



Chair Agostini  
Vice Chair Chanter  
Commissioner Beale  
Commissioner Bryant  
Commissioner Grey

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Thursday, June 12, 2025, 2:00 PM  
City Council Chamber  
69-825 Highway 111  
Rancho Mirage, CA 92270

## REGULAR PLANNING COMMISSION MEETING

### AGENDA

#### 1. GENERAL

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- 1.A. CALL TO ORDER
- 1.B. FLAG SALUTE
- 1.C. OATH OF OFFICE - Commissioner Beale
- 1.D. ROLL CALL - Agostini, Beale, Bryant, Chanter, Grey

#### 2. COMMISSIONER COMMENTS

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#### 3. APPROVAL OF MINUTES

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- 3.A. April 24, 2025, Regular Planning Commission Meeting Minutes
  - RECOMMENDED ACTION: Approve the April 24, 2025, Regular Planning Commission Meeting Minutes as presented.

#### 4. ACTION ITEMS

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- 4.A. Appointment of Chairperson and Vice-Chairperson
  - RECOMMENDED ACTION: Appoint a Chairperson and Vice-Chairperson.

#### 5. PUBLIC HEARINGS

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- 5.A. Sign Program Case No. SIPR25-0001 – Cotino Town Center Sign Program – Applicant: DMB Development LLC on Behalf of ECRM Commercial. Consideration of a Sign Program to Establish Sign Criteria for the Cotino Town Center, Located in Section 31, Approximately 650 Feet South of the Monterey Avenue and Gerald Ford Drive Intersection, on the West Side of Monterey Avenue (APNs: 685-220-048 & 685-540-036)
  - RECOMMENDED ACTION: 1) Approve the filing of a Notice of Exemption pursuant to the California Environmental Quality Act (CEQA) Section 15162 (Subsequent EIRs and Negative Declarations); and, 2) Approve Sign Program Case No. SIPR25-0001, subject to the Conditions of Approval and based on the content and Findings in the staff report.

**5.B. Minor Conditional Use Permit Case No. CUP25-0004 – 5 Rancho Clancy – Applicant: Mark Temple Construction, Inc. Consideration of a Pickleball Court, Located at 5 Rancho Clancy (APN: 682-090-010)**

— RECOMMENDED ACTION: 1) Approve the filing of a Notice of Exemption pursuant to the California Environmental Quality Act (CEQA) Section 15303 (Class 3 – New Construction); and, 2) Approve Minor Conditional Use Permit Case No. CUP25-0004, subject to the Conditions of Approval and based on the content and Findings in the staff report.

**6. NON-AGENDA PUBLIC COMMENTS**

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An opportunity for the public to speak on issues not on the agenda for a maximum of three (3) minutes per speaker.

**7. ADJOURNMENT**

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**PUBLIC NOTICES**

**Agenda Materials:** Any staff reports for agenda items, as well as agenda materials provided to a majority of the legislative body following distribution of the agenda, are available for public inspection in the Planning Department at Rancho Mirage City Hall, located at 69-825 Highway 111, Rancho Mirage, CA 92270, during normal business hours.

**Americans with Disabilities Act (ADA):** If you are an individual with a disability and need a reasonable modification or accommodation pursuant to the ADA, please contact the City Clerk’s Office at (760) 324-4511 Ext. 488, or via e-mail to [CityClerk@RanchoMirageCA.gov](mailto:CityClerk@RanchoMirageCA.gov), prior to the meeting. Providing notice at least 48 hours in advance of the meeting is suggested, so a determination may be made as to whether the request is feasible.

**Livestream:** This meeting may be viewed via Livestream on the City’s website at [www.RanchoMirageCA.gov](http://www.RanchoMirageCA.gov).

**Public Comments:** Written public comments may be submitted to the City Clerk via email to [CityClerk@RanchoMirageCA.gov](mailto:CityClerk@RanchoMirageCA.gov) or mail/delivery to ATTN: City Clerk, City of Rancho Mirage, 69-825 Highway 111, Rancho Mirage, CA 92270. Please submit written public comments at least three (3) hours in advance of the meeting to ensure they may be fully considered. Written public comments received during the meeting will be distributed to the legislative body and made available to the public following the meeting.

Oral public comments/testimony may be provided in person at the meeting during the non-agenda public comment period and during the public comment/testimony period for each agenda item. Public comments are limited to three (3) minutes per speaker. Please fill out a Request to Speak slip prior to the start of the meeting and submit it to the City Clerk. You will be called upon to speak at the appropriate time. Please submit a separate slip for each item on which you wish to speak.

**Declaration of Posting:** *I, Kristie Ramos, City Clerk of the City of Rancho Mirage, do hereby declare that the foregoing meeting agenda was posted on the City of Rancho Mirage website at [www.RanchoMirageCA.gov](http://www.RanchoMirageCA.gov), on the Rancho Mirage City Hall bulletin board at 69-825 Highway 111, Rancho Mirage, CA 92270, and at the Rancho Mirage Library & Observatory at 71-100 Highway 111, Rancho Mirage, CA 92270, at least 72 hours in advance of the meeting.*

*Kristie Ramos*





## Planning Commission Staff Report

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### April 24, 2025, Regular Planning Commission Meeting Minutes

DATE	ITEM #
June 12, 2025	APPROVAL OF MINUTES - 3A.
Presented To	Presented By
Planning Commission	Deanna Mendoza, Development Services Technician

### RECOMMENDED ACTION

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Approve the April 24, 2025, Regular Planning Commission Meeting Minutes as presented.

### Attachments

[Attachment 1 - PC Minutes 4-24-25 Draft.pdf](#)



Thursday, April 24, 2025, 2:00 PM  
City Council Chamber  
69-825 Highway 111  
Rancho Mirage, CA 92270

## REGULAR MEETING OF THE RANCHO MIRAGE PLANNING COMMISSION

### DRAFT MINUTES

#### 1. GENERAL

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**1A. Call to Order** – 2:00 P.M.

**1B. Flag Salute** – Led by Commissioner Grey.

**1C. Roll Call: Bryant, Curran, Grey, Vice Chair Chanter, Chair Agostini** – All Present.

#### 2. COMMISSIONER COMMENTS

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Commissioner Grey welcomed all and expressed gratitude for his continuing service.

Commissioner Chanter thanked the Council for the reappointment and expressed honor in serving. She recognized Commissioner Bryant for receiving the Senior Inspiration Award, praising his service and personal impact.

Commissioner Curran thanked the staff for their continuous support over the past year.

Commissioner Bryant expressed gratitude for serving a seventh year, thanked staff and colleagues for their support, and emphasized the complexity of planning issues. He highlighted visits to the Cotino and Eisenhower campus developments, noting their progress and value to the city and region.

#### 3. NON-AGENDA PUBLIC COMMENTS

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The following individual provided non-agenda public comments: Brad Anderson.

#### 4. APPROVAL OF MINUTES

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**4A. March 13, 2025, Regular Planning Commission Meeting Minutes**

— RECOMMENDED ACTION: Approve the March 13, 2025, Regular Planning Commission Meeting Minutes as presented.

**MOVED/SECONDED BY CURRAN/CHANTER TO APPROVE THE MARCH 13, 2025, REGULAR PLANNING COMMISSION MEETING MINUTES AS PRESENTED. MOTION CARRIED 4/1 WITH COMMISSIONER GREY ABSTAINED.**

#### 5. ACTION ITEMS

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**5A. General Plan Annual Progress Report for 2024**

— RECOMMENDED ACTION: Approve the 2024 General Plan Annual Progress Report and forward it to the City Council to receive and file.

Joy Tsai, Senior Planner, presented the staff report.

A discussion ensued.

**MOVED/SECONDED BY GREY/CHANTER TO APPROVE THE 2024 GENERAL PLAN PROGRESS REPORT AND FORWARD IT TO THE CITY COUNCIL TO RECEIVE AND FILE. MOTION CARRIED 5/0.**

## **6. PUBLIC HEARINGS**

**6A. Extension of Time Case No. ET25-0001 for a One-Year Time Extension for Tentative Tract Map Case No. TTM22-0003 (TTM 38224) – Applicant: Phillip Fomotor of Fomotor Engineering on Behalf of La Paloma Homes, Inc. Consideration of the First One-Year Time Extension for Tentative Tract Map 38224 (Tentative Tract Map Case No. TTM22-0003), a 9-Lot Residential Subdivision on 4.77 Acres, Located in Section 30 at the Northeast Corner of Via Josefina and Ginger Rogers Road (APN: 685-080-014)**

— RECOMMENDED ACTION: Recommend to the City Council 1) Approval of the filing of a Notice of Exemption pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15162 (Subsequent EIRs and Negative Declarations); and, 2) Approval of a one-year Extension of Time (ET25-0001) for Tentative Tract Map Case No. TTM22-0003 (TTM 38224), subject to the Conditions of Approval, and based on the content and Findings in the attached staff report.

Joy Tsai, Senior Planner, presented the staff report.

No public testimony was provided.

A discussion ensued.

**MOVED/SECONDED BY GREY/BRYANT TO RECOMMEND THAT THE CITY COUNCIL:**

- 1. APPROVE THE FILING OF A NOTICE OF EXEMPTION PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES SECTION 15162 (SUBSEQUENT EIRS AND NEGATIVE DECLARATIONS); AND,**
- 2. APPROVE A TWO-YEAR EXTENSION OF TIME (ET25-0001) FOR TENTATIVE TRACT MAP CASE NO. TTM22-0003 (TTM 38224), SUBJECT TO THE CONDITIONS OF APPROVAL, AND BASED ON THE CONTENT AND FINDINGS IN THE ATTACHED STAFF REPORT.**

**MOTION CARRIED 5/0.**

**6B. Environmental Assessment Case No. EA24-0011 and General Plan Text Amendment Case No. GPTA24-0001 – Assembly Bill 2140 Safety Element Update. Applicant: City of Rancho Mirage. Location: City-Wide**

— RECOMMENDED ACTION: Adopt Resolution No. 2025-PC-(Next-in-Order), recommending that the City Council take the following action: 1) Adopt Resolution No. 2025-(Next-in-Order) for the following actions: A) Find that the adoption of the updated General Plan Safety Element is not subject to the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines Section 15061(b)(3) (General Rule “Common Sense” Exemption); and, B) Approve General Plan Text Amendment Case No. GPTA24-0001, incorporating by reference the 2023 Local Hazard Mitigation Plan into the Safety Element in the City’s General Plan in accordance with Assembly Bill 2140.

Joy Tsai, Senior Planner, presented the staff report.

No public testimony was provided.

A discussion ensued.

**MOVED/SECONDED BY CHANTER/CURRAN TO ADOPT RESOLUTION NO. 2025-PC-03, RECOMMENDING THAT THE CITY COUNCIL TAKE THE FOLLOWING ACTION: 1) ADOPT RESOLUTION NO. 2025-(NEXT-IN-ORDER) FOR THE FOLLOWING ACTIONS: A) FIND THAT THE ADOPTION OF THE UPDATED GENERAL PLAN SAFETY ELEMENT IS NOT SUBJECT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA), PURSUANT TO CEQA GUIDELINES SECTION 15061(B)(3) (GENERAL RULE “COMMON SENSE” EXEMPTION); AND, B) APPROVE GENERAL PLAN TEXT AMENDMENT CASE NO. GPTA24-0001, INCORPORATING BY REFERENCE THE 2023 LOCAL HAZARD MITIGATION PLAN INTO THE SAFETY ELEMENT IN THE CITY’S GENERAL PLAN IN ACCORDANCE WITH ASSEMBLY BILL 2140. MOTION CARRIED 5/0.**

**6C. Zoning Text Amendment Case No. ZTA25-0001 Applicant: City of Rancho Mirage. Consideration of an Ordinance Amending Section 17.20.040 (Development/Design Considerations) of Chapter 17.20 (General Property and Use Standards), Repealing and Replacing Chapter 17.32 (Wireless Communication Facilities), Amending Section 17.34.010 (Introduction) of Chapter 17.34 (Introduction) of Division IV (Permits and Review), and Amending Section 17.48.045 (Minor Conditional Use Permits) of Chapter 17.48 (Conditional Use Permits) of Title 17 (“Zoning”) of the Rancho Mirage Municipal Code. Location: City-Wide**

— **RECOMMENDED ACTION:** Adopt Resolution No. 2025-PC-(Next-in-Order), recommending that the City Council take the following actions: 1) Find that the adoption of the Ordinance has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA) and CEQA Guidelines, and that adoption of the Ordinance is categorically exempt from environmental review under the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines sections 15378 because it is not a “project”, and 15061(b)(3) because it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment because the amendments involve general policy and procedure making; and 2) Introduce and adopt Ordinance No. (Next-in-Order), Amending Section 17.20.040 (Development/Design Considerations) of Chapter 17.20 (General Property and Use Standards), Repealing and Replacing Chapter 17.32 (Wireless Communication Facilities), Amending Section 17.34.010 (Introduction) of Chapter 17.34 (Introduction) of Division IV (Permits and Review), and Amending Section 17.48.045 (Minor Conditional Use Permits) of Chapter 17.48 (Conditional Use Permits) of Title 17 (“Zoning”) of the Rancho Mirage Municipal Code subject to addition of further amendments to the Municipal Code as may be recommended by staff, which are outside the purview of the Planning Commission, and therefore go directly to City Council.

Ben Torres, Planning Manager, presented the staff report.

The following individual provided public testimony: Brad Anderson.

A discussion ensued.

**MOVED/SECONDED BY CHANTER/GREY TO ADOPT RESOLUTION NO. 2025-PC-04, RECOMMENDING THAT THE CITY COUNCIL TAKE THE FOLLOWING ACTIONS:**

- 1. FIND THAT THE ADOPTION OF THE ORDINANCE HAS BEEN REVIEWED IN COMPLIANCE WITH THE PROVISIONS OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) AND CEQA GUIDELINES, AND THAT ADOPTION OF THE ORDINANCE IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO CEQA GUIDELINES SECTIONS 15378 BECAUSE IT IS NOT A “PROJECT”, AND 15061(B)(3) BECAUSE IT CAN BE SEEN WITH CERTAINTY THAT THERE IS NO POSSIBILITY THAT THE ACTIVITY IN QUESTION MAY HAVE A SIGNIFICANT EFFECT ON THE ENVIRONMENT BECAUSE THE AMENDMENTS INVOLVE GENERAL POLICY AND PROCEDURE MAKING; AND,**
- 2. INTRODUCE AND ADOPT ORDINANCE NO. (NEXT-IN-ORDER), AMENDING SECTION 17.20.040 (DEVELOPMENT/DESIGN CONSIDERATIONS) OF CHAPTER 17.20 (GENERAL PROPERTY AND USE STANDARDS), REPEALING AND REPLACING CHAPTER 17.32 (WIRELESS COMMUNICATION FACILITIES), AMENDING SECTION 17.34.010 (INTRODUCTION) OF CHAPTER 17.34 (INTRODUCTION) OF DIVISION IV (PERMITS AND REVIEW), AND AMENDING SECTION 17.48.045**

**(MINOR CONDITIONAL USE PERMITS) OF CHAPTER 17.48 (CONDITIONAL USE PERMITS) OF TITLE 17 (“ZONING”) OF THE RANCHO MIRAGE MUNICIPAL CODE SUBJECT TO ADDITION OF FURTHER AMENDMENTS TO THE MUNICIPAL CODE AS MAY BE RECOMMENDED BY STAFF, WHICH ARE OUTSIDE THE PURVIEW OF THE PLANNING COMMISSION, AND THEREFORE GO DIRECTLY TO CITY COUNCIL. MOTION CARRIED 5/0.**

## **7. ADJOURNMENT**

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Chair Agostini adjourned the meeting at 3:29 P.M.

**Date Approved by Planning Commission:**

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**Deanna Mendoza**  
**Development Services Technician**



## Planning Commission Staff Report

### Appointment of Chairperson and Vice-Chairperson

DATE	ITEM #
June 12, 2025	ACTION ITEMS - 4A.
Presented To	Presented By
Planning Commission	Ben Torres, Planning Manager

### RECOMMENDED ACTION

Appoint a Chairperson and Vice-Chairperson.

### DISCUSSION

The Planning Commission shall elect a Chairperson and Vice-Chairperson in accordance with Rancho Mirage Municipal Code § 2.28.060 *Selection of officers*. A chairperson and vice chairperson shall be elected annually at the first regular meeting in June from among the regular membership. Several years ago, the Planning Commission "informally" decided to rotate Chair and Vice-Chair in the same manner that the City Council rotates the Mayor and Mayor Pro-Tern positions, by longevity of service. This rotational procedure was adopted as an informal policy. The current Planning Commission may choose to continue with this format or may choose alternate members to serve in the subject positions by a motion and second.

If any Commissioners are unable to attend the meeting when elections are scheduled, the Commission has voted in the past to continue the nomination to the next meeting when all members are present, but the Commission is not required to do so. The following is the Commissioner Appointment roster.

Planning Commissioner	Appointment Date	Chaired
Murray Bryant	June 1, 2018	2021/2022
David Grey	June 1, 2021	2023/2024
Jassen Agostini	June 1, 2022	2024/2025
Pamela Chanter	June 1, 2022	--

Austin Beale	June 1, 2025	--	
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Based upon the foregoing, the current Vice-Chair, Pam Chanter, would move into the Chair position, and Commissioner Bryant is next in line to act as the Vice-Chair.



## Planning Commission Staff Report

Sign Program Case No. SIPR25-0001 – Cotino Town Center Sign Program – Applicant: DMB Development LLC on Behalf of ECRM Commercial. Consideration of a Sign Program to Establish Sign Criteria for the Cotino Town Center, Located in Section 31, Approximately 650 Feet South of the Monterey Avenue and Gerald Ford Drive Intersection, on the West Side of Monterey Avenue (APNs: 685-220-048 & 685-540-036)

DATE	ITEM #
June 12, 2025	PUBLIC HEARINGS - 5A.
Presented To	Presented By
Planning Commission	Lezlee Vazquez, Assistant Planner

### RECOMMENDED ACTION

1. Approve the filing of a Notice of Exemption pursuant to the California Environmental Quality Act (CEQA) Section 15162 (Subsequent EIRs and Negative Declarations); and,
2. Approve Sign Program Case No. SIPR25-0001, subject to the Conditions of Approval and based on the content and Findings in the staff report.

### DISCUSSION

#### Facts

1. Applicant: DMB Development LLC on behalf of ECRM Commercial
2. Request: Approval of a sign program for the Cotino Town Center within the Section 31 Specific Plan area, also known as the Cotino development.
3. Location: Approximately 650 feet south from the intersection of Monterey Avenue and Gerald Ford Drive, on the west side of Monterey Avenue. APNs: 685-220-048 & 685-540-036
4. Project Size: 33.18 acres

5. Existing Land Use and General Plan/Zoning:

Master planned community (Under Development); Mixed Use (M-U), Section 31 Specific Plan

6. Date Application Deemed Complete: May 22, 2025

### **Background and Request**

The applicant and master developer, DMB Development LLC, and owner, ECRM Commercial are requesting approval of a sign program for the Cotino Town Center, which falls within the Section 31 Specific Plan. Section 31 consists of roughly one square mile of land (618 acres) under development directly across from Bob Hope Drive and the Sunnylands Estate. Section 31 is bounded by Gerald Ford Drive to the north, Monterey Avenue to the east, Frank Sinatra Drive to the south, and Bob Hope Drive to the west.

The Section 31 Specific Plan was approved by the City Council in December 2019 and is intended to ensure quality development consistent with the goals, objectives, and policies of the City's General Plan, while accommodating livability and creating a sense of place. The Specific Plan allows the development of a mixed-use community including the following: resort hotels, a mixed-use town center, residential neighborhoods, a private street system, and recreational open space amenities. The 24-acre lagoon, now known as Cotino Bay, was approved in conjunction with the Section 31 Specific Plan and Preliminary Development Plan Case No. PDP19004.

On November 16, 2023, the City Council approved a Preliminary Development Plan for the first restaurant, vehicle circulation and parking in the Town Center (Case No. PDP23-0003). The approval was to construct a two-story 13,050 square-foot restaurant and the Town Center Phase 1 Master Infrastructure of Section 31 (Cotino), which included the development of streets, parking, landscape, and related infrastructure to support the first phase of the development within the Cotino Town Center. The two-story restaurant will have multiple functions, as a main-level restaurant accessible from the Town Center, and as a beach-level amenity and support building for the public beach patrons and staff. The main level is a waterfront restaurant overlooking the lagoon and beach.

The remainder of the first phase of the Town Center under Preliminary Development Plan Case No. PDP23-0005 was approved by the City Council on December 21, 2023. The approved project included two restaurant buildings totaling 9,057 square feet, three in-line retail buildings totaling 25,254 square feet, the Artisan Village, a 4,440 square-foot back of house building, and ancillary structures and uses such as a park, shade structures, and a 384 square-foot restroom/utility building. The Artisan Village consisted of nine small retail and food and beverage buildings scattered informally along a central pedestrian walkway.

On September 14, 2023, the Planning Commission approved the first Cotino Sign Program for the first and subsequent phase of development, which includes the Gerald Ford Drive entrance, four interior parks, and various street signage throughout residential neighborhoods. A second Sign Program was approved by the Planning Commission on June 14, 2024, for the Clubhouse, Lagoon Promenade, and public beach areas.

The applicant is requesting a third sign program to establish sign criteria for the Cotino Town Center and ensure consistency and compliance with the Section 31 Specific Plan. Specific tenants have not been identified at this time; however, the in-line retail buildings will typically have end cap food and beverage establishments as these spaces have been designed with a dedicated outdoor dining area that is contiguous with their interior space. The applicant is proposing identity, directional, informational, regulatory, and tenant signs for the Cotino Town Center and the Community & Club Facilities building. The Sign Program is a key component for the Cotino Town Center and is intended to enhance and complement the architectural character.

### **Analysis**

This sign program was reviewed in accordance with Rancho Mirage Municipal Code (RMMC) Chapter 17.28 Signs and the Section 31 Specific Plan. As designed, the proposed signage will blend in with the surrounding properties and will not negatively impact the adjacent properties. The designs are also consistent with the previously approved sign programs for Cotino for the residential neighborhoods, clubhouse campus, lagoon promenade, and the public beach area.

The Cotino Town Center Sign Program Exhibit Booklet (Attachment 4) is comprised of 181 pages and is organized into five sections as shown in the table of contents below. The first section pertains to the materials, colors, finishes, and font within the Sign Program Booklet. Sections two and three consist of identity, directional, and informational signs for all areas in the Cotino Town Center, including the Community & Facilities building. The fourth section includes regulatory signage for traffic and parking regulation. Lastly, the fifth section details retail tenant signage.

<b>Section</b>	<b>Page Number</b>	<b>Table of Contents</b>
1	14 to 18	General Information
2	19 to 33	Sign Schedule & Location Plans
3	35 to 98	Sign Types
4	99 to 125	Regulatory Signage
5	126 to 181	Cotino Bay Tenant Signage

**Section 1: General Information (Pages 14 to 18)**

Page fifteen illustrates the proposed paints and materials for all proposed signage in the Cotino Town Center Sign Program. Areas that are grey or faded out on Page 15 are not being used within the current booklet. Project fonts and icons are also shown in subsequent pages. The color scheme, materials, colors, and architectural finishes are consistent with the previous approved sign programs in the Cotino development.

**Sections 2 & 3: Town Center Signage Design & Location (Pages 19 to 98)**

Section 1 refers to the signs located within the Town Center campus. These signs are intended to identify and differentiate all buildings within the Town Center area. The Sign Program has a key map on Page 25, which divides the Town Center into eight different segments. Each segment includes a site plan that shows sign locations on Pages 26 to 33. A total of nineteen (19) signs are proposed, which consists of several monuments, vehicular directional signs, pedestrian signs, a tenant directory, building identity signage, banners, miscellaneous wall signs, gender restroom plaques, and freestanding signs for informational purposes. Detailed illustrations for all nineteen signs can be found on Pages 35 to 98.

**Town Center Entry Monument (Pages 35 to 43)**

Two single-sided entry monuments for Cotino Bay are proposed at the primary entrance at the intersection of Monterey Avenue and Gallery View Way. For the sign placement, please refer to Sign TC1 on Page 33 and Page 41 of the Exhibit Booklet. The maximum height of each monument is 5'-6", which is measured from finished grade to the top of the sign and contains 4'-6" aluminum slats painted Corten brown with a powder coated finish. The aluminum slats will be mechanically mounted to the perimeter wall and will gradually spread out until it reaches a maximum length of 72'-8". Each sign contains edge-illuminated channel letters that contain 1'-8" letter heights in an off-white color (Matthews Paint Pearl Stone MP05780). The channel letters will be mounted on top of the vertical posts. Below the channel letters is a flat cut out panel with 6 1/4" off-white aluminum letters. The overall sign area is 43 square feet. For a detailed illustration of the sign, please refer to Page 35 to 43.

The setback, style, and location of the monument signs will create an upscale entry that will blend with the surrounding development. The monuments contains a similar design to the primary entrance monument off of Gerald Ford Drive, which was approved under Sign Program Case No. SIPR23-0002.

#### **Town Center Tenant Monument (Pages 44 to 48)**

One double-sided monument for retail and restaurants tenants in Cotino Bay is proposed along Monterey Avenue, between Galley View Way and Illustration Way. The sign will be placed approximately 10 feet from the back of the curb on Monterey Avenue and shall provide an 18-inch minimum clearance from the end of the sidewalk. For sign placement, please refer to Sign TC2 on Page 31 of the Exhibit Booklet. The monument will display six different tenant names and the Cotino Bay branding at the top. The monument is 8'-6" in height and 11'-2" in length. The sign will contain 6'-0" tall powder coated angle posts and an aluminum mounted panel with a waterjet cut pattern. The entire monument will be painted Corten brown and will contain various letter heights ranging from two to seven inches. The tenant names will be placed in an internally illuminated cabinet with 4" flush acrylic letters. A detailed illustration for TC2 can be found on Pages 44 to 48.

#### **Secondary Entry Monument (Pages 92 to 95)**

One double-side monument for the Cotino Bay is proposed at the intersection of Illustration Way and Monterey Avenue. The sign will be placed approximately 9'-0" from the back of curb on Monterey Avenue and shall provide an 18-inch minimum clearance from both ends of the sidewalk. For sign placement, refer to Page 27 of the Exhibit Booklet. The monument will display the Cotino Bay branding at the top and will contain 3'-0" aluminum slats painted Corten brown with a powder coated finish. The monument is 4'-8" in height and 12'-0" in length. The aluminum slats will continue to the other side of the sidewalk and gradually spread out until it reaches a maximum length of 11'-8". For a detailed illustration of Sign TC17, please refer to Pages 92 to 95.

#### **Section 4: Regulatory Signage (Pages 99 to 125)**

There are fifteen different regulatory signs for the Cotino Town Center. A detailed illustration for each of the signs can be found on Pages 109 – 125. These signs are dispersed throughout the street and parking areas. All signs are tailored to architecturally match the community's designs. The regulatory signs identify the streets and are intended to regulate traffic and parking.

#### **Section 5: Cotino Bay Tenant Signage (Pages 126 to 181)**

The last section of the Cotino Town Center Sign Program pertains to the Cotino Bay tenants. The Cotino Bay area borders the public beach and serves as a dining and shopping area for visitors. Signage allocation is determined by the tenant zoning as shown on Pages 143 and 144 of the Exhibit Booklet. There are three different tenant zoning areas which consists of corner, inline, and Artisan Village tenants. Tenants are encouraged to use creativity and exceptional design to create something distinctive and unique that is reflective of the project and its overall design character. For signage placement, please refer to the tenant elevations on Pages 146 to 169 of the Exhibit Booklet.

#### **Primary Signage**

Primary identity signage includes any fascia or canopy mounted signs. The maximum sign logo and letter heights will vary from 18 inches to 36 inches, which is based on each type of tenant zoning and differentiates for single or stacked letters. All fascia and canopy mounted signage cannot exceed 75% of height and 70% of width of the storefront dimensions. The overall sign area is limited to 1 square foot per linear foot. All three tenant zones are permitted to have internal or external illumination. Exposed illumination is permitted for restaurants only. The different types of illumination are shown on Pages 172 and 173.

A corner tenant may opt to use a vertical marquee sign as a primary form of identification if it is permitted by the property owner or management team. The vertical marquee sign is a double-sided sign that is mounted perpendicular to the building façade and is suspended by metal brackets. The sign should have at least a 13-foot clearance above finished grade and shall not exceed the building roof line. The signs may be internally or externally illuminated and shall not exceed 20 square feet. An example of the vertical marquee sign is on Page 175 of the Exhibit Booklet.

### **Secondary Signage**

The sign program provides the option of secondary identity signage which includes blade signs, wall-mounted plaques, wall mounted menu boards, window graphics, and A-frame temporary signage.

A blade sign is a double-sided sign that is mounted perpendicular to the building façade and is suspended on a metal bracket. Blade signs are limited to 9 square feet for corner tenants, 6 square feet for inline tenants, and 4 square feet for Artisan Village tenants. These signs must provide an eight-foot minimum clearance, which is measured from the bottom of the blade sign to the finished floor. They are encouraged to be fabricated of painted metal, but the materials, colors, and lighting design elements are contingent upon property owner approval. Examples of the wall mounted plaques are shown on Page 176 of the Exhibit Booklet.

Wall mounted plaques are mounted parallel to the building façade and will be placed near the door entrance. The non-illuminated signs are limited to 4 square feet for corner tenants and 3 square feet for inline and Artisan Village tenants. Allowable materials are cast metal, glass, and durable hard surface material. Molded fiberglass or other plastic signs are not permitted. Examples of the wall mounted plaques are shown on Page 177 of the Exhibit Booklet.

Wall mounted menu boards are allowed to restaurant tenants only. The menu boards are mounted parallel to the building façade and will be placed near the entrance. The wall mounted menu boards are limited to 6 square feet for corner tenants and 4 square feet for inline and artisan village tenants. Allowable materials are cast metal, glass, and durable hard surface material. Molded fiberglass or other plastic materials are not allowed. Examples of this signage is shown on Page 179 of the Exhibit Booklet.

Window graphics are permitted for corner and inline tenants only. All window graphics are limited to 15% of all storefront glazing. Examples of window graphics are shown on Page 178 of the Exhibit Booklet. Artisan Village tenants are permitted to have temporary A-frame signage due to the small tenant space. The A-frame temporary signage is limited to 8 square feet per sign face and is limited to one per tenant. The A-frame signs shall be constructed of metal or wood only and may have up to two paint colors. Examples of the temporary A-frame signage are included on Page 180 of the Exhibit Booklet.

### **Environmental Determination**

The proposed sign program document is exempt from CEQA pursuant to CEQA Guidelines Section 15162 (Subsequent EIRs and Negative Declarations). The purpose of the sign program is to establish sign criteria for various types of signage throughout the Cotino development. On December 5, 2019, the Rancho Mirage City Council certified the Section 31 Specific Plan Environmental Impact Report (State Clearinghouse Number 2018081074). The proposed sign program is consistent with the adopted Section 31 Specific Plan and no potential new impacts related to the proposed project has been identified that would necessitate further environmental review beyond the impacts and issued disclosed and evaluated under the certified Environmental Impact Report (EIR).

CEQA Guidelines Section 15162 (Subsequent EIRs and Negative Declarations) provides that when an EIR has been certified or a negative declaration adopted for a project, no subsequent EIR shall be prepared for that project unless the lead agency determines, on the basis of substantial evidence in light of the whole record, that there are no new significant environmental effects due to a change in the project or circumstances, and there is no new information of substantial importance as identified in CEQA Guidelines Section 15162(a)(3). The proposed project is a request to establish sign criteria for various types of signage throughout the Cotino Town Center development. All proposed signage is designed to be in scale with the development plans which are for directional, informational, and identification purposes. The sign program is in substantial conformance with the Section 31 Specific Plan and certified EIR. Based on the City's analysis, no subsequent EIR, supplemental EIR, or subsequent mitigation negative declaration is required. No further environmental review is required.

### **Noticing Requirement**

Rancho Mirage Municipal Code Section 17.74.020, *Hearing and notice*, requires that all property owners, as shown on the county's latest equalized assessment roll, within a 500-foot radius of the boundaries of the subject parcel(s) be notified of matters requiring a public hearing. If the number of property owners to whom the notice would be mailed to is less than 25, then the mailing radius is required to be increased to 1,000 feet as measured from the exterior boundaries of the subject parcel.

On May 28, 2025, public hearing notices were mailed to property owners within a **1,000**-foot radius of the parcel boundary and posted at the City's designated community posting sites pursuant to the requirements of Chapter 17.74 of the Municipal Code. Notification of the public hearing was published in The Desert Sun on June 1, 2025. The notice was also posted at City Hall, The Rancho Mirage Library & Observatory, and on the City's website on May 28, 2025. Any information addressed to the Planning Commission, but received after completion of this final report, will be distributed at the public hearing. No comments have been received as of the publication date of this report.

### **Summary**

The Cotino Town Center Sign Program closely follows the guidelines set in the Section 31 Specific Plan and Municipal Code Section 17.28.100 (*Sign program*). The proposed sign regulations are appropriate for the scale of the site and implement superior design. The proposed signage complements the architecture and color palettes established in the first and second Cotino Sign Programs. Signs for the Town Center will be aesthetically compatible with the surrounding environment, durable, and will not detract from the upscale character established by the project's intricate architecture and landscaping.

### **FINDINGS**

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Pursuant to RMMC Section 17.28.050 *Findings and decision*, a Sign Program may be approved only if the following findings are made:

1. The sign program is allowed within the subject zoning district (**Section 31 Specific Plan**) and complies with all of the applicable provisions of this title; **because the subject sign program will establish specific signage regulations uniquely compatible with the conditions on the subject property. The sign program will complement and enhance the architecture within the Cotino Town Center development. All signs are located on the site and are considered to be minor structures that are accessory to the Town Center.**
2. The sign program is restrained in size and design and, as an identification device, does not excessively compete for the public's attention and is the minimum amount of signage necessary to achieve the purposes of this chapter; **because the signage regulations contained in the sign program have been designed to properly identify the Cotino Town Center within the subject property. In addition, the subject sign program is in line with the first two Cotino Sign Programs.**
3. The sign color, height, materials, placement, shape, size, and texture are harmonious with the design of the structure, property, and neighborhood of which it is a part; **because the sign regulations shown on the sign program are designed to complement the subject property and comply with the standards within the Section 31 Specific Plan.**
4. The signs' illumination is at the lowest possible intensity, which ensures adequate identification and readability, and is directed solely at the sign or is internal to it; **because as conditioned, signage lighting will be achieved through various methods but will not emit excessive lighting that would disrupt surrounding properties and/or public rights-of-way. Lighting shall be contained within the subject property.**
5. The sign is not detrimental to the public interest, health, safety, or welfare; **because the sign regulations will be used to identify the specific areas within the Cotino Town Center development where signage will be allowed. All proposed signage is designed to be in scale with the development plans which are for directional, informational, and identification purposes.**

## **Attachments**

[Attachment 1 – Aerial Photo](#)

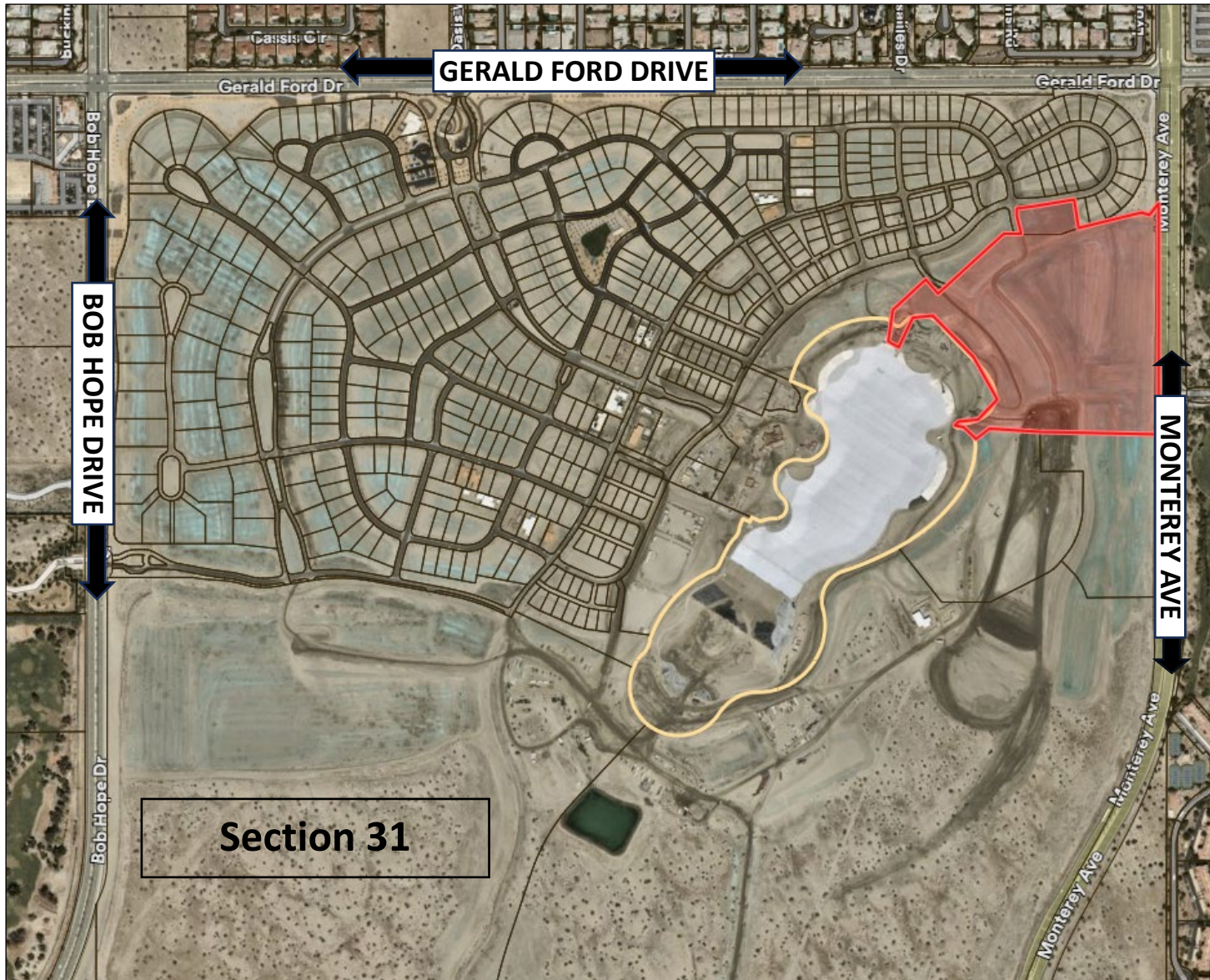
[Attachment 2 – Conditions of Approval](#)

[Attachment 3 – Public Hearing Notice](#)

[Attachment 4 – Draft Notice of Exemption](#)

[Attachment 5 – Sign Program Exhibit Booklet](#)

# SIPR25-0001 – Cotino Town Center Sign Program Aerial



**Sign Program Case No. SIPR25-0001 Conditions of Approval**

Special conditions are shown using **bold** font type.

**Planning**

1. Proposed signage for the property shall conform to the Planning Division's approved exhibits requirements, as contained in **Sign Program Case No. SIPR25-0001**. This application approval is for a sign program only. The applicant shall not misconstrue this as an approval to obtain a Sign Permit or Building Permits at this time. Applicable structural and conformance plan check procedures must be completed and approved prior to the issuance of a Building Permit.
2. Should the sign program requirements be modified from what was approved by the Planning Commission, the applicant/property owner shall submit a Sign Program Amendment application to the City of Rancho Mirage for review and approval as required by the Municipal Code.
3. Prior to issuance of any permits, the applicant shall acknowledge that any or all proposed modifications to the approved project or Conditions of Approval shall first be approved by the City.
4. The signage for the property shall be completed in accordance with applicable City Ordinances, Guidelines, and other requirements in effect at the time of building permit issuance.
5. The subject approval shall not become effective until the acknowledgement and acceptance of the conditions of approval are signed and returned to the Planning Division.
6. The Conditions of Approval set forth herein may include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d)(1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day approval period in which you may protest these fees, dedications, reservations, and other exactions, pursuant to Government Code Section 66020(a), has begun.
7. The applicant shall comply with all applicable provisions of the Rancho Mirage Municipal Code.
8. Applicant shall be required to obtain all other permits it may be required to obtain from other public agencies to engage in the activities associated with this work, and the Applicant shall be responsible for paying any and all related permit and inspection fees.

9. The approval of this sign program does not include approval for the individual signs. A Sign Permit approval and applicable Building Permits shall be obtained for individual signage.
10. All contractors and vendors providing any services related to the proposed program shall possess a current validly issued Rancho Mirage City business license.
- 11. Prior to issuance of the first sign permit, three (3) Sign Program Exhibit Booklets and a PDF set shall be submitted to the Planning Division. The Sign Program shall include the case number "SIPR25-0001" and the date of Planning Commission approval. The Exhibit Booklets must be durable, high quality, and the pages must be properly bound.**
- 12. Signage lighting utilizing internal or external illumination shall not emit excessive light onto the sign that would disrupt neighboring properties and/or public rights-of-way. Lighting shall be contained within the subject property.**
- 13. Monument signs are not permitted within the public right-of-way. Any signage placed along the Monterey Avenue parkway will be subject to review by the Public Works Department / Engineering Division.**

#### **City Attorney**

14. The applicant shall defend, indemnify and hold harmless the City, its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attack, set aside, void or annul this permit approval. The City shall notify the applicant of any claim, action, or proceeding, and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding, the permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the city.
15. The applicant shall reimburse the City for any court and attorney's fees which the City may be required to pay as a result of any claim or action brought against the City because of this project. Although the applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the permittee of any obligation under this Condition.



# CITY OF RANCHO MIRAGE

Planning Division  
69-825 Highway 111  
Rancho Mirage, CA 92270  
Planning@RanchoMirageCA.gov  
(760) 328-2266

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## **PUBLIC HEARING NOTICE**

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**PLANNING COMMISSION MEETING**  
**Thursday, June 12, 2025 – 2:00 p.m.**

**Sign Program Case No. SIPR25-0001**

**Applicant:** DMB Development LLC on behalf of ECRM Residential

**Request:** Consideration of a sign program to establish sign criteria for the Cotino Town Center.

**Location:** Approximately 650 feet south from the intersection of Monterey Avenue and Gerald Ford Drive, on the west side of Monterey Ave. APNs: 685-220-048 & 685-540-036

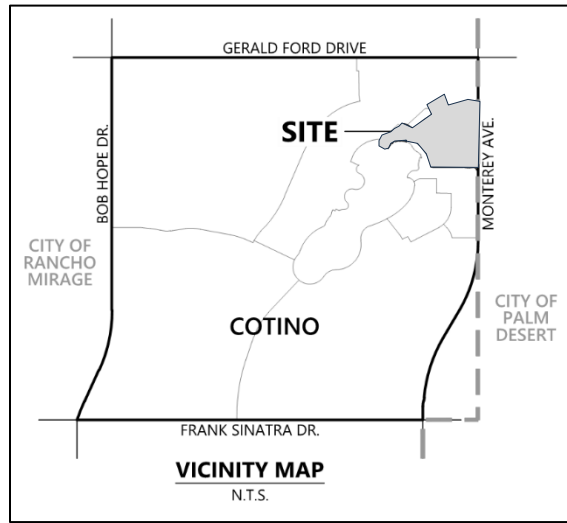
**NOTICE IS HEREBY GIVEN** that a Public Hearing will be held before the City of Rancho Mirage Planning Commission regarding consideration of the above referenced sign program, pursuant to Rancho Mirage Municipal Code Title 17. Pursuant to the provisions of the California Environmental Quality Act (CEQA), Section 15162, the previously certified Environmental Impact Report for the Section 31 Specific Plan (SCH No. 2018081074) is still valid. No further environmental review is required.

The Public Hearing will be held on Thursday, June 12, 2025, at 2:00 p.m., in the Council Chamber, 69-825 Highway 111, Rancho Mirage, California, at which time and place pertinent testimony will be heard. The file, including all environmental information, is available for public inspection at City Hall, Monday through Friday, between 8 a.m. and 5 p.m., and will be posted on the City's website with the publication of the Planning Commission Agenda, to be posted at least 72 hours prior to the meeting.

Written testimony may be submitted to the City Clerk via email to [CityClerk@RanchoMirageCA.gov](mailto:CityClerk@RanchoMirageCA.gov), or mailed to City of Rancho Mirage, ATTN: City Clerk, 69-825 Highway 111, Rancho Mirage, CA 92270. Written testimony must be received no later than 11:00 a.m. on the day of the hearing to be considered by the Planning Commission.

**GOVERNMENT CODE § 65009 NOTICE:** If you challenge this proposed activity in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this notice, or in written correspondence delivered to the Planning Commission sufficiently prior to the Public Hearing to enable its consideration by them.

Vicinity Map – Not to Scale



**CITY OF RANCHO MIRAGE**



Development Services Department  
 69-825 Highway 111  
 Rancho Mirage CA 92270

Phone 760/328-2266

Fax 760/324-9851

**NOTICE OF EXEMPTION**

To:  State Clearinghouse  
 1400 10<sup>th</sup> Street  
 Sacramento, CA 95812

Chief Deputy County Clerk  
 3470 12th Street  
 Riverside, CA 92501

**Project Title/Case Nos.** Sign Program Case No. SIPR25-0001 – Cotino Town Center Sign Program

**Project Location:**

Approximately 650 feet south from the intersection of Monterey Avenue and Gerald Ford Drive, on the west side of Monterey Avenue. APNs: 685-220-048 & 685-540-036.

**Applicant/Representative:**

DMB Development LLC on behalf of ECRM Residential  
 7600 E. Doubletree Ranch Rd  
 Ste 250  
 Scottsdale, AZ 85258

**Project Description:**

The Project proposes to establish sign criteria for the Cotino Town Center.

**Name of Public Agency Approving Project: Name of Person or Agency Carrying Out Project:**

City of Rancho Mirage

Lezlee Perez  
 Assistant Planner

**Exempt Status:** (check one)

- Ministerial (Sec. 21080(b)(1); 15268);  Declared Emergency [Sec. 21080(b)(3); 15269(a)]  
 Emergency Project [Sec. 21080(b)(4); 15269(b)(c)];  Statutory Exemption; Code No. \_\_\_\_\_  
 Categorical Exemption. State type and Section number: \_\_\_\_\_  
 Other. State type and Section number: Guidelines Section 15162 - Subsequent EIRs and Negative Declarations

**Reasons why project is exempt:** The proposed sign program document is exempt from CEQA pursuant to CEQA Guidelines Section 15162 (Subsequent EIRs and Negative Declarations). The purpose of the sign program is to establish sign criteria for various types of signage throughout the Cotino development. On December 5, 2019, the Rancho Mirage City Council certified the Section 31 Specific Plan Environmental Impact Report (State Clearinghouse Number 2018081074). The proposed sign program is consistent with the adopted Section 31 Specific Plan and no potential new impacts related to the proposed project has been identified that would necessitate further environmental review beyond the impacts and issued disclosed and evaluated under the certified Environmental Impact Report (EIR).

CEQA Guidelines Section 15162 (Subsequent EIRs and Negative Declarations) provides that when an EIR has been certified or a negative declaration adopted for a project, no subsequent EIR shall be prepared for that project unless the lead agency determines, on the basis of substantial evidence in light of the whole record, that there are no new significant environmental effects due to a change in the project or circumstances, and there is no new information of substantial importance as identified in CEQA Guidelines Section 15162(a)(3). The proposed project is a request to establish sign criteria for various types of signage throughout the Cotino Town Center development. All proposed signage is designed to be in scale with the development plans which are for directional, informational, and identification purposes. The sign program is in substantial conformance with the Section 31 Specific Plan and certified EIR. Based on the City's analysis, no subsequent EIR, supplemental EIR, or subsequent mitigation negative declaration is required. No further environmental review is required.

**Lead Agency Contact Person:** Lezlee Perez, Assistant Planner

**Telephone No.** (760) 328-2266

**Date:** \_\_\_\_\_

\_\_\_\_\_  
Lezlee Perez, Assistant Planner

**Signed by Lead Agency**

**Date Received for filing at OP** \_\_\_\_\_

# COTINO™

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A STORYLIVING BY *Disney*™ COMMUNITY

ENVIRONMENTAL GRAPHICS + WAYFINDING  
COTINO TOWN CENTER  
DESIGN DEVELOPMENT / BID PACKAGE

ISSUED: JANUARY 17, 2025

REVISED: MAY 20, 2025

rsmdesign

## CONTACT INFORMATION

**SUZANNE SCHWARTZ**

[suzanne@rsmdesign.com](mailto:suzanne@rsmdesign.com)

**JEFFREY HERTZLER**

[jeff@rsmdesign.com](mailto:jeff@rsmdesign.com)

**MAXWELL HELM**

[maxwell@rsmdesign.com](mailto:maxwell@rsmdesign.com)

**EDDIE SAYERS**

[eddie@rsmdesign.com](mailto:eddie@rsmdesign.com)

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## SIGN SPECIFICATIONS

These general specifications addressing signage and graphic elements within the attached package are intended for the signage fabricator.

RSM Design does not provide specifications in MasterFormat or MasterSpec, however, does provide sign industry standard general specification recommendations.

This document has been assembled by RSM Design with the expectation that the Sign Fabricator will meet the following quality and performance requirements. The acceptance of these drawings by the Sign Fabricator constitutes agreement to comply with the following conditions. The Client will hold the Sign Fabricator to these requirements as part of their contract obligations.

### 1.1 DESCRIPTION

#### A. Use of Design Intent Drawings

1. These drawings are for design purposes only and are not intended to be used for construction. Anyone who uses these designs for construction does so at their own risk.
2. The following package represents the signage and graphics scope as understood by RSM Design throughout the design process and at the time of issuance. RSM Design cannot be held responsible for alterations, changes, value engineering, and other modifications made to the signage scope and fabrication methods without the inclusion of and consent of RSM Design prior to fabrication and installation.

3. With the acceptance of this package by the Client, all of the designs represented in this package have been reviewed (and approved unless RSM Design is notified otherwise) the Client for original design intent, placement, appropriateness, and functionality.
4. All location plans and location elevations represented in this package may not be representative of the existing built conditions.
5. The Sign Fabricator is responsible for verifying all existing conditions (dimensions, backing, accessibility, electrical accessibility, other conditions) prior to fabrication and installation.

#### B. Definitions

1. RSM Design: Design consultant under contract with the Client.
2. Sign Fabricator: Sign contractor and all associated sub-contractors.
3. General Contractor: Independent contractor under contract with the Client.
4. Client: Shall refer to the designated Client representative, client team, owner, developer or other parties.
5. Sign: Shall refer to any fabrication, object, or article of graphics or furniture described in these drawings and/or specifications.

#### C. Conditions

1. The acceptance of these drawings by contracted vendors, bidders, Sign Fabricators, or sub-contractors and their agents constitutes agreement to all of the following conditions outlined in these specifications.

### 1.2. PERFORMANCE INFORMATION NON-DISCLOSURE AGREEMENT

- A. All ideas, designs, arrangements, and plans indicated or presented by these drawings are owned by and are the property of RSM Design and the Client, and were created, evolved, and developed for use on and in connection with the specified project ONLY.
- B. These designs and details cannot be used on any other project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any persons, firm, or corporation for any purpose whatsoever without the written permission of Redmond Schwartz Mark Design Inc. and the Client. Any and all inquiries in this regard by outside parties should be referred to RSM Design. It is required that all original artwork furnished by RSM Design be returned upon completion of this project.

### 1.3 DESIGN CONSULTANT AND CLIENT ROLES AND RESPONSIBILITIES

*Roles and responsibilities may vary per project.* It is the responsibility of the Sign Fabricator to confirm these roles with the Client during the bid phase.

#### A. RSM Design

1. RSM Design's role on this project is for the design intent and aesthetic look of each sign and in coordination with the overall project design team.
2. Based on the contract agreement, RSM Design's role may also include the following:
  - a. Issuance of vector files to the Sign Fabricator with Client approval.
  - b. Material and paint sample review.
  - c. Mock-up review for both on-site and shop review of mock-ups in collaboration with the Client.
  - d. Shop drawing review. Review and approval of the shop drawings for adherence to design intent only and shall not be construed or assumed as an acceptance of structural integrity, engineering, electrical, lighting, digital or display specifications, or other technical review.
  - e. Review of final artwork and type layout for design compliance.
  - f. RFI responses during the bid, submittal and FO process.
  - g. Punchwalk: RSM Design shall complete an on-site review of the final installation and compile a set of notes for the Client.

#### B. Client or Client's Representative

1. Approval of sign copy and graphic layouts
  - a. All sign panel copy and graphic layouts shall be proofread and approved by the Client prior to production or fabrication. The Sign Fabricator shall be responsible for all signs, sign panels, and other elements that did not receive an approval signature from the Client prior to fabrication.
  - b. For all rules and regulation signs, the Client or Client's representative shall provide all messaging to the Sign Fabricator to produce a final layout.
3. Approval of sign locations
  - a. All final sign quantities and sign locations shall be approved by the Client or Client's representative prior to fabrication based on documentation provided by the Sign Fabricator in coordination with RSM Design and consultant teams.

### 1.4 SIGN FABRICATOR RESPONSIBILITIES

#### A. General Responsibilities

1. The Sign Fabricator is responsible for foundations, electrical plans, specialty lighting, structural design, permitting and installation — and the costs associated.
2. The Sign Fabricator is responsible for coordinating all LED, digital sign, displays, components, suppliers, and or A/V related consultants.

- The Sign Fabricator is responsible for coordinating all trade partners, suppliers, vendors, and other contractors.
- The Sign Fabricator is responsible for coordination with the consultant teams, including acquiring and providing all up to date plans and detail drawings including but not limited to architecture, structural, engineering, civil, MEP, lighting, low voltage / data / communications, digital signage components, and various other project related disciplines that may be required. The Sign Fabricator is responsible for procuring the final room schedule from the architectural team and traffic control sign information from the civil team.

B. The Sign Fabricator is responsible for all structural, fabrication, details of the signs (venting, waterproofing, safety, etc.), engineering of the signs construction, coordination, and installation of all signs.

C. Sign Fabricator to inform the Client and RSM Design that the sign package has been submitted to the local governing municipality or city for review and plan check. Any variances that are suggested for the the signs will require the Client's prior approval.

**D. Bid Notes**

- All questions during the bidding period shall be directed to the Client representative in writing per bidding procedures.
- Bidders shall not contact the designer directly during the bidding period. The Client shall issue an addendum for any questions that may affect the work associated with the project bid.
- Original fabrication quotes shall be sent directly to the Client with copies of all pricing information to be sent simultaneously to RSM Design. Pricing shall be submitted in accordance with the bid documents.
- The cost of Mock-Ups and all associated shipping costs will be a separate part of fabricators bid. See mock-up schedule for a list of specific mock-ups to be included within the bid.
- Bidding contractors shall indicate the percentage of fabrication that will be provided by third party vendors and subcontractors.
- Bidding contractors are required to clearly indicate in writing within their bid, the method of construction anticipated, the materials to be used, and any exclusions or exceptions to the bid documents.
- Bid documents shall include a preliminary schedule with dates and timelines for site survey and field verification, shop drawings, samples, mock-ups, fabrication, and installation.
- Use of sustainable materials and recycling: The Sign Fabricator is encouraged to include a statement specifying any sustainable elements within their processes, including materials, low VOC compliance, light levels, fabrication methods, and recycling of waste.

**E. Code Compliance**

Sign Fabricator is responsible for verifying and ensuring compliance

with all ADA, OSHA, Fire Department, environmental regulations, and all other applicable governing code requirements.

**F. Location Verification**

Sign fabricator to verify all locations and conditions prior to fabrication and notify RSM Design of any changes or conflicts within the design package.

- Sign fabricator to have signed approval on all final locations by the Client prior to fabrication. RSM Design to be notified of any changes or comments.

**G. Submittal of Samples and Mock-Ups**

- It is the Sign Fabricator's responsibility to complete all submittal requirements for samples within a timely manner to allow ample time for review and changes (Minimum 2 Weeks).
- Samples required vary by project and include. See paint, material, and mock-up schedule for details.
- See 1.7 Sign Fabricator Submittals for details.

**H. Shop Drawings**

- It is the Sign Fabricator's responsibility to complete all submittal requirements for shop drawings within a timely manner to allow ample time for review and changes. See 1.7 Sign Fabricator Submittals for details.
- Sign Fabricator's drawings to be based on their own original documentation and drawings, and are not to be "copies" of or re-formatting of RSM Design's original design drawings. It is the Sign Fabricator's responsibility to redraw all sign types, views, sections, and details.

**I. Messaging and Final Artwork Verification**

Sign Fabricator to have signed approval on all final sign messaging by the Client prior to fabrication. RSM Design to be notified of any changes or comments.

- RSM Design to provide prototypical design ONLY for all maps, including but not limited to evacuation and directory maps. It is the responsibility of the Sign Fabricator to verify and design all maps required, prior to submitting to the fire authority, RSM Design, and Client for approval.
- Based on contract details, messaging and final artwork layout for some sign types may be provided by Sign Fabricator. See sign schedule and architect's room schedule for additional details.
- For signs designated as prototypical, RSM Design may provide type design standards ONLY. Prototypical signs may include but are not limited to base building signs, ADA path of travel, fire evacuation, stair/elevator signs, vehicular directional signs that affect the flow of traffic, and permanent room signs.

**J. Sign Permitting**

Sign Fabricator is responsible for securing and paying for all permits, insurances, inspections and tests required by governmental agencies. Sign Fabricator is responsible for obtaining all permits in

the area, local municipality, or county of the project's location.

**K. Fabrication**

It is the Sign Fabricator's responsibility to follow the standards specified within this document and approved set of shop drawings.

- All exterior signs to have appropriate waterproofing and weep holes to discharge any internal moisture. Signs must contain internal light baffles to shield any light leakage (painted black) coming from weep holes or seams.
- Sign Fabricator to detail and provide all necessary mechanical or non-mechanical ventilation for signs (exterior and interior) to keep signs from overheating or condensation building up. If vents or ventilation devices alter the design intent, RSM Design is to be notified prior to fabrication
- Sign Fabricator is responsible for all engineering of internal structure, mounting assemblies, engineered connections, and foundations.

**L. Electrical**

Sign Fabricator shall specify all internal and external electrical lighting components to be used to illuminate sign elements. Major, large scale elements may require the involvement of a licensed lighting designer at the sole cost of the Sign Fabricator. Final coordination of fixture type, lamping, quantity and locations to take place between Sign Fabricator, RSM Design, and Client, as well as selected lighting designer for suitability in attaining desired appearance and/or effect.

- Actual installation of external lighting fixtures must be performed by a licensed electrical contractor for the location of the project.
- Sign connection to existing electrical power on site, if more than six (6) feet from sign element(s), must be performed by a licensed electrical contractor. Sign Fabricator to coordinate any necessary electrical requirements and locations.
- If required, Sign Fabricator to submit calculations signed by a registered professional lighting engineer in the area of the project to the authorities with jurisdiction.
- Sign Fabricator to hold certification of conformance to UL (or similar in the area or country of the project) requirements for sign construction.

**M. Sign installation**

It is the Sign Fabricator's responsibility (when in scope) to:

- Patch and repair any damage to wall surfaces and surrounding finished floor, at or adjacent to sign, caused by installation of new sign.
- Advise RSM Design of any existing signs not accounted for in RSM Design's sign package.
- All signs to be installed per Sign Fabricator's engineer, as required.
- Where signs will be anchored to concrete, Sign Fabricator to provide attachment detail per Sign Fabricator's engineering

**PACKAGE NOTES**

All drawings and written materials appearing herein constitute original and unpublished work of RSM Design Inc. and may not be used or disclosed without written consent of RSM Design Inc.

All drawings must comply with specifications noted in this document.

**PLEASE NOTE**

All reference images are for internal use only. RSM Design does not have copyrights for said images and therefore should not be published or shared.

REVISIONS:	DATE:
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(x-ray to avoid existing rebar, tension cables, utilities, etc., may be required). Where signs will be located on brick or stone, locate anchors in grout and tie into existing concrete as required (per Sign Fabricator's engineering).

## 1.5 CONFLICTS / CONTRADICTIONS

- A. Sign Fabricator should recognize and bring to RSM Design any conflicts or contradictions either in regards to these drawings, or existing conditions, or details as they relate to other disciplines or contractors. All conflicts should be described in writing and the Sign Fabricator is to provide alternative solutions to resolve the conflict.
- B. All conflicts are to be resolved and any changes are to be approved by RSM Design and the Client prior to sign fabrication and installation.

## 1.6 INTENT OF DESIGN DRAWINGS

- A. Details on drawings indicate a design approach for sign structures, but do not necessarily include all fabrication details required for the complete structural integrity of the signs. It shall be the responsibility of the Sign Fabricator to perform the complete structural design of the signs and to incorporate all the reasonable safety factors necessary to protect the Client, and RSM Design against liability. Sign Fabricator also to be responsible for the detailing and inclusion of all necessary engineering, waterproofing, proper ventilation devices, and internal lighting specifications in their shop drawings.
- B. RSM Design will review the submitted shop drawings only for conformance with general design intent, and will in no way be responsible or liable for any results of construction from approved working drawings, material selection, shop drawings, contract documents, or any other agreements other than agreement with the Client authorizing these documents.
- C. Renderings in RSM Design's package are illustrative and conceptual in nature; dimensioned drawings and messages in this document shall supersede all visual representations.

## 1.7 SIGN FABRICATOR SUBMITTAL

### A. Paint and Material Samples

1. Sign Fabricator shall submit samples and/or prototypes of each material, paint, and vinyl call out listed in this document, minimum size 8"x 8" in size and based on the quantities and distribution outlined on the Paint and Material Schedule. The cost of samples and all associated shipping costs will be a part of the Sign Fabricator's bid.
  - a. Project name, sample date, paint or material number call out from design intent drawings and sample specification (such as numerical color designation) to be printed on label and applied to the back of each individual sample.
  - b. The Sign Fabricator shall maintain sets of approved samples, available for quality control comparisons throughout the course of construction activity.

3. All paint spray outs / samples must be on aluminum and produced by the paint shop which will be painting the final product. Paint chips or samples from paint suppliers or other vendors will not be accepted. For example, paint samples produced by Matthews / PPG or any other paint manufacturer will not be accepted.
4. Samples must be submitted to RSM Design and Client in a time frame allowable for review of material, color, and aesthetic compatibility to any existing adjacent materials. It is strongly encouraged that all color and material samples be submitted to RSM Design when shop drawings are submitted for review or prior.
  - a. RSM Design and Client will review the samples and send one set back to the Sign Fabricator and keep one set as control samples throughout the fabrication process.
  - b. If a color or material is not approved, Sign Fabricator to resubmit until RSM Design and Client specifications are met and approved.
  - c. When specified, the Sign Fabricator is to furnish full-size samples of sign materials.

### B. Mock-Ups

1. All project mock-ups per mock-up schedule or at additional request by RSM Design or the Client need to be approved prior to fabrication of all final signs. Sign Fabricator to resubmit all mock-ups as requested until all RSM Design and Client specifications are met and approved. All project mock-ups need to be approved prior to fabrication of all final signs.
2. When requested by the Client and RSM Design, lighting mock-up(s) shall be provided using the specified fixtures or lamps, either in-shop review, or on-site evaluation, to determine the effectiveness of the desired lighting scheme and to the approval of the Client.
3. See mock-up schedule for requested options.
4. Approval of mock-ups does not constitute approval of deviations from the contract documents unless the Client specifically approves such deviations in writing.
5. It is strongly encouraged that on-site review of mock-ups should be scheduled a minimum of ten business days in advance.

### C. Shop Drawings

1. The Sign Fabricator shall submit a digital 11"x17" PDF file of detailed shop drawings to the Client and RSM Design for review and approval prior to beginning any fabrication (including mock-ups). If fabrication has begun prior to obtaining approval of shop drawings by RSM Design and or the Client, the Sign Fabricator will assume all costs associated with any and all required changes or revisions.
2. Shop drawings and data shall be reviewed by RSM Design with such promptness as to cause no delay in the work. Allow 10 business days for initial review of each submittal.

3. The Sign Fabricator is to make corrections to and resubmit any shop drawing marked "not approved, revise and resubmit." If intermediate and/or revised submittals are necessary, process in the same manner as the initial submittal.
4. All shop drawings must be marked "approved," "approved as drawn," or "approved with exceptions," or "approved as noted," by RSM Design before the start of fabrication.
5. No extension of the contract time will be authorized because of a failure to transmit submittals enough in advance of the work to permit this process.
6. The Sign Fabricator's drawings to be based off of their own original documentation and drawings, and are not to be "copies" of or re-formatting of RSM Design's original design drawings (Sign Fabricator to redraw all signs including details and sections for shop drawing submittal).
7. In general, Shop Drawings shall include all things that are pertinent to the appearance of the sign and the functionality/ structural integrity of the sign and its attachment. To that end, they should include, but are not limited to:
  - a. Material call-outs
  - b. Paint & finish call-outs
  - c. Material / fabrication notes
  - d. Identify all welds, mechanical fasteners, mounting techniques
  - e. Label all seams. Dimensional all gaps in seams.
  - f. Sections through all internally illuminated elements
  - g. Sections through all sign elements showing internal structure
  - h. Details of all mounting points.
  - i. Specifications for all illumination & color temperature used for lighting.
  - j. Location of any access panels
  - k. Location and detailing of any necessary cut-off electrical switches
  - l. Indication of all weep holes with internal light baffles
  - m. Engineering documents for any large scale signage, structural members, or other elements, as required
  - n. Final layout of all copy
  - o. Seam locations
  - p. Fastener types (tamper proof), visible or hidden
  - q. Blocking requirements
  - r. Venting
  - s. Joint details
  - t. Electrical requirements
  - u. Lighting details with spec sheets, including light temperature.
  - v. Foundation details
  - w. Without these details, RSM Design does not have the ability to thoroughly review and understand the fabrication methods, level of quality, or the fabricators

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level of understanding of RSM Design's intentions.

#### D. Engineering

1. Signs should be engineered by the selected Sign Fabricator. Engineering should comply with local sign and building code requirements and calculations and engineering drawings should be submitted with shop drawings for review.
2. Installation, engineered internal structure, engineered mounting assemblies, and engineered foundations are to be provided by the Sign Fabricator and are to adhere to design intent of RSM Design. Sign Fabricator to coordinate and provide architect of record and General Contractor with drawings indicating placement and structural requirements for architectural backing.
3. Sign Fabricator shall submit one digital set of comprehensive engineering drawings to RSM Design incorporating an adequate foundation and/or mounting structure for all sign components to meet all load and wind requirements and given site conditions.
4. Sign Fabricator shall, at their own expense, submit to the authorities with jurisdiction for distribution and review, calculations, sealed by certified engineers registered in the state of final installation, for all structural members including foundations.

#### E. Electrical Requirements

1. The Sign Fabricator shall provide, within 30 days of the award of contract, the specific electrical requirements to the Client and/or General Contractor. Sign Fabricator shall request and receive site power supply diagrams from Client prior to bidding.

#### F. Final Messaging

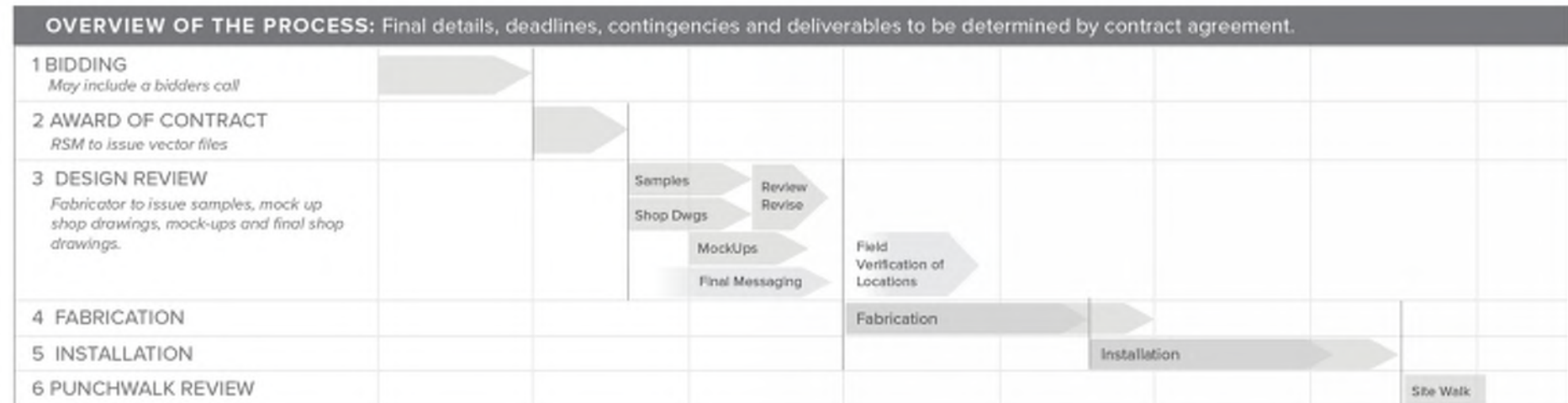
1. Based on the individual project needs and as noted within the design drawings, final messaging for select signs is to be provided by the Client to the Sign Fabricator prior to the shop drawing phase. Sign Fabricator to lay out final artwork based on specifications within this document. Final artwork to be approved by the Client prior to fabrication
2. The Sign Fabricator shall prepare final artwork for signs from the messaging provided by the Client to the Sign Fabricator prior to the shop drawing phase. Based on the contract, these sign may include, but are not limited to the following:
  - a. Rules and regulations
  - b. Legal notice signs, including maximum occupancy and pool notice sign
  - c. Base building signs defined within RSM Design's package.
  - d. All prototypical signs as defined within the sign schedule.
  - e. All traffic control signs, including but not limited to regulatory signs, and overhead vehicular directionals

within parking decks.

6. Layouts must be submitted to Client and RSM Design in a time frame allowable for review and approval without delay to the project. Allow 10 business days for initial review of each submittal.

#### G. Locations / Field Verification

1. Sign Fabricator is responsible for coordinating and surveying the site prior to shop drawing submittals.
2. The Sign Fabricator is responsible for coordinating with the consultant teams on the quantities and locations of all traffic control signs, including but not limited to regulatory signs, and overhead vehicular directionals within parking decks.
3. The Sign Fabricator is responsible to use civil, as-built notations and field verification of locations.
4. In some cases an underground service alert will need to be called by the signage installer prior to installation.
5. Sign Fabricator to update sign location plans based on site-walk.
6. Final review and approval of sign locations are to be provided by the Client team.



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## 1.8 QUALITY ASSURANCE

### A. Quality of Workmanship

1. The Sign Fabricator shall be responsible for the quality and delivery of all materials, and workmanship required for the execution of the contract including the materials and workmanship of any firms or individuals who act as their subcontractors. It is desired that the Sign Fabricator for work of this type shall have in-house, broad knowledge, diverse shop and field experience, flexibility, coordinating ability, skilled craftsmen, and physical labor as necessary, as well as facilities to produce quality products.
2. The Sign Fabricator shall be responsible for providing subcontractors with complete and up-to-date drawings, specifications, graphic schedule and other information issued by RSM Design.

### B. Durability

1. Unless otherwise directed by the Client, all work products shall be built to withstand severe public abuse, theft or vandalism, but not less than equivalent of resisting simple hand implements and tools (screwdrivers, knives, coins, keys, and similar items), and adult physical force for approximately 10 minutes. All fabricated signs shall also be built to withstand normal maintenance operations used by employees / staff.

### C. Performance

1. The Sign Fabricator shall base his or her proposal on the performance of all services, including all items of labor, material and equipment required for the complete fabrication and installation of the specified work (and these specifications) within the time frame agreed to by Sign Fabricator, Client, and RSM Design.

### D. Logo, Type, Icon & Arrow Schedules

1. References shown on the included Logo, Type and Icon Schedule shall take precedence over drawings.

### E. Drawings and Details

1. In all cases, the more detailed information in large scale details and sections shall supersede smaller scale sign drawings. Specification shall take precedence over the large-scale details.
2. The larger scale detail and section drawings shall take precedence over the smaller scale (overall) drawings.
3. If there are discrepancies, it is the responsibility of the Sign Fabricator to bring them to RSM Design's attention, before fabrication, for any clarifications deemed necessary.

### F. Execution

1. In the case of discrepancies, in quantities, dimensions, message, or any other related elements the Sign Fabricator is to notify RSM Design before proceeding further in any operation, in order to resolve the issues in question. It is

required that the Sign Fabricator not attempt to resolve the discrepancies without consulting RSM Design.

### G. Sign Fabricator Recommendations

1. The Sign Fabricator shall carefully study the detailed drawings for the various signs and make specific recommendations for changes if those changes will improve the quality of any sign. Such recommendations and changes shall be approved in writing by RSM Design or their technical representative prior to preparation of shop drawings or fabrication of any samples or mock-ups.
2. The Sign Fabricator is responsible for including industry standard details in their shop drawings, whether indicated in RSM Design's design drawings or not. Items such as proper venting (mechanical or natural), waterproofing, foundation details, weep holes, access panels, etc. It is the Sign Fabricator's responsibility in the production of the shop drawings for construction to accommodate for all necessary local code required conditions and sign detailing that will promote the long life and ease of maintenance of the signs.

### H. Artwork

1. Mac based generated electronic artwork as required by the Sign Fabricator for signs, symbols, and custom designed graphic components (i.e. logos, logo types, arrows, or patterns) will be provided in the latest version of Adobe Illustrator (unless otherwise specified) at a scaled percentage of the final size. An appropriate high resolution art file will be provided when necessary for non-vector based graphics.
2. All required graphic, symbol, copy, message, and text layouts for the project signage system are the responsibility of the Sign Fabricator.
3. All enlarging and reducing is the responsibility of the Sign Fabricator.
4. The Sign Fabricator shall submit an itemized list of all required artwork at time of bid and prior to generating shop drawings.
5. Note: Any artwork required beyond electronic computer artwork noted above (i.e. additional custom copy layouts, formatting for other platforms or file types, AutoCAD files, service bureau output, or copying to other media, etc.) will be billed to the Sign Fabricator on a time and materials basis by RSM Design.
6. RSM Design cannot provide copies of fonts, licensed or not. It is the responsibility of the Sign Fabricator to purchase licenses for all necessary fonts. RSM Design is not responsible for providing font families or software to the Sign Fabricator. RSM Design will provide vector based outlined fonts / drawings. Any font families will need to be purchased and procured by the Sign Fabricator.

### I. UL (or similar) Compliance / NEC (or similar) Compliance

1. Complete Underwriters Laboratory / UL Compliance (for the United States). The Sign Fabricator shall provide signs, lighting fixtures, and electrical components that meet all UL testing lab requirements for safety, operation, construction, and are UL-labeled and listed, as required by said code. Signs, lighting fixtures, or electrical components shall also comply with National Electric Code (NEC) or similar recognized electrical code (for other countries). All required code compliance is the responsibility of the Sign Fabricator.

### J. Lighting

1. All lighting fixtures / sources shall emit a color balanced, consistent and uniform light, void of hot or cold spots.
2. Electrical Hardware: All transformers / power supplies and electrical hardware shall be concealed, non-audible, and non-visible to pedestrian and vehicular traffic.
3. Provide disconnect switch as required by local or international governing agencies.
4. Confirm with Client and General Contractor the necessity or desirability of light sensor switches, day-night circuit connections, local restrictions on night time area lighting or other conditions that could affect the use and operation of any sign illumination.

### K. Labeling

1. There shall be no visible labels, manufacturer's or otherwise, code permitting, on the completed signs.
2. If labels are required, the intended location along with an explanation of the requirements must be submitted for review to RSM Design and the Client, prior to application and/or installation.
3. No visible Sign Fabricator company labels or stickers are permitted.

### L. Stock

1. All material, hardware, electrical components, finishes, etc. used to fabricate any and all sign components shall be "NEW" (not previously used or operated in any other application) and from the most recent original manufacturer's production run/ supply and appropriately matched to the service conditions required of the site.

### M. Testing

1. The Sign Fabricator is required to provide the Client with a copy of all testing and inspection reports as may be required by local or international codes. An independent testing lab may be hired by the Client to do inspection and material testing.
2. The Sign Fabricator is not to proceed with fabrication until all unsatisfactory conditions have been corrected by the Sign Fabricator in a manner acceptable to the Client.

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## 2.1 MATERIALS

All materials defined here are based on RSM Design recommendations. As allowed by the Client within the bid requirements, when materials not shown here are noted within the bid and shop drawings, materials must be an approved equal with equivalent salient characteristics, and warranties.

A. All materials used and specified are the responsibility of the Sign Fabricator.

B. Any materials indicated or specified in RSM Design's drawings must be approved by the Sign Fabricator for availability, warranty, appropriateness, and compatibility with other materials, etc.

C. If the Sign Fabricator has any concerns about any materials suggested or specified by RSM Design in their design intent drawings, the Sign Fabricator is to inform RSM Design in writing prior to fabrication or take on full responsibility for use of specified material.

### D. Acrylic / Color Translucent Sheet

1. Where sheet material is indicated as a "color," provide color translucent sheet of density required to produce uniform brightness without halo-like effect. Material provided shall be appropriately matched to the intended permanent field conditions.
2. Note: Where translucent material is called out as 'cast', 'formed' or 'molded' resin, acrylic or polycarbonate (i.e. 'Lexan', 'Tuffac', etc), the Sign Fabricator shall research and specify the optimum material and fabrication method for the desired finish and/or effect. Sign Fabricator shall provide samples of such materials as indicated on RSM Design drawings.

### E. Acrylic / Transparent Sheet

1. Where sheet material is indicated as "clear" provide colorless sheet in gloss finish, with light transmittance of 92%, where sheet material is indicated as "white #7328" provide light transmittance of 31%, tested in accordance with the requirements of ASTM D-1103 (or similar local or country standards).

### F. Aluminum Sheet

1. Provide aluminum sheet (Not less than .125) of alloy and temper recommended by the aluminum producer or finisher for the type of use and finish indicated and with no less than the strength and durability properties specified in ASTM B-209 for 5005-H32 (or similar local or country standards).

### G. Aluminum Extrusion

1. Provide aluminum extrusion of alloy and temper recommended by the aluminum producer or finisher for the type of use and finish indicated and with not less than the strength and durability properties specified is ASTM B- 221 for 6063-T5 (or similar local or country standards).
2. Anti-Graffiti Aerosol Spray Coating.
3. Provide Low VOC Satin Clear, Low VOC Gloss Clear, Low

VOC Braco Clear (for decorative metals), or Low VOC Satin Clear / Anti Graffiti as manufactured by Matthews Paint Co (MPC) / PPG or approved equal product meeting or exceeding performance and warranty requirements.

### H. Anti-Graffiti Protective Film

1. Provide Scotchcal Matte Overlaminat 3642 GPS as manufactured by 3M, Arlon, or approved equal product meeting or exceeding performance and warranty requirements.

### I. Clear Coat Finish

1. Provide non-yellowing, U.V. stable, clear coat finish system as manufactured by Matthews Paint Co (MPC) / PPG, or approved equal product meeting or exceeding performance and warranty requirements. All applications are to be equal and of consistent cover with no "streaking", "spotting", "gradation," or other variations within and from each similar application.

### J. Fasteners

1. Unless otherwise indicated, provide concealed fasteners made from metals that are non-corrosive to either the signage materials or the mounting surface.
2. Where screw-heads are necessarily visible, they shall be indicated on all shop drawings, be a flush mounted "allen-head," "hex-drive," (or tamper proof when accessible by the public) and be 'painted out' to match the adjacent surface.
3. Unless otherwise noted, drilled and tapped machine screws are to be used for all mechanical attachment.
4. Sheet metal screws are not permitted where visible from the general public.
5. Unless otherwise noted, all hardware is to be Stainless Steel, including but not limited to, screws, masonry inserts, j-bolts, All Thread, etc.

### K. Structural Steel

1. Sign Fabricator to coordinate all internal structural steel support as required, to meet the requirements of the permanent installation. Sign Fabricator to provide drawings indicating placement.

### L. Temporary Materials

1. PVC panels are not recommended for interior or exterior use as a permanent substrate.
2. MDO or MDF panels are not recommended for interior or exterior use as a permanent substrate.

### M. Vinyl Copy

1. Vinyl machine-cut copy shall be of 3M Scotchcal brand film or other quality product with provable identical performance specifications and warranty conditions. Any vinyl other than 3M must be submitted to RSM Design for review and approval prior to fabrication.
2. The Sign Fabricator shall indicate any differences in specification or warranty conditions from that of 3M Scotchcal

brand film.

3. All film must be UV-resistant vinyl film of nominal thickness indicated, with pressure-sensitive, permanent adhesive on back or face, as required for first or second surface installations.
4. Die cut to form characters or images and suitable for exterior applications.

### N. Exterior Digital Prints

1. Prints shall be subject to compliance with requirements of Piezo ink jet printed, and /or Mimaki UV Digital Printer (or approved equal), with an acceptable overlaminat or applied second surface, with a useful life of 3-5 years minimum.

### O. Paint

1. Paint shall be manufacturer's highest grade for best ultraviolet light resistance, weather-ability, and overall longevity of finish and color. Paint products should be ASTM D 4802, category as standard with manufacturer, Type UVF (UV filtering). Paint shall have a written warranty against premature fading and be approved by RSM Design prior to construction. Paint products / systems shall be minimum Ultra Low VOC or Low VOC compliant.
2. All applications are to be equal and of consistent cover with no "streaking", "spotting", "gradation," or other variations within and from each similar application, unless otherwise specified.
3. All exposed edges to be painted same as adjacent surface unless otherwise specified.
4. Prior to close-out, Sign Fabricator shall turn over to Client (3) copies of complete paint schedule indicating colors used on each sign type.

### P. Digital Printed High Pressure Laminates

1. High pressure laminates manufactured by IZONE, Fossil Industries Inc., or approved equal with provable identical performance specifications and warranty conditions.

### Q. Wood

1. Wood shall be sound and free from any defects which might impair its strength or tightness or detract from visual appeal. The materials shall include all necessary supports and bracing required. The treatment of wood shall be applied in conformance with the appropriate American Wood Preservers Association (AWPA) Use Category Designation.
2. All edges, cuts, holes, and penetrations should be filled and sealed unless otherwise indicated.
3. Wood veneer shall be sound and free from any defects which might impair its strength or tightness or detract from visual appeal. Veneer should be appropriately selected and suitable for its intended use (indoor rated veneer shall only be used indoor, unless otherwise specified).

### R. Stain

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1. Provide U.V. stable, stains or varnishes. Examine and verify the suitability of all substrates and conditions for compatibility and compliance with the requirements of the stain or varnish manufacturer. All applications are to be equal and of consistent cover with no "streaking", "spotting", "gradation," or other variations within and from each similar application, unless otherwise specified.

#### S. Changeable Display Cases

1. Fabricator to provide commercial-grade display cases. When placed outdoors the display case shall be weather-resistant and rated for exterior use. The graphic substrate is to be U.V. stable and easily changeable.
2. Provide concealed hinges where possible.
3. Provide protective glass that is non-glare, safety glass, with graffiti-resistant coating.
4. If illuminated, a DSA panel is required and the light source is to be bright and diffused with even light distribution maintained throughout the display surface; no hot spots or dark spots.
5. Provide cam-locks on the returns of the cabinet, unless otherwise specified.

#### T. Digital Screens

Hi-res and lo-res LED displays, and other digital formats, including but limited to large format, projections, interactive and motion-activated elements.

1. RSM does not specify digital and screen components. We rely on the Sign Fabricator to provide all details and specifications for the fabrication, installation and maintenance.
2. Sign drawings to include venting locations.
3. Based on the technical requirements of these elements, the Sign Fabricator shall notify RSM Design and Client of any design changes to the sign dimensions and/or structural, electrical, permitting or data requirements.

## 2.2 FINISHES

All finishes defined here are based on RSM Design recommendations. If allowed by the Client and within the bid requirements, when materials not shown here are specified within the bid documents or shop drawings, materials must be an approved equal with equivalent salient characteristics and warranties.

#### A. Surface Preparation

1. All surfaces shall be thoroughly cleaned and free from dust, dirt, rust, scale, mill scale, oil, greasy materials or residue from cleaning. Except as indicated or directed otherwise, finish all surfaces smooth.
2. All coatings shall be applied in strict accordance with the manufacturer's recommendations. All paint products shall conform to local codes.
3. All finished pieces shall present a uniform opaque color appearance unless specifically indicated otherwise by RSM

Design.

#### B. Colors and Surface Textures

All colors shall match exactly the color and finish specifications provided by RSM Design. Exercise care to assure that finished surfaces are unblemished in the completed work. For exposed signage, materials with applied colors or other characteristics related to appearance, Sign Fabricator shall provide color matches indicated, or if not indicated, as selected and reviewed by RSM Design.

#### C. Painted, Stained, or Coated Finish

1. Ferrous Surfaces
  - a. Using Matthews paint products (or similar quality), finish with 1 coat 74-734 & 74-735 Metal Pretreat @ .25 mils DFT, 1 coat Matthews Acrylic Polyurethane 1 mil Dft (min.).
  - b. Observe designer's specification regarding specularly (matte to gloss).
  - c. If Matthews paints are not available, Sign Fabricator to use approved equivalent and submit to RSM Design for approval prior to fabrication.
4. Aluminum
  - a. Using Matthews paint products finish (or similar quality), Using Matthews paint products finish (or similar quality), with 1 coat 74-734 / 74- 735 Metal Pretreat @ .25 mils DFT or 1 coat 74793 Spray Bond @ .15 to .25 mils DFT and 1 coat Matthews
  - a. Acrylic Polyurethane 1 mil DFT (min). Matthews paints are not available, Sign Fabricator to use similar and submit to RSM Design for approval prior to fabrication.
2. Bright Metals
  - a. Match finish (polished, satin, brushed, etc.) detailed on drawing. If specified, coat with a non-yellowing polyurethane clear coat.
2. Plastic Surfaces
  - a. All plastic to be paint finished according to paint manufacturer's specifications.

#### D. Application

1. All applications of color coatings are to be equal and of consistent cover with no "streaking", "spotting", "gradation" or other variations within and from each similar application.
2. No raw aluminum is to be exposed on any edges or surfaces, and the returns or thickness of the material (if exposed) to be painted same as adjacent surface unless otherwise specified.

#### E. Ultra-Violet/Fading Protection

1. Sign fabricator shall utilize materials, coatings and processes to minimize as much as possible any noticeable fading of pigmented coatings.

#### F. Neon Returns

1. All exposed neon returns and double backs are to be opaque with a top coat to match the field area immediately behind that

neon unless otherwise specified.

## 2.3 CODE REQUIREMENTS

A. All Signs Must Comply With ADA Guidelines (in the United States) and International or County/City/Fire Marshall Code Requirements:

1. Sign fabricator to provide copy proofed Braille to ADA required permanent room signs for projects within the United States. Type and symbols to be raised tactile as noted.
2. Characters and background on ADA signage shall be eggshell, matte or other non-glare finish for projects within the United States.
3. Sign fabricator to provide copy of approved city or county fire marshal drawing sets of all applicable signage.
4. Sign fabricator responsible for all signs complying with all applicable codes for specified region.

## 2.4 PERMITS

A. Securing and paying for all permits required by local governmental agencies is the responsibility of the sign fabricator. Inspections and tests necessary for the construction and placement of all work required by the applicable governing agencies is by the Sign fabricator.

B. The Sign Fabricator shall secure and pay for all insurance required by law including but not limited to Liability, Worker's Compensation, Comprehensive Construction Liability, Personal Injury, Comprehensive Auto and Property on-and off-sites. Sign fabricator shall check insurance requirements for terminology and coordinate insurance requirements with project general specifications. Insurance requirements should be checked for terminology and coordinated with general specifications.

C. The Sign Fabricator shall not reveal or disseminate any information to any persona(s), private or public, other than RSM Design, Client, or sign fabricator's personnel as necessary to execute the contract without first contacting the Client for permission.

## 2.5 FABRICATION

1. Intent of Specifications: It is intended that all finished work be of highest quality to pass eye-level examination and scrutiny by RSM Design and the Client. Sign fabricator to be responsible for all signage engineering; as such Sign fabricator is to assume responsibility for coordinating with the various team members (including landscape architect and RSM Design) all final locations of sign types, as well as necessary footings and foundations and blocking as may be necessary.
2. Sign fabricator is responsible for coordinating with Client's power consultant all electrical power requirements and connections to all applicable sign locations.
3. Signage
  1. Details shown on the drawing shall be followed for exterior appearance only. Structural design shall utilize unitized,

- self supportive framing. Fabricate cabinet, exposed faces and graphic devices to size and style indicated and produce surfaces free from oil canning, warping, distortion or any irregularities or inconsistencies. Include internal bracing for stability and attachment of mounting accessories as required. Show location of lifting hooks as required.
- Written dimensions on the drawings shall take precedence over scaled dimensions.
  - Sign fabricator shall verify and be responsible for all dimensions and conditions shown by these drawings as they relate to actual material sizes, existing construction and related site conditions.
  - If there are discrepancies with dimensions or materials, it is the responsibility of the Sign fabricator to bring it to RSM Design's attention before fabrication for any clarifications deemed necessary.
  - Sign fabricator may change interior construction shown on these details to conform with their shop practices and industry standards. However, these changes must be submitted as part of the shop drawings and be reviewed by RSM Design prior to fabrication.
  - Construct all work to eliminate burrs, cutting edges and sharp corners.
  - Letters, numerals, graphics and logos with sharp corners should be water jet aluminum and laser cut acrylic.
  - Qualifications: Welding must be performed by operators who are currently qualified by tests as prescribed in AWS D1.1, D1.2, or D1.3 (or similar), as applicable, and/or certified by a recognized building or code authority. Welding must conform to the acceptable requirement of AWS D1.1, D1.2, and D1.3 and MPS 11-0099 (or similar in country of project).
  - Parts indicated to be turned must be accurately machined worked from solid stock to dimensions indicated or on approved shop drawings. Finished surfaces to be polished smooth unless otherwise indicated or directed by RSM Design, free of any visible pits, voids, or similar defects.
  - Make all signs tight fitting, between parts and sections, and with adjacent surfaces. Unless indicated otherwise, non-welded joints between various portions of signs must be weatherproof (for exterior signs) and have tight, hairline-type appearance, without gaps (varying or otherwise). Provide sufficient fastenings to preclude looseness, racking, or similar movement.
  - Conform with manufacturer's recommended fabricating procedures regarding fastening, restraining, expansion and contraction of dissimilar materials.
  - Isolate dissimilar materials. Exercise particular care to isolate non ferrous metals from ferrous metals, including fasteners.
  - Metal thickness: Provide metal thicknesses most appropriate for the fabrication conditions. These must all be called out in

the shop drawings. RSM Design to be advised of any changes to specified dimensions.

- It is the responsibility of the Sign Fabricator to schedule reviews of signs in production with Client for approval. Review meetings are to be scheduled at the convenience of the Client.
- All non-painted exposed metal to be stainless steel unless otherwise specified. Signs to be assembled and mounted so as to provide reasonable ease of access and replacement of all components. ie: use conforming, accessible, but not visible fasteners where possible.
- Should any substitutions of materials be suggested by the Sign fabricator from what is specified in the design drawings, RSM Design and the Client must be notified prior to and approved prior to fabrication.
- Sign fabricator responsible for the integration of all proper sign ventilation (natural or mechanical) to prevent overheating and condensation build up, and these details should be shown on the shop drawings and approved prior to fabrication.

#### D. Welding

- All exposed welds are to be ground smooth to match surface of adjacent material.

#### E. Fastenings

- Fasteners on sign-face are not allowed unless specifically noted on design intent drawings.
- Sign-face surfaces shall not be penetrated during fabrication or installation of signs, except where specifically noted.
- Sign-face surface shall not be deformed, distorted, or discolored by attachment of concealed fasteners.
- All fasteners shall be resistant to oxidation or other corrosive action completely through their cross sections.
- Materials shall be secured with fasteners of the same metal, color and finish as the components they secure where they are exposed to view. See design drawings for designated locations of fasteners.

#### F. Jointing and Brake Forming

- Brake formed material is not allowed unless otherwise specified or reviewed and approved by RSM Design and or the Client.
- All aluminum or steel corners on cabinets, tenant panels or other signs to be 90° sharp w/ eased edges.
- All joints to be filled and ground smooth, unless the seam occurs along a color break. Then a clean butt joint with concealed backing channel and plug weld is acceptable upon receipt of RSM Design approved sample to match surrounding material finish. All binds, curves and folds to be geometrically correct and produced by a consistent mechanical method unless approved otherwise by RSM Design.

#### G. Illumination

- Illuminate units in the manner indicated using the manufacturer's standard lighting components including fixtures, transformers, insulators and other components.
- Make provision for servicing and for concealed connection to the building system. Coordinate the electrical components of signs with those of the power supply provided.
- Neon.
  - All exposed neon if used shall be installed in such a manner as to minimize double backs, exposed wires, etc.
  - All exposed neon shall appear as a continuous line of light with no irregularities from section to section.
  - Sign fabricator shall coordinate with RSM Design to select exact color of neon, boots, double backs and pass-through prior to fabrication.
  - Sign fabricator to provide neon pattern to RSM Design for final review and approval.
  - Sign fabricator is responsible for referencing and following local code constraints.
- LED Lighting.
  - LED modules, systems or fixtures to be GE Lighting System "Tetra" or approved equal with equivalent salient characteristics, and warranties.
  - Recommended color rendering index (CRI) to be +/-80°K
  - Final color temperature to be approved at time of mock-up review by RSM Design and the Client. All lighting to have even illumination with no hot spots or cold spots.
  - Within a single project to maintain consistency all LED modules provided should be by the same manufacturer and from the same lot or bin.
  - Dimmers shall be used when specified by RSM Design, requested by the Client, or required by a city ordinance.

#### H. Copy

- All sign copy shall be crisp, sharp, clean, and free from "ticks," discontinuous curves, line waver, and similar type of imperfections.
- Sign copy to comply with the requirements indicated for size, proportion, style, spacing, content, position, material, finish and color of letters, numbers, symbols and other graphic devices.
- All letter forms shall be aligned so as to maintain a baseline parallel to the sign format, with margins and layout as indicated on design drawings and approved shop drawings.
- Screen printed copy: Finish sheen of copy to match sheen of copy panel background. Edges of letters shall be straight and corners sharp. Surfaces of letters shall be uniform in color, finish and free from pinholes and other imperfections.
- Routed copy: Letter forms with nicked, ragged, larger than 1/8" diameter rounded (positive or negative) corners, and similar disfigurements will not be acceptable.
- Water jet cut and laser cut: Letters, graphics and logos that

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require corners to be sharp to maintain the integrity of the font and logos should be water jet aluminum and laser cut acrylic, unless otherwise specified by RSM Design. Push-thru letters in cabinets should have the aluminum skin water jet cut and the acrylic laser cut to allow for proper fit and eliminate light leaks.

7. Vertical strokes shall be plumb.
8. Letter counters or other floating graphic elements shall be mechanically fastened as required.
9. Direct print application on sign panels
  - a. Direct print applications shall use UV inks resistant to scratches and fading. All inks to be rated for outdoor use.
  - b. Direct print applications to be clear coated with Matthews Paint spray satin clear or approved equivalent.

#### I. Large Format Printing and Flat Bed Printing

1. Minimum resolution 200 dpi.
2. Vinyl print: 3M SCOTCHPRINT (or approved equal).
3. Anti Graffiti Film: 3M "ElectroCutFilm" matte finish (or approved equal)
4. Warranty: 5 year minimum.

### 3.1 INSTALLATION

- A. The Sign Fabricator must coordinate installation with Client and General Contractor so that overall project schedule is not impacted.
- B. The Sign Fabricator shall repair or replace damaged units as directed by and to the approval of Client or RSM Design.
- C. The Sign Fabricator shall be responsible for determining the erection and dismantling of all barricade or protective coverings necessary to safeguard the public and property during the performance and duration of his or her work.
- D. The Sign Fabricator shall attach signs to substrates in accordance with their structural engineer's and the manufacturer's instructions unless otherwise shown. Install level, plumb and at proper height.
- E. Installation of all signage items shall be by the sign fabricator. Installation includes provision of any required footing, to be reviewed by RSM Design, all anchor bolts, fastenings, attachment metals, and other miscellaneous metal items embedded in concrete or building wall material as required, and security of sign units in place with no visible fasteners.
- F. The Sign Fabricator shall patch and repair all impacted work area in contract with like materials, including the entire excavated area. The area shall be returned to the same conditions and quality, including materials, finish and grading that was present prior to installation.
- G. The Sign Fabricator should coordinate all required electrical/data runs and connection point to all required locations.
  1. All electrical connections shall be made by a licensed electrician employed by the Sign Fabricator for this purpose. All connections shall be made in accordance with the requirements of the National Electrical Code, NEC (or similar

code in country of project) in addition to all applicable local codes.

2. Electrical contractor shall provide and install all wiring, conduit, junction boxes and electrical devices necessary to provide electrical power to rough-in and final connections unless otherwise noted.
  3. The Sign Fabricator shall provide concealed transformers, power supplies and coordinate with General contractor all electrical connections beyond rough-in connections according to NEC approved methods.
  4. The Sign Fabricator shall be responsible for matching sign service available on site to the requirements of the sign, including transformers.
  5. All necessary signage components as well as the entire signage assembly are to be UL listed.
- H. The Sign Fabricator is responsible for compliance with all applicable environmental regulations.
- I. The Sign Fabricator is responsible for compliance with all OSHA regulations (or similar regulations in country of project).
- J. The Sign Fabricator is responsible for determining site wind load requirements and insuring that all signs comply.
- K. All debris and packing material shall be removed and disposed of in a legal manner by Sign Fabricator.
- L. The protective masking of the plastic surfaces shall be removed by the Sign Fabricator upon completion of installation.

### 3.3 WARRANTIES

The Client team may require additional warranty specifications on any other items listed below. See bid letter for details.

#### A. Finish Surfaces

1. Sign units shall be warranted in writing by the Sign Fabricator for a period of no less than one year from the date of Client acceptance. All finishes are to be warranted for 3 years from the date of Client acceptance. There shall be:
  - a. No delamination of any parts of the sign or of lettering from the sign face.
  - b. No cupping, warping or dishing in excess of the requirements stipulated in the specifications.
  - c. No bubbling, crazing, chalking, rusting or other disintegration of the sign face, messages or edge finish of the panels.
  - d. No corrosion developing beneath the paint surface of the support systems, except as the result of obvious vandalism.
  - e. No corrosion of the fasteners.
  - f. No movement of signs from their foundations. The signs must remain true and plumb on their foundations, except when the sign has sustained obvious post-installation

external damage.

- g. No fading of the colors when matched against a sample of the original color and material.
- h. No variation of any other performance specified by RSM Design on the drawings or in the specifications.

#### B. Structure/Components

1. The Sign Fabricator shall provide Client with three (3) copies of the written warranty prior to installation, guaranteeing to correct, to Client's satisfaction, at Sign fabricator's sole expense, all defects in fabrication, faulty materials, workmanship, design, and installation of signage work for a period of one year after completed installation of signage work.

C. Fading, cracking, warping, peeling, delaminating, rusting, corroding, and structural failure, including distortion by whatever cause, shall be construed as failure because of faulty materials and workmanship.

D. Failures during warranty period shall be repaired or replaced to satisfaction of Client.

#### E. External and Internal Lighting Warranty

1. All lighting and lighting components shall be warranted against failure for a minimum of five (5) years.
2. Within one year of installation, if needed, lighting and lighting components are to be replaced within 48 hours of notice by Client, in the event of failure within specified time. These items are to be replaced by Sign Fabricator at Sign Fabricator's sole expense.

F. The Sign Fabricator shall have total and complete responsibility for the security of all equipment, materials, and sign components until reviewed and accepted by the Client.

### 3.4 PROJECT COMPLETION

#### A. Review & Punch List

1. The Sign Fabricator shall notify both RSM Design and the Client when all work is completed.
2. Upon notice, RSM Design will review all work according to their contract with the Client and prepare a punch list outlining incomplete or unsatisfactory items.
3. The repair or replacement of work outlined on the punch list shall be coordinated between the General contractor, Sign Fabricator and the Client.

#### B. Final Deliverables

1. Upon the Client's acceptance of the work, the Sign Fabricator shall provide the Client with:
  - a. **Record Drawings.** The Sign Fabricator shall keep on files one complete set of the drawings and specifications in good order and marked currently to record all changes, revisions and additions made during construction, whether pursuant to field order or otherwise, and the

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locations and detail of work installed on a field run basis, as well as a complete set of shop drawings and change orders. One (1) complete PDF document set of the record drawings shall be delivered to the Client and RSM Design after completion of the work, and as a condition precedent on final payment.

- i. Content: The types of items requiring marking include but are not limited to dimension changes, location of underground utilities, field records of concealed conditions and changes made following the Client's written orders.
- ii. Identify and date record drawings in a prominent location.
- iii. Give particular attention to information on concealed products and installations that cannot be readily identified and recorded later.

**b. Product Data**

- i. The Sign Fabricator shall submit manufacturer's technical data and installation instructions for each type of sign and/or fixture required as will be provide in the completed, installed sign unit. Identification of all materials used, by manufacturer's descriptive literature, control number, name, code number, batch and formula when available shall be provided by the sign fabricator.

**c. Lighting**

- i. The Sign Fabricator shall provide the Client with complete lighting or LED replacement information, brand, type, wattage, color, etc., for all lighted components. This information shall be in a digital format and shall indicate at least one local area (site) supplier.
- ii. Maintenance.
- iii. The Sign Fabricator shall provide the Client with complete finish/component care instructions as specified by the manufacturer for on-going sign cleaning and maintenance. The Sign Fabricator to provide Client with one (1) gallon (unopened and clearly marked) of each paint color/finish used on the project.

**d. Attic Stock**

As part of the bid. Sign fabricator shall supply attic stock components, similar to industry standards.

- e. **Service/maintenance Manual for all products and finishes installed under their contract.** This manual shall include, but is not limited to, product specifications such as manufacturer information, contact names and addresses, warranty information, technical data, and routine maintenance recommendations for light fixtures, electrical components, paint, finishes, and all other applicable items.

**3.5 ACCEPTANCE OF SPECIFICATIONS**

- A. The Sign Fabricator has read and understands the above specifications and agrees to the terms outlined above.
- B. I hereby acknowledge that I/we have read, understand, and accept responsibility for compliance with the provisions set forth within these specifications and will comply with all specifications.
- C. If this signature page is not returned "signed and dated" by the Sign Fabricator or Sign Fabricator's representative, any financial ramifications resulting from deviations of these specifications or the design intent shown here in, will be the sole responsibility of the Sign Fabricator.
- D. Signature below is required prior to contract execution.

**Fabricator Signature:**

\_\_\_\_\_

**Printed Name and Title:**

\_\_\_\_\_

**Date:**

\_\_\_\_\_

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## GENERAL INFORMATION

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### rsmdesign

San Clemente, CA  
949.492.9479

Dallas, TX  
972.974.3690

Los Angeles, CA  
213.705.9006

rsmdesign.com

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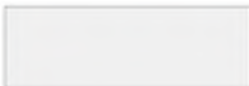
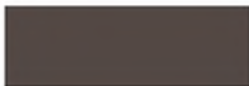
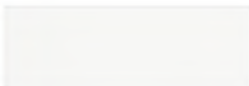
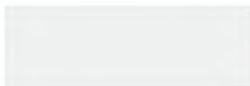








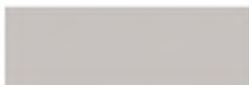




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# PAINT & MATERIALS

The following illustrates the proposed paints and materials. Please note all final colors and materials to be approved by client team prior to fabrication. Please notify the Client, General Contractor, and RSM Design of any changes.












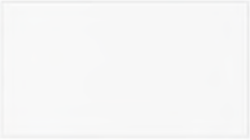
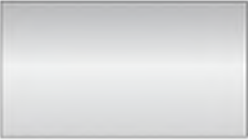

## PAINTS

All paints to have Satin Finish unless otherwise specified. All painted surfaces are to be on aluminum.

				
<b>P1</b> Matthews Paint Blackguard MP33759	<b>P2</b> Matthews Paint Pearl Stone MP05780	<b>P3</b> Matthews Paint Statuary Bronze MP00823	<b>P4</b> Matthews Paint Garbo Silver MP02650	<b>P5</b> Matthews Paint Coy Grey MP03066
				
<b>P6</b> Matthews Paint Lucky Red MP16043	<b>P7</b> Matthews Paint Tintoretto Blue MP08973	<b>P8</b> Matthews Paint Green Frog MP02782	<b>P9</b> Not Used Yellow	<b>P10</b> Matthews Paint HEX E9E4D5
				
<b>P11</b> Matthews Paint HEX D58585	<b>P12</b> Matthews Paint HEX A17C4F	<b>P13</b> Matthews Paint To Match Corten	<b>P14</b> Matthews Paint Adonis Bronze MP41031	<b>P15</b> Matthews Paint Salvia Divinorium MP14530
				
<b>P16</b> Matthews Paint Light Tan	<b>P17</b> Matthews Bold Orange	<b>P18</b> Matthews Gray Blue		



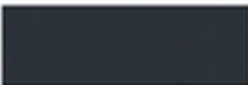



## MATERIALS

All materials to be provided as 8" x 8" sample or as part of a mock-up for approval.

				
<b>M1</b> Powder Coated to Match Corten Match Landscape	<b>M2</b> Water-Jet Cut Pattern Powder Coated to Match Corten	<b>M3</b> Corten Living Desert	<b>M4</b> Corten Living Desert	<b>M5</b> Corten Living Desert
				
<b>M7</b> Corten Living Desert	<b>M8</b> Weathered kiln dried Douglas fir timber with penetrating wood sealer	<b>M9</b> Cast Concrete AQ Park	<b>M10</b> Final Material Gatehouse	<b>M11</b> Powdercoated Aluminum Public Beach
				
<b>M12</b> Bronze Finish Clubhouse	<b>M13</b> Clear Acrylic w/ Frosted Returns	<b>M14</b> Aluminum horizontal #4 brushed finish clear coated	<b>M15</b> #2447 White Acrylic	

## VINYL

All materials to be provided as 8" x 8" sample or as part of a mock-up for approval.

				
<b>V1</b> 3M Vinyl White	<b>V2</b> 3M Vinyl Reflective Yellow	<b>V3</b> 3M Vinyl Black	<b>V4</b> 3M Vinyl Moss Green	<b>V5</b> 3M Vinyl Blush Pink
				
<b>V6</b> 3M Vinyl Bold Orange	<b>V7</b> 3M Vinyl Gray Blue			

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DESIGN CHARACTER

## PROJECT LOGOS

The following illustrates the proposed logos. Please notify the Client, General Contractor, and RSM Design of any changes.

COTINO™ BAY

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BEACH • DINING • SHOPS

PRIMARY PROJECT LOGO

COTINO  
A STORYLIVING BY Disney™ COMMUNITY

rsmdesign

San Clemente, CA  
949.492.9479

Dallas, TX  
972.974.3690

Los Angeles, CA  
213.705.9006

rsmdesign.com

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## PROJECT ICONS

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PROJECT ICONS



PROJECT ARROWS

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**rsmdesign**

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949.492.9479

Dallas, TX  
972.974.3690

Los Angeles, CA  
213.705.9006

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# PROJECT FONTS

The following illustrates the proposed fonts. Please notify the Client, General Contractor, and RSM Design of any changes.

InspireTWDC Medium

# Aa

ABCDEFGHIJKLMN  
OPQRSTUVWXYZ

abcdefghijklmnop  
qrstuvwxyz

1234567890

HeritageTWDC Medium

# Aa

ABCDEFGHIJKLMN  
OPQRSTUVWXYZ

abcdefghijklmnop  
qrstuvwxyz

1234567890



## rsmdesign

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Dallas, TX  
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Los Angeles, CA  
213.705.9006

rsmdesign.com

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02



## SIGN SCHEDULE & LOCATION PLANS

*Please note all quantities, sign locations, and final sign messaging shall be approved by the Rancho Mirage Planning Division prior to any fabrication. Additionally, the Planning Division should be notified of any proposed changes to the sign program.*

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# SIGN SCHEDULE

## SCHEDULE 01 OF 02

\* Please note all final quantities and locations will need to be approved by the client and field verified by the sign fabricator prior to fabrication and installation.

SIGN ID	SIGN TYPE	QUANTITY *	ILLUMINATION	DIGITAL	ATTACHMENT	MOCK-UPS	NOTES/COMMENTS
<b>Town Center Signage &amp; Wayfinding</b>							
TC1	Town Center Entry Monument	2	External + Internal	-	Wall	2	Lighting to be Coordinated with Landscape Team
TC2	Tenant Monument	1	Internal	-	Ground	2	Lighting to be Coordinated with Landscape Team
TC3	Vehicular Directional - Pole Mounted	2	Ambient	-	Ground	2	
TC4	Vehicular Directional - Freestanding	1	External	-	Ground	0	Lighting to be Coordinated with Landscape Team
TC5	Pedestrian Directional - Pole Mounted	4	Ambient	-	Ground	2	
TC6	Pedestrian Directional - Freestanding	5	External	-	Ground	3	Lighting to be Coordinated with Landscape Team
TC7	Tenant Directory	3	External	-	Ground	2	Lighting to be Coordinated with Landscape Team
TC8	Cast Building Private Entry	1	External	-	Wall	0	Lighting to be Coordinated with Landscape Team
TC9	Valet Identity	1	Internal	-	Ground	2	
TC10	Restroom Blade	2	Ambient	-	Wall	0	
TC11	Building Address	15	Ambient	-	Wall	0	
TC12	Cast Building Identity	1	External	-	Wall	2	Lighting to be Coordinated with Landscape Team
TC13	Suite Identity	Prototypical Only	-	-	-		Sign Type is Prototypical Only. Final Locations and Quantities by Sign Fabricator. To be priced per
TC14	Restroom Plaque (ADA)	4	Ambient	-	Wall	3	
TC15	Restroom Door Plaque (Title 24)	4	Ambient	-	Door	0	
TC16	Typical Room Plaque	Prototypical Only	Ambient	-	Wall	0	Prototypical Only. Final Locations by Sign Fabricator. To be priced per unit by Sign Fabricator.
TC17	Secondary Entry Monument	1	External + Internal	-	Ground	0	Lighting to be Coordinated with Landscape Team
TC18	Parking Pole Banner	Prototypical Only	Ambient	-	Pole	2	To be coordinated with final light pole layout. To be priced per unit by Sign Fabricator.
TC19	Private Property	2	Ambient	-	Ground	0	Messaging TBD

### GENERAL PACKAGE NOTES:

- All signs, structures and letters need to be engineered by sign fabricator prior to shop drawing submittal and fabrication for structural and backing requirements to withstand local regulations, codes and weather conditions.
- All sizes shown are approximate and should be verified prior to final fabrication based on construction documents and/or as built conditions on site, fabricator to notify team if difference occurs per as built conditions.
- Fabricator must use Matthews UV clear coat on painted surfaces to minimize / prevent as much as possible any noticeable fading.
- All metal edges to be eased; corners to have a maximum radius of .0125. All welds to be ground smooth prior to final painting and clear coated / vandalism coating are applied.
- No exposed fasteners unless noted within the design intent drawing or approved in shop drawing. Fasteners throughout package to be tamper proof, fabricator to submit sample for approval prior to ordering.
- All integrated signage to be coordinated with Architect and General Contractor prior to final fabrication and installation.
- Fabricator to calculate all sign weight loads to be provided to general contractor for additional backing that may be required.
- Fabricator to provide power requirement for each sign type prior to shop drawings submittal to General Contractor & Architect.
- All existing conditions to be field verified by fabricator prior to shop drawings are generated to ensure that all as built conditions are accommodated. Including all unknowns such as interior parking garage elevations / conditions and mounting details to support all sign types.
- All messaging within this package is placeholder at this time until written approval is received by the client team prior to fabrication.

### MOCK-UP LEGEND

- All mock-ups must be provided by fabricator per mock-up legend below, prior to fabrication.
- Full Size, 2D, Movable mock-Up; 3M Full color digital print on plywood backing; on site review in each location.
  - Partial 3D Working Mock-Up; Shop OR on-site review. See design drawing for mock-up details.
  - Full 3D Working Mock-Up; Installed On site review.
  - 1/2 Size (50%) 2D black & white prints of all type and/or icons required on lightweight bond paper.
  - Full Size (100%) 2D black & white prints of all type and/or icons required on lightweight bond paper.
  - Other, See sign drawing for detail.

DRAWING FOR DESIGN INTENT ONLY AND NOT INTENDED FOR CONSTRUCTION.  
ALL SIGNS TO BE DETAILED, FABRICATED & INSTALLED PER APPROVED FABRICATOR SHOP DRAWINGS.

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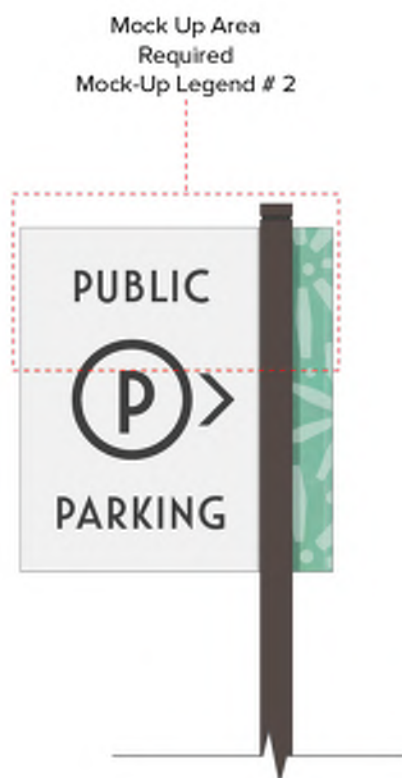
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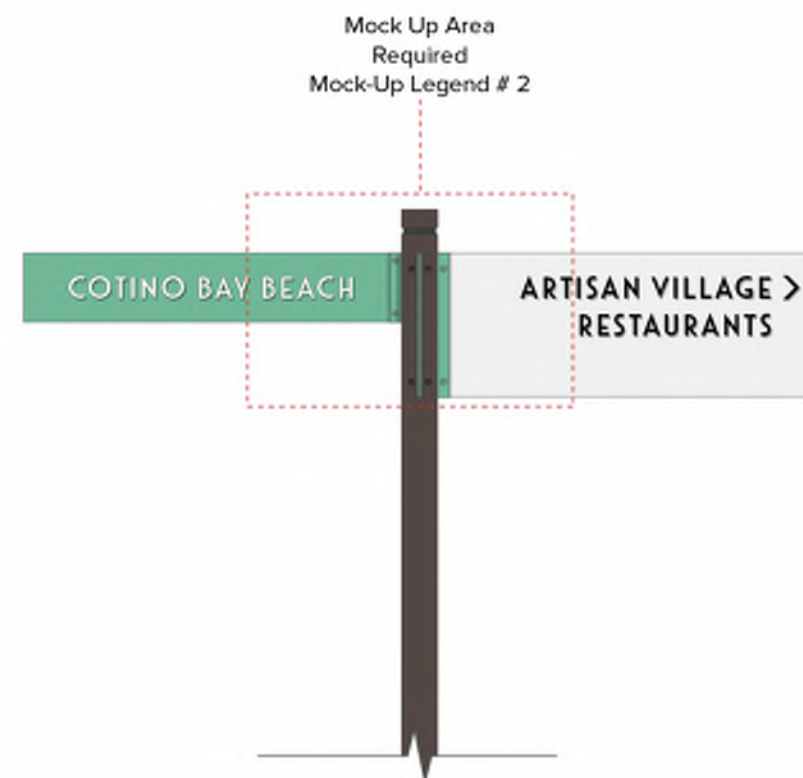
1 Elevation - Sign Type TC1  
Scale : 3/8"=1'



1 Elevation - Sign Type TC2  
Scale : 3/8"=1'



1 Elevation - Sign Type TC3  
Scale : 1/2"=1'



1 Elevation - Sign Type TC5  
Scale : 3/4"=1'

**MOCK-UP LEGEND:**

All mock-ups must be provided by fabricator per this mock-up legend prior to fabrication.

1. Full Size, 2D, Movable mock-Up; 3M Full color digital print on plywood backing; on site review in each location.
2. Partial 3D Working Mock-Up; Shop OR on-site review.
3. Full 3D Working Mock-Up; Installed On site review.
4. 1/2 Size (50%) 2D black & white prints of all type and/or icons required on lightweight bond paper.
5. Full Size (100%) 2D black & white prints of all type and/or icons required on lightweight bond paper.
6. No Mock-Up Required.
7. Other, See sign drawing for detail.

Note: Sign fabricator to confirm all final sign messaging and locations with client or general contractor prior to fabrication. RSM Design to be notified of any changes.

Final LED lighting temperature to be at 4000°K (+/- 50° K) for mock-ups.

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Mock Up Area  
Required  
Mock-Up Legend # 2



1 Elevation - Sign Type TC9  
Scale : 3/4"=1'

Mock Up Area  
Required  
Mock-Up Legend # 2



1 Elevation - Sign Type TC7  
Scale : 3/4"=1'

**MOCK-UP LEGEND:**

All mock-ups must be provided by fabricator per this mock-up legend prior to fabrication.

1. Full Size, 2D, Movable mock-Up; 3M Full color digital print on plywood backing; on site review in each location.
2. Partial 3D Working Mock-Up; Shop OR on-site review.
3. Full 3D Working Mock-Up; Installed On site review.
4. 1/2 Size (50%) 2D black & white prints of all type and/or icons required on lightweight bond paper.
5. Full Size (100%) 2D black & white prints of all type and/or icons required on lightweight bond paper.
6. No Mock-Up Required.
7. Other, See sign drawing for detail.

Note: Sign fabricator to confirm all final sign messaging and locations with client or general contractor prior to fabrication. RSM Design to be notified of any changes.

Final LED lighting temperature to be at 4000°K (+/- 50° K) for mock-ups.

Mock Up Area  
Required  
Mock-Up Legend # 3



1 Elevation - Sign Type TC6  
Scale : 1"=1'

Mock Up Area  
Required  
Mock-Up Legend # 2



1 Elevation - Sign Type TC12  
Scale : 3/4"=1'

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Mock Up Area  
Required  
Mock-Up Legend # 3



1 Elevation - Sign Type TCM  
Scale : 3/4"=1'

Mock Up Area  
Required  
Mock-Up Legend # 2



1 Elevation - Sign Type TC18  
Scale : 1"=1'

Mock Up Area  
Required  
Mock-Up Legend # 2



1 Elevation - Sign Type TCR2  
Scale : 3/4"=1'

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Sign Location Plan

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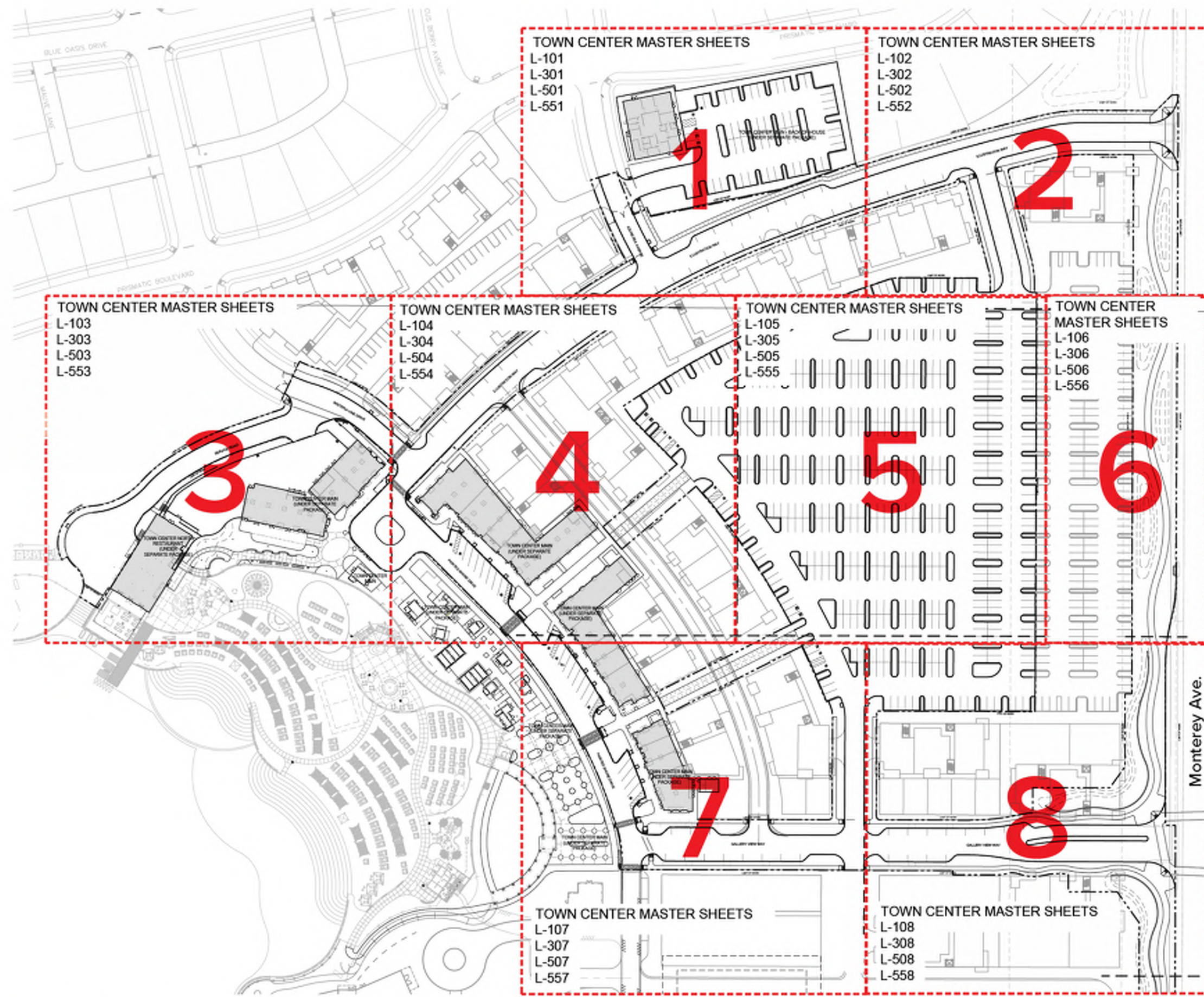
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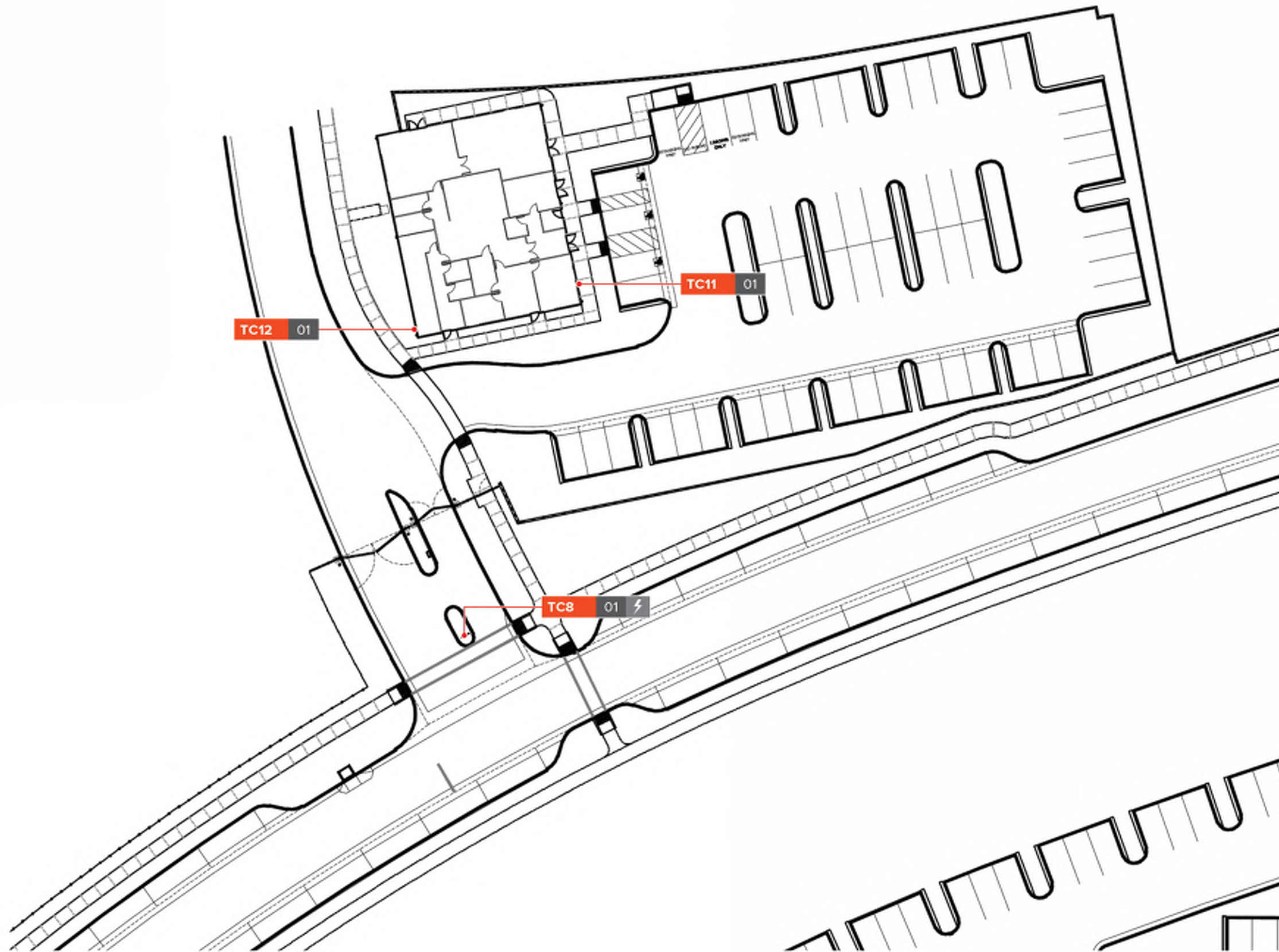
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SIGN ID	SIGN TYPE
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TC1	Town Center Entry Monument
TC2	Tenant Monument
TC3	Vehicular Directional - Pole Mounted
TC4	Vehicular Directional - Freestanding
TC5	Pedestrian Directional - Pole Mounted
TC6	Pedestrian Directional - Freestanding
TC7	Tenant Directory
<b>TC8</b>	<b>Cast Building Private Entry</b>
TC9	Valet Identity
TC10	Restroom Blade
<b>TC11</b>	<b>Building Address</b>
<b>TC12</b>	<b>Cast Building Identity</b>
TC13	Suite Identity
TC14	Restroom Plaque (ADA)
TC15	Restroom Door Plaque (Title 24)
TC16	Typical Room Plaque
TC17	Secondary Entry Monument
TC18	Parking Pole Banner
TC19	Private Property



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Sign Location Plan  
 Section 1

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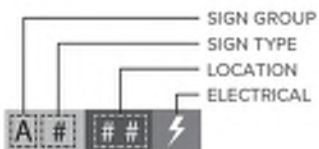
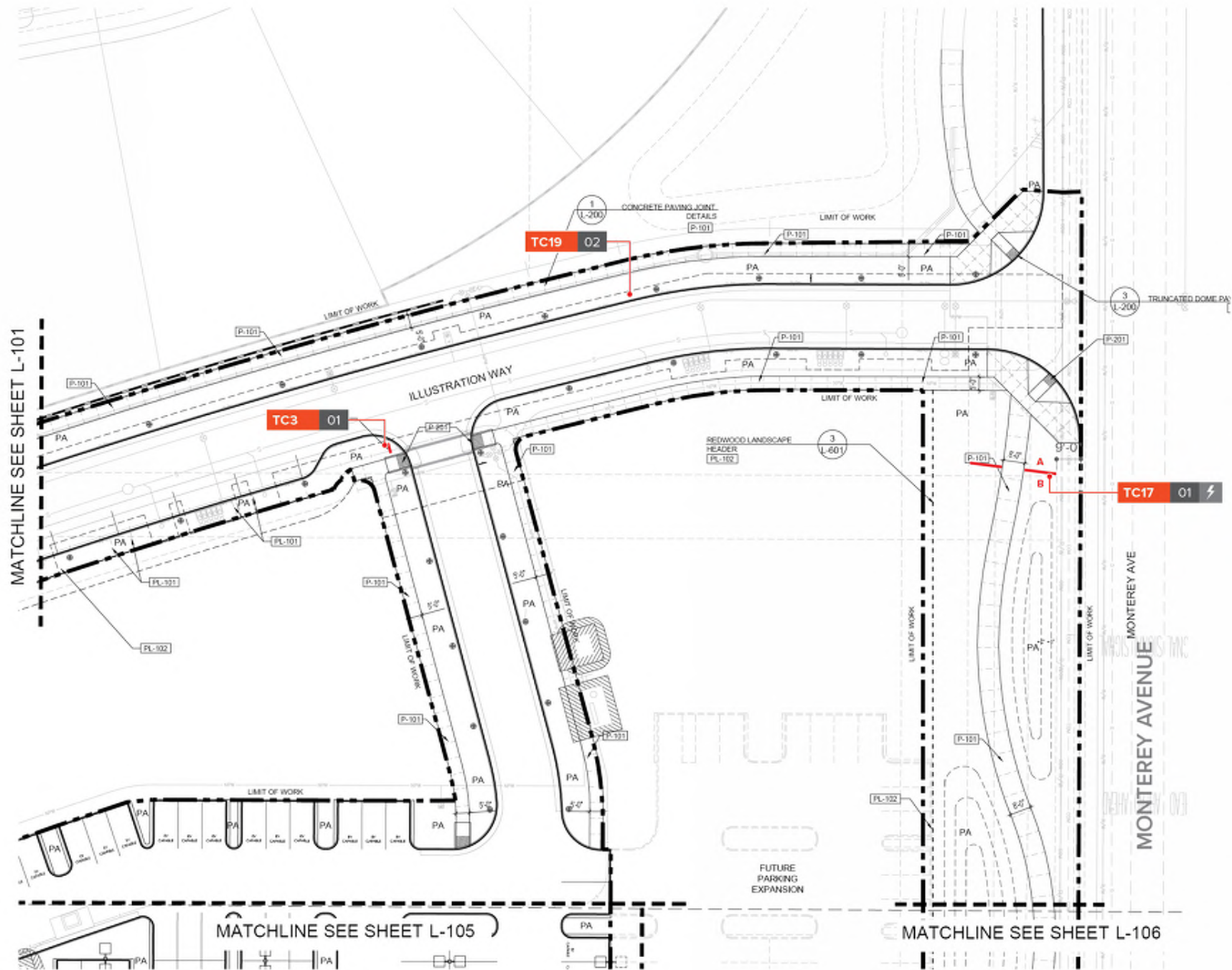
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TC16	Typical Room Plaque
<b>TC17</b>	<b>Secondary Entry Monument</b>
TC18	Parking Pole Banner
<b>TC19</b>	<b>Private Property</b>



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Sign Location Plan  
Section 2

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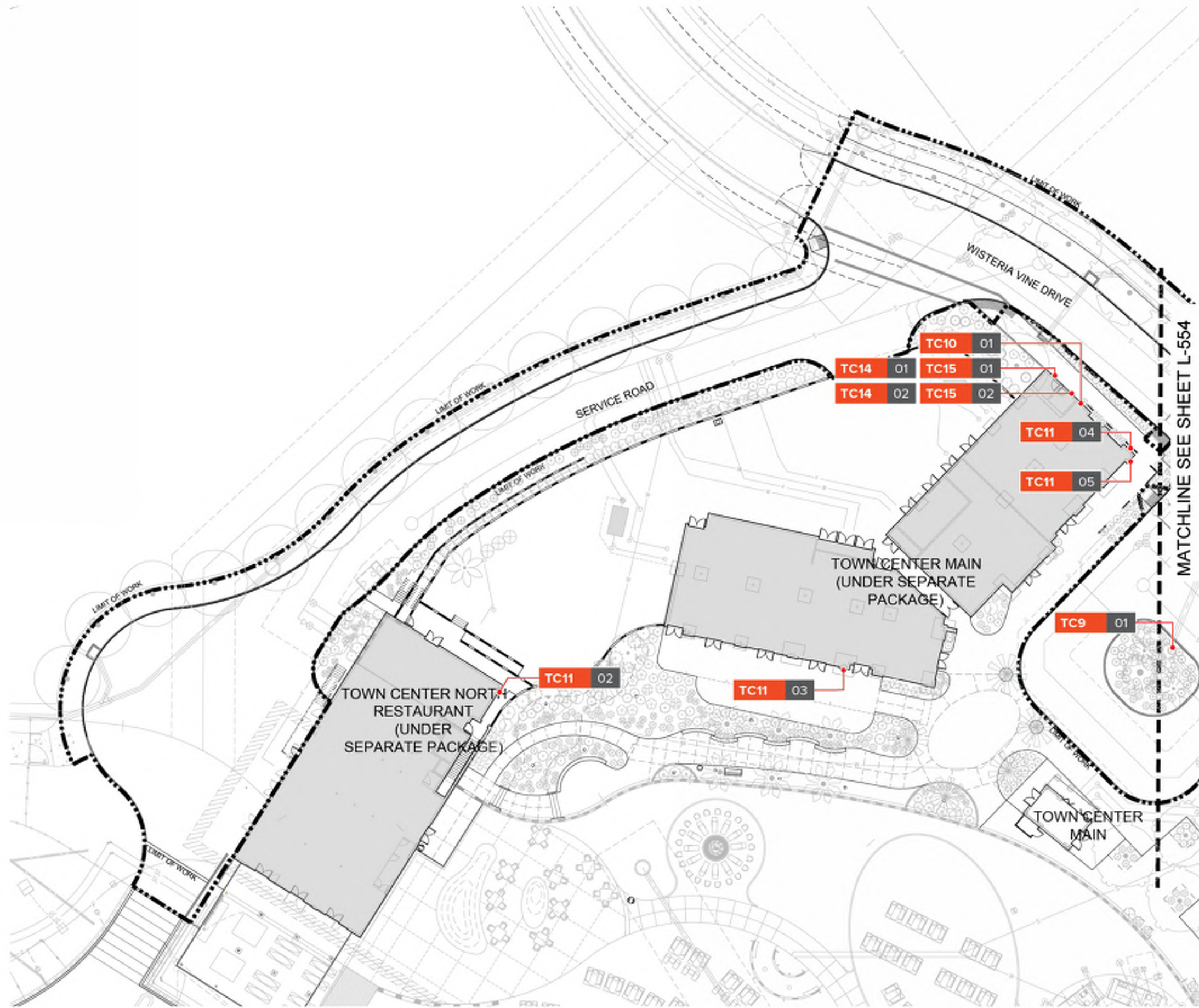
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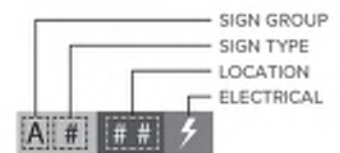
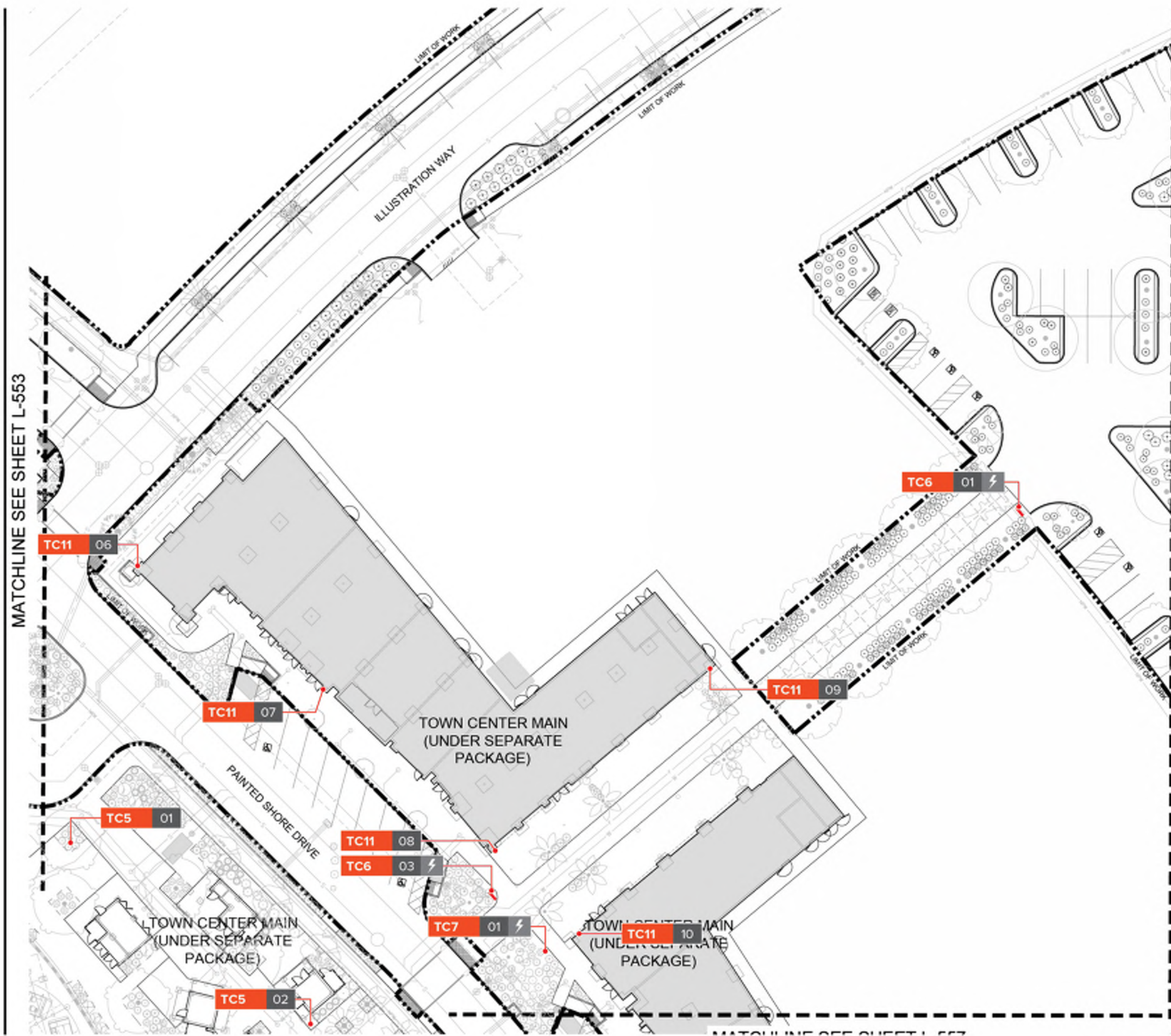
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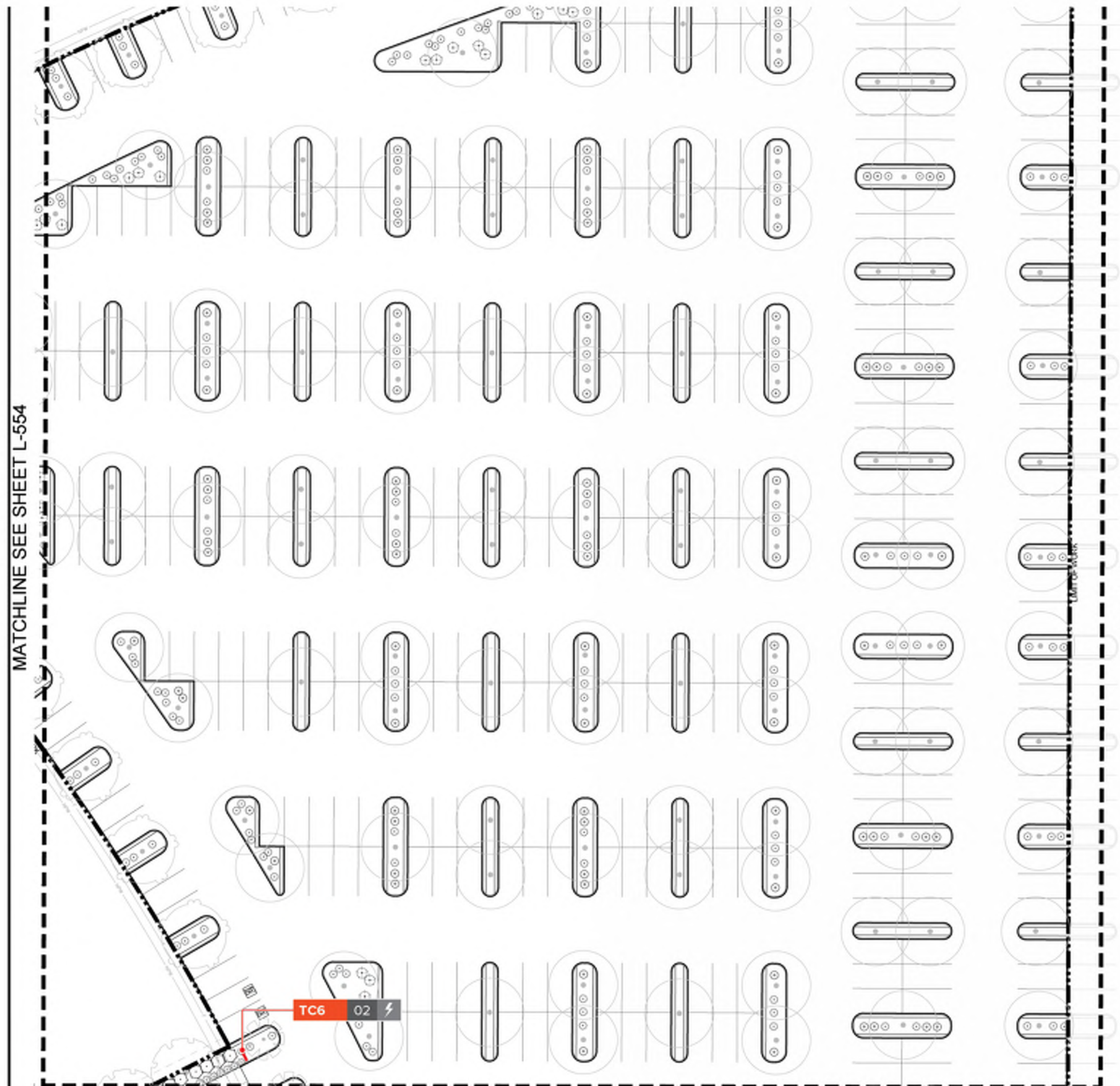
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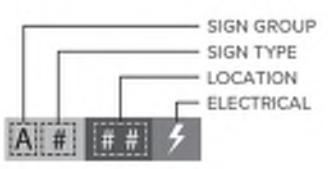
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MATCHLINE SEE SHEET L-554

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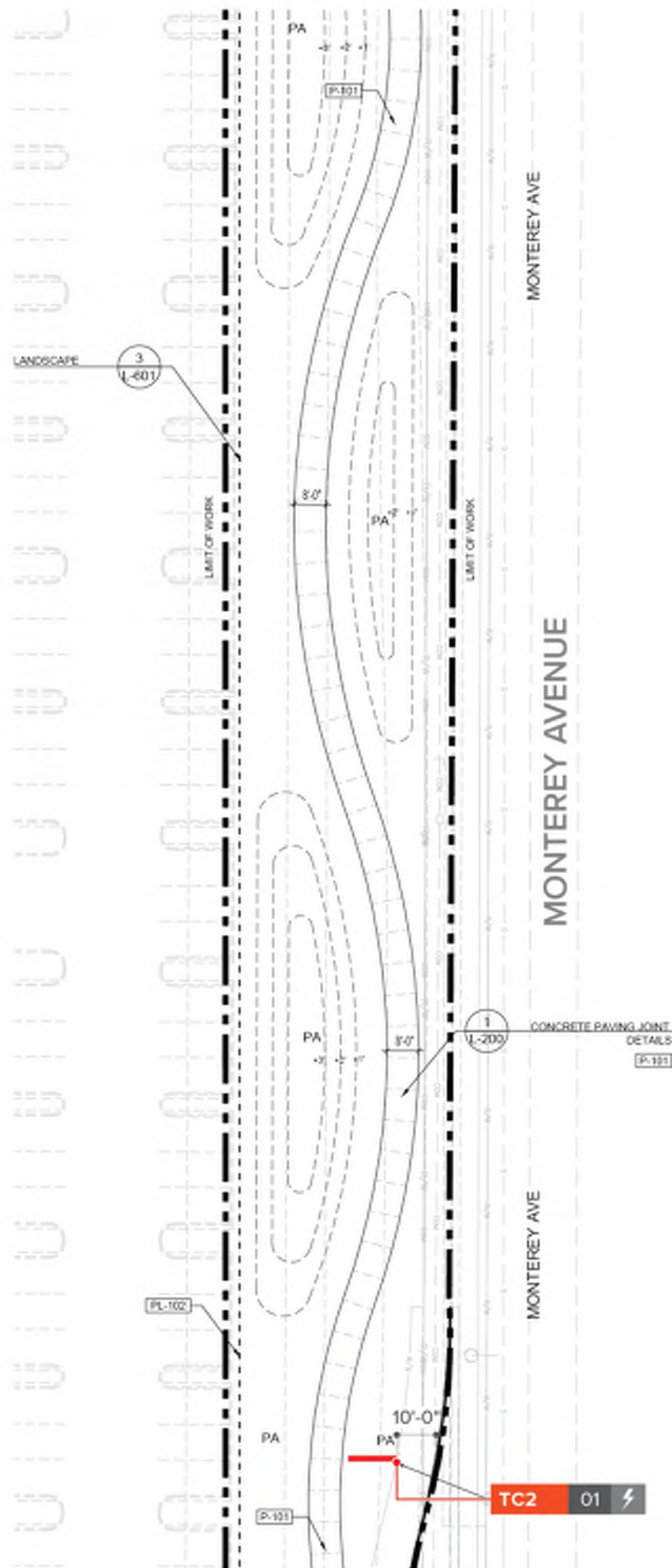
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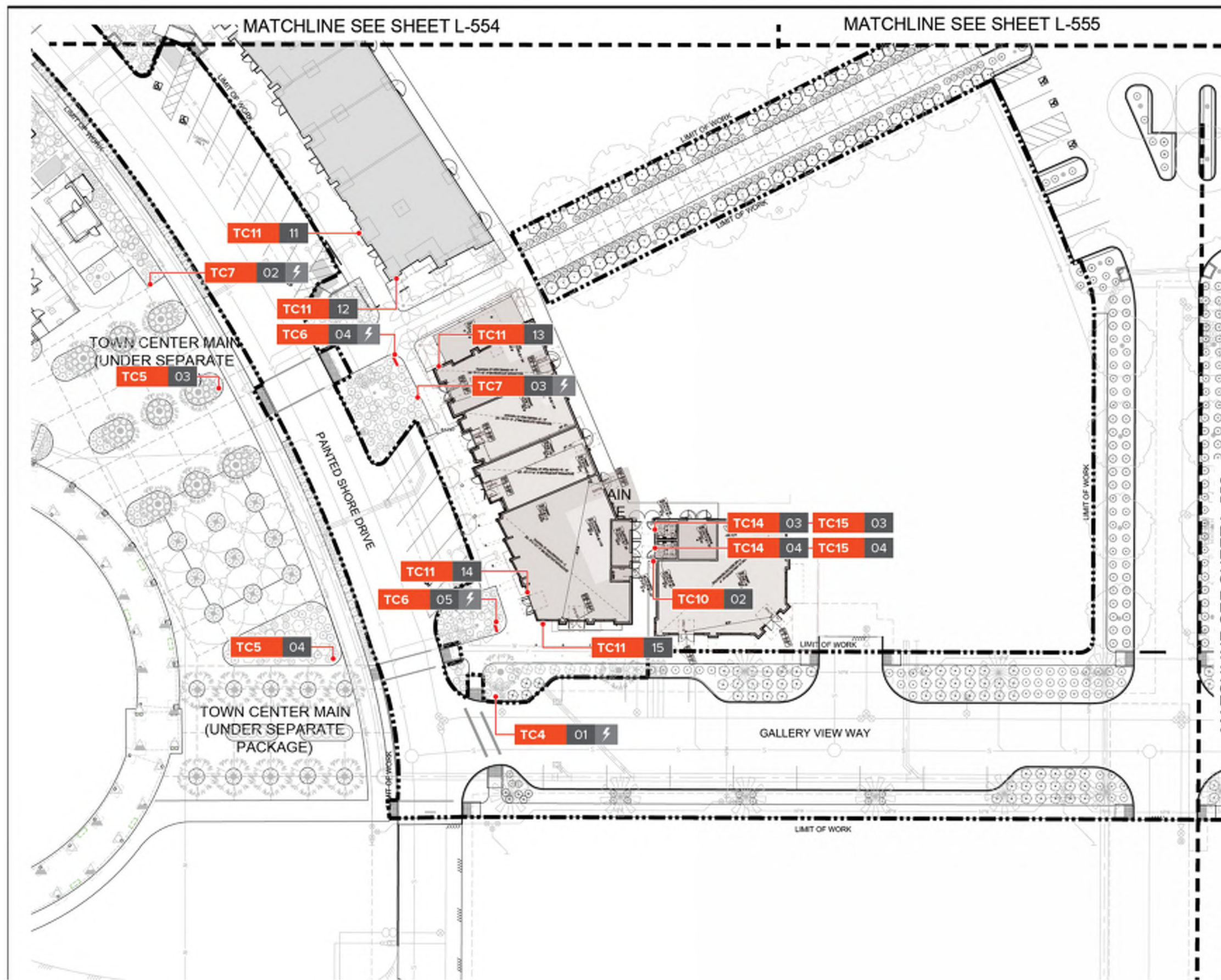
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Sign Location Plan  
Section 7

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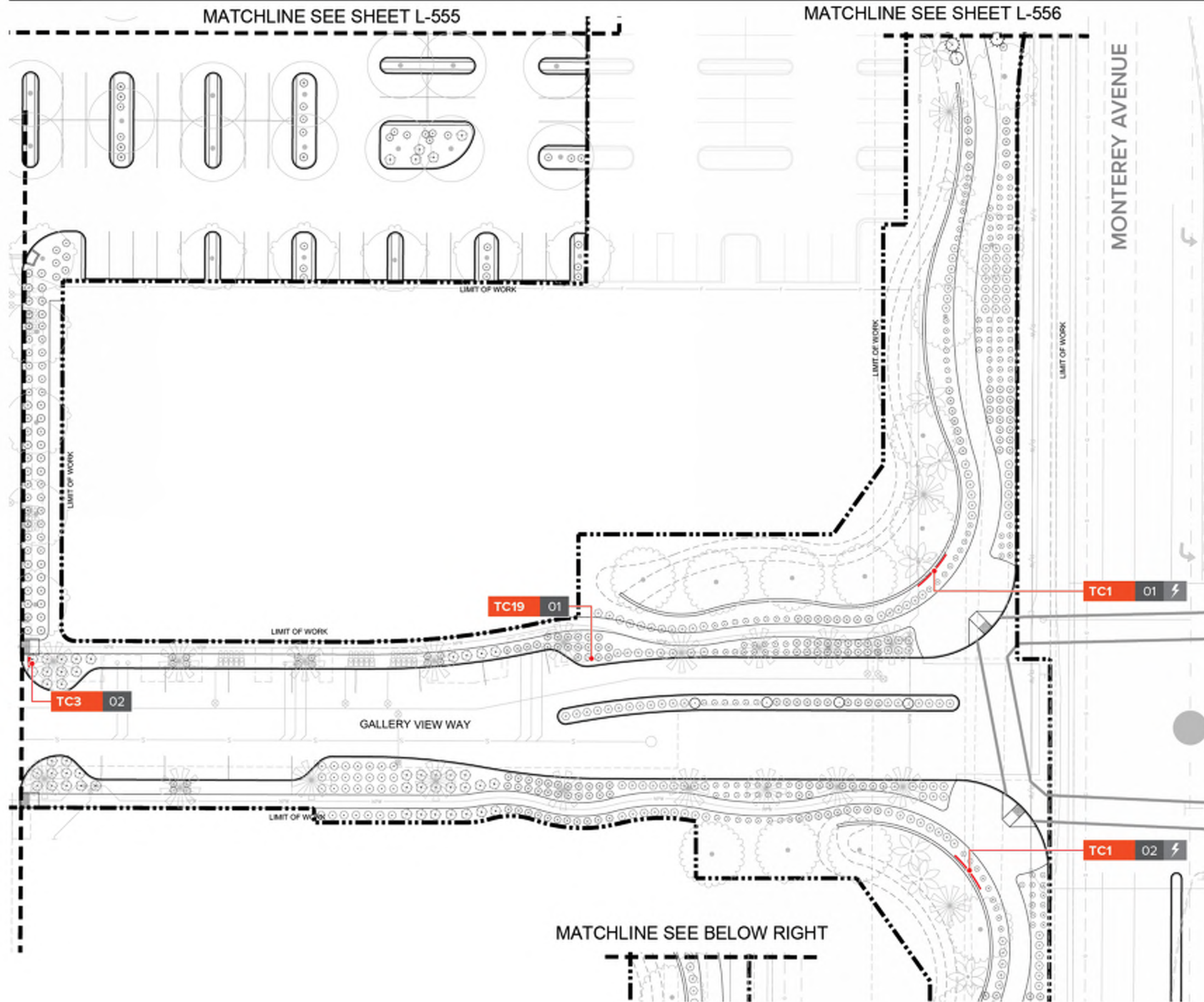
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Sign Location Plan  
Section 8

03



## SIGN TYPES

*Please note all quantities, sign locations, and final sign messaging shall be approved by the Rancho Mirage Planning Division prior to any fabrication. Additionally, the Planning Division should be notified of any proposed changes to the sign program.*

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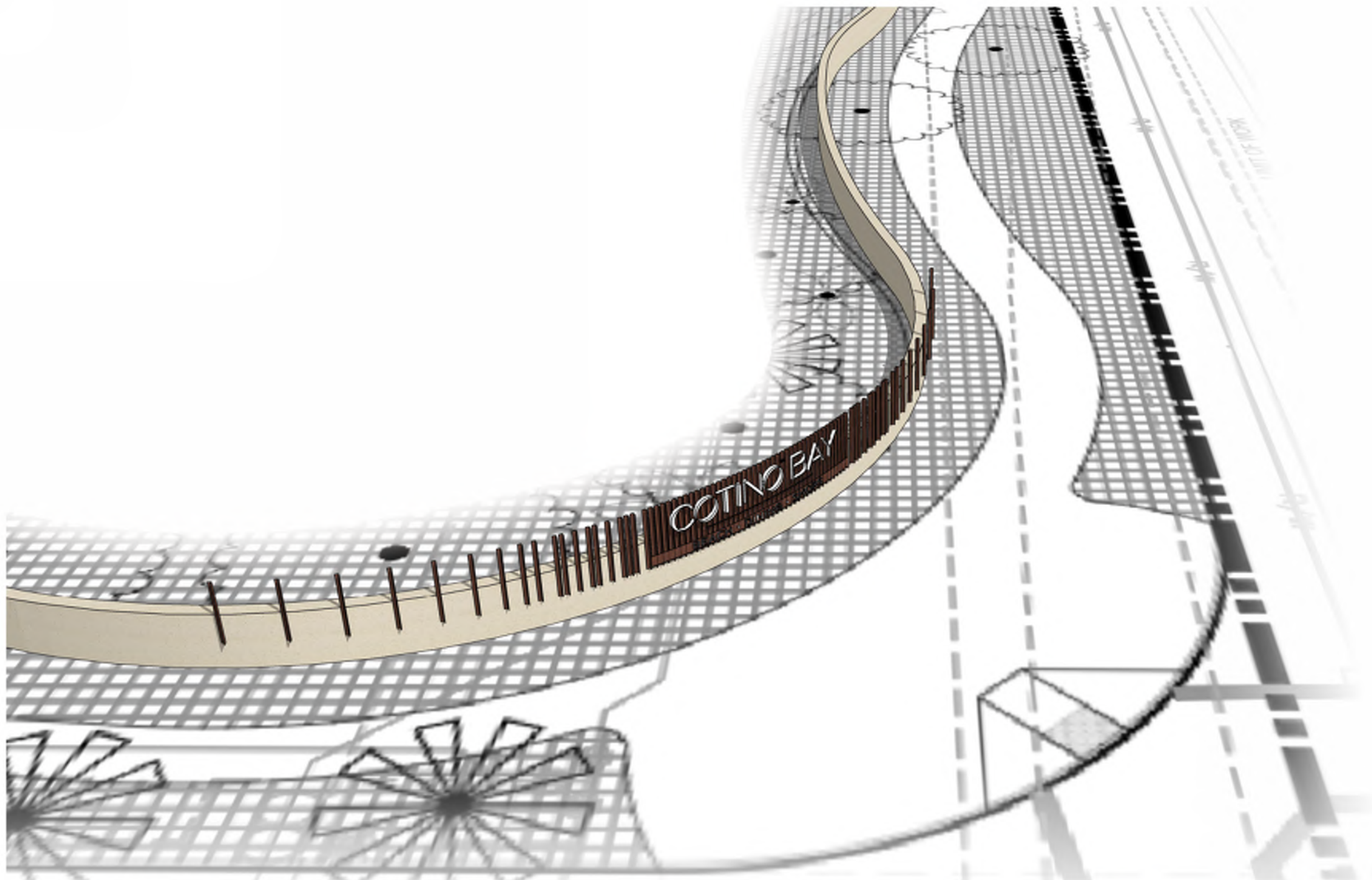
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Approx. 73'-6"



\*For the sake of clarity, curved wall has been flattened out to show relative layout of individual slats.

1 Dissipation Plan  
Scale: 3/16"=1'

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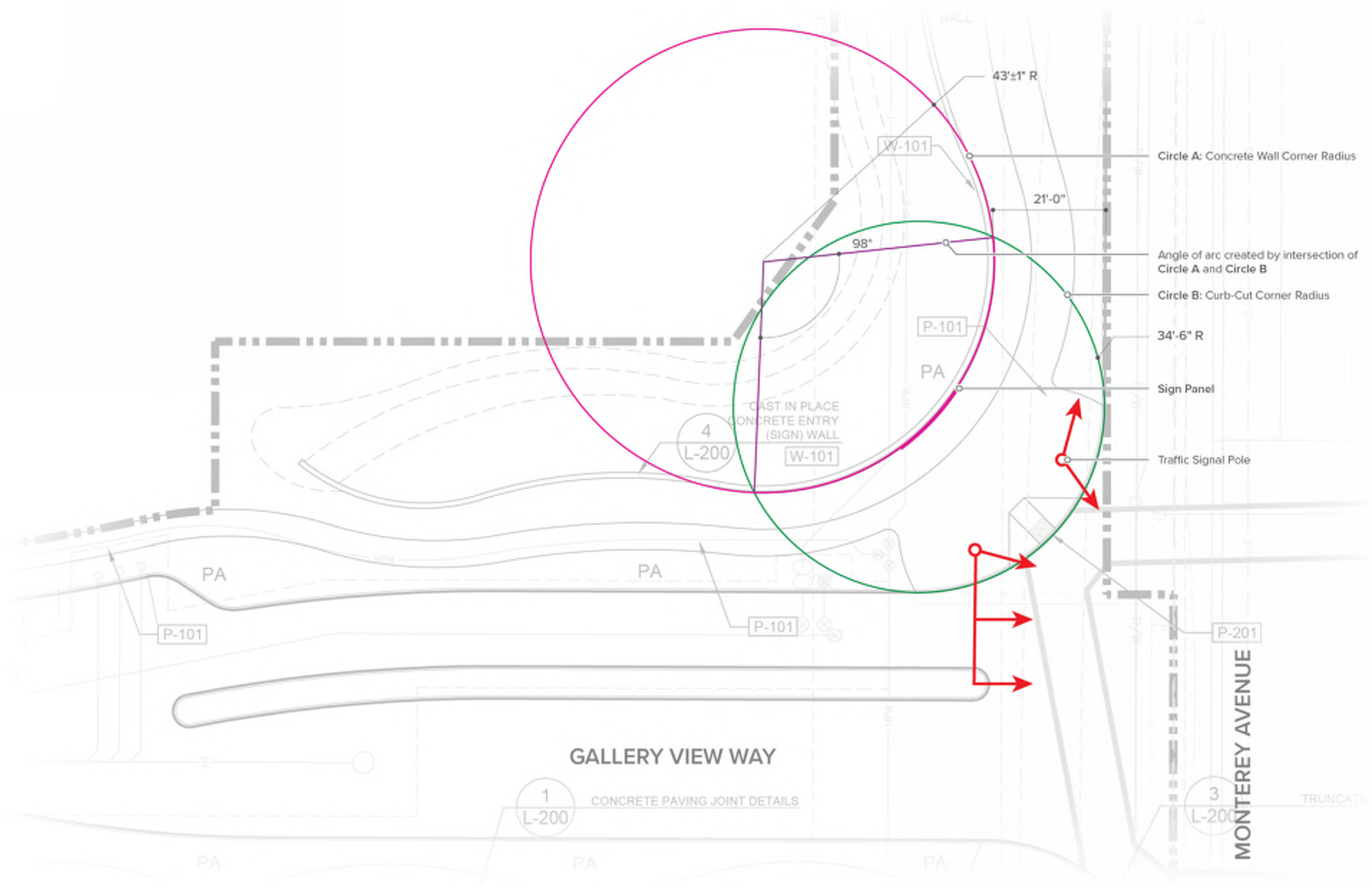
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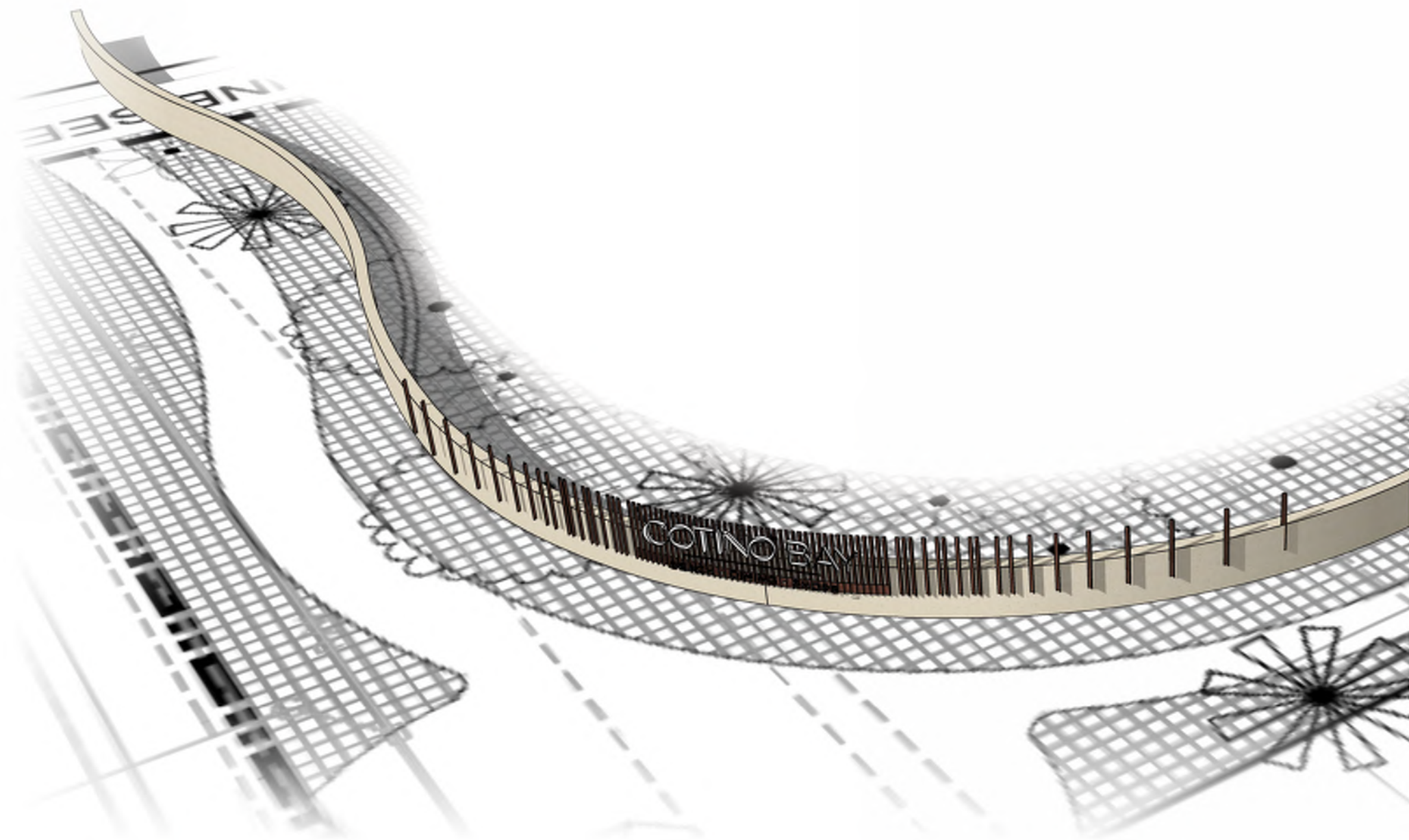
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Approx. 72'-8"



\*For the sake of clarity, curved wall has been flattened out to show relative layout of individual slats.

1 Dissipation Plan  
Scale: 3/16"=1'

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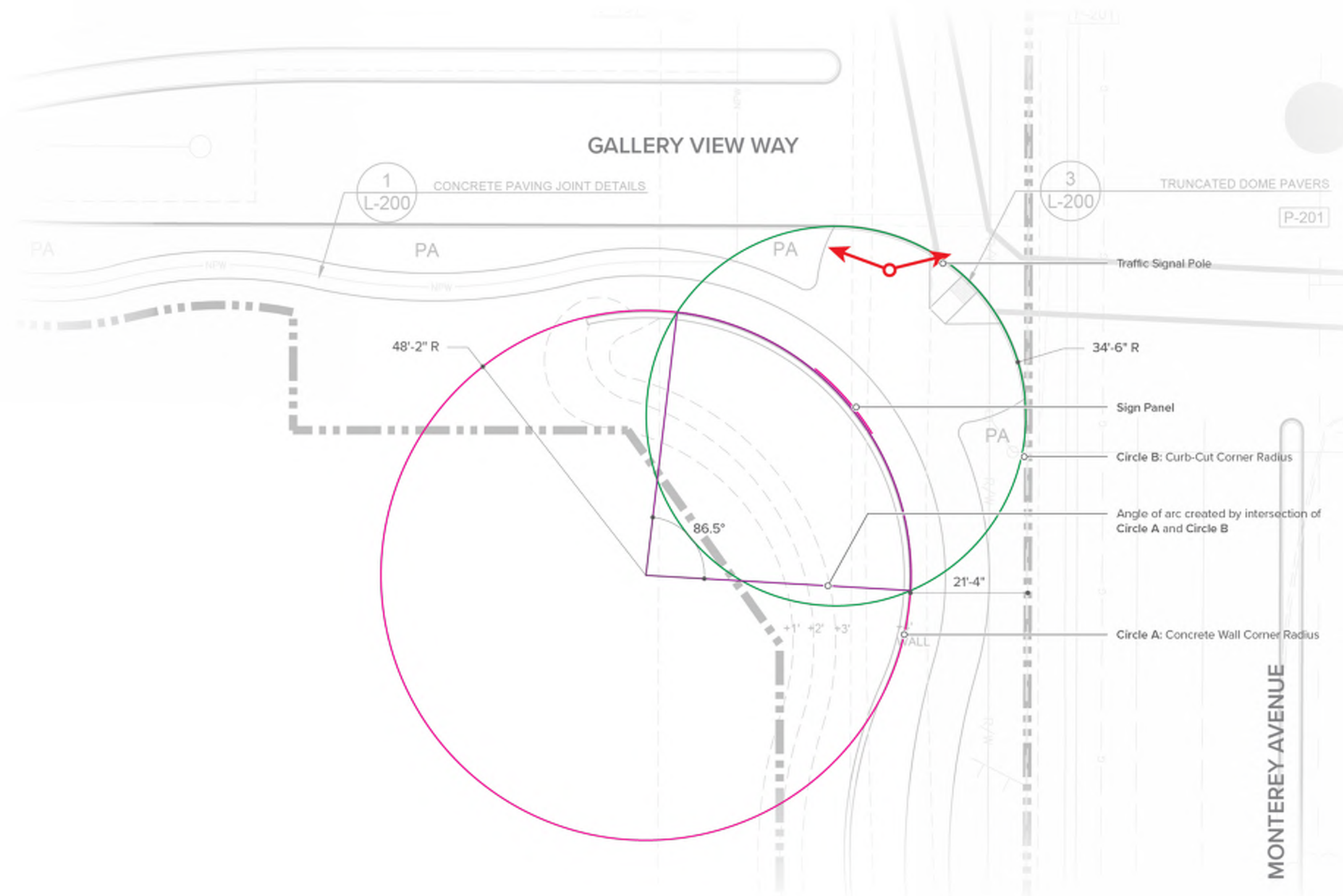
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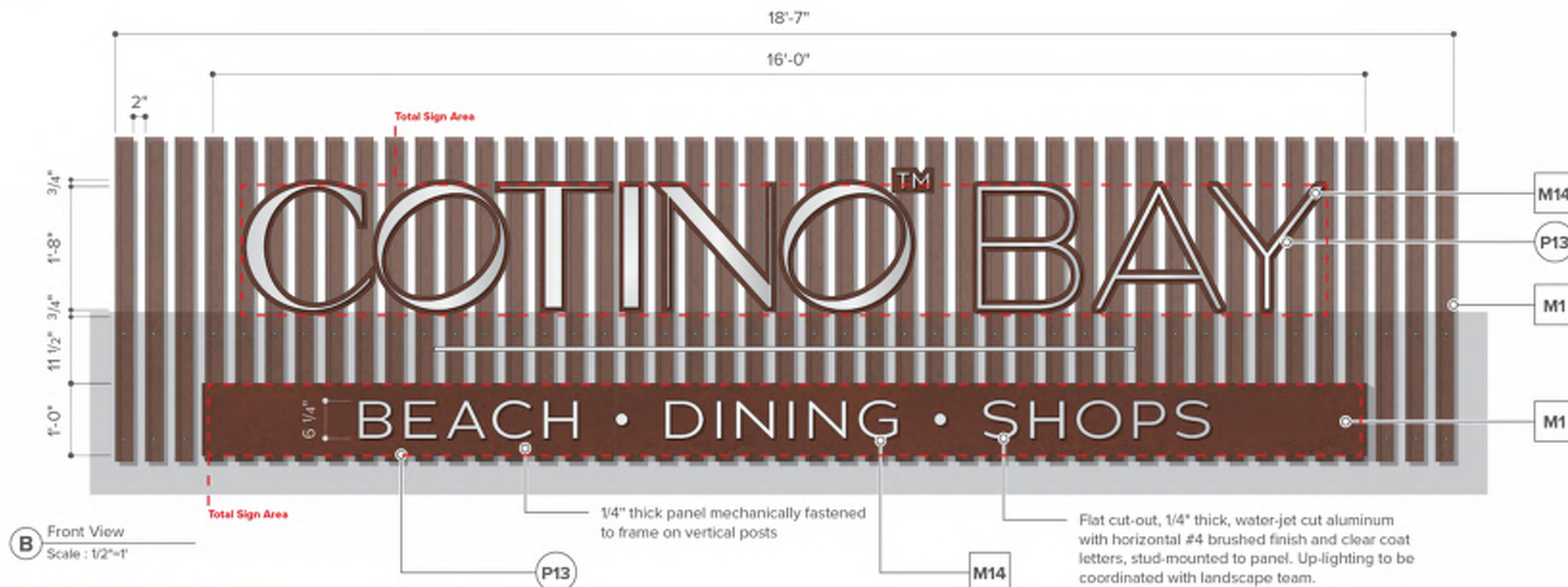
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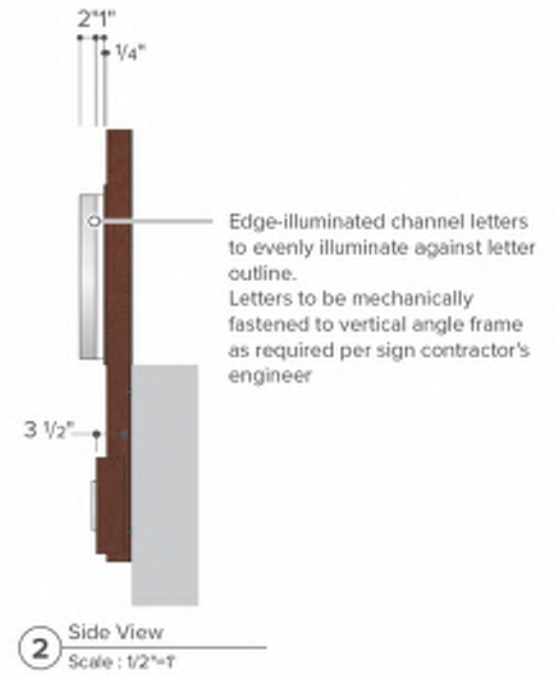
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Square Footage: 43 SF



\*For the sake of clarity, curved wall has been flattened out to show relative layout of individual slats.

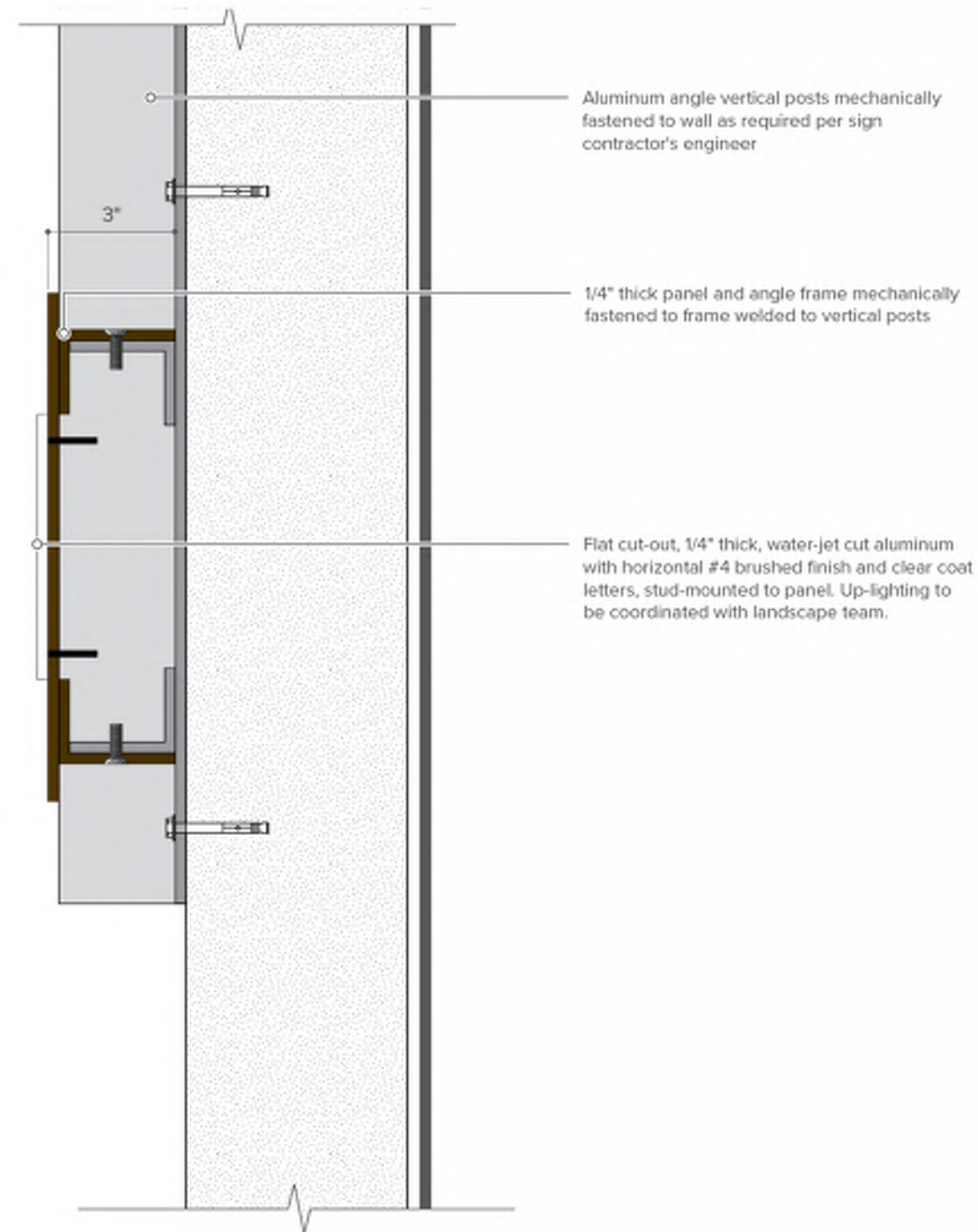
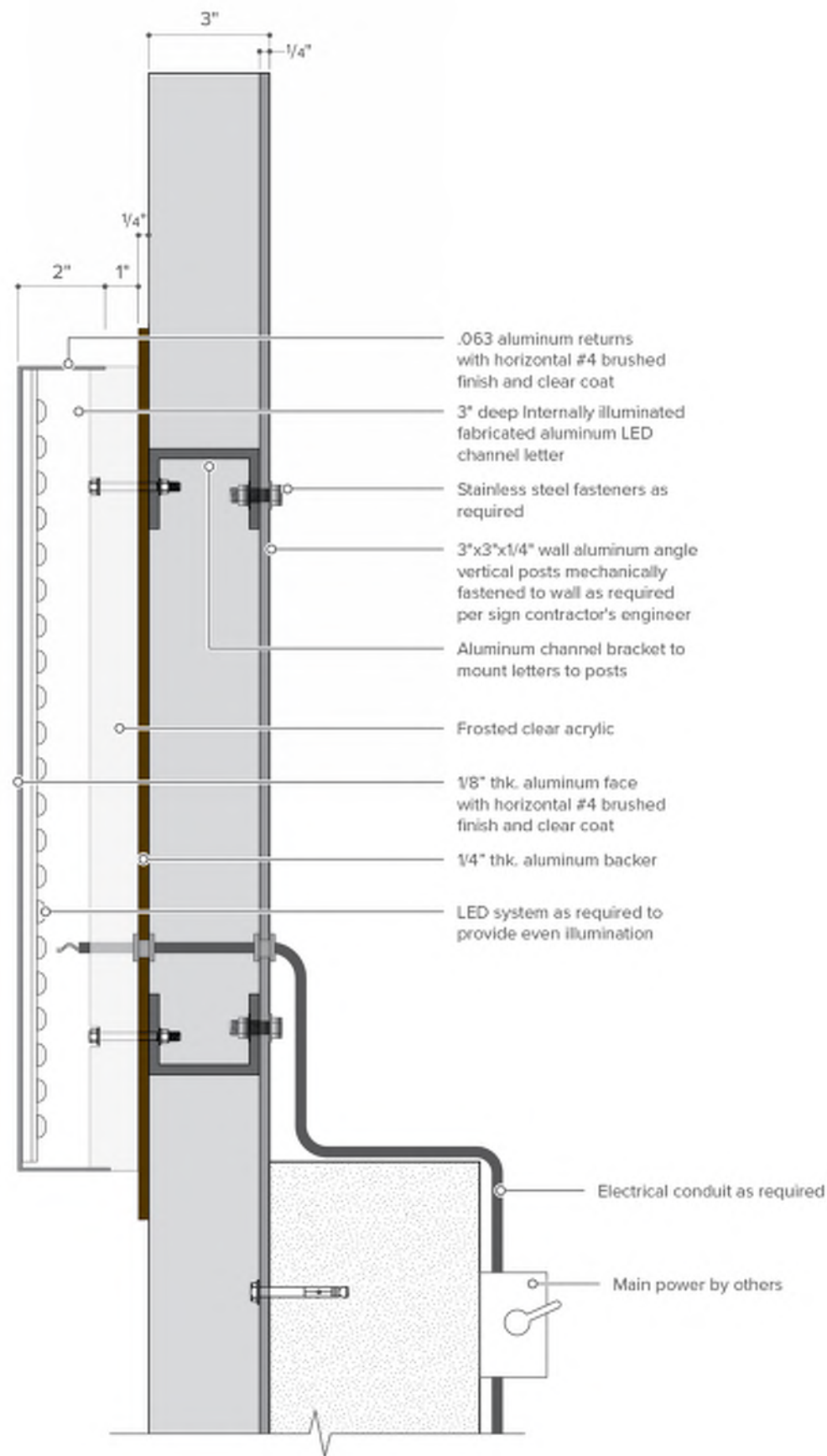
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**G** Section  
Scale : 3"=1'

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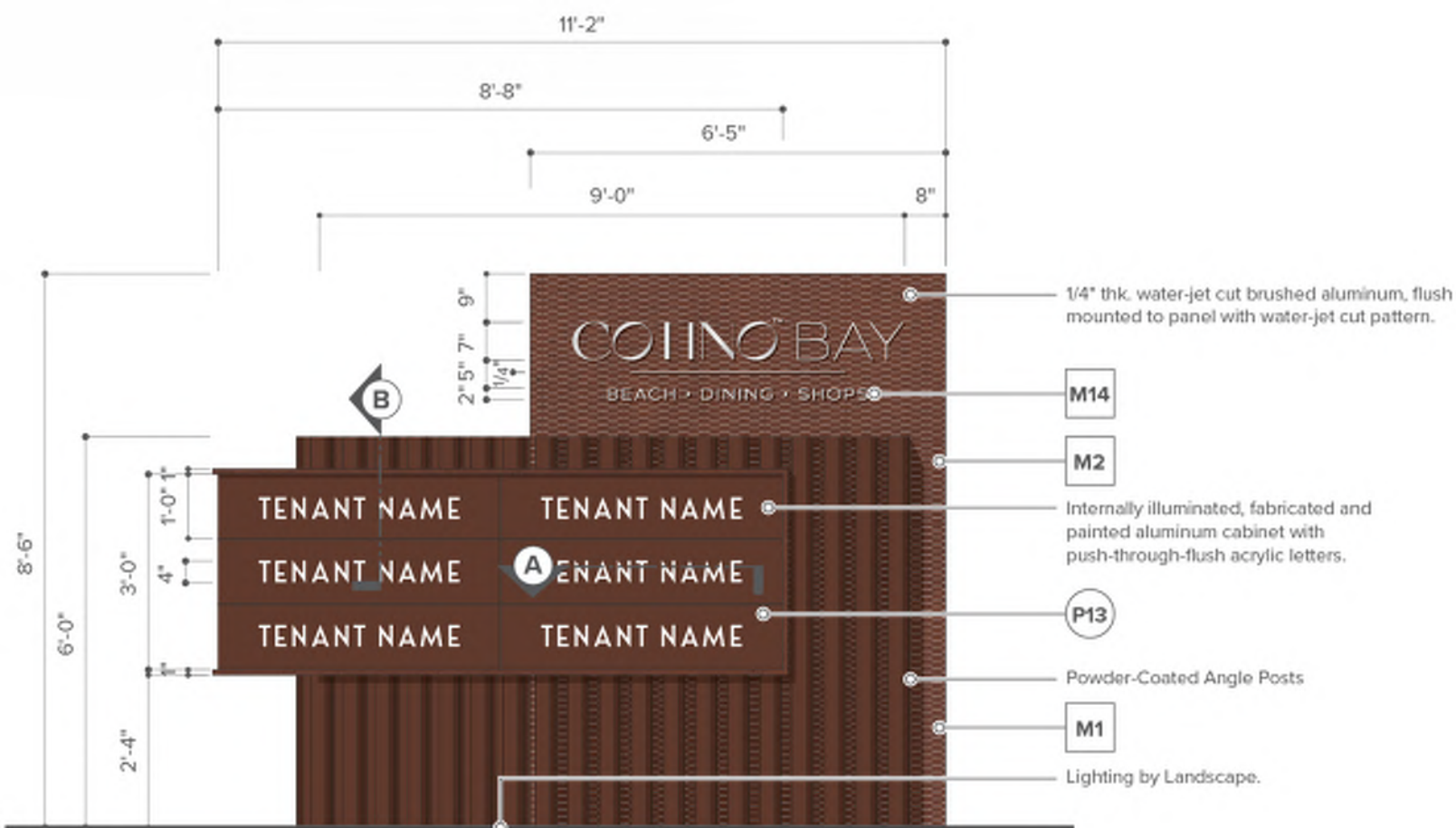
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**Please Note:** Per Public Works/Engineering, there shall be an 18 inch clearance from both ends of the sidewalk. Ensure the signs comply with this requirement and that the signs are a minimum of 7 feet from the back of street curb.



4 Top View  
Scale : 3/8"=1'



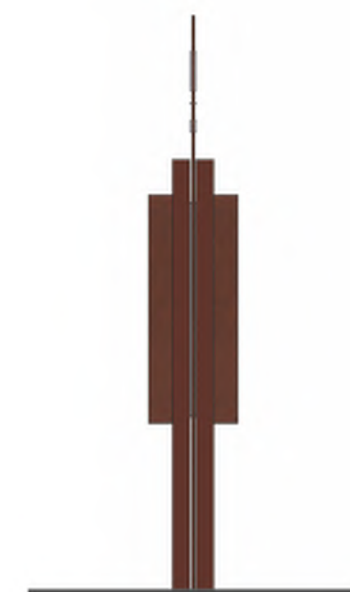
1 Front View  
Scale : 3/8"=1'

Square Footage: 6 SF

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3 Back View  
Scale : 3/8"=1'



2 Side View  
Scale : 3/8"=1'

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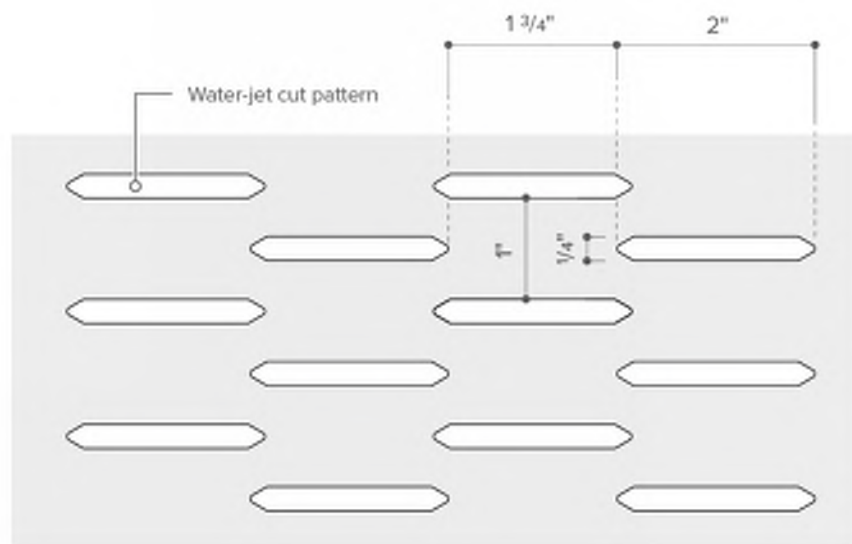
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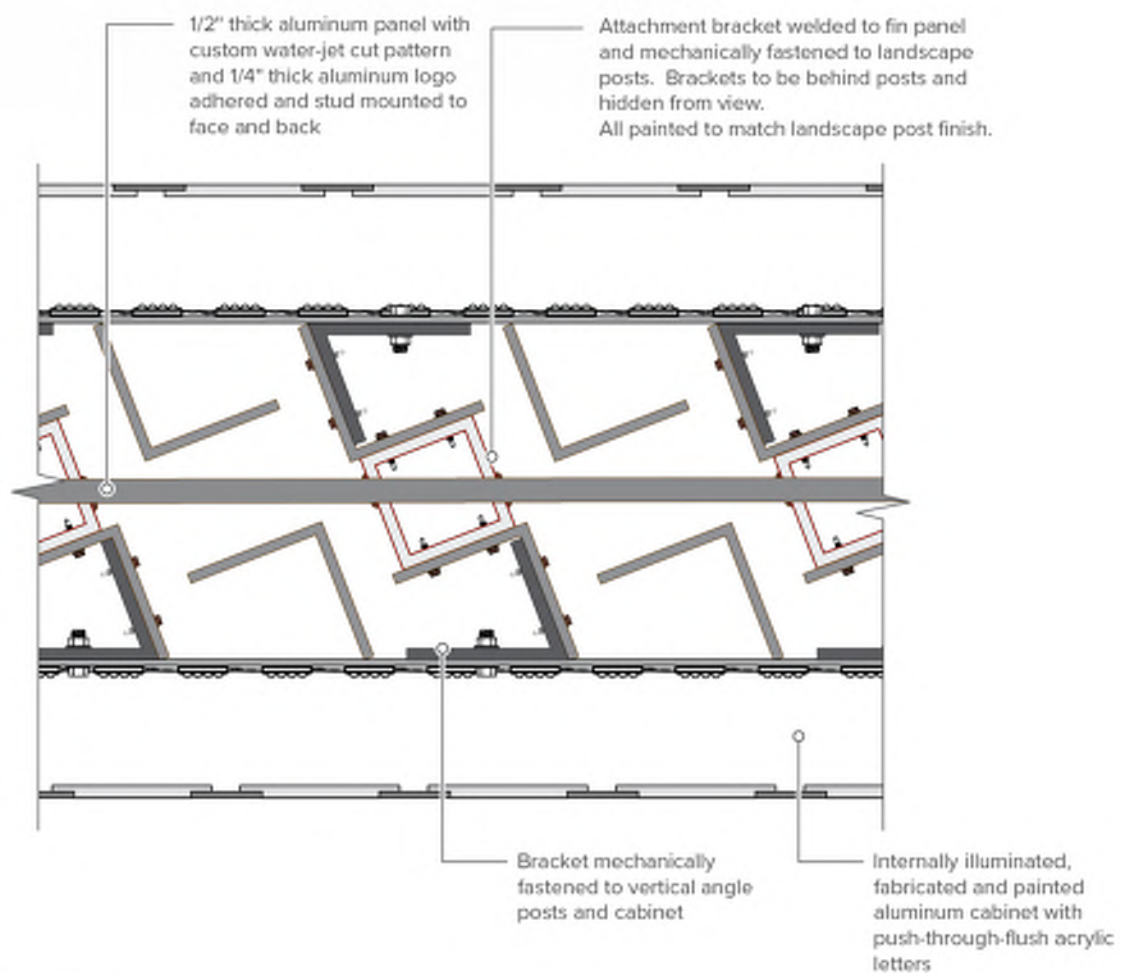
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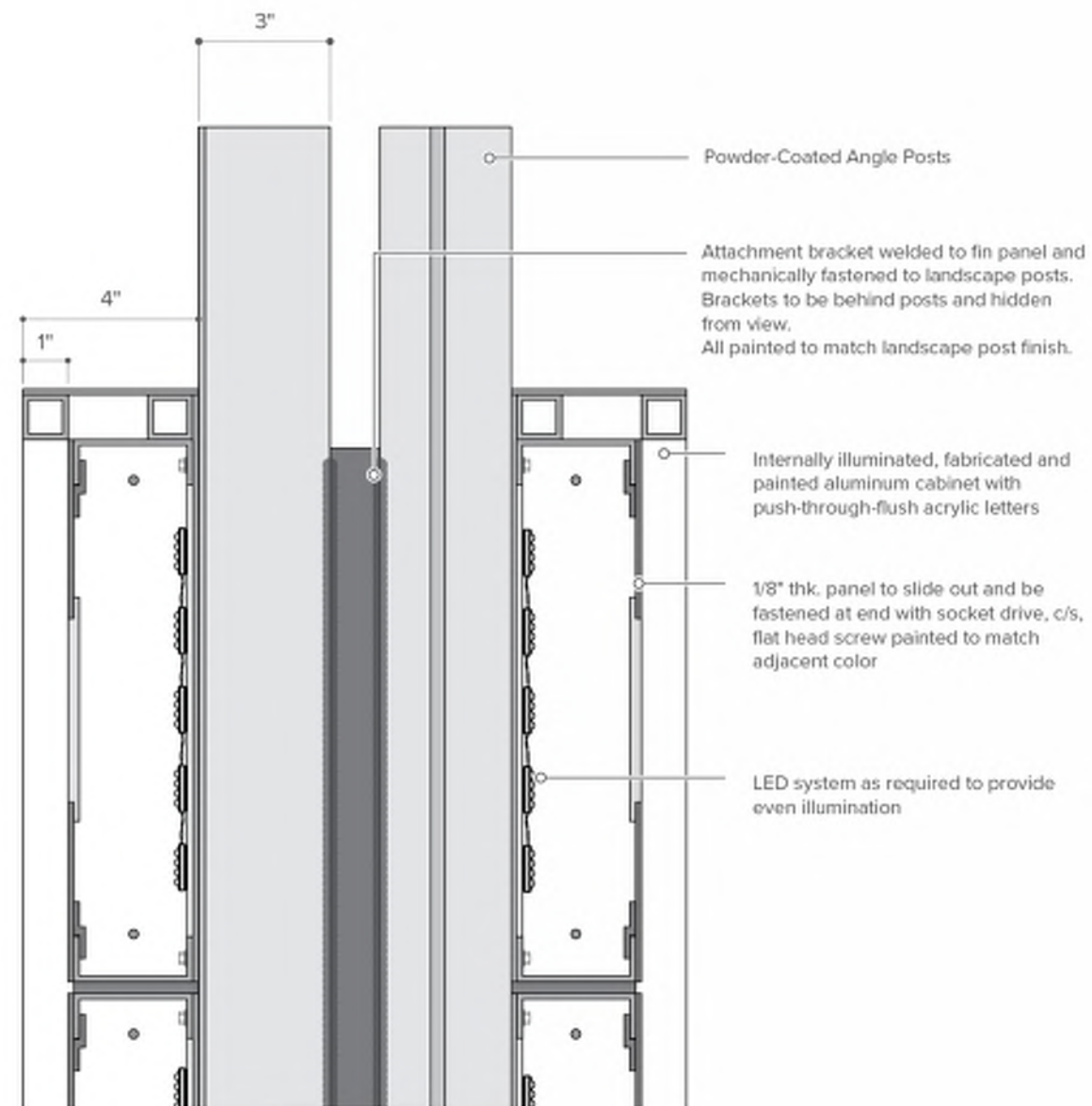
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**C** Pattern Detail  
Scale : 1:2



**A** Section  
Scale : 3\"/>



**B** Section Detail  
Scale : 3\"/>

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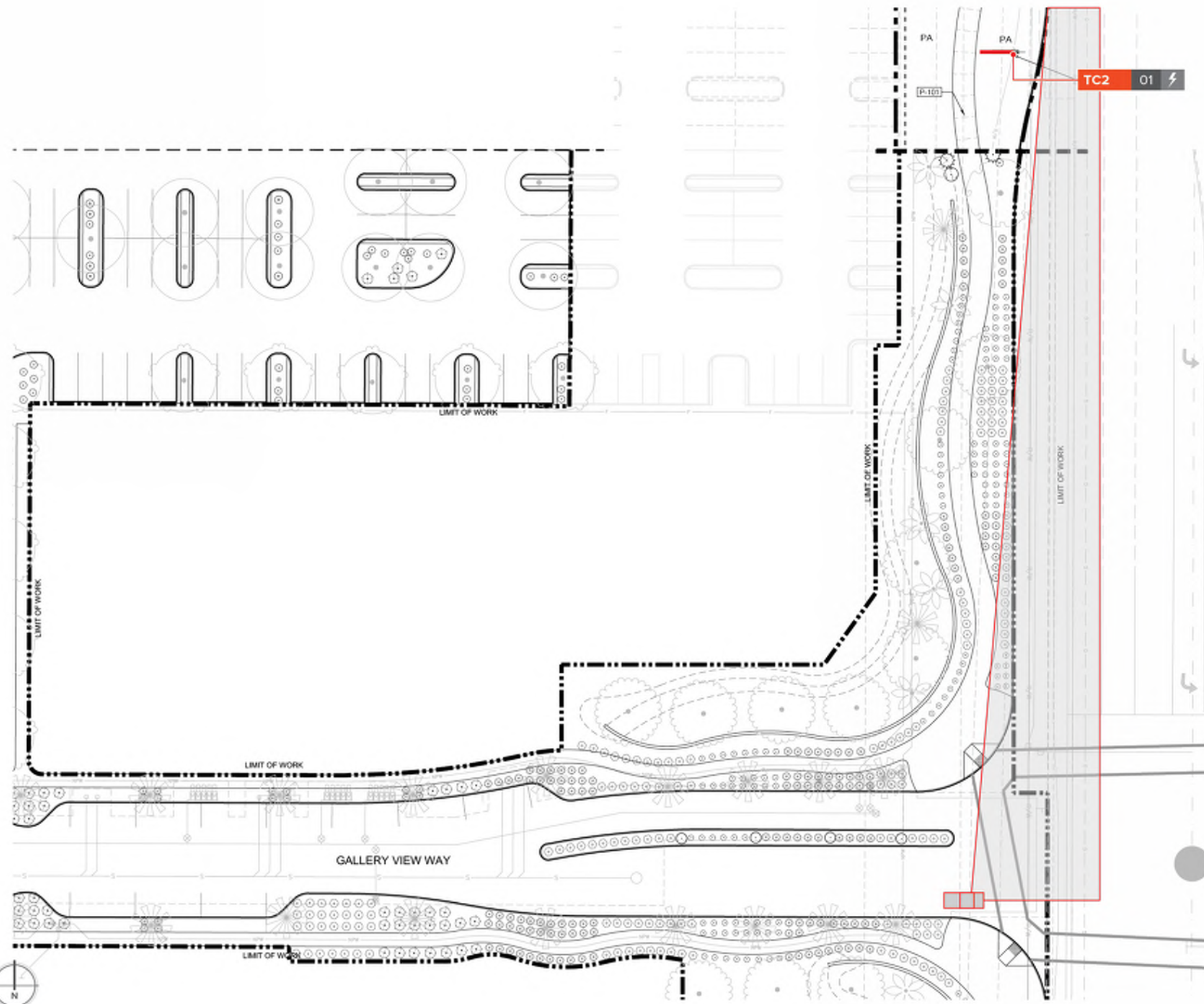
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1 Location Plan  
Scale: 1" = 40'

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TC2 | Tenant Monument  
Sight Triangle Verification

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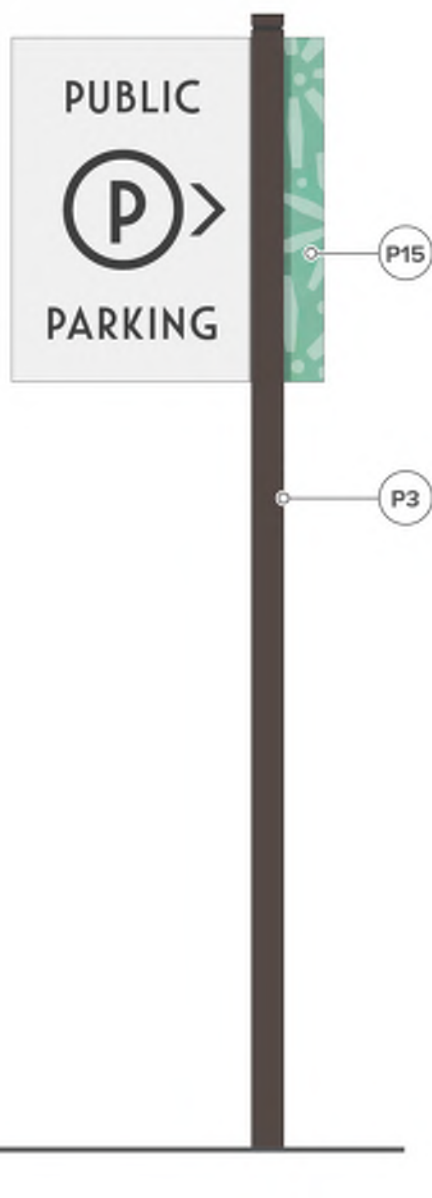
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4 Top View  
Scale: 1/2"=1'



1 Front View  
Scale: 1/2"=1'



2 Side View  
Scale: 1/2"=1'



3 Reverse View  
Scale: 1/2"=1'

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TC3 | Vehicular Directional | Pole Mounted  
Notes and Details

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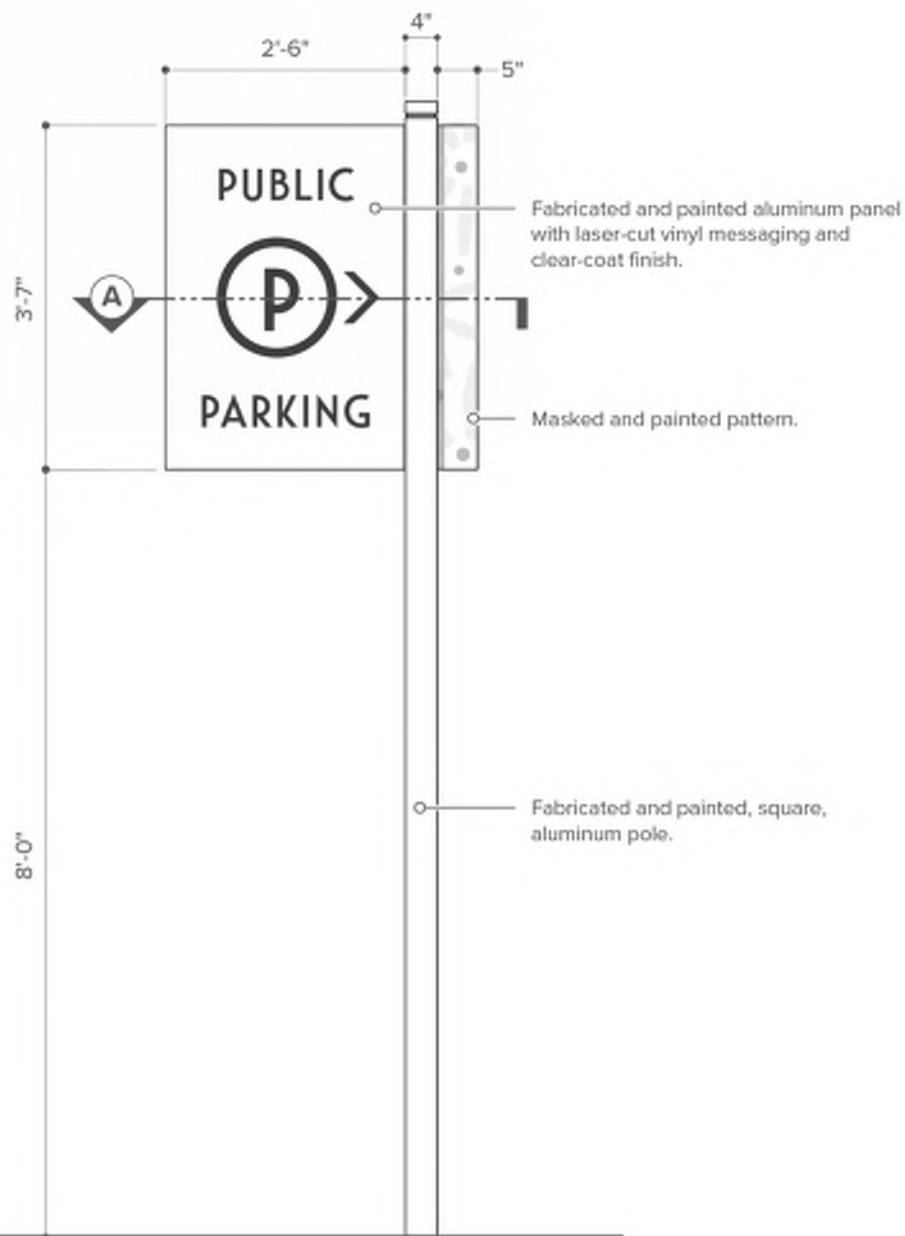
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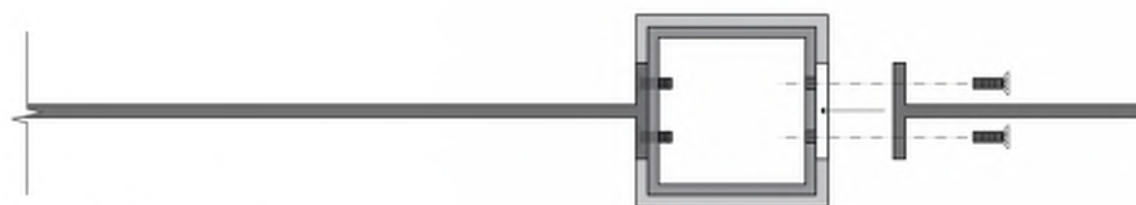
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4 Top View  
Scale: 1/2"=1'



1 Front View  
Scale: 1/2"=1'



A Section  
Scale: 3"=1'



2 Side View  
Scale: 1/2"=1'

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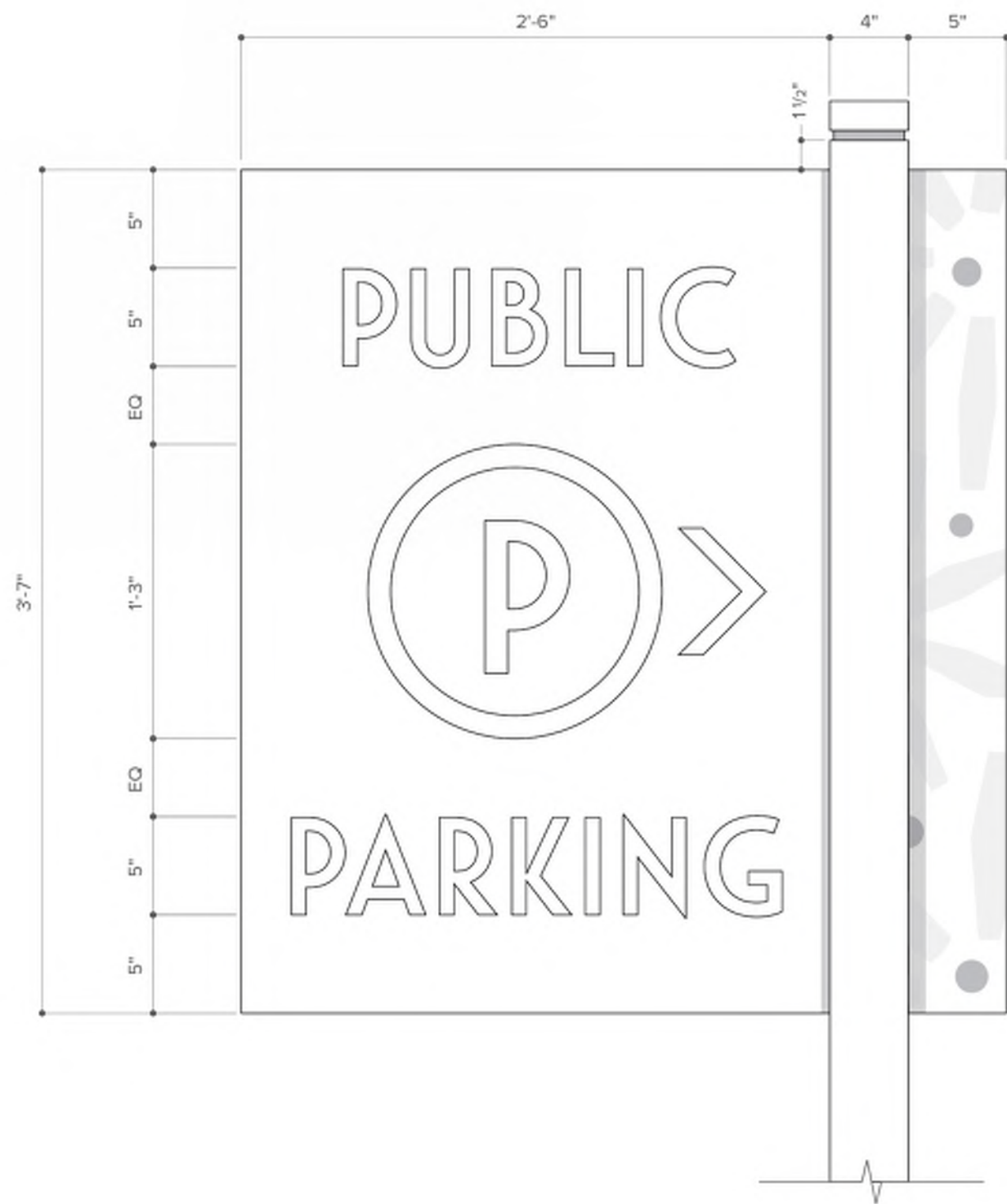
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1 Front View Detail  
Scale: 1/2"=1'

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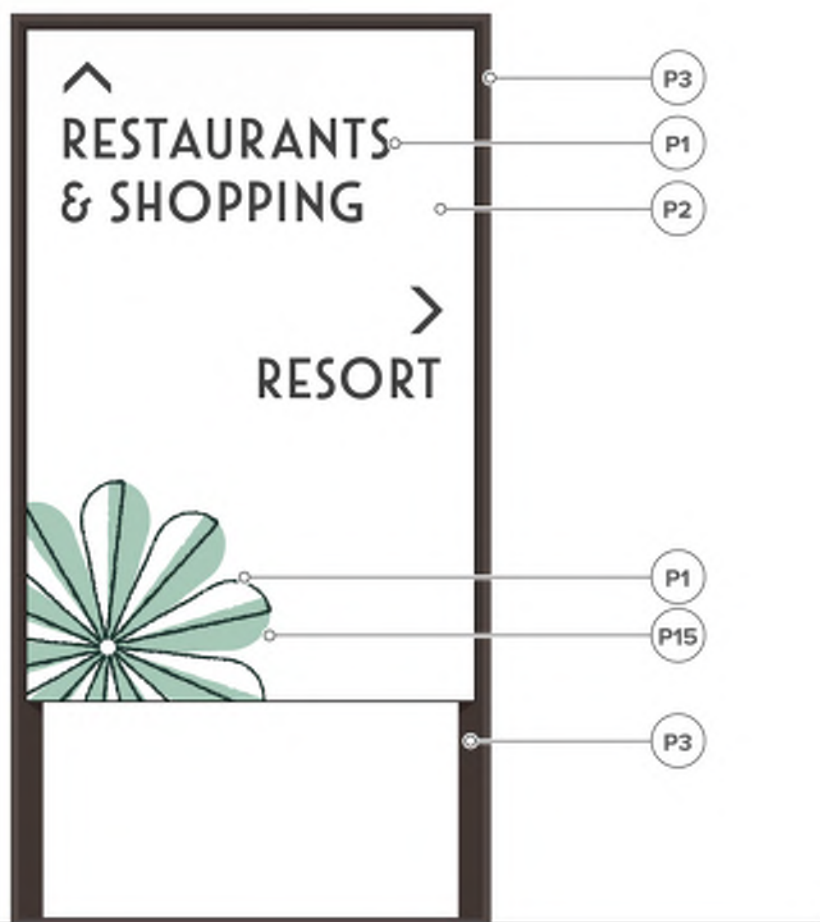
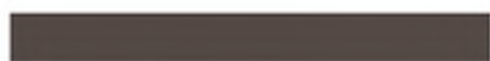
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3 Top View  
Scale: 1"=1'



1 Front View  
Scale: 1"=1'

2 Side View  
Scale: 1"=1'



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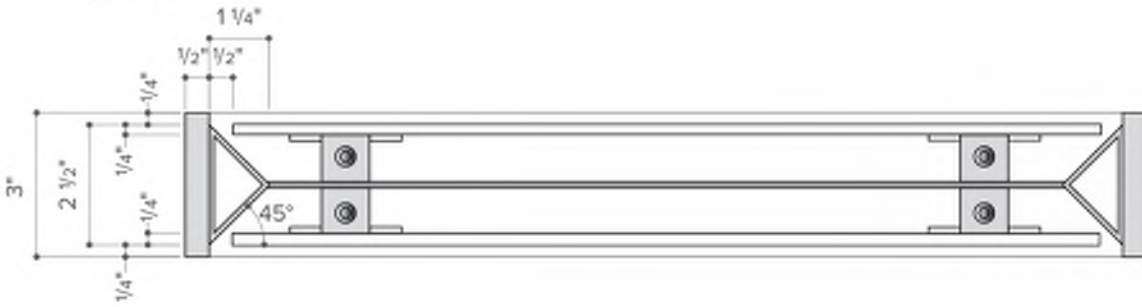
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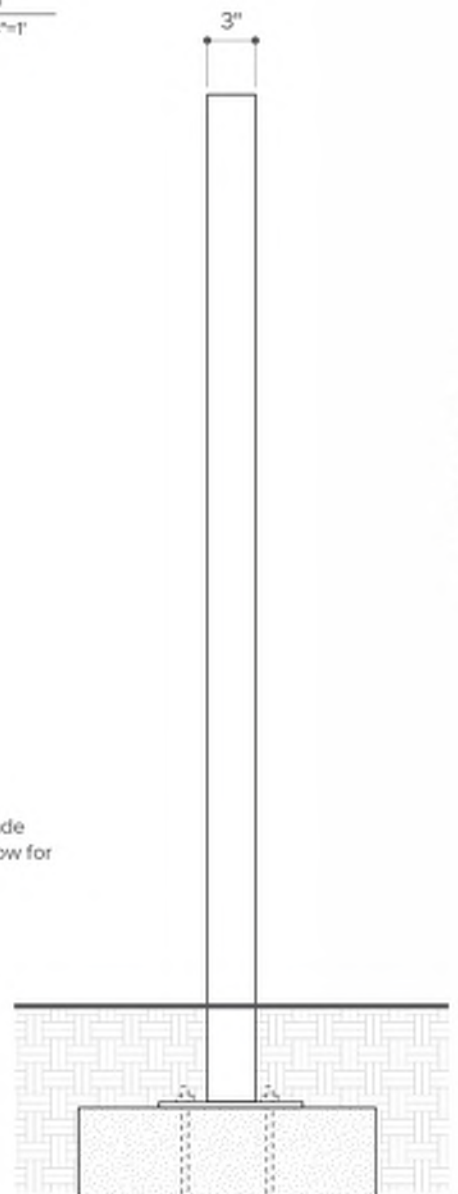
3 Top View  
Scale: 1"=1'



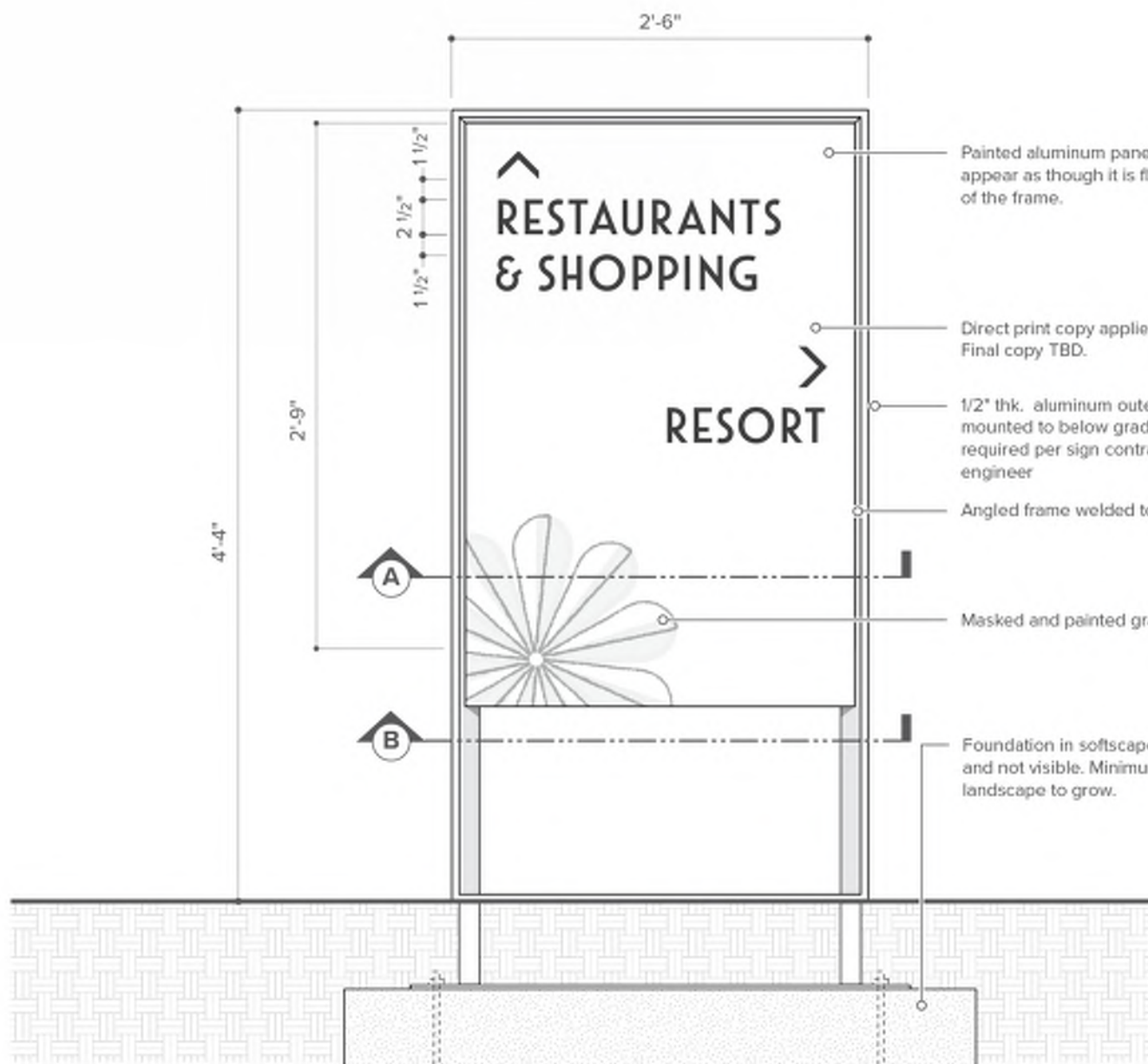
A Section  
Scale: 3"=1'



B Section  
Scale: 3"=1'



1 Front View  
Scale: 1"=1'



- Painted aluminum panel. Panel to appear as though it is floating inside of the frame.
- Direct print copy applied to surface. Final copy TBD.
- 1/2" thk. aluminum outer frame mounted to below grade footing as required per sign contractor's engineer
- Angled frame welded to outer frame
- Masked and painted graphic
- Foundation in softscape to be below grade and not visible. Minimum 6" below to allow for landscape to grow.



2 Side View  
Scale: 1"=1'

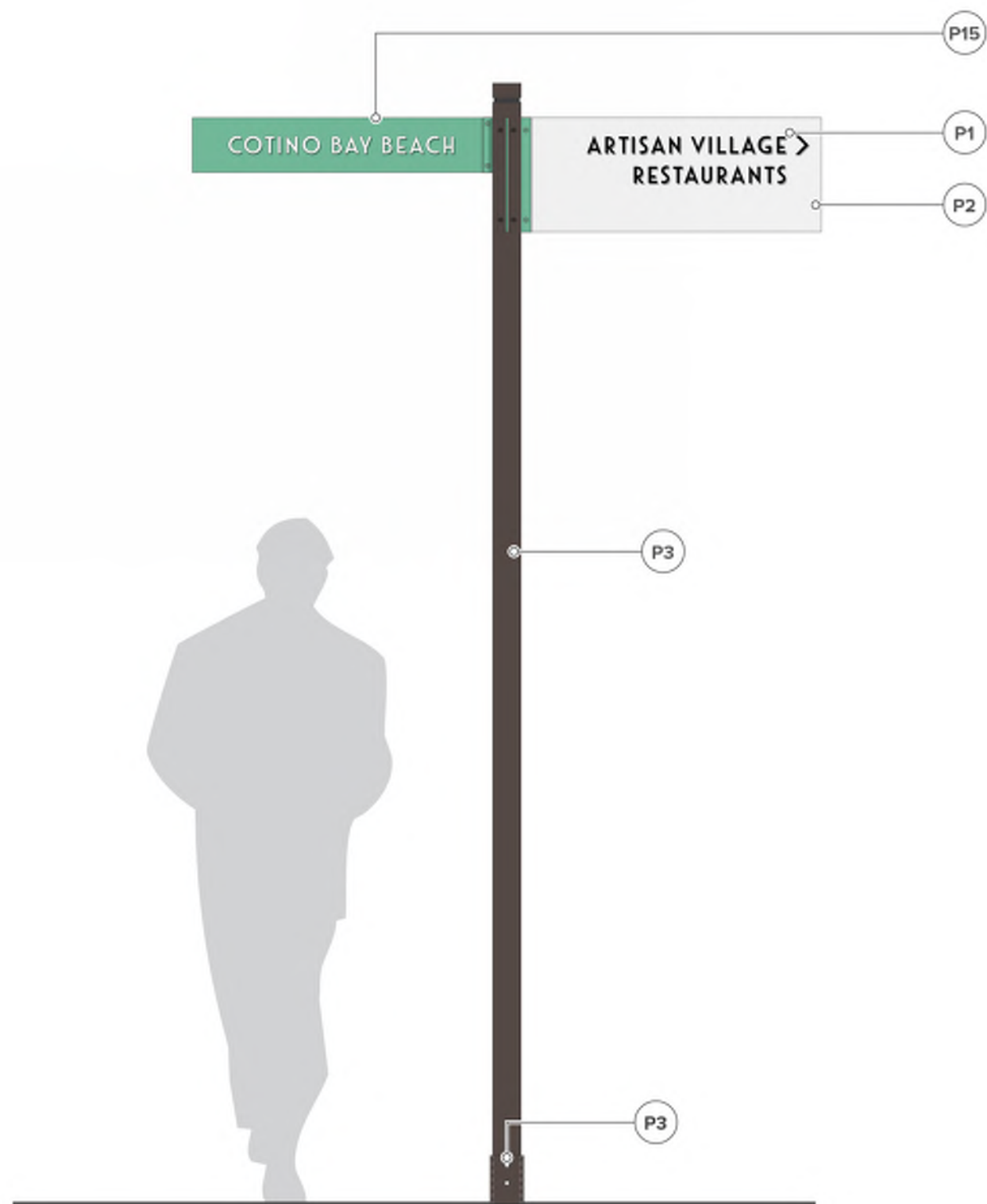
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1 Front View  
Scale: 3/4"=1'



2 Side View  
Scale: 3/4"=1'

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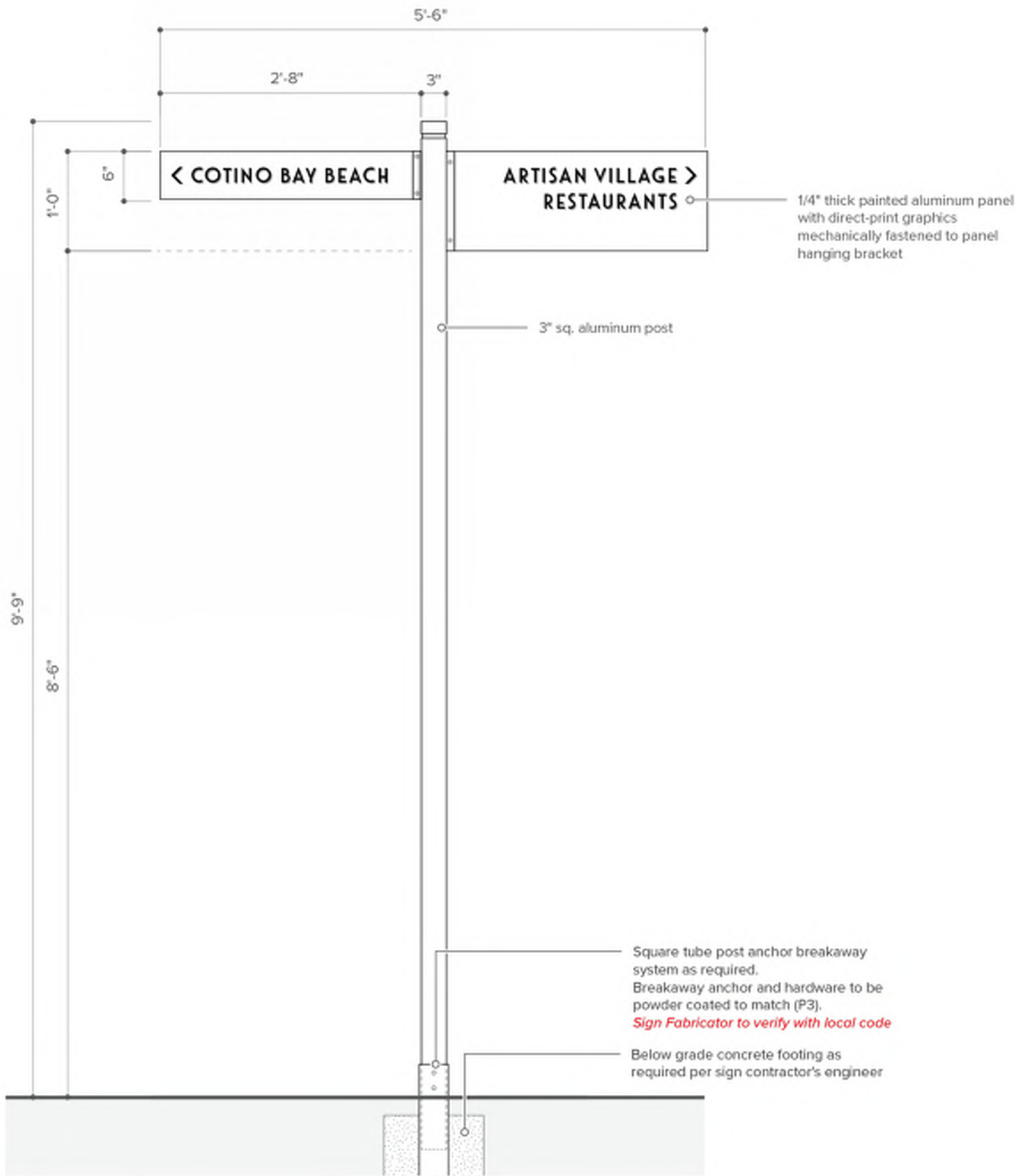
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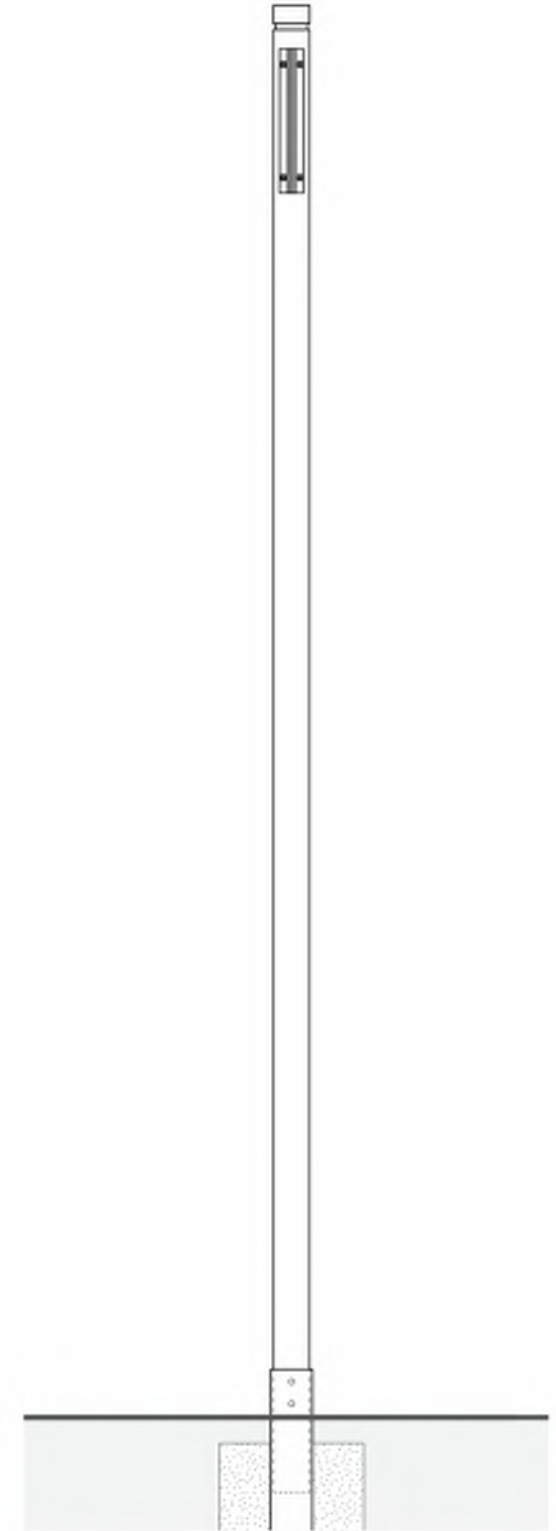
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1 Front View  
Scale: 3/4"=1'



2 Side View  
Scale: 3/4"=1'

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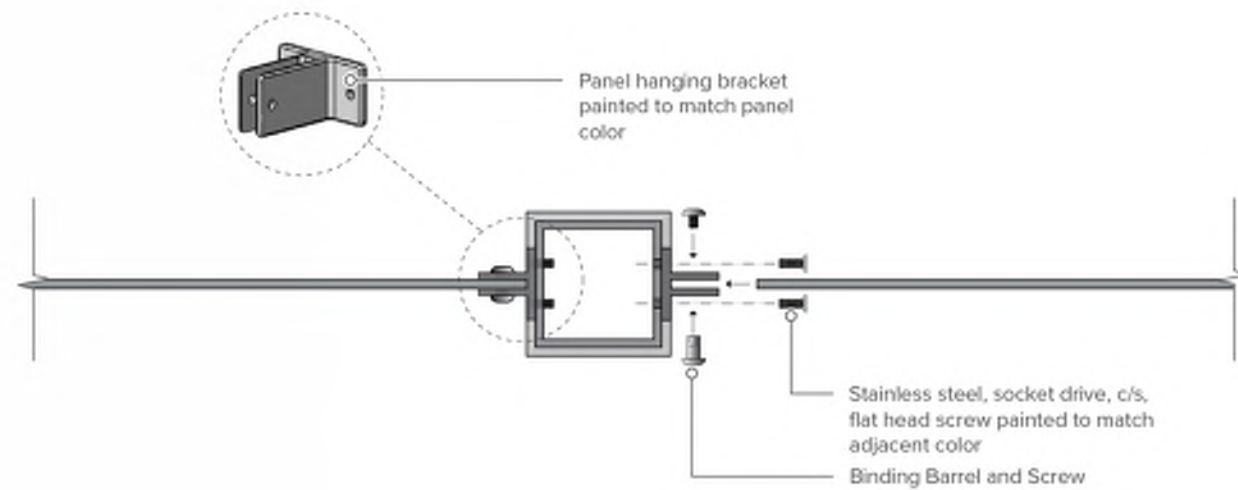
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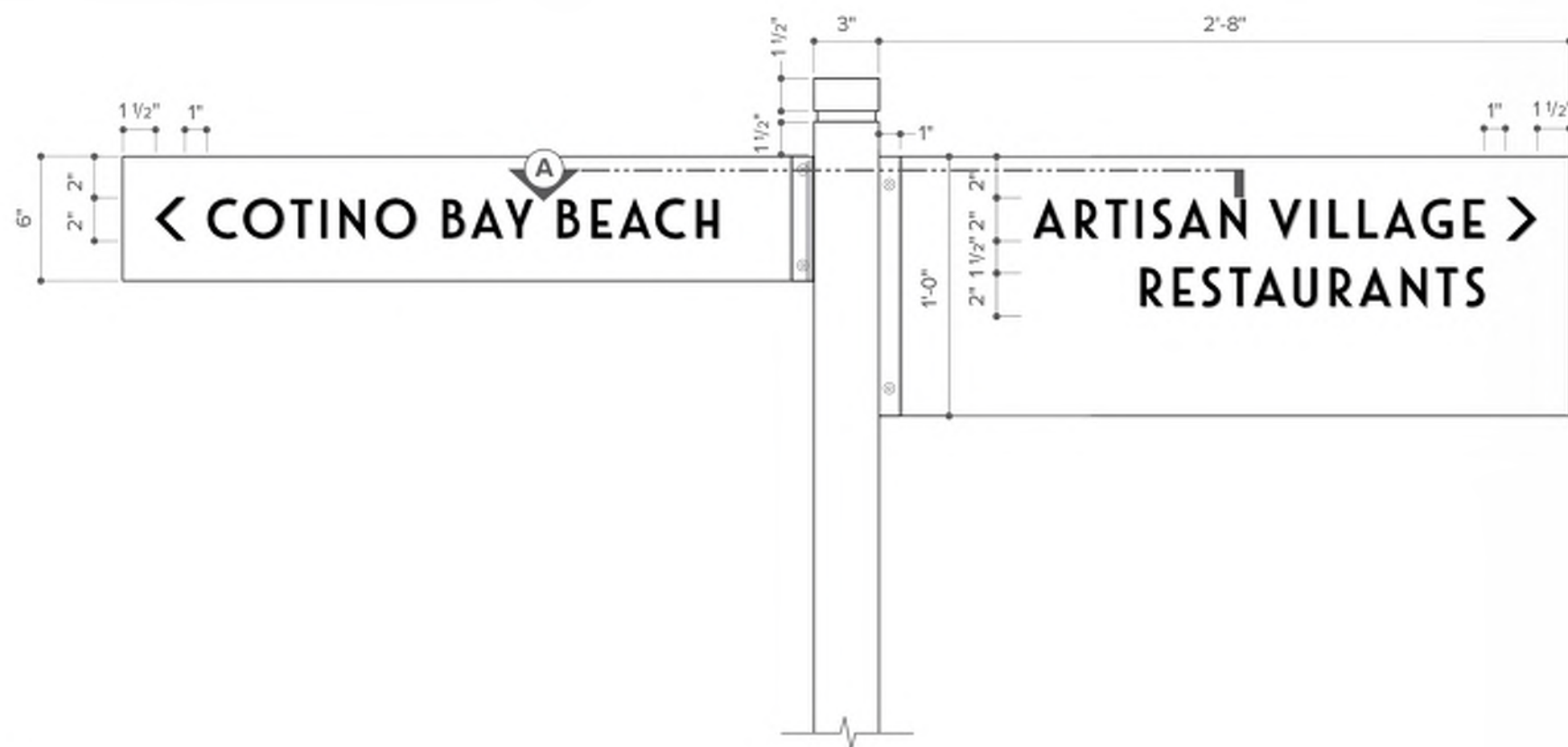
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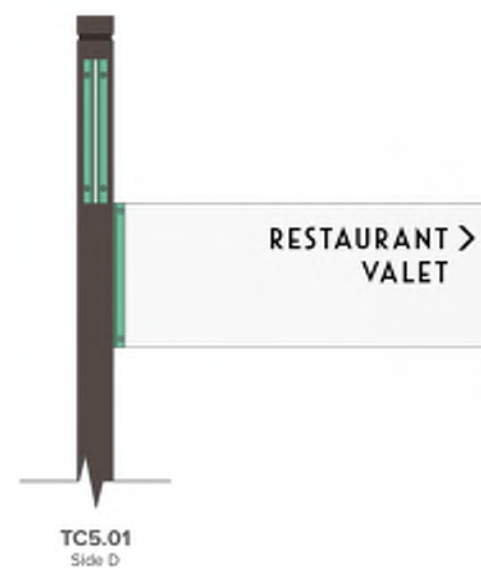
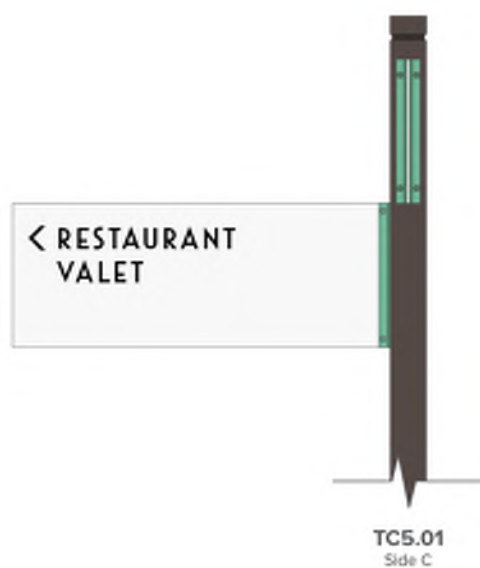
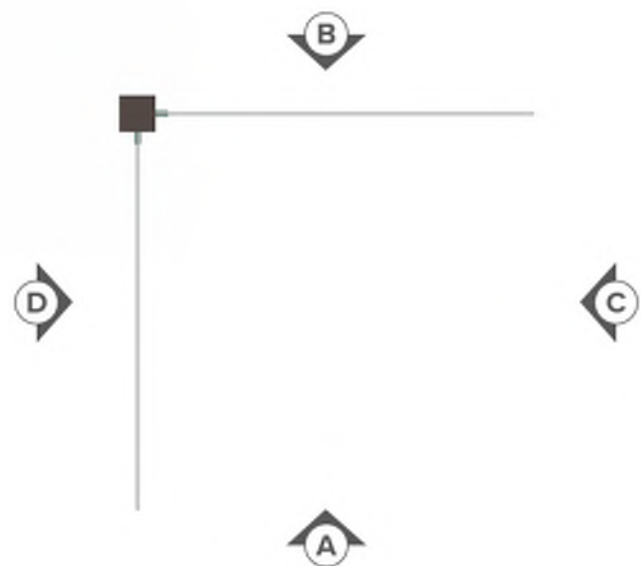


**A** Section  
Scale : 3"=1"



**1** Front View Detail  
Scale : 1 1/2"=1"

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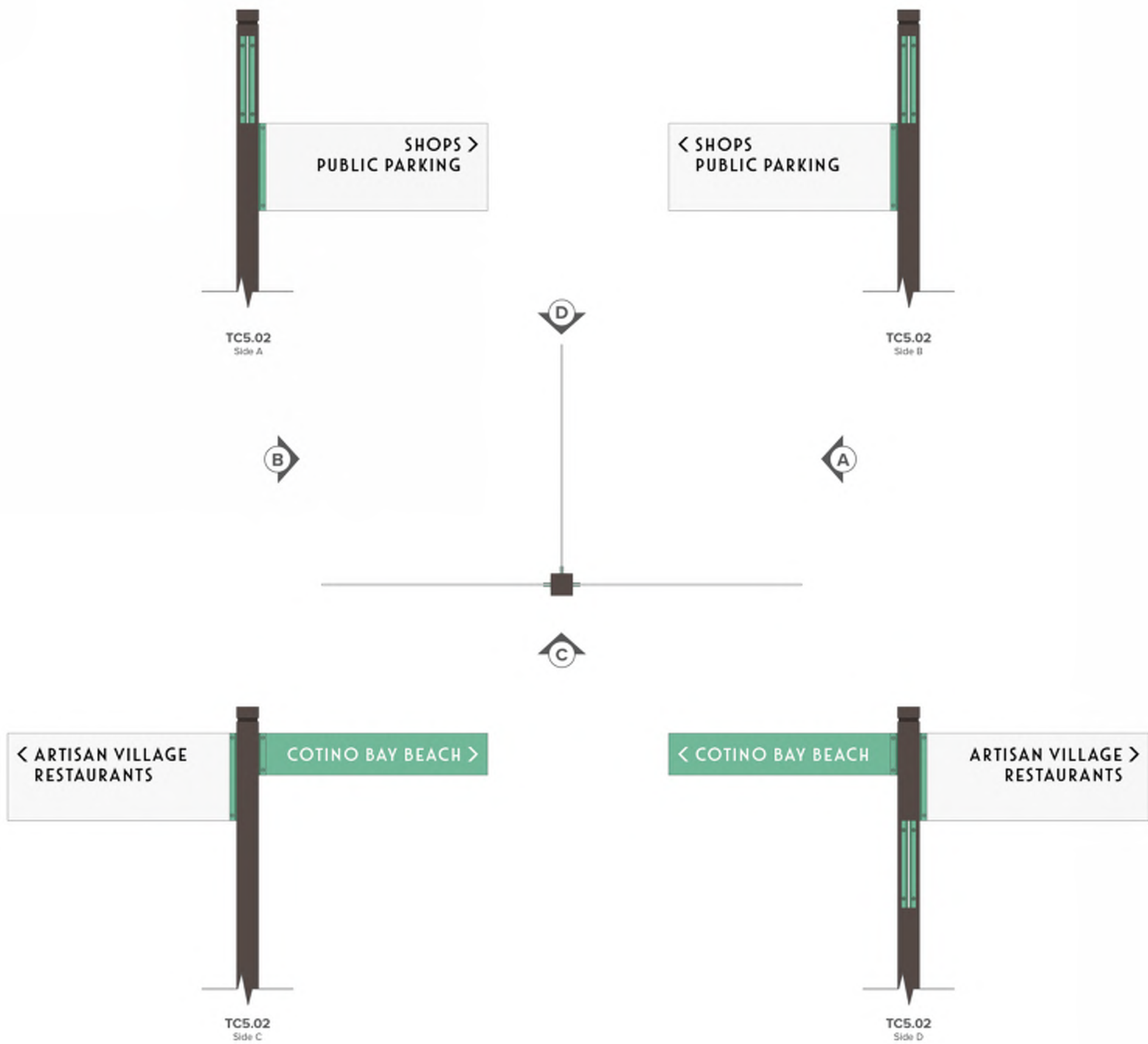
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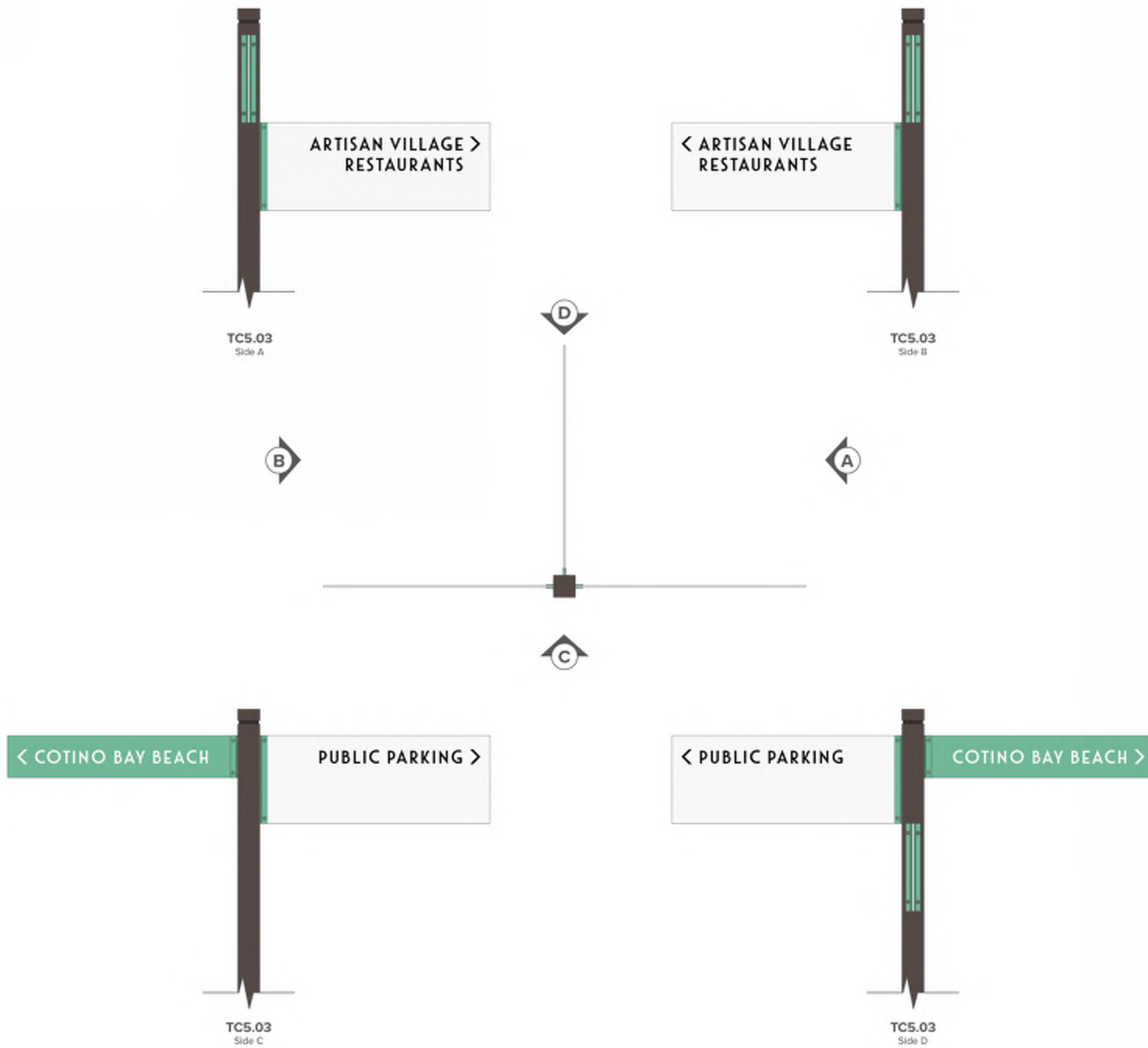
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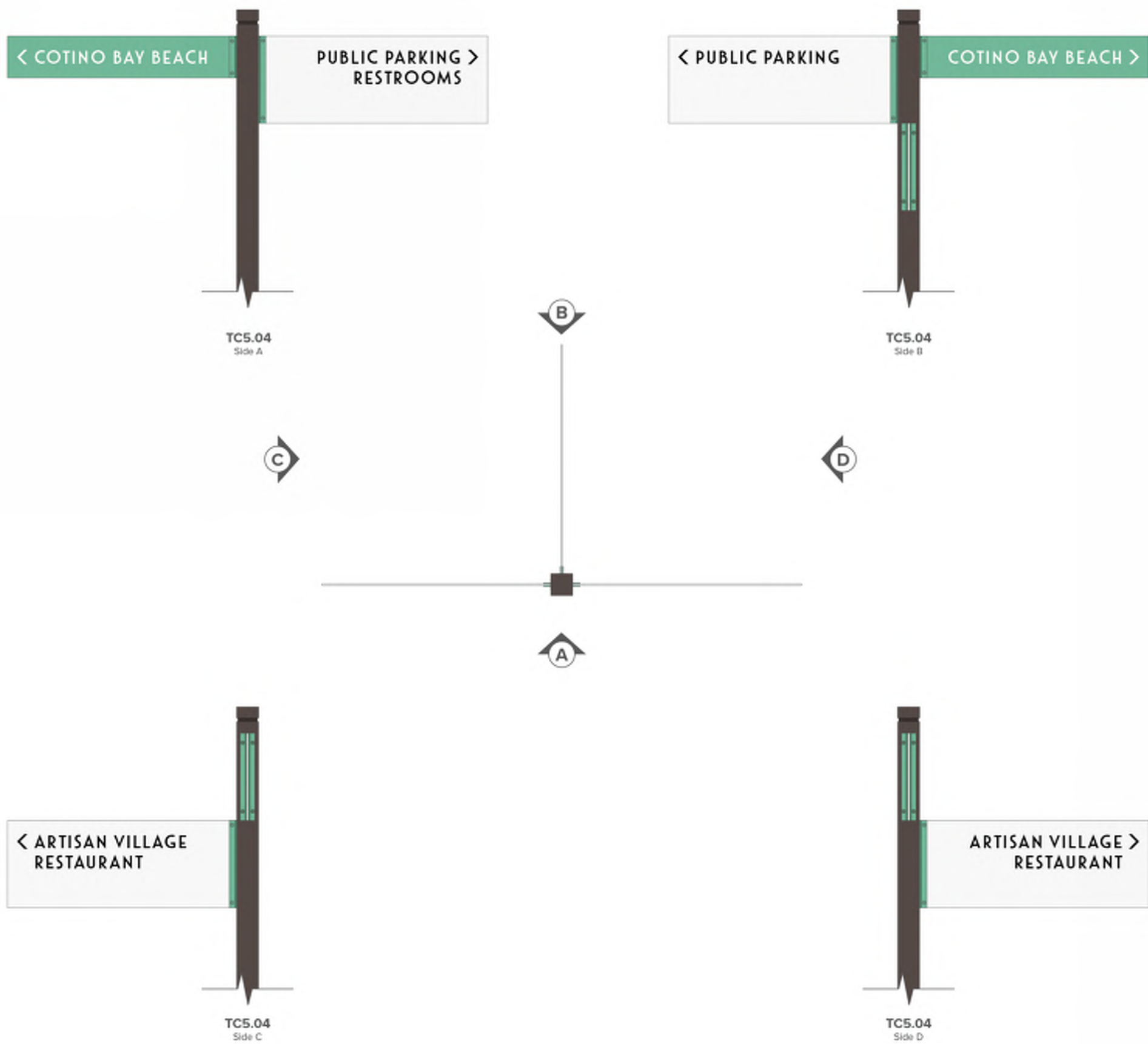


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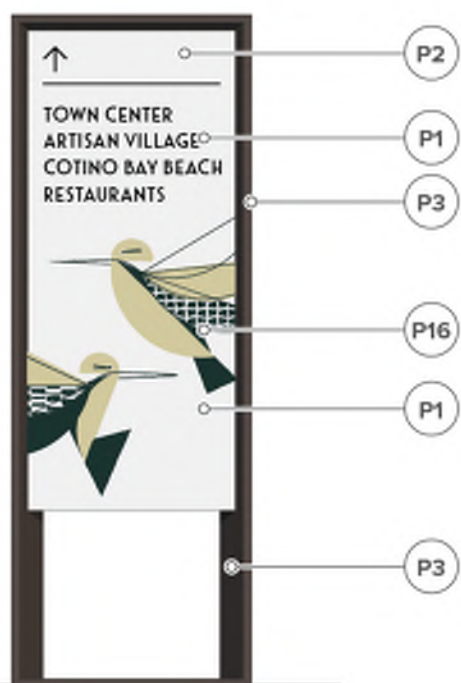
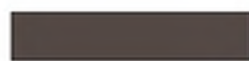
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4 Top View  
Scale : 1"=1'



1 Front View  
Scale : 1"=1'



2 Side View  
Scale : 1"=1'



3 Back View  
Scale : 1"=1'

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TC6 | Pedestrian Directional | Freestanding  
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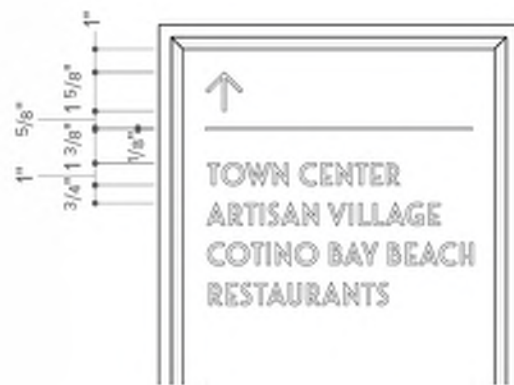
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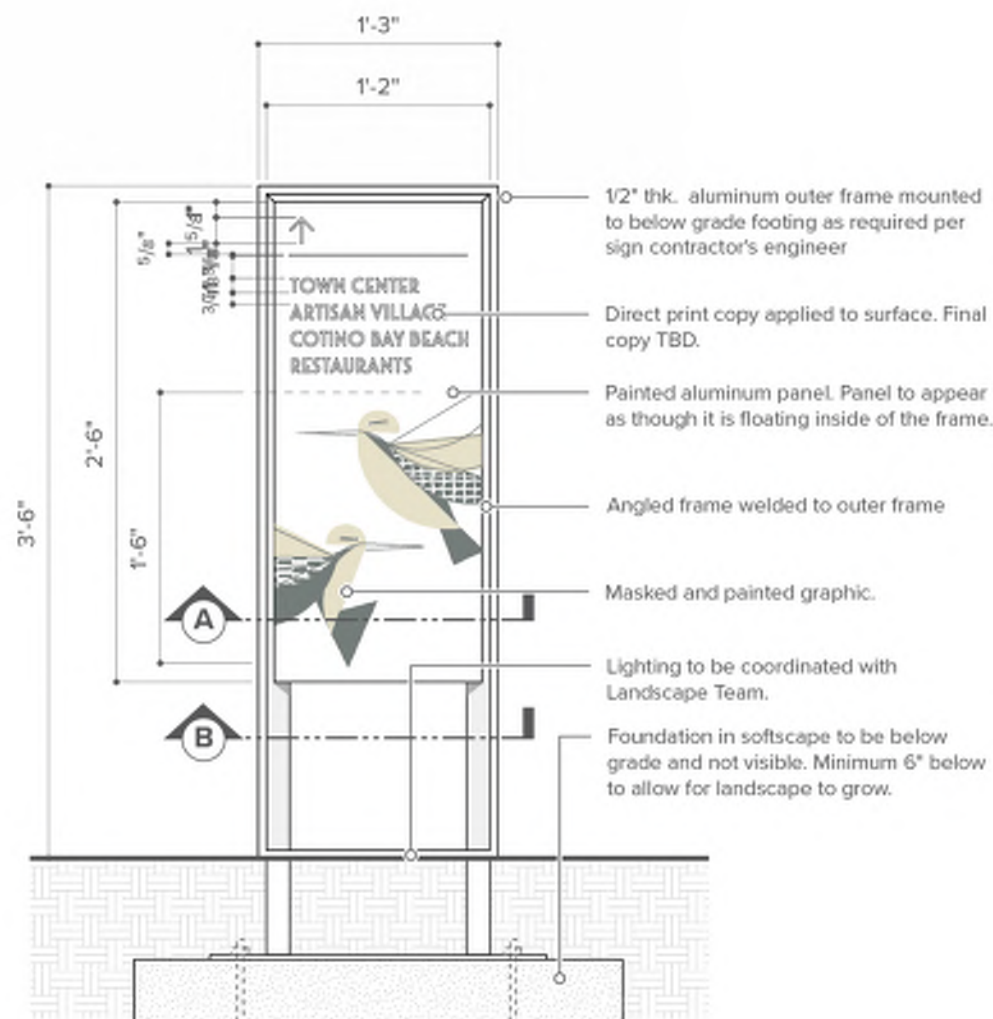
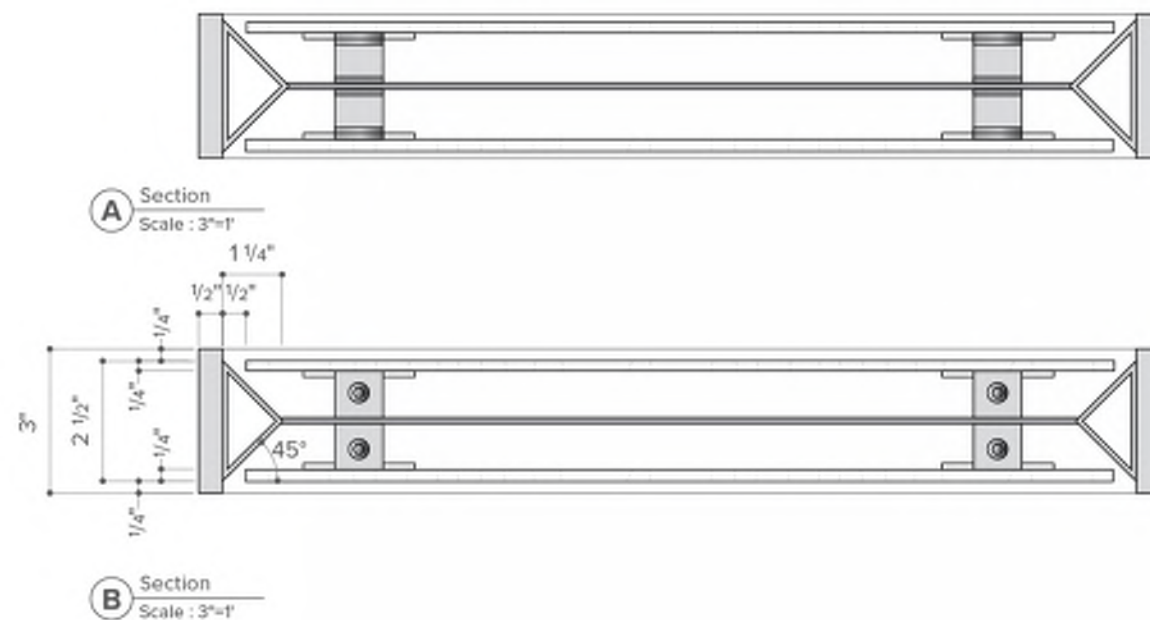
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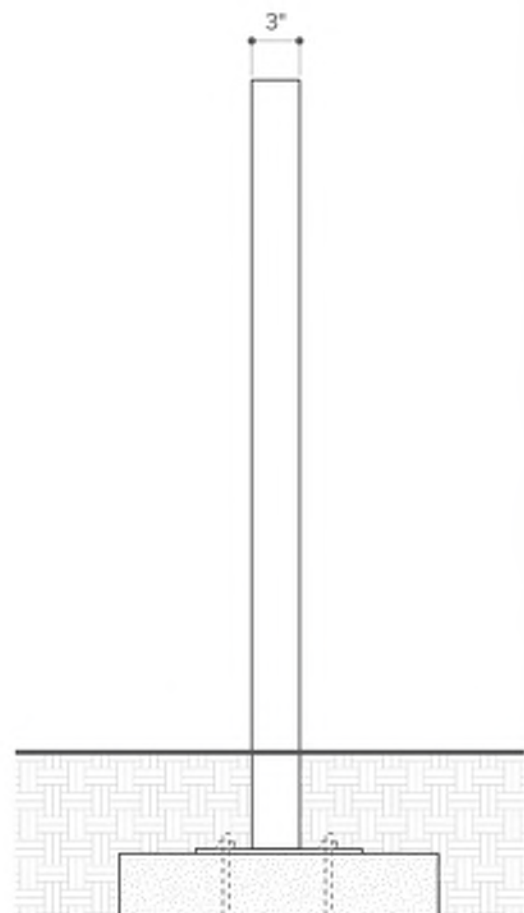
3 Top View  
Scale : 1"=1'



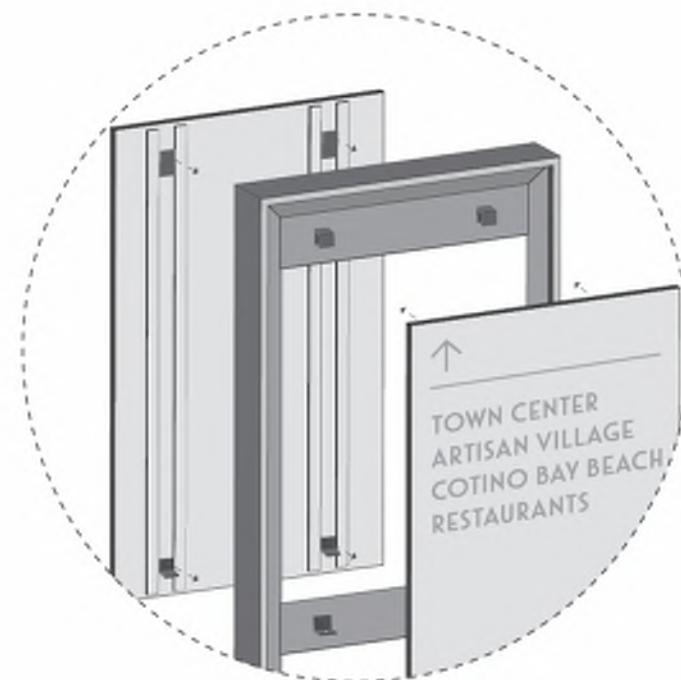
4 Front View Detail  
Scale : 1 1/2"=1'



1 Front View  
Scale : 1"=1'



2 Side View  
Scale : 1"=1'



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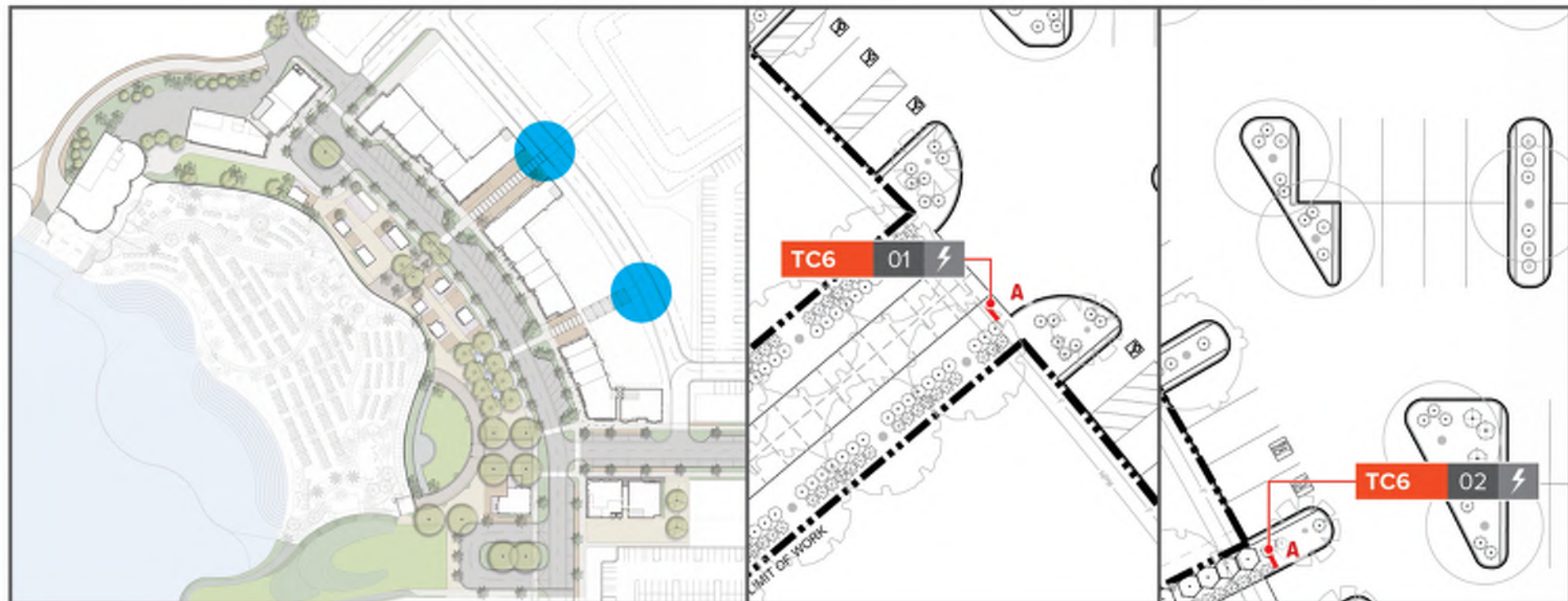
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1 Front View  
Scale : 3/4"=1'



2 Reverse View  
Scale : 3/4"=1'

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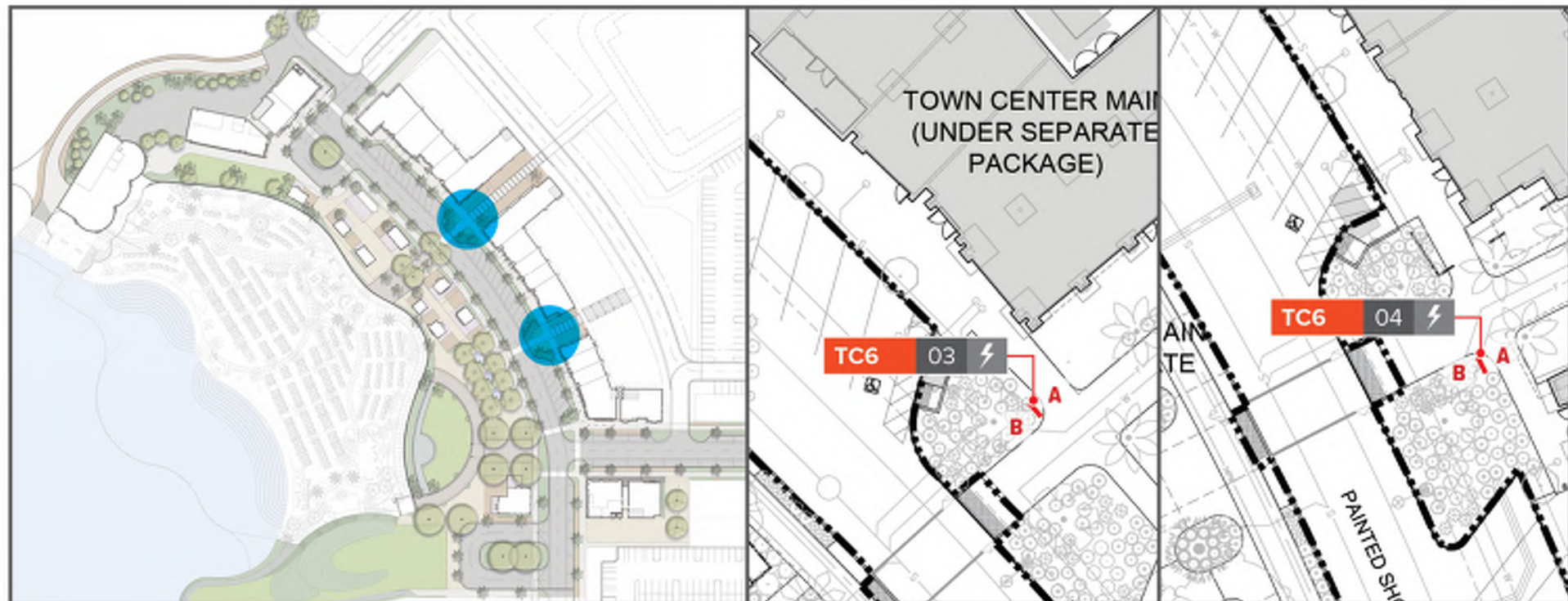
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1 Front View  
Scale : 3/4"=1'



2 Reverse View  
Scale : 3/4"=1'

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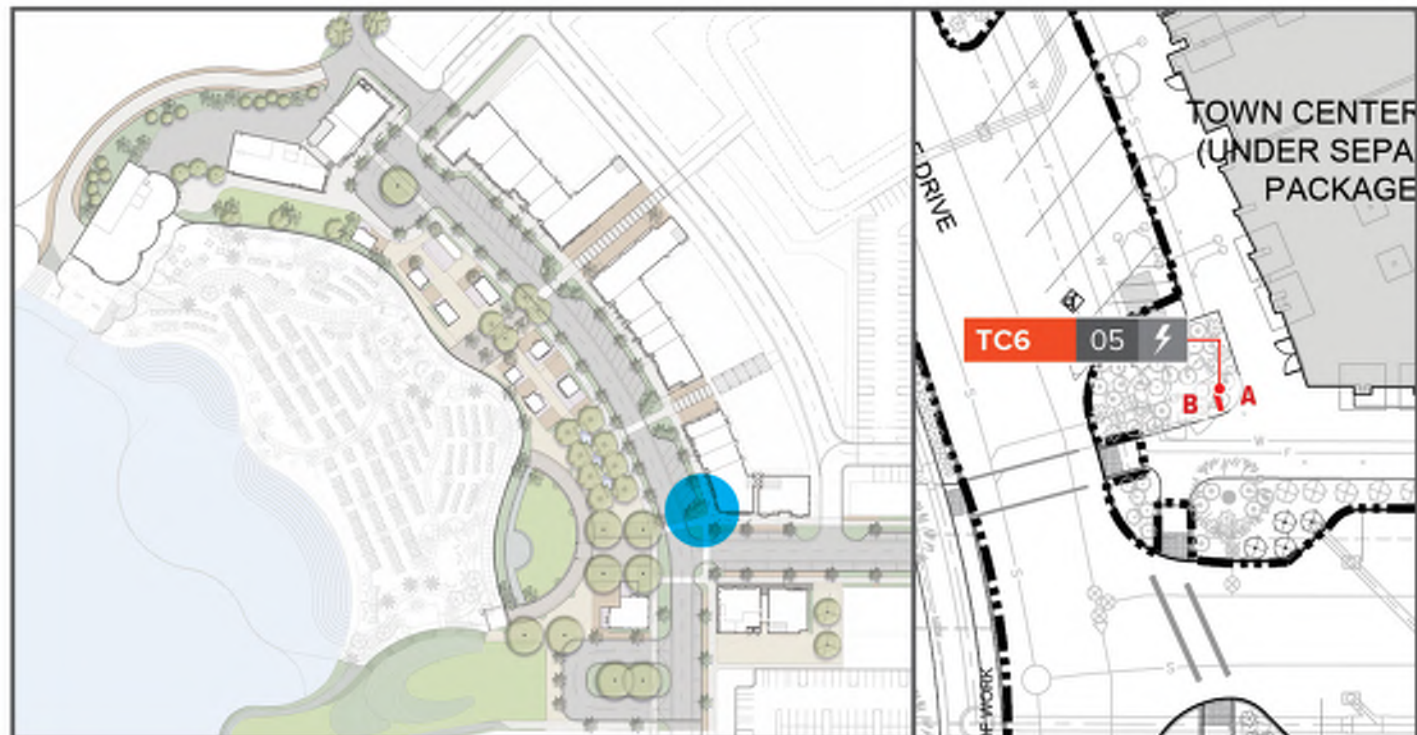
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1 Front View  
Scale : 3/4"=1'



2 Reverse View  
Scale : 3/4"=1'

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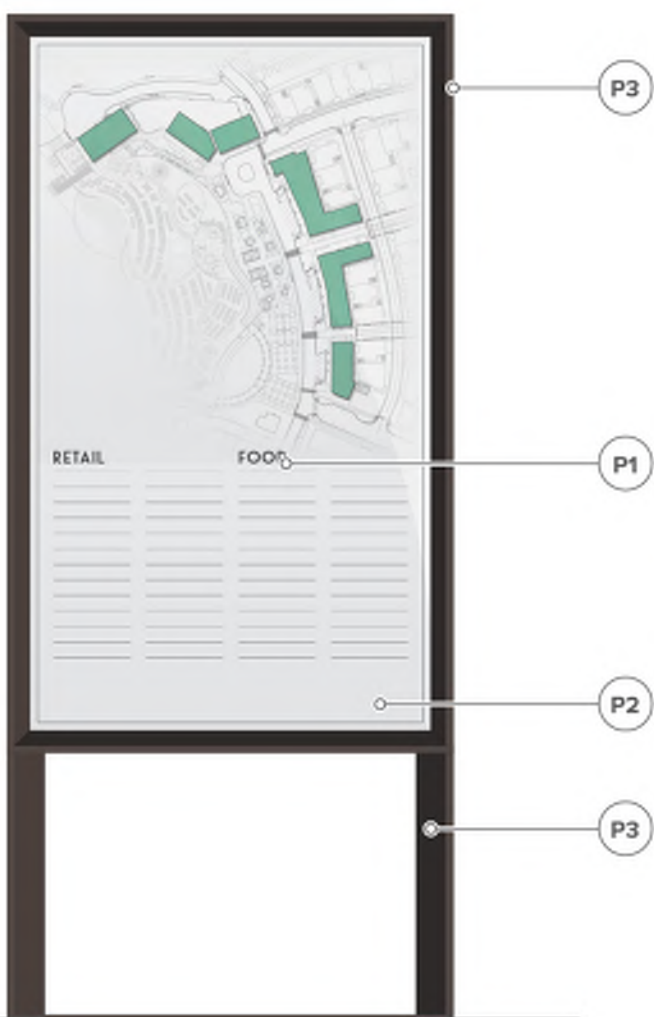
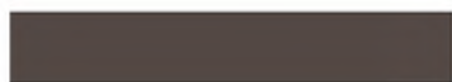
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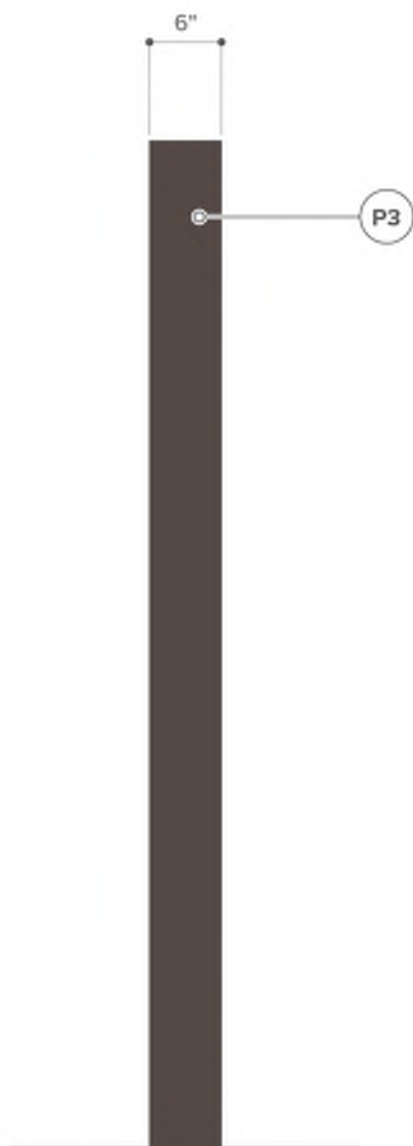
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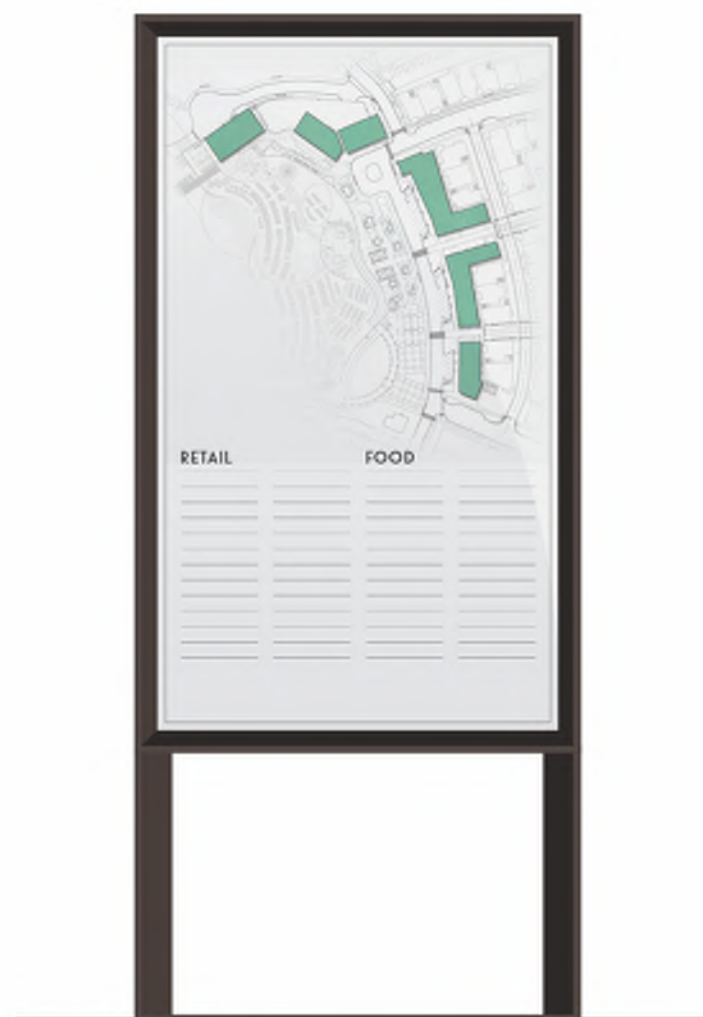
4 Top View  
Scale : 3/4"=1'



1 Front View  
Scale : 3/4"=1'



2 Side View  
Scale : 3/4"=1'



3 Back View  
Scale : 3/4"=1'

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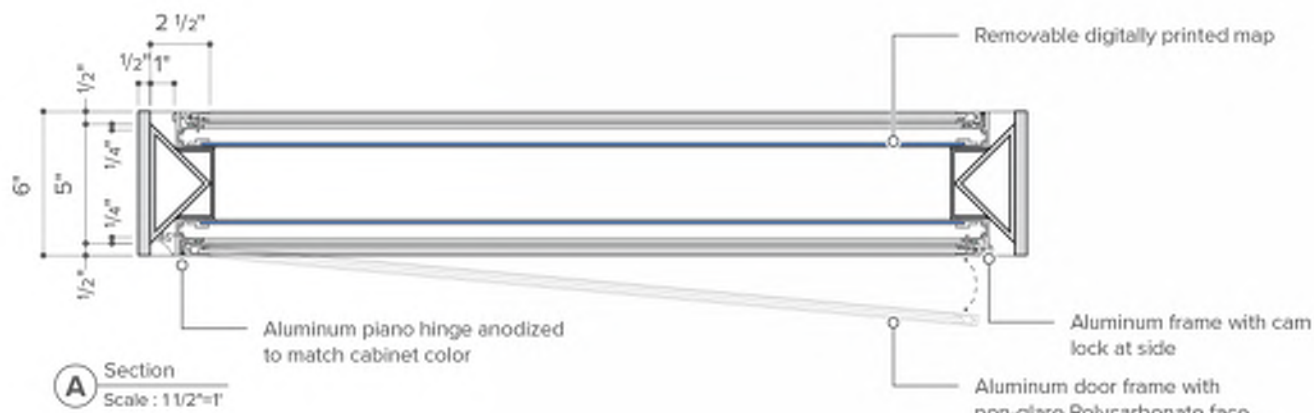
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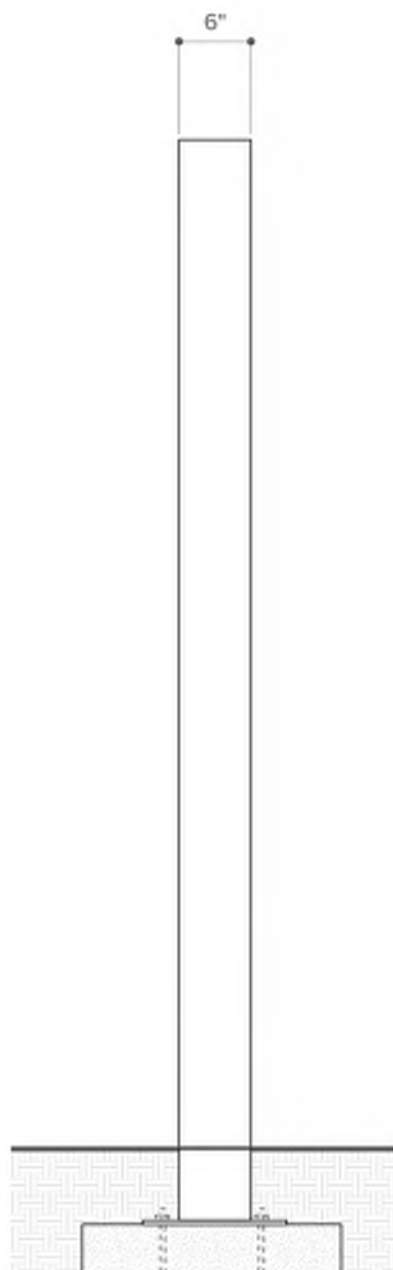
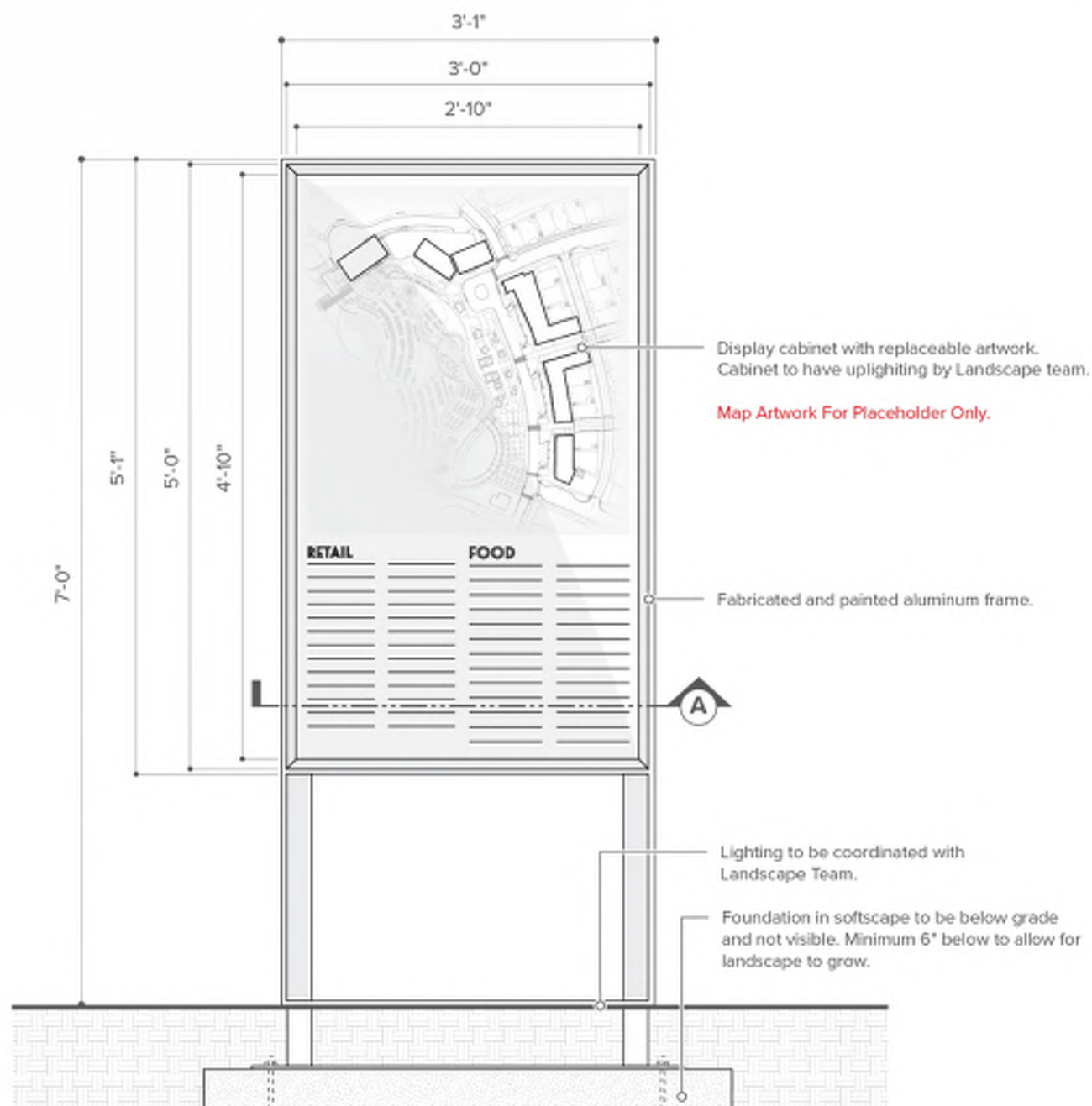
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3 Top View  
Scale: 3/4"=1'



A Section  
Scale: 1 1/2"=1'

1 Front View  
Scale: 3/4"=1'



2 Side View  
Scale: 3/4"=1'

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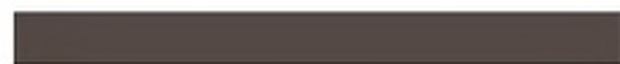
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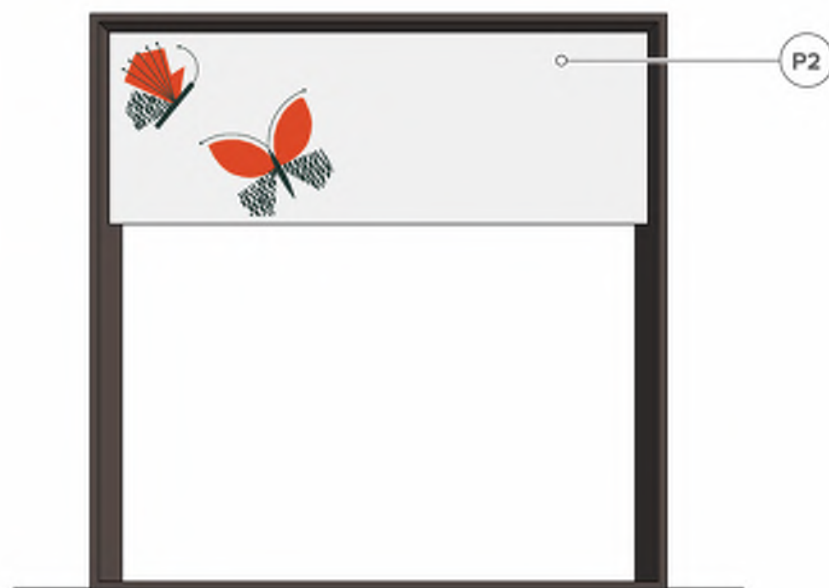
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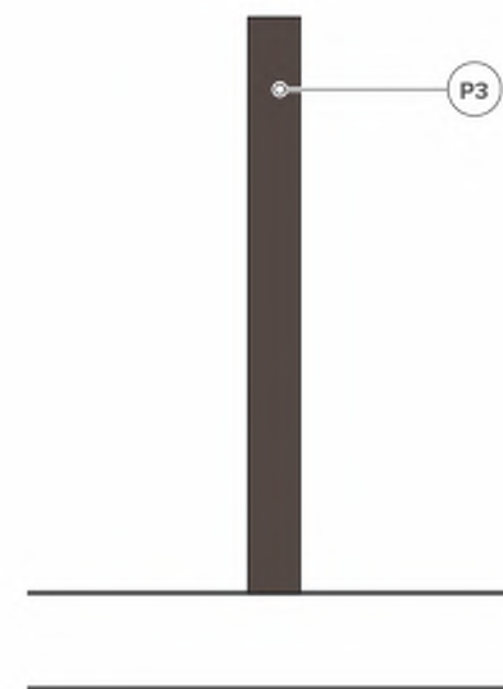
3 Top View  
Scale : 1"=1'



1 Front View  
Scale : 1"=1'



4 Back View  
Scale : 1"=1'



2 Side View  
Scale : 1"=1'

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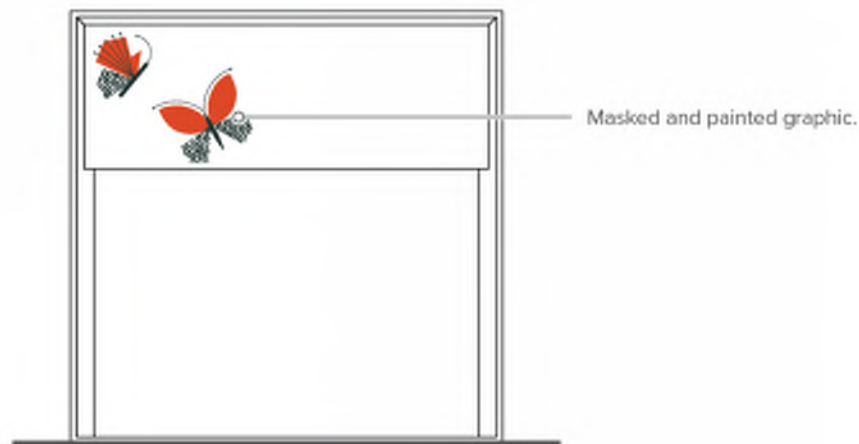
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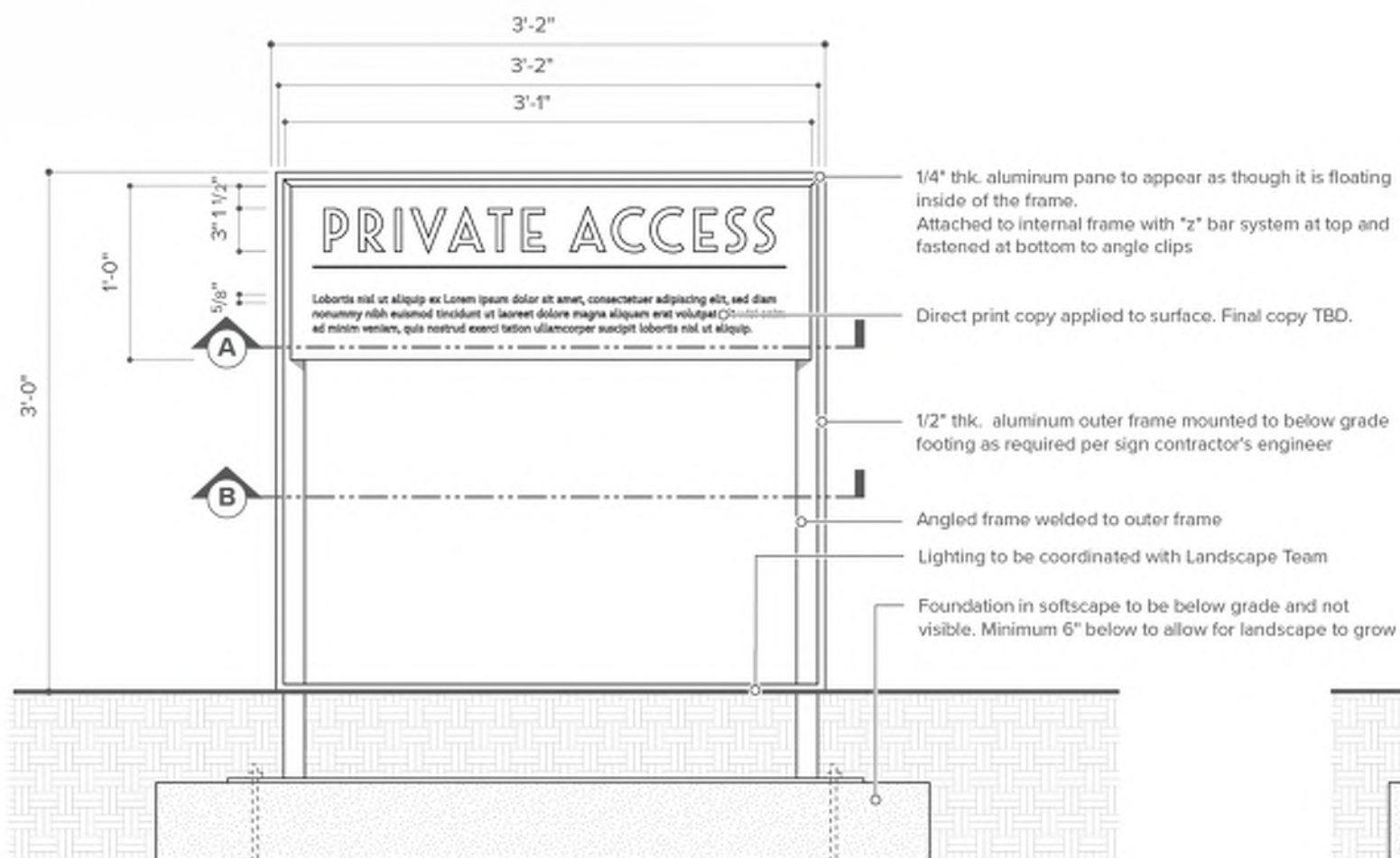


Masked and painted graphic.

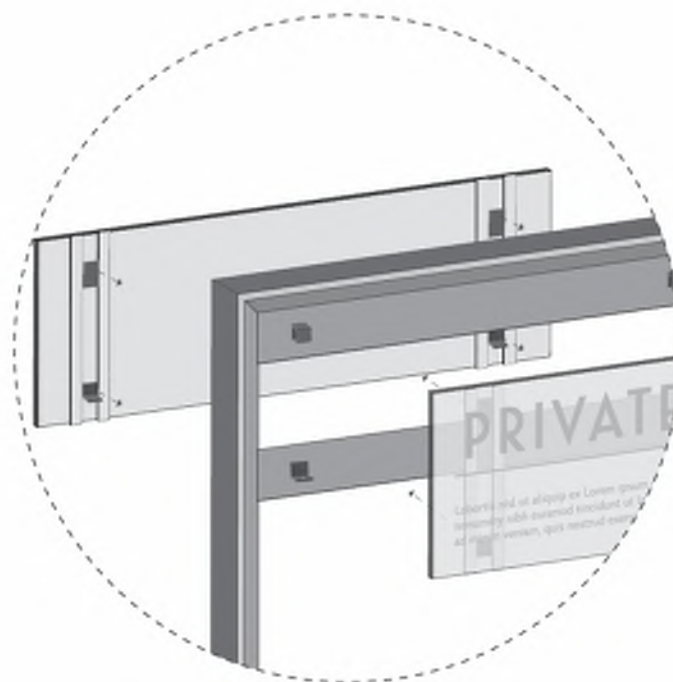
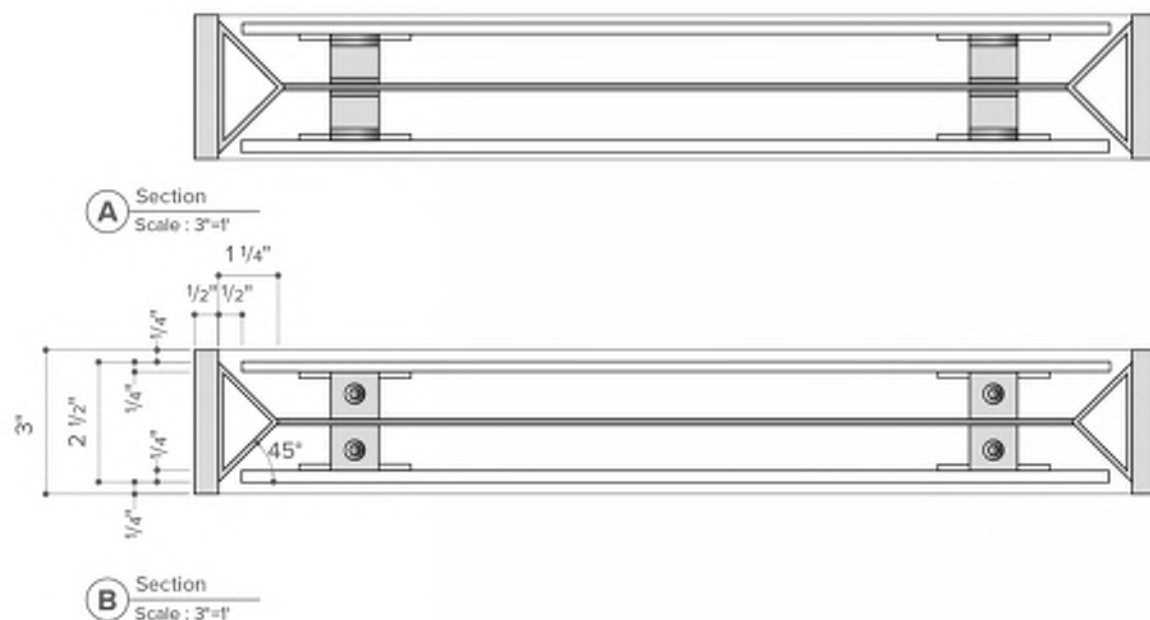
4 Back View  
Scale: 3/4"=1'



3 Top View  
Scale: 1"=1'



1 Front View  
Scale: 1"=1'



2 Side View  
Scale: 1"=1'

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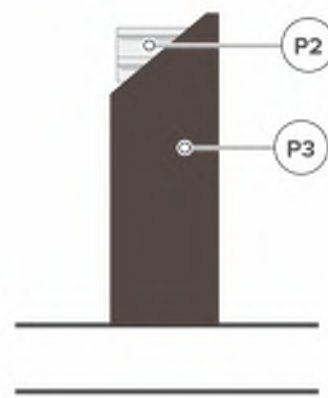
4 Night View  
Scale : 3/4"=1'



3 Top View  
Scale : 3/4"=1'



1 Front View  
Scale : 3/4"=1'



2 Side View  
Scale : 3/4"=1'

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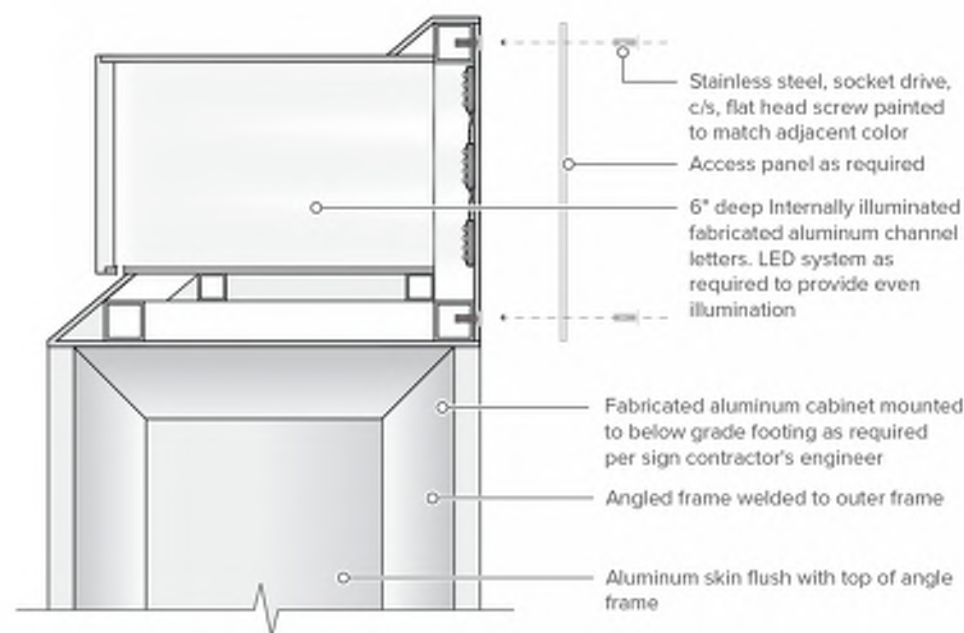
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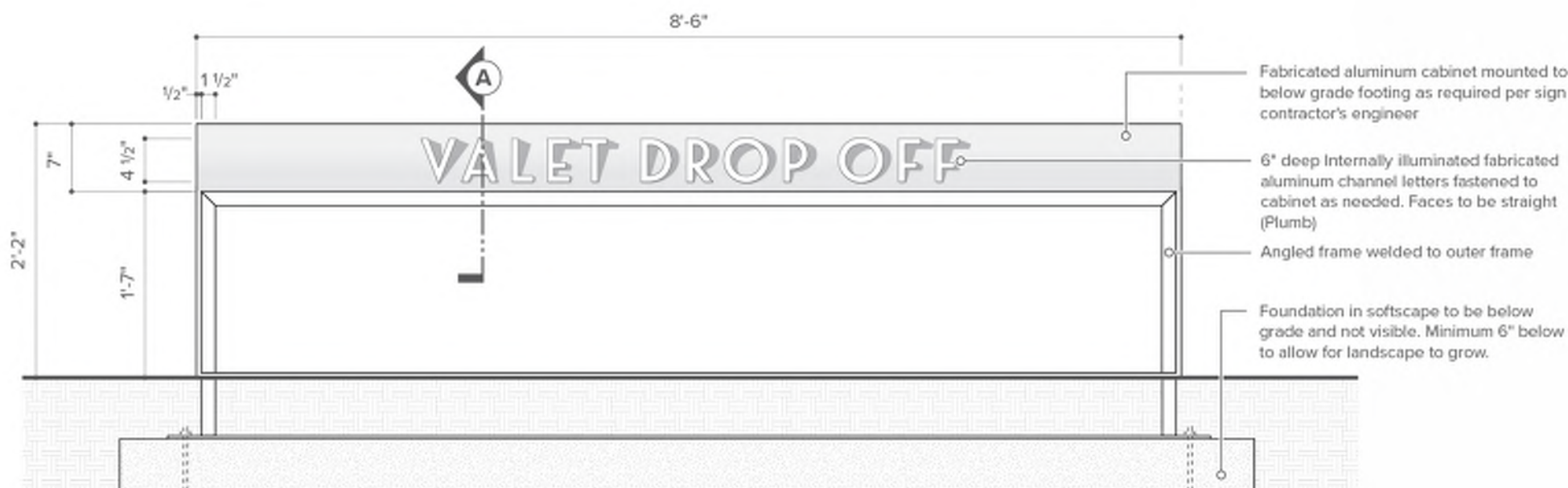
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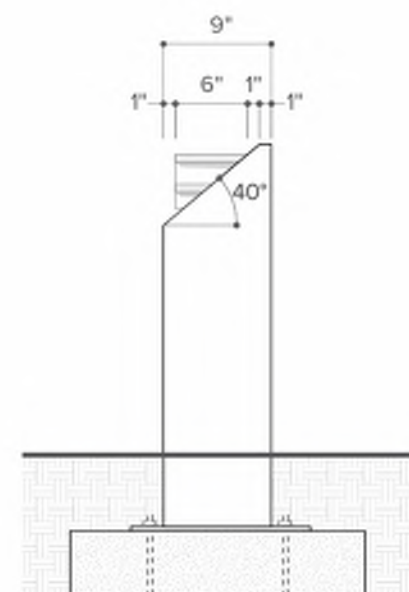
3 Top View  
Scale : 3/4"=1"



A Section  
Scale : 3"=1"



1 Front View  
Scale : 3/4"=1"



2 Side View  
Scale : 3/4"=1"

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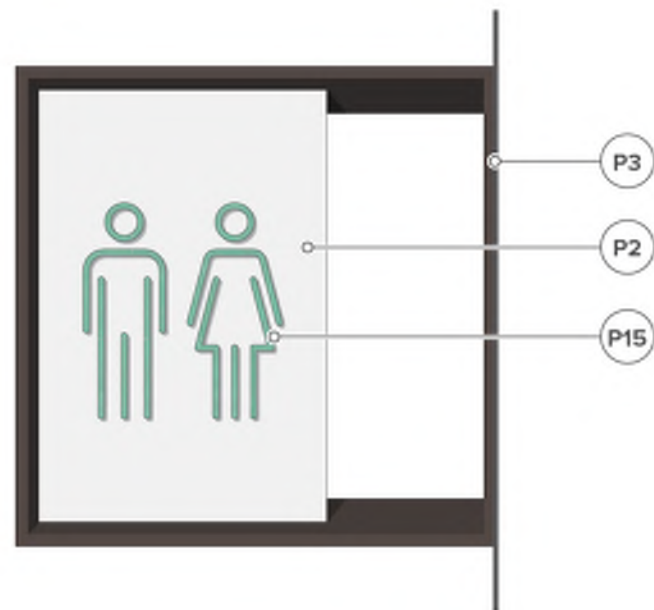
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4 Top View  
Scale: 1 1/2"=1'



5 Location Elevation  
Scale: 3/8"=1'



1 Front View  
Scale: 1 1/2"=1'



2 Side View  
Scale: 1 1/2"=1'



3 Reverse View  
Scale: 1 1/2"=1'

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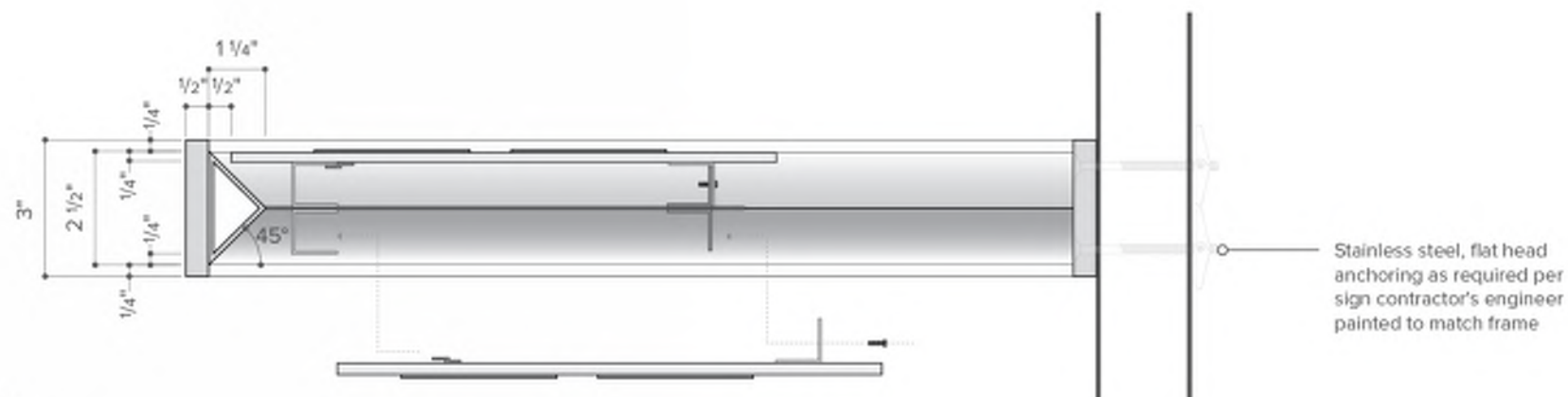
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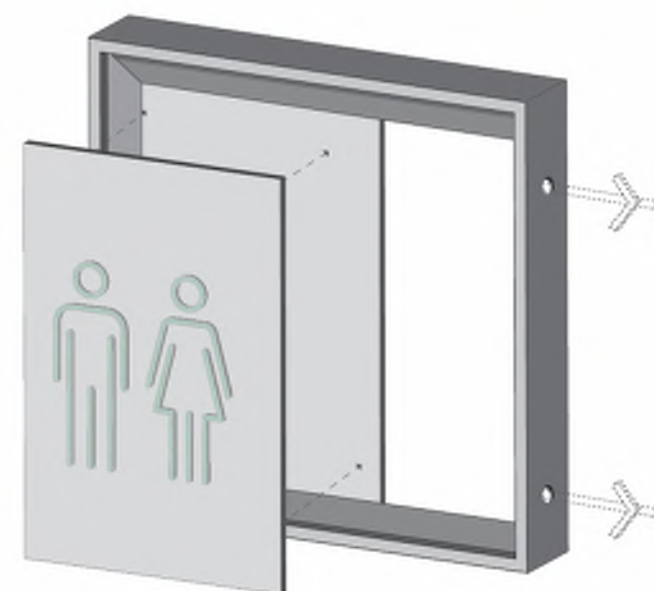
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**A** Section  
Scale: 3"=1"

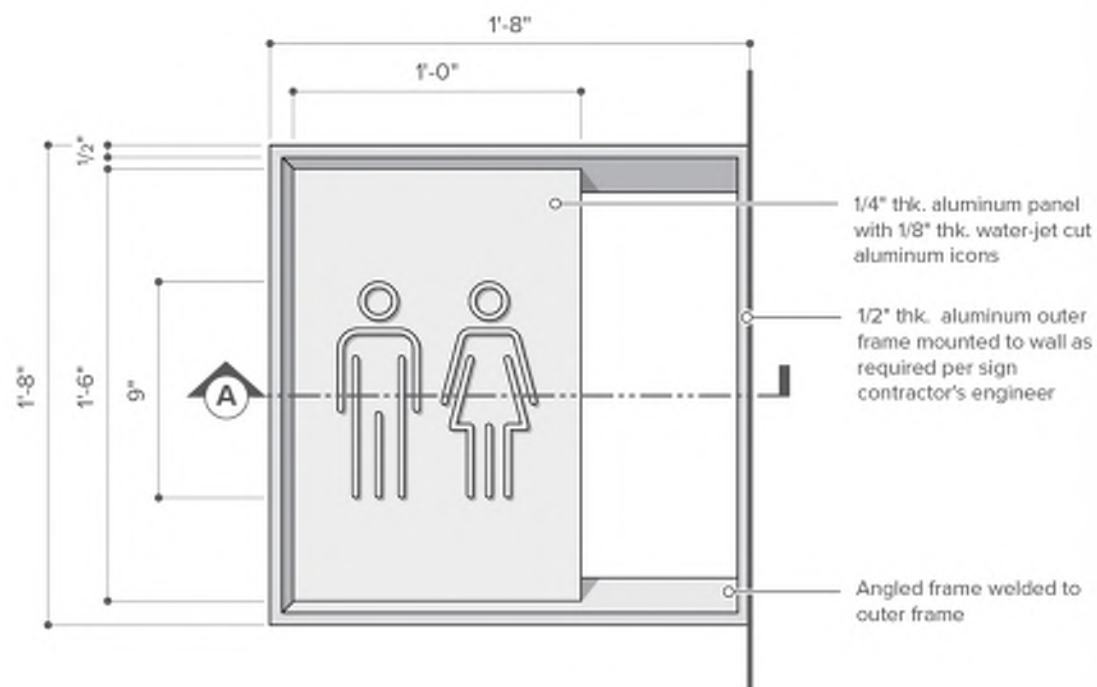
Stainless steel, flat head anchoring as required per sign contractor's engineer painted to match frame



**3** ISO View  
Scale: 1 1/2"=1"



**1** Side View  
Scale: 1 1/2"=1"



**2** Front View  
Scale: 1 1/2"=1"

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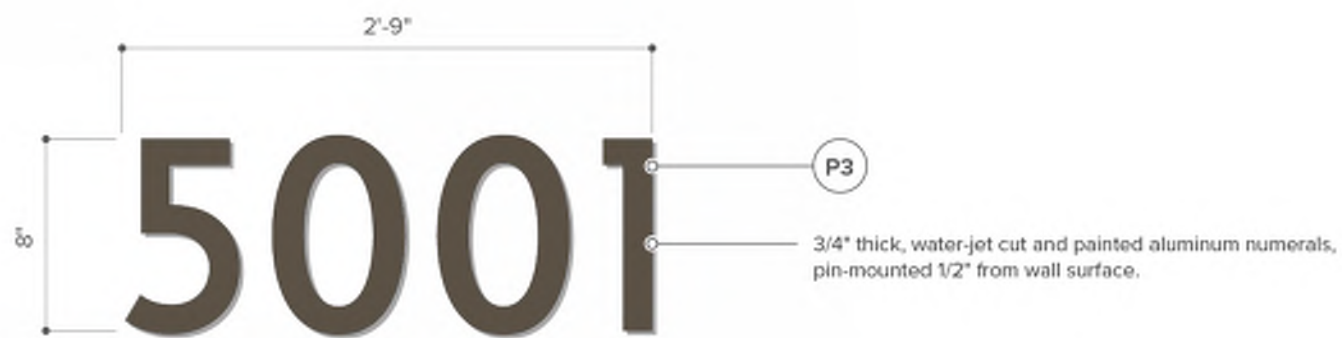
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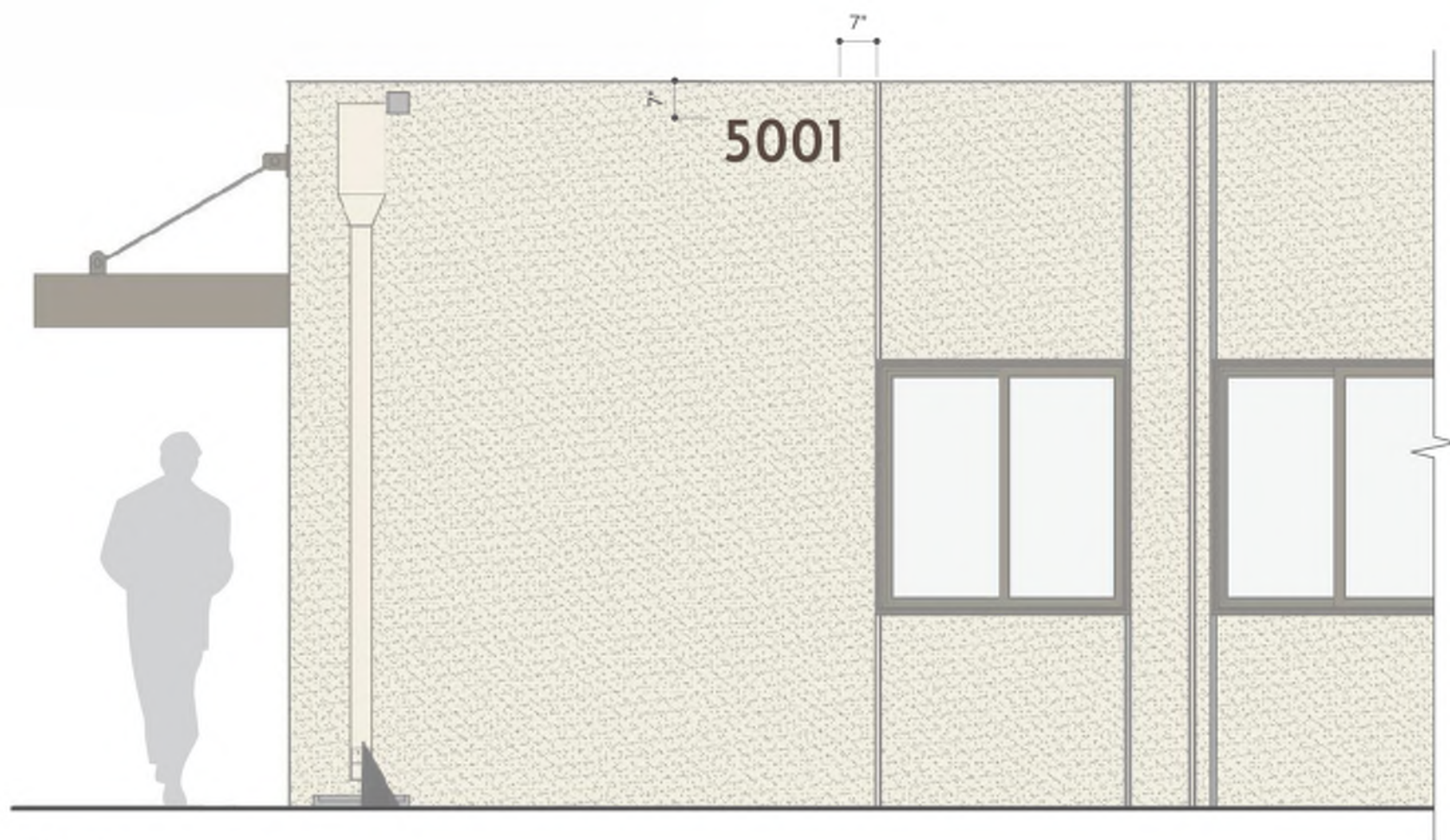
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1 Front View  
Scale : 1"=1'



2 Side View  
Scale : 1"=1'



3 Elevation  
Scale : 3/8"=1'

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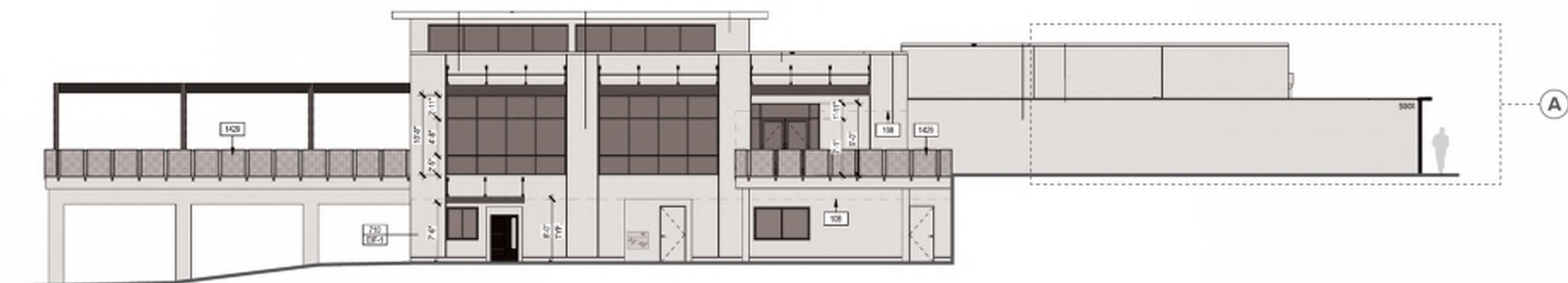
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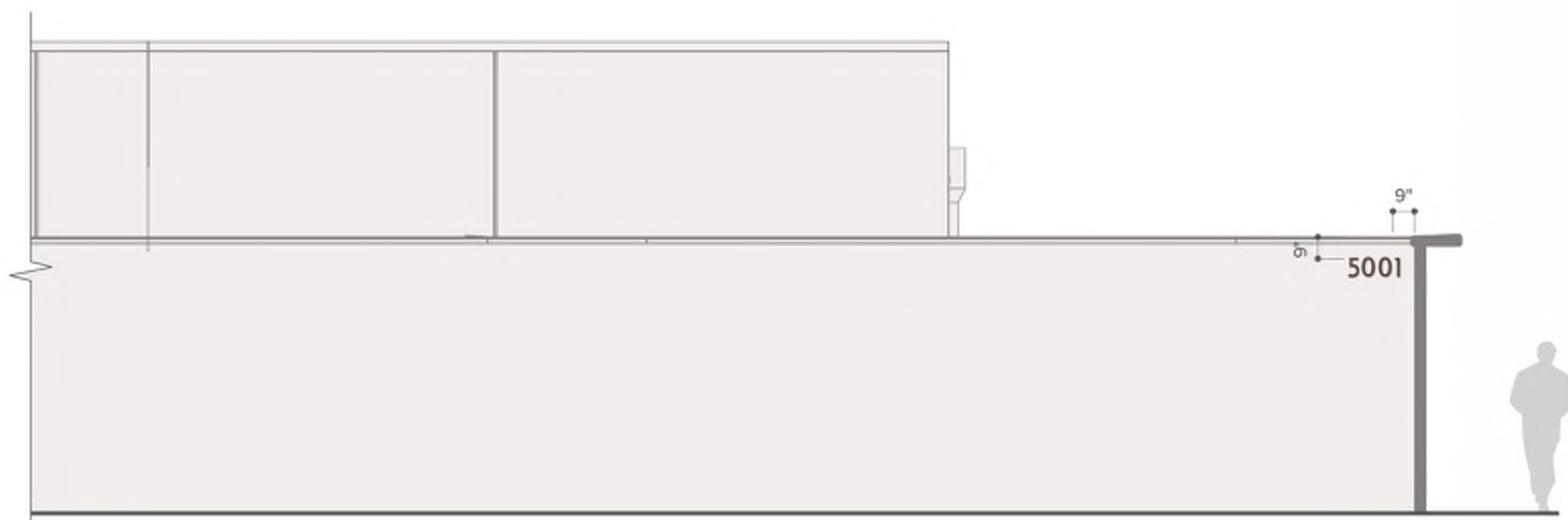
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1 South Elevation  
Scale : 1/16"=1'



A Elevation  
Scale : 3/16"=1'

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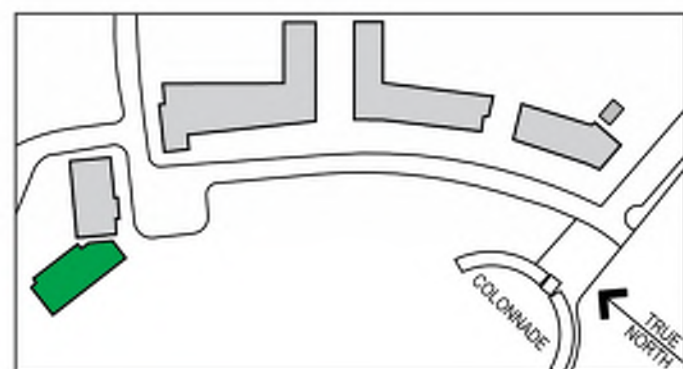
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**2** Building A – South Elevation  
Scale : 1/8"=1'

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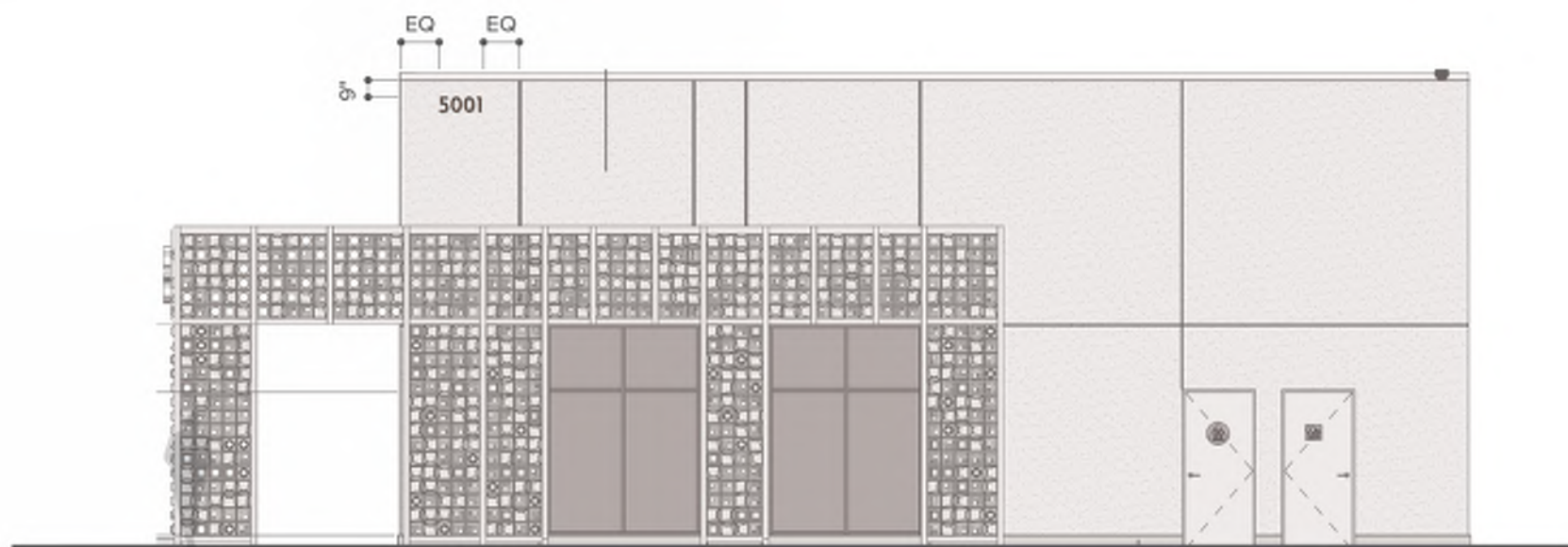
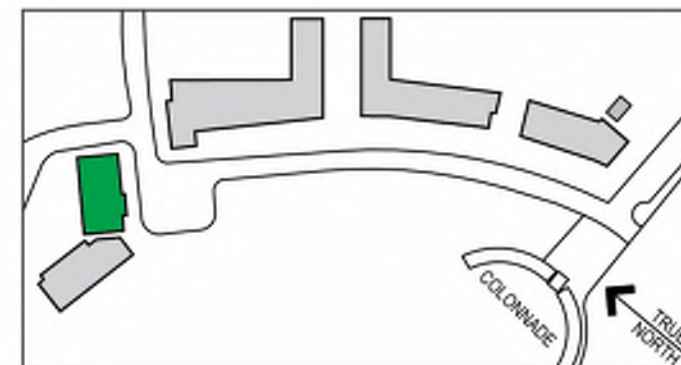
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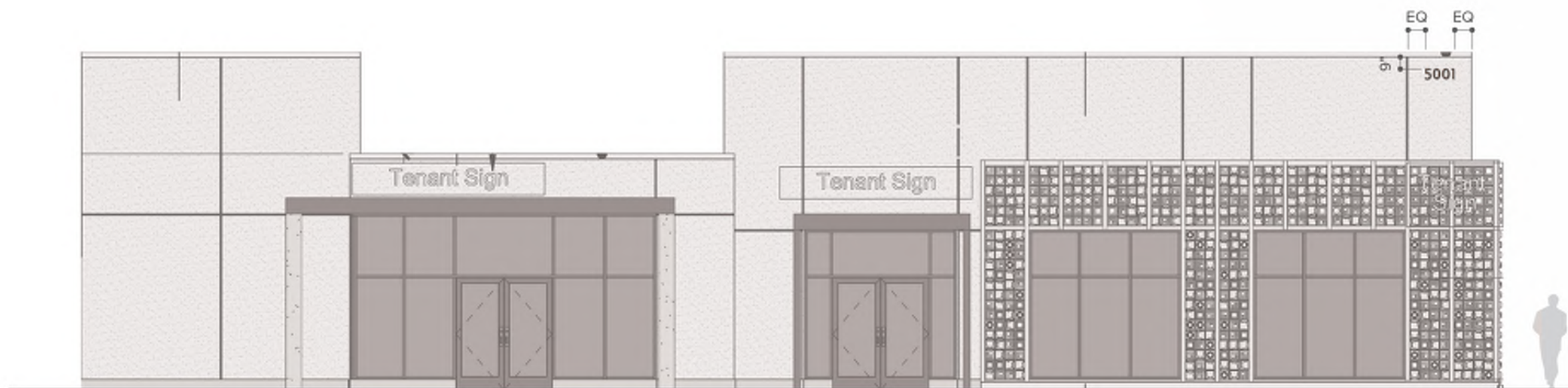
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1 Building B – East Elevation  
Scale : 1/8"=1'



2 Building B – South Elevation  
Scale : 1/8"=1'

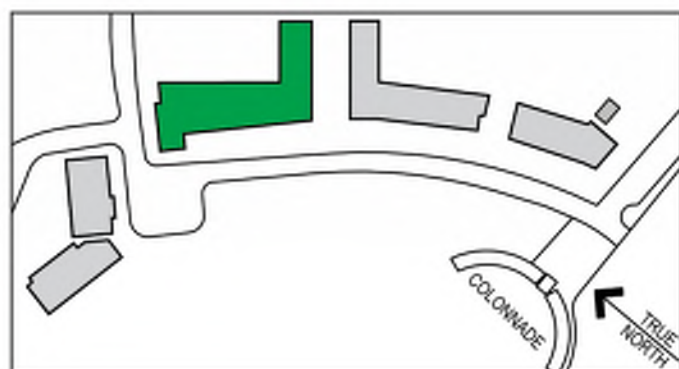
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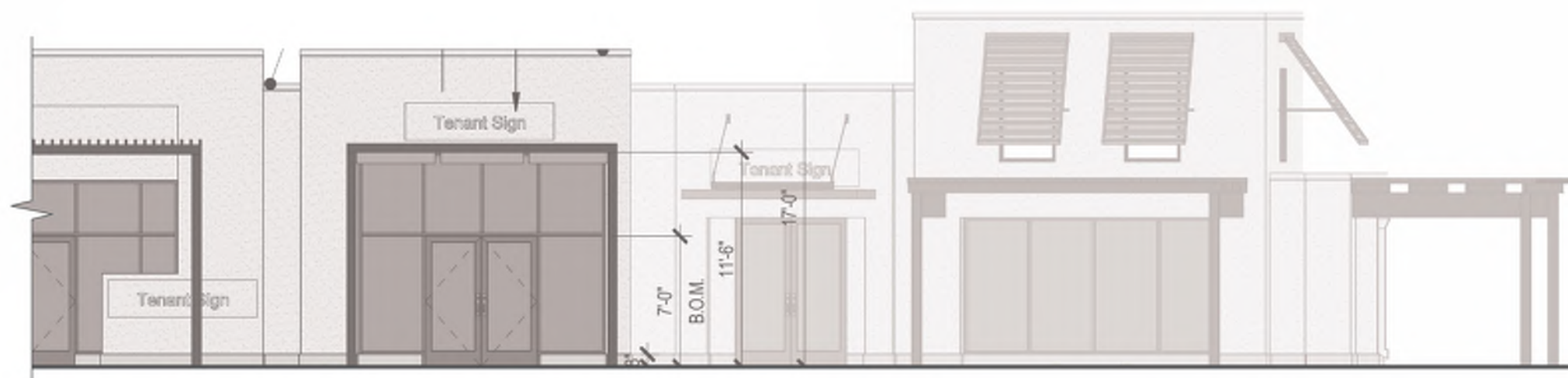
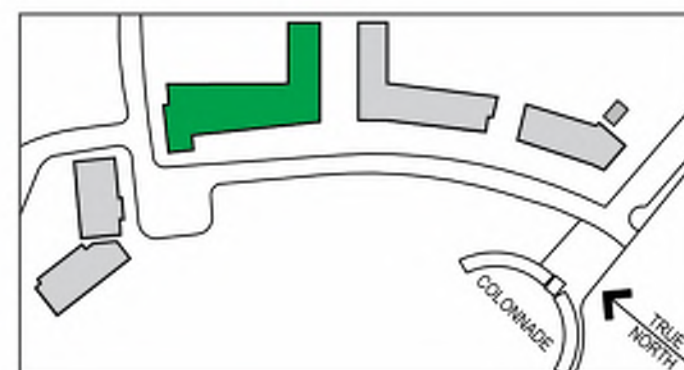
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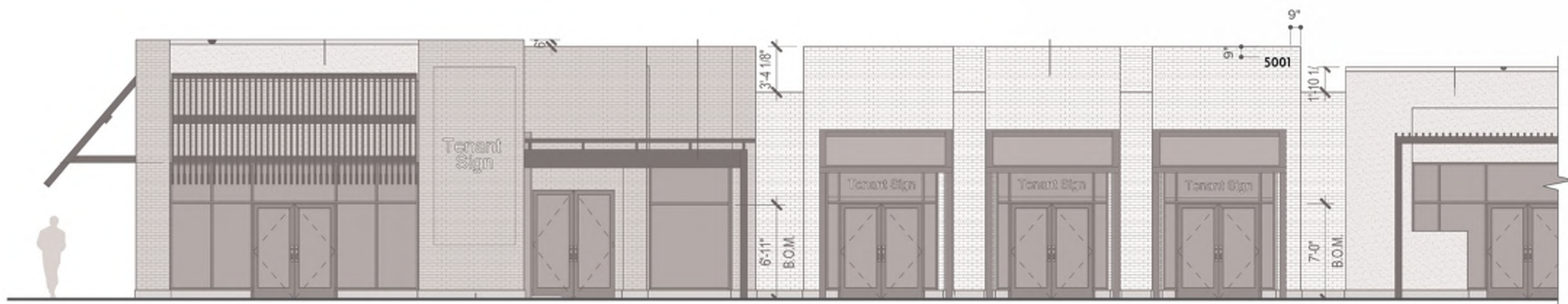
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**1** Building C – West Elevation  
Scale : 1/8"=1'



1 Building C – South Elevation  
Scale : 1/8"=1'



2 Building C – South Elevation  
Scale : 1/8"=1'

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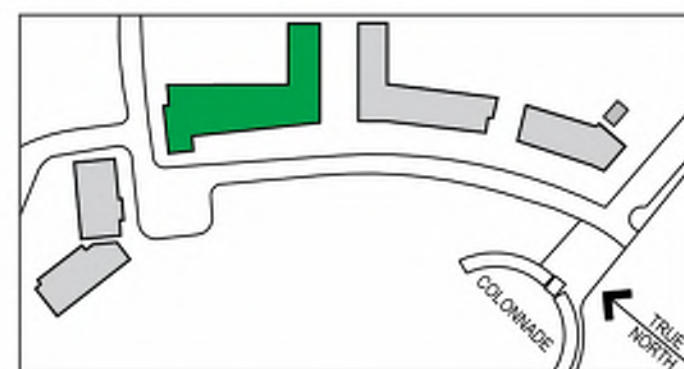
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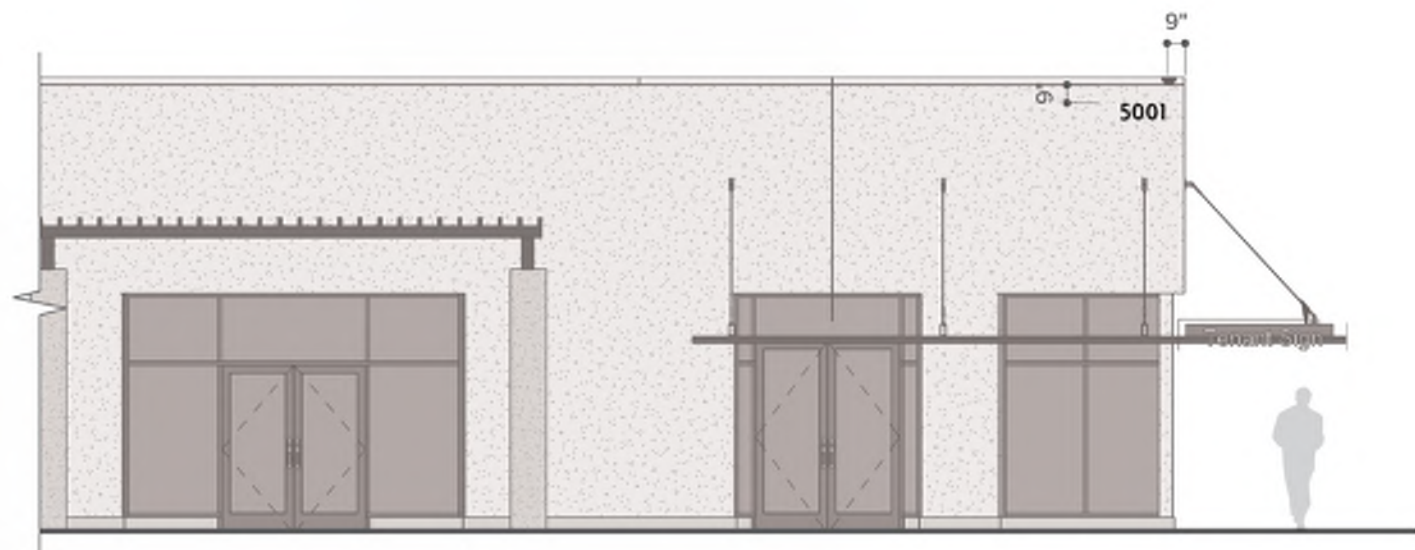
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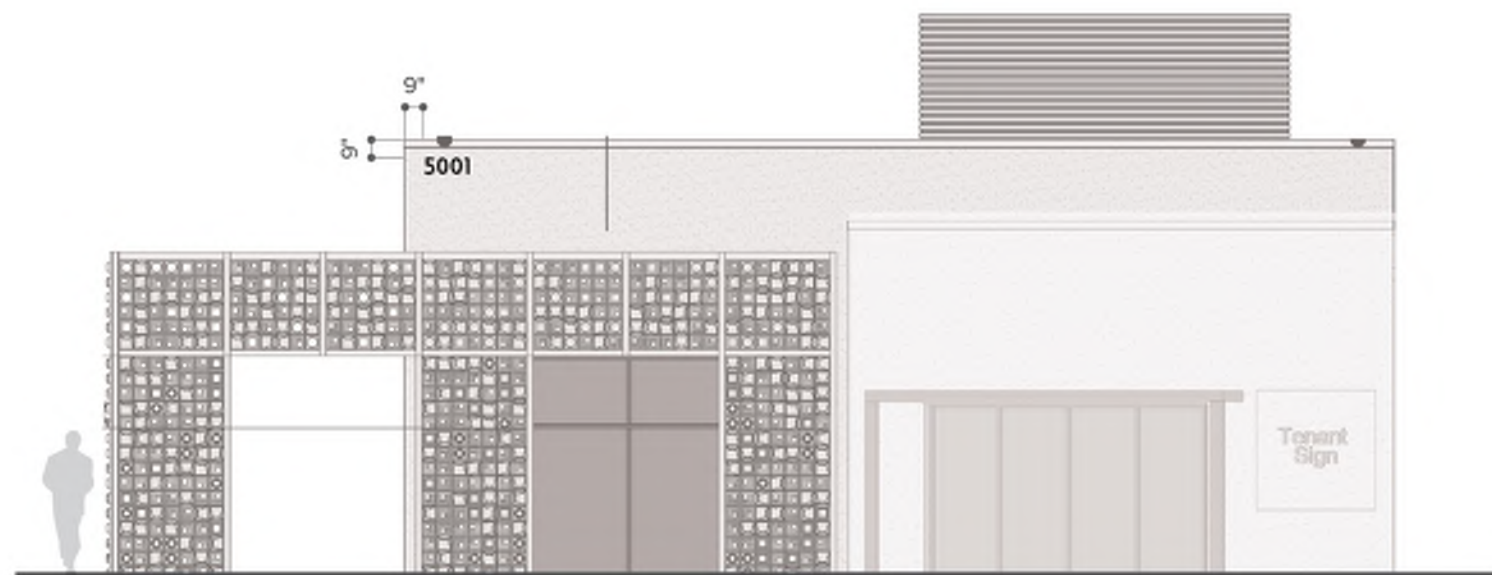
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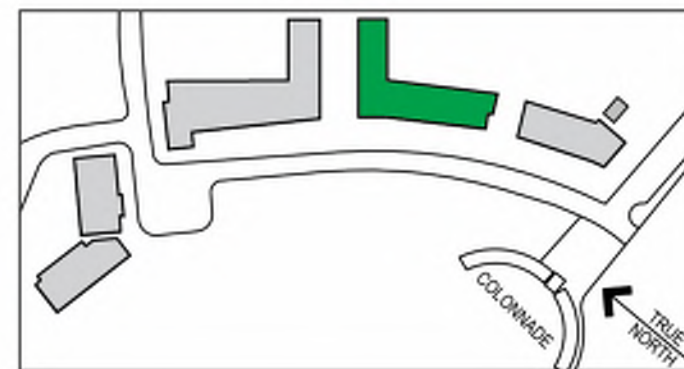
1 Building C – East Elevation  
Scale : 1/8"=1'



1 Building D – West Elevation  
Scale : 1/8"=1'



2 Building D – East Elevation  
Scale : 1/8"=1'



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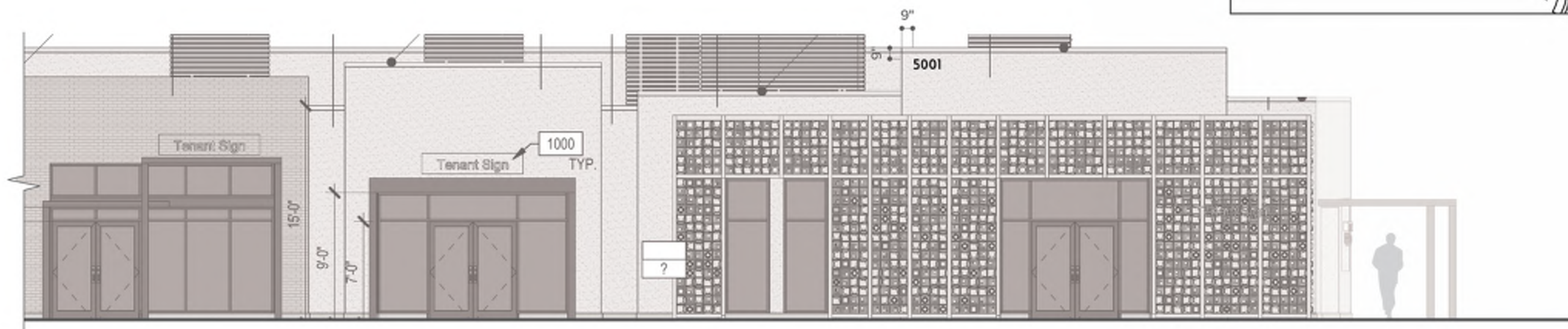
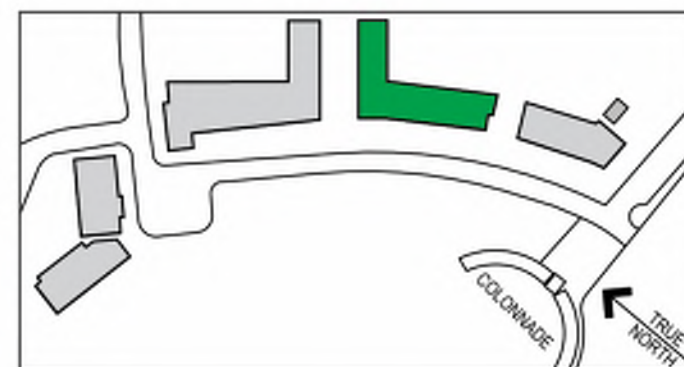
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1 Building D - South Elevation  
Scale : 1/8"=1'



2 Building D - South Elevation  
Scale : 1/8"=1'

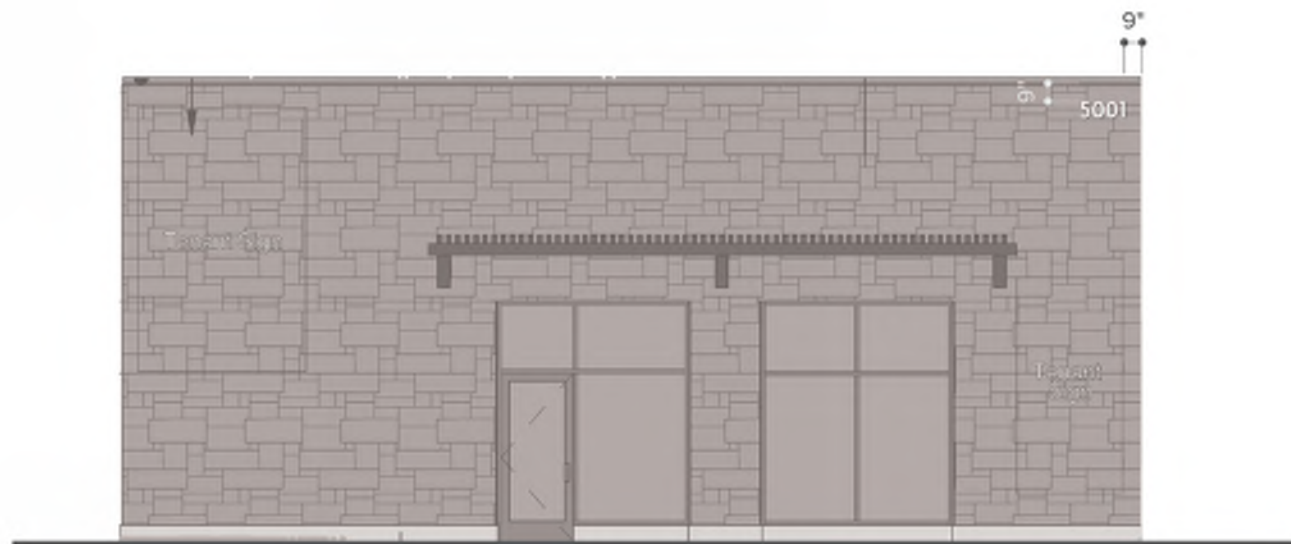
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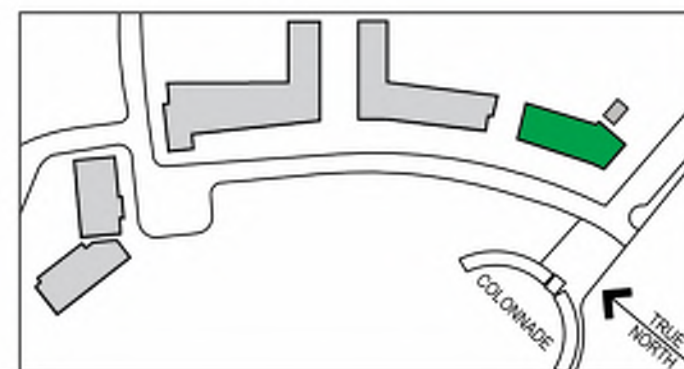
**1** Building E – West Elevation  
Scale : 1/8"=1'



**2** Building E – South Elevation  
Scale : 1/8"=1'



**3** Building E – South East Elevation  
Scale : 1/8"=1'





1 Front View  
Scale : 3/4"=1'

Square Footage: 15 SF



2 Side View  
Scale : 3/4"=1'



3 Elevation  
Scale : 1/4"=1'

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213.705.9006

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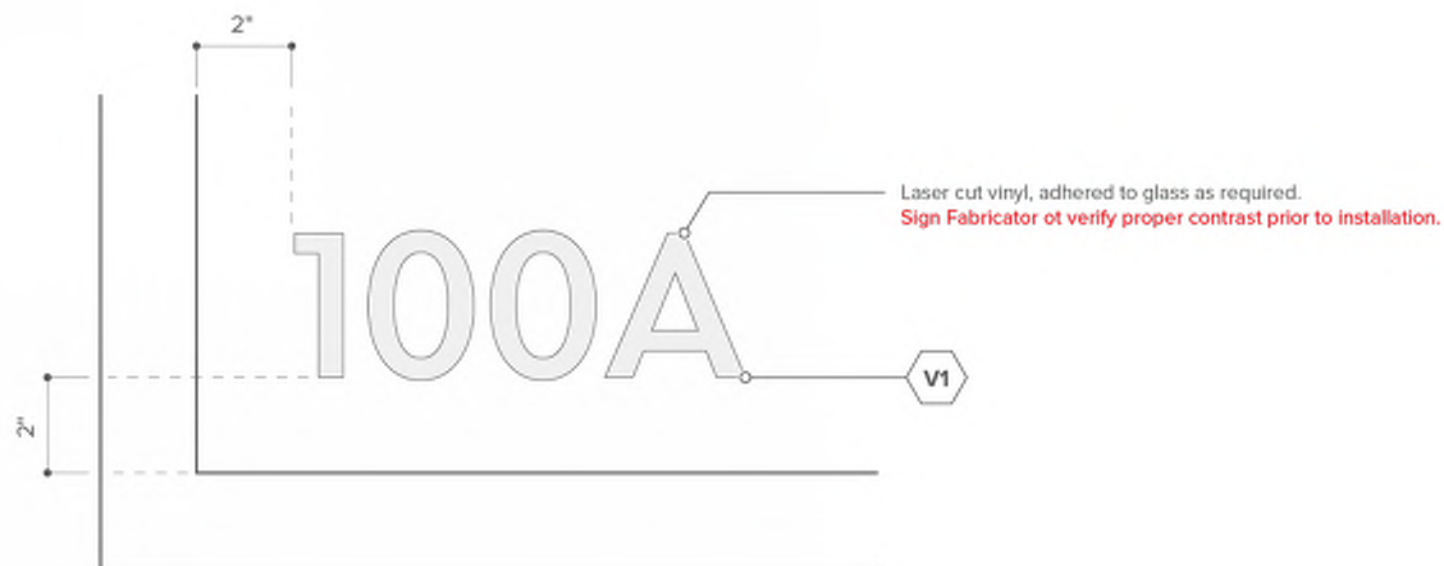
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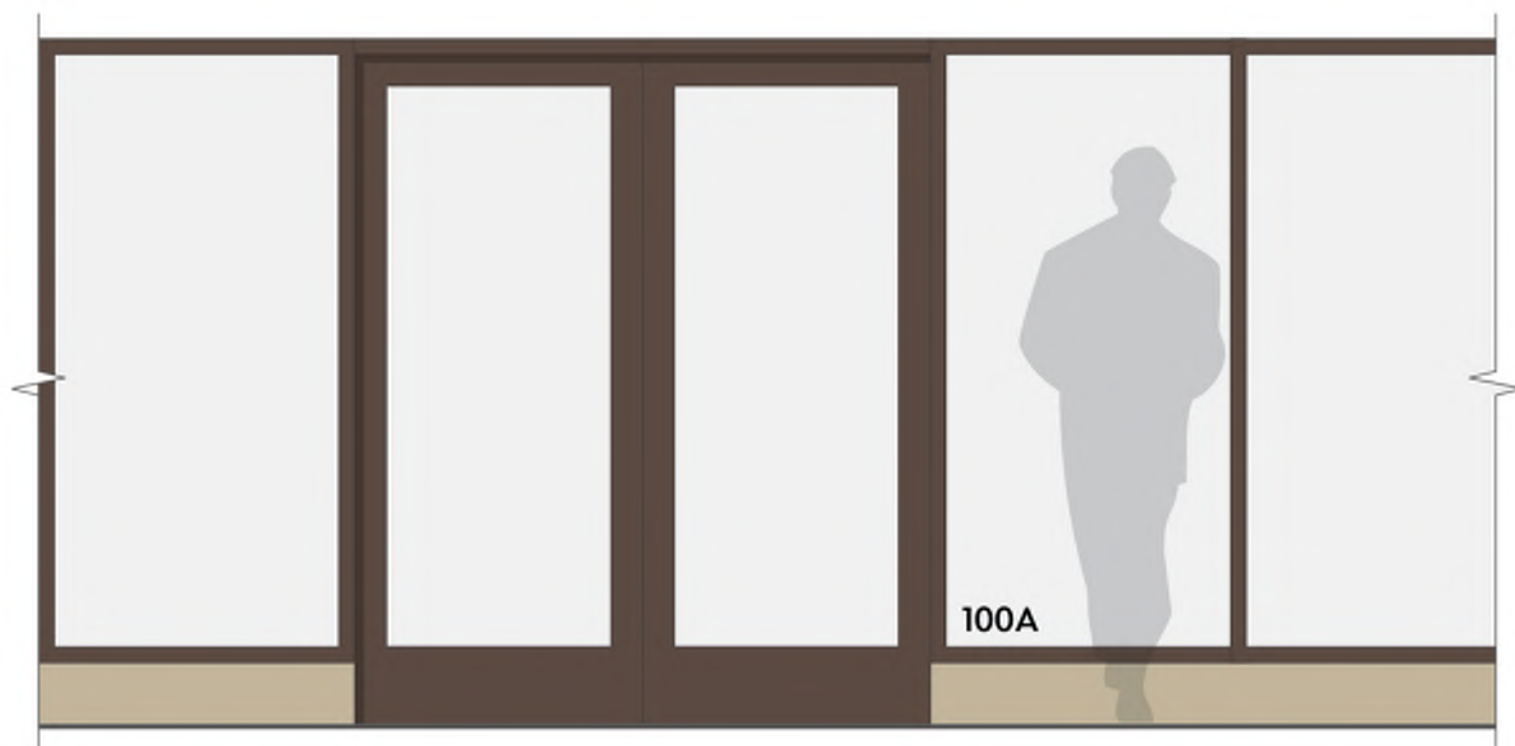
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1 Front View  
Scale : 3"=1'



2 Elevation  
Scale : 1/2"=1'

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1 Top View  
Scale: 1/2



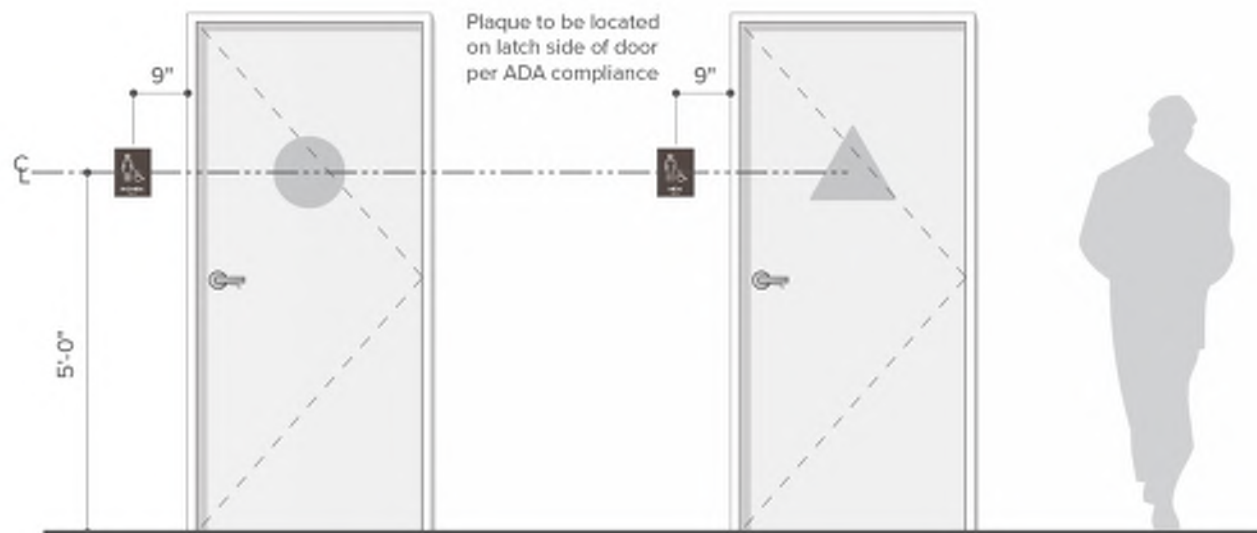
2 Front View  
Scale: 1/2



4 Side View  
Scale: 1/2



5 Contextual Elevation  
Scale: 3/8"=1'



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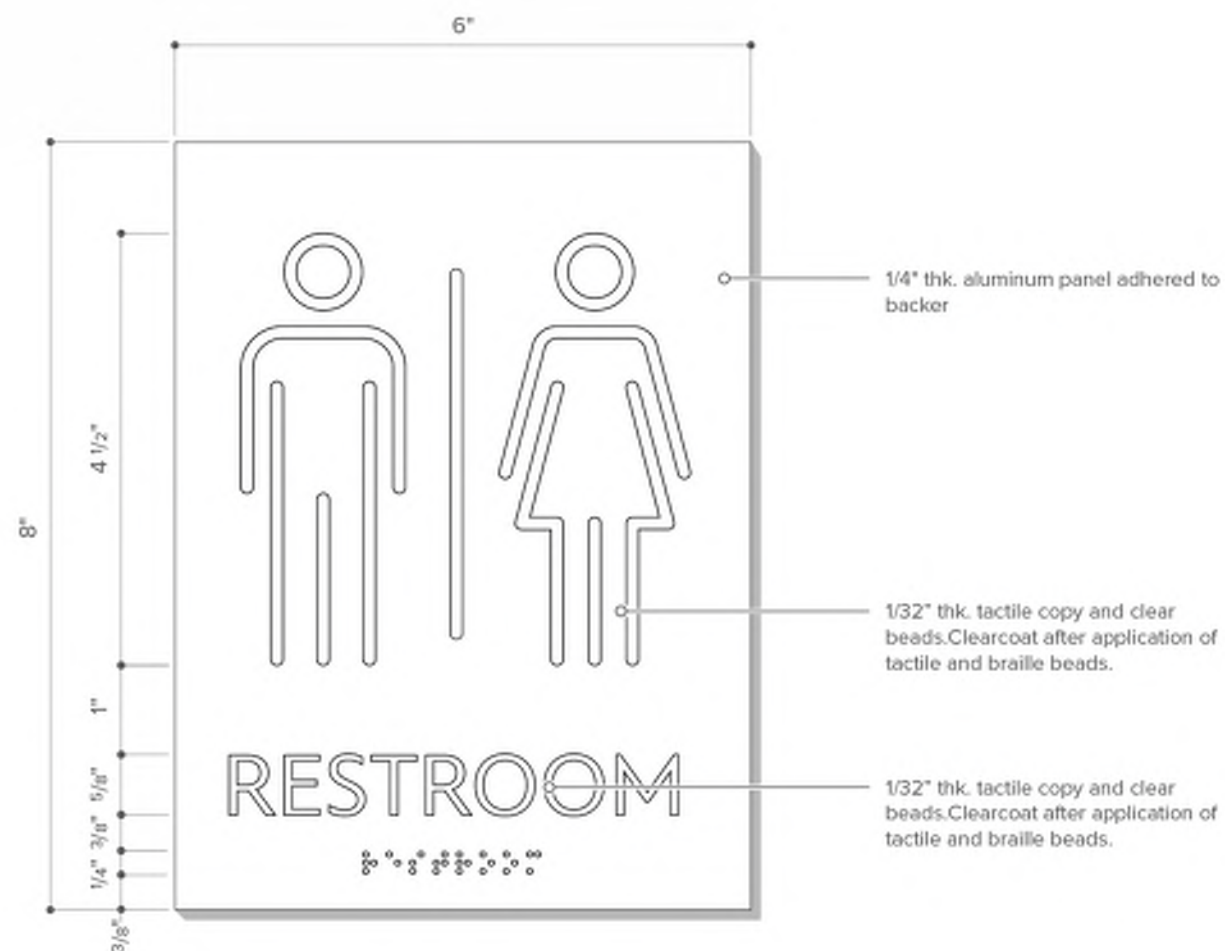
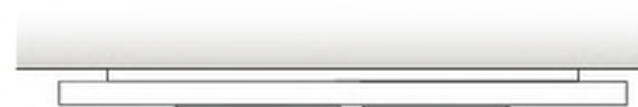
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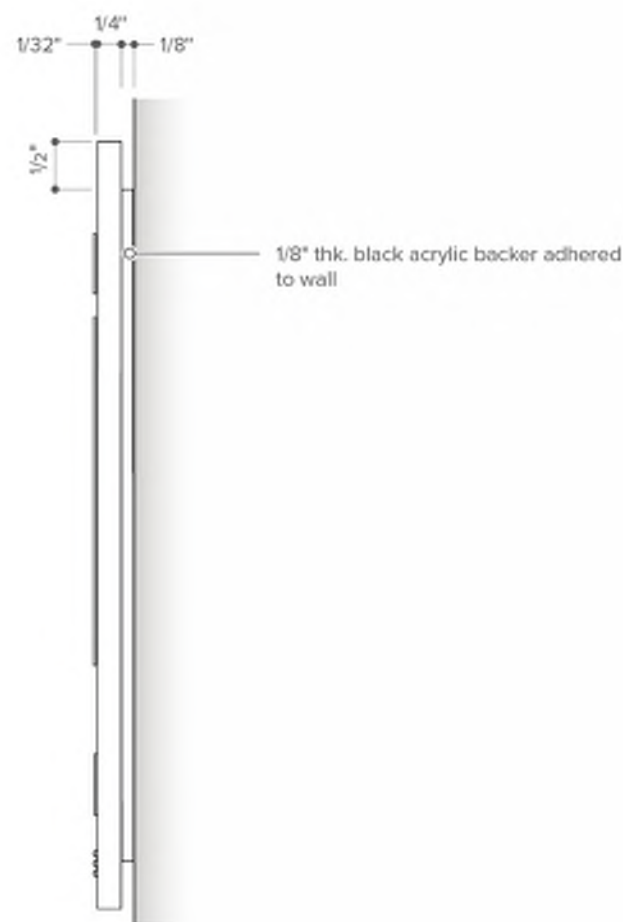
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1 Top View  
Scale: 1:2



2 Front View  
Scale: 1:2



4 Side View  
Scale: 1:2

PACKAGE NOTES

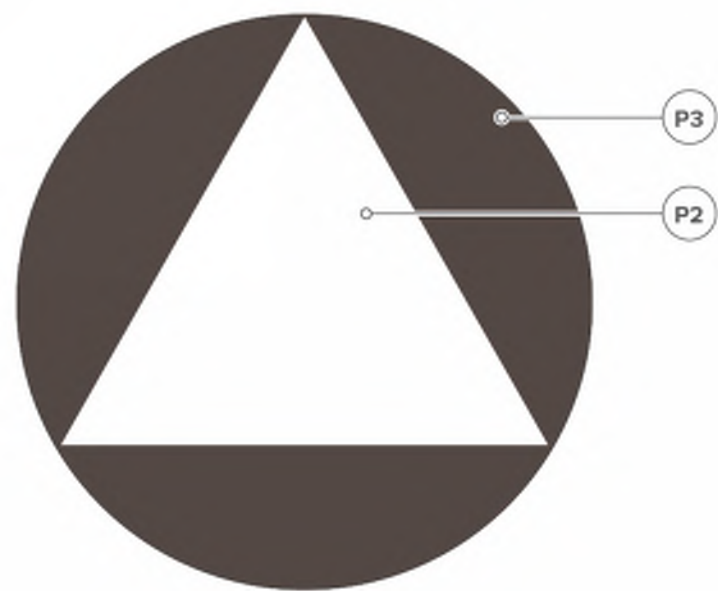
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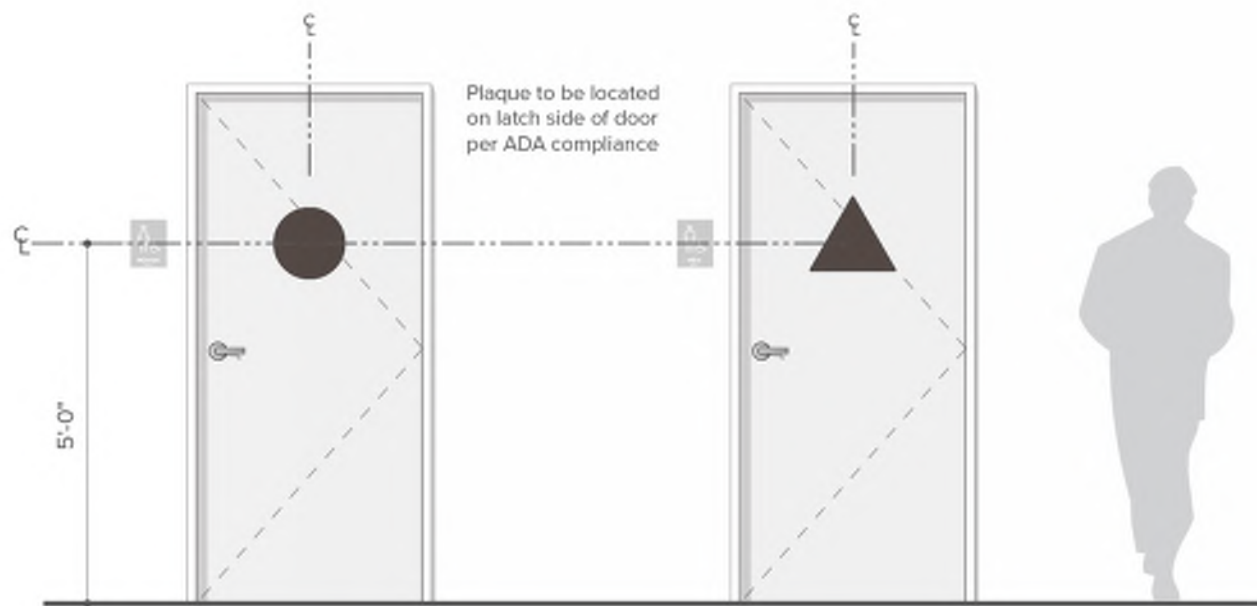


P5c

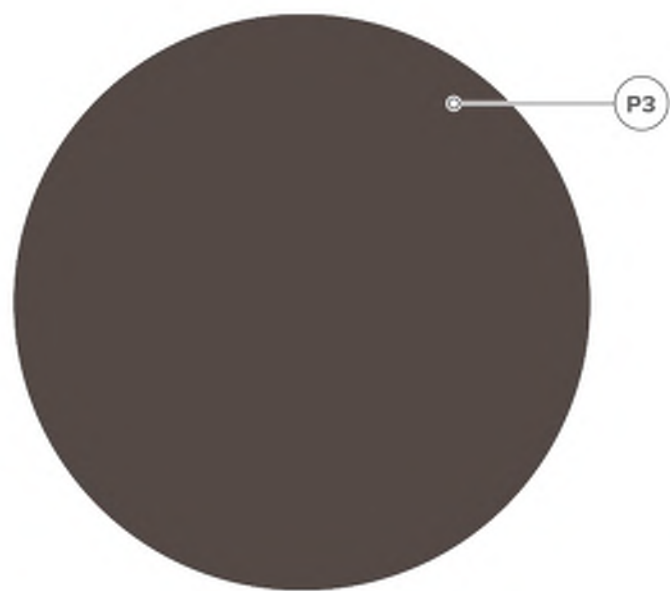
3 Front View  
Scale : 3"=1'



4 Side View  
Scale : 3"=1'

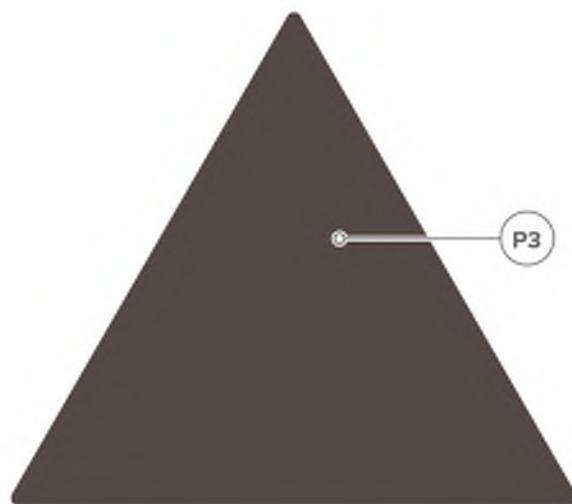


5 Contextual Elevation  
Scale : 3/8"=1'



P5a

1 Front View  
Scale : 3"=1'



P5b



2 Side View  
Scale : 3"=1'

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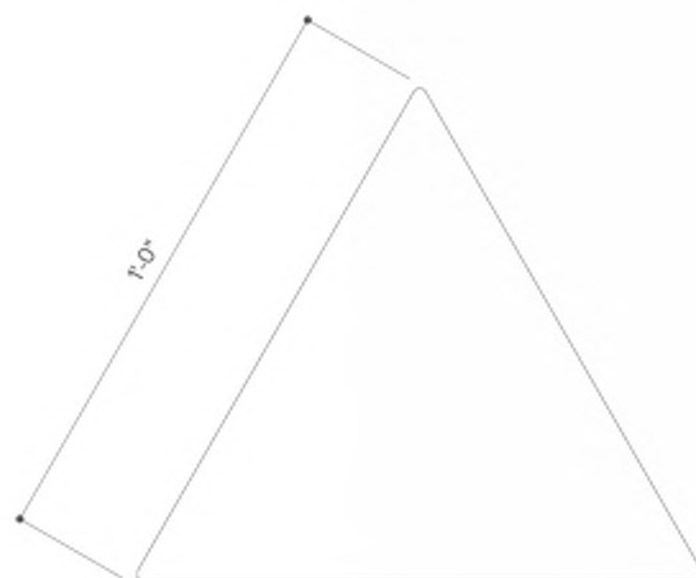
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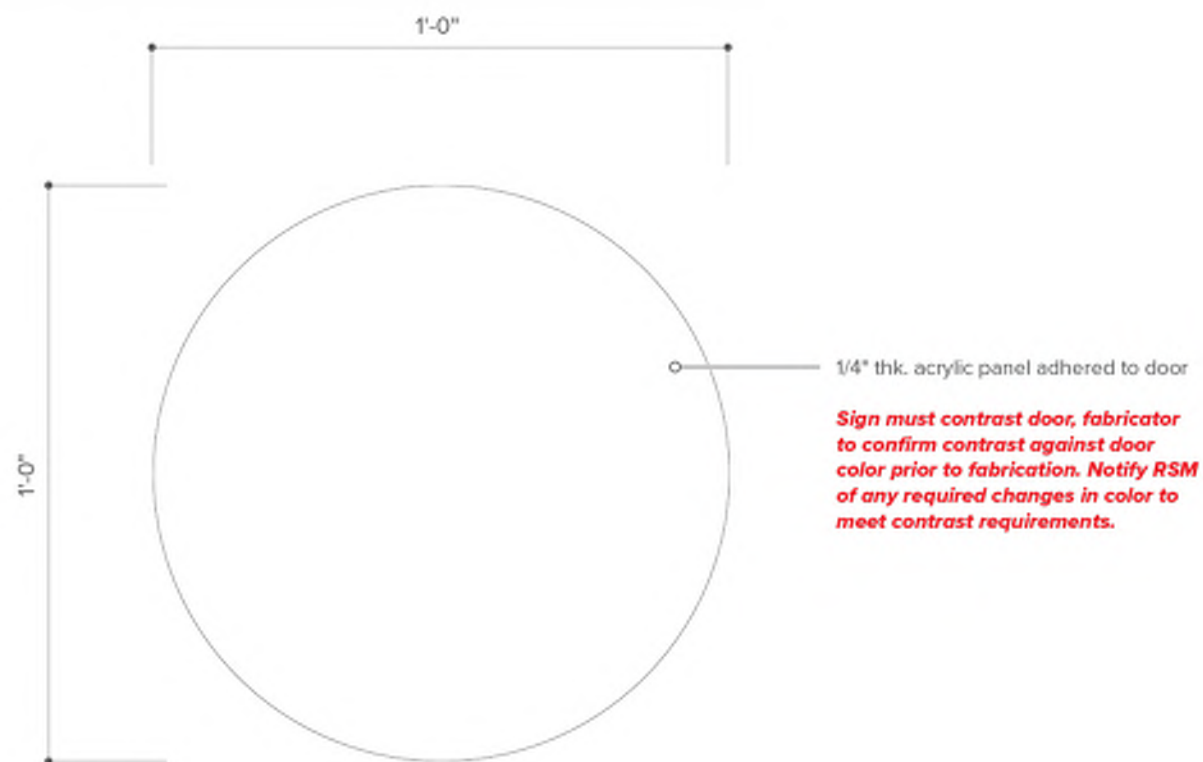
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4 Front View  
Scale : 3"=1' P5b



3 Top View  
Scale : 3"=1'



1 Front View  
Scale : 3"=1'

P5a



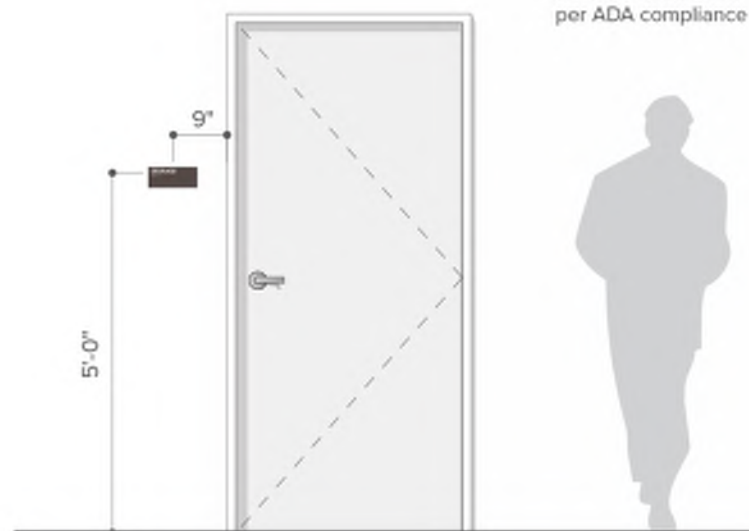
2 Side View  
Scale : 3"=1'



1 Front View  
Scale: 1:2



2 Front View  
Scale: 1:2



5 Contextual Elevation  
Scale: 3/8"=1'



4 Side View  
Scale: 1:2

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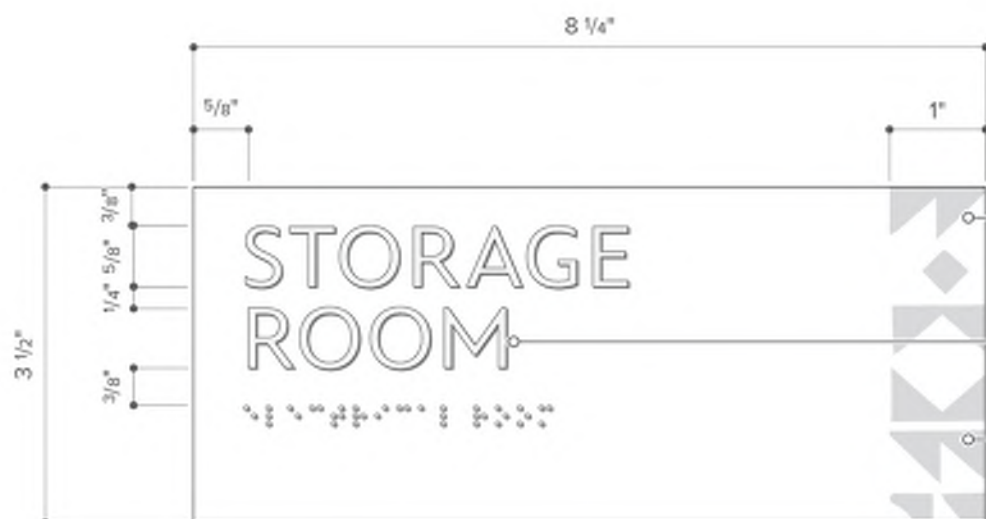
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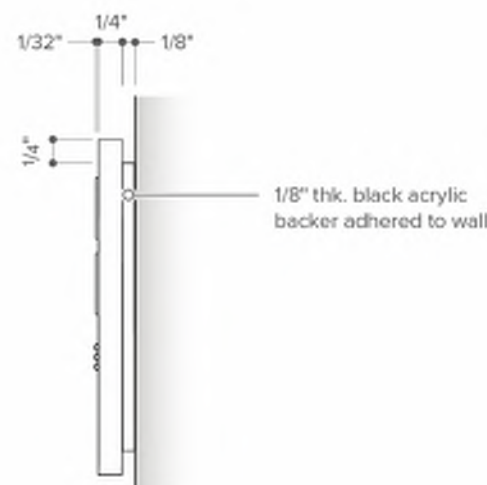
1 Front View  
Scale: 1:2



4 Additional Layout  
Scale: 1:2



2 Front View  
Scale: 1:2



3 Side View  
Scale: 1:2

1/4" thk. aluminum panel adhered to backer

1/32" thk. tactile copy and clear beads. Clearcoat after application of tactile and braille beads.

Direct print pattern

1/8" thk. black acrylic backer adhered to wall

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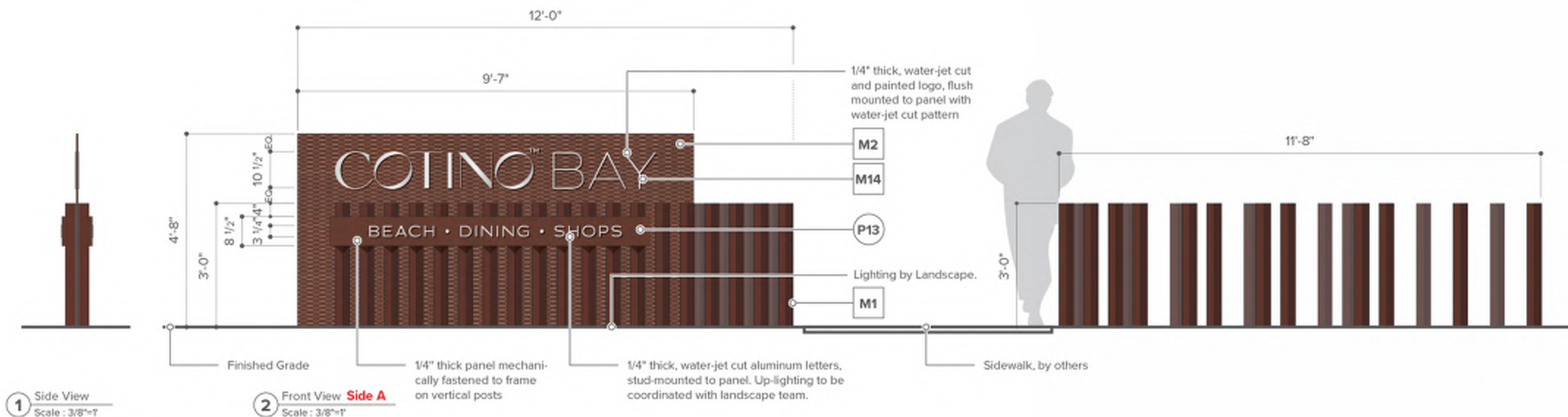
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**Please Note:** Per Public Works/Engineering, there shall be an 18 inch clearance from both ends of the sidewalk. Ensure the signs comply with this requirement and that the signs are a minimum of 7 feet from the back of street curb.



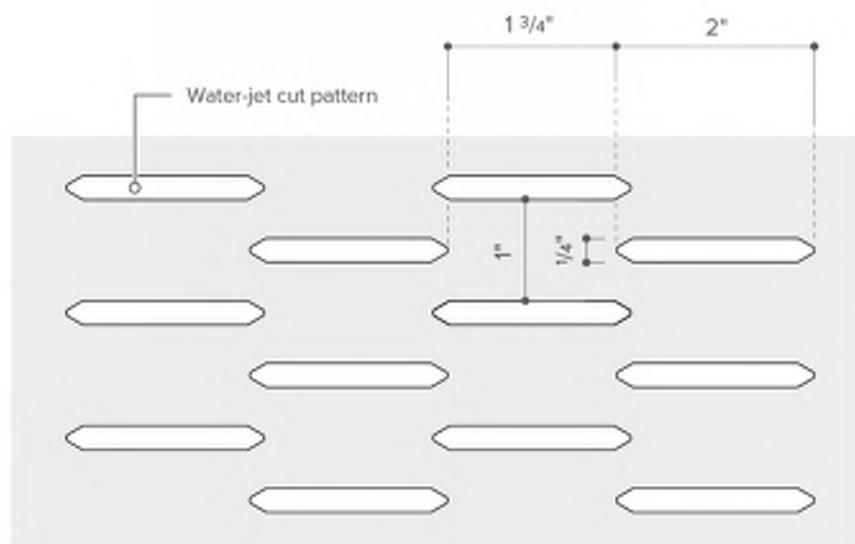
3 Top View  
Scale: 3/8\"/>



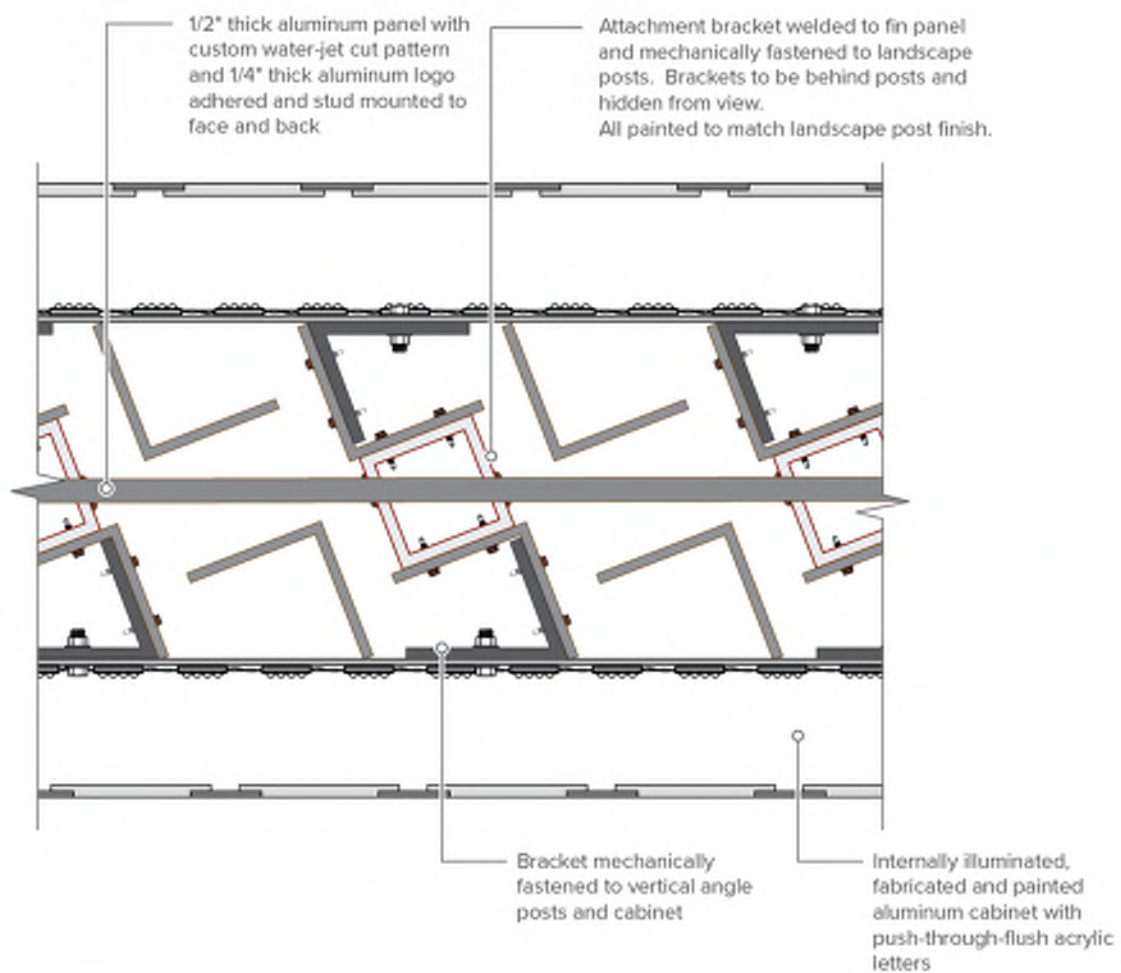
1 Side View  
Scale: 3/8\"/>

2 Front View Side A  
Scale: 3/8\"/>

Square Footage: 9 SF



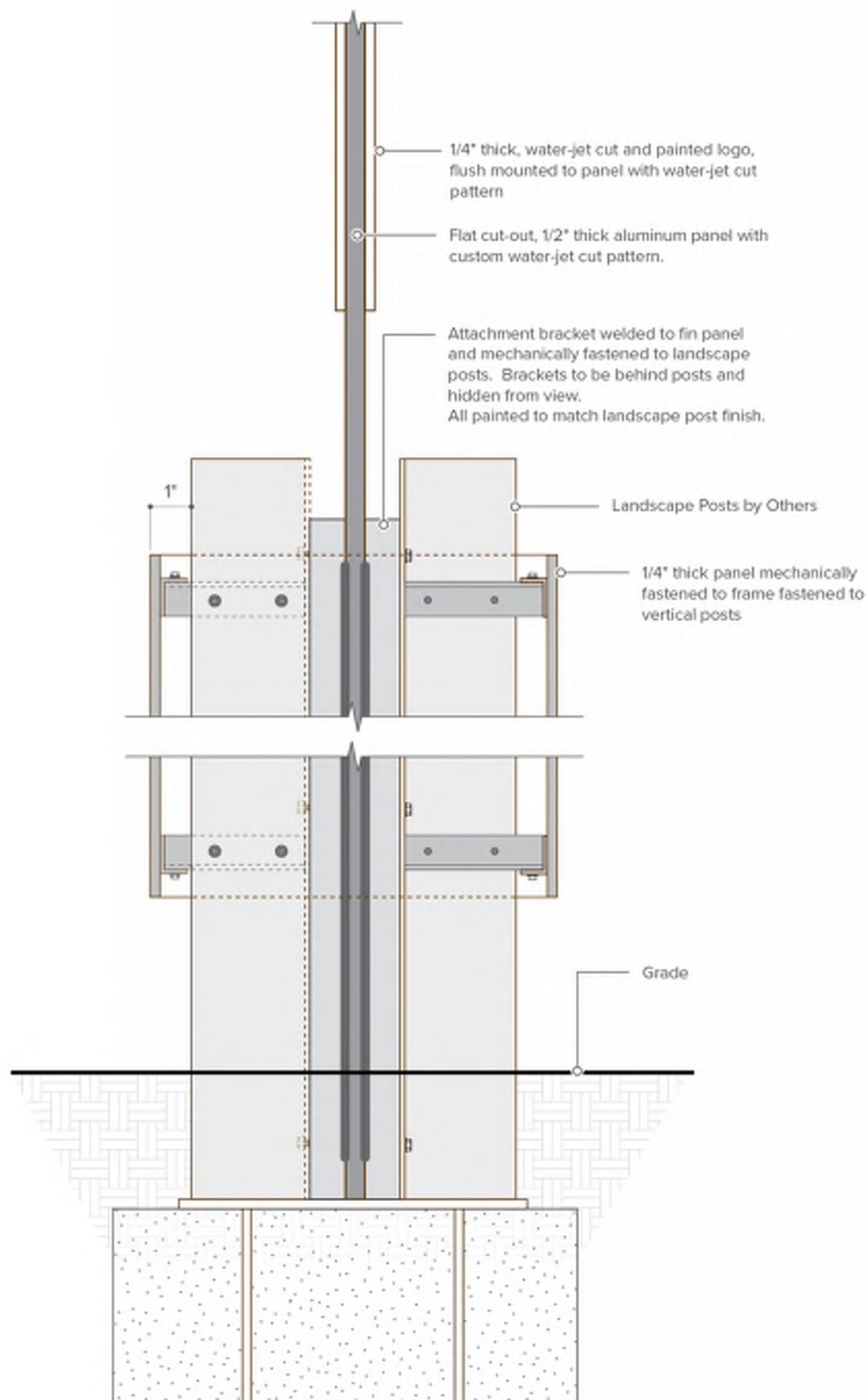
**C** Pattern Detail  
Scale: 1/2



**A** Section  
Scale: 3/4"=1'

Square Footage: 9 SF

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**F** Section  
Scale: 3"=1'

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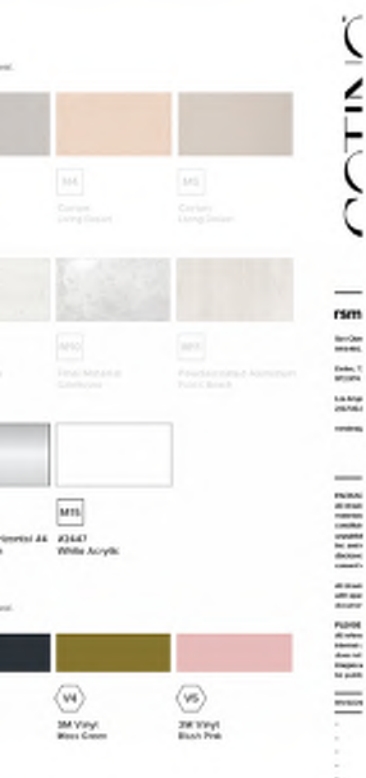
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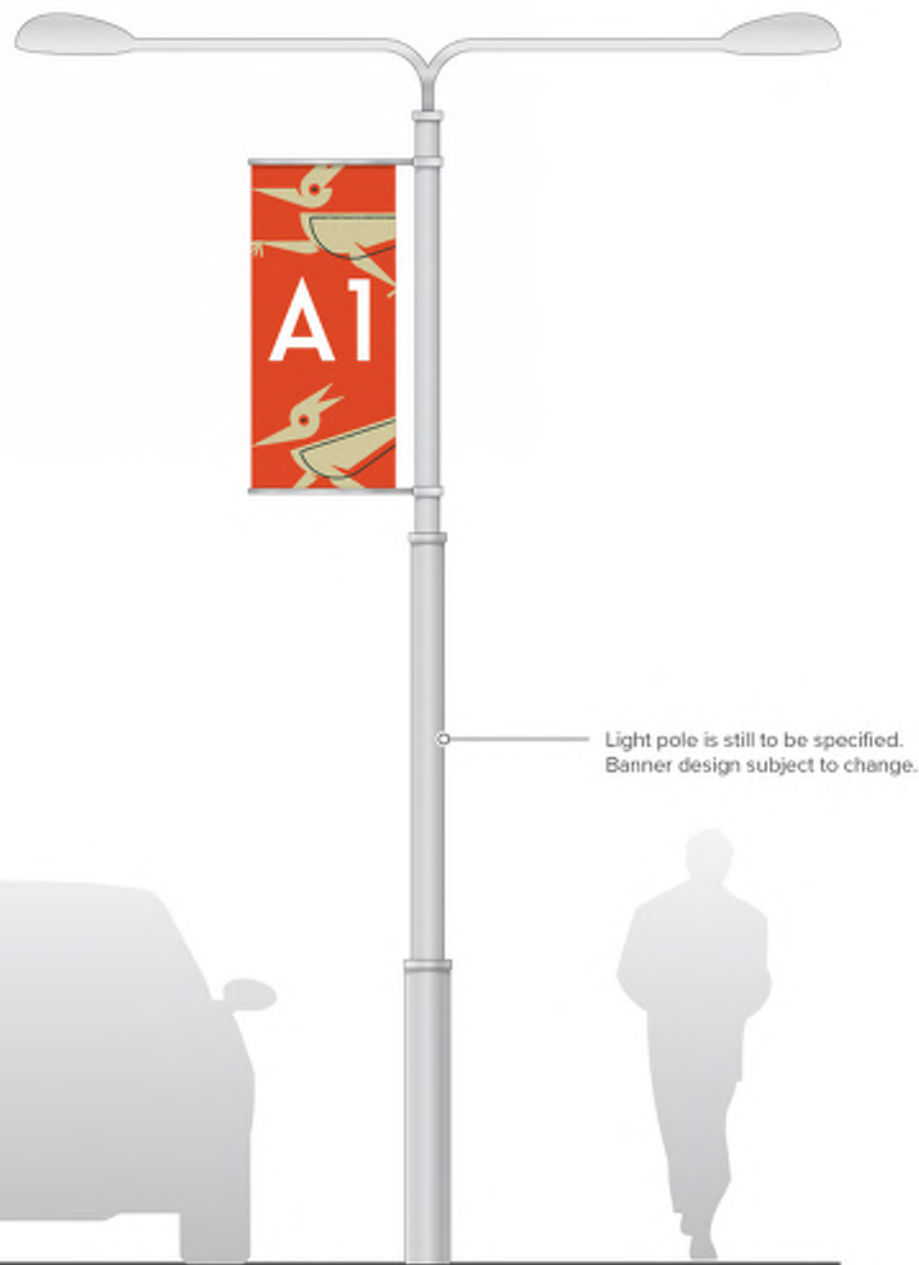
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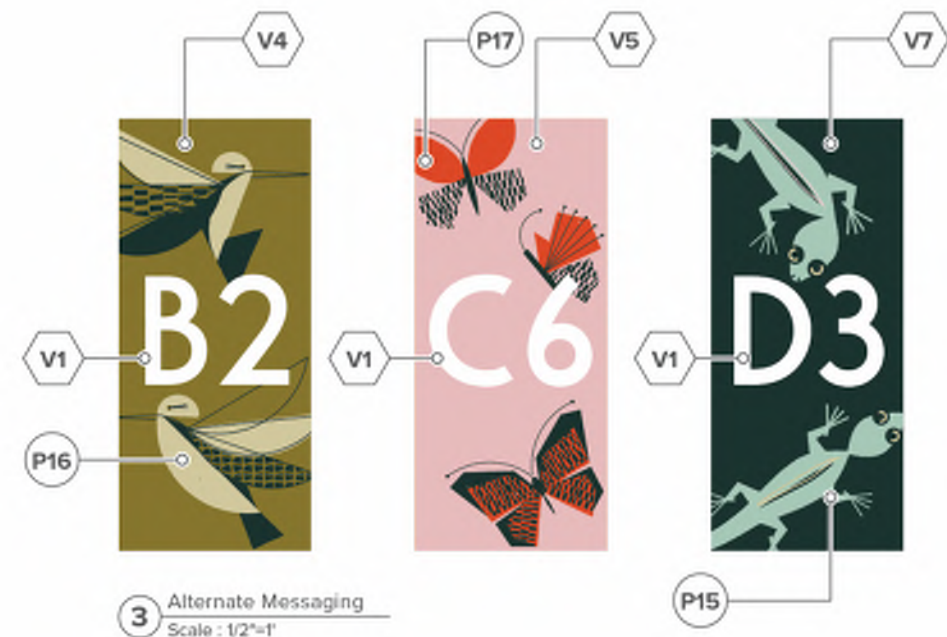


Paint & Materials

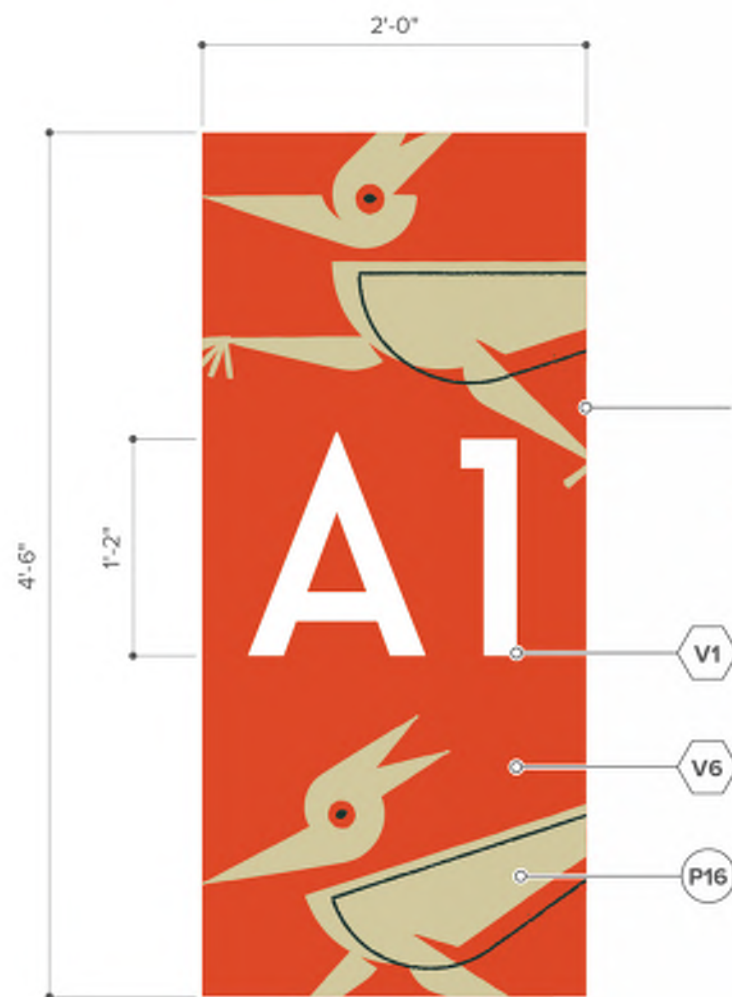


1 Elevation  
Scale: 3/8"=1'

Light pole is still to be specified.  
Banner design subject to change.



3 Alternate Messaging  
Scale: 1/2"=1'



2 Front View  
Scale: 1"=1'

Exterior-grade, Perforated, Waterproof, and UV-safe 18 oz. vinyl with direct-print graphics, double sided.

Sign Fabricator to Provide Samples of Material for Review by Client and Design Team.

COTINO  
A STORYLIVING BY Disney COMMUNITY

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3 Plan View  
Scale : 3/4"=1'



A Front View Detail  
Scale : 1 1/2"=1'



1 Front View  
Scale : 3/4"=1'

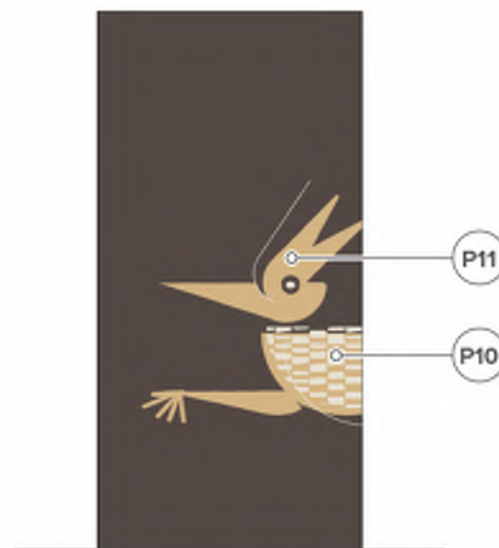


1/2" thk. aluminum plate with direct print copy, clear coated.  
Final messaging to be provided by WDI to RSM Design for final layout

2 Side View  
Scale : 3/4"=1'



3 Reverse View  
Scale : 3/4"=1'



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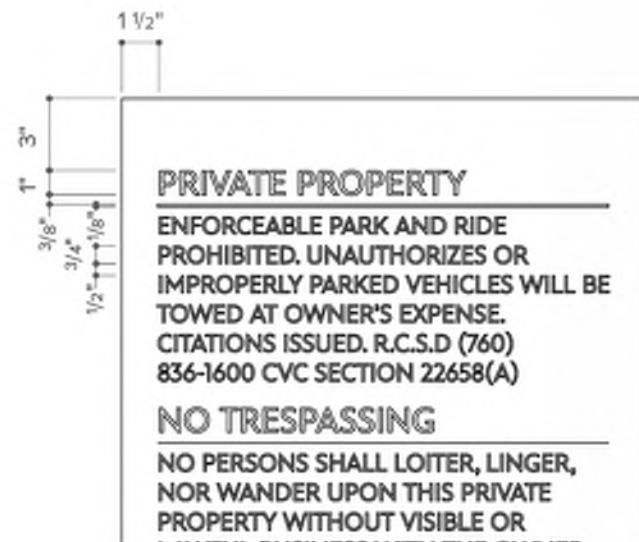
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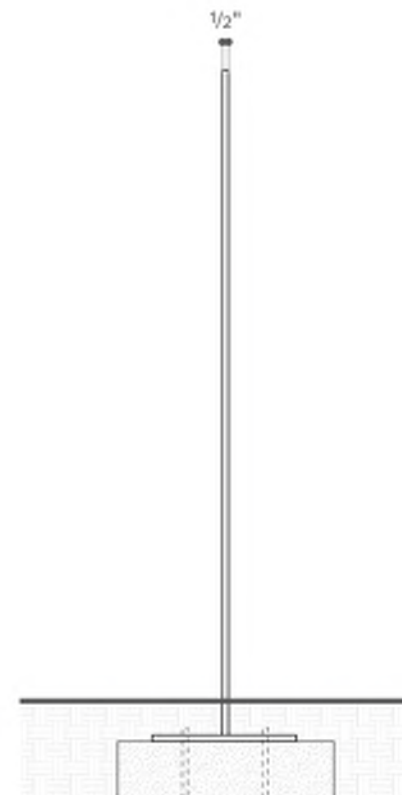
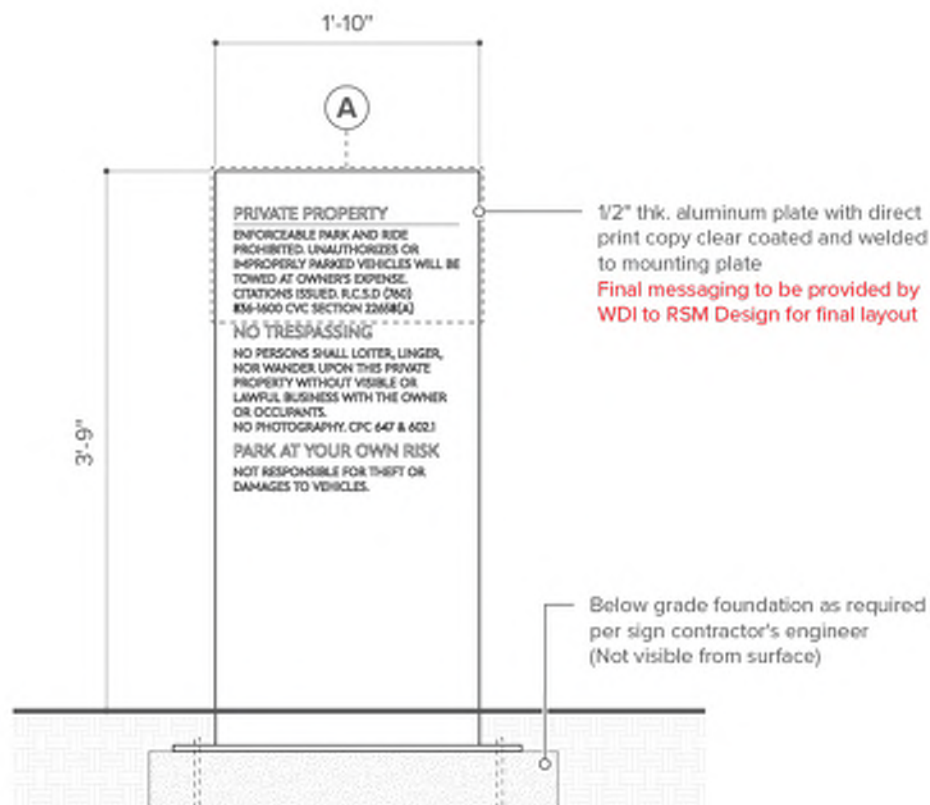
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3 Plan View  
Scale : 3/4"=1'

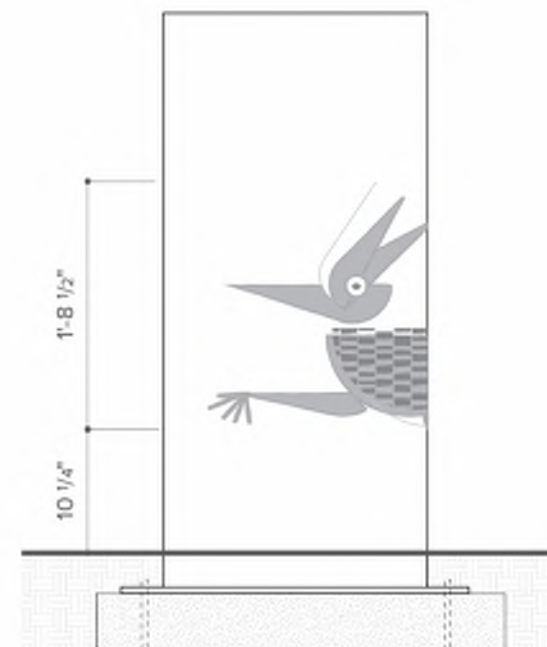


A Front View Detail  
Scale : 1 1/2"=1'

1 Front View  
Scale : 3/4"=1'



2 Side View  
Scale : 3/4"=1'



3 Back View  
Scale : 3/4"=1'

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03



## REGULATORY SIGNAGE LOCATIONS

*Please note all quantities, sign locations, and final sign messaging shall be approved by the Rancho Mirage Planning Division prior to any fabrication. Additionally, the Planning Division should be notified of any proposed changes to the sign program.*

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# SIGN SCHEDULE

## SCHEDULE 02 OF 02

\* Please note all final quantities and locations will need to be approved by the client and field verified by the sign fabricator prior to fabrication and installation.

SIGN ID	SIGN TYPE	QUANTITY*	ILLUMINATION	DIGITAL	ATTACHMENT	MOCK-UPS	NOTES/COMMENTS
<b>Regulatory Signage</b>							
R1	Stop Sign	-	Ambient	No	Post / Below Grade Footing	0	
R2	Stop Sign & Street Sign	8	Ambient	No	Post / Below Grade Footing	2	Not Located. Provided for Reference and For Overall Context of Design.
R3	Wrong Way	-	Ambient	No	Post / Below Grade Footing	0	
R4	Keep Right	-	Ambient	No	Post / Below Grade Footing	0	Not Located. Provided for Reference and For Overall Context of Design.
R5	Accessible Parking	15	Ambient	No	Post / Below Grade Footing	0	
R6	Fire Lane	25	Ambient	No	Post / Below Grade Footing	0	Not Located. Final Quantity and Locations to be finalized by Sign Fabricator and G.C.
R7	EV Parking	22	Ambient	No	Post / Below Grade Footing	0	Not Located. Provided for Reference and For Overall Context of Design.
R8	Private Property	-	Ambient	No	Post / Below Grade Footing	0	Not Located. Provided for Reference and For Overall Context of Design.
R9	Parking Stall ID	-	Ambient	No	Paving Surface	0	Not Located. Provided for Reference and For Overall Context of Design.
R10	Yield & Crosswalk	-	Ambient	No	Post / Below Grade Footing	0	Not Located. Provided for Reference and For Overall Context of Design.
R11	Speed Limit	-	Ambient	No	Post / Below Grade Footing	0	Not Located. Provided for Reference and For Overall Context of Design.
R12	Do Not Enter	-	Ambient	No	Post / Below Grade Footing	0	Not Located. Provided for Reference and For Overall Context of Design.
R13	Stop Sign & Straight Only Sign	-	Ambient	No	Post / Below Grade Footing	0	Not Located. Provided for Reference and For Overall Context of Design.
R14	Private Road Sign	1	Ambient	No	Post / Below Grade Footing	0	
R15	Loading Zone Only	1	Ambient	No	Post / Below Grade Footing	0	
R16	EV Accessible Parking	6	Ambient	No	Wall Post / Below Grade	0	

### GENERAL PACKAGE NOTES:

- All signs, structures and letters need to be engineered by sign fabricator prior to shop drawing submittal and fabrication for structural and backing requirements to withstand local regulations, codes and weather conditions.
- All sizes shown are approximate and should be verified prior to final fabrication based on construction documents and/or as built conditions on site, fabricator to notify team if difference occurs per as built conditions.
- Fabricator must use Matthews UV clear coat on painted surfaces to minimize / prevent as much as possible any noticeable fading.
- All metal edges to be eased; corners to have a maximum radius of .0125. All welds to be ground smooth prior to final painting and clear coated / vandalism coating are applied.
- No exposed fasteners unless noted within the design intent drawing or approved in shop drawing. Fasteners throughout package to be tamper proof, fabricator to submit sample for approval prior to ordering.
- All integrated signage to be coordinated with Architect and General Contractor prior to final fabrication and installation.
- Fabricator to calculate all sign weight loads to be provided to general contractor for additional backing that may be required.
- Fabricator to provide power requirement for each sign type prior to shop drawings submittal to General Contractor & Architect.
- All existing conditions to be field verified by fabricator prior to shop drawings are generated to ensure that all as built conditions are accommodated. Including all unknowns such as interior parking garage elevations / conditions and mounting details to support all sign types.
- All messaging within this package is placeholder at this time until written approval is received by the client team prior to fabrication.

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ALL SIGNS TO BE DETAILED, FABRICATED & INSTALLED PER APPROVED FABRICATOR SHOP DRAWINGS.

### MOCK-UP LEGEND

- All mock-ups must be provided by fabricator per mock-up legend below, prior to fabrication.
- Full Size, 2D, Movable mock-Up; 3M Full color digital print on plywood backing; on site review in each location.
  - Partial 3D Working Mock-Up; Shop OR on-site review. See design drawing for mock-up details.
  - Full 3D Working Mock-Up; Installed On site review.
  - 1/2 Size (50%) 2D black & white prints of all type and/or icons required on lightweight bond paper.
  - Full Size (100%) 2D black & white prints of all type and/or icons required on lightweight bond paper.
  - Other, See sign drawing for detail.

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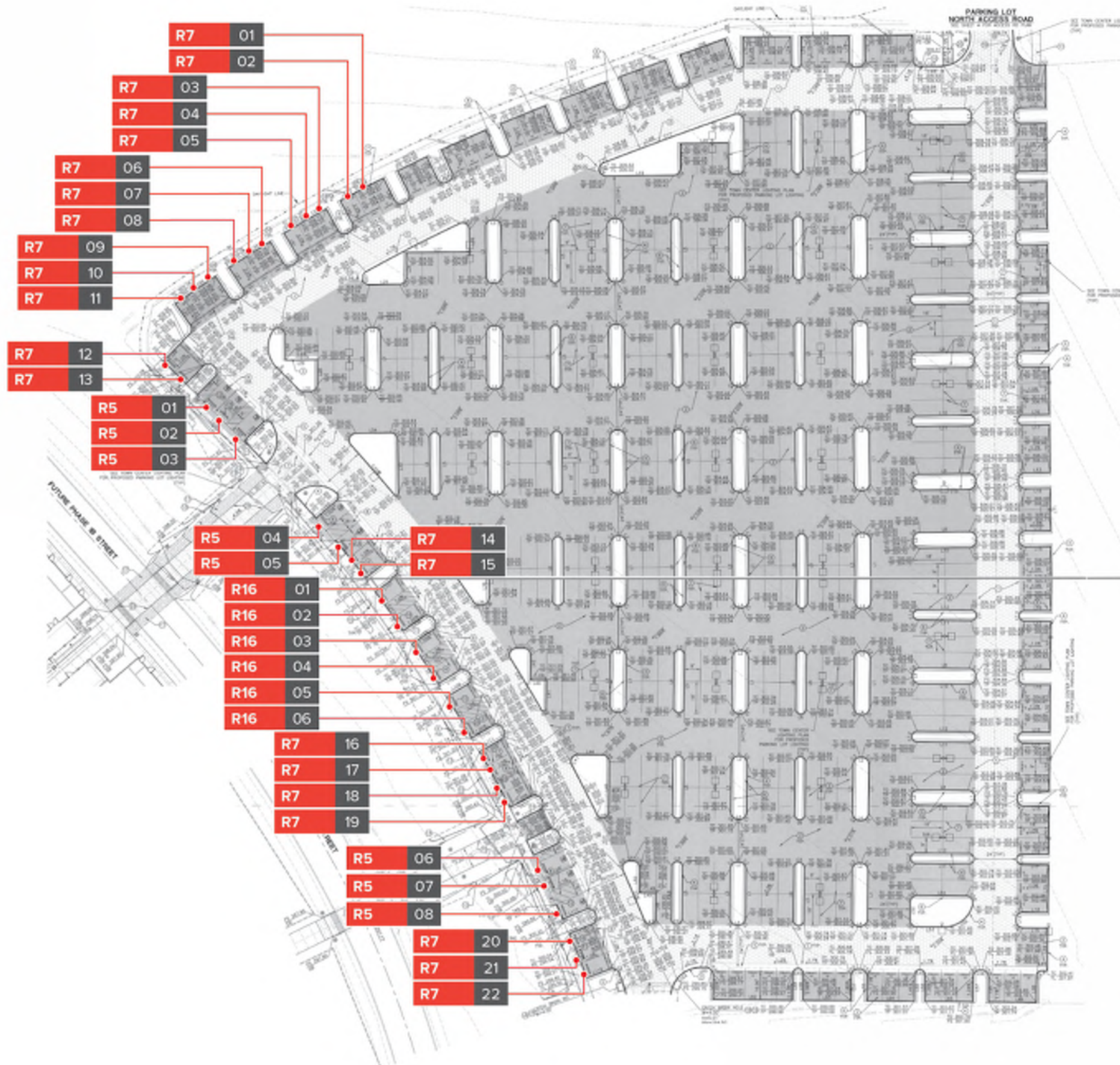
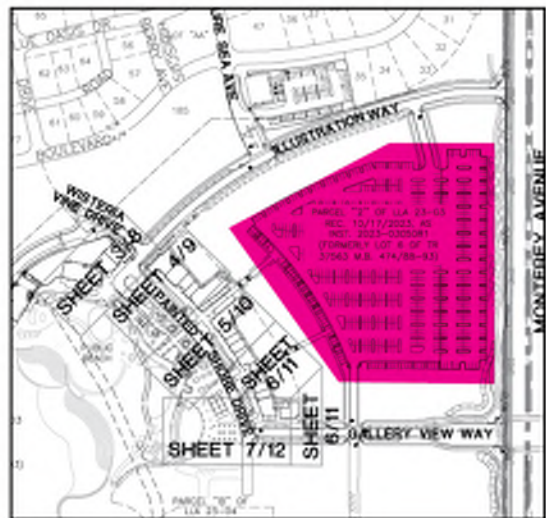
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SIGN ID	SIGN TYPE
<b>Regulatory Signage</b>	
R1	Stop Sign
R2	Stop Sign & Street Sign
R3	Wrong Way
R4	Keep Right
R5	Accessible Parking
R6	Fire Lane
R7	EV Parking
R8	Private Property
R9	Parking Stall ID
R10	Yield & Crosswalk
R11	Speed Limit
R12	Do Not Enter
R13	Stop Sign & Straight Only Sign
R14	Private Road Sign
R15	Loading Only
R16	EV Accessible Parking



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Sign Location Plan  
Town Center Parking Lot

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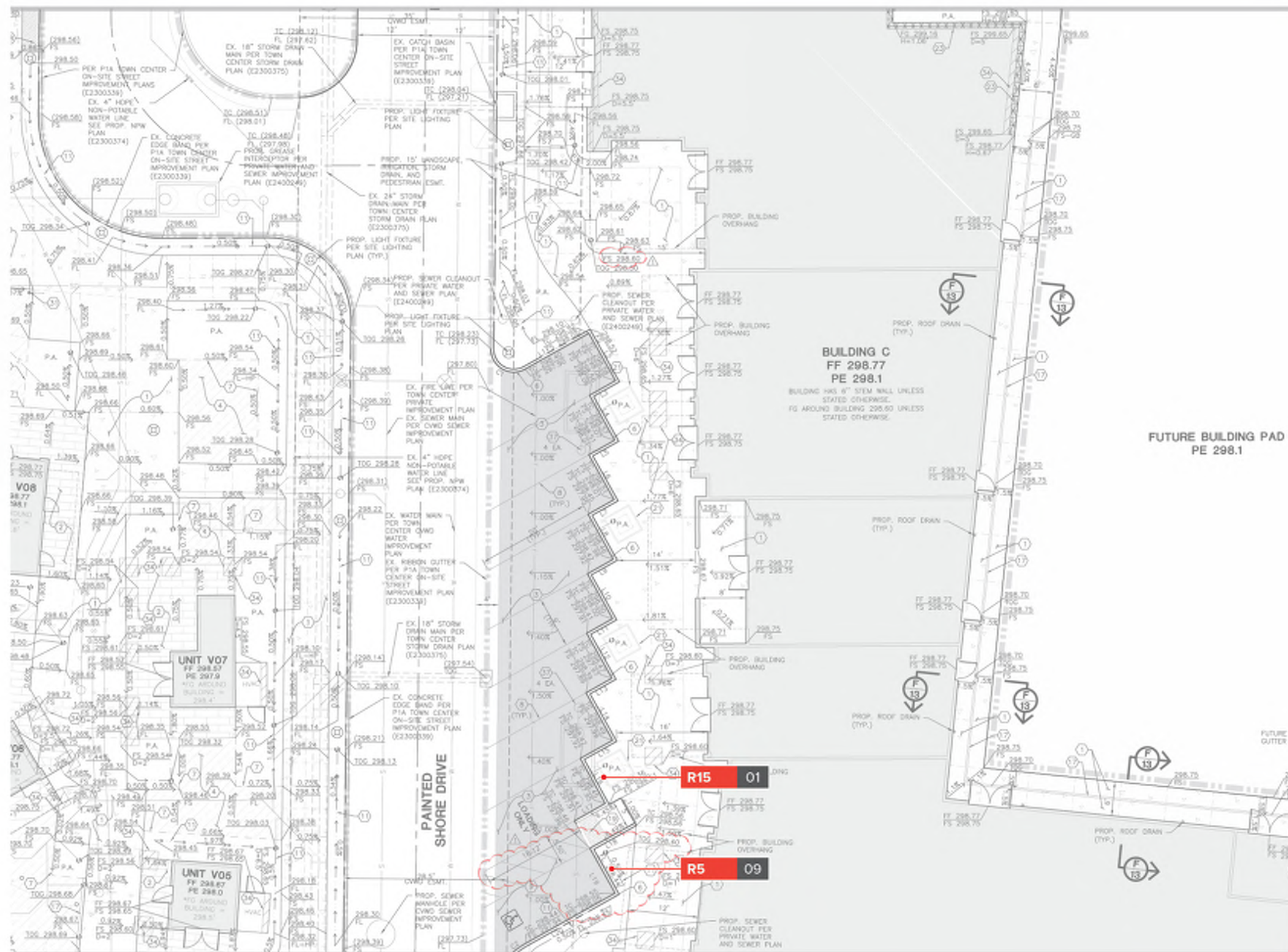
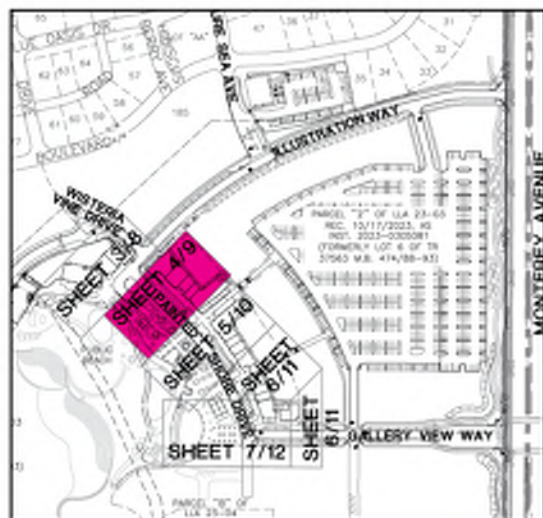
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SIGN ID	SIGN TYPE
<b>Regulatory Signage</b>	
R1	Stop Sign
R2	Stop Sign & Street Sign
R3	Wrong Way
R4	Keep Right
R5	Accessible Parking
R6	Fire Lane
R7	EV Parking
R8	Private Property
R9	Parking Stall ID
R10	Yield & Crosswalk
R11	Speed Limit
R12	Do Not Enter
R13	Stop Sign & Straight Only Sign
R14	Private Road Sign
R15	Loading Only
R16	EV Accessible Parking



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ALL SIGNS TO BE DETAILED, FABRICATED & INSTALLED PER APPROVED FABRICATOR SHOP DRAWINGS.

Sign Location Plan  
Painted Shore Parking

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Los Angeles, CA  
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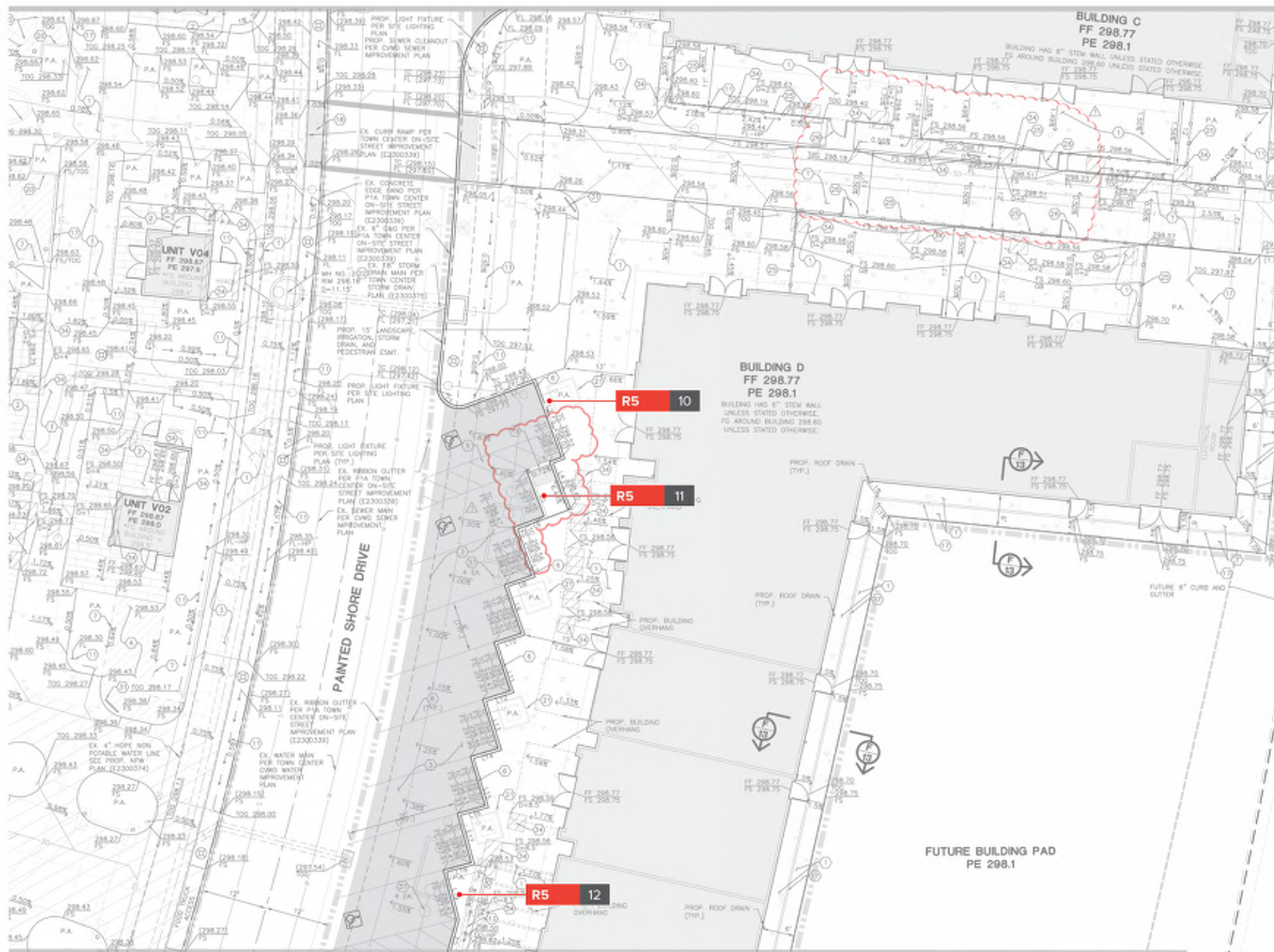
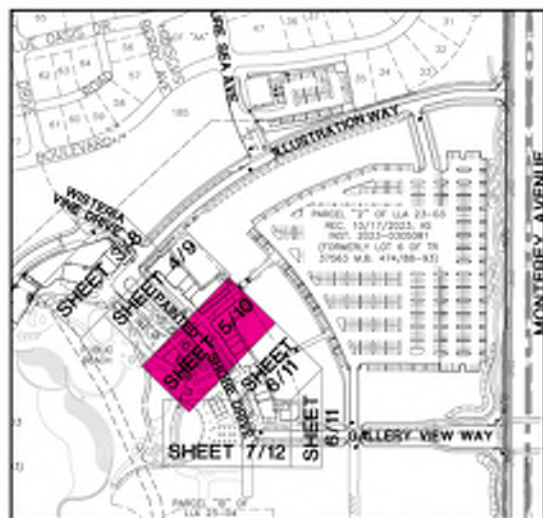
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SIGN ID	SIGN TYPE
<b>Regulatory Signage</b>	
R1	Stop Sign
R2	Stop Sign & Street Sign
R3	Wrong Way
R4	Keep Right
<b>R5</b>	<b>Accessible Parking</b>
R6	Fire Lane
R7	EV Parking
R8	Private Property
R9	Parking Stall ID
R10	Yield & Crosswalk
R11	Speed Limit
R12	Do Not Enter
R13	Stop Sign & Straight Only Sign
R14	Private Road Sign
R15	Loading Only
R16	EV Accessible Parking



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**Sign Location Plan**  
Painted Shore Parking

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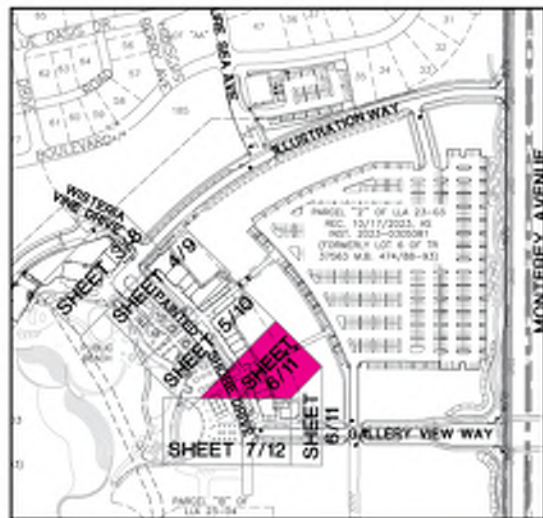
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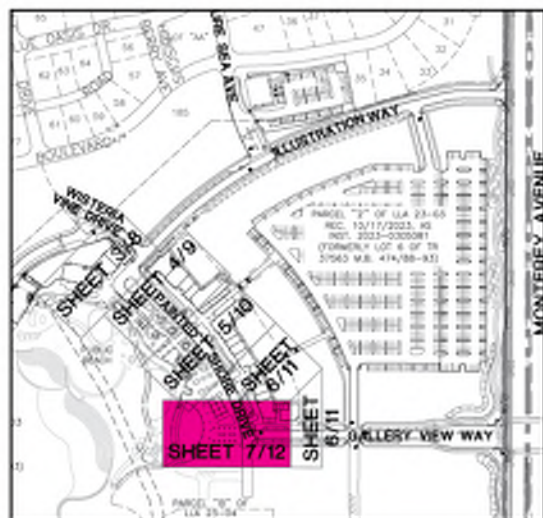
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**Sign Location Plan**  
Painted Shore Parking

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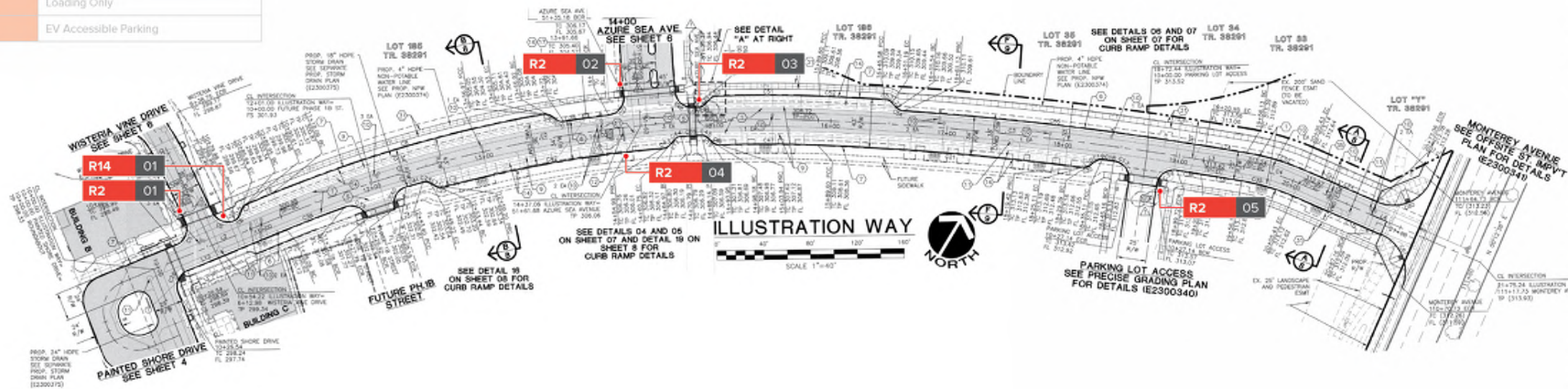
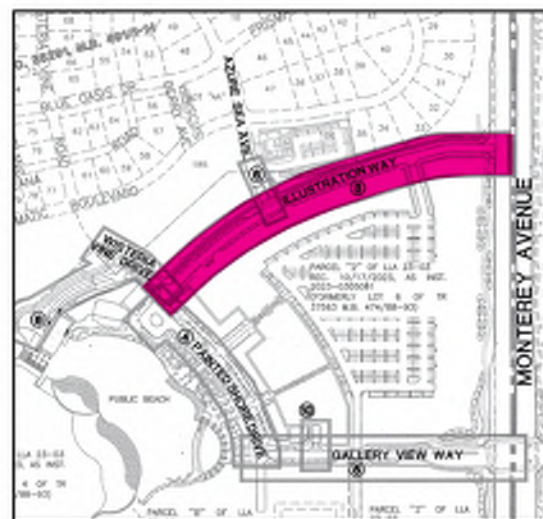
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Sign Location Plan  
Stop Signs

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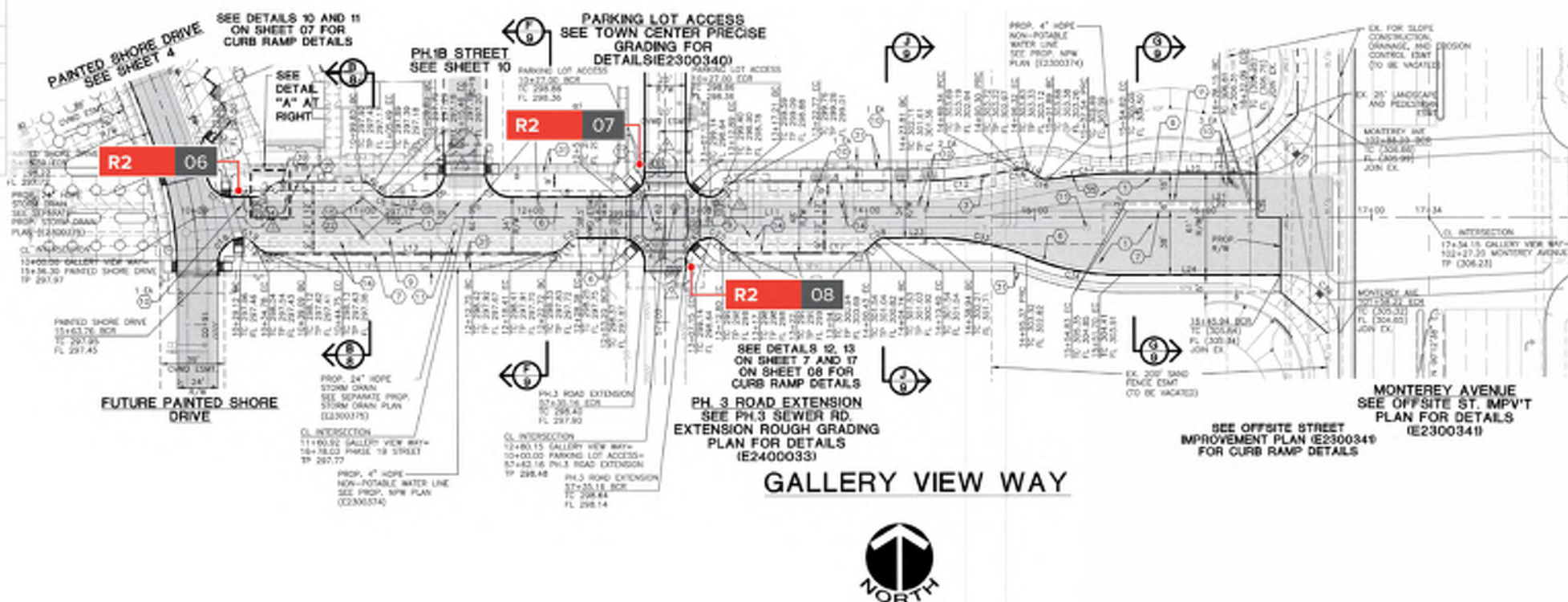
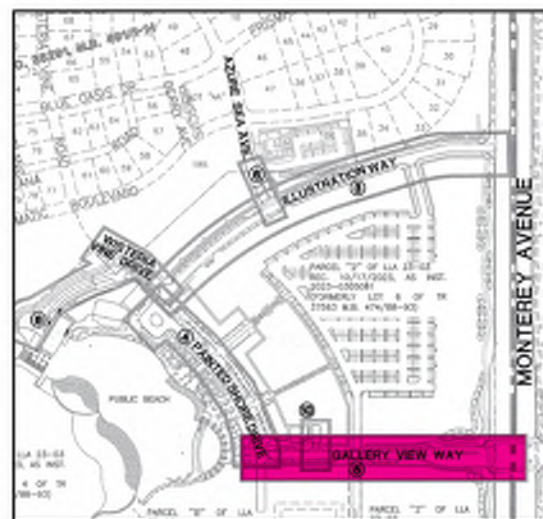
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04



## REGULATORY SIGNAGE

*Please note all quantities, sign locations, and final sign messaging shall be approved by the Rancho Mirage Planning Division prior to any fabrication. Additionally, the Planning Division should be notified of any proposed changes to the sign program.*

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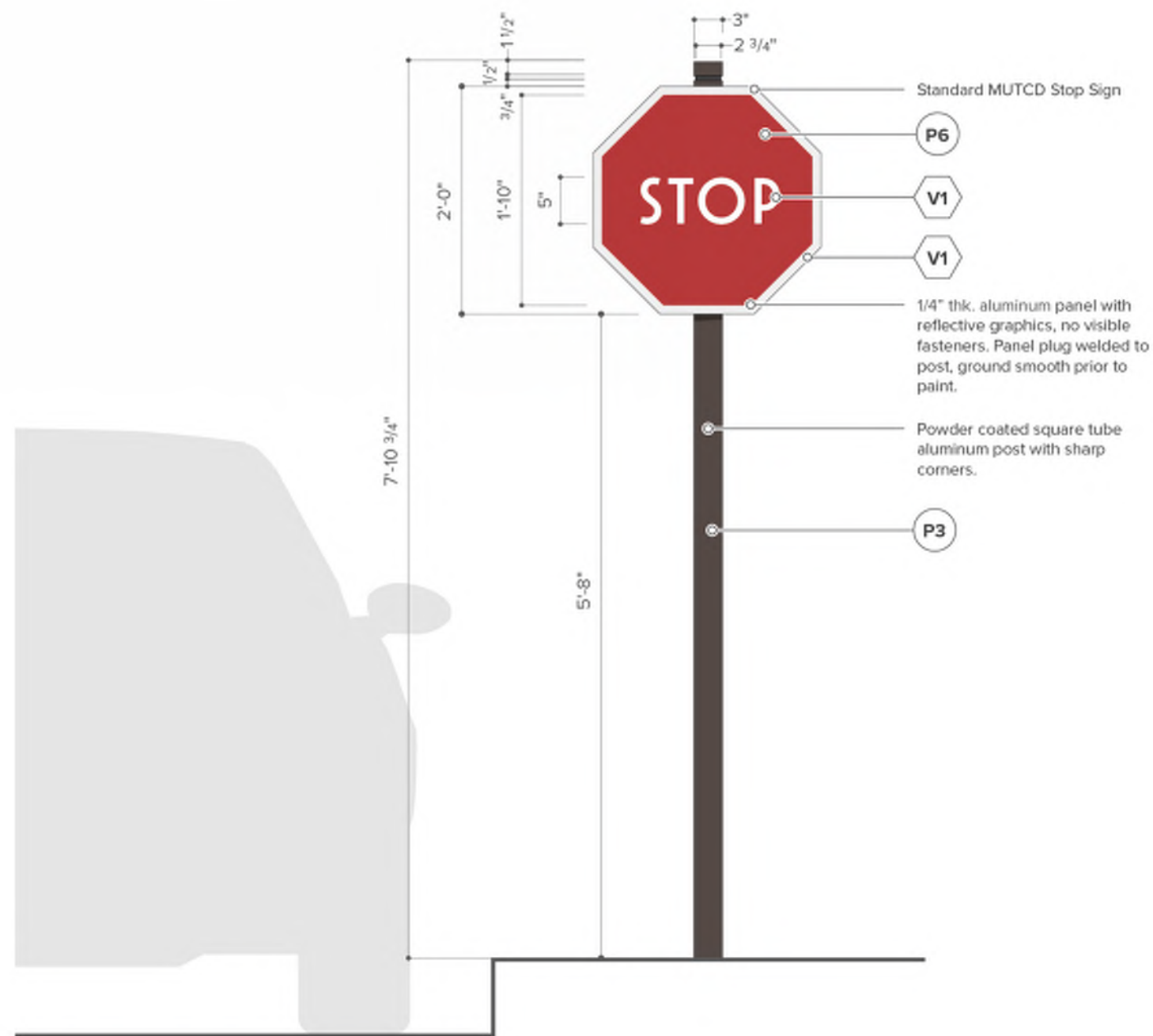
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1 Front View  
Scale : 3/4"=1'



2 Side View  
Scale : 3/4"=1'



3 Back View  
Scale : 3/4"=1'

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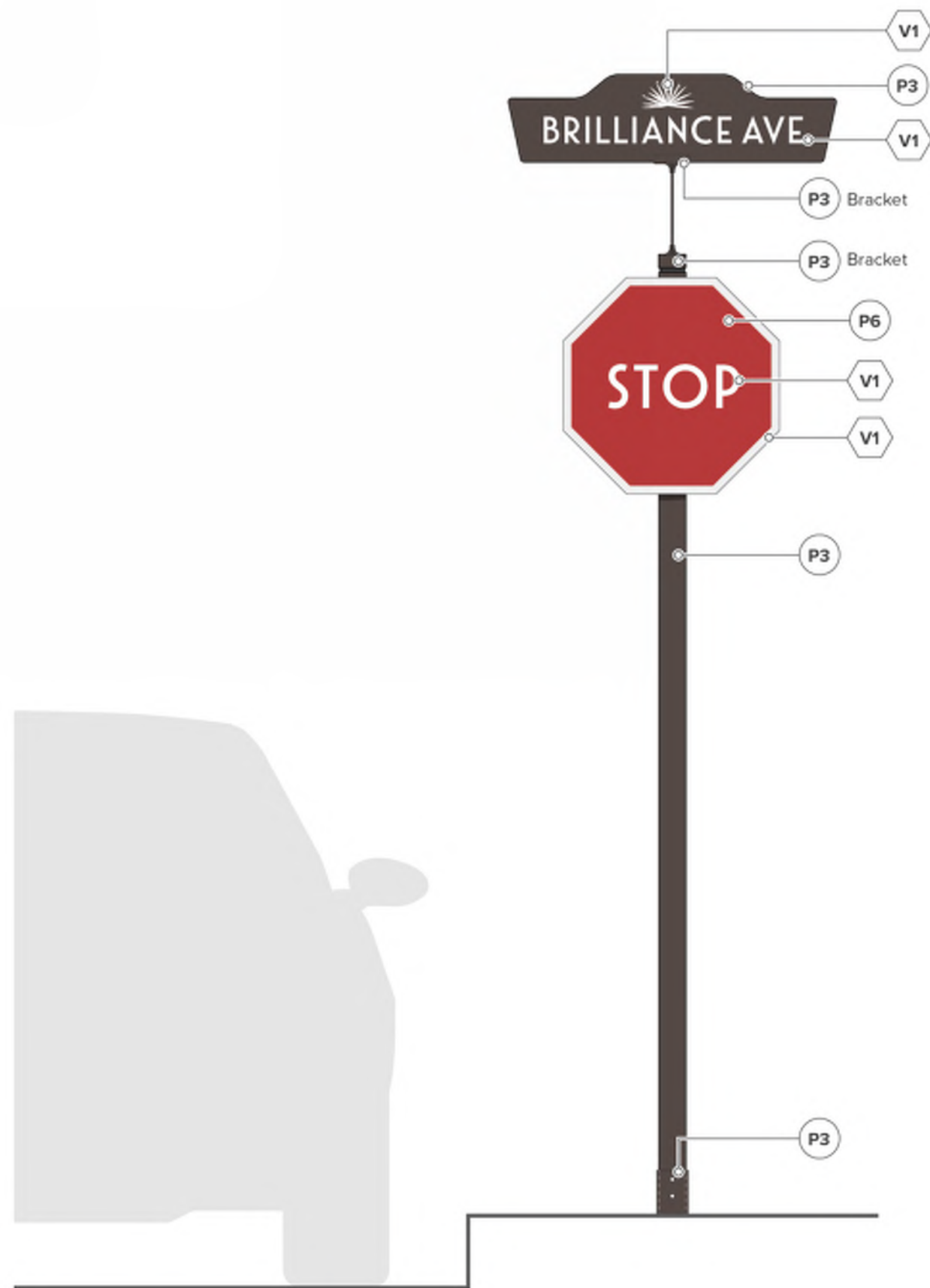
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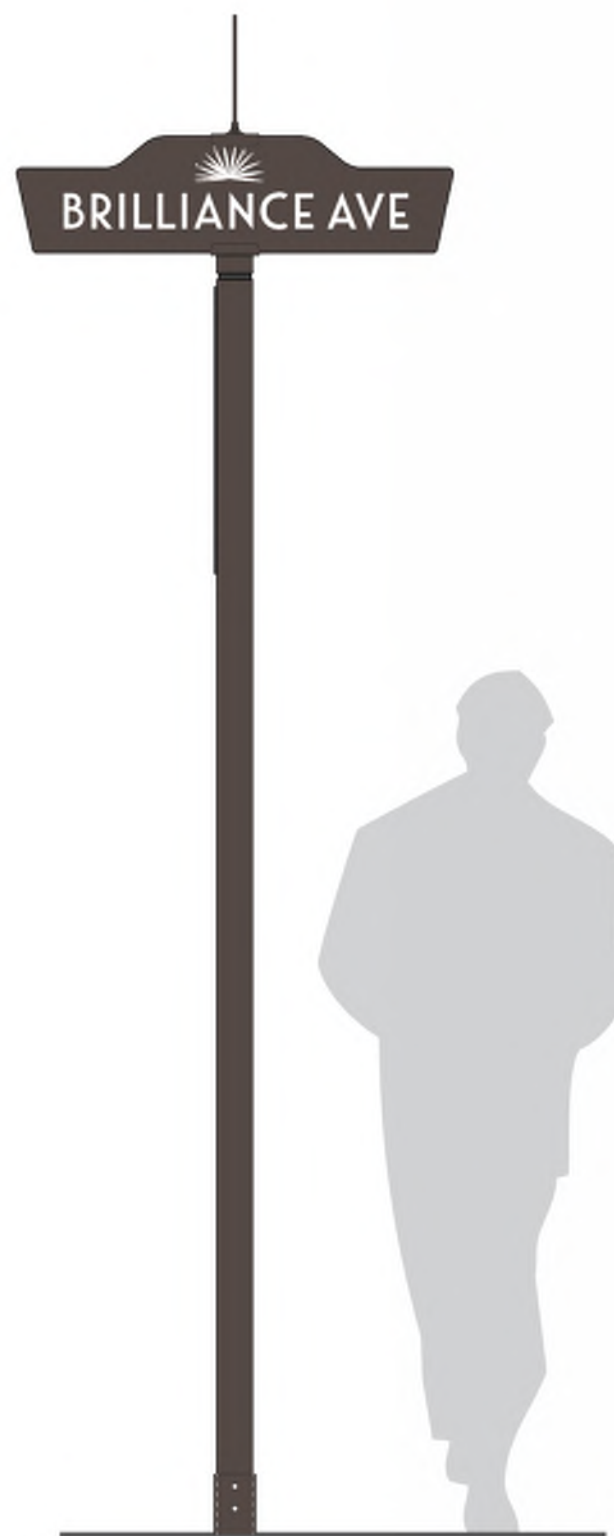
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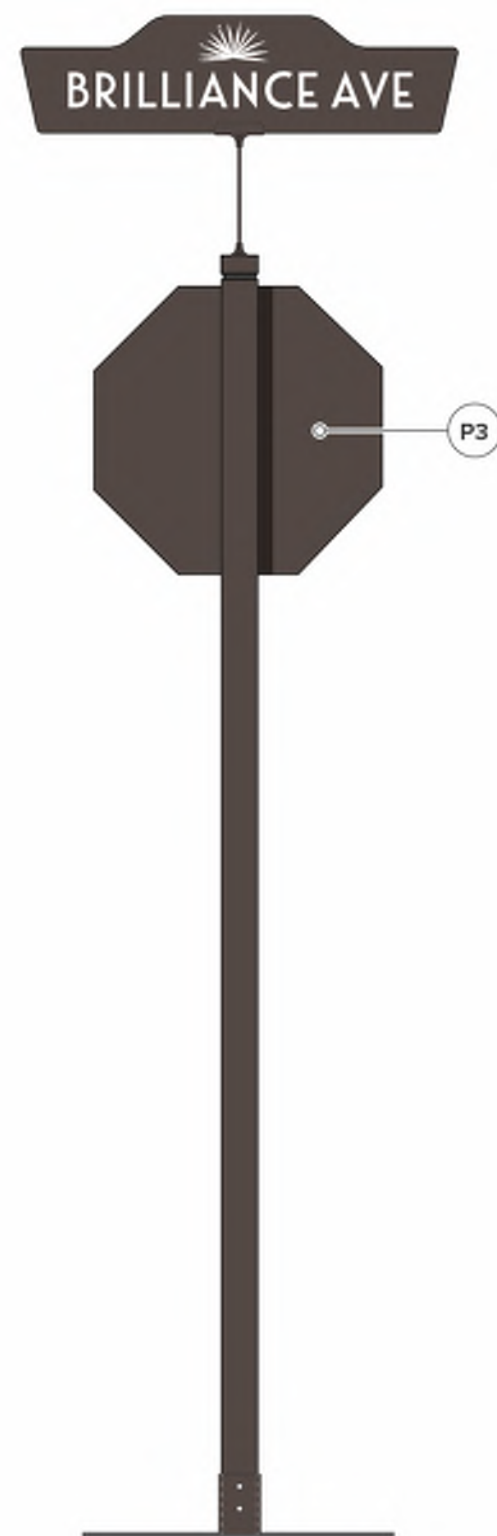
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1 Front View  
Scale : 3/4"=1'



2 Side View  
Scale : 3/4"=1'



3 Back View  
Scale : 3/4"=1'

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R2 | STOP SIGN & STREET SIGN  
Color and Material/ Notes and Details/Sections

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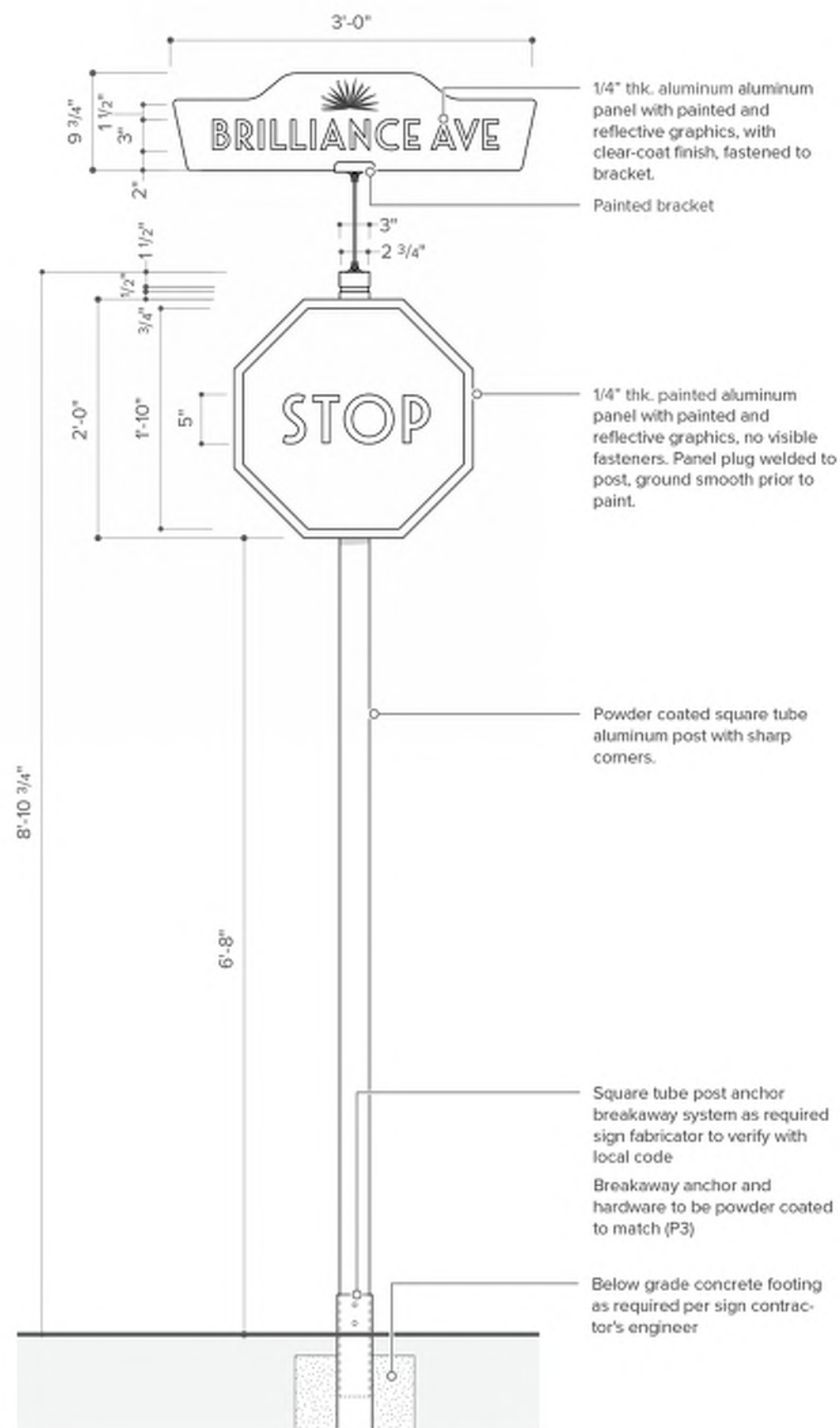
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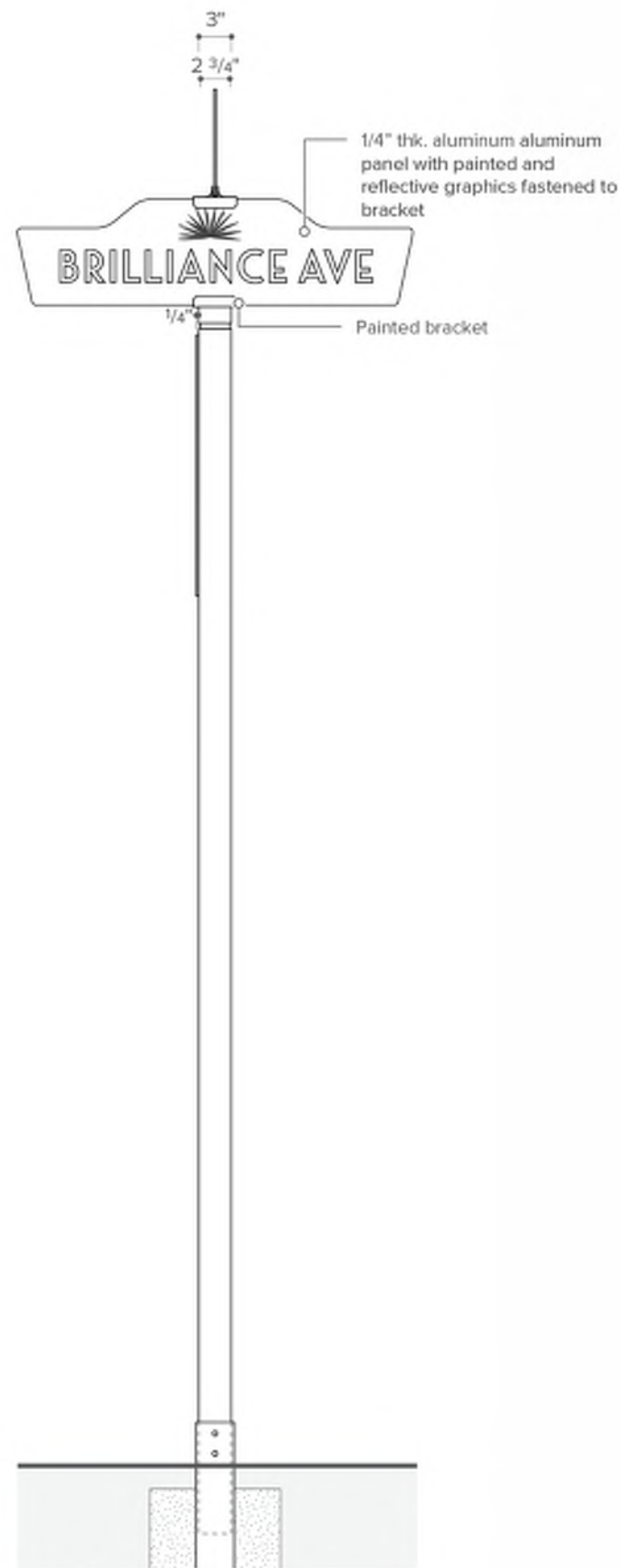
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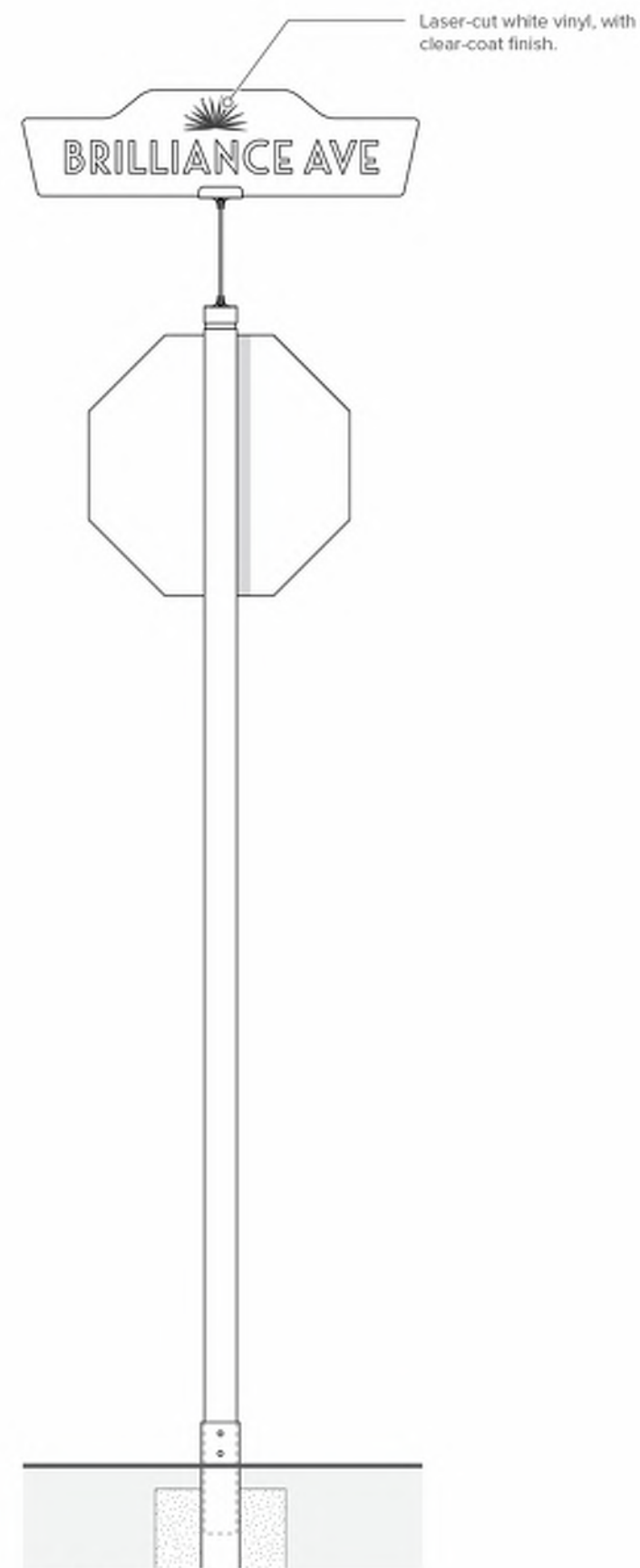
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1 Front View  
Scale : 3/4"=1'



2 Side View  
Scale : 3/4"=1'



3 Back View  
Scale : 3/4"=1'

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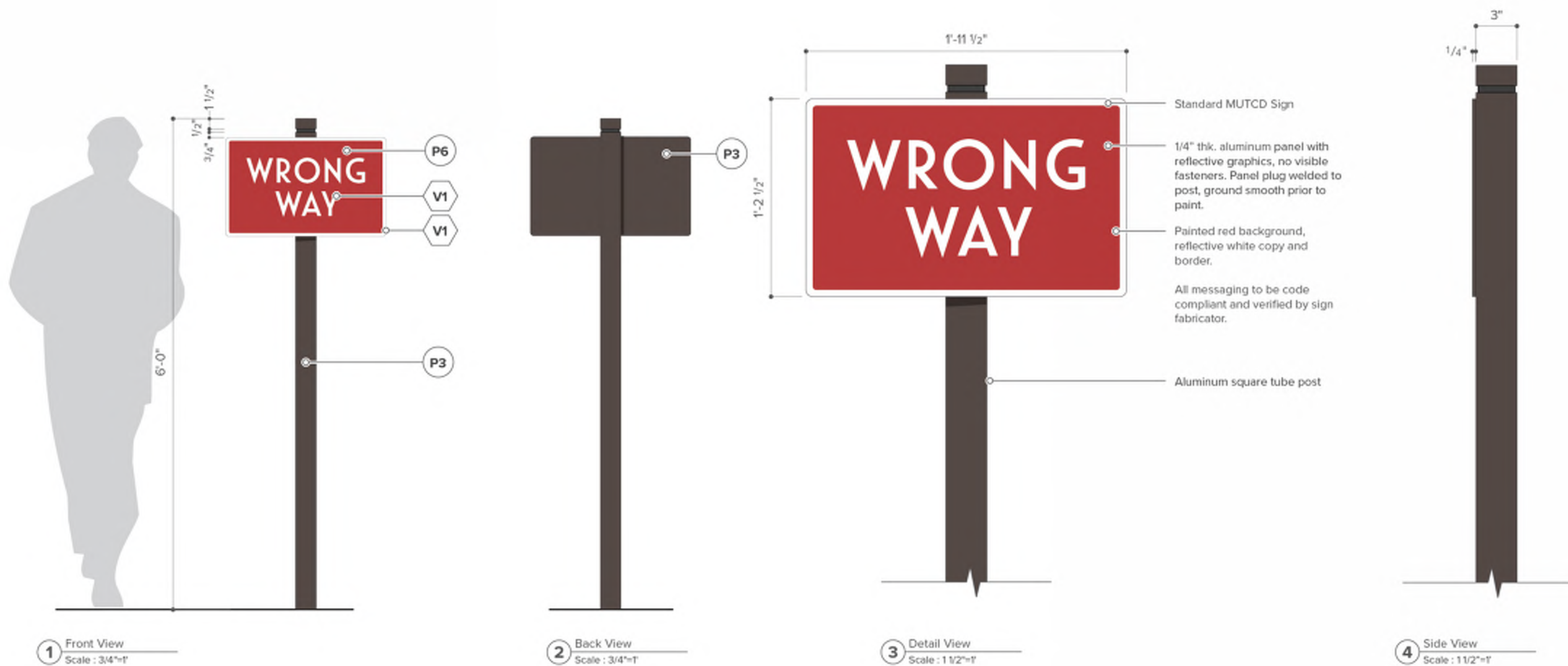
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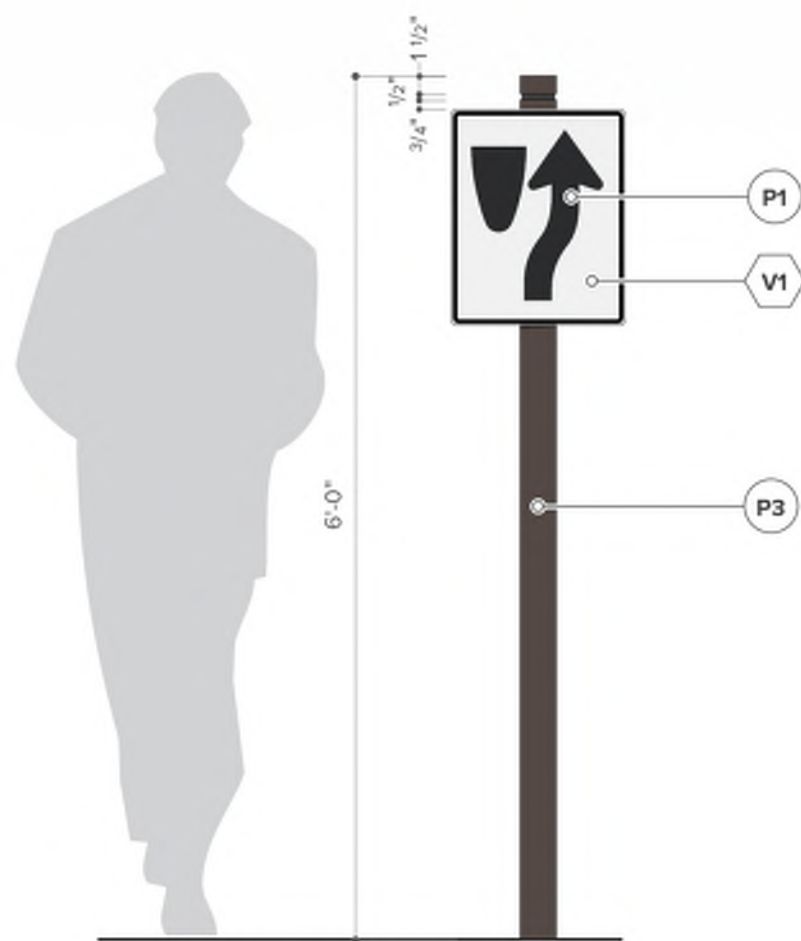
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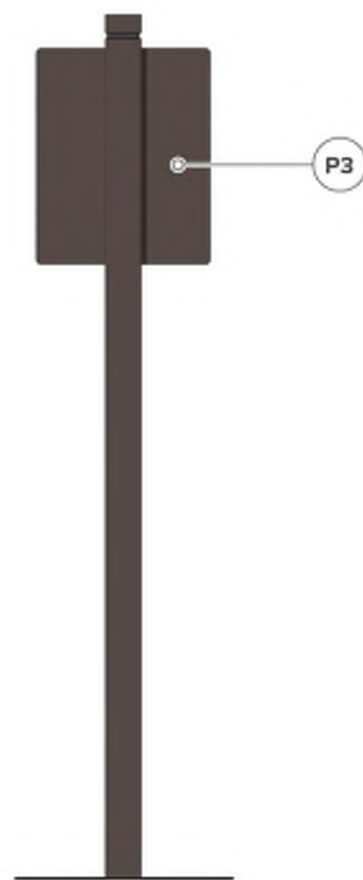
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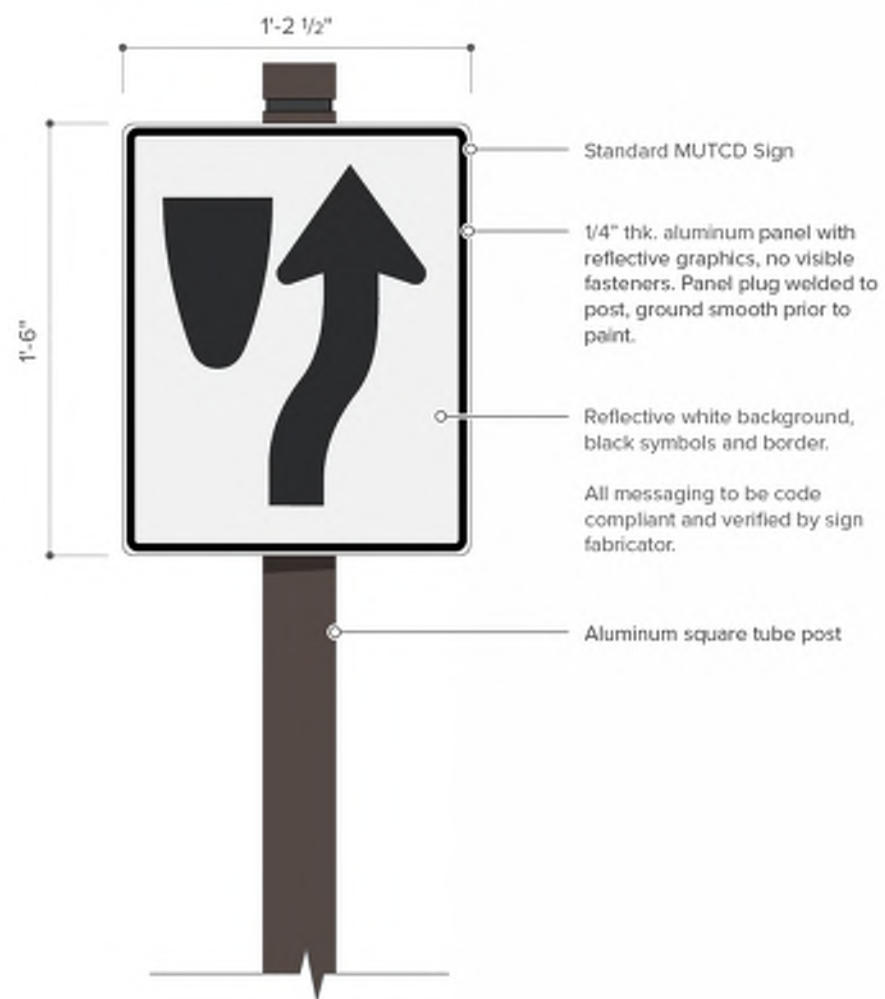
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1 Front View  
Scale : 3/4"=1'



2 Back View  
Scale : 3/4"=1'



3 Detail View  
Scale : 1 1/2"=1'



4 Side View  
Scale : 1 1/2"=1'

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REVISIONS:	DATE:
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**Please Note:** These signs are not yet located but will be located by G.C. at a future point in time.



1 Front View  
Scale : 3/4"=1'

2 Back View  
Scale : 3/4"=1'



3 Front View  
Scale : 1 1/2"=1'

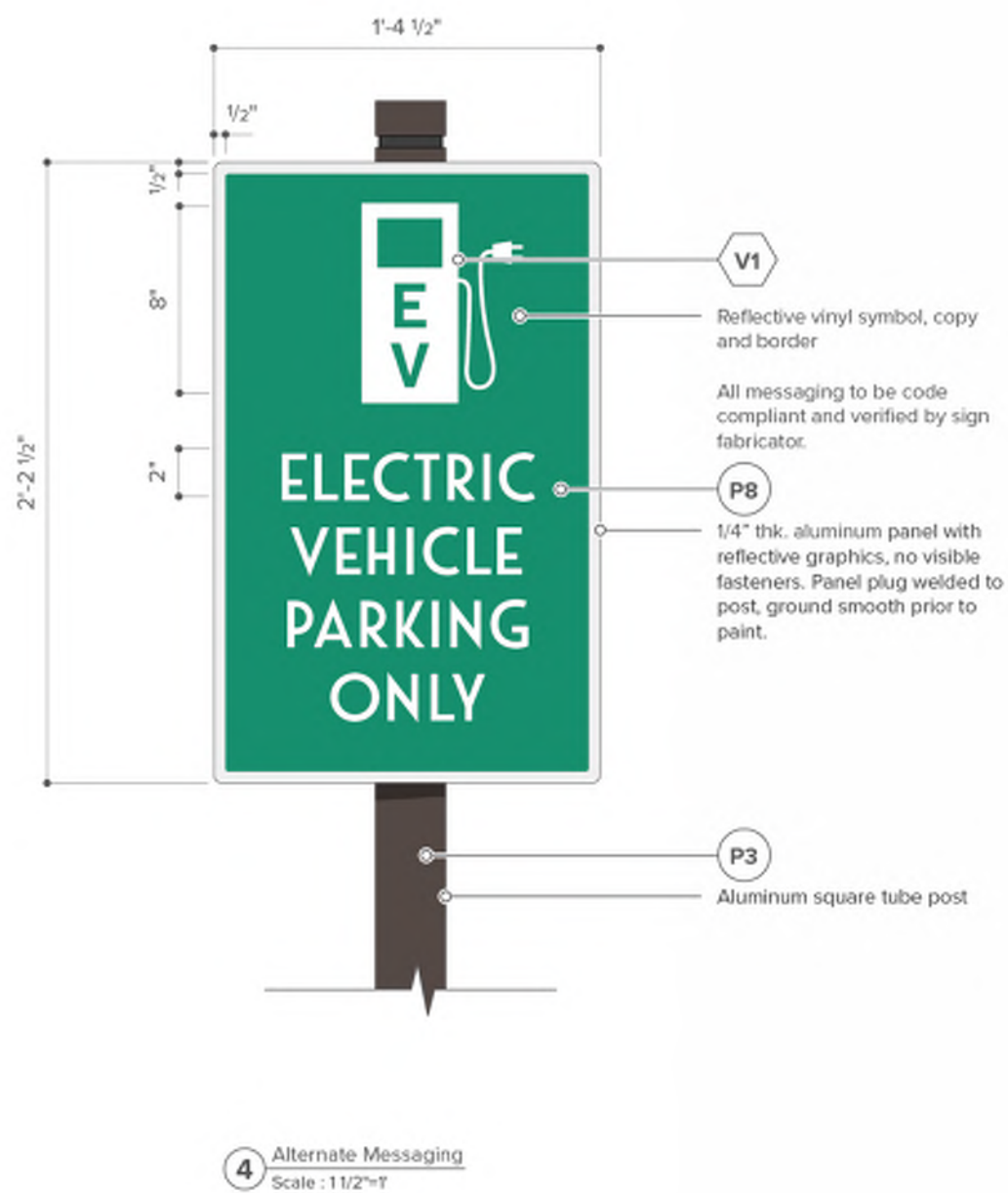
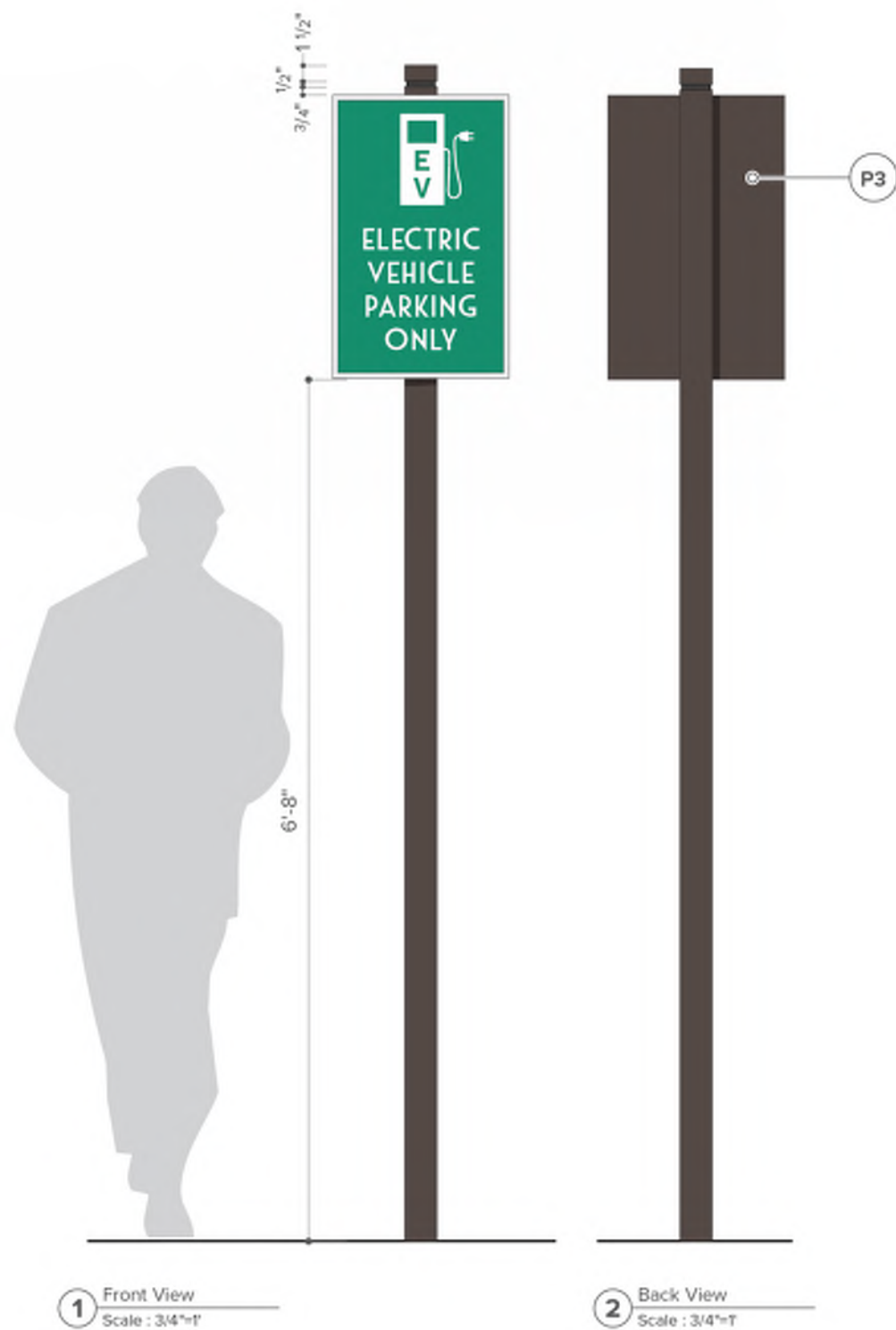
4 Side View  
Scale : 1 1/2"=1'

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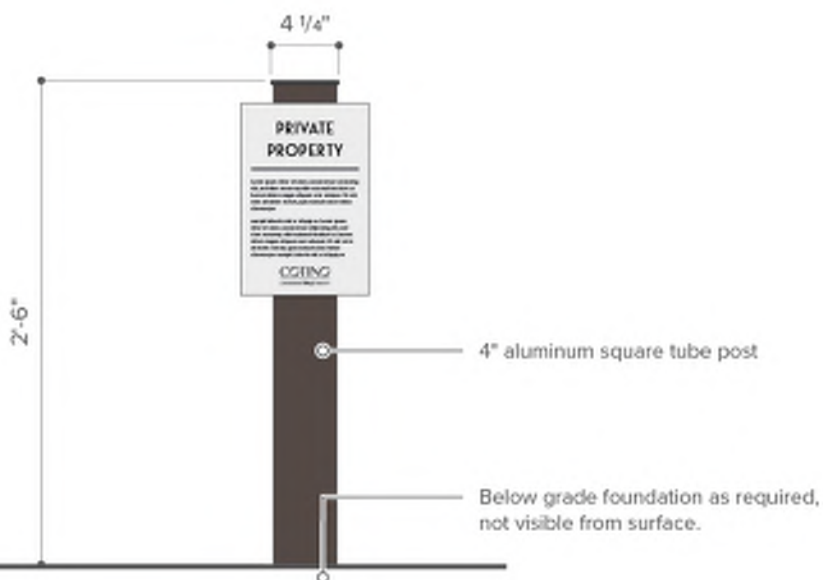
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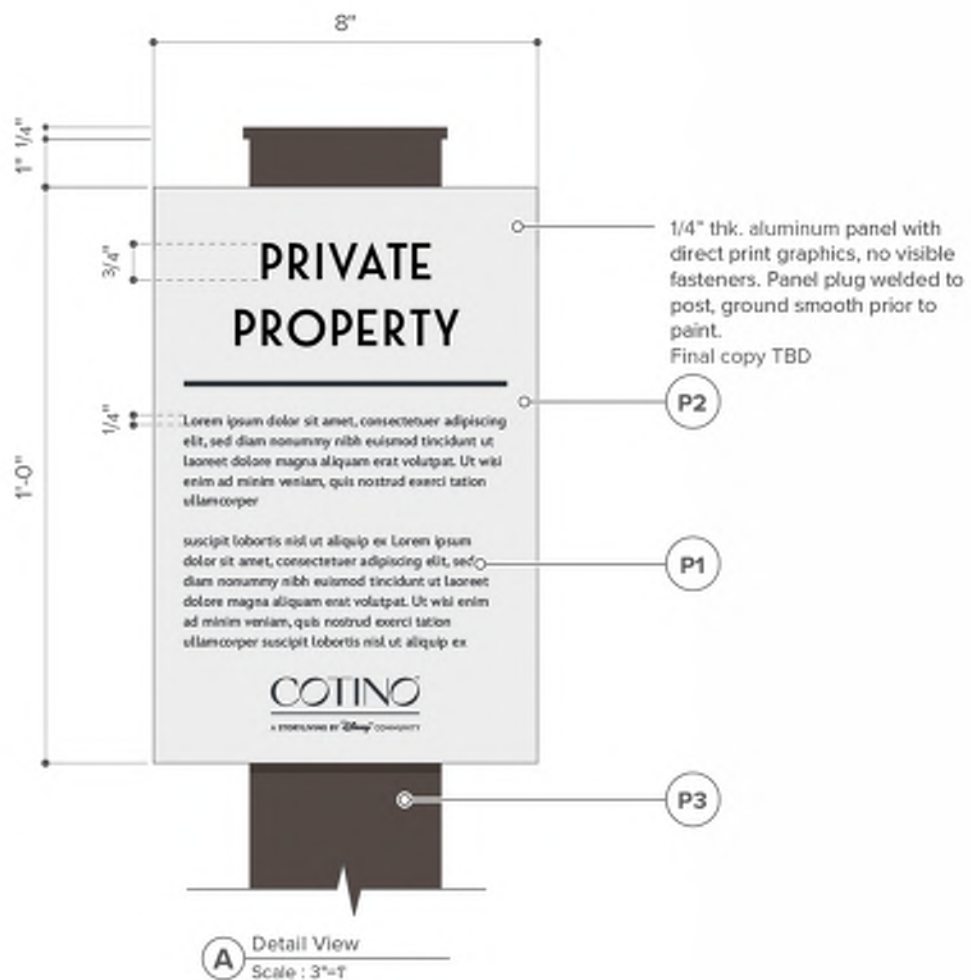
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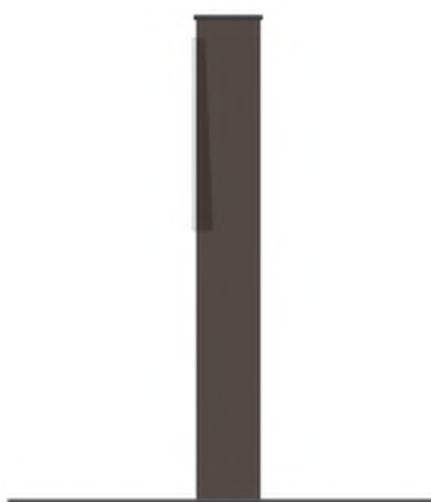
4 Plan View  
Scale: 1"=1'



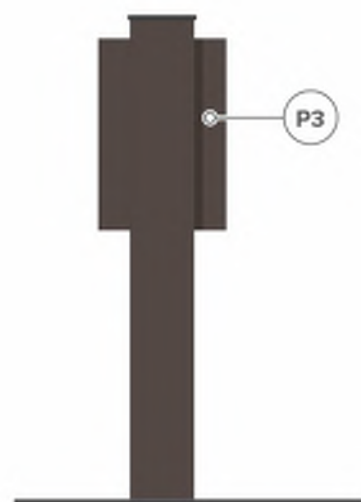
1 Front View  
Scale: 1"=1'



A Detail View  
Scale: 3"=1'



2 Side View  
Scale: 1"=1'



3 Back View  
Scale: 1"=1'

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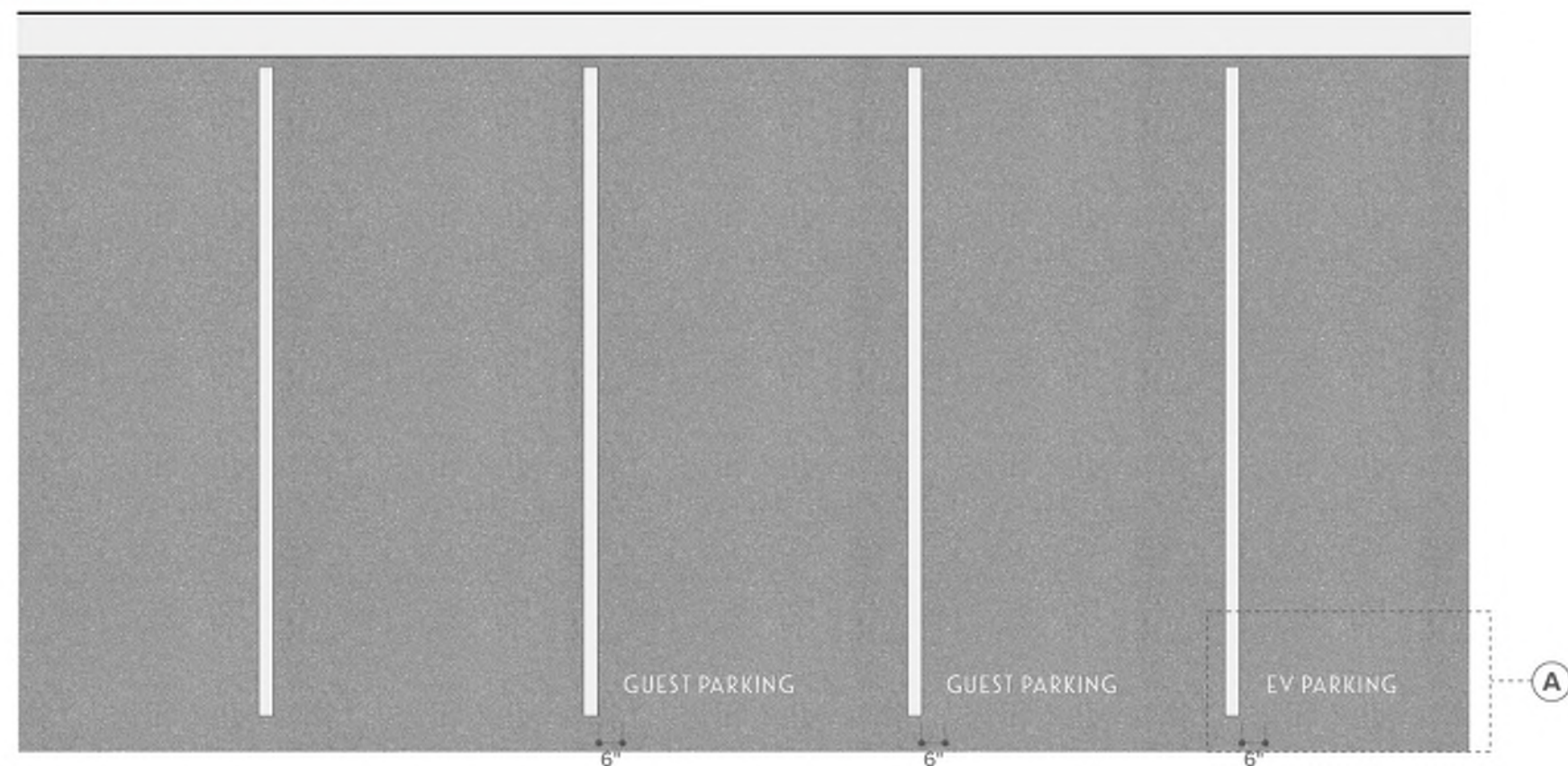
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**A** Plan Detail  
Scale : 1"=1'

Messaging for placement only. Final copy to be verified by parking consultant and approved by owner.



**1** Top View  
Scale : 1/4"=1'

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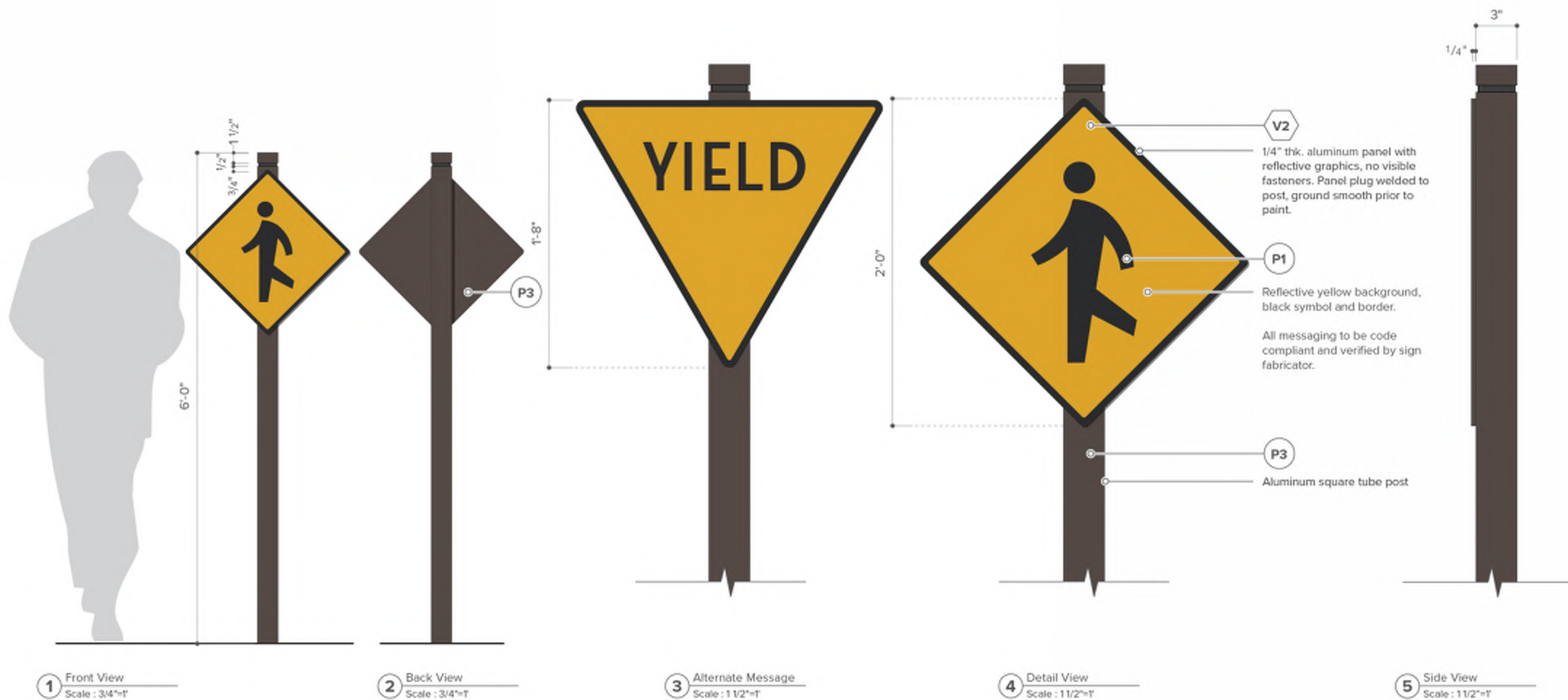
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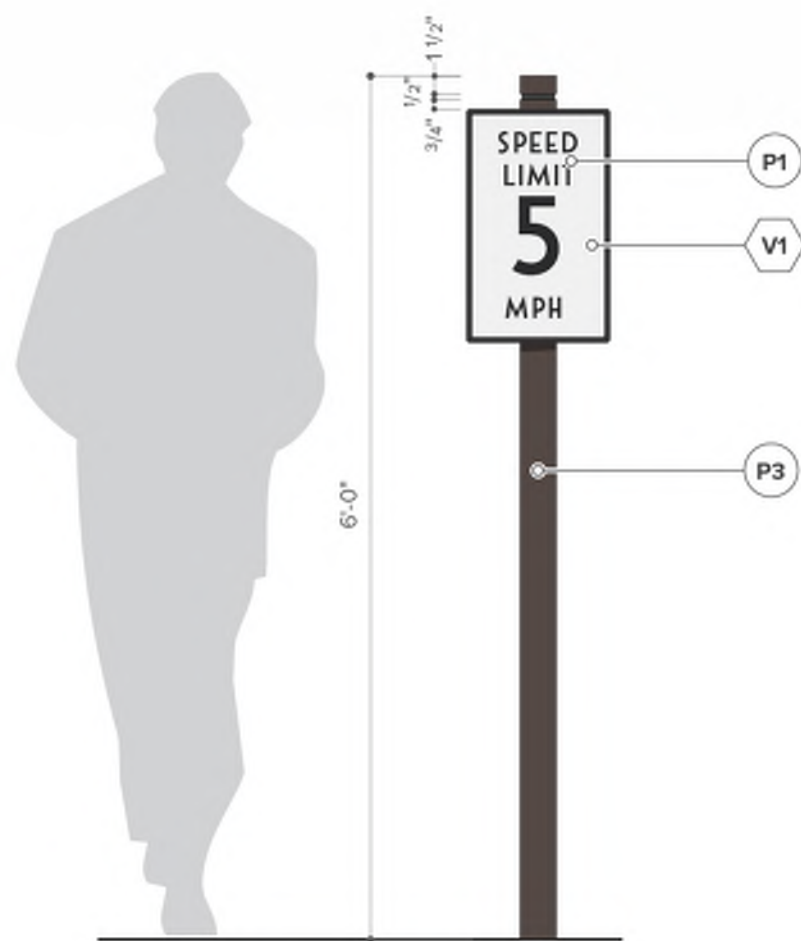
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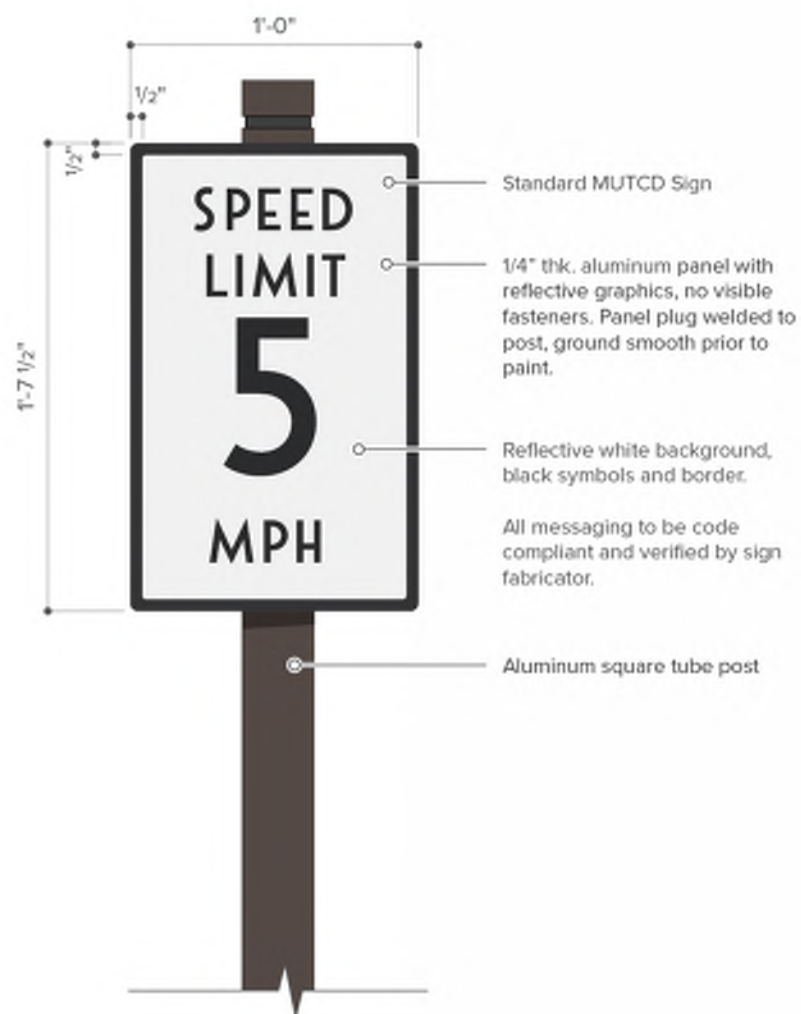
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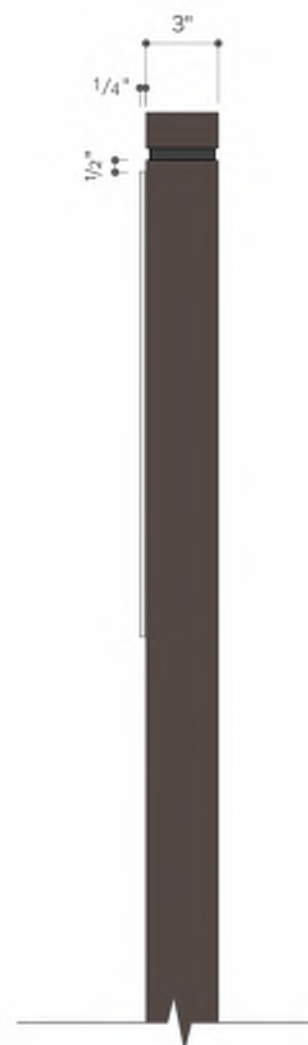
1 Front View  
Scale : 3/4"=1'



2 Back View  
Scale : 3/4"=1'



3 Detail View  
Scale : 1 1/2"=1'



4 Side View  
Scale : 1 1/2"=1'

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R11 | Speed Limit  
Color and Material/ Notes and Details/Sections

PACKAGE NOTES

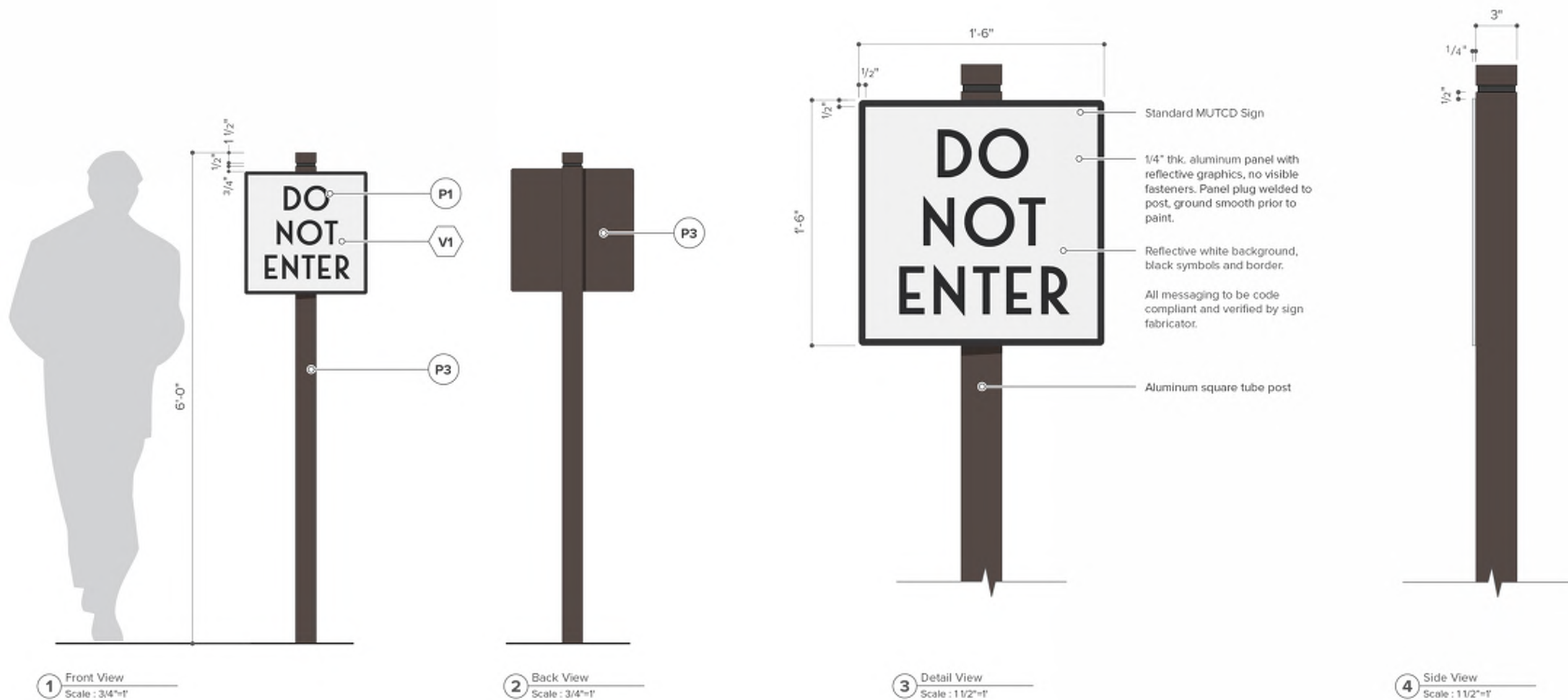
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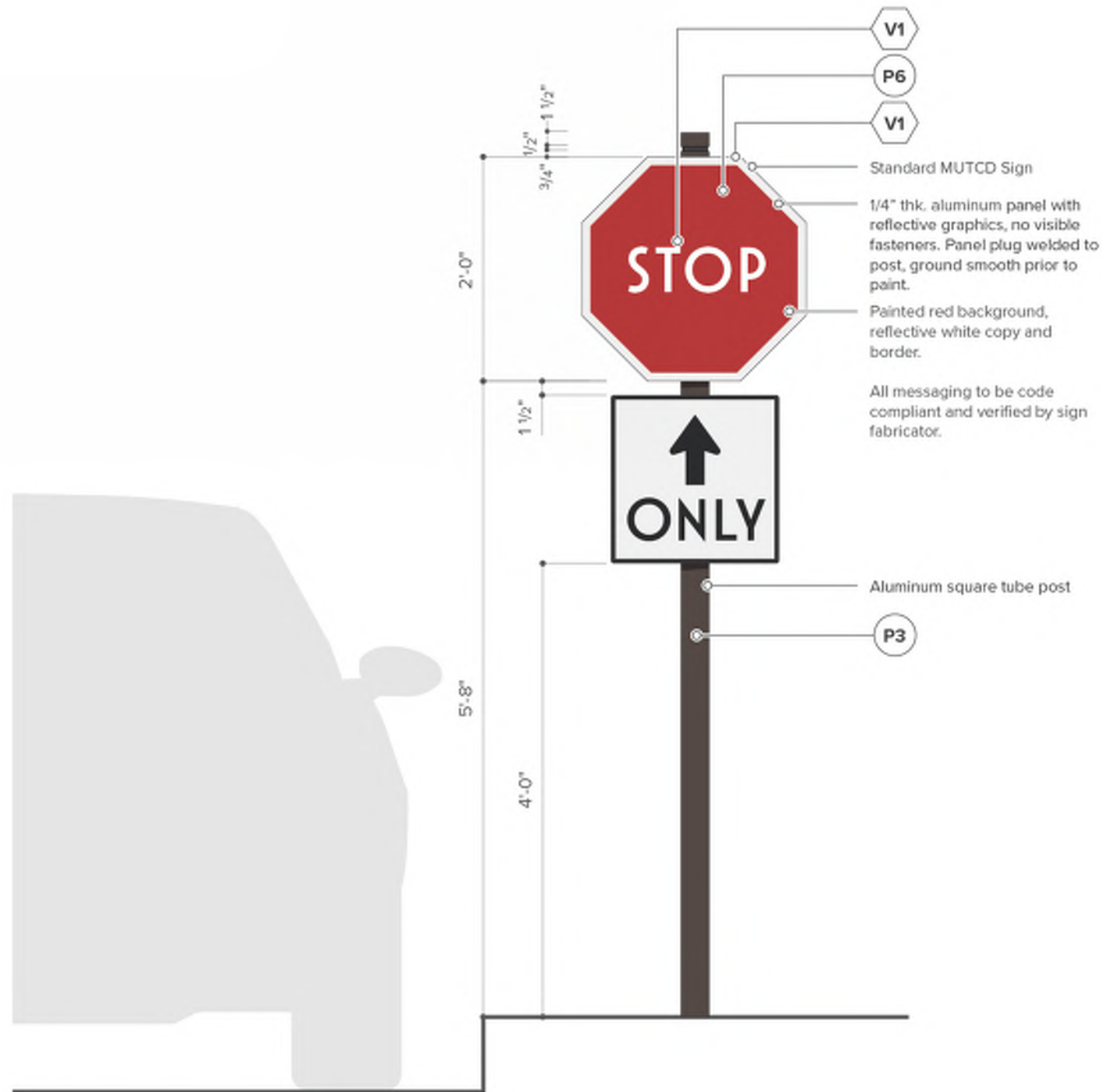
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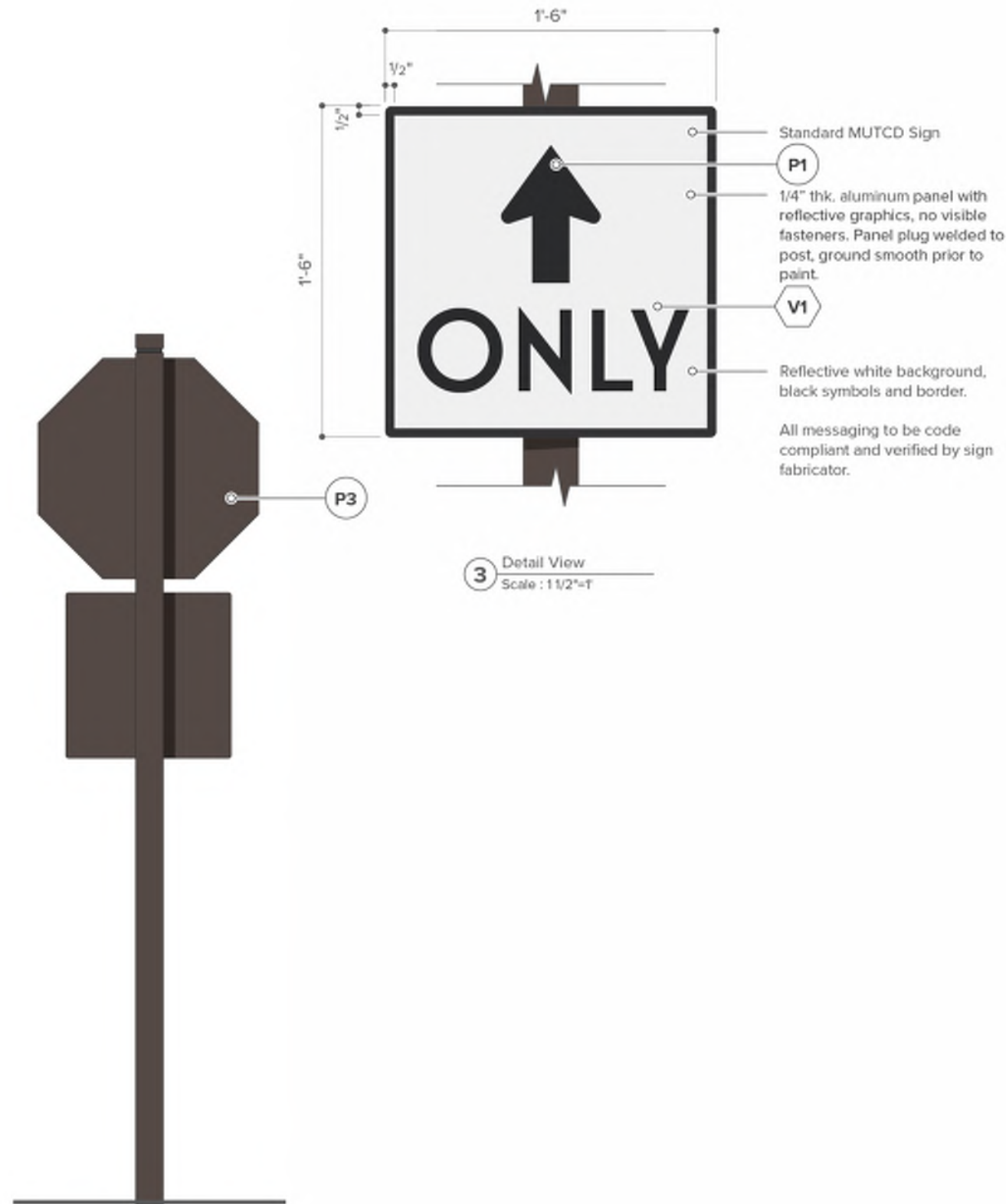
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1 Front View  
Scale : 3/4"=1'



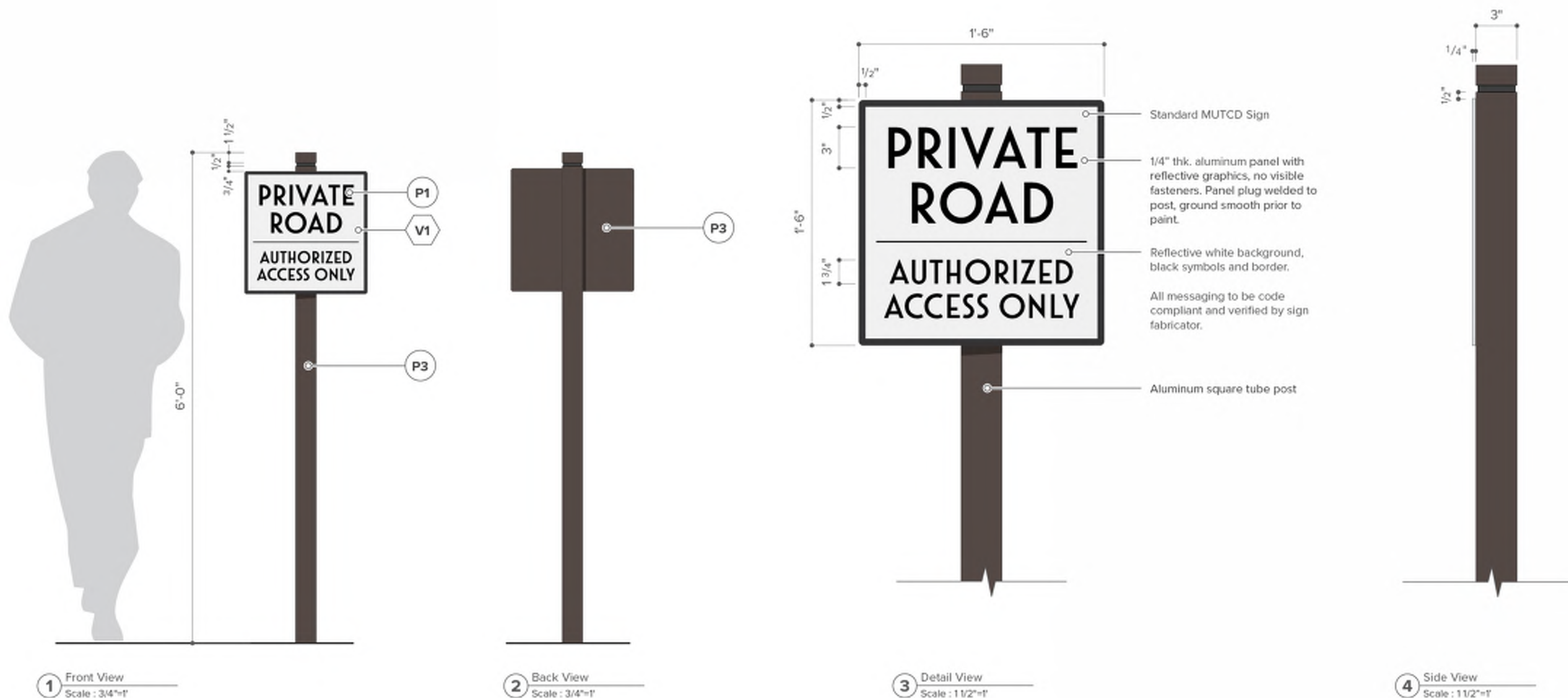
2 Back View  
Scale : 3/4"=1'

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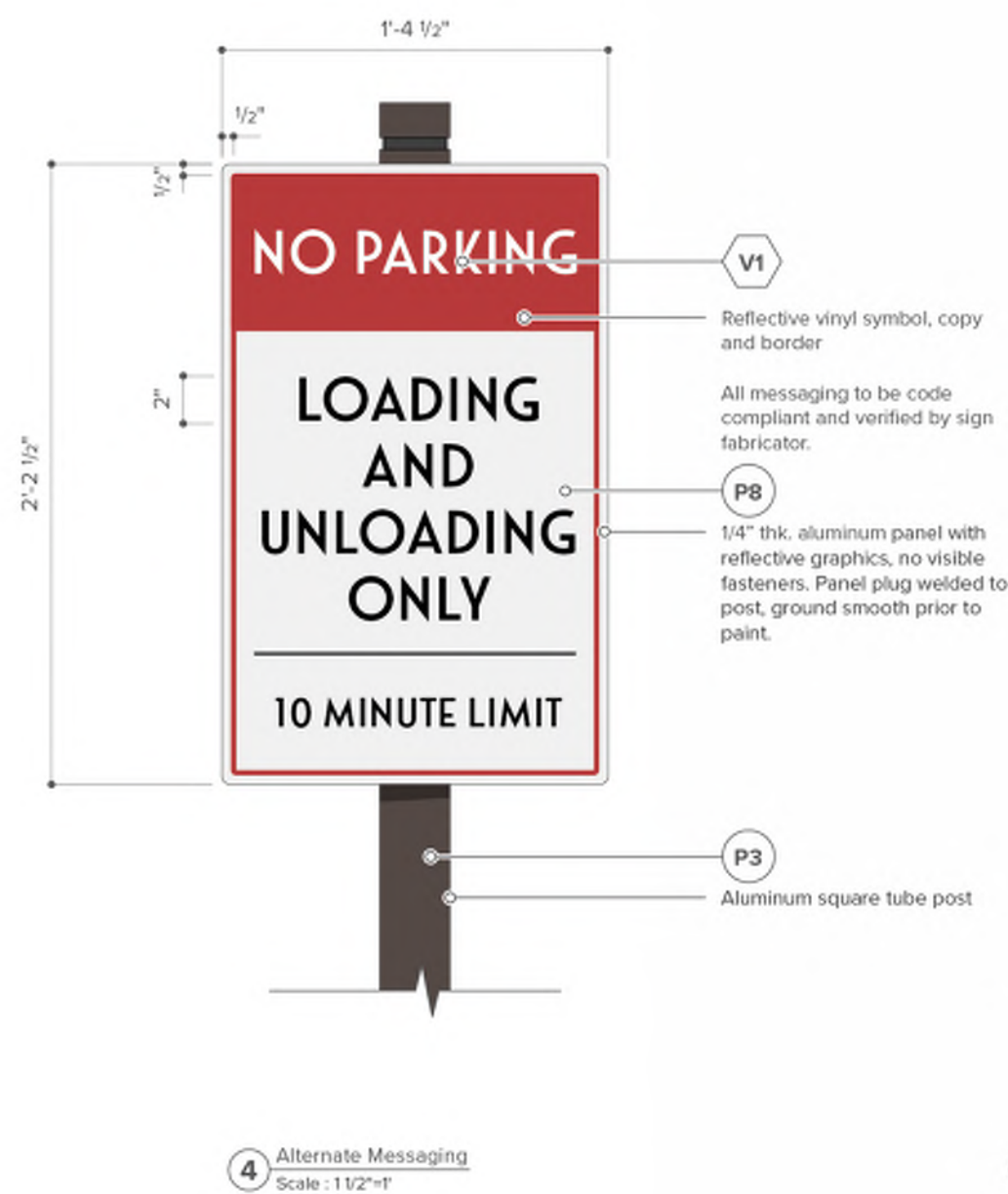
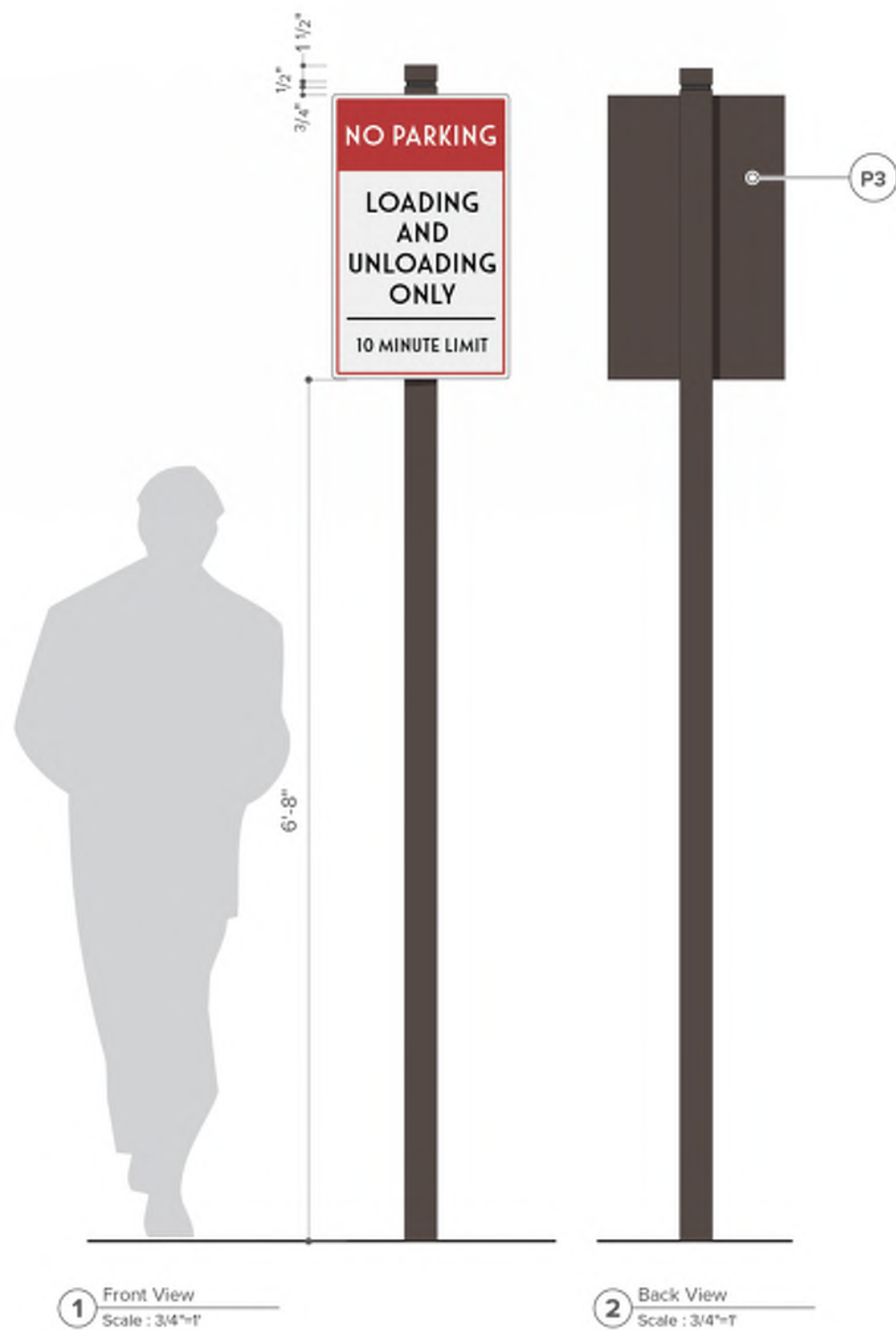
All drawings and written materials appearing herein constitute original and unpublished work of RSM Design Inc. and may not be used or disclosed without written consent of RSM Design Inc.

All drawings must comply with specifications noted in this document.

**PLEASE NOTE**

All reference images are for internal use only. RSM Design does not have copyrights for said images and therefore should not be published or shared.

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PACKAGE NOTES

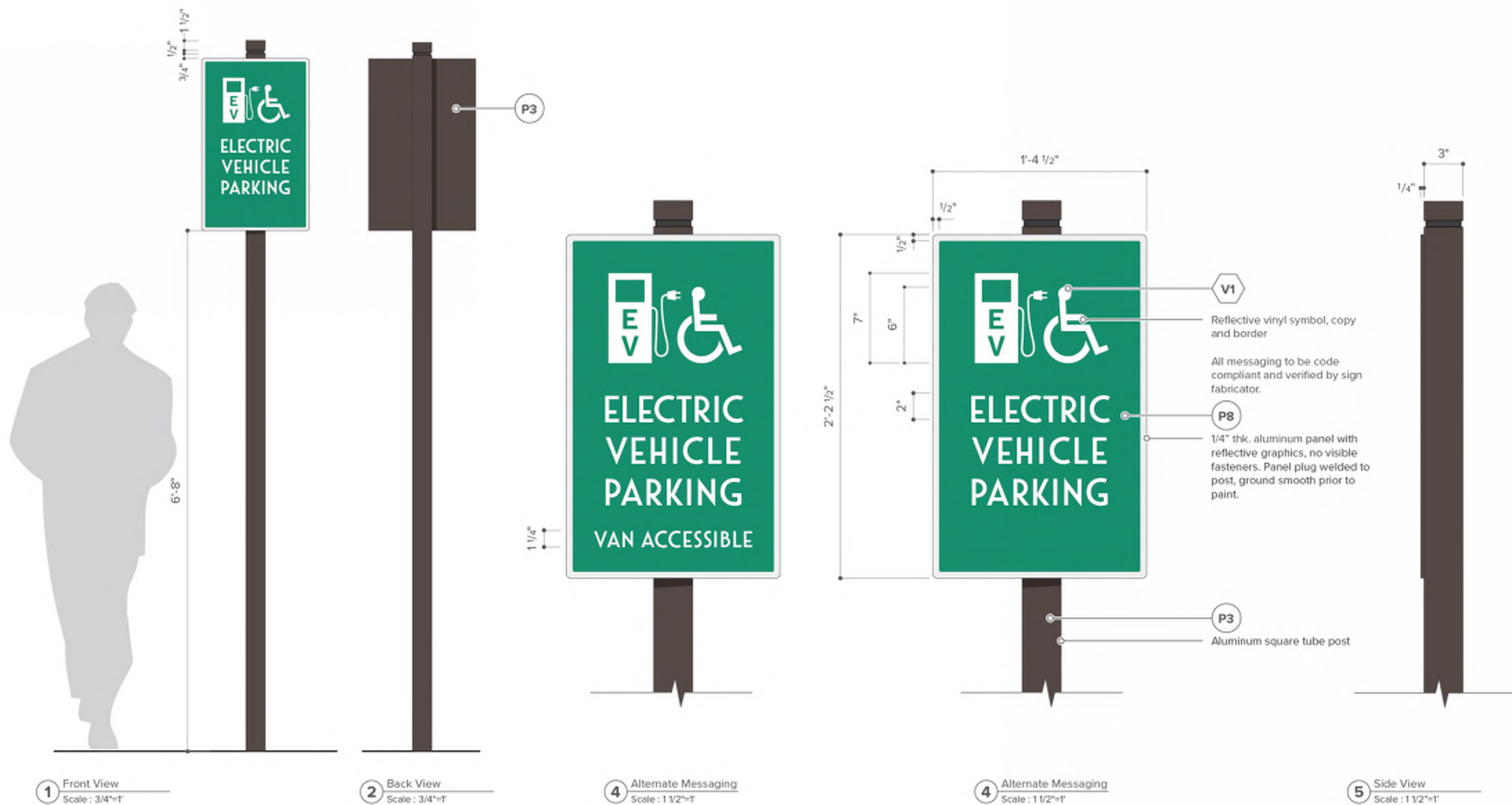
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REVISIONS:      DATE:

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# COTINO<sup>TM</sup> BAY

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BEACH • DINING • SHOPS

TENANT SIGNAGE PROGRAM





# Table of Contents

The following guidelines are for use by the tenants, designers, architects, and sign fabricators in the development, design, construction, and installation of identity signs for the tenants of *Cotino™* Bay Beach • Dining • Shops. Owners are encouraged to use creativity and exceptional design to create something distinctive and unique that is reflective of the project. All signs are subject to prior review and approval as set forth in the Declaration of Covenants, Conditions and Restrictions and Establishment of Easements for the Commercial Property at CRM.

01

Design Character

02

General Guidelines

03

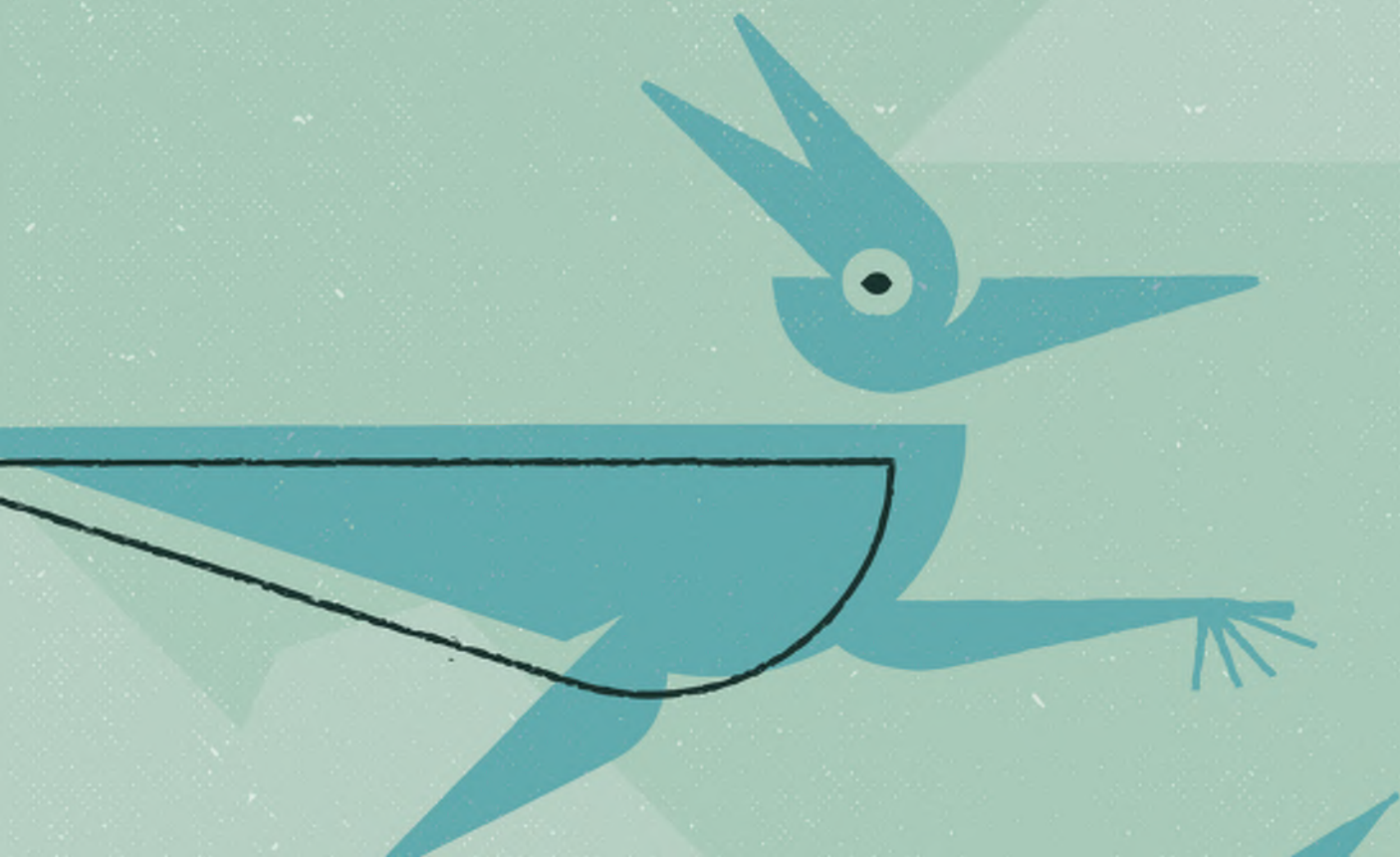
Tenant Zoning Matrix

04

Signage Examples

# Overall Design Character

Owner signage is expected to enhance and extend the spirit of the architectural character of the *Cotino*<sup>TM</sup> Bay Beach • Dining • Shops area, expressing clearly the tenant's business name and function, while also serving as an expression of the high quality of the retail and business environments within Town Center.



# The Disney Touch is at the heart of it all.

Disney Imagineers are the visionaries behind the magic of *Cotino™*, a *Storyliving by Disney™* community, and will help make each *Storyliving by Disney™* community the kind of beautiful haven where people dream of living, with delightful architecture, amenities, and activities.

## PLACEMAKING BY DISNEY IMAGINEERS

Discover magnificent stories Disney Imagineers tell - weaving the essence of the Greater Palm Springs area into the *Cotino* community, alongside the developer and builders.

## LEGENDARY DISNEY SERVICE

At *Cotino* community, Cast Members strive to deliver the same friendly Disney service guests have come to expect.

Club membership, programming, and access and use of future proposed amenities and offerings, will require payment of dues and/or fees and be subject to additional terms and conditions, which will be set by the owner of the club. Availability of club membership and operation of club facilities are not guaranteed.



# Cotino™ Community at a Glance

This first-ever *Storyliving by Disney™* community brings our company's legacy of placemaking and attention to detail to life like never before. This vibrant new community is thoughtfully designed with creative guidance from Disney Imagineers who have taken inspiration from the region's history, community, and landscape to create a one-of-a-kind place that will inspire residents to write their next chapter.

## A VIBRANT NEW HOME COMMUNITY IN A DREAM LOCALE

Welcome to a dynamic creative oasis with a stunning landscape in the Greater Palm Springs area. This grand desert location is a living painting that has ignited the imaginations of many for centuries—including Walt Disney.

The *Cotino* community welcomes homeowners of all ages, offering single-family residences. Some residences are located on home sites specifically designated for those 55+. And, in the future, condominiums will be available within the community.

Disney magic touches many aspects of this thriving community and be in full display within certain elements of the *Cotino* community.

Home collections are designed and built by third-party builders who are known for quality homes and excellence in developing communities.

Community is for people of all ages with select home sites intended for occupancy by at least one person 55 years or older, except as otherwise permitted under limited circumstances.



Home purchase does not grant access to Cotino™ Bay or its beaches; access will require separate fees. Water levels in Cotino Bay may fluctuate. No representation or warranty is made as to the continued operation or maintenance of Cotino Bay, long-term water levels, or other features of Cotino Bay.



# A Walkable Village

## COTINO™ BAY

BEACH • DINING • SHOPS

Adjacent to the *Cotino* community will be  
*COTINO BAY BEACH • DINING • SHOPS*

With amazing views of the San Jacinto mountains and *Cotino™* Bay – a grand oasis with the clearest turquoise waters featuring Crystal Lagoons® technology, this town center is a popular destination for residents and locals from the greater Rancho Mirage area.

The town center will have an eclectic mix of unique retail shops, dining opportunities, live entertainment, and a collection of open-air market stalls spotlighting local artisans who create and share their works.

This lively spot will be the perfect place to bring visiting family and friends to share laughter and create memories together.

*Cotino* Bay Beach, dining, & shops will connect with neighboring retail developments and has entitlements for a future hotel.



# Cotino™ Bay Beach

Cotino Bay Beach, with its white sand and the clearest turquoise waters featuring Crystal Lagoons® technology, will become an exhilarating destination for swimming, kayaking, relaxing and more—and can be accessed through the purchase of admission. Nonmotorized watercraft, rentals and other amenities will also be available for additional fees to create the perfect day at the beach.

Artist concept rendering, not yet constructed and subject to change. ©Disney  
Home purchase does not grant access to Cotino™ Bay or its beaches; access will require separate fees.  
Water levels in Cotino Bay may fluctuate. No representation or warranty is made as to the continued operation or maintenance of Cotino Bay, long-term water levels, or other features of Cotino Bay.

# General Guidelines

The following guidelines are for use by the tenants, designers, architects, and sign fabricators in the development, design, construction, and installation of identity signs for the tenants of *Cotino™* Bay Beach • Dining • Shops. All signs are subject to prior review and approval as set forth in the Declaration of Covenants, Conditions and Restrictions and Establishment of Easements for the Commercial Property at CRM. Any special conditions or deviations from these guidelines require prior written approval from the Owner.



## TENANT SIGNAGE CRITERIA

### General Guidelines

The following guidelines are to help guide the tenant designers, architects, and sign fabricators in the development, design, construction, and installation of identity signs for the tenants of *Cotino*™ Bay Beach • Dining • Shops. Any special conditions or deviations from the guidelines require written approval from the Owner.

1. Tenant signs shall be defined as any message that can be read from the exterior of the store. Not included in the definition are messages used to advertise products, sales, special events, etc.
2. All signs shall be designed, installed, illuminated, located, and maintained in accordance with the provisions set forth in this manual and all other applicable codes and ordinances.
3. Every submission will be evaluated with consideration of adjacent signs and architecture to ensure balance and quality.
4. At the Owner's discretion, any tenant sign may be approved without regard to the criteria outlined here. These exemptions are reserved for the tenants employing the highest quality signage design and use of materials.
5. Unless specifically noted, the tenant signage shall be limited to the tenant name and logo only.
6. Established logos shall also be permitted but shall be included in the area / size restrictions.
  - a. No taglines, slogans, or descriptions of services are allowed. No other brand names, product names, or phrases may appear on the storefront (or in any area directly visible from the public space). Decals or other signage indicating product lines or credit card acceptability shall not be permitted on the storefront.
7. Sign vendor should submit shop drawings to the Owner for final approval.
8. Documents should include: storefront elevations, signs drawn in location with dimensions showing letter height and widths, and a calculation of total sign area.
9. Detailed sign drawings to include fully dimensioned and scaled shop drawings with exact dimensions, copy layout, type styles, front and side views, typical section details, material and color call-outs, illumination specifications, light temperature, engineering drawings (if required) showing attachment, mounting details, and penetrations into the building.
10. Following the Owner's written approval of sign shop drawings, the tenant shall submit sign plans signed by the Owner to the local authorities. The tenant shall furnish the Owner with a copy of the applicable permits prior to the tenant's installation of its signage.
11. Signs shall be inspected upon installation to ensure conformance. Any work unacceptable shall be corrected or modified at the tenant's expense as required by the Owner.
12. Each submission will be reviewed by the a submittal design review board that is assembled by the Owner.
13. Following Landlord's written approval of sign shop drawings, Tenant shall submit sign plans signed by the Landlord to the local authorities. Tenant shall furnish the Landlord with a copy of the applicable permits prior to Tenant's installation of its signage.
14. Sign Program shall comply with the Section 31 Specific Plan Section 4.8 Town Center Signage Design and/or RMMC sign ordinance as applicable.
15. Temporary signs shall be approved by the landowner and/or their authorized representative and shall be submitted to the Planning Division for review.

## A. MATERIALS

1. Sign materials for permanent signs should be of the highest quality. All materials must be durable, of an exterior grade quality, and designed to withstand local weather conditions. Additional details by sign type. The use of other materials may be approved at the discretion of the Owner.
2. Acceptable sign material treatments are:
  - a. Painted aluminum
  - b. Dimensional letter forms with seamless edge treatments
  - c. Wood or wood-like materials, with the Owner's approval
  - d. Etched or brushed metal
  - e. Cold-rolled steel or other raw finishes. These materials must be treated with a seal to prevent damage caused by weathering
  - f. Glass
  - g. White, frosted, or gold-leaf vinyl on storefront glass
  - h. Screens, grids, or mesh
  - i. All materials not specifically listed above must be submitted to the Owner for approval prior to fabrication
3. The following materials are prohibited on all signs:
  - a. Sintra, MDF, or MDO
  - b. Cardboard
  - c. Colored plastics or acrylics
  - d. Trim cap retainers
  - e. Simulated materials, i.e. wood-grained plastic laminate and wall covering
  - f. Digitally printed vinyl such as the stick-on or decal type

*Additional material and fabrication standards are included by individual sign type.*

## B. COLORS

1. The use of color shall meet the following criteria:
  - a. Signs should be limited to a maximum of two colors per sign but will be reviewed by the Owner for approval on a case-by-case basis.

- b. All sign colors are subject to review and approval by the Owner as part of the tenant signage submittal. The Owner must approve any variations from these standards.
- c. Color of letter face and returns are to contrast with building colors for good daytime readability.
- d. The interior of open channel letters are to be painted dark when against light backgrounds.
- e. Dark letter colors with a light reflectance value of 30 or below are strongly recommended.  
**Light Reflectance Value** - LRV is a measurement of how much light a color reflects, and conversely how much it absorbs. LRV runs on a scale from 0 to 100. Zero is an absolute black and 100 is an assumed perfectly reflective white. This scale applies to all colors, not just black and white. This information should be included in the paint specifications.



*Additional color standards are included by individual sign types.*

## C. LIGHTING

1. Lighting should be of no greater wattage than is necessary to make the sign readable at night.
2. All flood lights shall be shielded.
3. No sign shall be illuminated, in whole or in part, where the illumination is intermittent or varies in color or intensity from time to time. No sign shall be so illuminated that it interferes with the effectiveness of traffic or obscures an official traffic sign, device, or signal. The use of search lights is prohibited. All lighting will comply with the provisions in the zoning ordinance of the Rancho Mirage.
4. Where signs are internally illuminated, light-transmitting surfaces shall be non-gloss, matte materials.
5. Only letters and logos shall transmit light while the backplate or background remains solid opaque. No illuminated backgrounds are allowed.
6. Lighting for all tenant signs shall be turned off or reduced at the Owner's discretion.

7. All signage to be on the Owner's house panel to ensure all signs illuminate at the same time.
8. Exposed fixtures, shades, or other elements are to contribute to the design of the sign.
9. Exposed raceways (unless design elements), conduit, junction boxes, transformers, lamps tubing, or neon crossovers of any type are prohibited or must be concealed within the architecture.
10. Additional lighting guidelines are included by individual sign type.
11. Lighting temperature and lighting control to be reviewed and approved by client team prior to fabrication. Temperature shall be complementary to the on-site lighting. To be verified with owner. Recommended temperatures:  
Light temperature of halo 3500°K (+/- 50° K).  
Light temperature of face: 4000°K (+/- 50° K).  
Color rendering index CRI above 80.
12. LED illumination shall use high-quality modules and have a layout that provides even illumination with no hotspots or shadowing.

#### D. TYPESTYLES

1. The tenants may adapt established typestyles, logos, and/or images that are in use on similar buildings operated by them, provided that said images are architecturally compatible and approved by the Owner. Type may be arranged in multiple lines of copy and may consist of uppercase and/or lowercase letters.

#### E. MOUNTING HEIGHT FOR PROJECTING SIGNS

- a. Clearance of 8' from the finished pedestrian walkway to the bottom of the projecting sign above pedestrian walkways or a minimum 6'8" per ADA standards.

#### F. SIZE

1. Signs, copy, and graphic elements shall fit comfortably into sign area, leaving sufficient margins and negative space on all sides. Wall-mounted signs shall appear balanced and in scale within the context of the sign space and the storefront as a whole. Thickness, height, and color of sign lettering shall be visually balanced and in proportion to other signs within the interior concourse.

2. In all cases, the copy area shall maintain a margin of at least 6" from any edge of the sign face area.
3. Signage is not to exceed 70% of the length of the perceived sign band.
4. No tenant signs shall be allowed on the Owner's neutral piers or bulkheads, except for blade signs.
5. Calculating Signage Area:
  - a. The maximum sign area for each tenant is shown on the zone pages and the tenant matrix. Sign area calculations shall be calculated per elevation. The tenants may not combine multiple elevations to increase the amount of signage on a single elevation. The sign area is calculated based on the aggregate total of all sign faces. However, signage is also limited by maximum sizes as noted on the sign matrix.
  - b. Copy area shall be computed by surrounding each graphic element with a rectangle or square, calculating the area contained within the square, and then computing the sum of the areas. Elements such as swashes, simple lines, back plates, or other decorative touches must be included within the limits of the geometric shape and shall be included as part of the copy area. Area shall include the entire name, not individual letters or words. See graphic for reference.
  - c. Letter height shall be determined by measuring the tallest letter of the tenant's identity, inclusive of swashes, ascenders, and descenders.



## **G. CONSTRUCTION AND FABRICATION REQUIREMENTS**

- A sign permit is required from Rancho Mirage prior to installation. No application shall be submitted to Rancho Mirage or any other agency for any sign, that has not been approved in writing by the Owner.
- Prior to construction, the Owner must approve all signs. If any signs are installed without written approval and a building permit from Rancho Mirage, they may be removed by the Owner. All costs for removal, including but not limited to patching and repair of the building and/or paving, will be at the tenant's expense.
- All sign fabrication work shall conform to excellent industry standards, quality, and Class A workmanship. All logo images and type styles shall be accurately reproduced. Lettering that approximates type styles is not acceptable. The Owner reserves the right to reject any fabrication work that it deems to be below standard.
- All signs are to be fabricated by a licensed sign contractor, approved by the Owner, according to the requirements of local, state, and national codes. All signs are to be installed by state and/or a local certified sign contractor, approved by the Owner and Rancho Mirage, and according to local, state, and national codes.

### **1. Materials**

- a. Signs must be made of durable rust-inhibiting materials that are appropriate and complementary to the design of Cotino Bay Beach • Dining • Shops.

### **2. Metals**

#### Minimum Thickness:

- Stainless Steel - 24 gauge
- Grip Steel - 24 gauge
- Aluminum - 1.534 mm
- Brass - 7.9375 mm

- a. All formed metal, such as letterforms, shall be fabricated using full-weld construction with all joints ground smooth.
- b. All ferrous and nonferrous metals shall be separated with nonconductive gaskets to prevent electrolysis. Stainless steel fasteners shall also be used to secure ferrous to nonferrous metals.

- c. Finished surfaces of metal shall be free from oil-canning, warping distortion, or any irregularities. All sign finishes shall be free of dust, drips, and runs and shall have a uniform surface conforming to the highest standards of the industry.

### **3. Acrylic**

- a. Plastic faces are to be acrylic and a minimum of 3 mm.
- b. Transparent letter faces are not permitted unless a diffuser film is used on the second surface.

### **4. Fasteners**

- a. Threaded rods or anchor bolts shall be used to mount sign letters, which are spaced out from the background panel and must be finished to blend with the adjacent surface. Angle clips will not be permitted.
- b. All bolts, fastenings and clips, shall consist of enameling iron with porcelain enamel finish, stainless steel, anodized aluminum, brass or bronze, or carbon-bearing steel with painted finish.
- c. All fasteners shall be countersunk flush mounted and painted to match surround.

### **5. Paint**

- a. Paint colors and finishes must be reviewed and approved by the Owner.
- b. Surfaces with color mixes and hues prone to fading (e.g., pastels, complex mixtures, intense reds, yellows, and purples) shall be finished with an ultraviolet-inhibiting clear coat in a matte or semi-gloss finish.
- c. Color coatings shall exactly match the colors specified on the approved plans.
- d. The interior of open channel letters are to be painted dark when against light backgrounds.

### **6. Finishing & Details**

- a. Joining of materials (e.g., seams) shall be finished in such a way as to be unnoticeable. Visible welds shall be continuous and ground smooth. Rivets, screws, and other fasteners that extend to visible surfaces shall be flush, filled, and finished so as to be unnoticeable.
- b. Penetrations into building walls, where required, shall be made waterproof and warranted as such by the tenant's sign contractor.

- c. In no case shall any manufacturer's label be visible from the street or from normal viewing angles.

## 7. Lighting & Electrical

- a. All lighting must match the exact specifications of the approved working drawings.
- b. Surface brightness of all illuminated materials shall be consistent in all letters and components of the sign. Light leaks, hotspots, and shadowing are not permitted.
- c. Exposed raceways will not be permitted unless they are an integral architectural element of the sign.
- d. Underwriters Laboratories-approved labels shall be affixed to all electrical fixtures. Fabrication and installation of electrical signs shall comply with UBC, NEC, and local building and electrical codes. UL sticker sizes should be minimized and where possible not visible to pedestrian foot traffic at sidewalk level.
- e. Wiring for signage mounted to canopies or trellises cannot be left exposed, but must be inside wire raceways/conduits. The pathway for raceways or conduits must receive prior approval from the Owner and the City of RM. Those raceways/conduits must be painted the same color as the adjacent canopy or trellis and be of minimal dimension. Conduits and raceways shall be carefully routed to reduce visibility and painted to match the adjacent material. Submit that proposed material and routing to Owner for prior review and possible approval.
- f. Location of all openings for conduit sleeves and support in sign panels and building walls shall be indicated by the sign contractor on the shop drawings submitted to the Owner. Sign contractor shall install the sign in accordance with the approved drawings.
- g. All weep holes for drainage must be covered by an internal light baffle. All baffles shall be painted black.
- h. Signs illuminated with neon shall use 30 m.a. transformers. The ballast for fluorescent lighting shall be 430 m.a.
- i. Only letters and logos shall transmit light while the back plate or background remains solid opaque. No illuminated backgrounds or boxes are allowed.

- j. Exact electrical draws to be provided by signage fabricator.
- k. Signs shall be controlled from the main panel by the electrical engineer. Photo sensor and timer to be supplied for the tenant signage.
- l. Light fixtures shall comply with the Section 31 Specific Plan.

## H. INSTALLATION GUIDELINES AND PROCEDURES

1. Provide the name and address of the sign contractor performing the installation together with a work schedule. This information needs to be provided to the Owner or the Owner affiliate within 10 working days from signage approval.
2. Please note that any sign vendor decals (advertising) and UL listed decals need to be placed out of public view and all associated screw heads must be painted to match the adjacent sign surface to be concealed.
3. The following guidelines must be adhered for the installation of the new signage:
  - a. All work shall be done during a time to be determined by the Owner or the Owner affiliate upon approval.
  - b. The date and time of all installations must be coordinated one (1) week before the commencement of any work.
  - c. The Owner approved pedestrian barricades must be used at all times. Special consideration must be given anytime there is a chance of pedestrians walking under workers or equipment.
  - d. Debris and materials must be kept in an orderly condition and out of the way of pedestrians. Evidence of contractor's liability insurance and workers' compensation coverage. The liability insurance must name: all entities controlling, controlled by, or under common control with either such entity, together with their respective owners, shareholders, partners, members, divisions, officers, directors, employees, representatives, and agents, and all of their respective successors and assigns.
4. Provide insurance certificates for approval. Endorsements must include policy number(s), maintain a rating of A VIII (8) or better in the Best's Key Rating Guide for the general liability and automobile insurers and a minimum rating of B+X for workers' compensation. All policies shall provide thirty (30) days prior written notice of any alteration or termination of coverage in the amount of one million (1,000,000) dollars per each occurrence.
5. Please include the property and project names on the certificate of insurance.

## **I. SUBMITTAL REQUIREMENTS**

1. Upon approval of concept plans in writing from Owner, three (3) complete sets of digital shop drawings are to be submitted for the Owner's approval, including:
  - a. Fully dimensioned and scaled shop drawings specifying exact dimensions, copy layout, typestyles, materials, colors, means of attachment, electrical specifications, and all other details of construction.
  - b. Elevations of storefront showing design, location, size, and layout of sign drawn to scale indicating dimensions, attachment devices, and construction detail.
  - c. Sample board showing colors and materials including building fascia, letter faces, returns, and other details as requested by the Owner.
  - d. Section through letter and/or sign panel showing the dimensioned projection of the face of the letter and/or sign panel and the illumination.
  - e. Cut sheets of any external light fixtures, including color.
  - f. Full-size line diagram of letters and logo may be requested for approval if deemed necessary by the Owner.
  - g. Colored elevations showing representation of actual signage colors as well as actual building colors. Color call-outs to be provided.
2. All tenant sign shop drawing submittals shall be reviewed by the Owner in conformance with the sign criteria and with the concept design as approved by the Owner.
3. The Owner shall either approve the submittal or disapprove the submittal within ten (10) business days after the receipt of tenant's working sign submittal. Approval or disapproval shall remain the sole right and discretion of the Owner. The tenant must continue to resubmit revised plans until approval is obtained. A full set of final shop drawings must be approved and stamped by the Owner prior to permit application or sign fabrication.
4. Requests to establish signs that vary from the provisions of this sign criteria

shall be submitted to the Owner for approval. The Owner may approve signs that depart from the specific provisions and constraints of this sign plan in order to:

- a. Encourage exceptional sign design and creativity.
- b. Accommodate imaginative, unique, and otherwise tasteful signage that is deemed to be within the spirit and intent of the sign criteria.

However, if the Owner decides to pursue this deviation, a sign program amendment will be required and formally submitted to the City of Rancho Mirage.

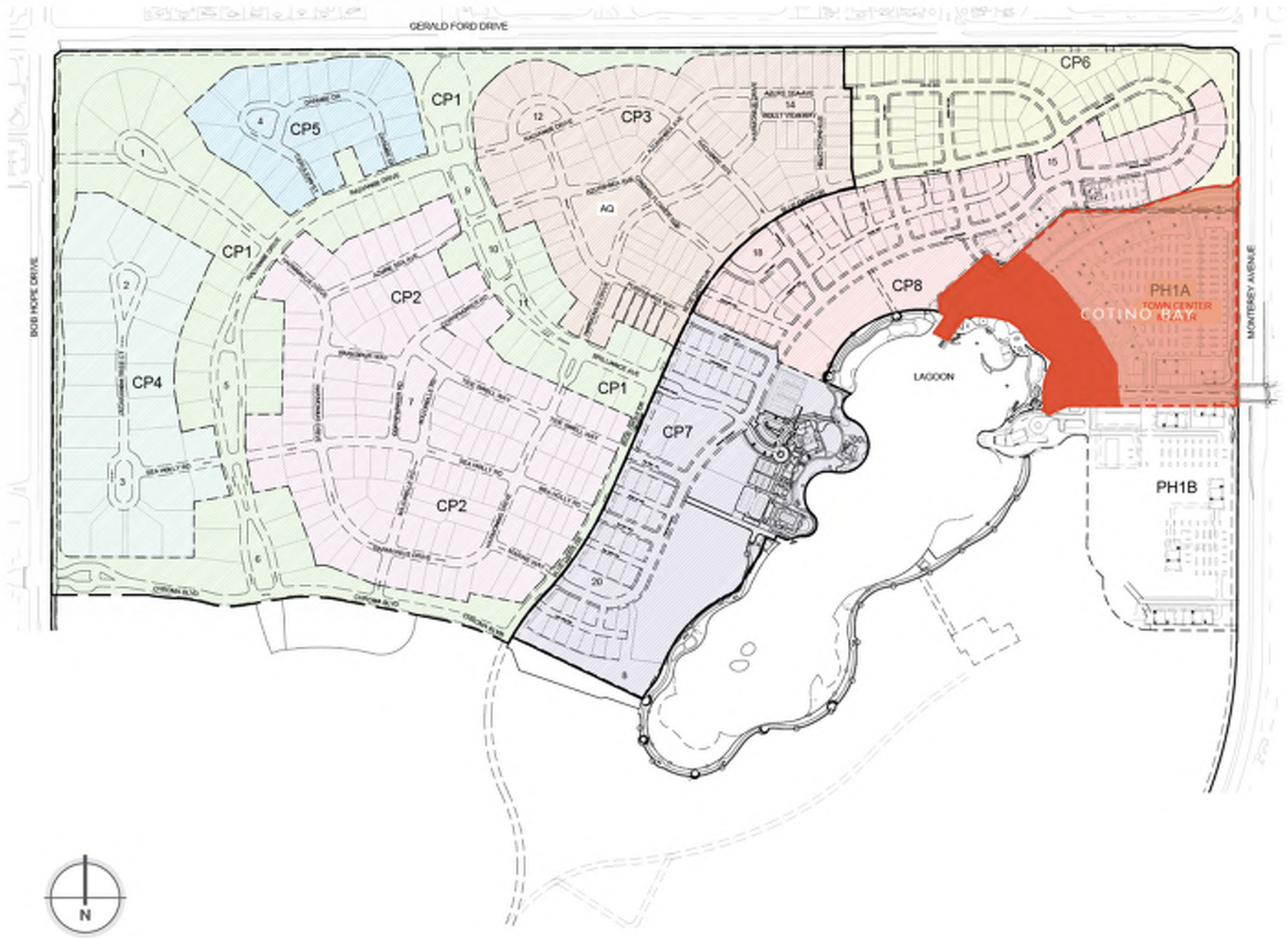
5. The tenants or their agents can submit their sign shop drawings, sign plans, and permit applications with a wet signature approval attached to the sign contractor following the approval of the Owner. The tenant shall furnish the Owner with a copy of said approved permits prior to installation of the tenant's sign.
6. Signs shall be inspected upon installation to assure conformance. Any work unacceptable shall be corrected or modified at the tenant's expense as required by the Owner.

# Tenant Zoning Matrix

All signs are subject to prior review and approval as set forth in the Declaration of Covenants, Conditions and Restrictions and Establishment of Easements for the Commercial Property at CRM. All signs are to be reviewed by the Owner for approval on a case-by-case basis.

Tenants are encouraged to use creativity and exceptional design to create something distinctive and unique that is reflective of the project and its overall design character.





COTINO BAY  
**TENANT ALLOCATIONS**  
Tenant Zoning

LEGEND	
	CORNER TENANTS
	INLINE TENANTS
	ARTISAN VILLAGE



# TENANT ALLOCATIONS

## Zoning Matrix

	CORNER TENANTS	INLINE TENANTS	ARTIST VILLAGE TENANTS
<b>PRIMARY IDENTITY SIGNAGE</b>			
<b>Fascia Sign or Canopy Mounted Sign</b>	Required	Required	Required
Sign and Letter Max Size	Not to Exceed 75% of height and 70% of width of Linear Storefront Dimensions	Not to Exceed 75% of height and 70% of width of Linear Storefront Dimensions	Not to Exceed 75% of height and 70% of width of Linear Storefront Dimensions
Max Sign Logo / Letter Height	30 inches	18 inches	18 inches
Max Sign Height (if Letters Stacked)	36 inches	30 inches	24 inches
<b>SECONDARY IDENTITY SIGNAGE OPTIONAL</b>			
Blade Sign (if Space Permits)	9 sq ft	6 sq ft	4 sq ft
Wall-Mounted Plaque	4 sq ft	3 sq ft	3 sq ft
Wall-Mounted Menu Board	Allowed to restaurants only Not to exceed 6 sq ft	Allowed to restaurants only Not to exceed 4 sq ft	Allowed to restaurants only Not to exceed 4 sq ft
Window Graphics	15% of total storefront glazing. Permitted on all windows.	15% of total storefront glazing. Permitted on all windows.	Not allowed
Sign Max Area			
Vertical Marquee Sign	20 sq ft max. Not to exceed roof line Allowed by approval from the Owner	Not allowed	Not allowed
A-Frame Temporary Signage	Not allowed	Not allowed	Allowed by approval from the Owner
<b>MAX SIGN AREA CALCULATION</b>			
Sign Area / Linear Storefront	1 sq ft / linear foot	1 sq ft / linear foot	1 sq ft / linear foot
<b>ILLUMINATION ALLOWANCES</b>			
Internal or External Illumination	Halo, external, or exposed*	Halo, external, or exposed*	Halo, external, or exposed*

\* Exposed illumination is allowable for restaurants only

\*\* Excluded from area calculation formula

All signs are subject to prior review and approval as set forth in the Declaration of Covenants, Conditions and Restrictions and Establishment of Easements for the Commercial Property at CRM. All signs are to be reviewed by the Owner for approval on a case-by-case basis. Tenants are encouraged to use creativity and exceptional design to create something distinctive and unique that is reflective of the project and its overall design character.

TENANT ELEVATIONS

Corner Tenants

Artist concept rendering, not yet constructed  
and subject to change. ©Disney



## CORNER TENANT ELEVATIONS

# North Restaurant

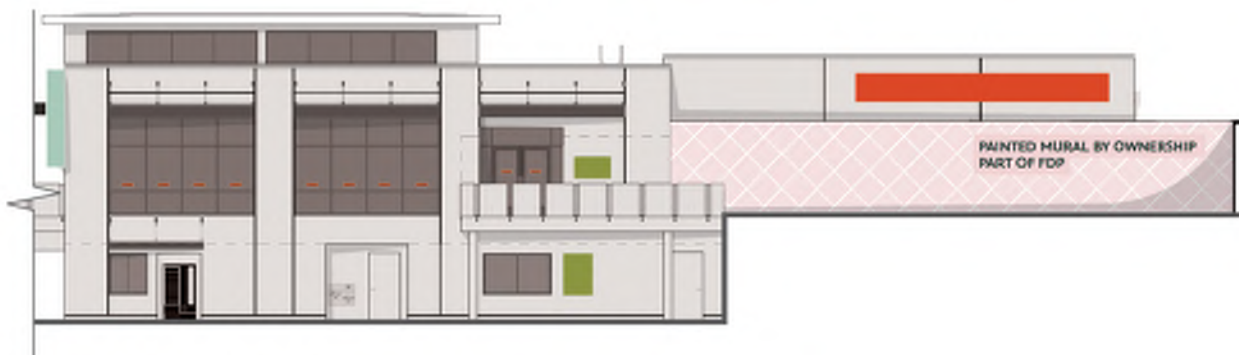
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1 South East Elevation  
Scale : 1"=20'

LEGEND				
<span style="display:inline-block; width:15px; height:10px; background-color:orange;"></span> Primary Sign	<span style="display:inline-block; width:15px; height:10px; background-color:yellow;"></span> Blade Sign	<span style="display:inline-block; width:15px; height:10px; background-color:lightgreen;"></span> Wall Plaque	<span style="display:inline-block; width:15px; height:10px; background-color:teal;"></span> Marquee Sign	<span style="display:inline-block; width:15px; height:10px; background-color:lightcoral;"></span> Window Graphics

MAXIMUM SIGN AREA BASED ON ASSUMED LINEAR FEET OF PUBLIC FACING TENANT SPACE: 80SF



2 South Elevation  
Scale : 1"=20'

PRIMARY IDENTITY SIGNAGE	
Fascia Sign or Canopy Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band,
Max Sign Logo / Letter Height	30"
Max Sign Height, if Letters Stacked	36"

SECONDARY IDENTITY SIGNAGE OPTIONAL	
Blade Sign, if space permits	9 sq ft
Wall Mounted Plaque	4 sq ft
Wall Mounted Menu Board	Allowed to restaurants only. Not to exceed 6 sq ft
Window Graphics	15% of total storefront glazing.
Sign Max Area	Permitted on all windows.
Vertical Marquee Sign	May be used instead of Fascia sign***. 20 sq ft max. Not to exceed roof line.

MAX SIGN AREA CALCULATION	
Sign Area / Linear Storefront	1 sq ft / linear foot

ILLUMINATION ALLOWANCES	
Internal or External Illumination	Halo, External, or Exposed*

\* Exposed illumination is allowable for restaurants only

\*\* Excluded from area calculation formula

\*\*\* With approval from Owner

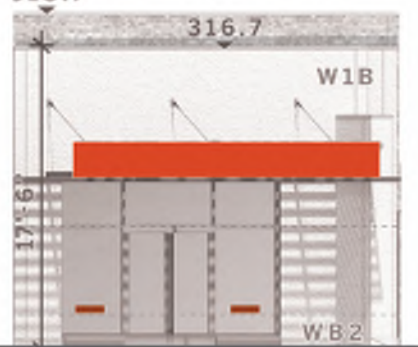


## CORNER TENANT ELEVATIONS

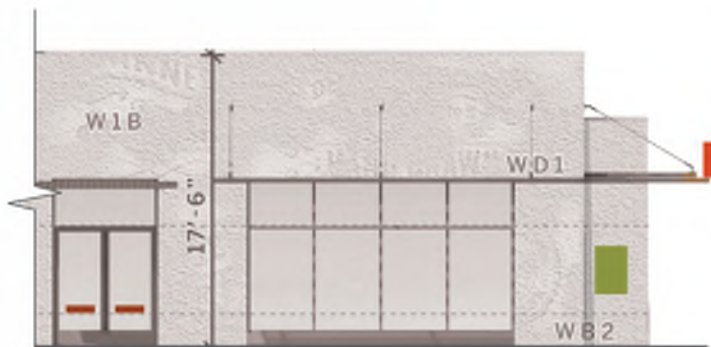
# Restaurant Building 201

All signs are subject to prior review and approval as set forth in the Declaration of Covenants, Conditions and Restrictions and Establishment of Easements for the Commercial Property at CRM. All signs are to be reviewed by the Owner for approval on a case-by-case basis. Tenants are encouraged to use creativity and exceptional design to create something distinctive and unique that is reflective of the project and its overall design character.

318.7



1 East Elevation  
Scale: 3/32"=1'



2 South West Elevation  
Scale: 3/32"=1'

### LEGEND



MAXIMUM SIGN AREA BASED ON ASSUMED LINEAR FEET OF PUBLIC FACING TENANT SPACE: 1285F



3 South West Elevation  
Scale: 3/32"=1'

### PRIMARY IDENTITY SIGNAGE

Fascia Sign or Canopy Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band
Max Sign Logo / Letter Height	30"
Max Sign Height, if Letters Stacked	36"

### SECONDARY IDENTITY SIGNAGE OPTIONAL

Blade Sign, if space permits	9 sq ft
Wall Mounted Plaque	4 sq ft
Wall Mounted Menu Board	Allowed to restaurants only. Not to exceed 6 sq ft
Window Graphics	15% of total storefront glazing. Permitted on all windows.
Vertical Marquee Sign	May be used instead of Fascia sign***. 20 sq ft max. Not to exceed roof line.

### MAX SIGN AREA CALCULATION

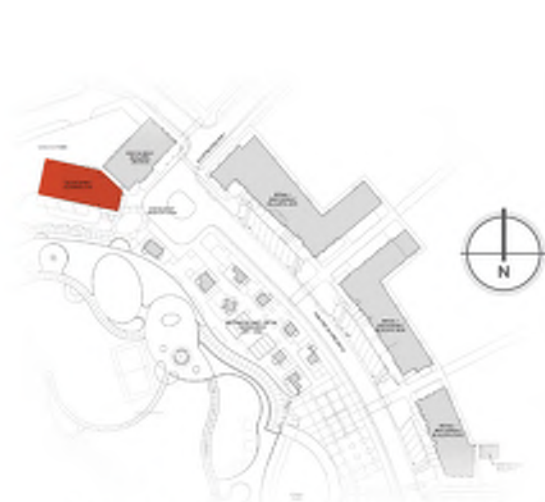
Sign Area / Linear Storefront	1 sq ft / linear foot
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### ILLUMINATION ALLOWANCES

Internal or External Illumination	Halo, External, or Exposed*
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\* Exposed illumination is allowable for restaurants only

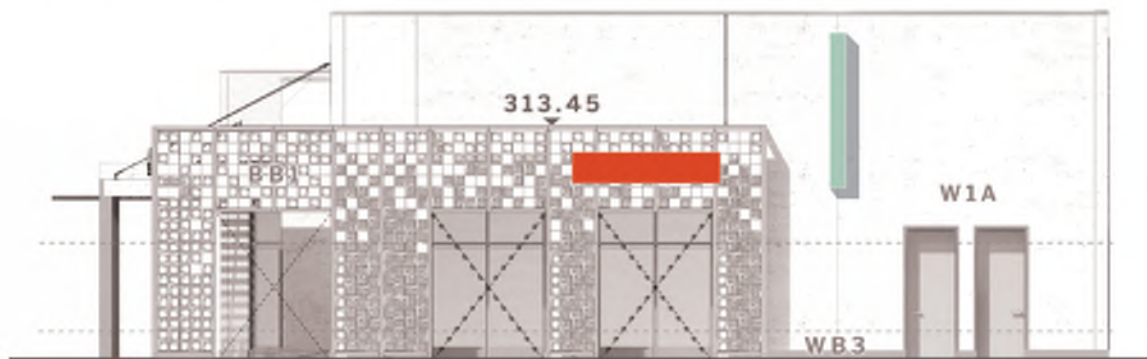
\*\*\* With approval from Owner



## CORNER TENANT ELEVATIONS

# Restaurant Building 202 / 203

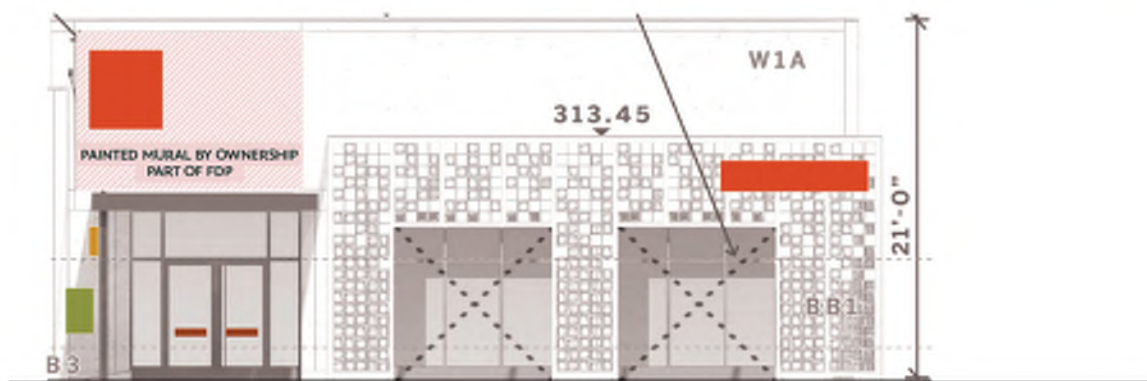
All signs are subject to prior review and approval as set forth in the Declaration of Covenants, Conditions and Restrictions and Establishment of Easements for the Commercial Property at CRM. All signs are to be reviewed by the Owner for approval on a case-by-case basis. Tenants are encouraged to use creativity and exceptional design to create something distinctive and unique that is reflective of the project and its overall design character.



1 North East Elevation  
Scale : 3/32"=1'

LEGEND									
<span style="display:inline-block; width:15px; height:10px; background-color:orange;"></span>	Primary Sign	<span style="display:inline-block; width:15px; height:10px; background-color:yellow;"></span>	Blade Sign	<span style="display:inline-block; width:15px; height:10px; background-color:lightgreen;"></span>	Wall Plaque / Menu Board	<span style="display:inline-block; width:15px; height:10px; background-color:lightblue;"></span>	Marquee Sign	<span style="display:inline-block; width:15px; height:10px; background-color:lightcoral;"></span>	Window Graphics

MAXIMUM SIGN AREA BASED ON ASSUMED LINEAR FEET OF PUBLIC FACING TENANT SPACE: 795SF



2 South East Elevation  
Scale : 3/32"=1'

PRIMARY IDENTITY SIGNAGE	
Fascia Sign or Canopy Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band.
Max Sign Logo / Letter Height	30"
Max Sign Height, if Letters Stacked	36"

SECONDARY IDENTITY SIGNAGE OPTIONAL	
Blade Sign, if space permits	9 sq ft
Wall Mounted Plaque	4 sq ft
Wall Mounted Menu Board	Allowed to restaurants only. Not to exceed 6 sq ft
Window Graphics	15% of total storefront glazing. Permitted on all windows.
Vertical Marquee Sign	May be used instead of Fascia sign***. 20 sq ft max. Not to exceed roof line.

MAX SIGN AREA CALCULATION	
Sign Area / Linear Storefront	1 sq ft / linear foot

ILLUMINATION ALLOWANCES	
Internal or External Illumination	Halo, External, or Exposed*

\* Exposed illumination is allowable for restaurants only

\*\*\* With approval from Owner



## CORNER TENANT ELEVATIONS

# Retail / Restaurant Building 300

All signs are subject to prior review and approval as set forth in the Declaration of Covenants, Conditions and Restrictions and Establishment of Easements for the Commercial Property at CRM. All signs are to be reviewed by the Owner for approval on a case-by-case basis. Tenants are encouraged to use creativity and exceptional design to create something distinctive and unique that is reflective of the project and its overall design character.



1 North West Elevation  
Scale : 3/32"=1'

LEGEND									
<span style="display:inline-block; width:15px; height:10px; background-color:orange;"></span>	Primary Sign	<span style="display:inline-block; width:15px; height:10px; background-color:yellow;"></span>	Blade Sign	<span style="display:inline-block; width:15px; height:10px; background-color:lightgreen;"></span>	Wall Plaque / Menu Board	<span style="display:inline-block; width:15px; height:10px; background-color:lightblue;"></span>	Marquee Sign	<span style="display:inline-block; width:15px; height:10px; background-color:lightcoral;"></span>	Window Graphics

MAXIMUM SIGN AREA BASED ON ASSUMED LINEAR FEET OF PUBLIC FACING TENANT SPACE: 1025F



2 South West Elevation  
Scale : 3/32"=1'

PRIMARY IDENTITY SIGNAGE	
Fascia Sign or Canopy Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band.
Max Sign Logo / Letter Height	30"
Max Sign Height, if Letters Stacked	36"

SECONDARY IDENTITY SIGNAGE OPTIONAL	
Blade Sign, if space permits	9 sq ft
Wall Mounted Plaque	4 sq ft
Wall Mounted Menu Board	Allowed to restaurants only. Not to exceed 6 sq ft
Window Graphics	15% of total storefront glazing. Permitted on all windows.
Sign Max Area	Permitted on all windows.
Vertical Marquee Sign	May be used instead of Fascia sign***. 20 sq ft max. Not to exceed roof line

MAX SIGN AREA CALCULATION	
Sign Area / Linear Storefront	1 sq ft / linear foot

ILLUMINATION ALLOWANCES	
Internal or External Illumination	Halo, External, or Exposed*

\* Exposed illumination is allowable for restaurants only

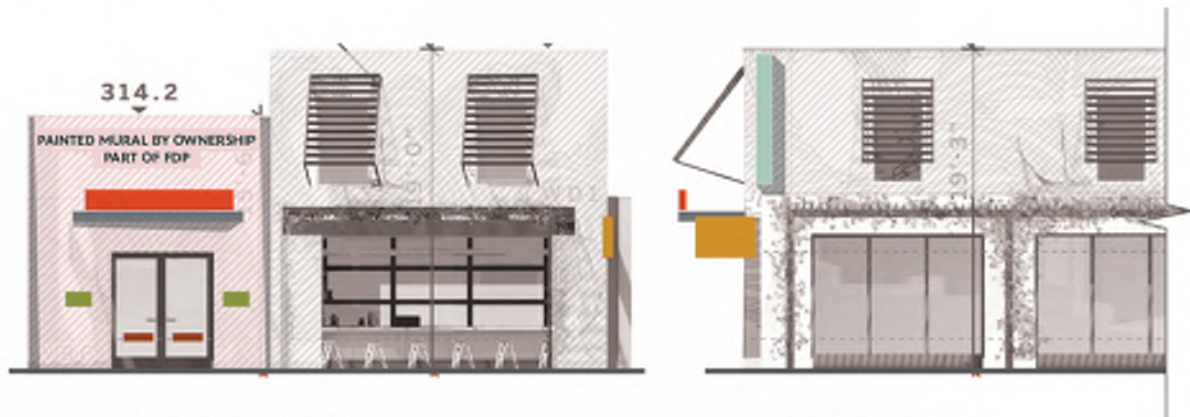
\*\*\* With approval from Owner



## CORNER TENANT ELEVATIONS

# Retail / Restaurant Building 300

All signs are subject to prior review and approval as set forth in the Declaration of Covenants, Conditions and Restrictions and Establishment of Easements for the Commercial Property at CRM. All signs are to be reviewed by the Owner for approval on a case-by-case basis. Tenants are encouraged to use creativity and exceptional design to create something distinctive and unique that is reflective of the project and its overall design character.



1 South West Elevation  
Scale : 3/32"=1'

2 South East Elevation  
Scale : 3/32"=1'

### LEGEND

<span style="color: red;">■</span> Primary Sign	<span style="color: yellow;">■</span> Blade Sign	<span style="color: green;">■</span> Wall Plaque / Menu Board	<span style="color: lightgreen;">■</span> Marquee Sign	<span style="color: brown;">■</span> Window Graphics
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MAXIMUM SIGN AREA BASED ON ASSUMED LINEAR FEET OF PUBLIC FACING TENANT SPACE: 1355F



3 South East Elevation  
Scale : 3/32"=1'

PRIMARY IDENTITY SIGNAGE	
Fascia Sign or Canopy Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band
Max Sign Logo / Letter Height	30"
Max Sign Height, if Letters Stacked	36"

SECONDARY IDENTITY SIGNAGE OPTIONAL	
Blade Sign, if space permits	9 sq ft
Wall Mounted Plaque	4 sq ft
Wall Mounted Menu Board	Allowed to restaurants only. Not to exceed 6 sq ft
Window Graphics	15% of total storefront glazing. Permitted on all windows.
Vertical Marquee Sign	May be used instead of Fascia sign***. 20 sq ft max. Not to exceed roof line

MAX SIGN AREA CALCULATION	
Sign Area / Linear Storefront	1 sq ft / linear foot

ILLUMINATION ALLOWANCES	
Internal or External Illumination	Halo, External, or Exposed*

\* Exposed illumination is allowable for restaurants only

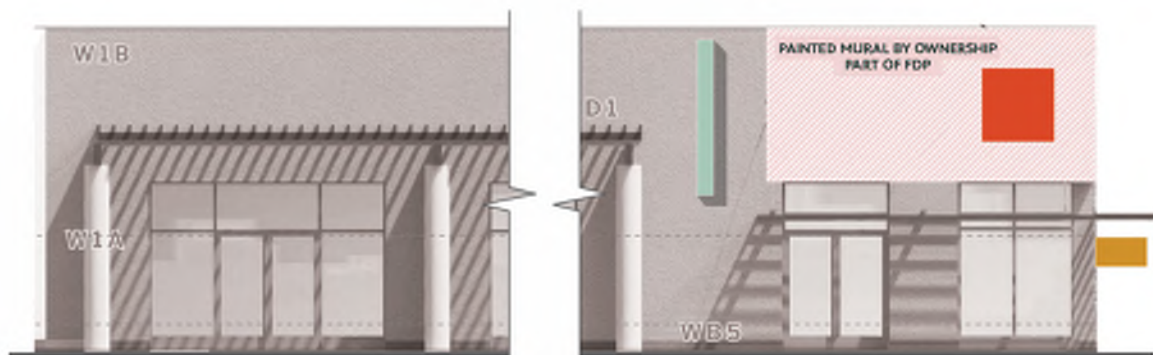
\*\*\* With approval from Owner



## CORNER TENANT ELEVATIONS

# Retail / Restaurant Building 400

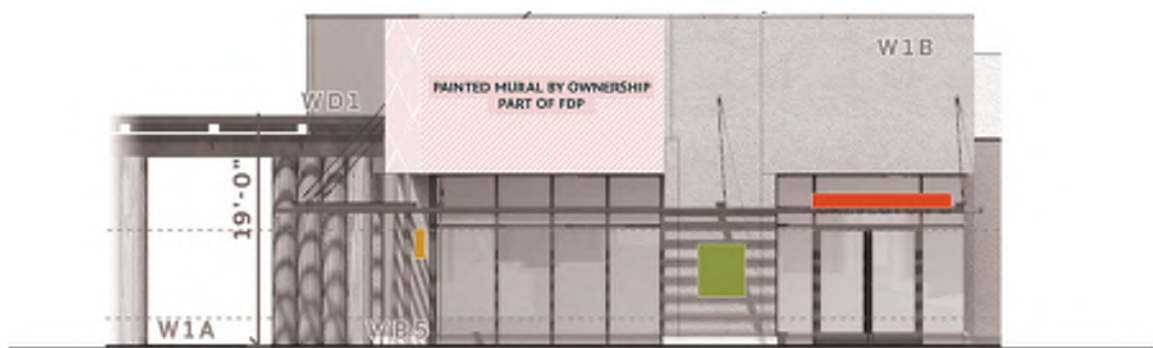
All signs are subject to prior review and approval as set forth in the Declaration of Covenants, Conditions and Restrictions and Establishment of Easements for the Commercial Property at CRM. All signs are to be reviewed by the Owner for approval on a case-by-case basis. Tenants are encouraged to use creativity and exceptional design to create something distinctive and unique that is reflective of the project and its overall design character.



1 North West Elevation  
Scale : 3/32"=1'

LEGEND									
<span style="display:inline-block; width:15px; height:10px; background-color:orange;"></span>	Primary Sign	<span style="display:inline-block; width:15px; height:10px; background-color:yellow;"></span>	Blade Sign	<span style="display:inline-block; width:15px; height:10px; background-color:lightgreen;"></span>	Wall Plaque / Menu Board	<span style="display:inline-block; width:15px; height:10px; background-color:lightblue;"></span>	Marquee Sign	<span style="display:inline-block; width:15px; height:10px; background-color:lightcoral;"></span>	Window Graphics

MAXIMUM SIGN AREA BASED ON ASSUMED LINEAR FEET OF PUBLIC FACING TENANT SPACE: 150SF



2 South West Elevation  
Scale : 3/32"=1'

PRIMARY IDENTITY SIGNAGE	
Fascia Sign or Canopy Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band
Max Sign Logo / Letter Height	30"
Max Sign Height, if Letters Stacked	36"

SECONDARY IDENTITY SIGNAGE OPTIONAL	
Blade Sign, if space permits	9 sq ft
Wall Mounted Plaque	4 sq ft
Wall Mounted Menu Board	Allowed to restaurants only. Not to exceed 6 sq ft
Window Graphics	15% of total storefront glazing. Permitted on all windows.
Vertical Marquee Sign	May be used instead of Fascia sign***. 20 sq ft max. Not to exceed roof line

MAX SIGN AREA CALCULATION	
Sign Area / Linear Storefront	1 sq ft / linear foot

ILLUMINATION ALLOWANCES	
Internal or External Illumination	Halo, External, or Exposed*

\* Exposed illumination is allowable for restaurants only

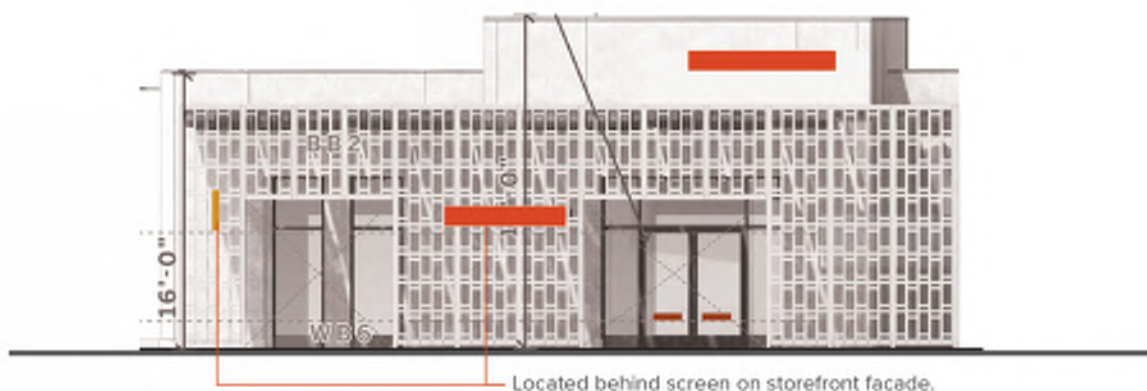
\*\*\* With approval from Owner



## CORNER TENANT ELEVATIONS

# Retail / Restaurant Building 400

All signs are subject to prior review and approval as set forth in the Declaration of Covenants, Conditions and Restrictions and Establishment of Easements for the Commercial Property at CRM. All signs are to be reviewed by the Owner for approval on a case-by-case basis. Tenants are encouraged to use creativity and exceptional design to create something distinctive and unique that is reflective of the project and its overall design character.



1 South West Elevation  
Scale: 3/32"=1'

LEGEND									
<span style="display:inline-block; width:15px; height:10px; background-color:orange;"></span>	Primary Sign	<span style="display:inline-block; width:15px; height:10px; background-color:yellow;"></span>	Blade Sign	<span style="display:inline-block; width:15px; height:10px; background-color:lightgreen;"></span>	Wall Plaque / Menu Board	<span style="display:inline-block; width:15px; height:10px; background-color:lightblue;"></span>	Marquee Sign	<span style="display:inline-block; width:15px; height:10px; background-color:lightcoral;"></span>	Window Graphics

MAXIMUM SIGN AREA BASED ON ASSUMED LINEAR FEET OF PUBLIC FACING TENANT SPACE: 805F



2 South Elevation  
Scale: 3/32"=1'

PRIMARY IDENTITY SIGNAGE	
Fascia Sign or Canopy Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band.
Max Sign Logo / Letter Height	30"
Max Sign Height, if Letters Stacked	36"

SECONDARY IDENTITY SIGNAGE OPTIONAL	
Blade Sign, if space permits	9 sq ft
Wall Mounted Plaque	4 sq ft
Wall Mounted Menu Board	Allowed to restaurants only. Not to exceed 6 sq ft
Window Graphics	15% of total storefront glazing. Permitted on all windows.
Vertical Marquee Sign	May be used instead of Fascia sign***. 20 sq ft max. Not to exceed roof line

MAX SIGN AREA CALCULATION	
Sign Area / Linear Storefront	1 sq ft / linear foot

ILLUMINATION ALLOWANCES	
Internal or External Illumination	Halo, External, or Exposed*

\* Exposed illumination is allowable for restaurants only

\*\*\* With approval from Owner



## CORNER TENANT ELEVATIONS

# Retail / Restaurant Building 500

All signs are subject to prior review and approval as set forth in the Declaration of Covenants, Conditions and Restrictions and Establishment of Easements for the Commercial Property at CRM. All signs are to be reviewed by the Owner for approval on a case-by-case basis. Tenants are encouraged to use creativity and exceptional design to create something distinctive and unique that is reflective of the project and its overall design character.



1 West Elevation  
Scale: 3/32"=1'

### LEGEND

<span style="color: red;">■</span> Primary Sign	<span style="color: orange;">■</span> Blade Sign	<span style="color: green;">■</span> Wall Plaque / Menu Board	<span style="color: lightgreen;">■</span> Marquee Sign	<span style="color: brown;">■</span> Window Graphics
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MAXIMUM SIGN AREA BASED ON ASSUMED LINEAR FEET OF PUBLIC FACING TENANT SPACE: 615F



2 North Elevation  
Scale: 3/32"=1'

PRIMARY IDENTITY SIGNAGE	
Fascia Sign or Canopy Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band.
Max Sign Logo / Letter Height	30"
Max Sign Height, if Letters Stacked	36"

SECONDARY IDENTITY SIGNAGE OPTIONAL	
Blade Sign, if space permits	9 sq ft
Wall Mounted Plaque	4 sq ft
Wall Mounted Menu Board	Allowed to restaurants only. Not to exceed 6 sq ft
Window Graphics	15% of total storefront glazing. Permitted on all windows.
Vertical Marquee Sign	May be used instead of Fascia sign***. 20 sq ft max. Not to exceed roof line

MAX SIGN AREA CALCULATION	
Sign Area / Linear Storefront	1 sq ft / linear foot

ILLUMINATION ALLOWANCES	
Internal or External Illumination	Halo, External, or Exposed*

\* Exposed illumination is allowable for restaurants only

\*\*\* With approval from Owner



## CORNER TENANT ELEVATIONS

# Retail / Restaurant Building 500

All signs are subject to prior review and approval as set forth in the Declaration of Covenants, Conditions and Restrictions and Establishment of Easements for the Commercial Property at CRM. All signs are to be reviewed by the Owner for approval on a case-by-case basis. Tenants are encouraged to use creativity and exceptional design to create something distinctive and unique that is reflective of the project and its overall design character.



1 South Elevation  
Scale: 3/32"=1'

LEGEND									
<span style="display:inline-block; width:15px; height:10px; background-color:orange;"></span>	Primary Sign	<span style="display:inline-block; width:15px; height:10px; background-color:yellow;"></span>	Blade Sign	<span style="display:inline-block; width:15px; height:10px; background-color:lightgreen;"></span>	Wall Plaque / Menu Board	<span style="display:inline-block; width:15px; height:10px; background-color:lightblue;"></span>	Marquee Sign	<span style="display:inline-block; width:15px; height:10px; background-color:brown;"></span>	Window Graphics

MAXIMUM SIGN AREA BASED ON ASSUMED LINEAR FEET OF PUBLIC FACING TENANT SPACE: 785F



2 West Elevation  
Scale: 3/32"=1'

PRIMARY IDENTITY SIGNAGE	
Fascia Sign or Canopy Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band
Max Sign Logo / Letter Height	30"
Max Sign Height, if Letters Stacked	36"

SECONDARY IDENTITY SIGNAGE OPTIONAL	
Blade Sign, if space permits	9 sq ft
Wall Mounted Plaque	4 sq ft
Wall Mounted Menu Board	Allowed to restaurants only. Not to exceed 6 sq ft
Window Graphics	15% of total storefront glazing. Permitted on all windows.
Vertical Marquee Sign	May be used instead of Fascia sign***. 20 sq ft max. Not to exceed roof line

MAX SIGN AREA CALCULATION	
Sign Area / Linear Storefront	1 sq ft / linear foot

ILLUMINATION ALLOWANCES	
Internal or External Illumination	Halo, External, or Exposed*

\* Exposed illumination is allowable for restaurants only

\*\*\* With approval from Owner



TENANT ELEVATIONS  
Inline Tenants

Artist concept rendering, not yet constructed  
and subject to change. ©Disney



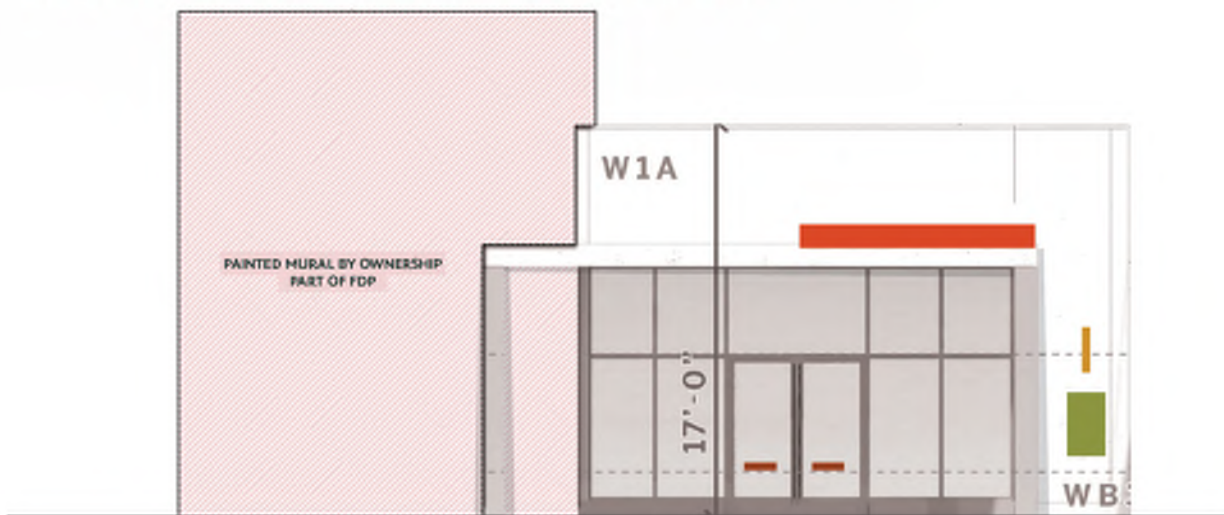
## INLINE TENANT ELEVATIONS

# Restaurant Building 202/203

All signs are subject to prior review and approval as set forth in the Declaration of Covenants, Conditions and Restrictions and Establishment of Easements for the Commercial Property at CRM. All signs are to be reviewed by the Owner for approval on a case-by-case basis. Tenants are encouraged to use creativity and exceptional design to create something distinctive and unique that is reflective of the project and its overall design character.

LEGEND			
	Primary Sign		Blade Sign
	Wall Plaque / Menu Board		Window Graphics

MAXIMUM SIGN AREA BASED ON ASSUMED LINEAR FEET OF PUBLIC FACING TENANT SPACE: 425F



1 South East Elevation  
Scale: 1/8"=1'

PRIMARY IDENTITY SIGNAGE	
Fascia Sign or Canopy Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band.
Max Sign Logo / Letter Height	18"
Max Sign Height, if Letters Stacked	30"

SECONDARY IDENTITY SIGNAGE OPTIONAL	
Blade Sign, if space permits	6 sq ft
Wall Mounted Plaque	3 sq ft
Wall Mounted Menu Board	Allowed to restaurants only. Not to exceed 4 sq ft
Window Graphics	15% of total storefront glazing.
Sign Max Area	Permitted on all windows.

MAX SIGN AREA CALCULATION	
Sign Area / Linear Storefront	1 sq ft / linear foot

ILLUMINATION ALLOWANCES	
Internal or External Illumination	Halo, External, or Exposed*

\* Exposed illumination is allowable for restaurants only



## INLINE TENANT ELEVATIONS

# Retail / Restaurant Building 300

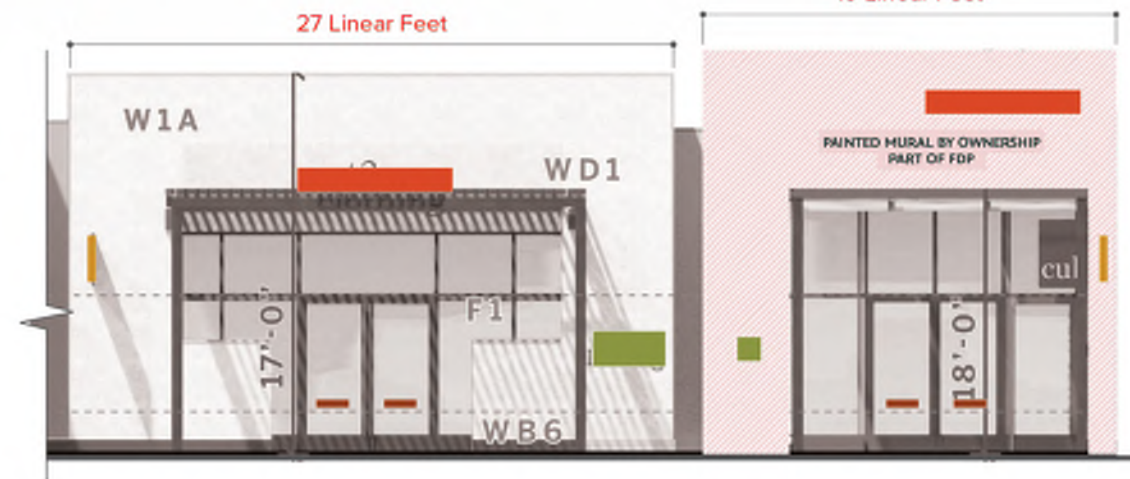
All signs are subject to prior review and approval as set forth in the Declaration of Covenants, Conditions and Restrictions and Establishment of Easements for the Commercial Property at CRM. All signs are to be reviewed by the Owner for approval on a case-by-case basis. Tenants are encouraged to use creativity and exceptional design to create something distinctive and unique that is reflective of the project and its overall design character.



1 South West Elevation  
Scale : 3/32"=1'

LEGEND			
<span style="display:inline-block; width:15px; height:10px; background-color:orange;"></span>	Primary Sign	<span style="display:inline-block; width:15px; height:10px; background-color:yellow;"></span>	Blade Sign
<span style="display:inline-block; width:15px; height:10px; background-color:lightgreen;"></span>	Wall Plaque / Menu Board	<span style="display:inline-block; width:15px; height:10px; background-color:lightcoral;"></span>	Window Graphics

19 Linear Feet



2 South West Elevation  
Scale : 3/32"=1'

PRIMARY IDENTITY SIGNAGE	
Fascia Sign or Canopy Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band.
Max Sign Logo / Letter Height	18"
Max Sign Height, if Letters Stacked	30"

SECONDARY IDENTITY SIGNAGE OPTIONAL	
Blade Sign, if space permits	6 sq ft
Wall Mounted Plaque	3 sq ft
Wall Mounted Menu Board	Allowed to restaurants only. Not to exceed 4 sq ft
Window Graphics	15% of total storefront glazing. Permitted on all windows.

MAX SIGN AREA CALCULATION	
Sign Area / Linear Storefront	1 sq ft / linear foot

ILLUMINATION ALLOWANCES	
Internal or External Illumination	Halo, External, or Exposed*

\* Exposed illumination is allowable for restaurants only



## INLINE TENANT ELEVATIONS

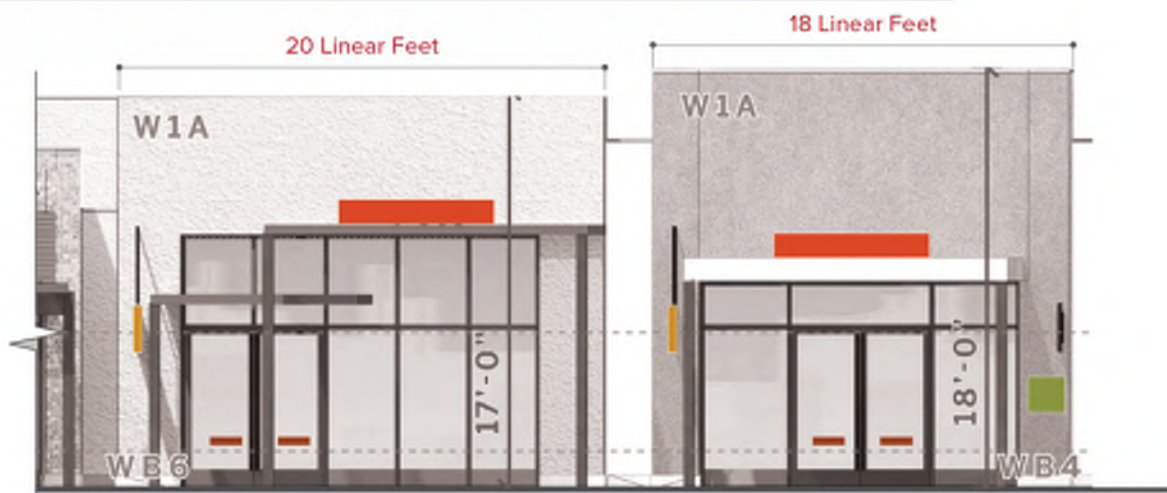
# Retail / Restaurant Building 400

All signs are subject to prior review and approval as set forth in the Declaration of Covenants, Conditions and Restrictions and Establishment of Easements for the Commercial Property at CRM. All signs are to be reviewed by the Owner for approval on a case-by-case basis. Tenants are encouraged to use creativity and exceptional design to create something distinctive and unique that is reflective of the project and its overall design character.



1 South West Elevation  
Scale: 1/8"=1'

LEGEND			
<span style="color: red;">■</span>	Primary Sign	<span style="color: orange;">■</span>	Blade Sign
<span style="color: green;">■</span>	Wall Plaque / Menu Board	<span style="color: brown;">■</span>	Window Graphics



2 South West Elevation  
Scale: 1/8"=1'

PRIMARY IDENTITY SIGNAGE	
Fascia Sign or Canopy Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band.
Max Sign Logo / Letter Height	18"
Max Sign Height, if Letters Stacked	30"

SECONDARY IDENTITY SIGNAGE OPTIONAL	
Blade Sign, if space permits	6 sq ft
Wall Mounted Plaque	3 sq ft
Wall Mounted Menu Board	Allowed to restaurants only. Not to exceed 4 sq ft
Window Graphics	15% of total storefront glazing. Permitted on all windows.

MAX SIGN AREA CALCULATION	
Sign Area / Linear Storefront	1 sq ft / linear foot

ILLUMINATION ALLOWANCES	
Internal or External Illumination	Halo, External, or Exposed*

\* Exposed illumination is allowable for restaurants only



## INLINE TENANT ELEVATIONS

# Retail / Restaurant Building 500

All signs are subject to prior review and approval as set forth in the Declaration of Covenants, Conditions and Restrictions and Establishment of Easements for the Commercial Property at CRM. All signs are to be reviewed by the Owner for approval on a case-by-case basis. Tenants are encouraged to use creativity and exceptional design to create something distinctive and unique that is reflective of the project and its overall design character.

LEGEND			
	Primary Sign		Blade Sign
	Wall Plaque / Menu Board		Window Graphics



1 West Elevation  
Scale: 1/8"=1'

PRIMARY IDENTITY SIGNAGE	
Fascia Sign or Canopy Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band,
Max Sign Logo / Letter Height	18"
Max Sign Height, if Letters Stacked	30"

SECONDARY IDENTITY SIGNAGE OPTIONAL	
Blade Sign, if space permits	6 sq ft
Wall Mounted Plaque	3 sq ft
Wall Mounted Menu Board	Allowed to restaurants only. Not to exceed 4 sq ft
Window Graphics	15% of total storefront glazing. Permitted on all windows.
Sign Max Area	

MAX SIGN AREA CALCULATION	
Sign Area / Linear Storefront	1 sq ft / linear foot

ILLUMINATION ALLOWANCES	
Internal or External Illumination	Halo, External, or Exposed*

\* Exposed illumination is allowable for restaurants only



TENANT ELEVATIONS

Artisan Village Tenants

Artist concept rendering, not yet constructed  
and subject to change. ©Disney



## TENANT ELEVATIONS

# Artisan Village Tenants

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1 Back View  
Scale : 1/8"=1'

LEGEND		
	Primary Sign	
	Blade Sign	
	Wall Plaque / Menu Board	

LINEAR SQUARE FEET: 645F



2 Front View  
Scale : 1/8"=1'

PRIMARY IDENTITY SIGNAGE	
Fascia Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band.
Max Sign Logo / Letter Height	18"
Max Sign Height, if Letters Stacked	24"

SECONDARY IDENTITY SIGNAGE OPTIONAL	
Blade Sign, if space permits	4 sq ft
Wall Mounted Plaque	3 sq ft
A-Frame Temporary Signage	Allowed by Approval from the Owner
Wall Mounted Menu Board	Allowed to restaurants only. Not to exceed 4 sq ft

MAX SIGN AREA CALCULATION	
Sign Area / Linear Storefront	1 sq ft / linear foot

ILLUMINATION ALLOWANCES	
Internal or External Illumination	Halo, External, or Exposed*

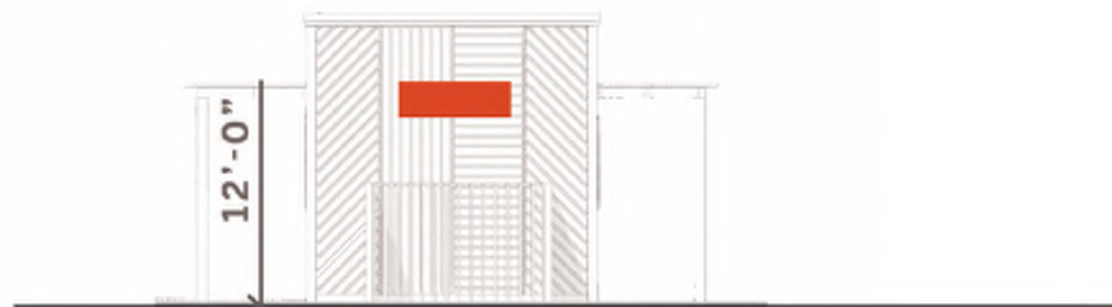
\* Exposed illumination is allowable for restaurants only



## TENANT ELEVATIONS

# Artisan Village Tenants

All signs are subject to prior review and approval as set forth in the Declaration of Covenants, Conditions and Restrictions and Establishment of Easements for the Commercial Property at CRM. All signs are to be reviewed by the Owner for approval on a case-by-case basis. Tenants are encouraged to use creativity and exceptional design to create something distinctive and unique that is reflective of the project and its overall design character.



1 Back View  
Scale : 1/8"=1'

LEGEND		
<span style="color: red;">■</span>	Primary Sign	<span style="color: orange;">■</span>
<span style="color: yellow;">■</span>	Blade Sign	<span style="color: green;">■</span>
	Wall Plaque / Menu Board	

LINEAR SQUARE FEET: 485P



2 Front View  
Scale : 1/8"=1'

PRIMARY IDENTITY SIGNAGE	
Fascia Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band
Max Sign Logo / Letter Height	18"
Max Sign Height, if Letters Stacked	24"

SECONDARY IDENTITY SIGNAGE OPTIONAL	
Blade Sign, if space permits	4 sq ft
Wall Mounted Plaque	3 sq ft
A-Frame Temporary Signage	Allowed by Approval from the Owner
Wall Mounted Menu Board	Allowed to restaurants only. Not to exceed 4 sq ft

MAX SIGN AREA CALCULATION	
Sign Area / Linear Storefront	1 sq ft / linear foot

ILLUMINATION ALLOWANCES	
Internal or External Illumination	Halo, External, or Exposed*

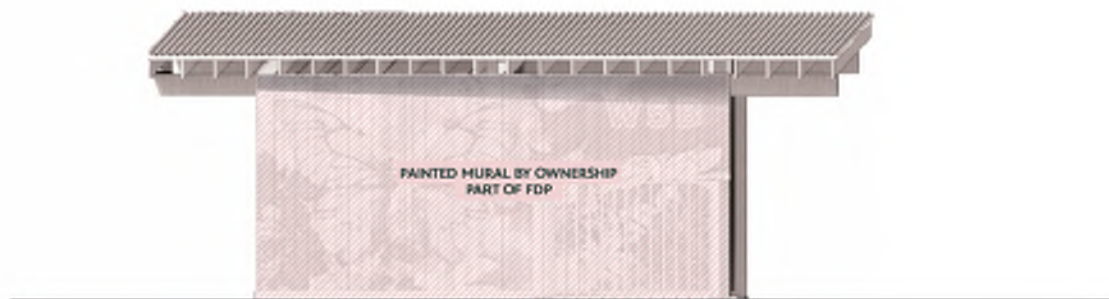
\* Exposed illumination is allowable for restaurants only



## TENANT ELEVATIONS

# Artisan Village Tenants

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1 Back View  
Scale : 1/8"=1'

### LEGEND

Primary Sign      Blade Sign      Wall Plaque / Menu Board

LINEAR SQUARE FEET: 685F



2 Front View  
Scale : 1/8"=1'

### PRIMARY IDENTITY SIGNAGE

Fascia Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band
Max Sign Logo / Letter Height	18"
Max Sign Height, if Letters Stacked	24"

### SECONDARY IDENTITY SIGNAGE OPTIONAL

Blade Sign, if space permits	4 sq ft
Wall Mounted Plaque	3 sq ft
A-Frame Temporary Signage	Allowed by Approval from the Owner
Wall Mounted Menu Board	Allowed to restaurants only. Not to exceed 4 sq ft

### MAX SIGN AREA CALCULATION

Sign Area / Linear Storefront	1 sq ft / linear foot
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### ILLUMINATION ALLOWANCES

Internal or External Illumination	Halo, External, or Exposed*
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\* Exposed illumination is allowable for restaurants only



## TENANT ELEVATIONS

# Artisan Village Tenants

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1 Back View  
Scale : 1/8"=1'

LEGEND					
<span style="color: red;">■</span>	Primary Sign	<span style="color: orange;">■</span>	Blade Sign	<span style="color: green;">■</span>	Wall Plaque / Menu Board

LINEAR SQUARE FEET: 50SF



2 Front View  
Scale : 1/8"=1'

PRIMARY IDENTITY SIGNAGE	
Fascia Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band
Max Sign Logo / Letter Height	18"
Max Sign Height, if Letters Stacked	24"

SECONDARY IDENTITY SIGNAGE OPTIONAL	
Blade Sign, if space permits	4 sq ft
Wall Mounted Plaque	3 sq ft
A-Frame Temporary Signage	Allowed by Approval from the Owner
Wall Mounted Menu Board	Allowed to restaurants only. Not to exceed 4 sq ft

MAX SIGN AREA CALCULATION	
Sign Area / Linear Storefront	1 sq ft / linear foot

ILLUMINATION ALLOWANCES	
Internal or External Illumination	Halo, External, or Exposed*

\* Exposed illumination is allowable for restaurants only



## TENANT ELEVATIONS

# Artisan Village Tenants

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1 Back View  
Scale : 1/8"=1'

LEGEND					
<span style="color: red;">■</span>	Primary Sign	<span style="color: orange;">■</span>	Blade Sign	<span style="color: green;">■</span>	Wall Plaque / Menu Board

LINEAR SQUARE FEET: 725F



2 Front View  
Scale : 1/8"=1'

PRIMARY IDENTITY SIGNAGE	
Fascia Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band
Max Sign Logo / Letter Height	18"
Max Sign Height, if Letters Stacked	24"

SECONDARY IDENTITY SIGNAGE OPTIONAL	
Blade Sign, if space permits	4 sq ft
Wall Mounted Plaque	3 sq ft
Wall Mounted Menu Board	Allowed to restaurants only. Not to exceed 4 sq ft

MAX SIGN AREA CALCULATION	
Sign Area / Linear Storefront	1 sq ft / linear foot

ILLUMINATION ALLOWANCES	
Internal or External Illumination	Halo, External, or Exposed*

\* Exposed illumination is allowable for restaurants only



## TENANT ELEVATIONS

# Artisan Village Tenants

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1 Back View  
Scale : 1/8"=1'

LEGEND					
<span style="color: red;">■</span>	Primary Sign	<span style="color: yellow;">■</span>	Blade Sign	<span style="color: green;">■</span>	Wall Plaque / Menu Board

LINEAR SQUARE FEET: 655F



2 Front View  
Scale : 1/8"=1'

PRIMARY IDENTITY SIGNAGE	
Fascia Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band
Max Sign Logo / Letter Height	18"
Max Sign Height, if Letters Stacked	24"

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A-Frame Temporary Signage	Allowed by Approval from the Owner
Wall Mounted Menu Board	Allowed to restaurants only. Not to exceed 4 sq ft

MAX SIGN AREA CALCULATION	
Sign Area / Linear Storefront	1 sq ft / linear foot

ILLUMINATION ALLOWANCES	
Internal or External Illumination	Halo, External, or Exposed*

\* Exposed illumination is allowable for restaurants only



## TENANT ELEVATIONS

# Artisan Village Tenants

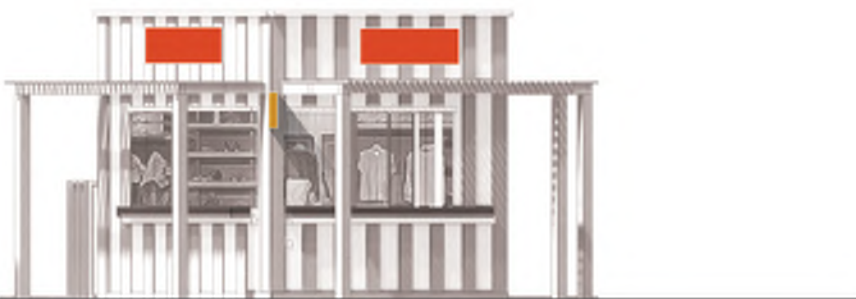
All signs are subject to prior review and approval as set forth in the Declaration of Covenants, Conditions and Restrictions and Establishment of Easements for the Commercial Property at CRM. All signs are to be reviewed by the Owner for approval on a case-by-case basis. Tenants are encouraged to use creativity and exceptional design to create something distinctive and unique that is reflective of the project and its overall design character.



1 Back View  
Scale : 1/8"=1'

LEGEND		
<span style="color: red;">■</span>	Primary Sign	<span style="color: orange;">■</span>
<span style="color: yellow;">■</span>	Blade Sign	<span style="color: green;">■</span>
	Wall Plaque / Menu Board	

LINEAR SQUARE FEET: 465P



2 Front View  
Scale : 1/8"=1'

PRIMARY IDENTITY SIGNAGE	
Fascia Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band
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MAX SIGN AREA CALCULATION	
Sign Area / Linear Storefront	1 sq ft / linear foot

ILLUMINATION ALLOWANCES	
Internal or External Illumination	Halo, External, or Exposed*

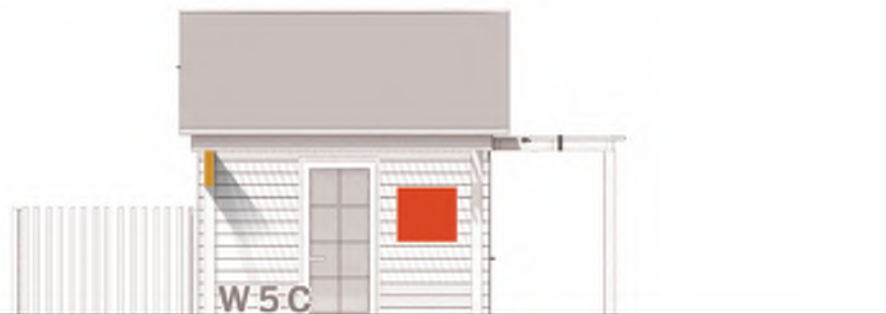
\* Exposed illumination is allowable for restaurants only



## TENANT ELEVATIONS

# Artisan Village Tenants

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### LEGEND

■ Primary Sign    
 ■ Blade Sign    
 ■ Wall Plaque / Menu Board

LINEAR SQUARE FEET: 525F



2 Front View  
Scale: 1/8"=1'

### PRIMARY IDENTITY SIGNAGE

<b>Fascia Sign</b>	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band
Max Sign Logo / Letter Height	18"
Max Sign Height, if Letters Stacked	24"

### SECONDARY IDENTITY SIGNAGE OPTIONAL

<b>Blade Sign, if space permits</b>	4 sq ft
<b>Wall Mounted Plaque</b>	3 sq ft
<b>A-Frame Temporary Signage</b>	Allowed by Approval from the Owner
<b>Wall Mounted Menu Board</b>	Allowed to restaurants only. Not to exceed 4 sq ft

### MAX SIGN AREA CALCULATION

Sign Area / Linear Storefront	1 sq ft / linear foot
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### ILLUMINATION ALLOWANCES

Internal or External Illumination	Halo, External, or Exposed*
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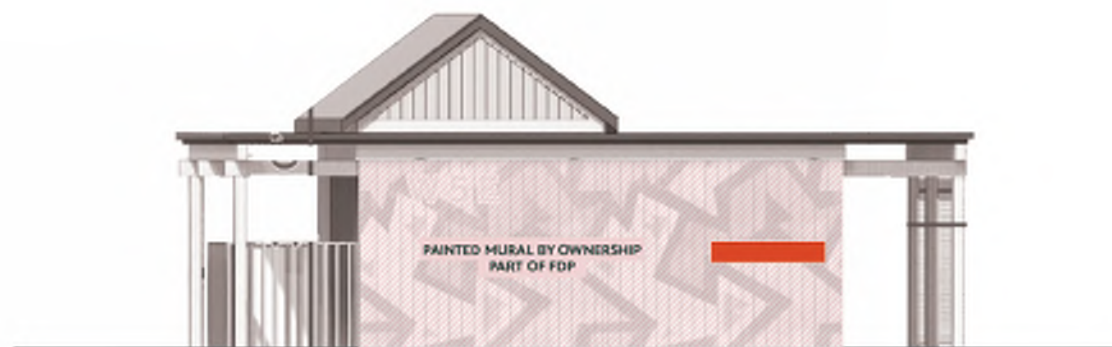
\* Exposed illumination is allowable for restaurants only



## TENANT ELEVATIONS

# Artisan Village Tenants

All signs are subject to prior review and approval as set forth in the Declaration of Covenants, Conditions and Restrictions and Establishment of Easements for the Commercial Property at CRM. All signs are to be reviewed by the Owner for approval on a case-by-case basis. Tenants are encouraged to use creativity and exceptional design to create something distinctive and unique that is reflective of the project and its overall design character.



1 Back View  
Scale : 1/8"=1'

LEGEND					
<span style="color: red;">■</span>	Primary Sign	<span style="color: orange;">■</span>	Blade Sign	<span style="color: green;">■</span>	Wall Plaque / Menu Board

LINEAR SQUARE FEET: 625F



2 Front View  
Scale : 1/8"=1'

PRIMARY IDENTITY SIGNAGE	
Fascia Sign	Required
Sign and Letter Max Size	Not to exceed 75% of height and 70% of width of perceived sign band
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MAX SIGN AREA CALCULATION	
Sign Area / Linear Storefront	1 sq ft / linear foot

ILLUMINATION ALLOWANCES	
Internal or External Illumination	Halo, External, or Exposed*

\* Exposed illumination is allowable for restaurants only



# Signage Examples

All signs are subject to prior review and approval as set forth in the Declaration of Covenants, Conditions and Restrictions and Establishment of Easements for the Commercial Property at CRM. All signs are to be reviewed by the Owner for approval on a case-by-case basis. Tenants are encouraged to use creativity and exceptional design to create something distinctive and unique that is reflective of the project and its overall design character.

## PRIMARY / FASCIA SIGN

### Externally Illuminated

- This sign type is illuminated by a separate external light source, such as gooseneck or cove lighting elements. Any visible fixture must integrate with the overall design of the storefront.
- Individual letters shall be at least 1/2 inch thick metal. Letter thickness is subject to the Owner's approval and based on thickness-to-height ratio. Letter depths shall be no more than 4 inches.
- All primary signage should be mounted at a maximum of 1/2 inch from the face of the wall.
- The bottom of gooseneck or lighting elements must be a minimum of 2 inches above the top of the sign.
- Light bars are prohibited.
- The Owner is to approve number of light fixtures prior to installation.



1/2" min

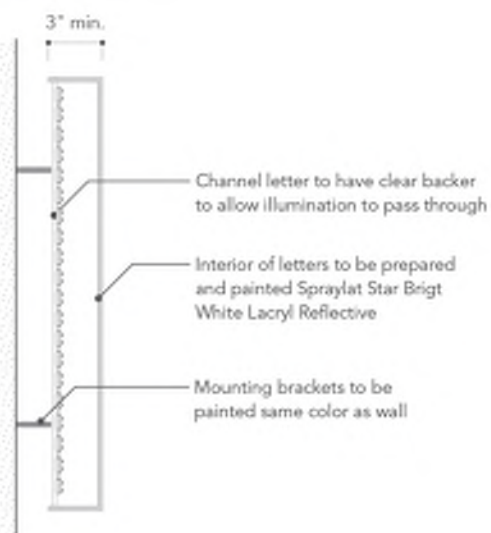
Painted aluminum letterform  
not to exceed maximum letter height

Mounting brackets to be painted  
same color as wall and be a  
maximum of 1/2" from fascia

## PRIMARY / FASCIA SIGN

### Halo-Lit Reverse Channel Letter

- Letters are to be fabricated out of aluminum with a minimum metal thickness of .060 with a painted finish.
- All seams are to be welded and ground smooth.
- Illumination should be evenly distributed within the letter form. Hot spots are not allowed.
- Letter channel depths shall be no more than 4 inches.
- Letter channels are to be pin mounted from wall surface and shall be a maximum of 2 inches from the face of the wall.
- Light temperature 5000°K and verified with the owner.

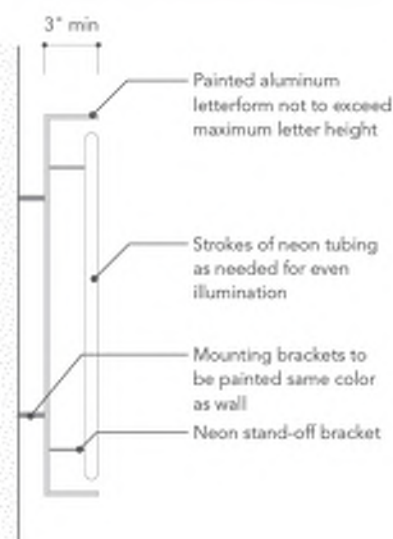


## PRIMARY / FASCIA SIGN

# Exposed Illumination

This sign construction category includes exposed neon or individual bulb/lamp illumination.

- Open pan channel letter forms to be painted metal with a minimum thickness of .060.
- All seams are to be welded and ground smooth.
- The inside of channel letter forms are to be painted a contrasting color from the building color.
- Tube lighting is to be double-row or an adequate number of rows to illuminate channel letter form.
- All neon fasteners, bulb strands, tube strands, mounts, and crossovers are to be painted to match the inside of the letter form.
- Letter channel returns are to be a maximum of 4 inches deep.
- The top surface of the lighting element is to be flush with the front edges of the returns.
- Letter faces are to be stud-mounted 1/2 inch from the face of the wall.



## PRIMARY / FASCIA SIGN

### Painted Identity

- This sign type is illuminated by a separate external light source, such as a gooseneck or cove lighting elements. Any visible fixture must integrate with the overall design of the storefront.
- All painted identity designs are subject to the Owner's approval. Design should be appropriate for architectural conditions and reflect the overall character of the site. There is to be a maximum of two (2) colors unless otherwise approved by the Owner. All graphics are to be masked and painted.
- The bottom of gooseneck or lighting elements must be a minimum of 2 inches above the top of the sign.
- The Owner is to approve the number of light fixtures prior to installation.



## PRIMARY

# Vertical Marquee Sign

- a. A tenant may opt to use a Vertical Marquee Sign as a primary form of identification if 1) the building they occupy is identified as eligible and 2) if the Owner permits.
- b. Any additional structural requirements shall be coordinated with Owner at Tenant's expense.
- c. Views of sign shall be minimally impacted by awnings or other architectural elements.
- d. Signs should have at least 13 ft. of clearance above finished grade and not extend above building roof-line.
- e. Sign may be internally illuminated or externally illuminated. Final design is subject to Owner's approval before being submitted to City for permitting.
- f. Sign may not exceed 20sq. ft.



## SECONDARY

# Tenant Blade Sign

A blade sign is a double-sided sign mounted perpendicular to the building façade and suspended on a metal bracket. It is to be placed near the entrance(s) to a retail space. See illustration for design style.

### 1. Materials and construction

- Blade signs are encouraged to be fabricated of painted metal.
- Materials, sign color, fastener details, lighting, light temperature, and other design elements of the blade sign should integrate with the storefront. Design compliance will be at the Owner's discretion.
- Blade signs shall be wall-mounted from designed metal bracket.
- Goosenecks and ornamental lighting are not permitted. If used, lighting should be integrated into the sign panel, such as using cove lighting.
- Molded fiberglass and other plastic signs are not permitted.

### 2. Locations

- Signs shall be mounted with a minimum of 8' of clearance from the bottom of the blade sign to the finished floor.
- No two tenants shall locate their blade sign on the same demising pier.
- Where possible, existing electrical locations are recommended for sign locations on demising piers.



## SECONDARY

# Wall-Mounted Plaque

A wall-mounted plaque is mounted parallel to the building façade and placed near the entrance(s) to a retail space.

### 1. Materials and construction

- Wall-mounted plaques shall have concealed fasteners. Exposed fasteners designed as a feature treatment require approval by the Owner.
- Allowable materials are cast metal, glass, and durable hard surface material.
- The size of the plaque is subject to the Owner's approval, per the sign matrix, due to irregular project configurations.
- No taglines, slogans, or service or product descriptions are allowed in the text.
- Molded fiberglass or other plastic signs are not permitted.

### 2. Locations

- Mounting location is to be adjacent to entry doors.
- No two tenants shall locate their wall plaque sign on the same demising pier.
- Where possible, existing electrical locations are recommended for sign locations on demising piers.



## SECONDARY

# Window Graphics

Window graphics are mounted directly to storefront glass, intended to be read from the exterior.

1. The finish of window graphics is to be metallic, white, black, or etched vinyl graphics.
2. All applied window graphics are to be adhered to interior side of glass.
3. All applied window graphics are to be submitted to the Owner and approved in writing prior to installation.
4. For the tenants that exceed 12000 metric sq ft full-coverage window graphics may be applied only if they conform to the following criteria:
  - a. The windows to be covered display back of house areas.
  - b. The graphics are to be either two-color or monochromatic printed vinyl or 3M Dusted Crystal vinyl.
  - c. The graphics do not include type, language, logos, or lifestyle graphics.
  - d. All graphics and locations are to be approved by the Owner prior to installation.





## SECONDARY

### A-Frame Temporary Sign

1. A freestanding sign is to be constructed for outdoors use, weatherproof, and movable.
2. The sign should be near main entry to the establishment.
3. All graphics and images shall be submitted to the Owner and Rancho Mirage planning for approval prior to fabrication and installation.
4. The sign shall be constructed of metal or wood only and have a maximum of two (2) paint colors. Stained wood may be included as a third finish option.
5. Signage should not exceed 8 square feet per sign face and quantity is limited to one (1) per tenant. Sign area shall be calculated by overall length multiplied by overall width, irregular shapes may be used but area will always be calculated as rectilinear.



These materials contain general information about and proposed plans for Cotino™, a Storyliving by Disney™ community, which plans are subject to change or cancellation in part or whole, at any time without notice. Nothing in these materials obligates any entity to build any facilities or improvements depicted or described herein, and there is no guarantee that any illustrated or described proposed future development will be implemented. No guarantee is made that the features and amenities depicted by artists' renderings or otherwise described will be built, or, if built, will be the same type, size, or nature as depicted or described. Community is for people of all ages with select home sites intended for occupancy by at least one person 55 years or older, except as otherwise permitted under limited circumstances.

Club membership, programming, and access and use of future proposed amenities and offerings, will require payment of dues and/or fees and be subject to additional terms and conditions, which will be set by the owner of the club. Availability of club membership and operation of club facilities are not guaranteed.

Home purchase does not grant access to Cotino™ Bay or its beaches; access will require separate fees. No representation or warranty is made about the continued operation/maintenance, long-term water levels or features of Cotino Bay; water levels may fluctuate. No representation is made as to whether the Town Center will be constructed.

Residential community is Disney branded and managed, developed by DMB Development with homes built and sold by third-party builders. Disney is not the developer of Cotino, a Storyliving by Disney community or the builder or seller of homes within Storyliving by Disney communities. Third-parties developing and building are independently owned and operated. Disney does not guarantee obligations of, nor provide any warranties for, the construction of community infrastructure, recreational areas or unaffiliated parties who build homes in the community. No guarantee is made that the communities, the Club or any facilities or improvements therein will continue to be managed by Disney, use the name "Disney", or otherwise be associated with Disney.

Obtain the Property Report required by Federal law and read it before signing anything. No Federal agency has judged the merits or value, if any, of this property. This does not constitute an offer to sell, or a solicitation to buy, real estate to residents of any state, province or jurisdiction where prohibited by law, or where prior registration or filing of a disclosure statement is required, but has not yet been completed. PENNSYLVANIA REGISTRATION No. OL001186. Equal Housing Opportunity. Broker participation welcome.

Storyliving by Disney™ Realty, CA DRE License No. 02194403. AZ broker: Silverleaf Realty, LLC.

## COTINO™ BAY

BEACH • DINING • SHOPS



## Planning Commission Staff Report

**Minor Conditional Use Permit Case No. CUP25-0004 – 5 Rancho Clancy – Applicant: Mark Temple Construction, Inc. Consideration of a Pickleball Court, Located at 5 Rancho Clancy (APN: 682-090-010)**

DATE	ITEM #
June 12, 2025	PUBLIC HEARINGS - 5B.
Presented To	Presented By
Planning Commission	Lezlee Vazquez, Assistant Planner

### RECOMMENDED ACTION

1. Approve the filing of Notice of Exemption pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15303 Class 1 (New Construction); and,
2. Approve Minor Conditional Use Permit Case No. CUP25-0004, subject to the Conditions of Approval and based on the content and Findings in the staff report.

### DISCUSSION

#### Facts

1. Applicant: Mark Temple Construction, Inc.
2. Request: Approval of a pickleball court.
3. Location: 5 Rancho Clancy – APN: 682-090-010
4. Parcel Size: 43,560 square feet – 1.00 acres
5. Existing Land Use and General Plan/Zoning: Residential Estate (R-E)
6. Date Application Deemed Complete: May 22, 2025

#### Background and Request

The subject site is located at the end of the cul-de-sac along Rancho Clancy. The subject lot was approved as part of Tentative Tract Map No. 29244 in 2002. Clancy Ranch Estates currently consist of three residences and originally included five lots, however one home utilizes an adjacent lot for recreational purposes. The subject property is the last lot to be developed within the Clancy Ranch Estates Community. There are three (3) homes along Rancho Clancy that have existing sports courts, in addition within a 500 foot radius of the project site there are six (6) existing sports courts.

The current property owners of 5 Rancho Clancy, Shayne and Angelika Olsen, purchased the property in July 2023. The applicant originally submitted a Minor Conditional Use Permit (CUP25-0004) with the Planning Division in March 2025 for a proposed pickleball court with four (4) free standing light fixtures. On June 6, 2025, based on public comments received, the property owner’s representative in consultation with the property owners emailed staff to remove the four freestanding light fixtures from the pickleball court. Staff added Conditions of Approval # 10 and #11 to clarify the removal of the freestanding light fixtures from the project.

The construction of the single-family home will be reviewed at the staff level as part of a Single-Family Permit Application. The proposed single-family dwelling will include a 6,080 square foot main residence with an attached 1,131 square foot garage, a detached 823 square foot pool house, and other site amenities such as a pool/spa, outdoor seating area, firepit, and outdoor kitchen. It’s important to note that the only item being considered by the Planning Commission is the pickleball court pursuant to Rancho Mirage Municipal Code (RMMC) Section 17.30.230.

**Analysis**

		In Compliance with RMMC
<b>Parcel Size</b>	43,560 square feet – 1.00 acres	<b>YES</b>

Sports Court

<b>Setbacks (17.30.230)</b>	<b>Front</b>	<b>Rear</b>	<b>Side</b>	
Required	25’	10’	10’	In
Provided	276’	16’	20’ and 63’	<b>YE</b>

**Conditional Use Determination**

Pursuant to the Rancho Mirage Municipal Code (RMMC) Section 17.30.230, (Tennis courts and sports courts) sports courts are allowed within residential zoning districts subject to approval of a Minor Conditional Use Permit.

The proposed pickleball court is located on the northwest corner of the property and will be recessed approximately two feet. The property to the north has a finished floor of 17.70 feet and the property to the west has a finished floor of 17.40 feet. The finished grade surrounding the pickleball court is approximately 16.20 feet, which is approximately 1.5 feet lower than the property to the north and approximately 1.2 feet lower than the property to the west.

The dimensions of the pickleball court are 20’ x 44’ with additional concrete areas beyond the court lines. The pickleball court meets all setbacks with a front setback of 276’, rear setback of 16’, and side setback of 20’ and 63’. A 4’-6” high retaining block wall will enclose the sports court area, which includes the pickleball court and perimeter concrete areas. The adjacent surface that is west and north of the retaining wall has a finished grade of 16.20 feet. The retaining block wall will be approximately 2.3 feet high from finished grade and 4’-6” from the court’s finished surface. The proposed retaining block wall will be setback 10’ from the western and northern property line. Additionally, an existing six-foot tall perimeter block wall surrounds the property, which will help screen the sports court.

In order to provide further screening and minimize impacts, additional landscape is proposed around the pickleball court. The pickleball court will be surrounded by four 15-gallon citrus trees to the south, 6 Podocarpus Gracilior Hedges to the north, and 11 Prunus Carolinian Monus Hedges to the west. Various plants such as Coprosma Kirkii and Ground Morning Glory will be planted in several areas outside of the pickleball court. Additionally, Bougainvillea Vines will be planted along the western and northern perimeter block wall. All planting areas outside of the pickleball court will contain Palm Springs Gold Decomposed Granite.

A Condition of Approval has also been added to ensure that any changes to the sports court or further modifications will require additional review by either Staff or the Planning Commission. As proposed, the sports court meets all applicable development standards.

<b>Homeowners Association Approval</b>	<b>YES</b>
--	------------

The property is located within the Clancy Ranch Estates. Staff received an approval letter from the Homeowner's Association for the proposed sports court and new single-family dwelling.

**Environmental Determination**

Sports courts are categorically exempt pursuant to CEQA Section 15303 (Class 3) for New Construction. A Notice of Exemption will be filed with the Riverside County Clerk once a final determination has been made by the Planning Commission.

**Noticing Requirement**

This application request was publicly posted and mailed to all affected property owners and residents within 500 feet of the parcel boundary pursuant to the requirements of Chapter 17.74 of the Municipal Code. Public comments were received which are included in Attachment 6. Any additional information addressed to the Planning Commission, but received after completion of this final report, will be distributed at the public hearing.

Municipal Code Section 17.74.020, Hearing and notice, requires that all property owners, as shown on the county's latest equalized assessment roll, within a five- hundred-foot radius of the boundaries of the subject parcel(s) be notified of matters requiring a public hearing. If the number of property owners to whom the notice would be mailed to is less than twenty-five, then the mailing radius is required to be increased to one thousand feet as measured from the exterior boundaries of the subject parcel.

The Notice is also required to be published in a local newspaper of general circulation and in public places. The subject notice was published in The Desert Sun on Sunday, June 1st, 2025. The notice was also posted at City Hall, The Rancho Mirage Library & Observatory, and on the City's website on May 28, 2025.

**Summary**

The proposed pickleball court meets or exceeds all applicable development standards and is similar to other existing sports courts in the vicinity. Based on the proposed plans, landscaping, and conditions of approval the pickleball court is compatible with the surrounding neighborhood.

**FINDINGS**

As conditioned, staff makes the following findings:

1. The proposed conditional use would not impair the integrity and character of the subject zoning district, **(Residential Estate - R-E), a sports court is permitted in residential zones and the proposed project is consistent with the intent of the development standards set forth in Section 17.30.230 of the Rancho Mirage Municipal Code. The sports court will be recessed two feet from the adjacent finished grade and additional landscape is proposed around the pickleball court. The court will be surrounded by citrus trees to the south, Podocarpus Gracilior Hedges to the north, and Prunus Carolinian Monus Hedges to the west.**
2. The proposed use is consistent with the General Plan **because sports courts are conditionally permitted in residential zones. The sports court will meet the minimum setbacks and is recessed two feet from finished grade. Additionally, the sports court will be screened with a 4'-6" retaining wall, 6' perimeter block wall, and landscaping.**
3. The design, location size and operating characteristics of the proposed use are compatible with the existing and future land uses and would not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other allowed uses operating nearby or adverse to the public interest, health, safety, convenience, or welfare of the City, **because it will meet the minimum setbacks and additional landscaping is provided as required by the Rancho Mirage Municipal Code.**
4. The subject site is physically suitable for the type and density/intensity of use being proposed, **because the project is an accessory use to the proposed single-family residence in a residential zoning district.**
5. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety, **because all services and utilities are available at the site.**

6. The proposed project has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA) **the project is exempt from CEQA pursuant to CEQA Guidelines Section 15303 (Class 3) for New Construction.**

**Attachments**

[Attachment 1 - Aerial Photo.pdf](#)

[Attachment 2 - Conditions of Approval.pdf](#)

[Attachment 3 - Public Hearing Notice.pdf](#)

[Attachment 4 - Draft Notice of Exemption.pdf](#)

[Attachment 5 - Exhibit Booklet.pdf](#)

[Attachment 6 - Public Comments.pdf](#)

# CUP25-0004 – 5 Rancho Clancy Aerial



**Minor Conditional Use Permit Case No. CUP25-0004 Conditions of Approval**

Special conditions are shown using **bold** font type.

**Planning**

1. This approval shall be effective for one (1) year from the date of the Planning Commission approval. Building and Engineering Permits are required to be obtained by the applicant within one year of the project approval. If no permits have been obtained, the application will expire and become null and void.
2. The proposed residential construction shall substantially conform to the Planning Division's approved exhibits, including the materials board as contained in **CUP25-0004**. This application approval is for the residential land use permit only. The applicant shall not misconstrue this as an approval to obtain a Building Permit at this time. Applicable structural and conformance plan check procedures, along with City Public Works Division requirements, must be completed and approved prior to issuance of a Grading or Building Permit. Should the plans be modified from the design approved by the Planning Commission, the applicant/property owner shall submit a Minor Modification application to the Planning Division for review and approval as required by the Rancho Mirage Municipal Code (RMMC).
3. Prior to issuance of any permits, the applicant shall acknowledge that the project and any or all proposed modifications to the approved project shall be completed in accordance with applicable City Ordinances, Guidelines, and other requirements in effect at the time of building permit issuance.
4. The subject approval shall not become effective until the acknowledgement and acceptance of the conditions of approval are signed and returned to the Planning Division.
5. The Conditions of Approval set forth herein may include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d)(1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day approval period in which you may protest these fees, dedications, reservations, and other exactions, pursuant to Government Code Section 66020(a), has begun.
6. All walls shall follow Section 17.20.070 of the Zoning Code. Wall pilasters shall not exceed six inches above the maximum wall heights. All walls shall be architecturally treated to be compatible with the residence; architectural treatment shall occur on both sides of all perimeter walls.

7. The location of this project is considered an “in-fill site” with very proximity to existing residences. Should the City receive complaints about construction noise from residents in close proximity of the project, the City may limit construction activities to the hours between 7 am and 5 pm.
8. Per Municipal Code Section 17.26.070 and 17.18.050, all lighting shall be designed and located to confine direct light within the subject project boundaries, with no light to surrounding properties. Exterior lighting shall be shielded or recessed in order that direct glare and reflections are confined within the boundaries of the subject property and shall be directed downward and away from adjoining properties and public rights-of-way. Lighting shall not be of unusually high intensity or brightness. All lighting fixtures shall be appropriate in scale, intensity, and height to the use they are serving.
9. Any new accessory structures shall comply with setbacks and height limits of the Zoning Ordinance (Section 17.30.190 of the RMMC).
10. **The project plans shall be revised to remove any references to freestanding light fixtures prior to Building Permit submittal.**
11. **The sports court is only approved for pickleball with no freestanding light fixtures, and any changes may be subject to a Conditional Use Permit Modification application for review.**
12. **Any and all requirements as set forth by the Public Works Department, Fire Department, Building & Safety Division, and any other utility and/or responsible agency shall be followed.**

### **City Attorney**

13. Permittee shall defend, indemnify and hold harmless the City, its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attack, set aside, void or annul this permit approval. The City shall notify the permittee of any claim, action, or proceeding and the City shall cooperate in the defense. If the City fails to notify the permittee of any claim, action or proceeding of which the City has written notice, the permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the City.
14. The permittee shall reimburse the City for any court and attorney's fees which the City may be required to pay as a result of any claim or action brought against the City because of this grant approval. Although the permittee is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the permittee of any obligation under this Condition.



# CITY OF RANCHO MIRAGE

Planning Division  
69-825 Highway 111  
Rancho Mirage, CA 92270  
Planning@RanchoMirageCA.gov  
(760) 328-2266

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## **PUBLIC HEARING NOTICE**

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### **PLANNING COMMISSION MEETING Thursday, June 12, 2025 – 2:00 p.m.**

#### **Conditional Use Permit Case No. CUP25-0004**

**Applicant:** Mark Temple Construction, Inc.

**Request:** Consideration to approve a pickleball court with four (4) freestanding light fixtures at a height of 18 feet.

**Location:** 5 Rancho Clancy (APN: 682-090-010)

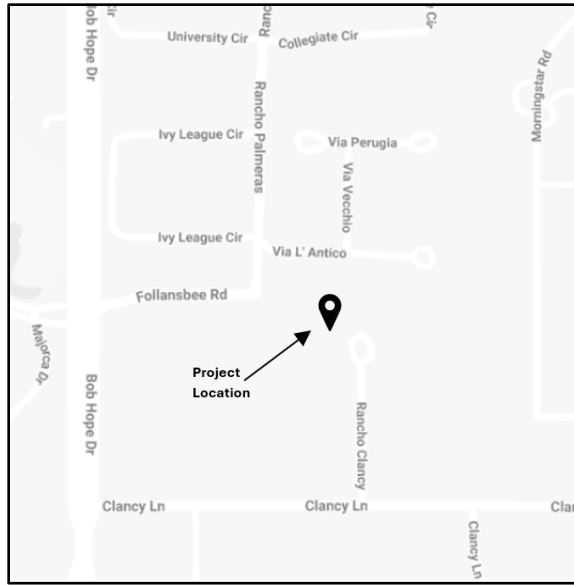
**NOTICE IS HEREBY GIVEN** that a Public Hearing will be held before the City of Rancho Mirage Planning Commission regarding consideration of the above referenced application, pursuant to Rancho Mirage Municipal Code Title 17. This project is exempt from California Environmental Quality Act (CEQA) pursuant to Section 15303 Class 3 (New Construction). A Categorical Exemption will be filed with the County of Riverside.

The Public Hearing will be held on Thursday, June 12, 2025, at 2:00 p.m., in the Council Chamber, 69-825 Highway 111, Rancho Mirage, California, at which time and place pertinent testimony will be heard. The file, including all environmental information, is available for public inspection at City Hall, Monday through Friday, between 8 a.m. and 5 p.m., and will be posted on the City's website with the publication of the Planning Commission Agenda, to be posted at least 72 hours prior to the meeting.

Written testimony may be submitted to the City Clerk via email to [CityClerk@RanchoMirageCA.gov](mailto:CityClerk@RanchoMirageCA.gov), or mailed to City of Rancho Mirage, ATTN: City Clerk, 69-825 Highway 111, Rancho Mirage, CA 92270. Written testimony must be received no later than 11:00 a.m. on the day of the hearing to be considered by the Planning Commission.

**GOVERNMENT CODE § 65009 NOTICE:** If you challenge this proposed activity in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this notice, or in written correspondence delivered to the Planning Commission sufficiently prior to the Public Hearing to enable its consideration by them.

### Vicinity Map – Not to Scale





Development Services Department  
69-825 Highway 111  
Rancho Mirage CA 92270

Phone 760/328-2266

Fax 760/324-9851

**NOTICE OF EXEMPTION**

To:  State Clearinghouse  
1400 10<sup>th</sup> Street  
Sacramento, CA 95814

Chief Deputy County Clerk  
3470 12th Street  
Riverside, CA 92501

**Project Title/Case Nos.** Minor Conditional Use Permit Case No. CUP25-0004

**Project Location:**  
5 Rancho Clancy  
Rancho Mirage, CA 92270  
APN: 682-090-010

**Applicant/Representative:**  
Mark Temple Construction, Inc

**Project Description:**  
Approval of a pickleball court.

**Name of Public Agency Approving Project:** City of Rancho Mirage  
**Name of Person or Agency Carrying Out Project:** Lezlee Perez  
Assistant Planner

**Exempt Status:** (check one)

- Ministerial (Sec. 21080(b)(1); 15268);
- Emergency Project [Sec. 21080(b)(4); 15269(b)(c)];
- Categorical Exemption. State type and Section number: CEQA Guidelines Section 15303 – New Construction
- Other. State type and Section number: \_\_\_\_\_
- Declared Emergency [Sec. 21080(b)(3); 15269(a)]
- Statutory Exemption; Code N<sup>o</sup> \_\_\_\_\_

**Reasons why project is exempt:** The proposed project consists of a CUP to construct a new pickleball court. CEQA applies only to projects that have the potential for causing a significant effect on the environment. This project is exempt from the California Environmental Quality Act pursuant to Section 15303 (Class 3). A Categorical Exemption will be filed.

**Lead Agency Contact Person:** Lezlee Perez, Assistant Planner

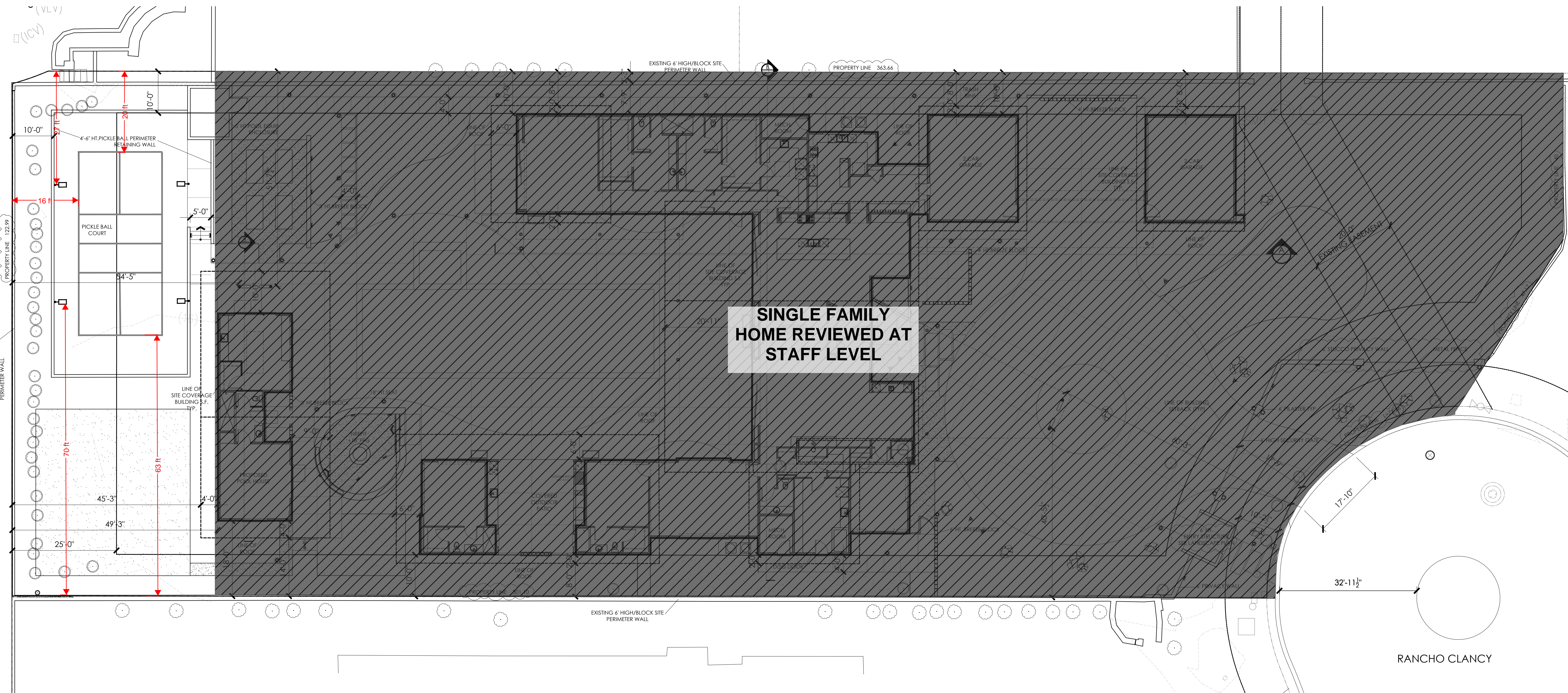
**Telephone No.** (760) 328-2266

**Date:** June 12, 2025

\_\_\_\_\_  
Lezlee Perez, Assistant Planner

**Signed by Lead Agency**

**Date Received for filing at OP** \_\_\_\_\_

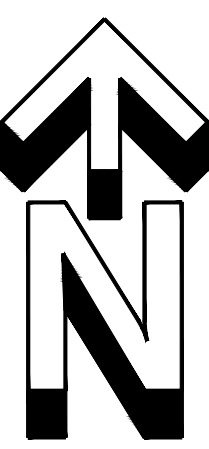


**SINGLE FAMILY HOME REVIEWED AT STAFF LEVEL**

LOT COVERAGE (COVERED AREA):  
 LOT SIZE: 1.00014 ACRES/43560 S.F.  
 MAIN RESIDENCE: 6080 S.F.  
 GARAGES: 1131 S.F.  
 MECHANICAL: 139 S.F.  
 POOL HOUSE: 823 S.F.  
 TOTAL COVERED AREA: 8173 S.F.  
 LOT COVERAGE: 18.8%

LOT COVERAGE SQUARE FOOTAGE IS CALCULATED FROM EXTERIOR WALL TO EXTERIOR WALL INCLUDING ANY ARCHITECTURAL FEATURES AND STRUCTURAL COLUMNS  
  
 SEE LANDSCAPE PLAN FOR PROPOSED COLORS AND MATERIALS FOR SITE WALLS AND FINISHED SURFACES.  
  
 SEE CIVIL FOR PROPOSED FINISHED GRADES

**OLSEN RESIDENCE**

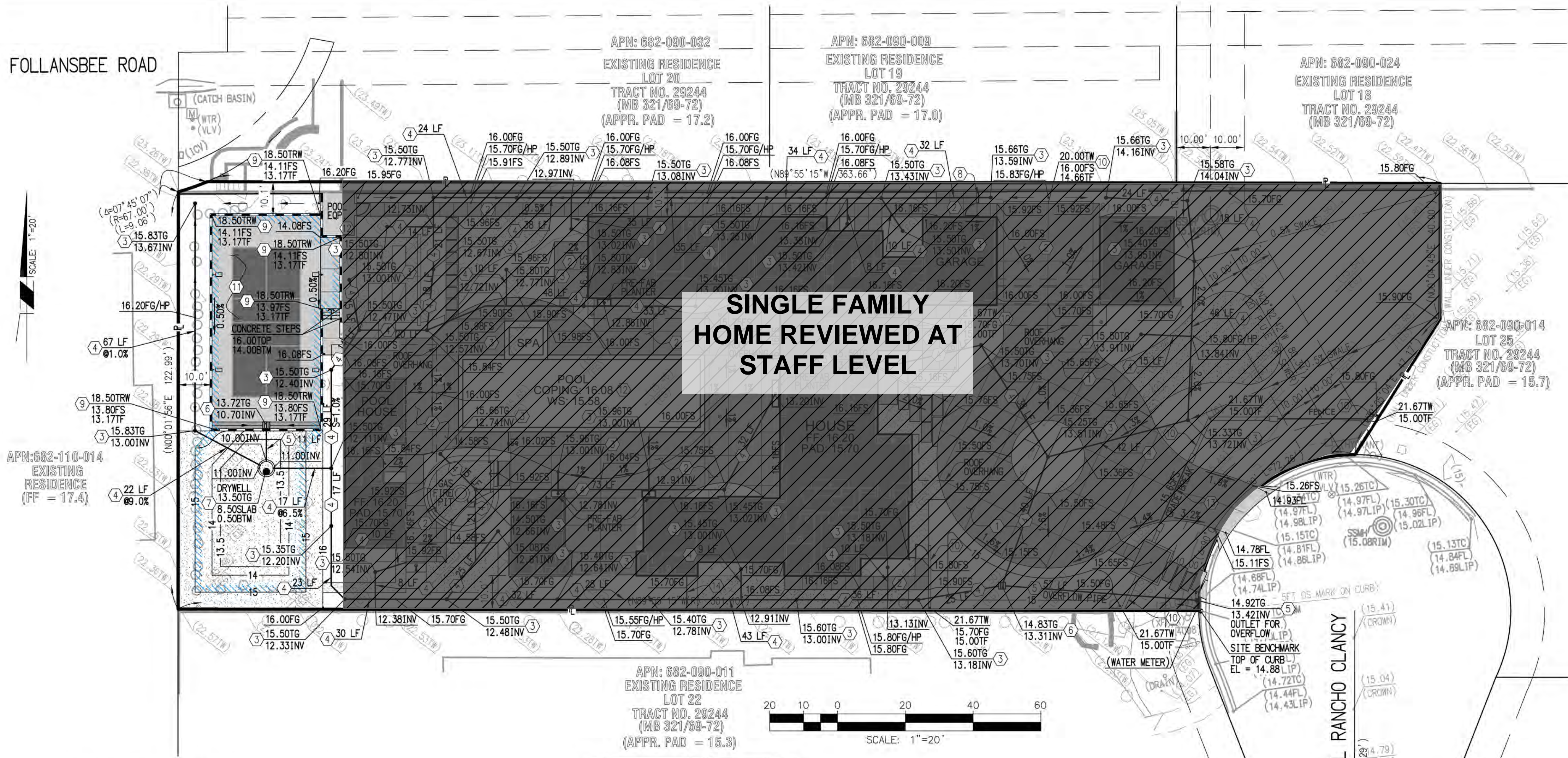


RFI DESIGN 2260 S. COAST HWY.  
 ARCHITECTURE LAGUNA BEACH  
 PLANNING CALIFORNIA  
 LANDSCAPE 92651  
 GRAPHICS T949.500.8947  
 RFTDESIGN.COM F949.833.9603

OLSEN  
 APN#: 682090010  
 5 RANCHO CLANCY  
 RANCHO MIRAGE, CA.

PROJECT NO: 24022 TITLE: SITE PLAN  
 DATE: 04.14.25 SCALE: 3/32" = 1'-0"

FOLLANSBEE ROAD



**SINGLE FAMILY HOME REVIEWED AT STAFF LEVEL**

**CONSTRUCTION NOTES**

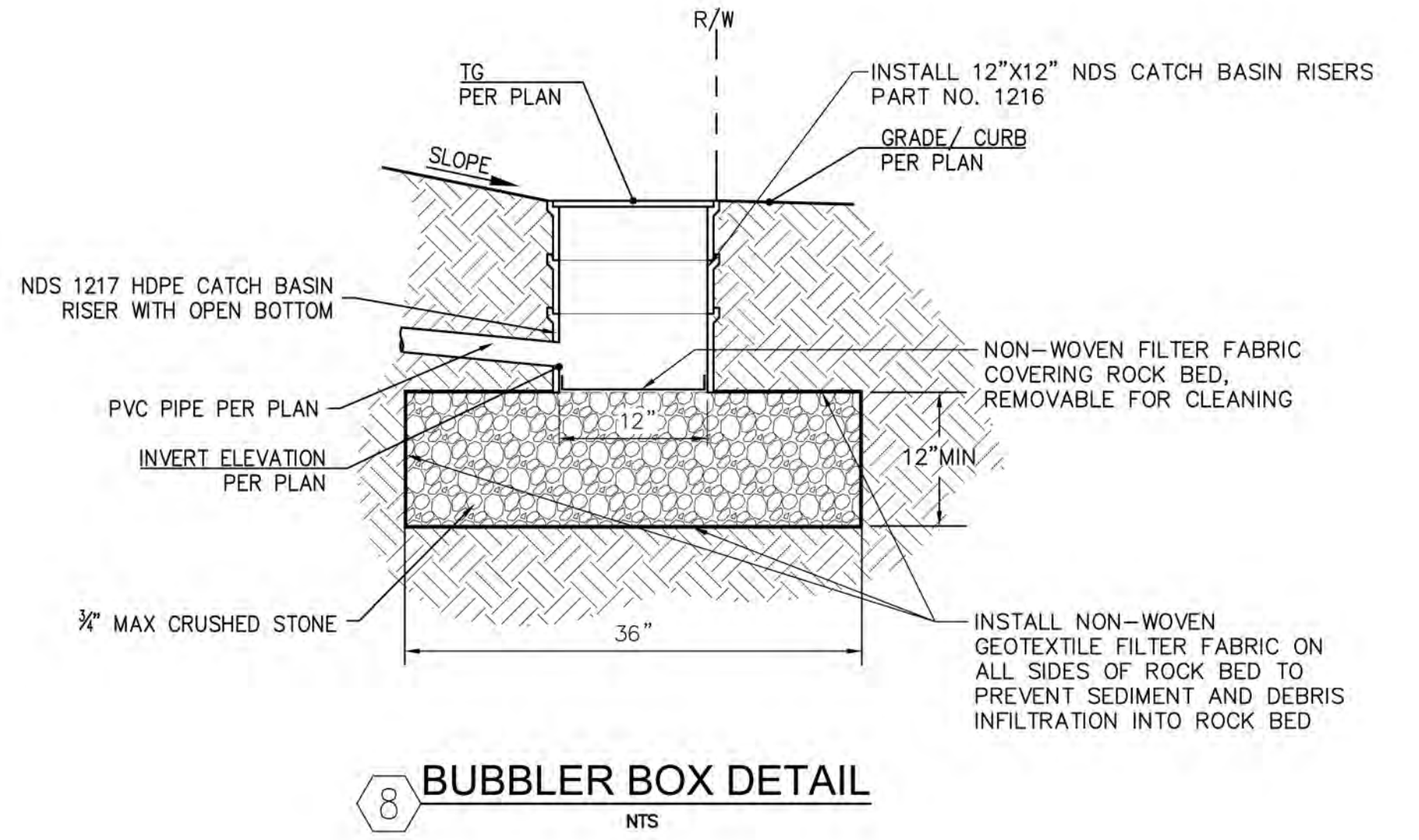
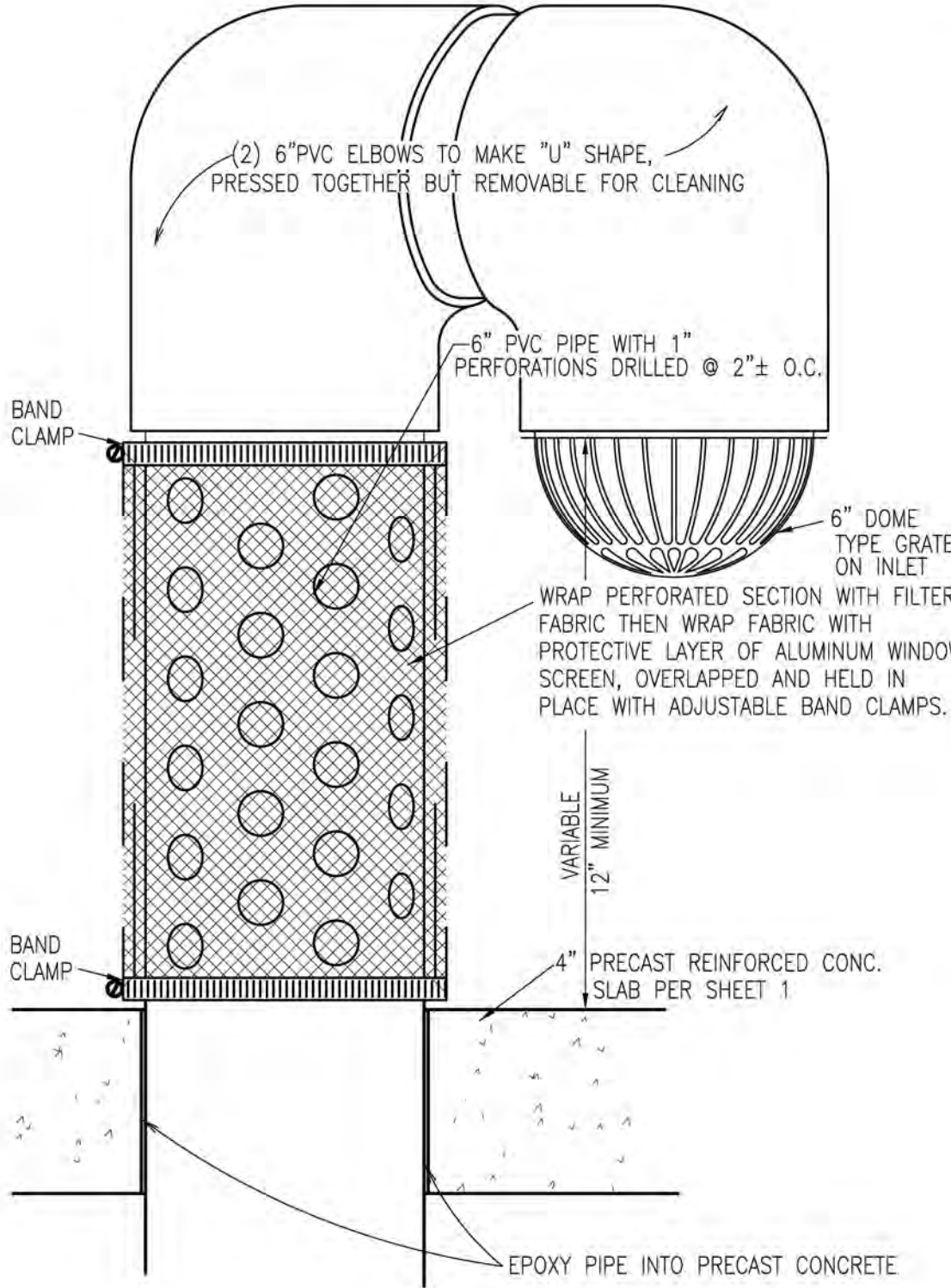
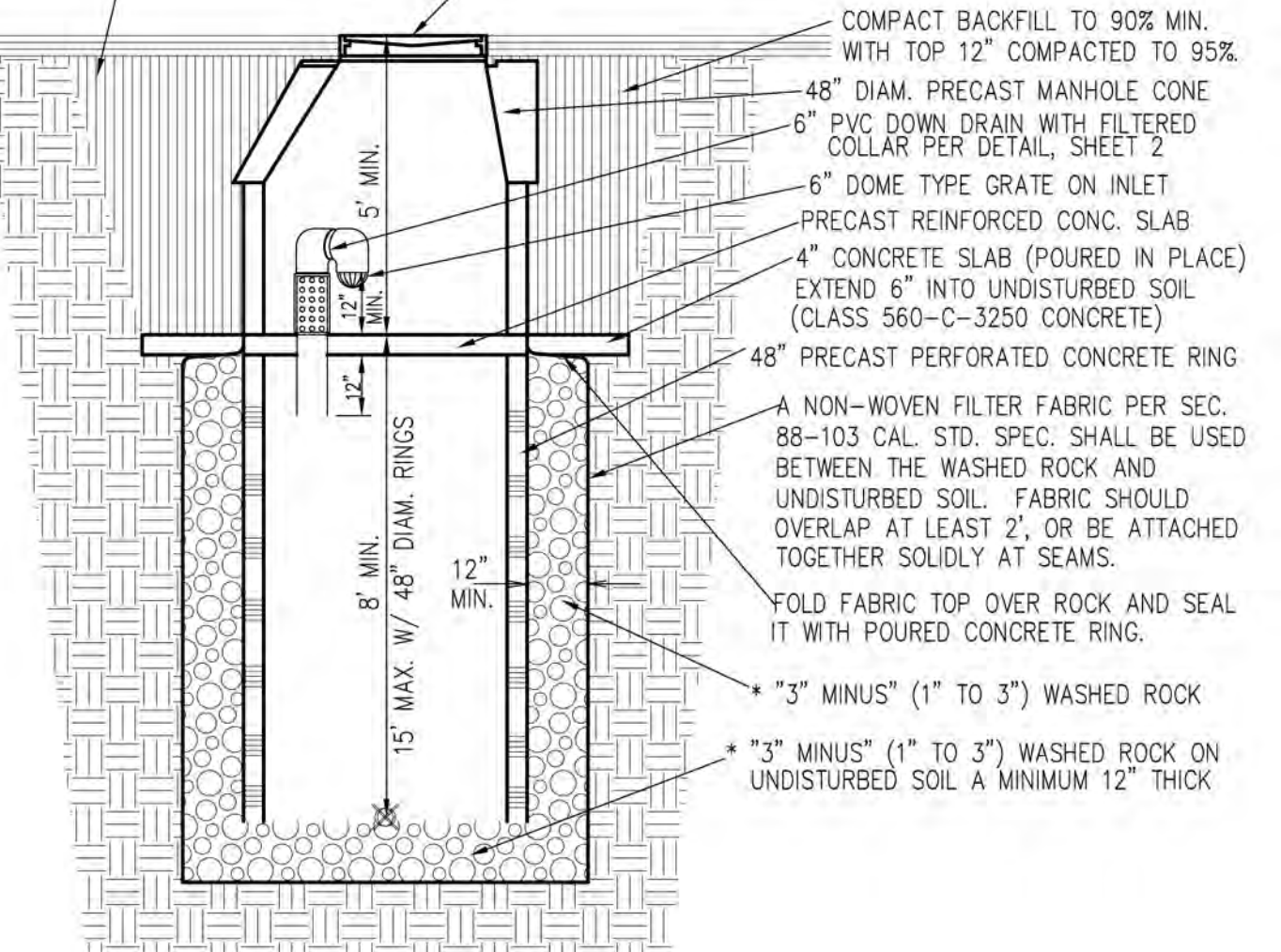
- | NO. | DESCRIPTION   | QUANTITY | UNITS |
|-----|---|----------|-------|
| 1   | CONSTRUCT 4" THICK PCC CONCRETE PAVING OVER 12" THICK 90% COMPACTED SUBGRADE (DRIVEWAY)   | 4820     | SF    |
| 2   | CONSTRUCT 4" THICK DECORATIVE PCC WALKWAY AND PATIO SURFACE, OVER 12" THICK 90% COMPACTED SUBGRADE. GRADE AS SHOWN, STYLE AND FINISH PER ARCH.  | 6975     | SF    |
| 3   | CONSTRUCT 6" NYOPLAST IN-LINE DRAIN WITH APPROVED FLAT GRATE (OR APPROVED EQUAL)  | 49       | EA    |
| 4   | CONSTRUCT 8" CORRUGATED HDPE DRAIN LINE, SLOPE AT 0.50% UNLESS NOTED OTHERWISE ON PLAN  | 1292     | LF    |
| 5   | INSTALL 12" BUBBLER BOX PER DETAIL ON SHEET 2   | 1        | EA    |
| 6   | INSTALL 18" CATCH BASIN WITH SLOTTED STEEL GRATE (NDS MODEL NO. 1800 & 1815 OR APPROVED EQUIVALENT)   | 2        | EA    |
| 7   | CONSTRUCT DRYWELL PER CITY OF RANCHO MIRAGE STANDARD DETAIL 306 (SEE DETAIL THIS SHEET)   | 1        | EA    |
| 8   | CONSTRUCT DECORATIVE FENCE. TYPE AND FINISH PER ARCH.   | N/A      | N/A   |
| 9   | CONSTRUCT RETAINING WALL, PER SEPARATE PERMIT. TYPE AND FINISH PER ARCH.  | 260      | LF    |
| 10  | CONSTRUCT 6" GARDEN BLOCK WALL, PER SEPARATE PERMIT. TYPE AND FINISH PER ARCH.  | 250      | LF    |
| 11  | CONSTRUCT 6" THICK PCC PICKLEBALL COURT PER ARCH. PLAN  | 2008     | SF    |
| 12  | CONSTRUCT POOL, POOL WALLS, SPA, BASINS, WALLS AND WATER FEATURES PER ARCHITECTS AND LANDSCAPE ARCHITECTS PLANS UNDER SEPARATE PLAN AND PERMIT. | N/A      | N/A   |
| 13  | INSTALL SLIDING SECURITY GATE PER ARCH. PLAN  | 1        | EA    |

(ALL WALLS AND RETAINING WALLS SHOWN ON THIS PLAN ARE THE PURPOSE OF LINE AND GRADE LOCATION ONLY, THEY ARE TO BE CONSTRUCTED UNDER SEPARATE PLAN AND PERMIT)

**LEGEND**

- DRIVEWAY
- HARDSCAPE
- GRASS/LAWN
- PLANTING AREA
- RETENTION AREA

FOR INSTALLATION IN STREET AREAS, A CLASS 100-E-100 SLURRY SHALL BE USED IN LIEU OF COMPACTED BACKFILL. A MIN. 3" A.C. SHALL BE PLACED OVER SLURRY.



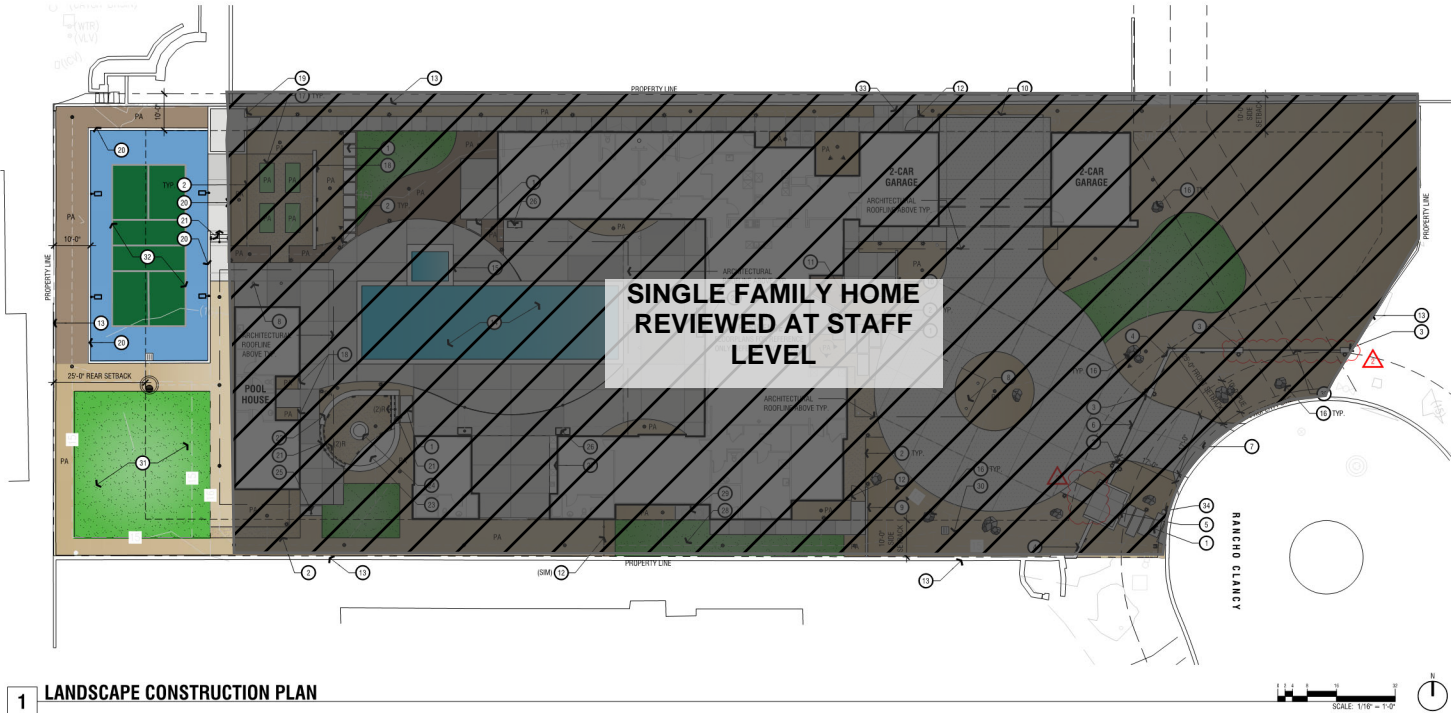
**NOTES:**  
ALL JOINTS ABOVE THE LEACHING AREA SHALL BE MORTAR SEALED INSIDE AND OUT. MAX. PERCOLATION RATE = 1"/HR. OR HALF OF AN ENGINEERED PERCOLATION TEST UP TO 5"/HR. MAX. THE SURFACE AREA FOR PERCOLATION MAY BE THE OUTSIDE AREA OF THE GRAVEL (6.5" DIAM. TYP.) THE HIGHEST RUNOFF FROM A 100 YEAR FREQUENCY STORM, NO MATTER WHAT TIME LENGTH, SHALL BE UTILIZED WHEN CALCULATING THE STORAGE CAPACITY NEEDED IN A DRYWELL.

**STANDARD DRYWELL DETAIL - 13' DEEP**

**BUBBLER BOX DETAIL**



<p><b>IMPORTANT NOTICE</b> CALL BEFORE YOU DIG SECTION 4216 OF THE GOVERNMENT CODE REQUIRES AN INDUSTRY IDENTIFICATION NUMBER BE ISSUED BEFORE A PERMIT TO EXCAVATE WILL BE VALID. FOR YOUR PROTECTION, CALL NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE 811 AND WORKING DAYS BEFORE YOU DIG</p>	<p><b>UNAUTHORIZED CHANGES &amp; USES:</b> THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARED OF THESE PLANS.</p> <p><b>ENGINEER'S NOTE TO CONTRACTOR:</b> CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS RESPONSIBILITY SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD HARMLESS PROFESSIONAL ENGINEER FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN IN THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN, AND IS RESPONSIBLE FOR THE PROTECTION OF, AND ANY DAMAGE TO THESE LINES OR STRUCTURES.</p>	<table border="1"> <thead> <tr> <th>#</th> <th>REVISIONS</th> <th>DATE</th> <th>APP.</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	#	REVISIONS	DATE	APP.					<p><b>BENCHMARK:</b> BENCHMARK: TBM2005 ELEVATION: 14.88 DESCRIPTION: TOP OF CURB AT SOUTHEAST PROPERTY CORNER OF LOT 21 AS SHOWN ON CITY OF RANCHO MIRAGE STREET &amp; ROUGH GRADING PLAN FOR TRACT NO. 29244, SHEET 3 OF 4 ON FILE IN THE OFFICE OF THE CITY ENGINEER OF THE CITY OF RANCHO MIRAGE, AS PLAN SET NO. E0100074.</p> <p><b>BASIS OF BEARINGS:</b> BEARINGS SHOWN HEREON ARE BASED ON THE NORTHERLY PROPERTY LINE OF LOT 21 OF TRACT NO. 29244, AS SHOWN BY A MAP ON FILE IN BOOK 321, PAGES 69 THROUGH 72 INCLUSIVE OF MAPS, RECORDS OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, BEING: NORTH 89°55'15" WEST.</p>	<p><b>EGAN CIVIL, INC.</b> PO BOX 5282, LA QUINTA, CA 92248-5282 (760) 404-7663 WWW.EGANCIVIL.COM</p> <p>OWNER: SHAYNE OLSEN 61874 HOSMER LAKE DRIVE BEND, OR 97702</p> <p>DESIGNED BY: BDE DRAWN BY: SPE CHECKED BY: BDE</p>	<p>PREPARED UNDER THE DIRECT SUPERVISION OF: BENJAMIN DANIEL EGAN, PE, PLS R.C.E. 73070</p> <p>DATE: 04/23/2025</p> <p>GEOTECHNICAL CERTIFICATION, IF REQUIRED, BY: BRETT L. AMERSON, SLADDEN ENGINEERING R.C.E. 45369</p> <p>DATE: 04/23/2025</p>	<p>RECOMMENDED FOR APPROVAL BY: TINA YORK, HR GREEN PACIFIC, INC. R.C.E. 46367</p> <p>DATE: _____</p> <p>APPROVED BY CITY OF RANCHO MIRAGE: TIMOTHY R. JONASSON, ACTING CITY ENGINEER R.C.E. 45843</p> <p>DATE: _____</p>	<p><b>CITY OF RANCHO MIRAGE</b> SHAYNE OLSEN LOT 21 OF TRACT NO. 29244 (MB 321/69-72) <b>PRECISE GRADING PLAN</b></p> <p>5 RANCHO CLANCY, RANCHO MIRAGE, CA, 92270 SEC. 7, T.5S., R.6E., S.B.B.&amp;M APN# 682-090-010</p>	<p>SHEET OF 2</p> <p>PRIVATE REFERENCE # 20241286</p> <p>CITY REFERENCE # E2400236</p>
			#	REVISIONS	DATE	APP.										
<p>FLY DATE: 04/23/2025</p>																



### GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY HAVE NOT BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE CITY/COUNTY REP. FAILURE TO GIVE SUCH NOTIFICATION SHALL RESULT IN THE CONTRACTOR ASSUMING FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THEMSELVES FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COIT INCREASED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER SUB-CONTRACTORS AS REQUIRED TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
- SEE GRADING PLANS FOR VERTICAL CONTROL, WHERE APPLICABLE.
- CONTRACTOR SHALL COORDINATE IRRIGATION SLEEVES LOCATIONS UNDER PAVED AREAS AS REQUIRED. REFER TO IRRIGATION PLANS.
- PRIOR TO PLACING CONCRETE OR AC, THE CONTRACTOR SHALL SUFFICIENTLY COMPACT THE SUBGRADE AND PROVIDE SUBSURFACE PREPARATION FOR SPECIFICATIONS.
- CONCRETE HARDSHAPE SURFACES SHALL BE FORMED WITH LONG, SMOOTH GRADIENTS TO REDUCE DIPS, DRIFT CHANGES AND SHARP TRANSITIONS.
- ALL CURB/LEADER WALLS, CURBS, HEADS/BARDS, AND WALLS SHALL HAVE A CONTINUOUS SMOOTH CURVE WHERE APPLICABLE. ALL FORMS MUST BE INSPECTED AND APPROVED PRIOR TO BEGINNING THAT PHASE OF WORK.
- EXPANSION JOINTS TO BE INSTALLED WHERE CONCRETE PAVING MEETS ALL VERTICAL SURFACES INCLUDING BUILDING WALLS, SEAT WALLS, AND RETAINING WALLS. THESE JOINTS ARE NOT SHOWN GRAPHICALLY ON CONSTRUCTION PLANS DUE TO NEED FOR CLARITY.
- UTILITIES ARE SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR MORE INFORMATION.
- FLOOR PLANS ARE SHOWN FOR REFERENCE ONLY. REFER TO CIVIL ENGINEERING PLANS FOR ACTUAL UTILITY LOCATIONS AND TRENCHING.
- ALL WORK IN PUBLIC RIGHT-OF-WAY PER CIVIL DRAWINGS. REFER TO CIVIL DRAWINGS FOR MORE INFORMATION.

### 1 LANDSCAPE CONSTRUCTION PLAN

#### KEYNOTES

DESCRIPTION	DETAIL	DESCRIPTION	DETAIL
① PIP CONCRETE PADS W/ DG BORDER	1 / L2.0	⑩ 3" HT. BREEZE BLOCK FREESTANDING WALL	10 / L2.0
② METAL EDGING	5 / L6.0	⑪ 9'-0" HT. STUCCO POOL EQUIPMENT ENCLOSURE W/ GATE	10 / L2.0
③ 6'-0" HT. MAX. ENTRY ACCENT PILASTERS W/ KNOX BOX	9 / L2.0	⑫ 3'-0" HT. STUCCO PICKLEBALL COURT PERIMETER RETAINING WALL	11 / L2.0
④ 6'-0" HT. STUCCO PRIVACY WALL W/ ROLLED STUCCO CAP	10 / L2.0	⑬ CONCRETE STEPS	8 / L2.0
⑤ 6'-0" HT. ENTRY VESTIBULE W/ GATE	10 / L2.0	⑭ 18" W. STUCCO SEAT WALL W/ ROLLED STUCCO CAP	11 / L2.0
⑥ 20'-0" W. & 9" HT. AUTOMATED SLIDING SECURITY GATE	SEE PRECEDENT	⑮ BUILT IN DAYBED	X / L1.1
⑦ CONCRETE DRIVEWAY APRON	PER CIVIL	⑯ 18" HT. CUSTOM ROUND GAS FIREPIT	X / L1.1
⑧ ROOF COLUMN AND BASE PER ARCHITECTURAL DWGS.	PER ARCH	⑰ OUTDOOR SHOWER (7' HT. MAX.) CONNECT TO SD PER CIVIL DWGS.	PER MFR
⑨ 6'-0" HT. BREEZE BLOCK WALL	10 / L2.0	⑱ PRE-FABRICATED RECTILINEAR PLANTER, TYP.	10 / L6.0
⑩ 4'-0" HT. BREEZE BLOCK WALL	10 / L2.0	⑳ OUTDOOR KITCHEN PER ARCHITECTURAL DWGS.	PER ARCH
⑪ 18" HT. STUCCO RAISED PLANTER PER ARCHITECTURAL DWGS.	11 / L2.0	㉑ DOG RUN W/ ARTIFICIAL TURF	7 / L2.0
⑫ 6'-0" HT. ACCESS GATE AND FENCE	SEE PRECEDENT	㉒ A/C UNITS, REFER TO ARCHITECTURAL DWGS.	PER ARCH
⑬ 6'-0" HT. PERIMETER BLOCK WALLS TO REMAIN	SEE PRECEDENT	㉓ DRAINAGE BASIN PER CIVIL DWGS.	PER CIVIL
⑭ 20' X 70' POOL W/ AUTO COVER	BY OTHERS	㉔ SUB-SURFACE DRAINAGE GALLERY PER CIVIL DWGS.	PER CIVIL
⑮ 8' X 10' BUILT-IN SPA AT 10" HT. W/ SHEER DESCENT WATER FEATURE & AUTO-COVER	BY OTHERS	㉕ 4" W. PICKLEBALL COURT STRIPING	X / L1.1
⑯ 2-4' D. LANDSCAPE ACCENT BOULDERS, DESERT SELECT AVAIL. AT SOUTHWEST BOLDER	9 / L6.0	㉖ TRASH STORAGE AREA	PER USPS STDS.
⑰ 18-24" HT. RAISED VEGETABLE BEDS	BY OWNER	㉗ MAILBOX	PER USPS STDS.
		㉘ 6'-0" HT. FENCE AT ACCESS EASEMENT	SEE PRECEDENT

#### STANDARD SYMBOLS AND ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
PA	PLANTER AREA	R	RISER
SM	SMILAR	EQ	EQUAL
ALIGN	ALIGN	CL	CENTERLINE
TYP	TYPICAL	SQ	SQUARE
(E)	EXISTING	FFE	FINISH FLOOR ELEVATION
→	DOWN ARROW	•	SITE DRAIN PER CIVIL DWGS.

#### LIGHTING LEGEND

SYMBOL	DESCRIPTION	QUANTITY	DETAIL
•	SHIELDED PATH LIGHT	27	1 / L2.1
•	RECESSED WALL LIGHT	15	2 / L2.1
•	ACCENT ENTRY COLUMN LIGHT	6	3 / L2.1
▼	DIRECTIONAL ACCENT LIGHT	10	4 / L2.1
---	LED STRIP STEP LIGHT	45 LF	5 / L2.1
□	SPORT COURT POST LIGHT	4	1 / L2.2

\*REFER TO DETAIL 2 / L2.2 FOR SPORT COURT LIGHTING PHOTOMETRICS

#### MATERIALS LEGEND

SYMBOL	DESCRIPTION	DETAIL
■	CONCRETE PAVING COLOR: NATURAL GRAY FINISH: TOPCAST 01	1 / L2.0
■	VEHICULAR CONCRETE PAVING COLOR: NATURAL GRAY FINISH: TOPCAST 03	2 / L2.0
■	DECOMPOSED GRANITE COLOR: PALM SPRINGS GOLD TYPE: STABILIZED (WHERE INDICATED BY SAND HATCH ON PLANS)	6 / L2.0
■	ARTIFICIAL TURF MFR: SYNLAWN TYPE: SYNBLUE 745 (75 OZ WEIGHT)	6 / L2.1 7 / L2.0
■	COLORS SPORT COURT ASPHALT COLOR: BLUE/GREEN FINISH: TEXTURED PLAY SURFACE	X / L1.1

#### JOINT LEGEND

SYMBOL	DESCRIPTION	DETAIL
---	SAW/CUT CONTROL JOINT	5 / L2.0
---	EXPANSION JOINT	3 / L2.0
---	COLD JOINT	X / L1.1

# 10

TEN OVER  
STUDIO, INC

530 Marsh Street,  
San Luis Obispo, CA  
805.541.0100  
info@tenoverstudio.com  
www.tenoverstudio.com



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PERMIT DOCUMENTS  
**OLSEN RESIDENCE**  
5 RANCHO CLANCY, RANCHO MIRAGE

NOT FOR CONSTRUCTION

NO.	DATE	SUBMITTAL
1	2.14.25	RESUBMITTAL 1
2	3.10.25	CVWD RESUBMITTAL 2
2	4.11.25	RESUBMITTAL 2

LANDSCAPE  
CONSTRUCTION  
PLAN

L1.0



**Testimony Opposing the Construction of an 18-Foot Free-Standing Pickleball Court  
Fixture  
Rancho Mirage, CA**

Dear Members of the Planning Commission / HOA Board / City Council,

My name is Manvel Amirkhanyan, and I am a homeowner and resident of 72114 Follansbee Rd in Rancho Mirage. I am writing to formally express my opposition to the proposed construction of an 18-foot free-standing pickleball court fixture next door to my property located at 5 Rancho Clancy (APN682-090-010).

While I understand the popularity and recreational value of pickleball, I have serious concerns about the impact that this project will have on the quality of life for myself and my family. Specifically:

**1. Visual Obstruction and Aesthetic Disruption:**

An 18-foot fixture is unusually tall for a residential area and would create a significant visual barrier, obstructing views and negatively impacting the open and scenic character of our neighborhood.

**2. Noise Pollution:**

Pickleball is known to generate a high-pitched, repetitive sound from the paddles and balls, which can be intrusive—especially during early morning or evening hours. This kind of noise, combined with potential echoes from the surrounding structures, will create a disturbance that could significantly impact the peace and tranquility we currently enjoy.

**3. Property Value Impact:**

The construction of such a tall and permanent structure in a residential setting could deter future buyers and affect property values for neighboring homes, including mine.

**4. Light Pollution (if lighting is planned):**

If lighting is to be installed around the court for nighttime use, this will further increase disruption through light pollution, affecting nearby homes and outdoor spaces.

**5. Precedent and Community Impact:**

Approving a project of this scale in a quiet residential area sets a concerning precedent that may lead to similar large-scale recreational constructions, changing the nature of our community over time.

We moved to Rancho Mirage to enjoy the peaceful, private, and scenic environment that this community offers. An 18-foot structure devoted to a high-traffic recreational use is incompatible with the surrounding residential setting.

I respectfully urge the board/council to reconsider or deny the proposal as currently planned and explore alternative solutions that would preserve the character and livability of our neighborhood.

Thank you for your time and consideration.

Sincerely,  
Manvel Amirkhanyan,  
72114 Follansbee Rd,  
Rancho Mirage, CA 92270  
Cell:818.356.6000  
Email: amanvel@gmail.com

**From:** [Kristie Ramos, CMC](#)  
**To:** [Planning Division](#)  
**Subject:** FW: Bocce ball Court  
**Date:** Thursday, June 5, 2025 9:59:40 AM

---

Good morning,

Please see two messages below.

Best,



**Kristie Ramos, CMC**

City Clerk

Phone: 760-324-4511 Ext. 488

E-mail: [kristier@RanchoMirageCA.gov](mailto:kristier@RanchoMirageCA.gov)

69-825 Highway 111, Rancho Mirage, California, 92270

[www.RanchoMirageCa.gov](http://www.RanchoMirageCa.gov)

**TRANSPARENCY NOTICE**

Some or all of the content of this e-mail and its attachments may be subject to disclosure pursuant to the California Public Records Act (Government Code section 7920-7931, et seq.)

-----Original Message-----

From: Loretta Horowitz <[lorettahorowitz@gmail.com](mailto:lorettahorowitz@gmail.com)>

Sent: Thursday, June 5, 2025 9:22 AM

To: City Clerk <[cityclerk@ranchomirageca.gov](mailto:cityclerk@ranchomirageca.gov)>

Subject: Re: Bocce ball Court

CAUTION: This email originated from outside The City of Rancho Mirage. DO NOT CLICK links or open attachments unless you recognize the sender and know the content is safe.

I am so sorry for the errors below. I meant to say Pickleball court and not bocce ball court. I am against the neighbor behind me. I live directly behind the proposed Pickleball courts. I built a custom home with the expectation of enjoying quiet days and beautiful views a pickle ball court would dramatically lower my ability to sleep at 8 PM and the lights will dramatically impact my views please do not allow this conditional use permit. it is very important to me to maintain my home value.

Sincerely,

Loretta Horowitz

5Via L Antico,

At the community of Bella Clancy,

Rancho Mirage, California 92270

> On Jun 4, 2025, at 8:56 PM, Loretta Horowitz <[LorettaHorowitz@gmail.com](mailto:LorettaHorowitz@gmail.com)> wrote:

>

> To whom it may Concern,

>

> My name is Loretta Horowitz and I live at 5 Via L" Antico, in Rancho, Mirage, CA. I live behind where this new bocce ball court has been requested. I am against the court going in. I think with the lights coming down in our backyards, plus the noise that it could create, it's not something I want in our backyards. it could be something that could de-values our home prices, etc. So I am against the approval for the bocce ball court. If you need me for any reason, please don't hesitate to email me back. I am leaving in a few days for Japan and then for the Pacific north west for the entire summer. But I do receive emails. Thank you very much for your consideration.

>

> Loretta Horowitz