%	23.8%	$1,676.30	$2,247	
272	**HEATING, VENTILATION, AND AIR CONDITIONING (HVAC)**	**1**	**LS**	**$334,478**	**21.3%**	**23.8%**	**$502,127**	**$673,051**	
273	**HVAC OPTION #1**	**10,073**	**GSF**	**$334,478**	**21.3%**	**23.8%**	**$502,127**	**$673,051**	**$66.82**
274	**PACKAGED OUTDOOR HVAC EQUIPMENT**	**10,073**	**GSF**	**$60,414**	**21.3%**	**23.8%**	**$90,695**	**$121,568**	**$12.07**
275	Rooftop air conditioner, multi-zone, dx cool, 30 ton cooling, includes, standard controls, curb and economizer	1.00	Ea.	$56,242.47	21.3%	23.8%	$84,432.61	$113,174	
276	Crane crew, daily use for small jobs, 40-ton truck-mounted hydraulic crane, portal to portal	1.00	Day	$4,171.48	21.3%	23.8%	$6,262.32	$8,394	

Estimate Details

Delivery Method: CMAR
Estimate Type: AACEi Class 4
WBS: Component/Uniformat

Saginaw Keeter Bldg Reno Concept

Line #	Description	Qty.	UoM	Subtotal	Sub %	Prime %	Total Direct Cost	ECC w/Escalation	ECC Unit Cost
277	**HVAC DUCTWORK**	**10,073**	**GSF**	**$76,145**	**21.3%**	**23.8%**	**$114,311**	**$153,223**	**$15.21**
278	Note: Supply air ductwork (return air is open ceiling return)	0.00		$0.00	0.0%	0.0%	$0.00	$0	
279	Supply ductwork, medium pressure, galv.	3,021.90	Lb.	$18,131.40	21.3%	23.8%	$27,219.31	$36,485	$12.07
280	Supply ductwork, low pressure, galv.	7,051.10	Lb.	$28,204.40	21.3%	23.8%	$42,341.16	$56,754	$8.05
281	Duct Insulation	5,036.50	S.F.	$20,146.00	21.3%	23.8%	$30,243.68	$40,539	$8.05
282	Note: Bathroom exhaust ductwork	0.00		$0.00	0.0%	0.0%	$0.00	$0	
283	Exhaust ductwork, galv.	800.00	Lb.	$6,400.00	21.3%	23.8%	$9,607.84	$12,878	$16.10
284	Note: Connector corridor split system ductwork	0.00		$0.00	0.0%	0.0%	$0.00	$0	
285	Split system air conditioner, subassembly for assembly systems, duct work per ton single unit	2.00	Ton	$3,263.59	21.3%	23.8%	$4,899.39	$6,567	$3,283.57
286	**AIR TERMINAL UNITS**	**10,073**	**GSF**	**$33,185**	**21.3%**	**23.8%**	**$49,818**	**$66,775**	**$6.63**
287	Note: VAV boxes, assumes 500 CFM average size	0.00		$0.00	0.0%	0.0%	$0.00	$0	
288	Duct accessories, variable air volume, electric reheat coil, direct digital control, 500 CFM, no hydronic coils	20.00	Ea.	$33,184.58	21.3%	23.8%	$49,817.52	$66,775	$3,338.77
289	**AIR INLETS AND OUTLETS**	**10,073**	**GSF**	**$32,550**	**21.3%**	**23.8%**	**$48,864**	**$65,498**	**$6.50**
290	Diffusers, grilles, transfers	150.00	Ea.	$28,200.00	21.3%	23.8%	$42,334.55	$56,745	$378.30
291	Ductwork, flexible coated fiberglass fabric on corrosion resistant metal helix, insulated, P.E. jacket, 1" thick	450.00	L.F.	$4,349.54	21.3%	23.8%	$6,529.64	$8,752	$19.45
292	**HVAC FANS**	**10,073**	**GSF**	**$2,596**	**21.3%**	**23.8%**	**$3,897**	**$5,223**	**$0.52**
293	Fans, down blast, motor and drive complete, 900 CFM, with curb	1.00	Ea.	$2,595.73	21.3%	23.8%	$3,896.77	$5,223	
294	**DECENTRALIZED UNITARY HVAC EQUIPMENT**	**10,073**	**GSF**	**$11,332**	**21.3%**	**23.8%**	**$17,011**	**$22,802**	**$2.26**
295	Note: Electrical & MDF room cooling only split systems - 1 ton	0.00		$0.00	0.0%	0.0%	$0.00	$0	
296	Split ductless system, cooling only, single zone, wall mount, 1 ton cooling	2.00	Ea.	$3,975.55	21.3%	23.8%	$5,968.20	$8,000	$3,999.89
297	Split ductless system, accessories for all split ductless systems, for tube / wiring kit, 50' kit	2.00	Ea.	$975.60	21.3%	23.8%	$1,464.60	$1,963	$981.57
298	Curbs/pads prefabricated, pad, condenser, fiberglass reinforced concrete with polystyrene foam core, 2" thick, 24" x 36"	1.00	Ea.	$159.66	21.3%	23.8%	$239.69	$321	
299	Note: Connector addition heat pump ducted split systems - 2 ton	0.00		$0.00	0.0%	0.0%	$0.00	$0	
300	Heat pump, air to air single package, 2 ton cooling, 6.5 MBH heat @ 0Deg.F, excludes interconnecting tubing, curbs, pads and ductwork	1.00	Ea.	$5,444.32	21.3%	23.8%	$8,173.15	$10,955	
301	Split system, accessories for all split ductless systems, for tube / wiring kit, 50' kit	1.00	Ea.	$487.80	21.3%	23.8%	$732.30	$982	
302	Curbs/pads prefabricated, pad, condenser, fiberglass reinforced concrete with polystyrene foam core, 2" thick, 36" x 36"	1.00	Ea.	$288.73	21.3%	23.8%	$433.45	$581	
303	**REFRIGERANT PIPING**	**10,073**	**GSF**	**$8,970**	**21.3%**	**23.8%**	**$13,465**	**$18,049**	**$1.79**
304	NOTE: Refrigerant piping to split systems (3 Ea.)	0.00		$0.00	0.0%	0.0%	$0.00	$0	
305	Refrigerant line sets, insulated copper supply and return tubes, 3/8" and 3/4" tubes, 1/2" insulation, 50' long	3.00	Ea.	$2,015.02	21.3%	23.8%	$3,025.01	$4,055	$1,351.57
306	Pipe hanger / support, hangers, trapeze channel support, steel, 12" wide, steel	25.00	Ea.	$3,308.62	21.3%	23.8%	$4,966.99	$6,658	$266.31
307	Refrigerant specialties, site glass, filter dryer	3.00	Ea.	$1,308.62	21.3%	23.8%	$1,964.53	$2,633	$877.75
308	Refrigeration specialties, refrigerant, R-410A, 25 lb. cylinder	15.00	Lb.	$2,337.29	21.3%	23.8%	$3,508.80	$4,703	$313.55
309	**CONDENSATE DRAIN PIPING**	**10,073**	**GSF**	**$4,004**	**21.3%**	**23.8%**	**$6,011**	**$8,056**	**$0.80**
310	NOTE: Condensate drain piping to split system (3 Ea.)	0.00		$0.00	0.0%	0.0%	$0.00	$0	
311	Pipe, copper, tubing, solder, 3/4" diameter, type L, includes coupling & clevis hanger assembly 10' OC	120.00	L.F.	$1,650.56	21.3%	23.8%	$2,477.87	$3,321	$27.68
312	Elbow, 90 Deg., copper, wrought, copper x copper, 3/4"	40.00	Ea.	$1,559.09	21.3%	23.8%	$2,340.55	$3,137	$78.43
313	Insulation, pipe covering (price copper tube one size less than I.P.S.), fiberglass with all service jacket, 1/2" wall, 1/2" iron pipe size	120.00	L.F.	$794.07	21.3%	23.8%	$1,192.08	$1,598	$13.32
314	**MISC HVAC**	**10,073**	**GSF**	**$40,284**	**21.3%**	**23.8%**	**$60,475**	**$81,061**	**$8.05**
315	Test and balancing, air	10,071.00	S.F.	$40,284.00	21.3%	23.8%	$60,475.35	$81,061	$8.05
316	NOTE: Startup - Included	0.00		$0.00	0.0%	0.0%	$0.00	$0	
317	NOTE: Commissioning assistance - Included	0.00		$0.00	0.0%	0.0%	$0.00	$0	
318	NOTE: Pipe, duct & equipment identification - Included	0.00		$0.00	0.0%	0.0%	$0.00	$0	
319	NOTE: Sleeves, penetrations & firestopping - Included	0.00		$0.00	0.0%	0.0%	$0.00	$0	
320	**INSTRUMENTATION AND CONTROL FOR HVAC**	**10,073**	**GSF**	**$65,000**	**21.3%**	**23.8%**	**$97,580**	**$130,796**	**$12.98**
321	Note: Stand alone controls	0.00		$0.00	0.0%	0.0%	$0.00	$0	
322	RTU	1.00	Ea.	$3,000.00	21.3%	23.8%	$4,503.68	$6,037	
323	VAV	20.00	Ea.	$30,000.00	21.3%	23.8%	$45,036.76	$60,367	$3,018.36
324	VAV Room Temp Sensors	20.00	Ea.	$20,000.00	21.3%	23.8%	$30,024.50	$40,245	$2,012.24
325	Exhaust fan	1.00	Ea.	$1,500.00	21.3%	23.8%	$2,251.84	$3,018	
326	Electric unit heater	1.00	Ea.	$1,500.00	21.3%	23.8%	$2,251.84	$3,018	
327	Split systems - MDF & Electrical	2.00	Ea.	$4,000.00	21.3%	23.8%	$6,004.90	$8,049	$4,024.49
328	Split systems - Corridor Addition	1.00	Ea.	$3,000.00	21.3%	23.8%	$4,503.68	$6,037	
329	CO2 Sensors for DCV	2.00	Ea.	$2,000.00	21.3%	23.8%	$3,002.45	$4,024	$2,012.24
330	**FIRE SUPPRESSION - LIBRARY**	**1**	**LS**	**$120,876**	**21.3%**	**23.8%**	**$181,462**	**$243,232**	
331	New Fire Suppression System	10,073.00	S.F.	$120,876.00	21.3%	23.8%	$181,462.09	$243,232	$24.15
332	**FIRE SUPPRESSION - CITY HALL**	**1**	**LS**	**$124,905**	**21.3%**	**23.8%**	**$187,511**	**$251,339**	
333	Note: Ceiling Replacement Costs are Covered Under Section C20 - Interior Finishes	0.00		$0.00	0.0%	0.0%	$0.00	$0	
334	New Fire Suppression System - Includes Additional Logistical Cost	8,327.00	S.F.	$124,905.00	21.3%	23.8%	$187,510.53	$251,339	$30.18
335	**ELECTRICAL**	**1**	**LS**	**$201,311**	**21.3%**	**23.8%**	**$302,214**	**$405,087**	
336	Selective demolition and temporary lighting fixture thru space	0.15	S.F.	$1.15	21.3%	23.8%	$1.73	$2	$15.15
337	Demolition of existing service	1.00	LS	$2,874.08	21.3%	23.8%	$4,314.65	$5,783	
338	Main service 100kVA (400AMP) Switchboard	1.00	LS	$4,900.00	21.3%	23.8%	$7,356.00	$9,860	
339	Rigid galvanized steel conduit, 4" diameter, to 10' high, includes 11 couplings per 100'	50.00	L.F.	$2,745.49	21.3%	23.8%	$4,121.59	$5,525	$110.49
340	Wire, copper, stranded, 600 volt, 500 kcmil, type THWN-THHN, normal installation conditions in wireway, conduit, cable tray	18.00	C.L.F.	$26,430.94	21.3%	23.8%	$39,678.79	$53,185	$2,954.75
341	Wire, copper, stranded, 600 volt, 4/0, type THWN-THHN, normal installation conditions in wireway, conduit, cable tray	6.00	C.L.F.	$5,050.31	21.3%	23.8%	$7,581.65	$10,162	$1,693.74
342	Circuit breakers, bolt-on, 10 k A I.C., 3 pole, 240 volt, 80-100 amp	4.00	Ea.	$1,522.20	21.3%	23.8%	$2,285.16	$3,063	$765.76
343	Wire, copper, stranded, 600 volt, #8, type THW, normal installation conditions in wireway, conduit, cable tray	40.00	C.L.F.	$4,105.38	21.3%	23.8%	$6,163.10	$8,261	$206.53
344	Wire, copper, stranded, 600 volt, #2, type THW, normal installation conditions in wireway, conduit, cable tray	120.00	C.L.F.	$38,667.55	21.3%	23.8%	$58,048.70	$77,809	$648.40
345	Electric metallic tubing, 2" diameter, to 10' high, includes 11 couplings per 100'	400.00	L.F.	$4,183.07	21.3%	23.8%	$6,279.73	$8,417	$21.04
346	Centralized battery inverter 10kW	1.00	LS	$16,124.45	21.3%	23.8%	$24,206.43	$32,446	
347	2'x4' lay-in fixtures for back-of-house areas	125.00	Ea.	$25,000.00	21.3%	23.8%	$37,530.63	$50,306	$402.45
348	Egress lighting connected to the battery inverter	25.00	Ea.	$8,750.00	21.3%	23.8%	$13,135.72	$17,607	$704.29
349	Repair Grounding and Bonding	1.00	LS	$3,000.00	21.3%	23.8%	$4,503.68	$6,037	
350	Electric metallic tubing, 3/4" diameter, to 10' high, includes 11 couplings per 100'	3,500.00	L.F.	$11,190.98	21.3%	23.8%	$16,800.18	$22,519	$6.43
351	Wire, copper, solid, 600 volt, #12, type THWN-THHN, normal installation conditions in wireway, conduit, cable tray	140.00	C.L.F.	$7,878.60	21.3%	23.8%	$11,827.55	$15,854	$113.24
352	Lighting control relay panel, 4 relay, with timeclock	2.00	Ea.	$3,113.66	21.3%	23.8%	$4,674.30	$6,265	$3,132.72
353	Lighting devices, occupancy sensors, passive infrared, ceiling mounted	20.00	Ea.	$2,433.51	21.3%	23.8%	$3,653.25	$4,897	$244.84

Estimate Details

Delivery Method: CMAR
Estimate Type: AACEi Class 4
WBS: Component/Uniformat

Saginaw Keeter Bldg Reno Concept

Line #	Description	Qty.	UoM	Subtotal	Sub %	Prime %	Total Direct Cost	ECC w/Escalation	ECC Unit Cost
354	Lighting devices, daylighting sensor, manual control, ceiling mounted	5.00	Ea.	$1,052.66	21.3%	23.8%	$1,580.28	$2,118	$423.64
355	Lighting devices, remote power pack	30.00	Ea.	$2,442.50	21.3%	23.8%	$3,666.74	$4,915	$163.83
356	Lighting devices, automatic wall switches	15.00	Ea.	$1,426.19	21.3%	23.8%	$2,141.03	$2,870	$191.32
357	Outlet boxes, pressed steel, 4" octagon	200.00	Ea.	$4,214.17	21.3%	23.8%	$6,326.42	$8,480	$42.40
358	Receptacle devices, residential, decorator style, with #12/2, type NM cable, 20 amp, incl box & cover plate	75.00	Ea.	$5,134.87	21.3%	23.8%	$7,708.59	$10,333	$137.77
359	Electric metallic tubing, 3/4" diameter, to 10' high, includes 11 couplings per 100'	3,500.00	L.F.	$11,190.98	21.3%	23.8%	$16,800.18	$22,519	$6.43
360	Wire, copper, solid, 600 volt, #12, type THWN-THHN, normal installation conditions in wireway, conduit, cable tray	140.00	C.L.F.	$7,878.60	21.3%	23.8%	$11,827.55	$15,854	$113.24
361	**COMMUNICATIONS**	**1**	**LS**	**$28,504**	**21.3%**	**23.8%**	**$42,791**	**$57,356**	
362	Equipment Room Setup	1.00	LS	$23,748.17	21.3%	23.8%	$35,651.34	$47,787	
363	Voice/data wall plate, plastic, 1 gang, 1-port, excl voice/data devices	3.00	Ea.	$26.68	21.3%	23.8%	$40.05	$54	$17.90
364	Unshielded twisted pair (UTP) jack, RJ45, category 6	6.00	Ea.	$113.26	21.3%	23.8%	$170.03	$228	$37.99
365	Voice/data wall plate, plastic, 1 gang, 1-port, excl voice/data devices	3.00	Ea.	$26.68	21.3%	23.8%	$40.05	$54	$17.90
366	Unshielded twisted pair (UTP) jack, RJ45, category 6	6.00	Ea.	$113.26	21.3%	23.8%	$170.03	$228	$37.99
367	Electric metallic tubing (EMT), 1" diameter, to 10' high, incl 2 terminations, 2 elbows, 11 beam clamps, and 11 couplings per 100 LF	330.00	L.F.	$3,408.64	21.3%	23.8%	$5,117.14	$6,859	$20.78
368	Cable support, J-hook, single tier, single sided, 1" diameter	100.00	Ea.	$1,067.06	21.3%	23.8%	$1,601.90	$2,147	$21.47
369	**ELECTRONIC SAFETY AND SECURITY**	**1**	**LS**	**$58,891**	**21.3%**	**23.8%**	**$88,409**	**$118,503**	
370	DEMOLITION FIRE ALARM SYSTEM	1.00	LS	$0.01	21.3%	23.8%	$0.02	$0	
371	Fire alarm horn and strobe light, electrical demolition, remove	40.00	Ea.	$1,218.15	21.3%	23.8%	$1,828.72	$2,451	$61.28
372	Fire alarm annunciation panel, 12 to 16 zone, electrical demolition, remove	1.00	Ea.	$162.44	21.3%	23.8%	$243.86	$327	
373	FIRE ALARM NEW DEVICES	1.00	LS	$0.01	21.3%	23.8%	$0.02	$0	
374	Detection system, smoke detector, duct type, addressable, excl. wires & conduit	5.00	Ea.	$1,869.99	21.3%	23.8%	$2,807.28	$3,763	$752.58
375	Detection system, remote fire alarm indicator light	5.00	Ea.	$631.07	21.3%	23.8%	$947.37	$1,270	$253.97
376	Photoelectric smoke detector	5.00	Ea.	$1,520.57	21.3%	23.8%	$2,282.72	$3,060	$611.95
377	Detection system, fire alarm control panel, 12 zone, excluding wires & conduits	1.00	Ea.	$4,617.96	21.3%	23.8%	$6,932.59	$9,292	
378	Sound system, intercom remote station 15	20.00	Ea.	$5,218.15	21.3%	23.8%	$7,833.62	$10,500	$525.01
379	FIRE ALARM CABLING (ABOVE 8' FREE AIR)	1.00	LS	$0.01	21.3%	23.8%	$0.02	$0	
380	Cable support, J-hook, single tier, single sided, 1" diameter	50.00	Ea.	$533.53	21.3%	23.8%	$800.95	$1,074	$21.47
381	Electric metallic tubing, 3/4" diameter, to 10' high, includes 11 couplings per 100'	300.00	L.F.	$1,094.16	21.3%	23.8%	$1,642.58	$2,202	$7.34
382	Fire alarm cable, FEP teflon, 150 V, to 200 Deg.C, #18, 2 pair	10.00	C.L.F.	$4,550.88	21.3%	23.8%	$6,831.89	$9,157	$915.75
383	Fire alarm cable, FEP teflon, 150 V, to 200 Deg.C, #22, 2 pair	5.00	C.L.F.	$2,624.69	21.3%	23.8%	$3,940.26	$5,282	$1,056.30
384	Programing and testing	1.00	LS	$937.04	21.3%	23.8%	$1,406.71	$1,886	
385	Outlet boxes, cast, 1 gang, FS, 3/4" hub, 2" deep	10.00	Ea.	$1,036.62	21.3%	23.8%	$1,556.20	$2,086	$208.59
386	Unshielded twisted pair (UTP) jack, RJ45, category 6	20.00	Ea.	$377.54	21.3%	23.8%	$566.78	$760	$37.99
387	Closed circuit television system (CCTV), industrial quality, for weatherproof camera station, add	10.00	Ea.	$13,748.26	21.3%	23.8%	$20,639.23	$27,665	$2,766.48
388	Cat-6 cable	1,500.00	L.F.	$18,750.00	21.3%	23.8%	$28,147.97	$37,730	$25.15
389	**INTEGRATION AUTOMATION**	**1**	**LS**	**$98,485**	**21.3%**	**23.8%**	**$147,848**	**$198,176**	
390	Cat-6 cable	6,000.00	L.F.	$75,000.00	21.3%	23.8%	$112,591.89	$150,918	$25.15
391	Outlet boxes, cast, 1 gang, FS, 3/4" hub, 2" deep	60.00	Ea.	$6,219.71	21.3%	23.8%	$9,337.19	$12,516	$208.59
392	Unshielded twisted pair (UTP) jack, RJ45, category 6	120.00	Ea.	$2,265.26	21.3%	23.8%	$3,400.67	$4,558	$37.99
393	BMS panel and equipment for HVAC	1.00	LS	$15,000.00	21.3%	23.8%	$22,518.38	$30,184	
394	**EQUIPMENT AND FURNISHINGS**	**1**	**LS**	**$232,272**	**21.3%**	**23.8%**	**$348,692**	**$467,387**	
395	**FURNISHINGS**	**1**	**LS**	**$207,272**	**21.3%**	**23.8%**	**$311,161**	**$417,081**	
396	**CASEWORK**	**1**	**LS**	**$27,635**	**21.3%**	**23.8%**	**$41,486**	**$55,607**	
397	Private Breakroom casework and countertop	17.00	L.F.	$5,938.57	21.3%	23.8%	$8,915.12	$11,950	$702.93
398	Shared Space casework and countertop	32.00	L.F.	$10,698.48	21.3%	23.8%	$16,060.82	$21,528	$672.75
399	Shared Space island casework and countertop	1.00	LS	$10,997.46	21.3%	23.8%	$16,509.66	$22,130	
400	**FURNITURE**	**1**	**LS**	**$179,637**	**21.3%**	**23.8%**	**$269,676**	**$361,473**	
401	Corner Decks	6.00	Ea.	$22,884.66	21.3%	23.8%	$34,355.03	$46,050	$7,674.92
402	Cardenza	6.00	Ea.	$12,192.33	21.3%	23.8%	$18,303.44	$24,534	$4,088.99
403	Small Conference Tables	30.00	Ea.	$25,980.83	21.3%	23.8%	$39,003.08	$52,280	$1,742.66
404	Large Conference Tables	2.00	Ea.	$6,032.06	21.3%	23.8%	$9,055.47	$12,138	$6,068.98
405	Office Desk	13.00	Ea.	$10,375.08	21.3%	23.8%	$15,575.33	$20,877	$1,605.94
406	Tall Storage Cabinet	33.00	Ea.	$60,986.74	21.3%	23.8%	$91,554.83	$122,720	$3,718.79
407	Breakroom Tables	4.00	Ea.	$2,064.11	21.3%	23.8%	$3,098.70	$4,153	$1,038.37
408	Breakroom Chair	8.00	Ea.	$1,608.22	21.3%	23.8%	$2,414.30	$3,236	$404.52
409	Task Chair	110.00	Ea.	$37,513.05	21.3%	23.8%	$56,315.53	$75,485	$686.23
410	**EQUIPMENT**	**1**	**LS**	**$25,000**	**21.3%**	**23.8%**	**$37,531**	**$50,306**	
411	Copy Machine	2.00	Ea.	$9,500.00	21.3%	23.8%	$14,261.64	$19,116	$9,558.15
412	Refrigerator	1.00	Ea.	$2,000.00	21.3%	23.8%	$3,002.45	$4,024	
413	Dish Washer	1.00	Ea.	$1,500.00	21.3%	23.8%	$2,251.84	$3,018	
414	Secured Storage - Allowance	1.00	Ea.	$12,000.00	21.3%	23.8%	$18,014.70	$24,147	
415	**SPECIAL CONSTRUCTION AND DEMOLITION**	**1**	**LS**	**$128,074**	**21.3%**	**23.8%**	**$192,268**	**$257,716**	
416	**SPECIAL CONSTRUCTION**	**1**	**LS**	**$61,920**	**21.3%**	**23.8%**	**$92,956**	**$124,598**	
417	**SIDEWALK CANOPY**	**1**	**LS**	**$61,920**	**21.3%**	**23.8%**	**$92,956**	**$124,598**	
418	Sidewalk canopy allowance	1,032.00	S.F.	$61,920.00	21.3%	23.8%	$92,955.86	$124,598	$120.73
419	**DEMOLITION**	**1**	**LS**	**$66,154**	**21.3%**	**23.8%**	**$99,312**	**$133,118**	
420	**ARCHITECTURAL**	**1**	**LS**	**$38,928**	**21.3%**	**23.8%**	**$58,439**	**$78,332**	
421	Note: 1 - Remove Flooring	0.00		$0.00	0.0%	0.0%	$0.00	$0	
422	Flooring demolition, remove flooring	9,077.00	S.F.	$12,596.41	21.3%	23.8%	$18,910.05	$25,347	$2.79
423	Flooring demolition, tile, ceramic, thin set	254.00	S.F.	$244.26	21.3%	23.8%	$366.69	$492	$1.94
424	Note: 2 - Remove Ceilings	0.00		$0.00	0.0%	0.0%	$0.00	$0	
425	Ceiling demolition, suspended ceiling, mineral fiber, on suspension system, remove	8,819.00	S.F.	$4,593.82	21.3%	23.8%	$6,896.36	$9,244	$1.05
426	Ceiling demolition, drywall, on metal frame, 2 layers, 5/8" gypsum board, remove	211.00	S.F.	$177.55	21.3%	23.8%	$266.54	$357	$1.69
427	Note: 3 - Demo Partitions	0.00		$0.00	0.0%	0.0%	$0.00	$0	
428	Walls and partitions demolition, drywall, two layers, nailed or screwed	5,179.00	S.F.	$4,150.37	21.3%	23.8%	$6,230.64	$8,352	$1.61
429	Note: 4 - Demo Doors, Windows & Frames	0.00		$0.00	0.0%	0.0%	$0.00	$0	
430	Door demolition, interior door, single, 3' x 7' high, 1-3/8" thick, remove	10.00	Ea.	$160.28	21.3%	23.8%	$240.61	$323	$32.25
431	Door demolition, exterior door, single, 3' x 7' high, 1-3/4" thick, remove	1.00	Ea.	$20.03	21.3%	23.8%	$30.08	$40	
432	Door demolition, interior door, double, 6' x 7' high, 1-3/8" thick, remove	2.00	Ea.	$40.07	21.3%	23.8%	$60.15	$81	$40.31
433	Door demolition, exterior door, double, 6' x 7' high, 1-3/4" thick, remove	2.00	Ea.	$53.45	21.3%	23.8%	$80.24	$108	$53.78
434	Door demolition, door frames, metal, remove	15.00	Ea.	$932.74	21.3%	23.8%	$1,400.25	$1,877	$125.13
435	Window demolition, aluminum	1.00	Ea.	$29.13	21.3%	23.8%	$43.73	$59	

Estimate Details

Delivery Method: CMAR
Estimate Type: AACEi Class 4
WBS: Component/Uniformat

Saginaw Keeter Bldg Reno Concept

Line #	Description	Qty.	UoM	Subtotal	Sub %	Prime %	Total Direct Cost	ECC w/Escalation	ECC Unit Cost
436	Note: 6 - Demo Book Drop	0.00		$0.00	0.0%	0.0%	$0.00	$0	
437	Demo Book Drop	1.00	Ea.	$40.07	21.3%	23.8%	$60.15	$81	
438	Note: 7 - Demo Signage and Repair Wall	0.00		$0.00	0.0%	0.0%	$0.00	$0	
439	Demo exterior signage and repair wall	1.00	Ea.	$125.17	21.3%	23.8%	$187.91	$252	
440	Note: 8 - Demo Canopy	0.00		$0.00	0.0%	0.0%	$0.00	$0	
441	Entrance canopy, selective demolition, including frame	211.00	S.F.	$7,926.23	21.3%	23.8%	$11,899.05	$15,950	$75.59
442	Note: 10 - Demo Finishes of Interior Gyp Walls	0.00		$0.00	0.0%	0.0%	$0.00	$0	
443	Demo finishes of interior gyp	5,347.00	S.F.	$2,571.00	21.3%	23.8%	$3,859.65	$5,173	$0.97
444	Walls and partitions demolition, tile, ceramic, on walls, thin set	1,226.00	S.F.	$1,326.37	21.3%	23.8%	$1,991.18	$2,669	$2.18
445	Note: 11 - Demo Exterior Wall	0.00		$0.00	0.0%	0.0%	$0.00	$0	
446	Selective demolition, masonry, concrete block walls, reinforced alternate courses, 12" thick	25.00	S.F.	$18.03	21.3%	23.8%	$27.07	$36	$1.45
447	Selective demolition, masonry, veneers, stone, 4" thick	25.00	S.F.	$44.08	21.3%	23.8%	$66.17	$89	$3.55
448	Note: Restroom Accessories	0.00		$0.00	0.0%	0.0%	$0.00	$0	
449	Specialties demolition, demolition, mirror, wall mounted	2.00	Ea.	$21.40	21.3%	23.8%	$32.12	$43	$21.53
450	Specialties demolition, toilet cubicles, remove	3.00	Ea.	$240.42	21.3%	23.8%	$360.92	$484	$161.26
451	Urinal screen, remove	1.00	Ea.	$26.73	21.3%	23.8%	$40.12	$54	
452	Restroom accessories, remove	12.00	Ea.	$120.21	21.3%	23.8%	$180.46	$242	$20.16
453	Note: Ceiling Demolition in City Hall	0.00		$0.00	0.0%	0.0%	$0.00	$0	
454	Allowance - ceiling demolition, suspended ceiling, mineral fiber, on suspension system, remove	8,327.00	GSF	$3,470.03	21.3%	23.8%	$5,209.30	$6,983	$0.84
455	**HVAC OPTION #1**	**10,073**	**GSF**	**$27,226**	**21.3%**	**23.8%**	**$40,872**	**$54,785**	**$5.44**
456	**PLUMBING**	**10,073**	**GSF**	**$2,462**	**21.3%**	**23.8%**	**$3,696**	**$4,954**	**$0.49**
457	Fixture, plumbing, selective demolition	6.00	Ea.	$389.44	21.3%	23.8%	$584.64	$784	$130.61
458	Pipe, metal pipe, 4" diam., selective demolition	500.00	L.F.	$1,504.85	21.3%	23.8%	$2,259.12	$3,028	$6.06
459	Pipe hanger / support, selective demolition	100.00	Ea.	$567.87	21.3%	23.8%	$852.50	$1,143	$11.43
460	**HVAC**	**10,073**	**GSF**	**$24,764**	**21.3%**	**23.8%**	**$37,176**	**$49,831**	**$4.95**
461	Ductwork, metal; steel and stainless steel, fabricated, selective demolition	25,182.50	Lb.	$21,952.85	21.3%	23.8%	$32,956.17	$44,174	$1.75
462	Air conditioner, split unit air conditioner, 5 ton, selective demolition	6.00	Ea.	$2,453.19	21.3%	23.8%	$3,682.80	$4,936	$822.74
463	Air conditioner, split unit air conditioner, 4 ton, selective demolition	1.00	Ea.	$357.76	21.3%	23.8%	$537.07	$720	

Estimate Details

Delivery Method: CMAR
Estimate Type: AACEi Class 4
WBS: Component/Uniformat

Saginaw Keeter Bldg Reno Concept

Line #	Description	Qty.	UoM	Subtotal	Sub %	Prime %	Total Direct Cost	ECC w/Escalation	ECC Unit Cost
464	**ALTERNATES**	**1**	**LS**	**-$21,142**	**21.3%**	**23.8%**	**-$31,738**	**-$40,516**	
465	**HVAC OPTION #2**	**1**	**LS**	**-$21,142**	**21.3%**	**23.8%**	**-$31,738**	**-$40,516**	
466	**PLUMBING**	**1**	**LS**	**$3,293**	**21.3%**	**23.8%**	**$4,943**	**$6,311**	
467	**OPTION #1 DEDUCT**	**1**	**LS**	**-$207,780**	**21.3%**	**23.8%**	**-$311,924**	**-$398,194**	
468	Option #1 deduct	1.00	LS	-$207,779.78	21.3%	23.8%	-$311,924.24	-$398,194	
469	**DOMESTIC WATER PIPING**	**10,071**	**S.F.**	**$99,422**	**21.3%**	**23.8%**	**$149,254**	**$190,534**	**$18.92**
470	Domestic distribution piping, type L copper, solder joints	10,071.00	S.F.	$85,603.50	21.3%	23.8%	$128,510.13	$164,052	$16.29
471	Domestic water piping insulation, fiberglass with all service jacket. 1" thick	10,071.00	S.F.	$12,588.75	21.3%	23.8%	$18,898.55	$24,125	$2.40
472	Pump, domestic recirculating	1.00	Ea.	$1,229.49	21.3%	23.8%	$1,845.74	$2,356	
473	**COMMERCIAL PLUMBING FIXTURES**	**1**	**LS**	**$50,846**	**21.3%**	**23.8%**	**$76,332**	**$97,443**	
474	Water closet, wall mount, IR sensor flush valve, carrier	8.00	Ea.	$20,942.95	21.3%	23.8%	$31,440.08	$40,136	$5,016.94
475	Urinal, wall mount, IR sensor flush valve, carrier	2.00	Ea.	$4,551.80	21.3%	23.8%	$6,833.28	$8,723	$4,361.59
476	Lavatory, wall mount, IR sensor faucet, carrier	8.00	Ea.	$13,407.21	21.3%	23.8%	$20,127.25	$25,694	$3,211.73
477	Breakroom sink, ss double comp, manual faucet	1.00	Ea.	$1,775.90	21.3%	23.8%	$2,666.03	$3,403	
478	Mop sink, floor mount, manual faucet	1.00	Ea.	$2,567.87	21.3%	23.8%	$3,854.95	$4,921	
479	Floor drain, mech room	1.00	Ea.	$727.46	21.3%	23.8%	$1,092.08	$1,394	
480	Floor drain, bathroom	4.00	Ea.	$2,509.84	21.3%	23.8%	$3,767.83	$4,810	$1,202.48
481	Water cooler, electric, bi-level, with bottle filler	1.00	Ea.	$3,885.74	21.3%	23.8%	$5,833.37	$7,447	
482	Coffee maker connection with backflow preventer	1.00	Ea.	$477.46	21.3%	23.8%	$716.77	$915	
483	**SANITARY WASTE & VENT PIPING**	**1**	**LS**	**$28,482**	**21.3%**	**23.8%**	**$42,758**	**$54,583**	
484	Note: Sawcutting, removal and pour back	350.00	S.F.	$0.00	0.0%	0.0%	$0.00	$0	$0.00
485	Concrete sawing, concrete slabs, rod reinforced, up to 3" deep, includes blade cost, layout and set up time	255.00	L.F.	$700.37	21.3%	23.8%	$1,051.41	$1,342	$5.26
486	Concrete sawing, concrete, existing slab, rod reinforced, for each additional inch of depth over 3", includes blade cost, layout and set up time	765.00	L.F.	$736.12	21.3%	23.8%	$1,105.08	$1,411	$1.84
487	Selective concrete demolition, reinforcing more than 2% cross-sectional area, break up into small pieces, excludes shoring, bracing, saw or torch cutting, loading, hauling, dumping	6.48	C.Y.	$1,672.81	21.3%	23.8%	$2,511.26	$3,206	$494.72
488	1-1/2 C.Y. bucket, loading and/or spreading, shovel	6.48	B.C.Y.	$16.18	21.3%	23.8%	$24.30	$31	$4.79
489	Cycle hauling (wait, load, travel, unload or dump & return) time per cycle, excavated or borrow, loose cubic yards, 25 min wait/load/unload, 8 C.Y. truck, cycle 4 miles, 15 MPH, excludes loading equipment	6.48	L.C.Y.	$82.08	21.3%	23.8%	$123.22	$157	$24.28
490	Structural concrete, in place, slab on grade (3500 psi), 6" thick, includes forms(4 uses), Grade 60 rebar, concrete (Portland cement Type I), and placing	6.48	C.Y.	$1,687.97	21.3%	23.8%	$2,534.03	$3,235	$499.21
491	Note: Excavation & backfill	0.00		$0.00	0.0%	0.0%	$0.00	$0	
492	Excavating, trench or continuous footing, common earth, 3/4 C.Y. excavator, to 14' deep	51.11	B.C.Y.	$1,038.50	21.3%	23.8%	$1,559.02	$1,990	$38.94
493	Backfill, haul from existing stockpile, excludes compaction	66.44	L.C.Y.	$790.39	21.3%	23.8%	$1,186.55	$1,515	$22.80
494	Compaction, vibrating plate	66.44	E.C.Y.	$165.06	21.3%	23.8%	$247.79	$316	$4.76
495	Fill, gravel embed in pipe trench, compacted, to 9" deep	345.00	S.F.	$601.68	21.3%	23.8%	$903.26	$1,153	$3.34
496	Note: New sanitary waste & vent piping	0.00		$0.00	0.0%	0.0%	$0.00	$0	
497	Sanitary waste piping, below grade, Sch 40 PVC	400.00	L.F.	$6,000.00	21.3%	23.8%	$9,007.35	$11,499	$28.75
498	Sanitary vent piping, above grade, no hub cast iron	320.00	L.F.	$11,200.00	21.3%	23.8%	$16,813.72	$21,464	$67.07
499	Drain, floor, medium duty, cast iron, deep flange, with polished bronze top, 7" diameter top	4.00	Ea.	$2,102.73	21.3%	23.8%	$3,156.67	$4,030	$1,007.43
500	Note: Concrete pour back	0.00		$0.00	0.0%	0.0%	$0.00	$0	
501	Structural concrete, in place, slab on grade (3500 psi), 6" thick, includes forms(4 uses), Grade 60 rebar, concrete (Portland cement Type I), and placing	6.48	C.Y.	$1,687.97	21.3%	23.8%	$2,534.03	$3,235	$499.21
502	**NATURAL GAS PIPING**	**1**	**LS**	**$18,693**	**21.3%**	**23.8%**	**$28,063**	**$35,824**	
503	Note: Natural gas piping	0.00		$0.00	0.0%	0.0%	$0.00	$0	
504	Pipe, steel, black, threaded, 1" diameter, schedule 40, A-106, grade A/B seamless, includes coupling and clevis hanger assembly sized for covering, 10' OC	400.00	L.F.	$12,366.53	21.3%	23.8%	$18,564.94	$23,699	$59.25
505	Elbow, 90 Deg., steel, malleable iron, black, straight, threaded, 150 lb., 1"	75.00	Ea.	$4,658.30	21.3%	23.8%	$6,993.16	$8,927	$119.03
506	Tee, steel, malleable iron, black, straight, threaded, 150 lb., 1"	12.00	Ea.	$1,200.34	21.3%	23.8%	$1,801.98	$2,300	$191.70
507	Pressure regulator, gas appliance, main burner and pilot applications, rubber seat poppet type, threaded, 3/4" pipe size	7.00	Ea.	$467.92	21.3%	23.8%	$702.46	$897	$128.11
508	**COMMERCIAL GAS DOMESTIC WATER HEATER**	**1**	**LS**	**$13,630**	**21.3%**	**23.8%**	**$20,461**	**$26,121**	
509	Note: New domestic water heater -100 Gallon	0.00		$0.00	0.0%	0.0%	$0.00	$0	
510	Water heater, gas fired, 120 MBH input, includes standard controls, excludes vent	1.00	Ea.	$7,080.03	21.3%	23.8%	$10,628.72	$13,568	
511	Domestic water piping connection, specialties & accessories	1.00	Ea.	$4,799.87	21.3%	23.8%	$7,205.68	$9,199	
512	Water heater flue/vent	1.00	Ea.	$633.31	21.3%	23.8%	$950.74	$1,214	
513	Natural gas piping connection	1.00	Ea.	$1,116.62	21.3%	23.8%	$1,676.30	$2,140	
514	**HVAC**	**10,073**	**GSF**	**-$24,435**	**21.3%**	**23.8%**	**-$36,682**	**-$46,827**	**-$4.65**
515	**OPTION #1 DEDUCT**	**1**	**LS**	**-$334,478**	**21.3%**	**23.8%**	**-$502,127**	**-$641,001**	
516	Option #1 deduct	-1.00	LS	-$334,478.14	21.3%	23.8%	-$502,127.00	-$641,001	$641,001.27
517	**DEMOLITION**	**10,073**	**GSF**	**$18,445**	**21.3%**	**23.8%**	**$27,690**	**$35,348**	**$3.51**
518	**PLUMBING**	**10,073**	**GSF**	**$2,462**	**21.3%**	**23.8%**	**$3,696**	**$4,719**	**$0.47**
519	Fixture, plumbing, selective demolition	6.00	Ea.	$389.44	21.3%	23.8%	$584.64	$746	$124.39
520	Pipe, metal pipe, 4" diam., selective demolition	500.00	L.F.	$1,504.85	21.3%	23.8%	$2,259.12	$2,884	$5.77
521	Pipe hanger / support, selective demolition	100.00	Ea.	$567.87	21.3%	23.8%	$852.50	$1,088	$10.88
522	**HVAC**	**10,073**	**GSF**	**$15,983**	**21.3%**	**23.8%**	**$23,994**	**$30,630**	**$3.04**
523	Misc. sheetmetal & GRD selective demolition	15,109.50	Lb.	$13,171.71	21.3%	23.8%	$19,773.70	$25,243	$1.67
524	Air conditioner, split unit air conditioner, 5 ton, selective demolition	6.00	Ea.	$2,453.19	21.3%	23.8%	$3,682.80	$4,701	$783.56
525	Air conditioner, split unit air conditioner, 4 ton, selective demolition	1.00	Ea.	$357.76	21.3%	23.8%	$537.07	$686	
526	**HVAC DUCTWORK**	**10,073**	**GSF**	**$39,883**	**21.3%**	**23.8%**	**$59,873**	**$76,432**	**$7.59**
527	Note: Minor duct modifications for (6) existing ducted split systems	0.00		$0.00	0.0%	0.0%	$0.00	$0	
528	Supply ductwork, low pressure, galv.	5,036.50	Lb.	$20,146.00	21.3%	23.8%	$30,243.68	$38,608	$7.67
529	Duct Insulation	2,518.25	S.F.	$10,073.00	21.3%	23.8%	$15,121.84	$19,304	$7.67
530	Note: Bathroom exhaust ductwork	0.00		$0.00	0.0%	0.0%	$0.00	$0	
531	Exhaust ductwork, galv.	800.00	Lb.	$6,400.00	21.3%	23.8%	$9,607.84	$12,265	$15.33
532	Note: Connector corridor split system ductwork	0.00		$0.00	0.0%	0.0%	$0.00	$0	
533	Split system air conditioner, subassembly for assembly systems, duct work per ton single unit	2.00	Ton	$3,263.59	21.3%	23.8%	$4,899.39	$6,254	$3,127.21
534	**AIR INLETS AND OUTLETS**	**10,073**	**GSF**	**$13,666**	**21.3%**	**23.8%**	**$20,516**	**$26,191**	**$2.60**
535	Diffusers, grilles, transfers - misc. relocation, cleaning, & reinstall	150.00	Ea.	$11,250.00	21.3%	23.8%	$16,888.78	$21,560	$143.73
536	Repair/replace existing ductwork flexible coated fiberglass fabric on corrosion resistant metal helix, insulated, P.E. jacket, 1" thick	250.00	L.F.	$2,416.41	21.3%	23.8%	$3,627.58	$4,631	$18.52
537	**HVAC FANS**	**10,073**	**GSF**	**$2,596**	**21.3%**	**23.8%**	**$3,897**	**$4,975**	**$0.49**
538	Fans, down blast, motor and drive complete, 900 CFM, with curb	1.00	Ea.	$2,595.73	21.3%	23.8%	$3,896.77	$4,975	

Estimate Details

Delivery Method: CMAR
Estimate Type: AACEi Class 4
WBS: Component/Uniformat

Saginaw Keeter Bldg Reno Concept

Line #	Description	Qty.	UoM	Subtotal	Sub %	Prime %	Total Direct Cost	ECC w/Escalation	ECC Unit Cost
539	**DECENTRALIZED UNITARY HVAC EQUIPMENT**	**10,073**	**GSF**	**$120,978**	**21.3%**	**23.8%**	**$181,615**	**$231,844**	**$23.02**
540	Note: Existing split system replacement - 5 ton	0.00		$0.00	0.0%	0.0%	$0.00	$0	
541	Carrier infinity, 5 ton cooling, gas furnace, outdoor condensing unit & indoor ducted fan coil, excludes interconnecting tubing, curbs, pads and ductwork	6.00	Ea.	$89,461.28	21.3%	23.8%	$134,301.52	$171,446	$28,574.26
542	Split system, accessories for all split ductless systems, for tube / wiring kit, 50' kit	6.00	Ea.	$2,926.80	21.3%	23.8%	$4,393.79	$5,609	$934.83
543	Curbs/pads prefabricated, pad, condenser, fiberglass reinforced concrete with polystyrene foam core, 2" thick, 36" x 36"	6.00	Ea.	$1,732.40	21.3%	23.8%	$2,600.72	$3,320	$553.33
544	Note: Existing split system replacement - 4 ton	0.00		$0.00	0.0%	0.0%	$0.00	$0	
545	Carrier infinity, 4 ton cooling, gas furnace, outdoor condensing unit & indoor ducted fan coil, excluded interconnecting tubing, curbs, pad and ductwork	1.00	Ea.	$14,748.97	21.3%	23.8%	$22,141.52	$28,265	
546	Split system, accessories for all split ductless systems, for tube / wiring kit, 50' kit	1.00	Ea.	$487.80	21.3%	23.8%	$732.30	$935	
547	Curbs/pads prefabricated, pad, condenser, fiberglass reinforced concrete with polystyrene foam core, 2" thick, 36" x 36"	1.00	Ea.	$288.73	21.3%	23.8%	$433.45	$553	
548	Note: Electrical & MDF room cooling only split systems - 1 ton	0.00		$0.00	0.0%	0.0%	$0.00	$0	
549	Split ductless system, cooling only, single zone, wall mount, 1 ton cooling	2.00	Ea.	$3,975.55	21.3%	23.8%	$5,968.20	$7,619	$3,809.42
550	Split ductless system, accessories for all split ductless systems, for tube / wiring kit, 50' kit	2.00	Ea.	$975.60	21.3%	23.8%	$1,464.60	$1,870	$934.83
551	Curbs/pads prefabricated, pad, condenser, fiberglass reinforced concrete with polystyrene foam core, 2" thick, 24" x 36"	1.00	Ea.	$159.66	21.3%	23.8%	$239.69	$306	
552	Note: Connector addition heat pump ducted split systems - 2 ton	0.00		$0.00	0.0%	0.0%	$0.00	$0	
553	Heat pump, air to air single package, 2 ton cooling, 6.5 MBH heat @ 0Deg.F, excludes interconnecting tubing, curbs, pads and ductwork	1.00	Ea.	$5,444.32	21.3%	23.8%	$8,173.15	$10,434	
554	Split system, accessories for all split ductless systems, for tube / wiring kit, 50' kit	1.00	Ea.	$487.80	21.3%	23.8%	$732.30	$935	
555	Curbs/pads prefabricated, pad, condenser, fiberglass reinforced concrete with polystyrene foam core, 2" thick, 36" x 36"	1.00	Ea.	$288.73	21.3%	23.8%	$433.45	$553	
556	**REFRIGERANT PIPING**	**10,073**	**GSF**	**$42,252**	**21.3%**	**23.8%**	**$63,430**	**$80,973**	**$8.04**
557	NOTE: Refrigerant piping to split systems (3 Ea.)	0.00		$0.00	0.0%	0.0%	$0.00	$0	
558	Refrigerant line sets, insulated copper supply and return tubes, 3/8" and 3/4" tubes, 1/2" insulation, 50' long	3.00	Ea.	$2,015.02	21.3%	23.8%	$3,025.01	$3,862	$1,287.21
559	Pipe hanger / support, hangers, trapeze channel support, steel, 12" wide, steel	25.00	Ea.	$3,308.62	21.3%	23.8%	$4,966.99	$6,341	$253.63
560	Refrigerant specialties, site glass, filter dryer	3.00	Ea.	$1,308.62	21.3%	23.8%	$1,964.53	$2,508	$835.95
561	Refrigeration specialties, refrigerant, R-410A, 25 lb. cylinder	15.00	Lb.	$2,337.29	21.3%	23.8%	$3,508.80	$4,479	$298.62
562	Note: Refrigerant piping to ducted split systems 4 & 5 ton units	0.00		$0.00	0.0%	0.0%	$0.00	$0	
563	Pipe, copper, hard temper, cleaned and capped, 3/8", type L, ACR tubing, excludes couplings and hangers	300.00	L.F.	$1,474.89	21.3%	23.8%	$2,214.14	$2,827	$9.42
564	Pipe, copper, hard temper, cleaned and capped, 5/8", type L, ACR tubing, excludes couplings and hangers	300.00	L.F.	$1,742.24	21.3%	23.8%	$2,615.49	$3,339	$11.13
565	Elbow, 90 Deg., copper, solder, 3/8", ACR, OD SIZE	75.00	Ea.	$3,922.10	21.3%	23.8%	$5,887.95	$7,516	$100.22
566	Elbow, 90 Deg., copper, solder, 5/8", ACR, OD SIZE	75.00	Ea.	$3,922.10	21.3%	23.8%	$5,887.95	$7,516	$100.22
567	Refrigerant specialties, site glass, filter dryer	6.00	Ea.	$2,617.24	21.3%	23.8%	$3,929.06	$5,016	$835.95
568	Pipe hanger / support, hangers, trapeze channel support, steel, 12" wide, steel	50.00	Ea.	$6,617.25	21.3%	23.8%	$9,933.98	$12,681	$253.63
569	Insulation, pipe covering, rubber tubing flexible closed cell foam, 1" wall, 3/8" copper tube size	300.00	L.F.	$3,418.75	21.3%	23.8%	$5,132.31	$6,552	$21.84
570	Insulation, pipe covering, rubber tubing flexible closed cell foam, 1" wall, 5/8" copper tube size	300.00	L.F.	$3,729.51	21.3%	23.8%	$5,598.83	$7,147	$23.82
571	Refrigeration specialties, refrigerant, R-410A, 25 lb. disposable cylinder	34.00	Lb.	$5,838.47	21.3%	23.8%	$8,764.86	$11,189	$329.09
572	**CONDENSATE DRAIN PIPING**	**10,073**	**GSF**	**$12,011**	**21.3%**	**23.8%**	**$18,032**	**$23,019**	**$2.29**
573	NOTE: Condensate drain piping to split system (3 Ea.)	0.00		$0.00	0.0%	0.0%	$0.00	$0	
574	Pipe, copper, tubing, solder, 3/4" diameter, type L, includes coupling & clevis hanger assembly 10' OC	360.00	L.F.	$4,951.69	21.3%	23.8%	$7,433.60	$9,490	$26.36
575	Elbow, 90 Deg., copper, wrought, copper x copper, 3/4"	120.00	Ea.	$4,677.28	21.3%	23.8%	$7,021.65	$8,964	$74.70
576	Insulation, pipe covering (price copper tube one size less than I.P.S.), fiberglass with all service jacket, 1/2" wall, 1/2" iron pipe size	360.00	L.F.	$2,382.22	21.3%	23.8%	$3,576.25	$4,565	$12.68
577	**MISC HVAC**	**10,073**	**GSF**	**$30,213**	**21.3%**	**23.8%**	**$45,357**	**$57,901**	**$5.75**
578	Test and balancing, air	10,071.00	S.F.	$30,213.00	21.3%	23.8%	$45,356.52	$57,901	$5.75
579	NOTE: Startup - Included	0.00		$0.00	0.0%	0.0%	$0.00	$0	
580	NOTE: Commissioning assistance - Included	0.00		$0.00	0.0%	0.0%	$0.00	$0	
581	NOTE: Pipe, duct & equipment identification - Included	0.00		$0.00	0.0%	0.0%	$0.00	$0	
582	NOTE: Sleeves, penetrations & firestopping - Included	0.00		$0.00	0.0%	0.0%	$0.00	$0	
583	**INSTRUMENTATION AND CONTROL FOR HVAC**	**10,073**	**GSF**	**$30,000**	**21.3%**	**23.8%**	**$45,037**	**$57,493**	**$5.71**
584	Note: Stand alone controls	0.00		$0.00	0.0%	0.0%	$0.00	$0	
585	Split systems - Existing unit replacement	7.00	Ea.	$21,000.00	21.3%	23.8%	$31,525.73	$40,245	$5,749.27
586	Split systems - MDF & electrical rooms	2.00	Ea.	$4,000.00	21.3%	23.8%	$6,004.90	$7,666	$3,832.84
587	Split systems - Corridor addition	1.00	Ea.	$3,000.00	21.3%	23.8%	$4,503.68	$5,749	
588	Exhaust fan	1.00	Ea.	$1,000.00	21.3%	23.8%	$1,501.23	$1,916	
589	Electric unit heater	1.00	Ea.	$1,000.00	21.3%	23.8%	$1,501.23	$1,916	

CITY HALL ANNEX EXTERIOR ENHANCEMENT OPTIONS

AND

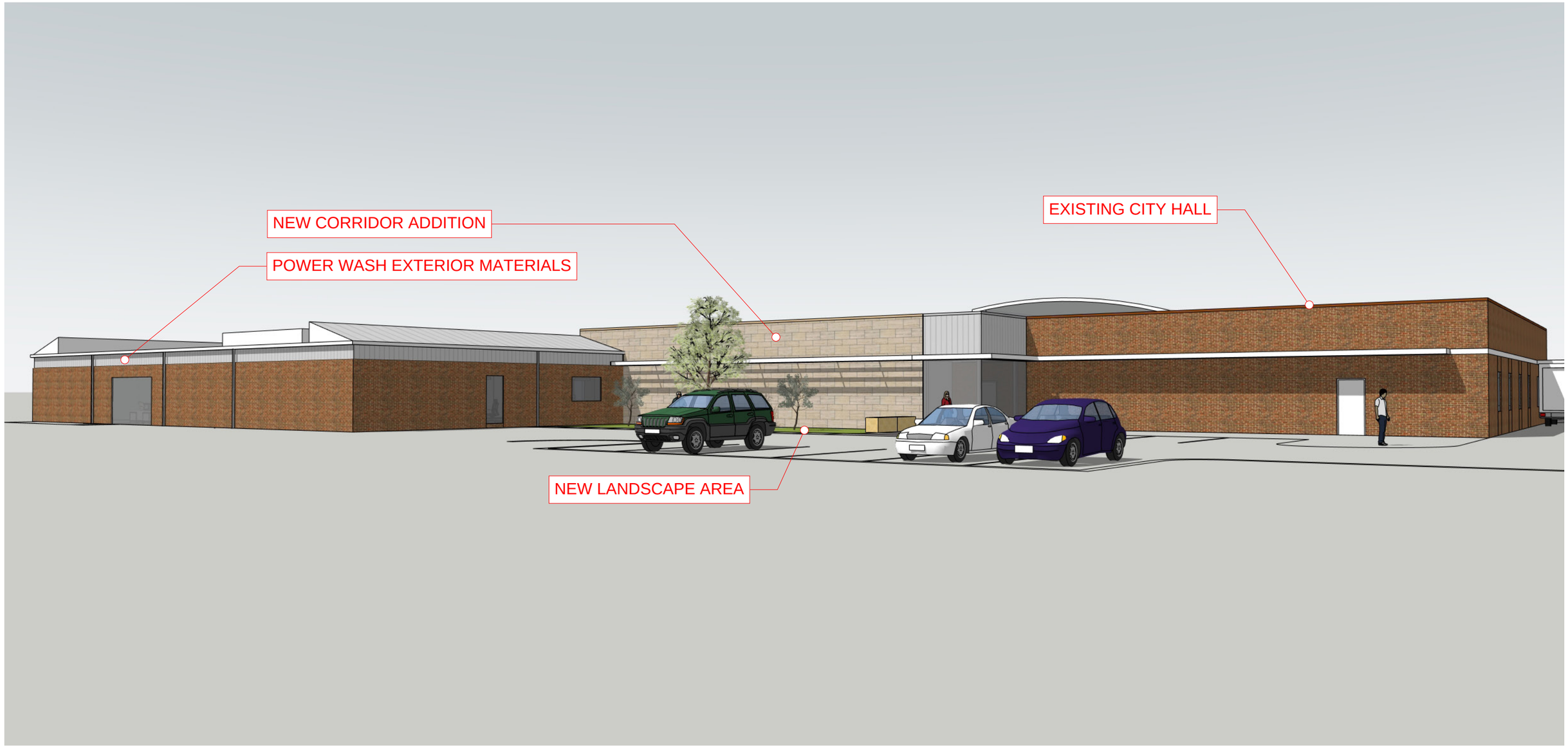
INTERIOR PERSPECTIVES

EXTERIOR OPTION A

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

City of Saginaw

PGAL

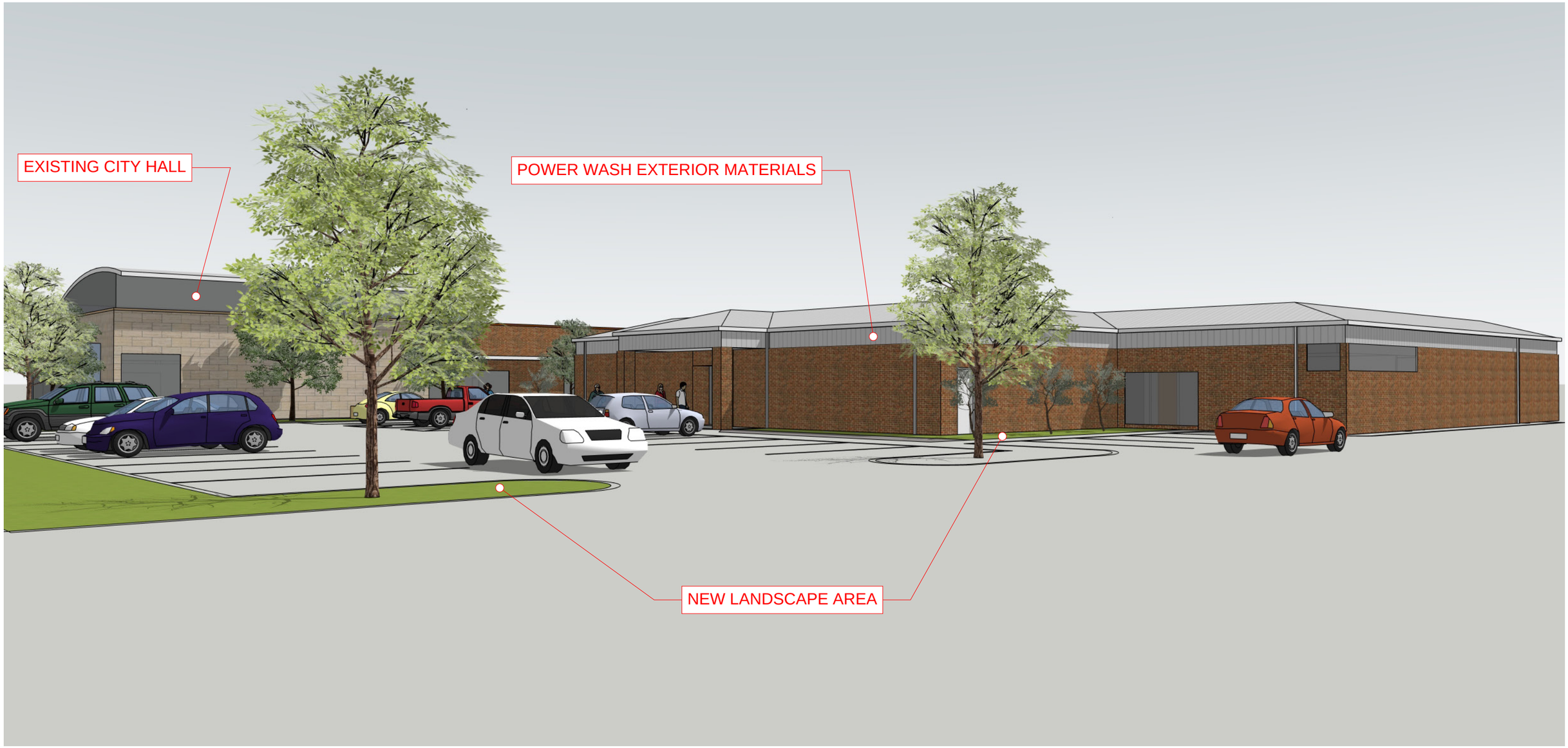


EXTERIOR OPTION A

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

City of Saginaw

PGAL



City of Saginaw

EXTERIOR OPTION A

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

PGAL

EXTERIOR OPTION A

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

City of Saginaw

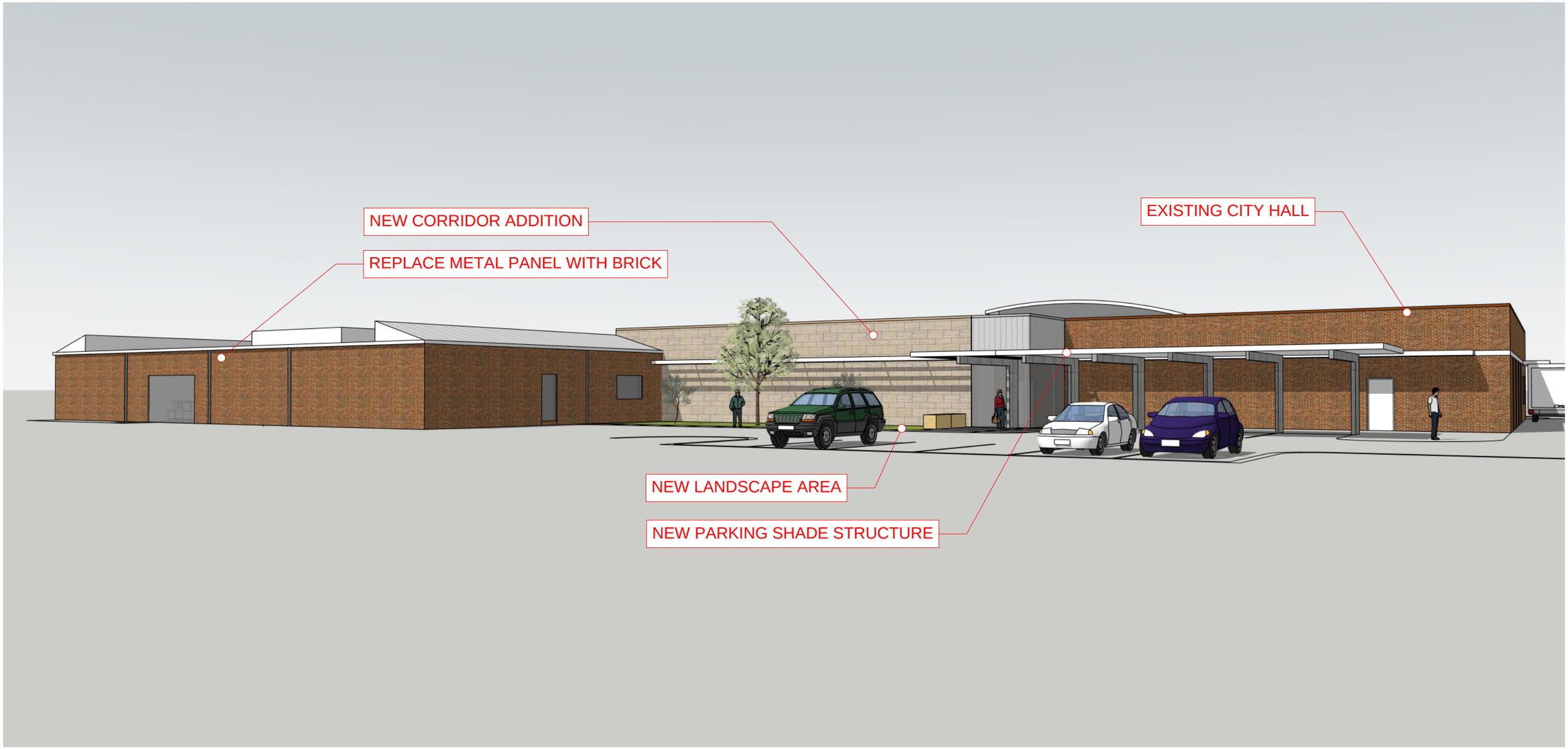
PGAL

City of Saginaw

EXTERIOR OPTION B

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

PGAL

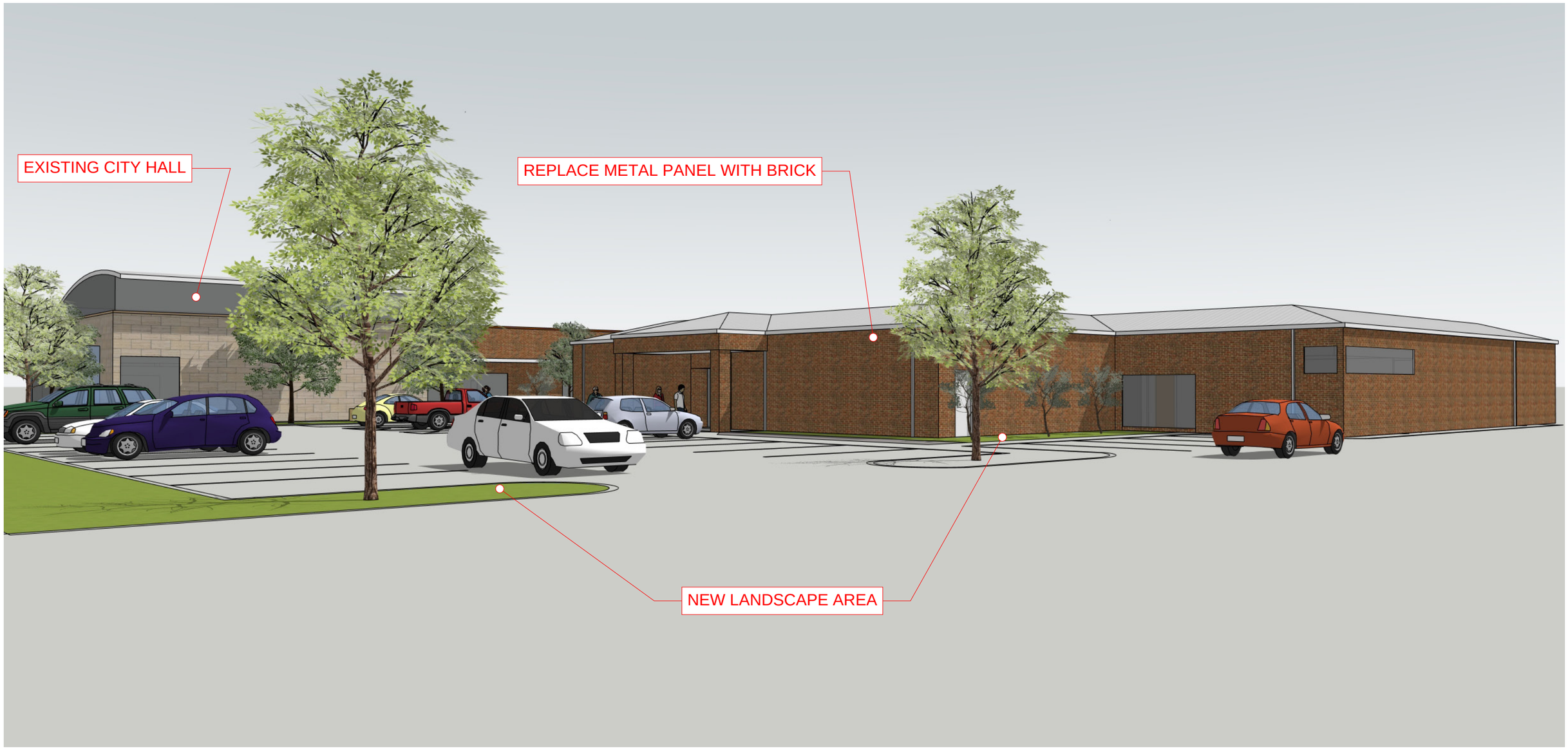


City of Saginaw

EXTERIOR OPTION B

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

PGAL

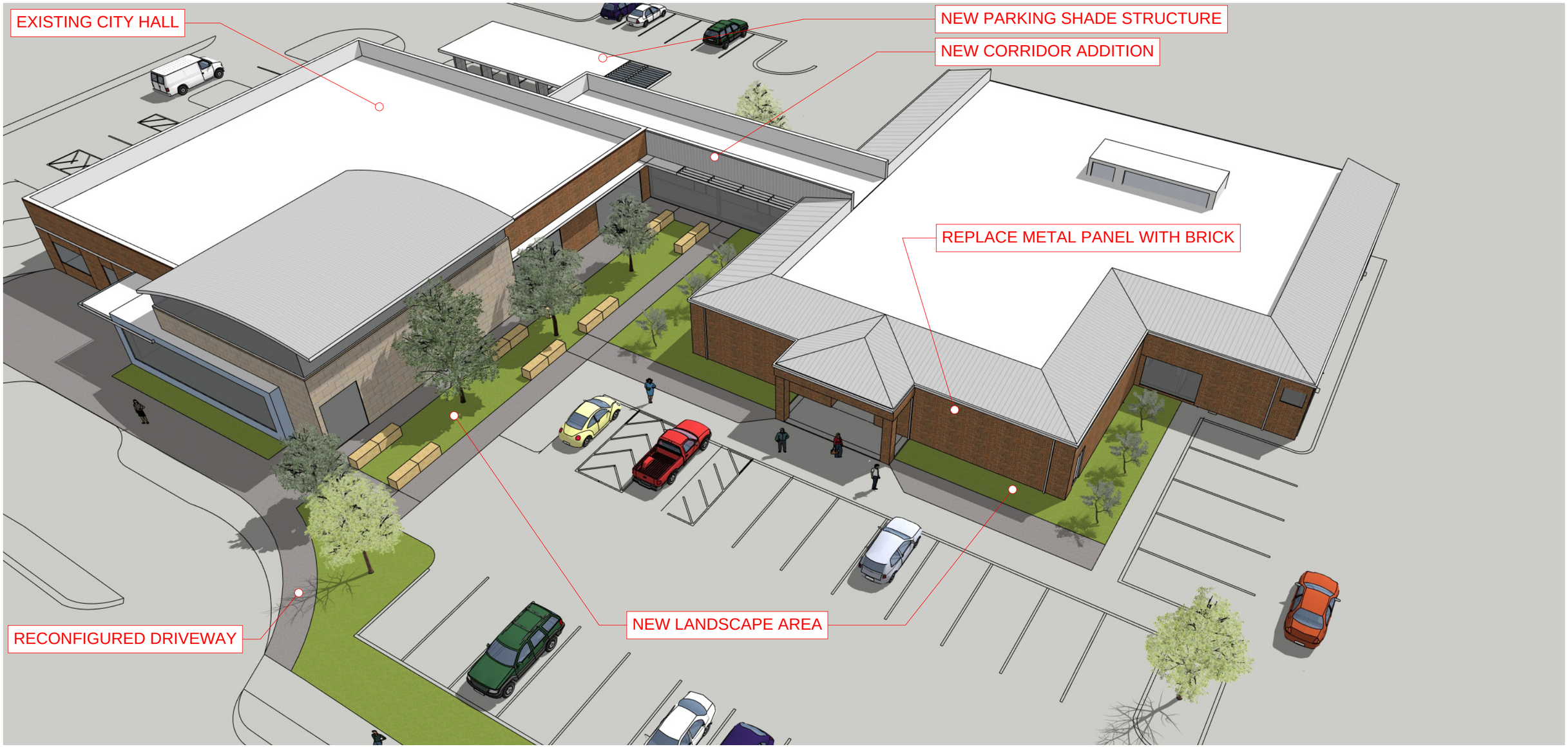


City of Saginaw

EXTERIOR OPTION B

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

PGAL



City of Saginaw

EXTERIOR OPTION B

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

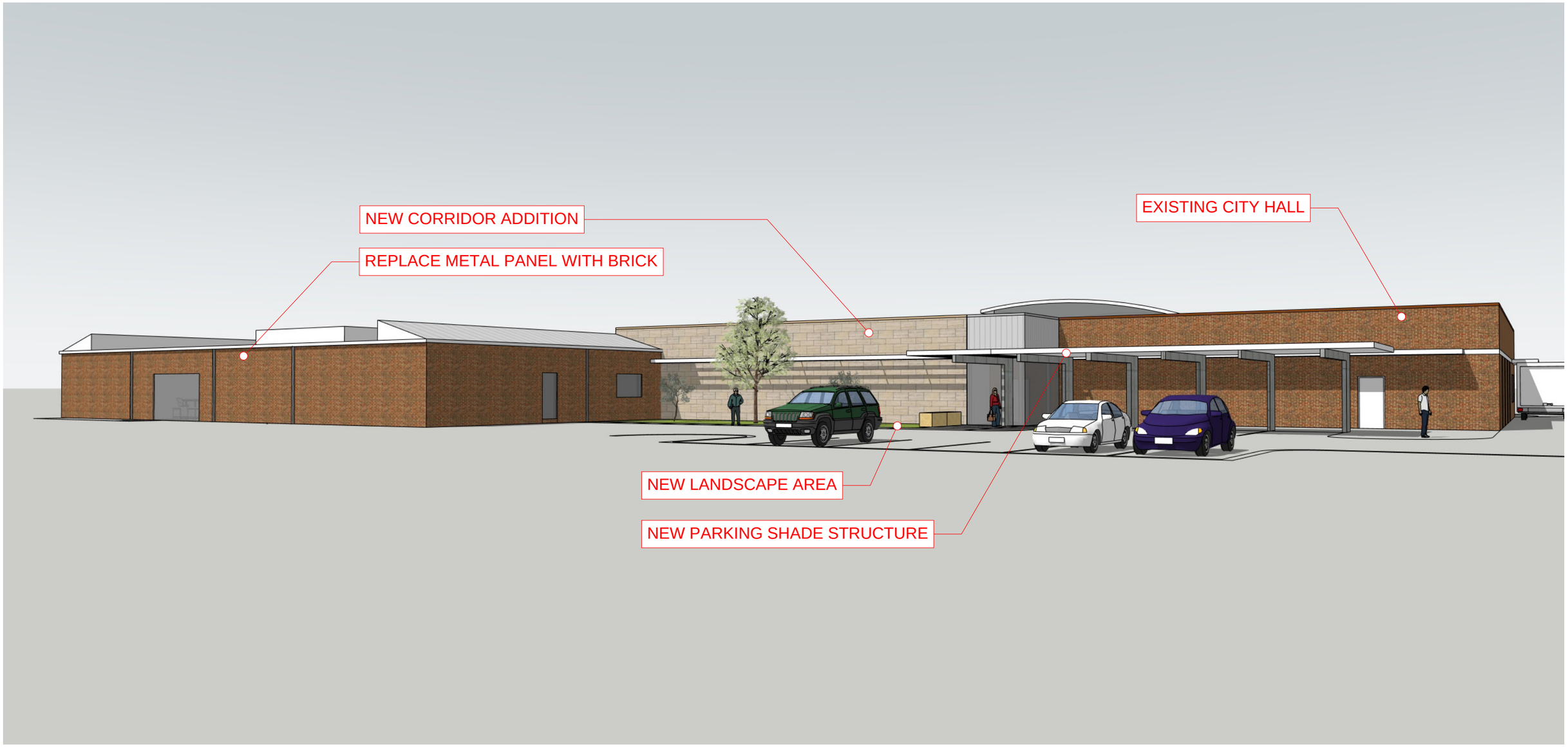
PGAL

City of Saginaw

EXTERIOR OPTION C

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

PGAL

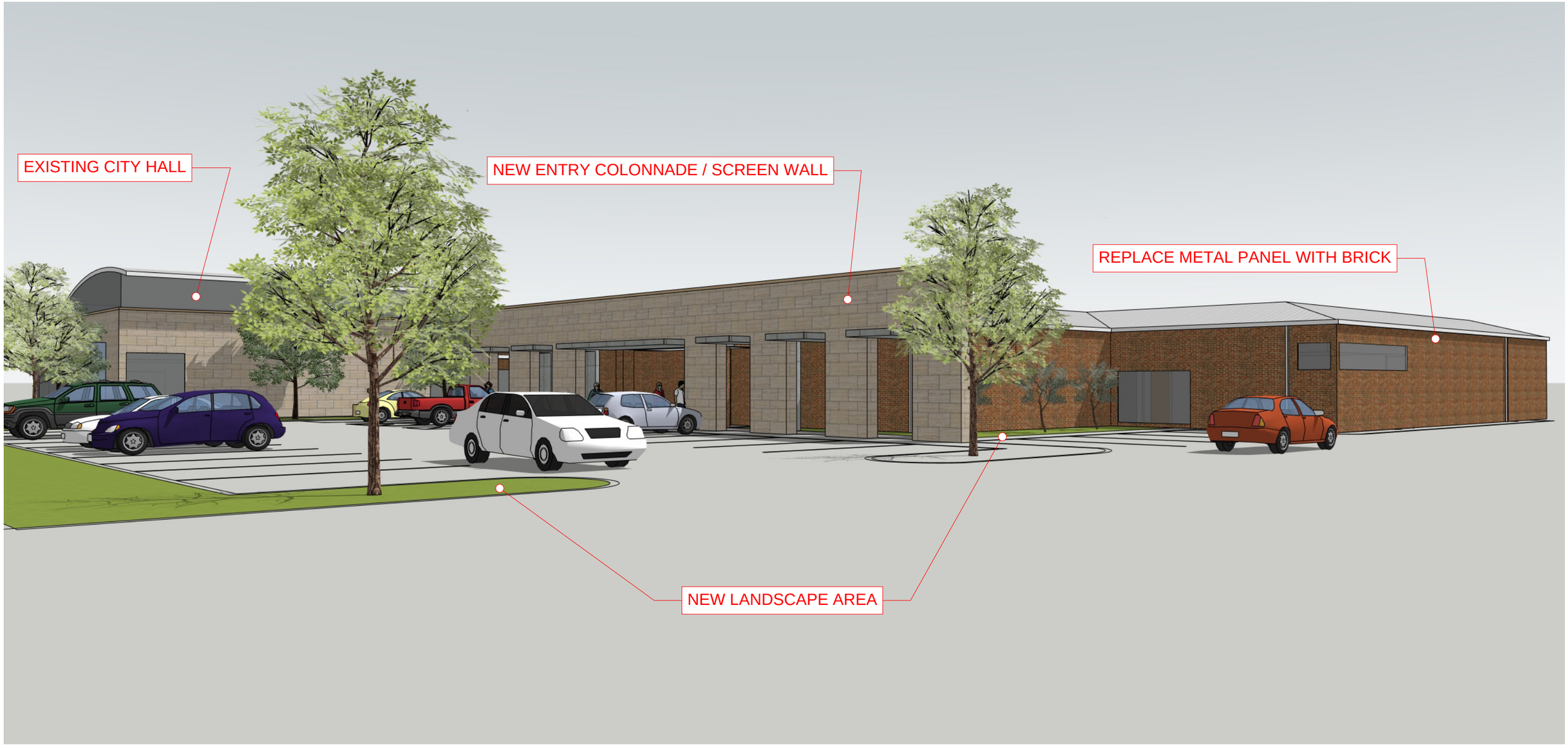


City of Saginaw

EXTERIOR OPTION C

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

PGAL



City of Saginaw

EXTERIOR OPTION C

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

PGAL

City of Saginaw

EXTERIOR OPTION C

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

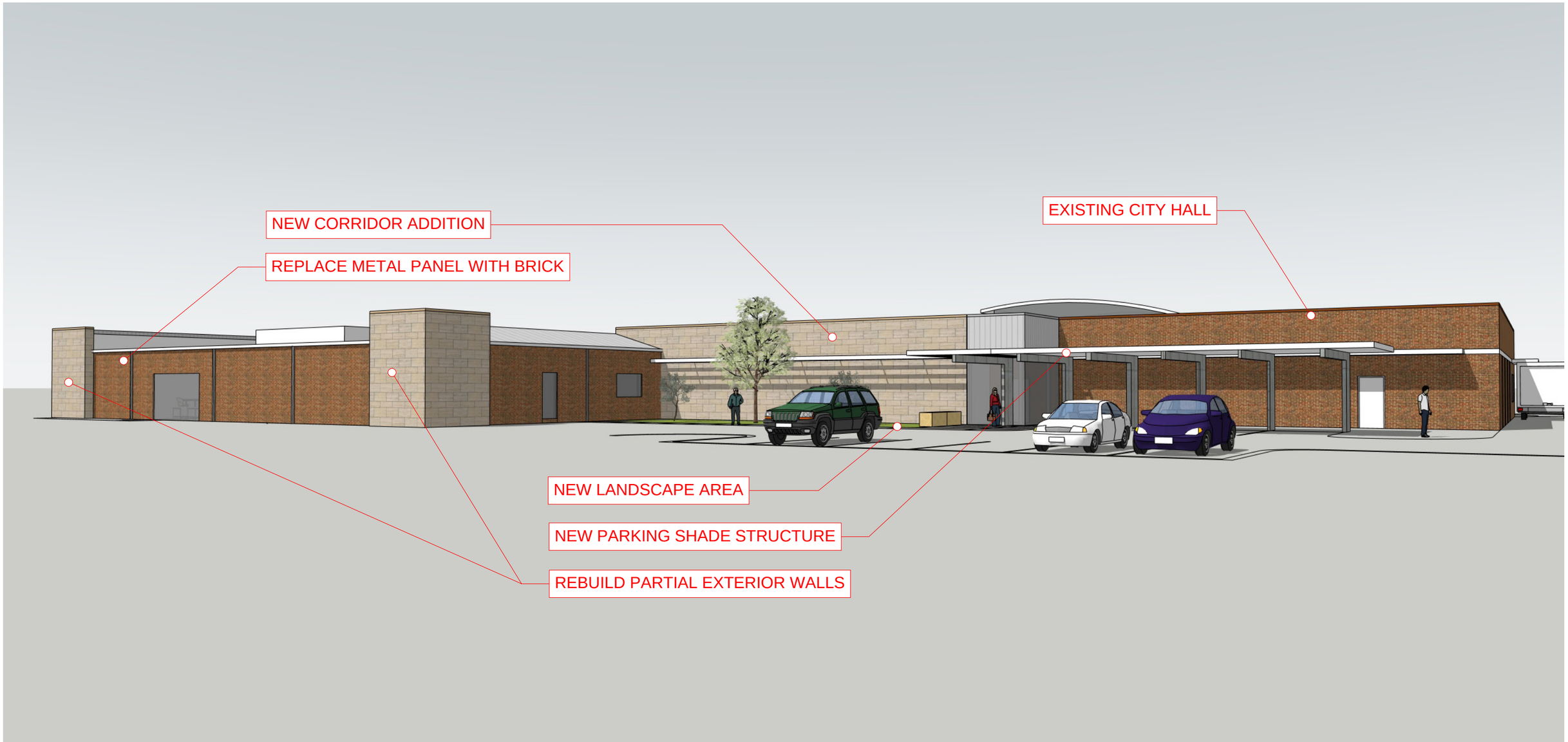
PGAL

City of Saginaw

EXTERIOR OPTION D

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

PGAL

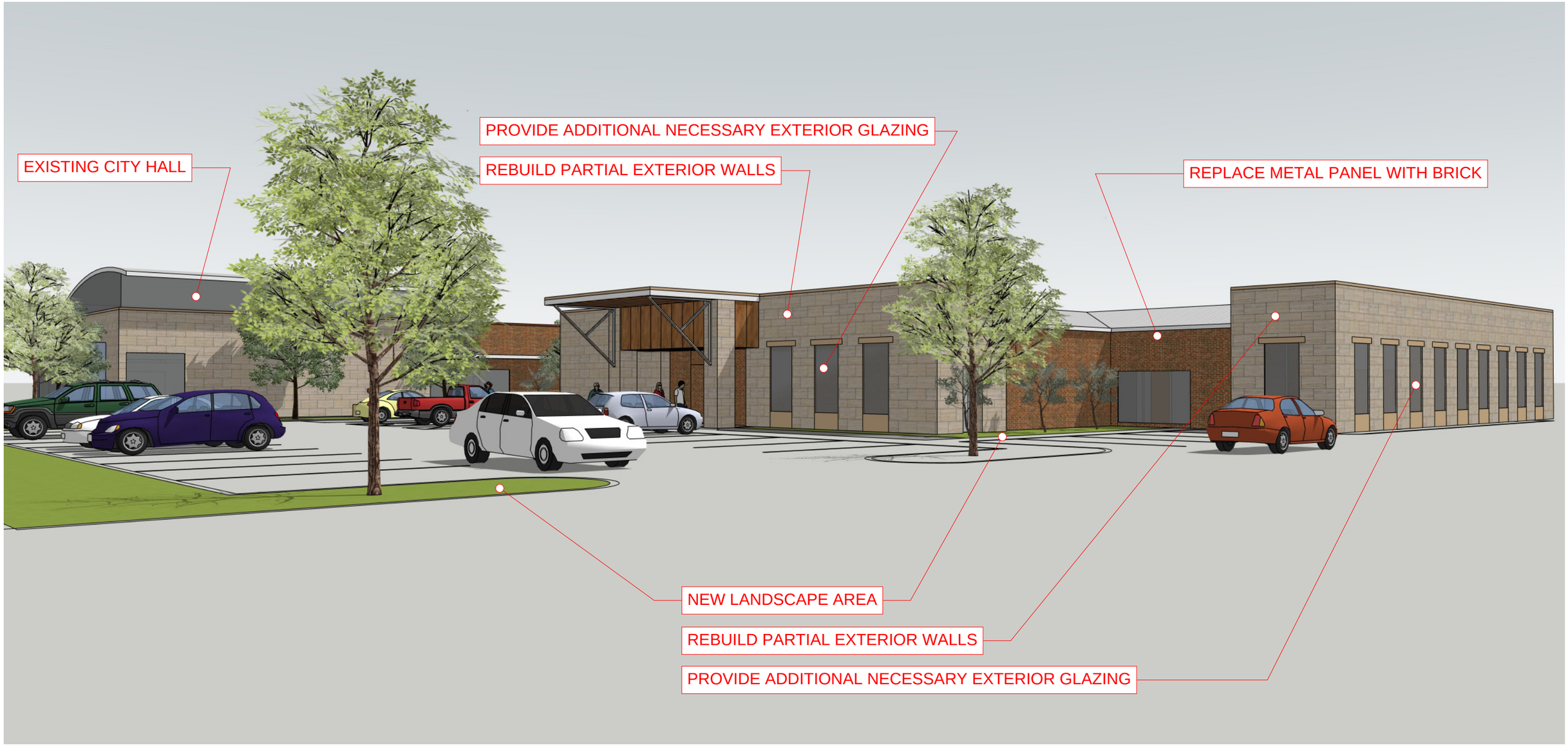


City of Saginaw

EXTERIOR OPTION D

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

PGAL



City of Saginaw

EXTERIOR OPTION D

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

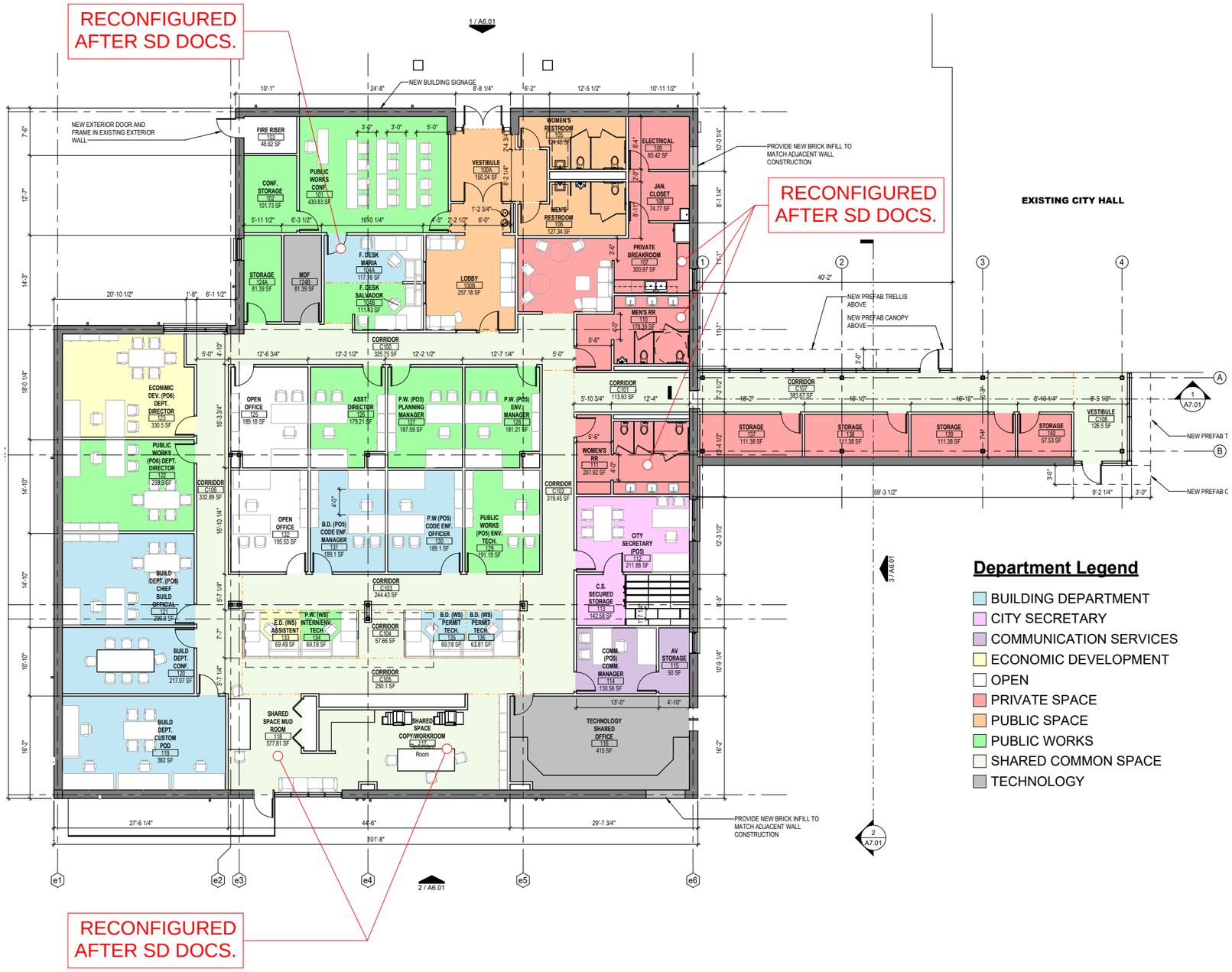
PGAL

City of Saginaw

EXTERIOR OPTION D

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

PGAL

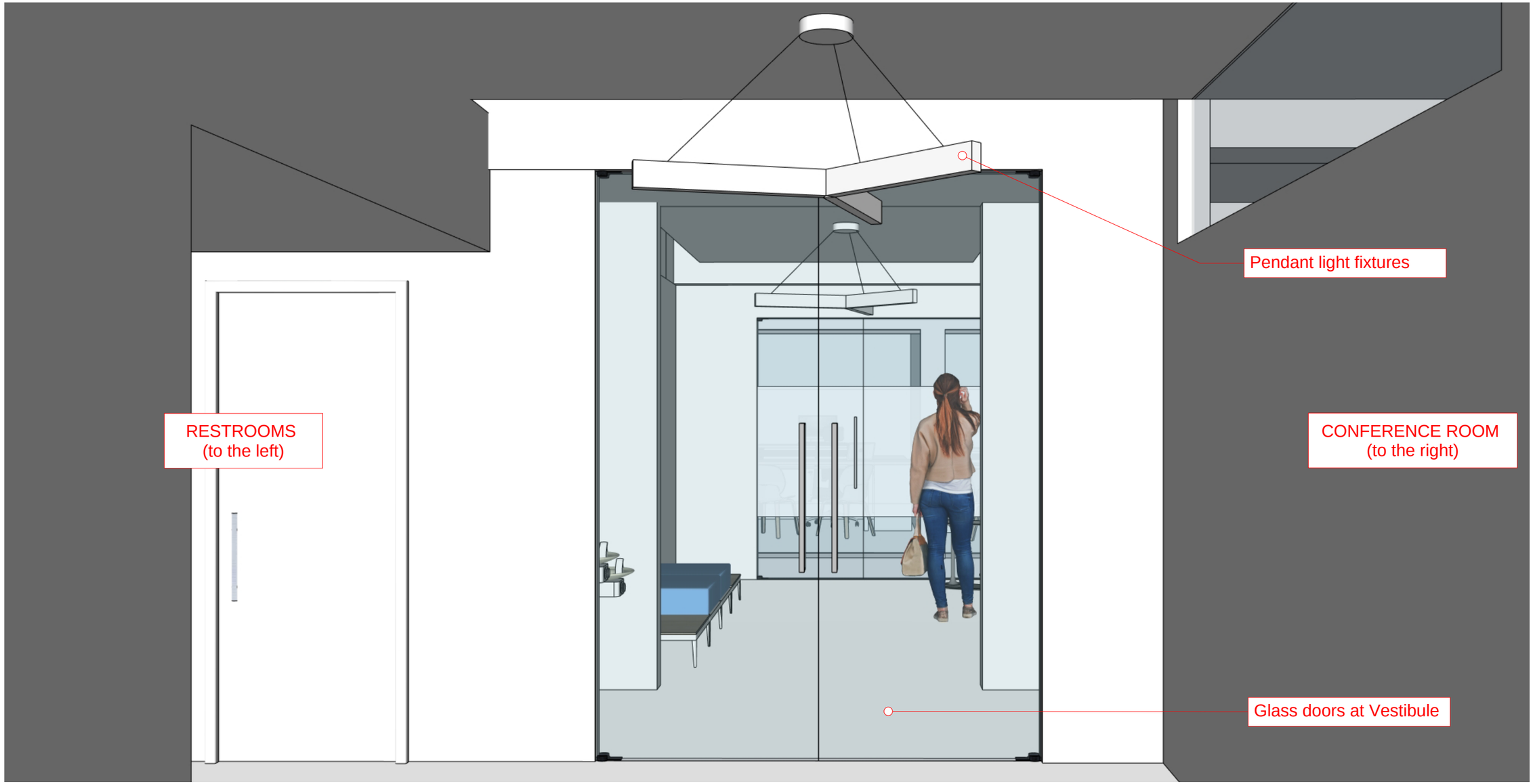


FLOOR PLAN

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

City of Saginaw

PGAL



FRONT ENTRY VESTIBULE

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

City of Saginaw

PGAL

LOBBY | WAITING AREA

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

City of Saginaw

PGAL

MUD ROOM

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

City of Saginaw

WORK ROOM

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

PGAL

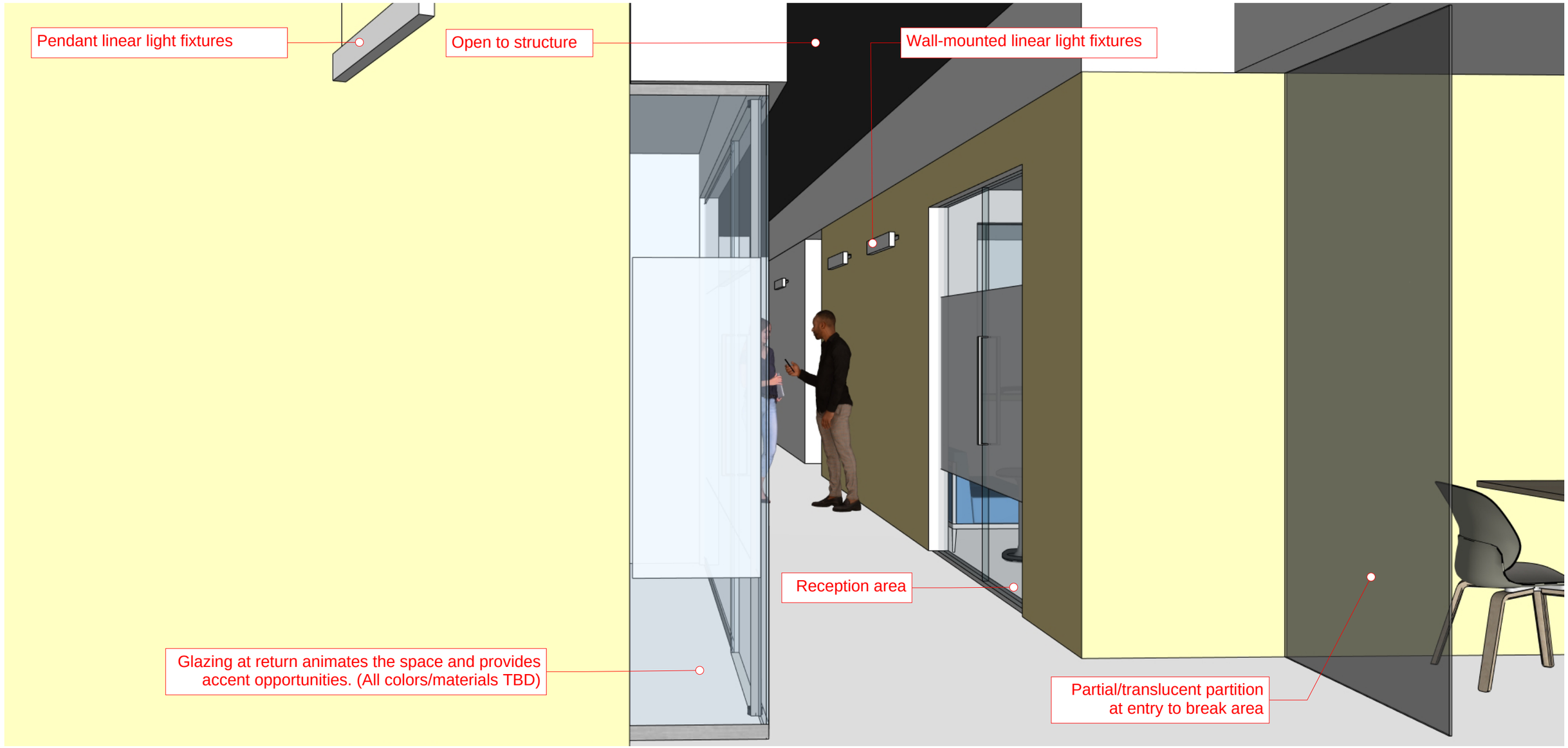
OPEN OFFICE | ASSISTANTS

City Hall | City of Saginaw | Keeter Library Rennovation & Annexation
2024.10.15

City of Saginaw

PGAL

CORRIDOR C102


Pendant linear light fixtures
Open to structure
Wall-mounted linear light fixtures
Glazing at return animates the space and provides accent opportunities. (All colors/materials TBD)
Reception area
Partial/translucent partition at entry to break area

City of Saginaw

City Council Memorandum

Prepared By: Janice England

A. Consideration and Action regarding City Council Meeting scheduled for November 5, 2024, Election Day--Janice England, City Secretary

Meeting	Agenda Group
Tuesday, October 15, 2024, 6:00 PM	Business Item: 4A.

Reference File

Community Goals

BACKGROUND/DISCUSSION:

The next scheduled City Council meeting is November 5, 2024. This is also Election Day and the Library will be a polling location. A high turnout of voters is expected since this is a Presidential Election. The purpose of this item is to give the Council the opportunity to consider the following options: hold the meeting as scheduled, move the meeting to another location, re-schedule the meeting, or cancel the meeting.

FINANCIAL IMPACT:

N/A

RECOMMENDATION:

N/A