



**CITY OF LOMA LINDA**  
PLANNING COMMISSION AGENDA

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Wednesday, April 16, 2025, 7:00 PM  
Council Chambers  
25541 Barton Road  
Loma Linda, CA 92354

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## **1. Call to Order**

- 1A. Call to Order
- 1B. Roll Call
- 1C. Pledge of Allegiance
- 1D. Items to be Added or Deleted
- 1E. Conflict of Interest Disclosure

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## **2. Public Comments on Non-Agenda Items (LIMITED TO 30 MINUTES; 3 MINUTES ALLOTTED FOR EACH SPEAKER)**

### **2A. Public Comments**

This portion of the agenda provides an opportunity to speak on an item that is NOT on the agenda. Pursuant to the Brown Act, the Planning Commission can take no action at this time; however, the Commission may refer your comments/concerns to staff, or request the item be placed on a future agenda.

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## **3. Scheduled Items**

3A. Public Hearing - Consideration of the architectural elevations and individual lot configuration of the “Haven at Covenant Point” residential development within Tract 20404, as well as a Master Sign Program for the proposed community-identifying signage.

Staff recommends that the Planning Commission take the following action:

- 1. Determine that the project does not require further environmental review pursuant to CEQA Guidelines Section 15162, as the project remains consistent with the Mitigated Negative Declaration (MND) adopted by the City Council on May 9, 2023, with no substantial changes or new significant impacts identified.
- 2. Approve Precise Plan of Design No. 2024-0006 for the architectural elevations and individual lot configuration of the “Haven at Covenant Point” residential development within Tract 20404, generally located east the San Timoteo Creek Channel, south of New Jersey and Bermudez Street, west of Nevada Street and San Timoteo Canyon Road, and north of Beaumont Avenue within the Very Low Density Residential (HR-VL) zone and land use designation. The application includes a design review for 89 residential lots (minimum 20,000 square feet), a detention basin, and associated improvements on the approximate 56-acre site.
- 3. Approve Master Sign Program No. 2025-0031, a community-identifying Master Sign Program for Covenant Point, including three monument signs located at two entry points within Tracts 20403 and 20404. Approval is based on the information and findings contained in the Staff Report and subject to the Conditions of Approval.

#### **4. Approval of Minutes**

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#### **5. Reports**

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5A. Commissioners' Reports

5B. Director's Reports

#### **6. Adjournment**

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6A. Adjournment

*Notice to the Public:*

*Reports and documents relating to each agenda item are on file with the Community Development Department and are available for public inspection during normal business hours, Monday through Thursday, 7:00 a.m. to 5:30 p.m.*

*In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk at (909) 799-2819. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. Later requests will be accommodated to the extent feasible.*

**Tiffany Colwell**

Tiffany Colwell, Administrative Assistant II

City of Loma Linda, California



*Date Posted: April 10, 2025*





## Planning Commission Staff Report

**A. Public Hearing - Consideration of the architectural elevations and individual lot configuration of the “Haven at Covenant Point” residential development within Tract 20404, as well as a Master Sign Program for the proposed community-identifying signage.**

Staff recommends that the Planning Commission take the following action:

Meeting	Agenda Group
Wednesday, April 16, 2025, 7:00 PM	Scheduled Items Item: 3A.
To	From
Planning Commission	Lorena Matarrita, Community Development Director

### **RECOMMENDATION:**

Staff recommends that the Planning Commission take the following action:

1. Determine that the project does not require further environmental review pursuant to CEQA Guidelines Section 15162, as the project remains consistent with the Mitigated Negative Declaration (MND) adopted by the City Council on May 9, 2023, with no substantial changes or new significant impacts identified.
2. Approve Precise Plan of Design No. 2024-0006 for the architectural elevations and individual lot configuration of the “Haven at Covenant Point” residential development within Tract 20404, generally located east the San Timoteo Creek Channel, south of New Jersey and Bermudez Street, west of Nevada Street and San Timoteo Canyon Road, and north of Beaumont Avenue within the Very Low Density Residential (HR-VL) zone and land use designation. The application includes a design review for 89 residential lots (minimum 20,000 square feet), a detention basin, and associated improvements on the approximate 56-acre site.
3. Approve Master Sign Program No. 2025-0031, a community-identifying Master Sign Program for Covenant Point, including three monument signs located at two entry points within Tracts 20403 and 20404.

Approval is based on the information and findings contained in the Staff Report and subject to the Conditions of Approval.

### **PERTINENT DATA**

Applicant: Trumark Homes  
Owner: KL LB BUY 4 LLC  
General Plan/Zone: Very Low Density Residential zone (HR-VL); designated as the San Timeoteo Creek Area within Measure “V”  
Site: The project site encompasses a 55.72-acre area generally located east of the Union Pacific Railroad (UPRR), west of Nevada Street, north and immediately south of Beaumont Avenue and south of Barton Road  
Topography: Relatively flat, graded, plotted for 89 lots

### **BACKGROUND:**

In Spring 2023, the Planning Commission reviewed and approved a Tentative Tract Map, Zone Change, General Plan Amendment, and Annexation for the Canyon Ranch Residential Development and Annexation project. The approval included two tract maps:

- Tract Map 20403 – 37 residential lots, each a minimum of 7,200 square feet (sq.ft), within the Low-Density Residential (R-1) zone.
- Tract Map 20404 – 89 residential lots, each a minimum of 20,000 sq.ft., within the Very Low-Density Residential zone (HR-VL), a hillside residential zone.

The approval also included an Initial Study/Mitigated Negative Declaration (IS/MND), which was ratified by the City Council on May 9, 2023.

Following the subdivision approval, the property was sold to Trumark Homes, who initiated architectural review with City staff. On October 2, 2024, Trumark submitted a formal application for both tracts. The submittal was reviewed by the Administrative Review Committee, with comments and corrections either incorporated into the final plans or addressed as conditions of approval.

On March 19, 2025, the Planning Commission approved the Precise Plan of Design (PPD-2025-0010) for Tract 20403, which covered the architectural elevations and home configurations.

This report focuses on “Haven at Covenant Point” within Tract 20404, which consists of 89 residential lots (minimum 20,000 sq.ft. each). The Planning Commission is now being asked to consider Precise Plan of Design No. PPD-2024-0006, which includes architectural elevations, site layout, and a Master Sign Program for three community monument signs. The review will evaluate design compatibility, zoning compliance, and consistency with CEQA findings adopted under the original IS/MND.

## **ANALYSIS:**

### **Project Description**

The applicant, Trumark Homes, is proposing to construct 89 single-family residences within Tract 20404, an approximate 56-acre vacant site within the Very Low Density Residential land use designation and zoning district (HR-VL). This area is also known as the San Timoteo Creek area within the Measure V document. The project site is generally located east of the San Timoteo Creek Channel, south of New Jersey and Bermudez Street, west of Nevada Street and San Timoteo Canyon Road, and north of Beaumont Avenue. Each lot is a minimum of 20,000 sq.ft. and is designed to accommodate various architectural styles and floor plans. The tract also includes ten lettered lots, with Lot “A” serving as the primary drainage basin for the development.

### **Architectural Style**

The applicant proposes four distinct architectural styles—Adobe Ranch, Spanish Colonial, Santa Barbara, and Craftsman—across the community, with three floor plans and three color schemes. All homes will be single-story. While the site is not within a designated historic district, the designs intentionally draw from architectural styles identified in Chapter 17.28 of the Historic Mission Overlay District Ordinance, preserving the city's historic character. Each style features garage carriage lighting appropriate to its era.

#### **Adobe Ranch**

This style features light-colored stucco walls, stone veneer, and horizontal simulated wood siding. Roofs are finished with flat concrete tiles. Vinyl windows include divided lites, with shutter colors varying by floor plan. Architectural accents include clay pipes, wood-grain corbels, and a wood post-and-beam porch that adds rustic charm. Garage doors are sectional with upper window panels.

## Spanish Colonial

Spanish Colonial homes incorporate smooth stucco walls, brick veneer accents, and traditional concrete tile roofing. Windows include divided lites and decorative shutters. Metal garage doors have boxed sectional designs. The overall aesthetic emphasizes simplicity and warmth, drawing from early California mission architecture.

## Santa Barbara

This style features light or white stucco walls with red-hued concrete tile roofs. Contrasting trim, colorful shutters, and decorative tile around the windows add character. Arched entryways and arched garage doors reflect traditional Mediterranean elements, while gable tiles and wrought-iron window accents enhance visual richness.

## Craftsman

Craftsman homes utilize darker-toned stucco, stone veneer, and board-and-batten siding. Architectural details include knee braces, exposed rafter tails, wood fascia, and tapered porch columns with the veneer siding on the bottom half. Roofs are finished with flat concrete tiles, and garage doors are designed to resemble side-hinged carriage doors for an authentic handcrafted-look.

## Floor Plans

The tract features three distinct floor plans, each designed to offer flexibility in layout and customization to accommodate a variety of household needs.

### Plan 1 – 3,100 sq. ft.

This single-story home includes 3 bedrooms, 3.5 bathrooms, a great room, dining area, kitchen with pantry, and a dedicated laundry room. The 645 sq. ft. three-car garage includes a two-car door with tandem parking for a third vehicle. A front porch adds curb appeal, while interior options allow buyers to convert a flex space into a fourth bedroom, office, or playroom. An upgraded bathroom with a freestanding tub and separate shower is available, along with an optional 164 sq. ft. covered rear patio.

### Plan 2 – 3,609 sq. ft.

This plan offers 5 bedrooms, 4.5 bathrooms, and a three-car garage, including one tandem space. The layout features a 105 sq. ft. front porch and a 297 sq. ft. covered rear patio. A flexible playroom space may be converted into a sixth bedroom, or an optional suite, which can serve a multi-generational living arrangement.. Buyers may select an upgraded primary bathroom with a larger shower.

### Plan 3 – 3,890 sq. ft.

The largest plan includes 5 bedrooms, 4.5 bathrooms, a great room, kitchen, laundry room, and a three-car garage with a front-facing entry. A front porch and optional 260 sq. ft. covered patio extend the living area outdoors. The flex room may serve as a playroom and/or office, while an optional sixth bedroom or optional suite can also be selected and buyers also have the option to enhance the primary bath with an expanded shower configuration and freestanding bath tub.

## Color and Materials

Each architectural style includes three distinct color schemes, with variations thoughtfully applied to key exterior elements such as fascia boards, garage doors, window trims, front doors, shutters, and decorative tiles. Colors range from dark hunter green and violet red to various shades of brown, blue, gray, beige, white, and green.

Adobe Ranch and Craftsman styles feature vibrant colors in the stucco and siding, preserving historical authenticity while introducing visual variety. Spanish Colonial and Santa Barbara styles primarily use neutral stucco tones (white or beige), accented by rich tones on front doors, shutters, garage doors, and decorative tiles to enhance contrast and add character to the streetscape. Additionally, the Santa Barbara style incorporates vibrant, red-tinted concrete roofing tiles, contributing to its Mediterranean-inspired aesthetic.

This curated combination of architectural styles, color schemes, and flexible floor plans ensures a visually diverse yet cohesive community. A total of 36 unique exterior combinations are offered, ensuring no two homes next to or across from each other share the same combination of plan, elevation, and color scheme.

Corner lots will feature enhanced elevations. In addition, the rear and sides of the homes facing San Timoteo Creek Road and Nevada Street will have additional window shutters to further enrich the design.

See Attachment B – Architectural Plans, for a clear understanding of the chosen styles, colors, and materials.

**Configuration of the Site/Layout**

The approximately 56-acre site is designed with 89 spacious lots, featuring very low-density single-family homes in line with the HR-VL zoning designation. Each lot has a minimum size of 20,000 sq. ft., with a maximum density of 1.58 units per acre. Homes will range in size from 3,100 to 3,890 sq. ft., all designed as single-story residences.

The applicant has staggered the front setbacks, exceeding the setback requirement of 25 feet as specified in the zoning code. Side setbacks of 15 feet on both sides are provided for the single-story homes, in accordance with the applicable zoning regulations. The project complies with all relevant development standards, including setbacks, height, parking, lot coverage, and open space requirements, as set forth by the zoning code.

**Setting/Access**

Tract 20404 is bounded by New Jersey Street and Bermudez Street to the north, the San Timoteo Canyon Channel to the west, San Timoteo Canyon Road and Nevada Street to the east, and Beaumont Avenue to the south. Primary access will be from Nevada Street and New Jersey Street, with five new internal streets, including Oasis Lane, Saddleback Drive, Colorado Street, Canyon Court, and Coyote Court. All internal streets and driveways comply with City public road standards and emergency access requirements.

Pedestrian amenities include 5-foot sidewalks and 7-foot landscaped parkways with street trees within the interior of the tract. Along San Timoteo Road and Nevada Street, is a 16-foot parkway featuring a 1-foot landscape area adjacent to the block wall, a 6-foot decomposed granite (DG) trail, a 4-foot landscaped strip with street trees, and a 5-foot sidewalk. The project will join the City’s Landscape Maintenance District for perimeter parkways and lettered lots. However, the builder is establishing a Homeowners Association (HOA) responsible for maintaining all common area parkways within the community, with terms and conditions to be outlined in the future CC&Rs.

The project site is bordered by existing residential uses and a drainage channel to the west; a place of worship, wellness center, and planned residential development to the north; an existing place of worship and single-family residences to the south; and residential and vacant lands within the City of Redlands to the east.

**Table 1**  
**General Plan, Zoning and Existing Land Use**

	General Plan	Zoning	Existing Use
Project Site	Very Low Density Residential/San Timoteo Creek Area	Very Low Density Residential (HR-VL)	Vacant
North	Low Density Residential	Low Density Residential (R-1)	Place of Worship, Wellness Center, Future Residences

<b>South</b>	Very Low Density Residential/San Timoteo Creek Area	Very Low Density Residential (HR-VL)	Place of Worship, Residences
<b>East</b>	City of Redlands	City of Redlands	Residences, Vacant Land
<b>West</b>	Low Density Residential	Low Density Residential (R-1)	Residences, San Timoteo Canyon Channel

### **Preliminary Landscaping Plan and Front yard Typical Plan**

A conceptual landscape and wall/fencing plan was previously approved with the subdivision, identifying plant materials—including shrubs, trees, and ground cover—in the public right-of-way, along with fencing and wall treatments. A 6-foot perimeter wall using split-face block with capped pilasters at property intervals, and 6-foot vinyl fencing between interior lots, are currently under permit review.

This application introduces a Front Yard Typical Plan (see Attachment D), featuring drought-tolerant desert landscaping in place of sod, supporting water conservation and reduced maintenance. Rear yards will remain undeveloped, allowing homeowner customization such as pools, gazebos, or fruit trees. Each lot will include a minimum of two trees, either in the front yard or parkway, consistent with the Municipal Code landscaping requirements.

### **Master Sign Program (Comprehensive Sign Program)**

A Master Sign Program for Covenant Point has been submitted, proposing three community-identifying monument signs—two at the entry points to Tract 20403 along San Timoteo Canyon Road, and one at the entry to Tract 20404 off Nevada Street. Each monument sign will measure 16 feet in width and 3 feet 6 inches in height, with a 42-inch decorative pot mounted on a concrete pedestal for added visual interest. The monument walls will feature mesquite cliffstone veneer, a Davis color taupe concrete cap, and black aluminum non-illuminated channel lettering to maintain a subdued, residential character. Maintenance of the signs, including landscaping and structural upkeep, will be the responsibility of the Homeowners Association (HOA) to ensure their continued upkeep and aesthetic quality.

### **ENVIRONMENTAL IMPACT:**

The City adopted an Initial Study/Mitigated Negative Declaration (MND) and a Mitigation Monitoring Reporting Program for the project on May 9, 2023, which evaluated potential impacts and identified mitigation measures to reduce them to less than significant levels. These measures continue to apply to the project site and are incorporated into the Conditions of Approval (See Attachment E).

Staff has reviewed the Precise Plan of Design for architectural elevations and individual lot configuration and determined that no further environmental review is required under CEQA Guidelines Section 15162. The project remains consistent with the adopted MND, with no substantial changes or significant new impacts identified.

### **MEASURE V:**

On November 7, 2006, Loma Linda voters approved Measure V, the Residential and Hillside Development Control Measure. As part of the original subdivision review, the project's Level of Service (LOS) was analyzed in accordance with Chapter 19.16 of the Loma Linda Municipal Code (LLMC), requiring a Traffic Impact Analysis (TIA).

A TIA (January 2022) and a Vehicle Miles Traveled (VMT) Screening Assessment (March 2022), prepared by Ganddini Group, Inc., assessed the project's impact on the circulation system. As summarized in the adopted MND, the study confirmed that the project meets Measure V requirements, maintaining a Level of Service C or better at all study intersections for the Opening Year (2024) With Project scenario.

All mitigation measures remain applicable, including the traffic fair share payment of \$38,835, and the requirement to prepare a work site traffic control plan during construction activities.

## **PUBLIC HEARING NOTICE AND COMMENTS:**

The public notice for this project was duly posted on April 3, 2025, in three public places (City Hall, library, post office), and mailed to the owners of property within a radius of 300 feet of the exterior boundaries of the subject property as required by State law. Additionally, the notice was made available on the City's website and at the project site. As of the date on this report, there have been no written or oral comments received in opposition or in favor of the proposed project.

## **FINDINGS:**

In an effort to ensure that the foregoing project is consistent with the General Plan, compliant with the zoning and other City requirements, compatible with the surrounding area, and appropriate for the site, Findings have been made to support the approval of the project, as required in LLMC §17.30.300.

The Precise Plan of Design findings are as follows:

<b>Finding No. 1:</b>	<b>The proposal complies with the provisions within the municipal code and is consistent with the general plan and any applicable specific plan.</b>
Finding of Fact:	The project site is located within the Hillside-Very Low Density (HR-VL) zone and the General Plan Land Use Designation area. The HR-VL zone is intended to accommodate for single-family homes in a rural setting within the San Timoteo Creek area and the Expanded Hillside Area. The applicant is proposing to build homes on 89 newly created single-family lots which were previously approved by the City Council on May 9, 2023. The proposed development will comply with all development standards, lot coverage, minimum home size, and density requirements of the zone. The project was reviewed by the Public Works department for compliance with the specifications for street and road improvement. In addition, each City Department, including Public Safety/Fire, have reviewed the project and recommend approval of the project as configured.
<b>Finding No. 2:</b>	<b>The site layout and design is of high quality, architecturally and aesthetically pleasing, and is compatible with the character of the neighborhood and general community.</b>
Finding of Fact:	The site layout for the proposed development is designed to be compatible and in a similar layout to the surrounding communities. The design of the structure will be designed with four architectural styles, being Adobe Ranch, Spanish Colonial, Santa Barbara, and Craftsman styles. These designs will be provided in a single-story configuration, and each design will be compatible with the architectural design of the surrounding communities.
<b>Finding No. 3:</b>	<b>The proposal will result in an efficient, safe and desirable project that is not materially detrimental to public health, safety, or welfare, or injurious to persons, property, or improvements in the vicinity and zoning district in which the property is located.</b>

Finding of Fact:	The proposed project has been reviewed for site circulation, access, design and safety. The proposed project, alongside the outlined conditions of approval, will result in a project that is efficient, safe, and desirable for the subject site and the surrounding areas. The proposed project will be compatible in design and architecture to the surrounding areas and will provide desirable product for buyers to consider moving to the City. The proposed project will also have sufficient access to utilities and the project will not result in a product that is detrimental to public health. The public health, safety, and general welfare of the adjacent communities will be protected with the implementation of the Conditions of Approval for this project.
<b>Finding No. 4:</b>	<b>The project will not be detrimental to the harmonious and orderly growth of the city.</b>
Finding of Fact:	The public health, safety and general welfare will be protected with the implementation of the previously approved mitigation measures and the standard Conditions of Approval prepared for this project. See Attachment F – Conditions of Approval.

The Master Sign Program (also known as a Comprehensive Sign Program) findings are as follows:

<b>Finding No. 1:</b>	<b>That the comprehensive sign program provides for the coordinated arrangement and placement of signage on the property appropriate to advertise the businesses on the property.</b>
Finding of Fact:	The proposed sign program provides specific locations for the placement of the entry monument signs for the development. The signs are situated in a way that will provide clear view of the development name off San Timoteo Road.
<b>Finding No. 2:</b>	<b>That the comprehensive sign program provides for the integration of the project's signs with the design of the structures to achieve a unified architectural statement.</b>
Finding of Fact:	The sign program integrates seamlessly with the project's overall design by using consistent materials and finishes with the proposed architectural style of the development. This consistent use of design elements creates a cohesive visual identity that ties the signage to the overall community.
<b>Finding No. 3:</b>	<b>That the site is adequate in size and shape to accommodate all proposed signs.</b>
Finding of Fact:	The proposed location for the signage provides sufficient space for the signs, associated hardscape, and planting without obstructing visibility, access, or circulation. The layout of the site ensures the signs are appropriately scaled and well-integrated with the entrance of the community.
<b>Finding No. 4:</b>	<b>That the comprehensive sign program accommodates future revisions that may be required due to changes in uses or tenants.</b>
Finding of Fact:	The monuments will include standard materials allowing for easy replacement or modification without altering the overall design of the signage. If necessary, the sign program and signage can also be modified through a Minor Modification to Approved Plan application.
<b>Finding No. 5:</b>	<b>That the comprehensive sign program complies with the standards of this chapter, except that flexibility is allowed regarding sign area, number, location, and/or height to the extent that the comprehensive sign program will enhance the overall development and will more fully accomplish the purposes of this chapter.</b>

Finding of Fact:	The proposed master sign program complies with the Municipal Code Section. 17.18.050 regulating Comprehensive Sign Programs. The monument signs are scaled appropriately to the entry locations of the development and use high-quality materials, such as the mesquite cliffstone veneer, which will elevate the overall appearance of the site. The sign program promotes a cohesive, attractive signage, that will complement the architectural styles proposed by the development. The sign program allows the flexibility for change through a ministerial application in the future to further conform will the development in the future
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## **CONCLUSION**

The applicant has made every effort possible to provide the most appropriate layout, design, and architecture for the new community. The Project is consistent with the General Plan and complies with the development standards listed in the residential chapter of the Loma Linda Municipal Code. The Conditions of Approval and the previously adopted Mitigation Monitoring Reporting Program will ensure compliance with all current codes, plans, and City policies. Lastly, findings have been made to support approval of the Precise Plan of Design and Master Sign Program requests. Staff recommends the Planning Commission approve the project as presented.

## **ATTACHMENTS**

- A. Vicinity Map
- B. Architectural Plans
- C. Site Plan/Plotting Map
- D. Front Yard Typical
- E. Master Sign Program
- F. Conditions of Approval
- G. City Council Meeting Minutes

## **Attachments**

[Attachment A - Vicinity Map.pdf](#)

[Attachment B - Architectural Plans.pdf](#)

[Attachment C - Site Plan Plotting Map.pdf](#)

[Attachment D - Front Yard Typical.pdf](#)

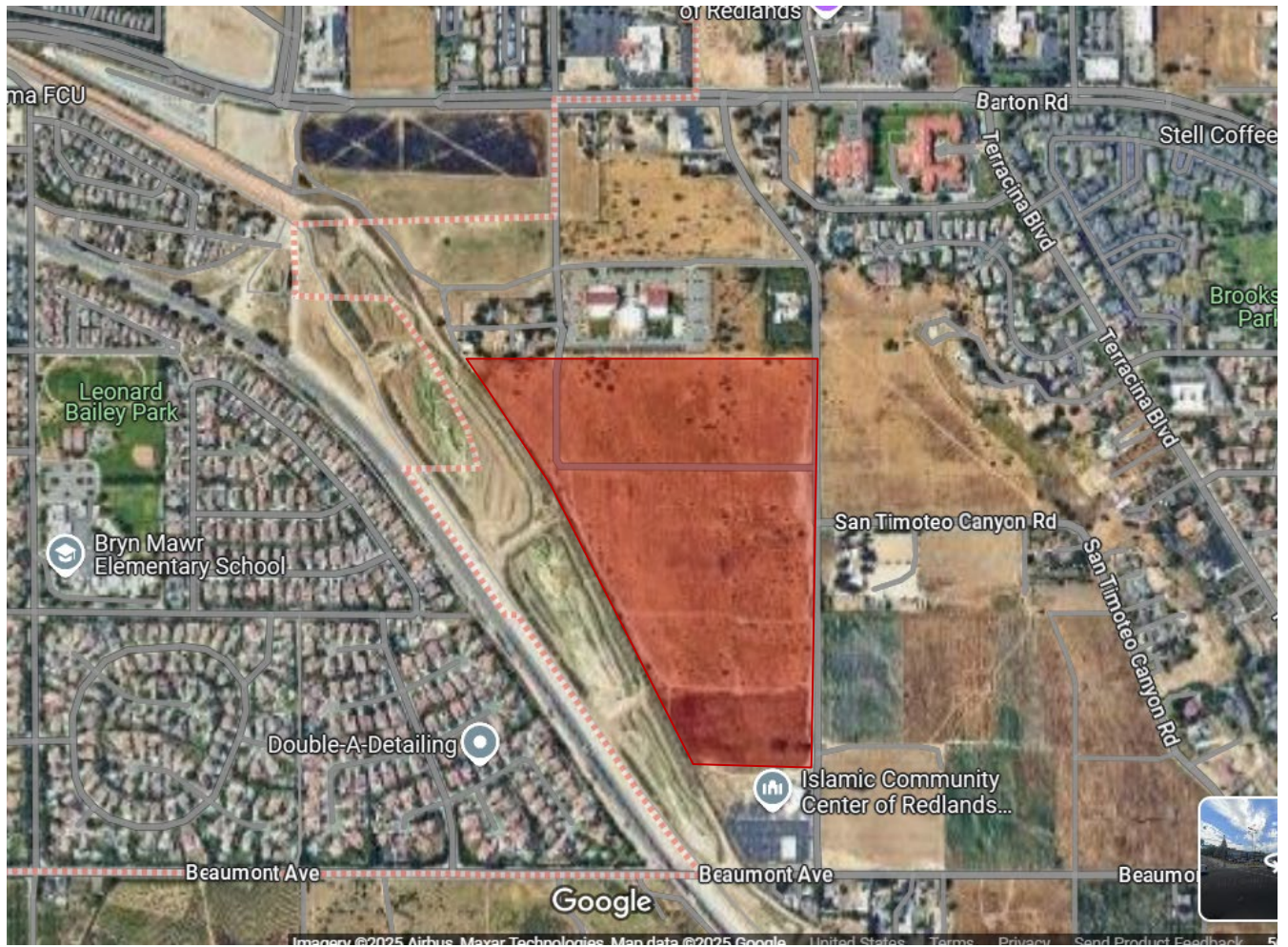
[Attachment E - Master Sign Program for Covenant Point.pdf](#)

[Attachment F - Conditions of Approval.pdf](#)

[Attachment G - City Council Meeting Minutes May 9 2023.pdf](#)



## Vicinity Map



# Haven AT COVENANT POINT

LOMA LINDA, CALIFORNIA

03/26/2025



# Haven AT COVENANT POINT

LOMA LINDA, CALIFORNIA

- A-1 Street Scene
- A-2 Plan 1A - Floor Plan
- A-3 Plan 1A - Adobe Ranch Elevations
- A-4 Plan 1A - Adobe Ranch Enhanced Elevations
- A-5 Plan 1B - Spanish Colonial Elevations
- A-6 Plan 1B - Spanish Colonial Enhanced Elevations
- A-7 Plan 1C - Santa Barbara Elevations
- A-8 Plan 1C - Santa Barbara Enhanced Elevations
- A-9 Plan 1D - Craftsman Elevations
- A-10 Plan 1D - Craftsman Enhanced Elevations
- A-11 Plan 1 - Roof Plans
- A-12 Plan 1 - Roof Plans
  
- A-13 Plan 2A - Floor Plan
- A-14 Plan 2A - Adobe Ranch Elevations
- A-15 Plan 2A - Adobe Ranch Enhanced Elevations
- A-16 Plan 2B - Spanish Colonial Elevations
- A-17 Plan 2B - Spanish Colonial Enhanced Elevations
- A-18 Plan 2C - Santa Barbara Elevations
- A-19 Plan 2C - Santa Barbara Enhanced Elevations
- A-20 Plan 2D - Craftsman Elevations
- A-21 Plan 2D - Craftsman Enhanced Elevations
- A-22 Plan 2 - Roof Plans
- A-23 Plan 2 - Roof Plans
  
- A-24 Plan 3A - Floor Plan
- A-25 Plan 3A - Adobe Ranch Elevations
- A-26 Plan 3A - Adobe Ranch Enhanced Elevations
- A-27 Plan 3B - Spanish Colonial Elevations
- A-28 Plan 3B - Spanish Colonial Enhanced Elevations
- A-29 Plan 3C - Santa Barbara Elevations
- A-30 Plan 3C - Santa Barbara Enhanced Elevations
- A-31 Plan 3D - Craftsman Elevations
- A-32 Plan 3D - Craftsman Enhanced Elevations
- A-33 Plan 3 - Roof Plans
- A-34 Plan 3 - Roof Plans
  
- A-35 Written Color Schemes
- A-36 Color Boards - "A" Adobe Ranch
- A-37 Color Boards - "B" Spanish Colonial
- A-38 Color Boards - "C" Santa Barbara
- A-39 Color Boards - "D" Craftsman





PLAN 1 "D"

PLAN 2 "C"

PLAN 3 "A"

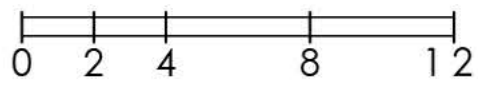
PLAN 2 "B"

STREET SCENE

*Haven* AT COVENANT POINT  
LOMA LINDA, CA

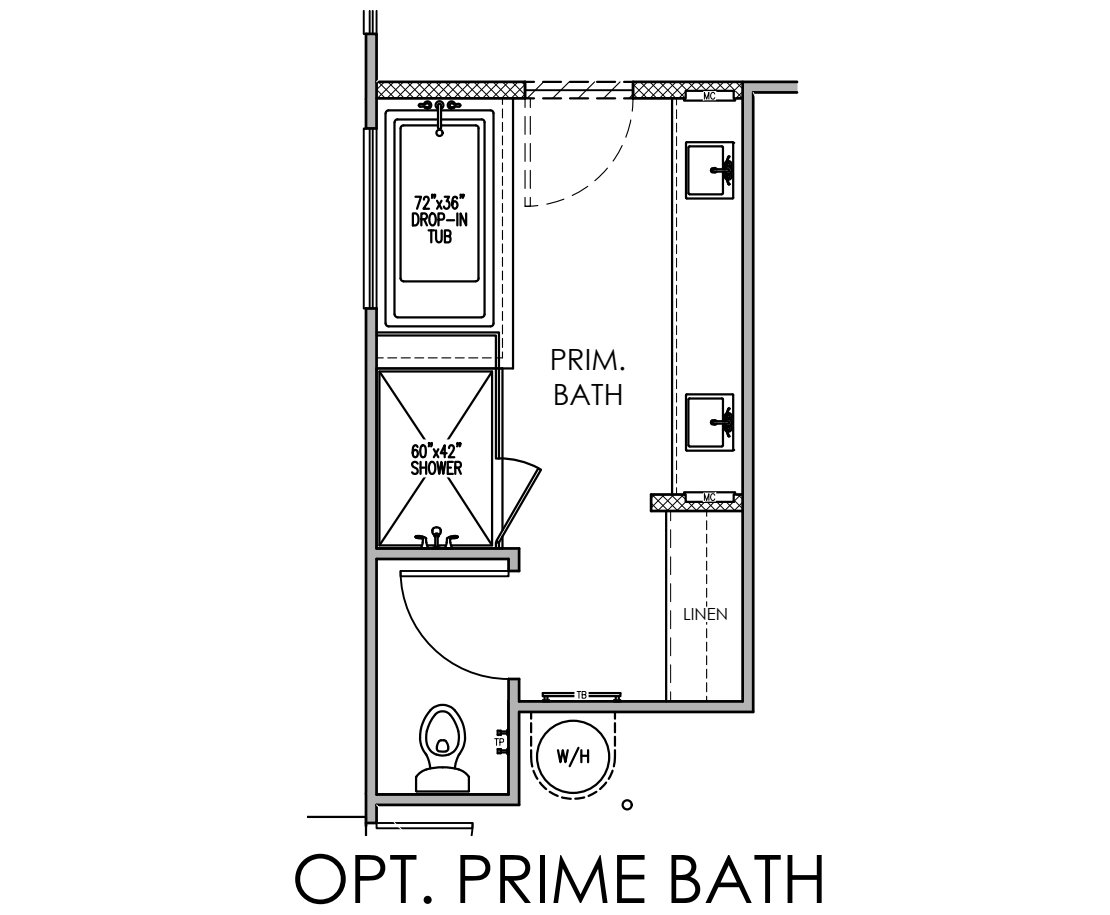
TRUMARKHOMES

03/26/2025  
A-I

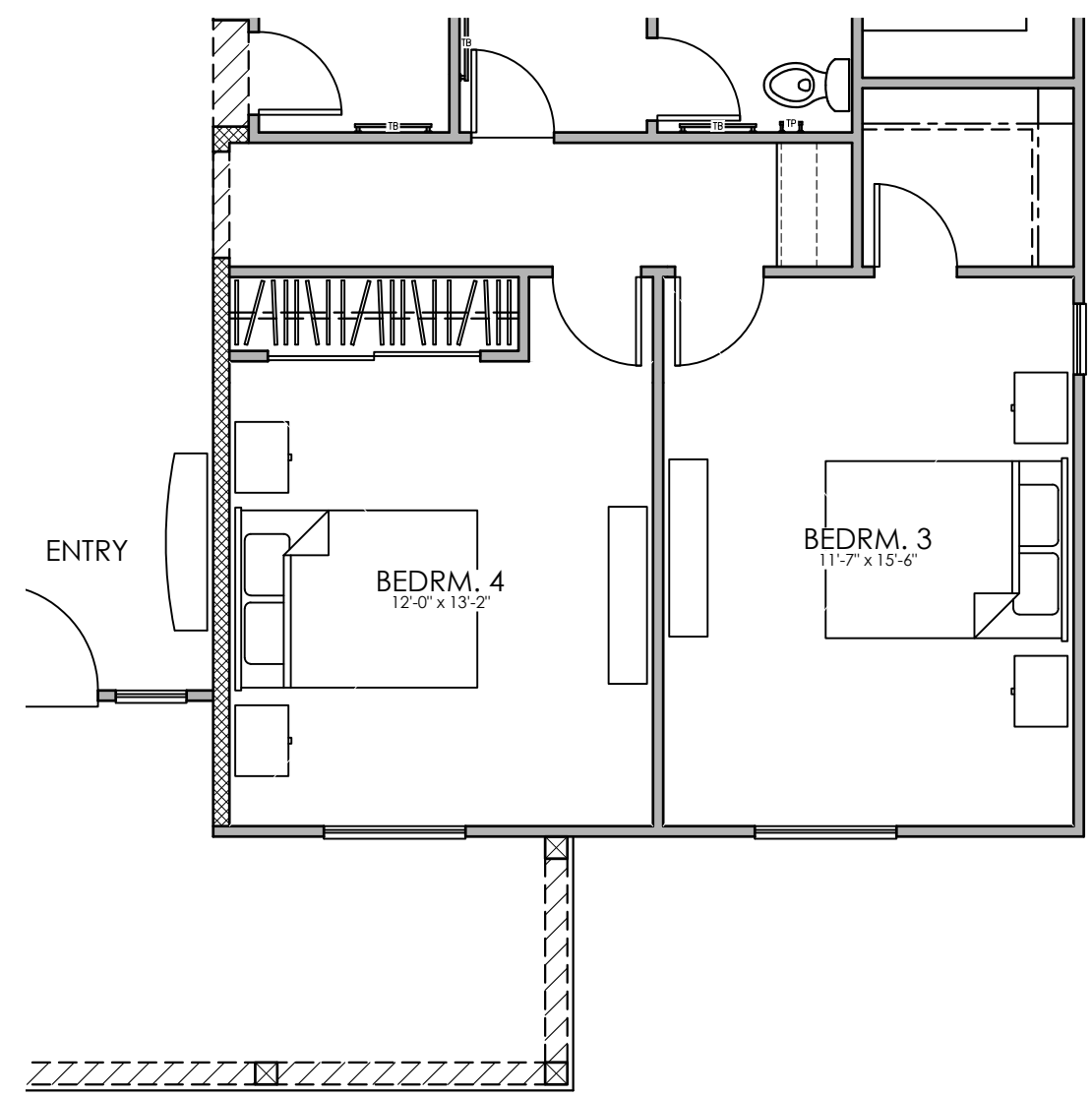


Kevin L. Crook  
**Architect**  
Inc  
#24049  
PLANNING + ARCHITECTURE

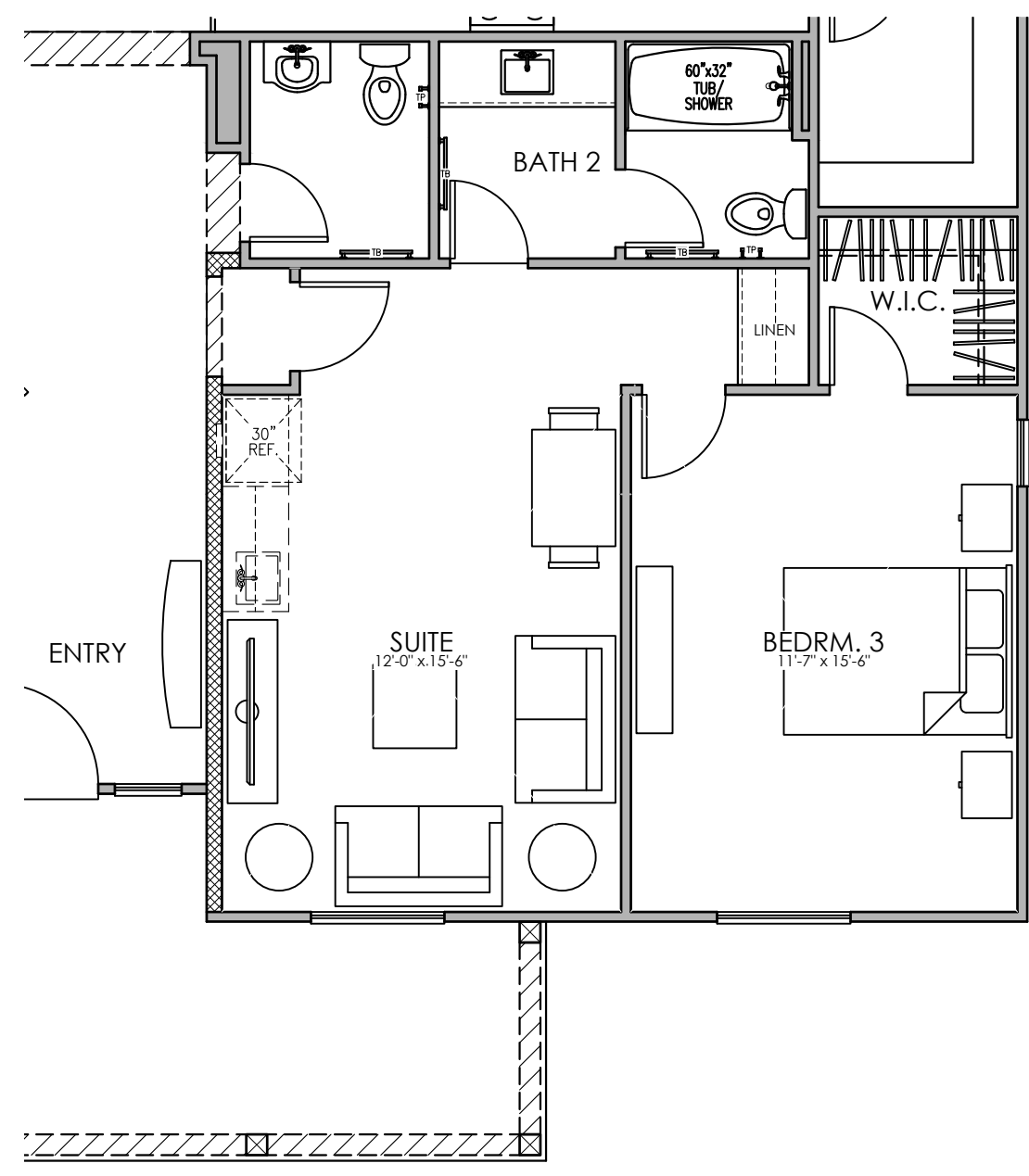




OPT. PRIME BATH



OPT. BEDROOM 4



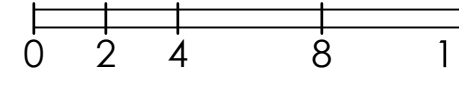
OPT. SUITE



FLOOR PLAN  
PLAN 1 "A"  
3 BEDROOM, 3.5 BATH, OPT. BEDRM.4, OPT. SUITE

PLAN 1  
AREA TABULATION

CONDITIONED SPACE	
FLOOR AREA	3,100 SQ. FT.
TOTAL DWELLING UNCONDITIONED SPACE	3,100 SQ. FT.
GARAGE	645 SQ. FT.
OPT. COVERED PATIO	164 SQ. FT.







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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

**MATERIALS LEGEND**

ROOF:	CONCRETE FLAT TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE:	CLAY PIPES/ WOOD GRAIN CORBEL
WALL:	STUCCO/ LAP SIDING
WINDOWS:	VINYL WITH DIVIDED LITES
TRIM:	STUCCO OVER FOAM TRIM
FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
SHUTTERS:	DECORATIVE FOAM
POT SHELF:	STIMULATED WOOD
PORCH:	WOOD POST AND BEAM
veneer:	STONE



REAR



LEFT

COLOR SCHEME 1

PLAN 1 "A"

ADOBE RANCH ELEVATIONS

TRUMARKHOMES

*Haven* AT COVENANT POINT  
LOMA LINDA, CA

03/26/2025  
A-3

0 2 4 8 12  
Kevin L. Crook  
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#24049  
PLANNING + ARCHITECTURE





RIGHT



REAR



LEFT

COLOR SCHEME 1

PLAN 1 "A"

ADOBE RANCH ENHANCED ELEVATIONS

*Haven* AT COVENANT POINT  
LOMA LINDA, CA



TRUMARKHOMES

03/26/2025  
A-4

Kevin L. Crook  
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#24049  
PLANNING + ARCHITECTURE





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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

MATERIALS LEGEND

ROOF:	CONCRETE "S" TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
WALL:	STUCCO
WINDOWS:	VINYL WITH DIVIDED LITES
TRIM:	STUCCO OVER RIGID FOAM
FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
SHUTTERS:	DECORATIVE FOAM
VENEER:	BRICK



REAR



LEFT

COLOR SCHEME 4

PLAN 1 "B"

SPANISH COLONIAL ELEVATIONS

TRUMARKHOMES

*Haven* AT COVENANT POINT  
LOMA LINDA, CA

03/26/2025  
A-5



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**Architect**  
Inc  
#24049  
PLANNING + ARCHITECTURE





RIGHT



REAR



LEFT

COLOR SCHEME 4

PLAN 1 "B"

SPANISH COLONIAL ENHANCED ELEVATIONS

*Haven* AT COVENANT POINT  
LOMA LINDA, CA

TRUMARKHOMES

03/26/2025  
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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

**MATERIALS LEGEND**

- ROOF: CONCRETE "S" TILE
- FASCIA: 2x6 WOOD
- BARGE: 2x6 WOOD
- GABLE: DECORATIVE SIMULATED CLAY TILE
- WALL: STUCCO  
W.I. WHERE OCCURS
- WINDOWS: VINYL WITH DIVIDED LITES
- TRIM: STUCCO OVER RIGID FOAM/ CERAMIC TILE
- FRONT DOOR: FIBERGLASS
- GARAGE DOOR: METAL SECTIONAL
- SHUTTERS: DECORATIVE FOAM



REAR



LEFT

COLOR SCHEME 7

PLAN 1 "C"

SANTA BARBARA ELEVATIONS

*Haven* AT COVENANT POINT  
LOMA LINDA, CA

TRUMARKHOMES

03/26/2025  
A-7

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RIGHT



REAR



LEFT

COLOR SCHEME 7  
**PLAN 1 "C"**  
 SANTA BARBARA ENHANCED ELEVATIONS  
*Haven* AT COVENANT POINT  
 LOMA LINDA, CA







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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

**MATERIALS LEGEND**

ROOF:	CONCRETE FLAT TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE:	BOARD AND BATTEN & KNEE BRACES
WALL:	STUCCO/ BOARD AND BATTEN
WINDOWS:	VINYL WITH DIVIDED LITES
TRIM:	STUCCO OVER FOAM TRIM
FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
SHUTTERS:	DECORATIVE FOAM
PORCH:	TAPERED COLUMNS
VENEER:	STONE



REAR



LEFT

COLOR SCHEME 10  
PLAN 1 "D"  
CRAFTSMAN ELEVATIONS

TRUMARKHOMES

*Haven* AT COVENANT POINT  
LOMA LINDA, CA

03/26/2025  
A-9

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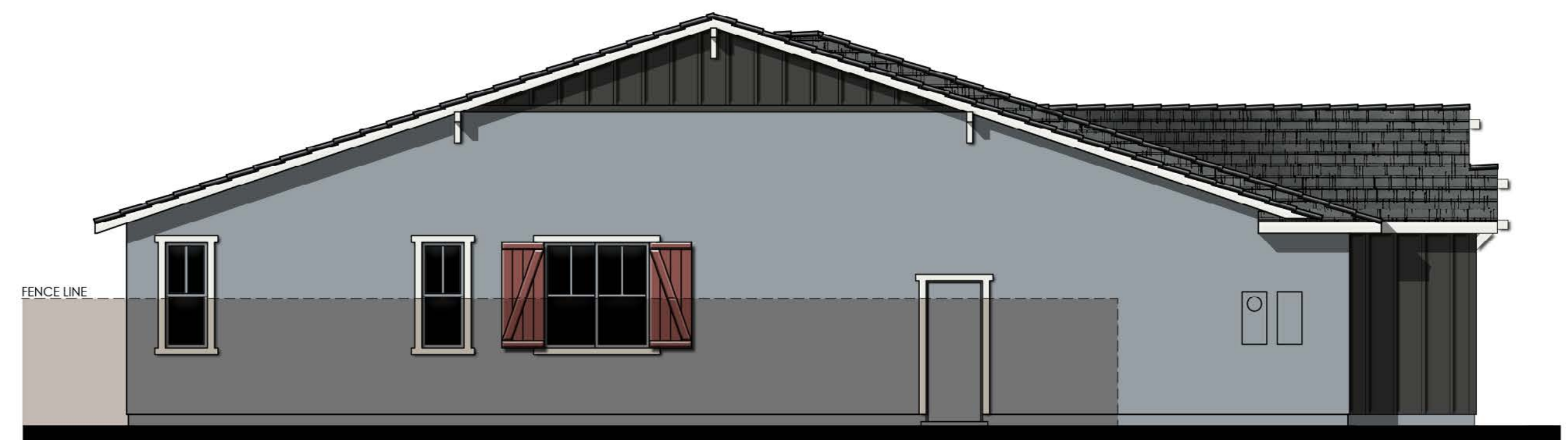
RIGHT

**MATERIALS LEGEND**

ROOF:	CONCRETE FLAT TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
CABLE:	BOARD AND BATTEN & KNEE BRACES
WALL:	STUCCO/ BOARD AND BATTEN
WINDOWS:	VINYL WITH DIVIDED LITES
TRIM:	STUCCO OVER FOAM TRIM
FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
SHUTTERS:	DECORATIVE FOAM
PORCH:	TAPERED COLUMNS
VENEER:	STONE



REAR



LEFT

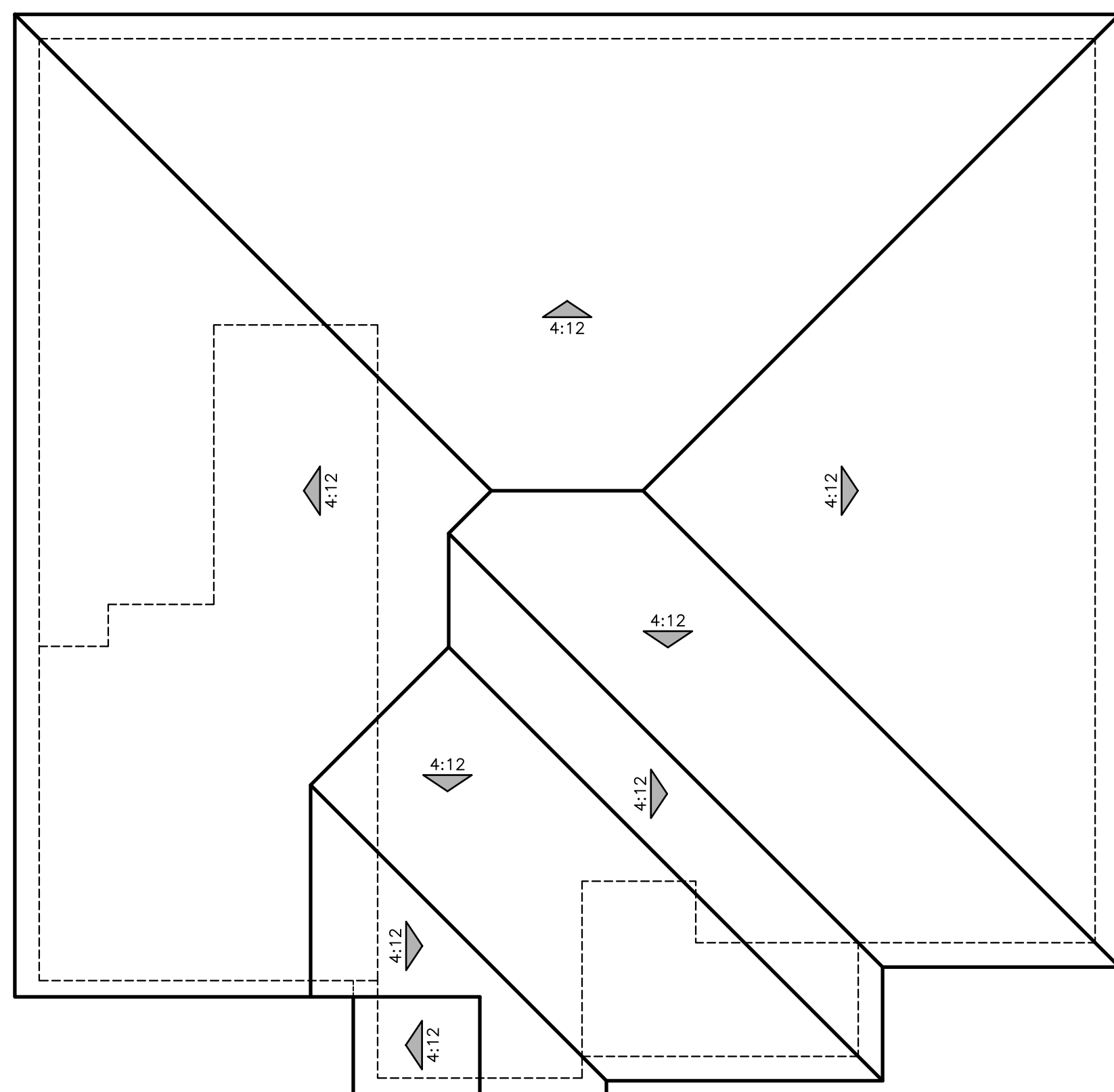
COLOR SCHEME 10  
**PLAN 1 "D"**  
 CRAFTSMAN ENHANCED ELEVATIONS

*Haven* AT COVENANT POINT  
 LOMA LINDA, CA

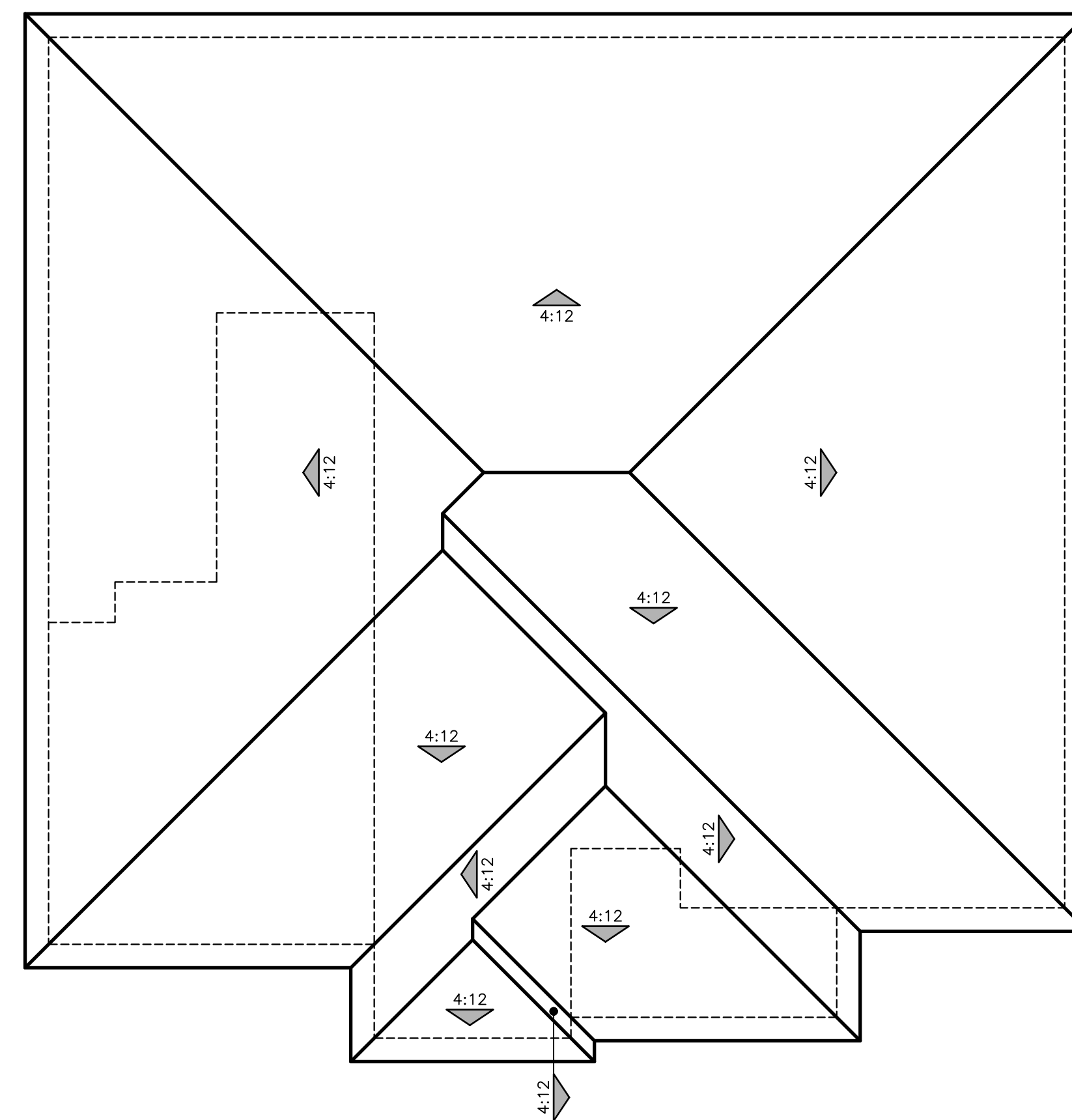
TRUMARKHOMES

03/26/2025  
 A-10

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"A" - ADOBE RANCH

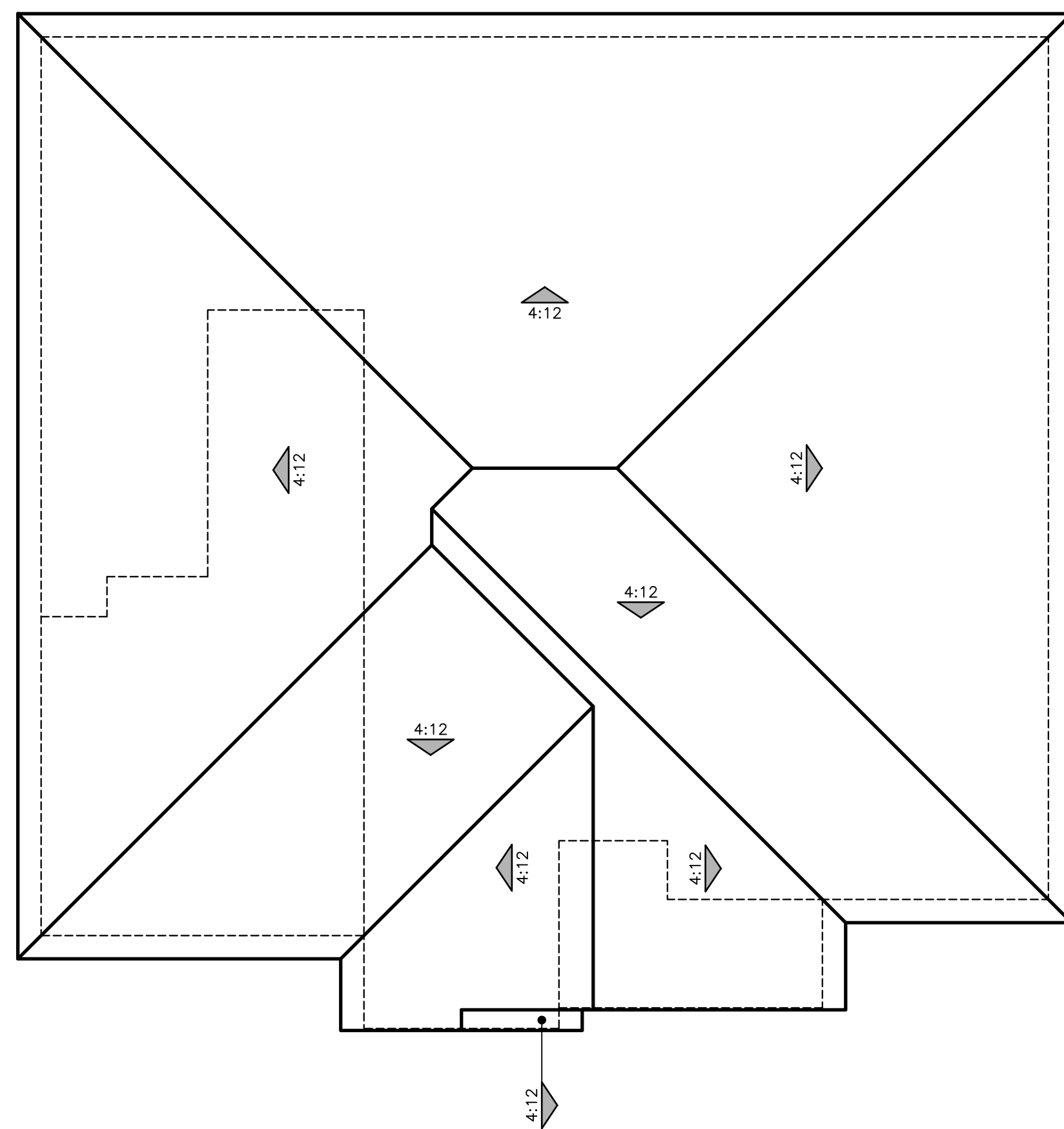


"B" - SPANISH COLONIAL

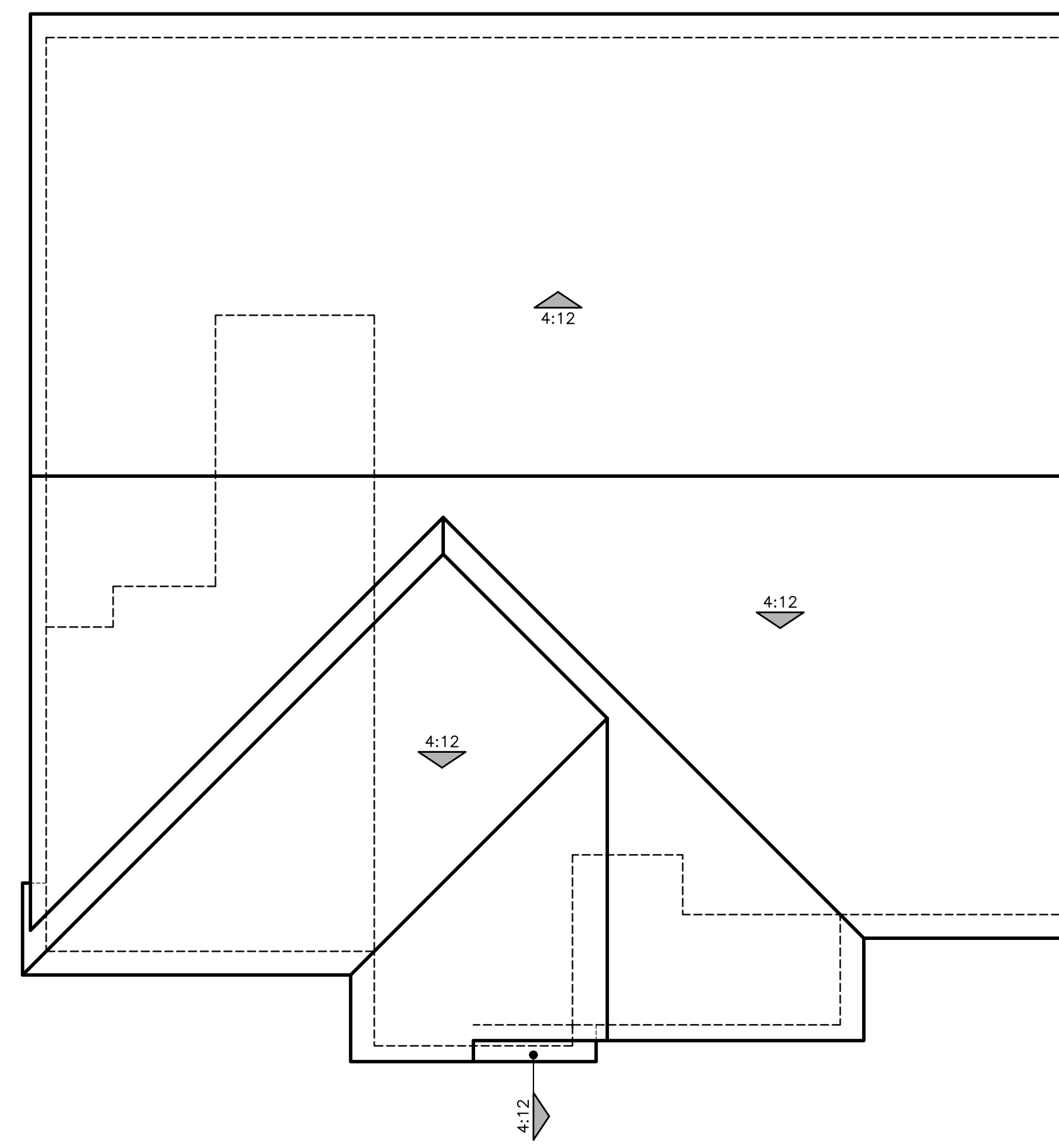
ROOF PLANS  
PLAN 1

0 2 4 8 12





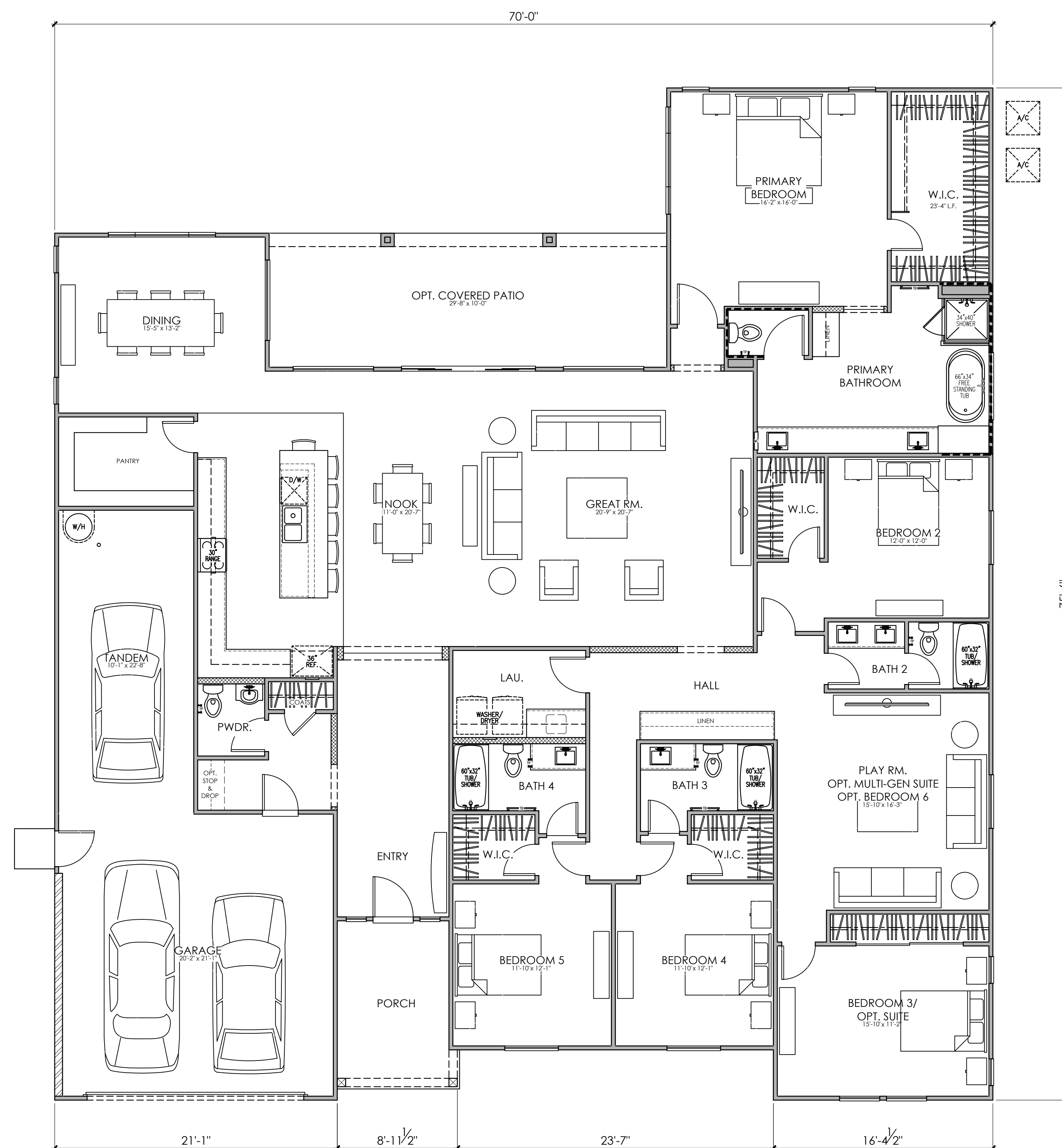
"C" - SANTA BARBARA



"D" - CRAFTSMAN

ROOF PLANS  
PLAN 1

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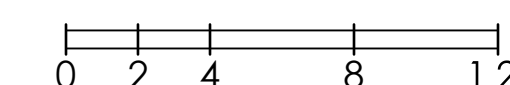


## FIRST FLOOR PLAN

PLAN 2 "A"

5 BEDROOM, 4.5 BATH, PLAY RM., OPT. BEDROOM 6, OPT. SUITE

<b>PLAN 2</b>		
<b>AREA TABULATION</b>		
<b>CONDITIONED SPACE</b>		
FIRST FLOOR AREA	3,609	SQ. FT.
TOTAL DWELLING	3,609	SQ. FT.
<b>UNCONDITIONED SPACE</b>		
GARAGE	683	SQ. FT.
PORCH "A"	105	SQ. FT.
PORCH "B"	105	SQ. FT.
PORCH "C"	105	SQ. FT.
PORCH "D"	105	SQ. FT.
COVERED PATIO	297	SQ. FT.







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Refer to landscape drawings for wall, tree, and shrub locations

FRONT

**MATERIALS LEGEND**

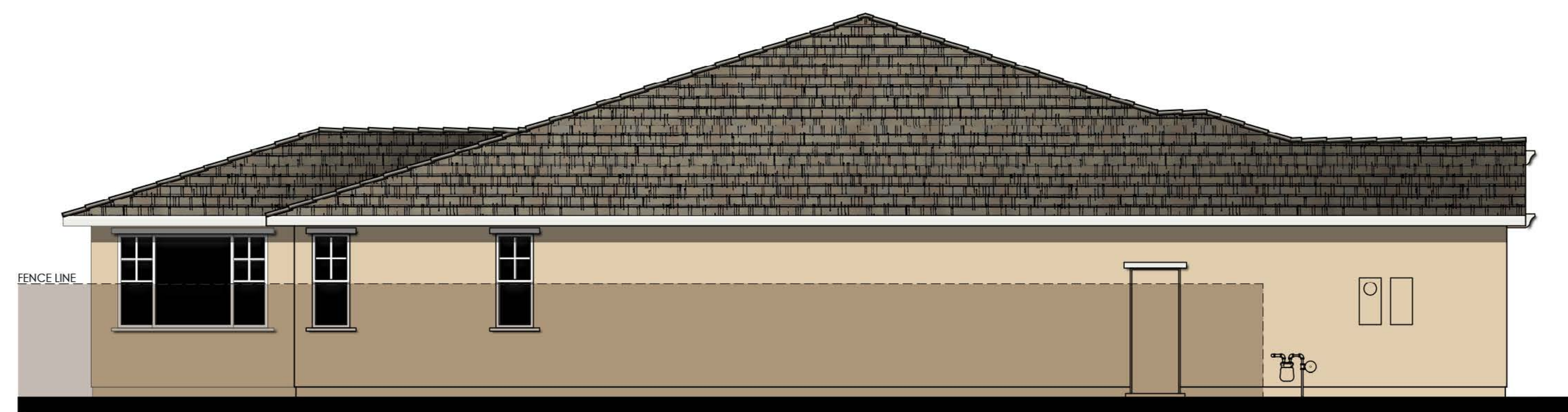
ROOF:	CONCRETE FLAT TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE:	CLAY PIPES/ WOOD GRAIN CORBEL
WALL:	STUCCO/ LAP SIDING
WINDOWS:	VINYL WITH DIVIDED LITES
TRIM:	STUCCO OVER FOAM TRIM
FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
SHUTTERS:	DECORATIVE FOAM
POT SHELF:	STIMULATED WOOD
PORCH:	WOOD POST AND BEAM



RIGHT



REAR



LEFT

COLOR SCHEME 2  
**PLAN 2 "A"**  
ADOBE RANCH ELEVATIONS

**TRUMARKHOMES**

*Haven* AT COVENANT POINT  
LOMA LINDA, CA

03/26/2025  
A-14

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RIGHT

MATERIALS LEGEND

- ROOF: CONCRETE FLAT TILE
- FASCIA: 2x6 WOOD
- BARGE: 2x6 WOOD
- GABLE: CLAY PIPES/ WOOD GRAIN CORBEL
- WALL: STUCCO/ LAP SIDING
- WINDOWS: VINYL WITH DIVIDED LITES
- TRIM: STUCCO OVER FOAM TRIM
- FRONT DOOR: FIBERGLASS
- GARAGE DOOR: METAL SECTIONAL
- SHUTTERS: DECORATIVE FOAM
- POT SHELF: STIMULATED WOOD
- PORCH: WOOD POST AND BEAM



REAR



LEFT

COLOR SCHEME 2  
PLAN 2 "A"  
ADOBE RANCH ENHANCED ELEVATIONS

*Haven* AT COVENANT POINT  
LOMA LINDA, CA



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A-15

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FRONT



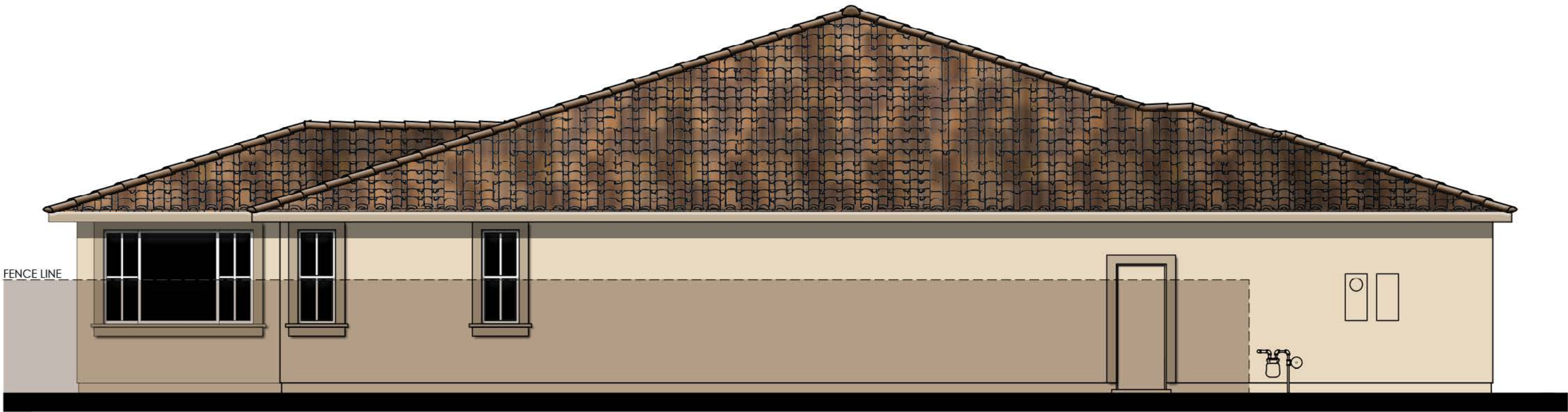
RIGHT

**MATERIALS LEGEND**

- |              |                          |
|--------------|--------------------------|
| ROOF:        | CONCRETE "S" TILE        |
| FASCIA:      | 2x6 WOOD                 |
| BARGE:       | 2x6 WOOD                 |
| WALL:        | STUCCO                   |
| WINDOWS:     | VINYL WITH DIVIDED LITES |
| TRIM:        | STUCCO OVER RIGID FOAM   |
| FRONT DOOR:  | FIBERGLASS               |
| GARAGE DOOR: | METAL SECTIONAL          |
| SHUTTERS:    | DECORATIVE FOAM          |
| VENEER:      | BRICK                    |



REAR



LEFT

COLOR SCHEME 5

**PLAN 2 "B"**  
SPANISH COLONIAL ELEVATIONS

TRUMARKHOMES

*Haven* AT COVENANT POINT  
LOMA LINDA, CA

03/26/2025  
A-16

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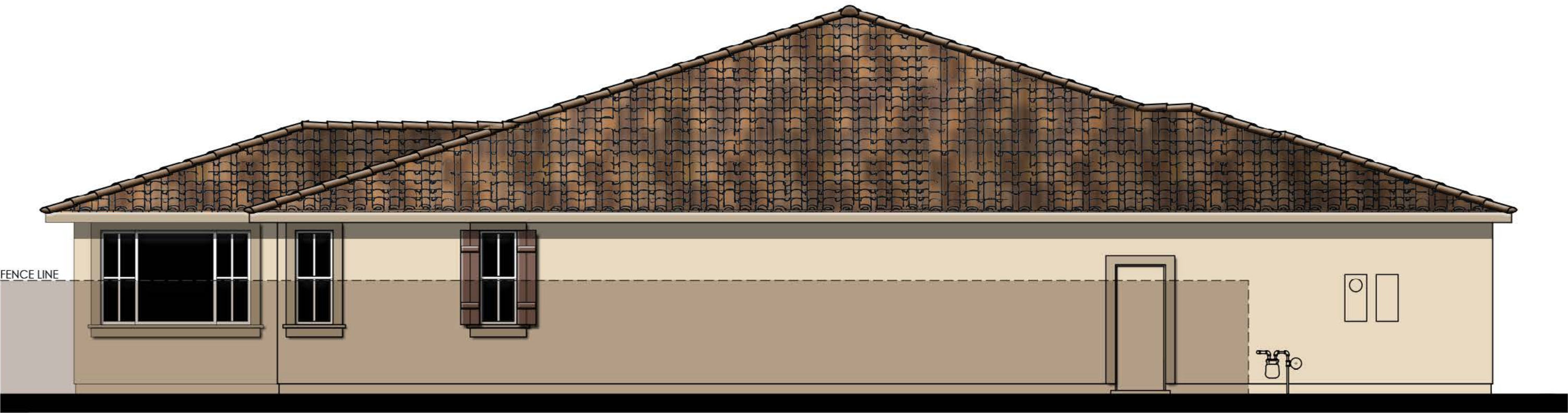
RIGHT

MATERIALS LEGEND

- ROOF: CONCRETE "S" TILE
- FASCIA: 2x6 WOOD
- BARGE: 2x6 WOOD
- WALL: STUCCO
- WINDOWS: VINYL WITH DIVIDED LITES
- TRIM: STUCCO OVER RIGID FOAM
- FRONT DOOR: FIBERGLASS
- GARAGE DOOR: METAL SECTIONAL
- SHUTTERS: DECORATIVE FOAM
- VENEER: BRICK



REAR



LEFT

COLOR SCHEME 5

PLAN 2 "B"  
SPANISH COLONIAL ENHANCED ELEVATIONS





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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



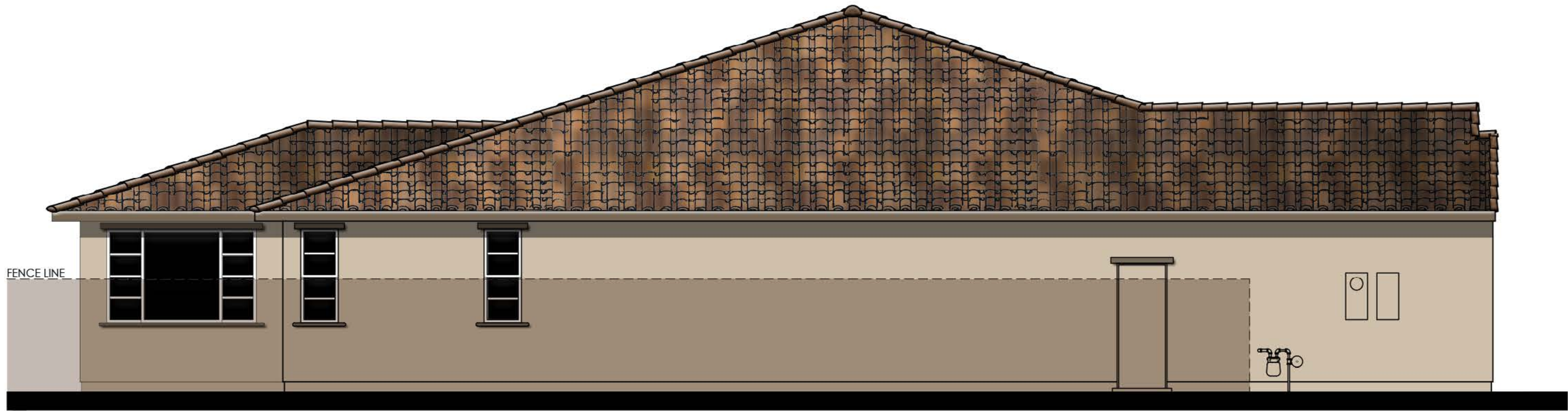
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MATERIALS LEGEND

- ROOF: CONCRETE "S" TILE
- FASCIA: 2x6 WOOD
- BARGE: 2x6 WOOD
- GABLE: DECORATIVE SIMULATED CLAY TILE
- WALL: STUCCO  
W.I. WHERE OCCURS
- WINDOWS: VINYL WITH DIVIDED LITES
- TRIM: STUCCO OVER RIGID FOAM/ CERAMIC TILE
- FRONT DOOR: FIBERGLASS
- GARAGE DOOR: METAL SECTIONAL
- SHUTTERS: DECORATIVE FOAM



REAR



LEFT

COLOR SCHEME 8

PLAN 2 "C"  
SANTA BARBARA RANCH ELEVATIONS

*Haven* AT COVENANT POINT  
LOMA LINDA, CA

TRUMARKHOMES

03/26/2025  
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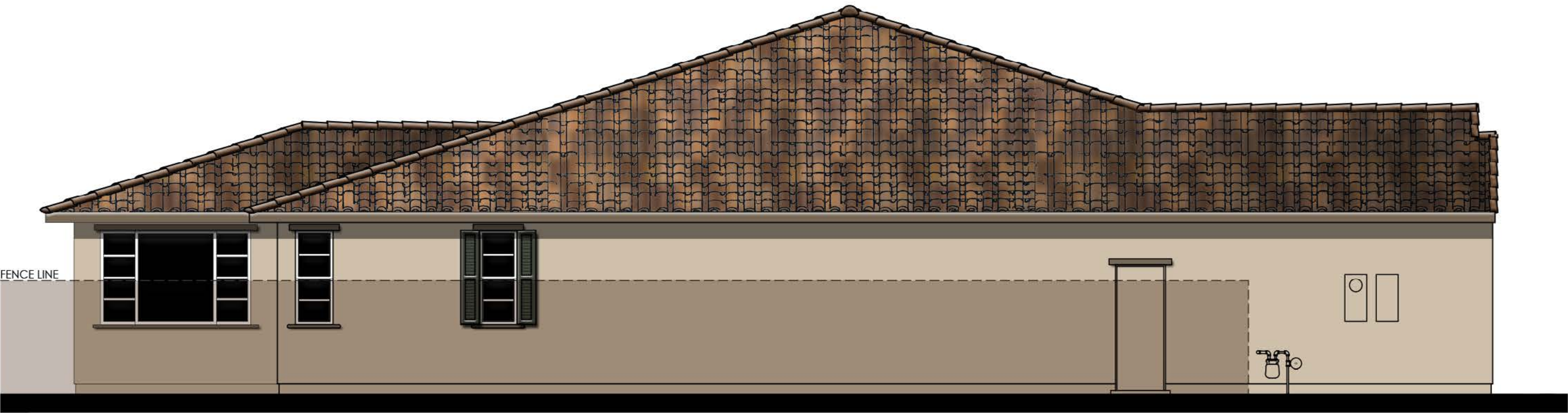
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MATERIALS LEGEND

- ROOF: CONCRETE "S" TILE
- FASCIA: 2x6 WOOD
- BARGE: 2x6 WOOD
- GABLE: DECORATIVE SIMULATED CLAY TILE
- WALL: STUCCO  
W.I. WHERE OCCURS
- WINDOWS: VINYL WITH DIVIDED LITES
- TRIM: STUCCO OVER RIGID FOAM/ CERAMIC TILE
- FRONT DOOR: FIBERGLASS
- GARAGE DOOR: METAL SECTIONAL
- SHUTTERS: DECORATIVE FOAM



REAR



LEFT

COLOR SCHEME 8

PLAN 2 "C"

SANTA BARBARA ENHANCED ELEVATIONS

*Haven* AT COVENANT POINT  
LOMA LINDA, CA

TRUMARKHOMES

03/26/2025  
A-19

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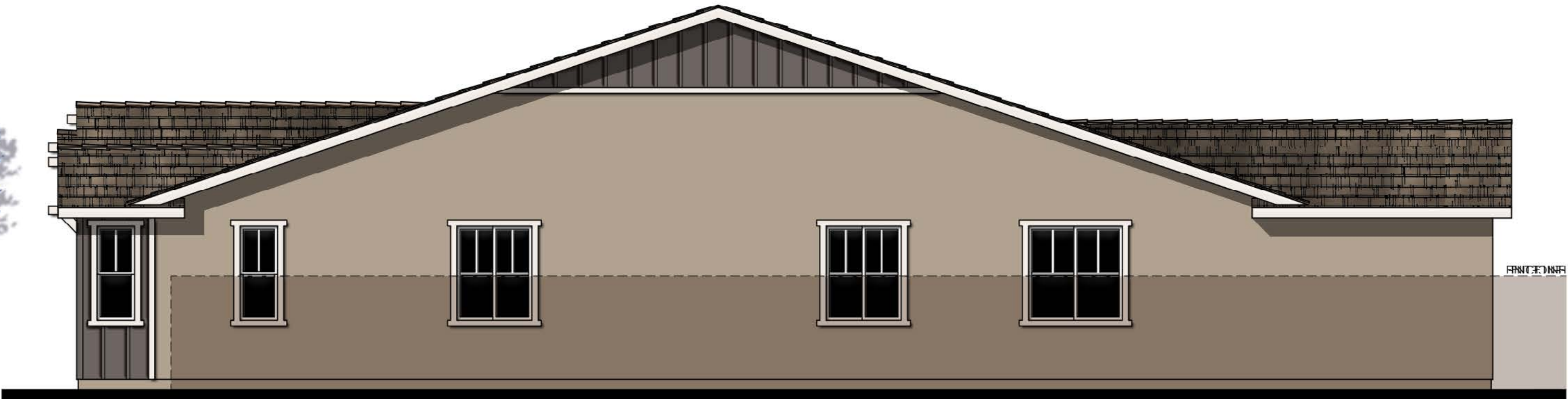




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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



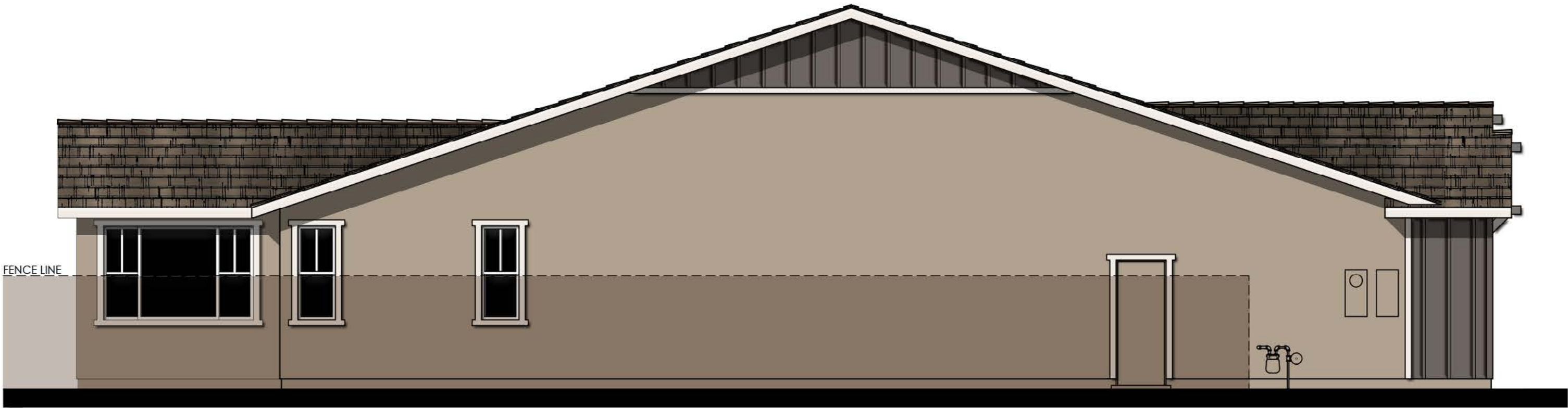
RIGHT

**MATERIALS LEGEND**

ROOF:	CONCRETE FLAT TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE:	BOARD AND BATTEN & KNEE BRACES
WALL:	STUCCO/ BOARD AND BATTEN
WINDOWS:	VINYL WITH DIVIDED LITES
TRIM:	STUCCO OVER FOAM TRIM
FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
SHUTTERS:	DECORATIVE FOAM
PORCH:	TAPERED COLUMNS
VENEER:	STONE



REAR



LEFT

COLOR SCHEME 11  
**PLAN 2 "D"**  
CRAFTSMAN ELEVATIONS

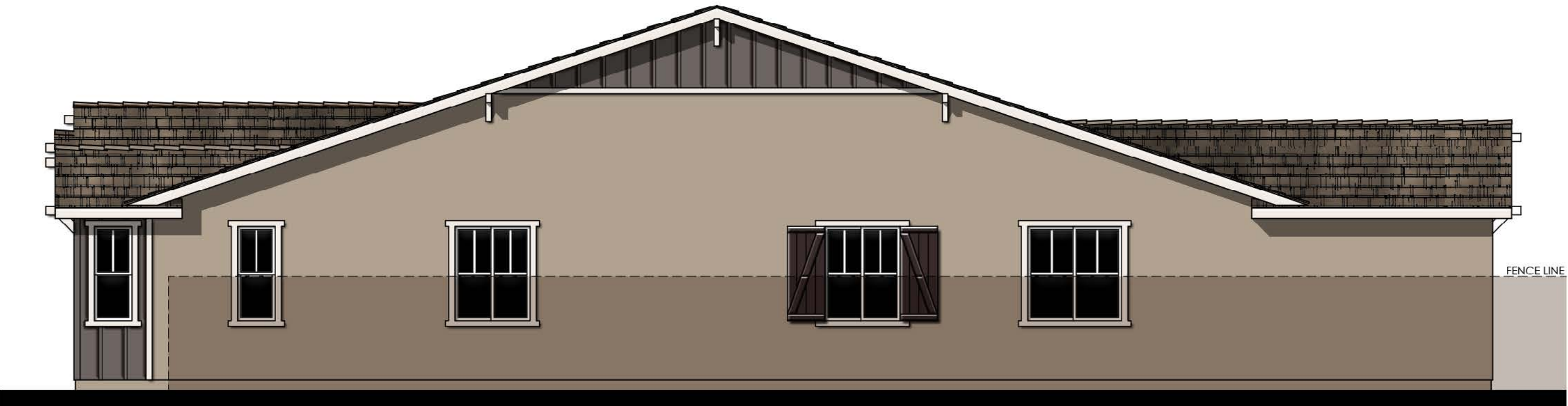
**TRUMARKHOMES**

*Haven* AT COVENANT POINT  
LOMA LINDA, CA

03/26/2025  
A-20

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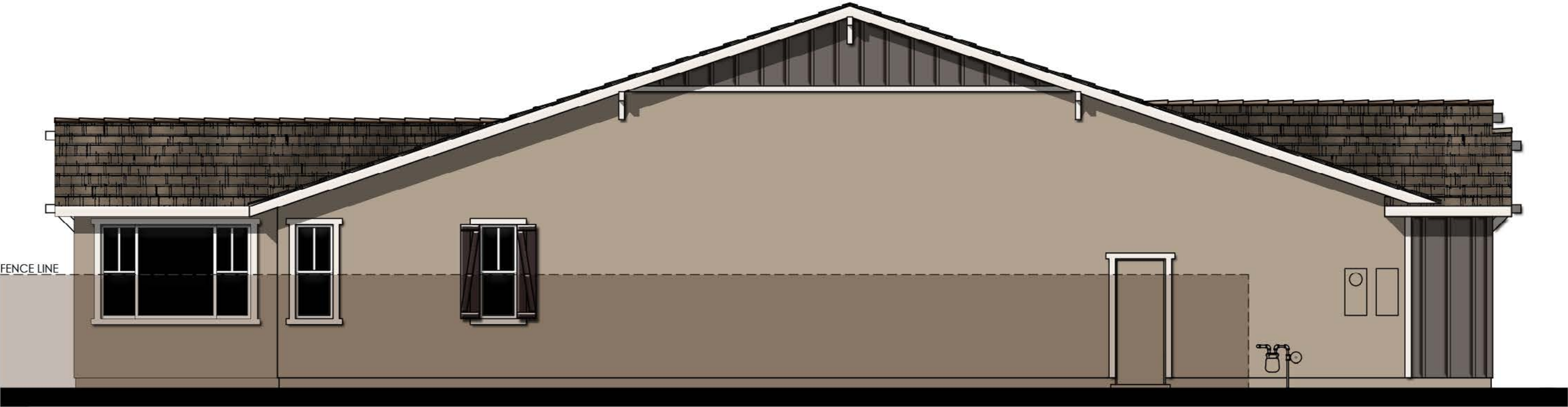
RIGHT

MATERIALS LEGEND

- ROOF: CONCRETE FLAT TILE
- FASCIA: 2x6 WOOD
- BARGE: 2x6 WOOD
- GABLE: BOARD AND BATTEN & KNEE BRACES
- WALL: STUCCO/ BOARD AND BATTEN
- WINDOWS: VINYL WITH DIVIDED LITES
- TRIM: STUCCO OVER FOAM TRIM
- FRONT DOOR: FIBERGLASS
- GARAGE DOOR: METAL SECTIONAL
- SHUTTERS: DECORATIVE FOAM
- PORCH: TAPERED COLUMNS
- VENEER: STONE



REAR



LEFT

COLOR SCHEME 11

PLAN 2 "D"  
CRAFTSMAN ENHANCED ELEVATIONS

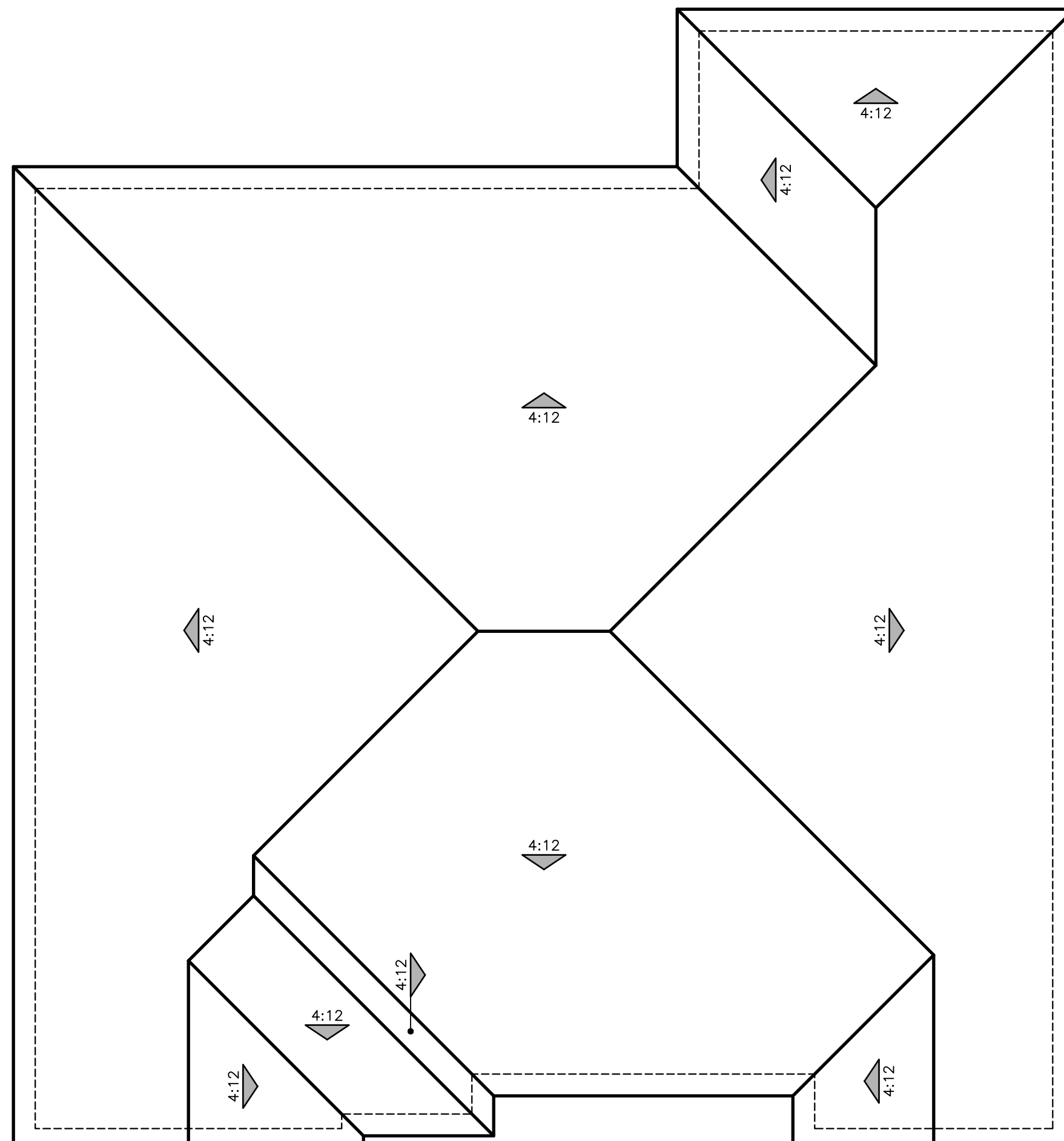
*Haven* AT COVENANT POINT  
LOMA LINDA, CA

TRUMARKHOMES

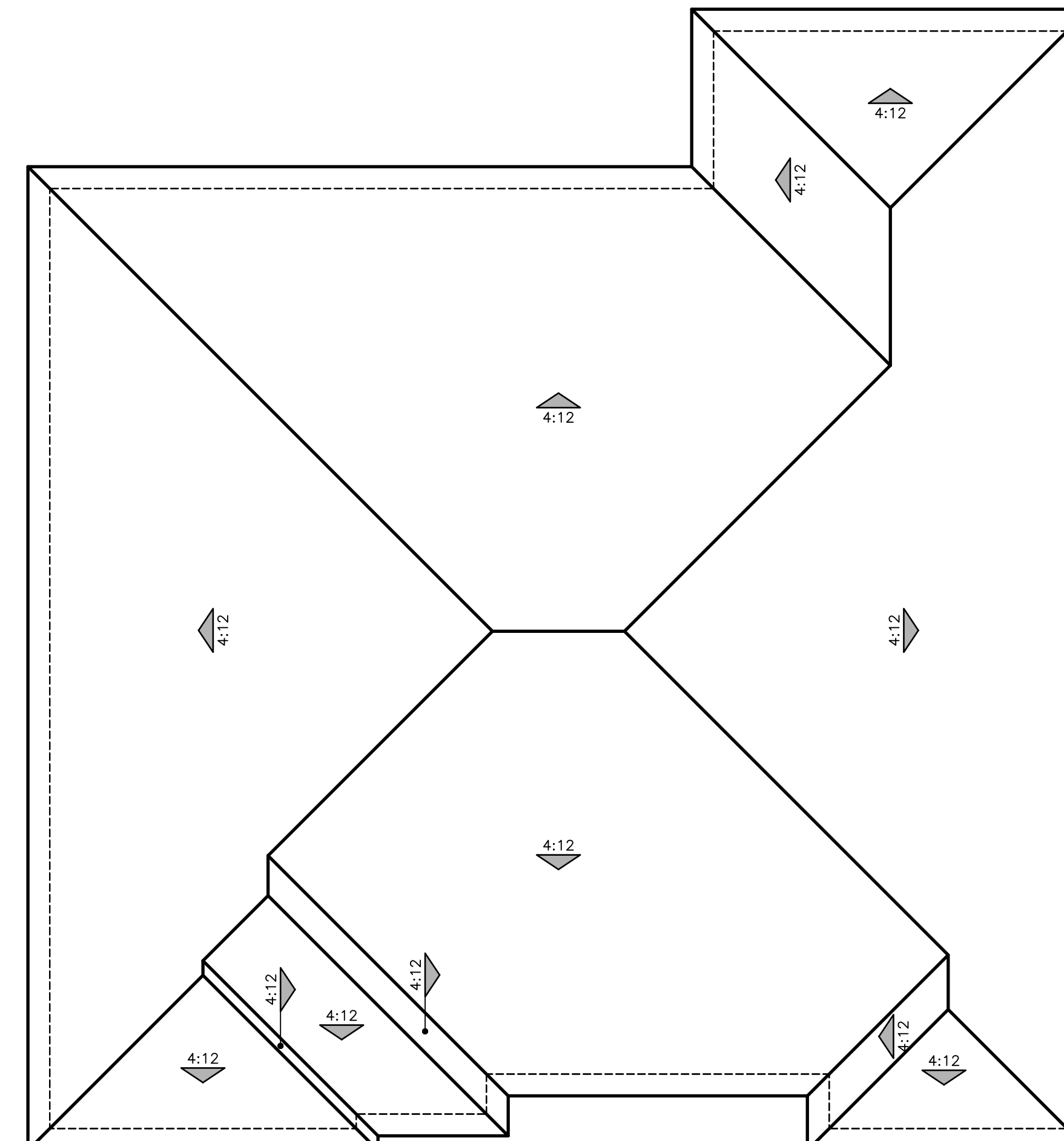
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A-21

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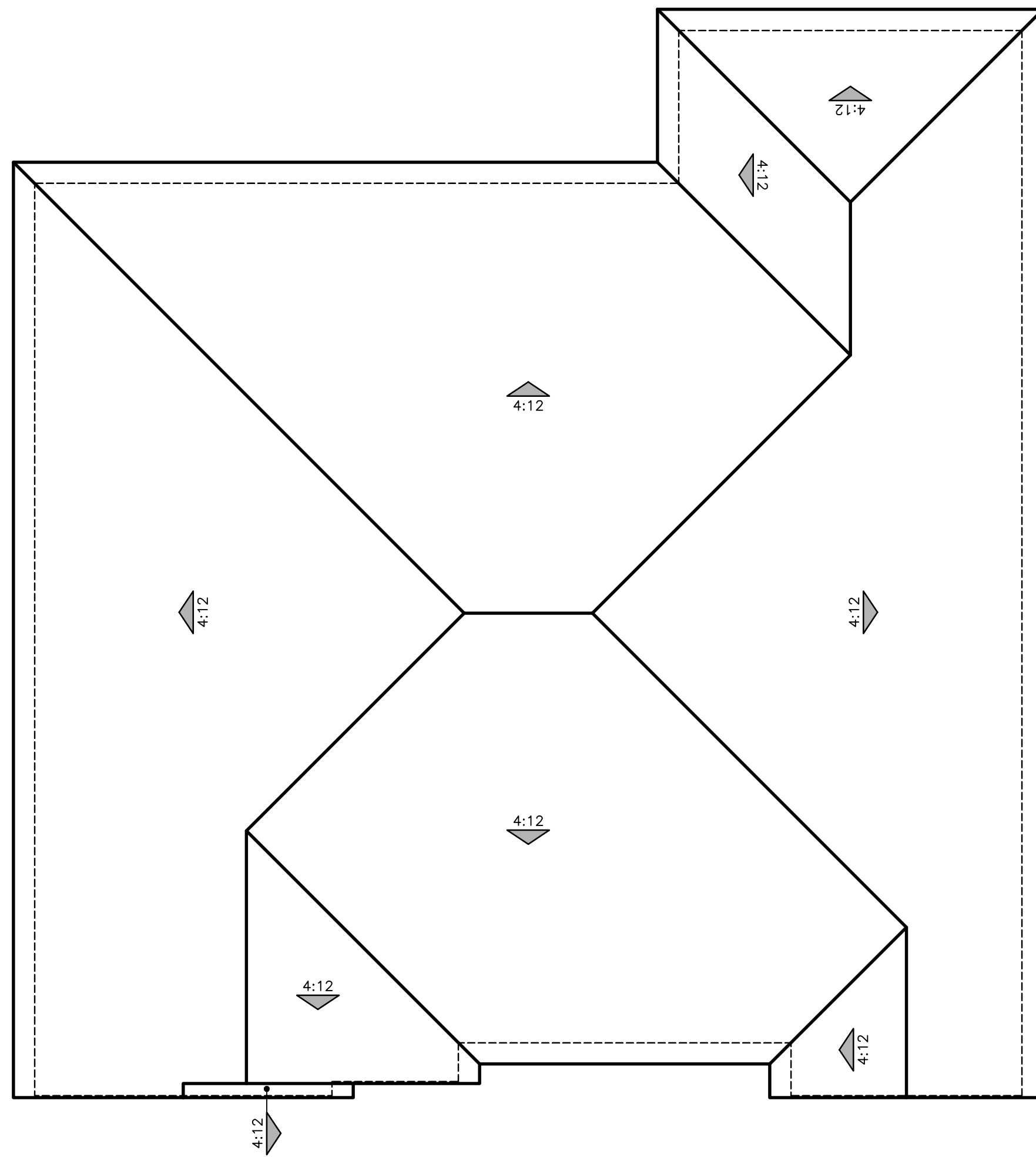
"A" - ADOBE RANCH



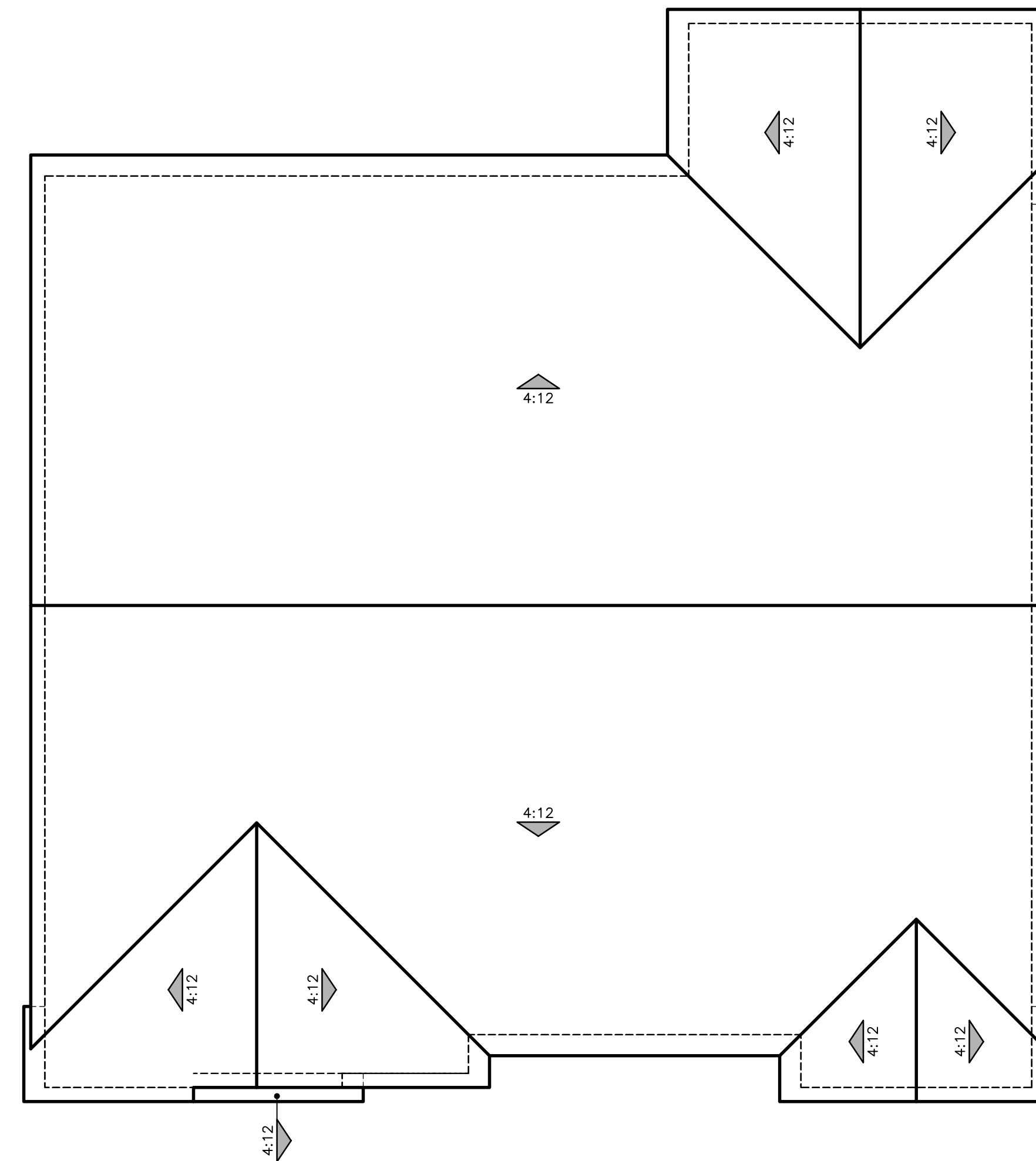
"B" - SPANISH COLONIAL

ROOF PLANS  
PLAN 2

0 2 4 8 12



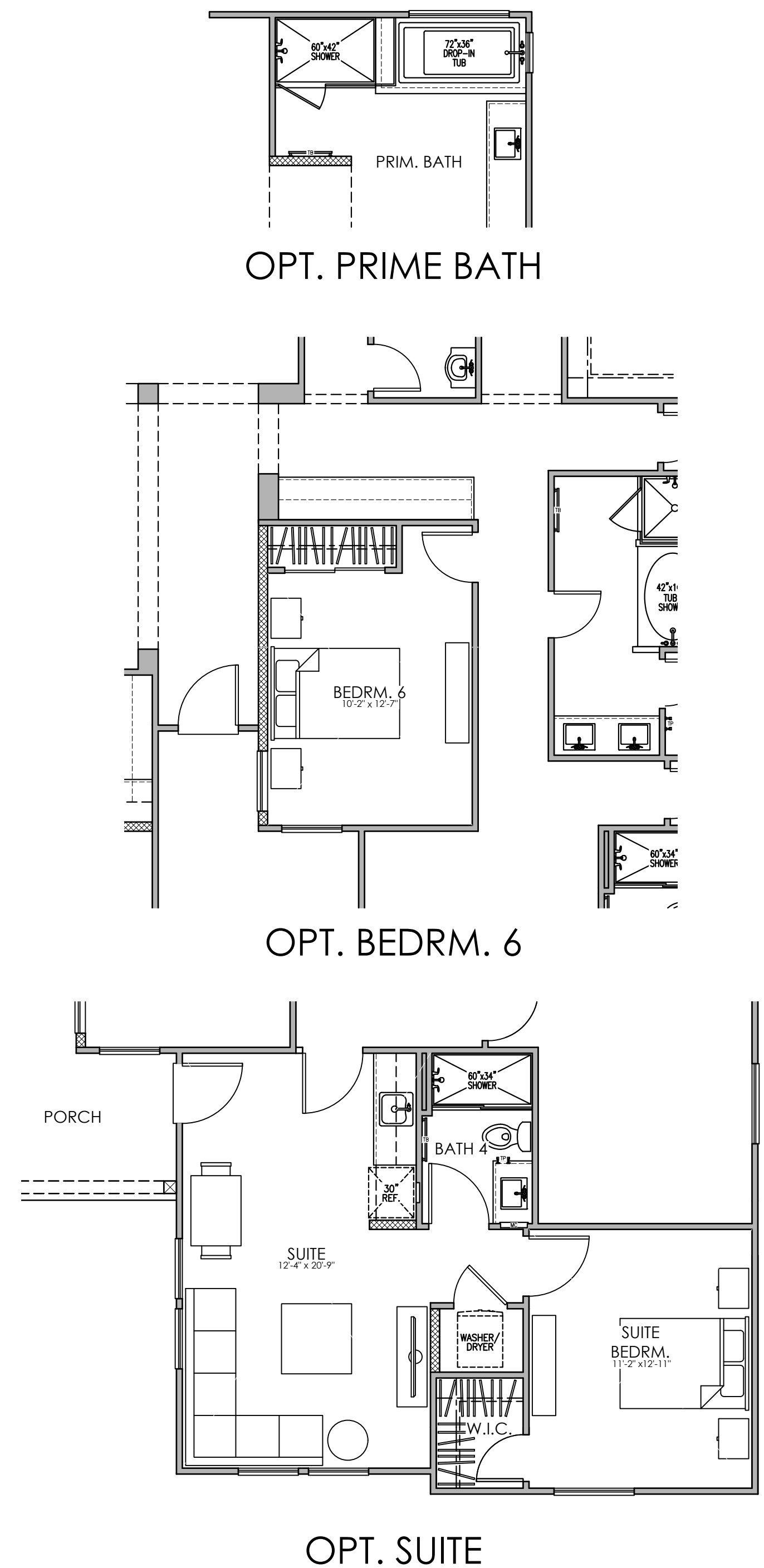
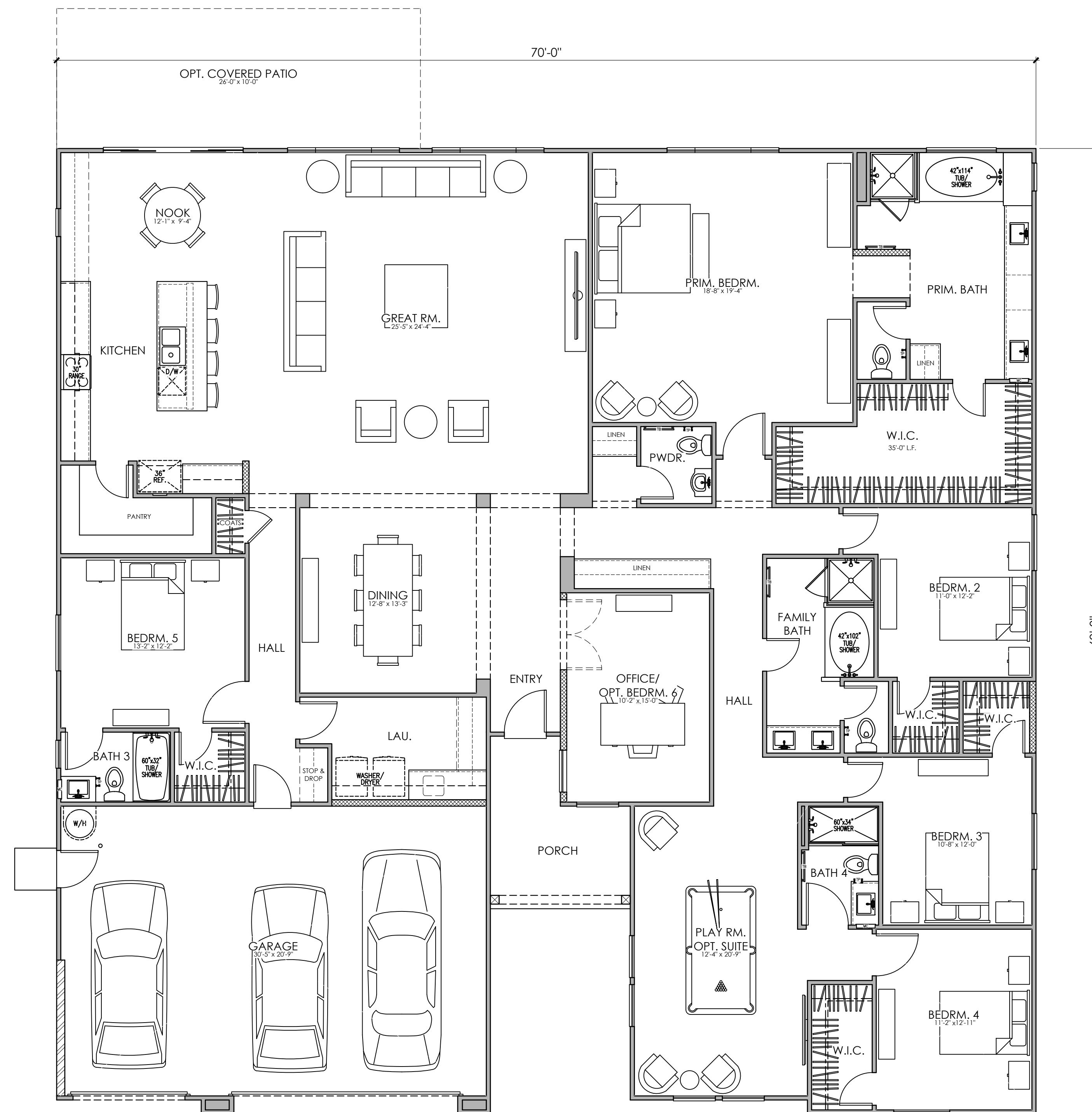
"C" - SANTA BARBARA



"D" - CRAFTSMAN

ROOF PLANS  
PLAN 2

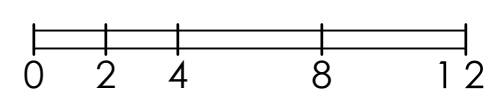
0 2 4 8 12



FLOOR PLAN  
**PLAN 3 "A"**  
 5 BEDROOM, 4.5 BATH, OFFICE, ON-SUITE, OPT. SUITE, OPT. BEDRM. 6

PLAN 3  
 AREA TABULATION

CONDITIONED SPACE	
FLOOR AREA	3,890 SQ. FT.
TOTAL DWELLING	3,890 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	651 SQ. FT.
OPT. COVERED PATIO	260 SQ. FT.







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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



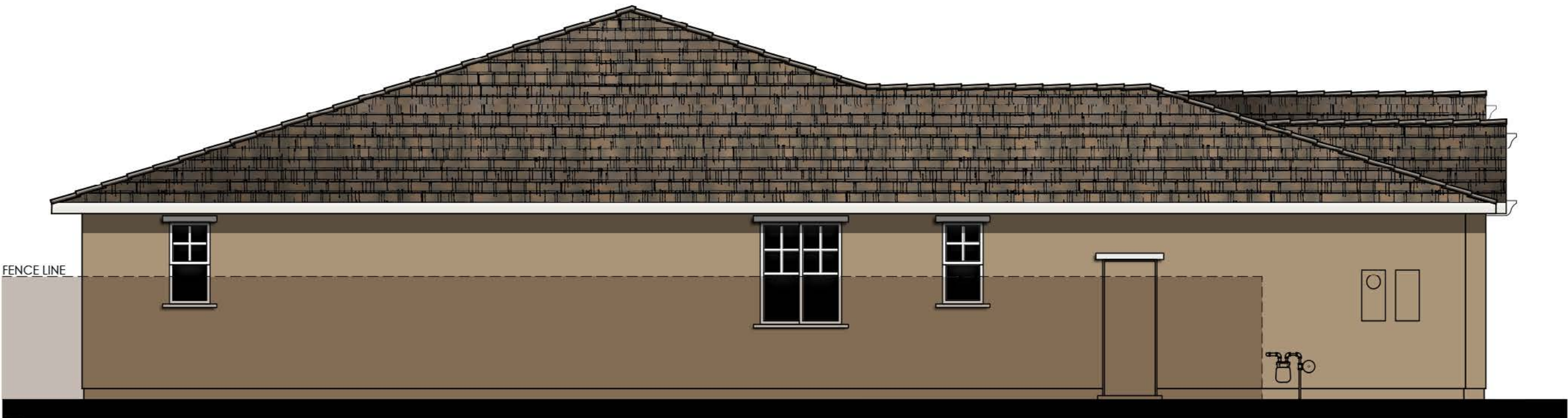
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MATERIALS LEGEND

- |              |                               |
|--------------|-------------------------------|
| ROOF:        | CONCRETE FLAT TILE            |
| FASCIA:      | 2x6 WOOD                      |
| BARGE:       | 2x6 WOOD                      |
| GABLE:       | CLAY PIPES/ WOOD GRAIN CORBEL |
| WALL:        | STUCCO/ LAP SIDING            |
| WINDOWS:     | VINYL WITH DIVIDED LITES      |
| TRIM:        | STUCCO OVER FOAM TRIM         |
| FRONT DOOR:  | FIBERGLASS                    |
| GARAGE DOOR: | METAL SECTIONAL               |
| SHUTTERS:    | DECORATIVE FOAM               |
| POT SHELF:   | STIMULATED WOOD               |
| PORCH:       | WOOD POST AND BEAM            |



REAR



LEFT

COLOR SCHEME 3  
PLAN 3 "A"  
ADOBE RANCH ELEVATIONS

TRUMARKHOMES

*Haven* AT COVENANT POINT  
LOMA LINDA, CA

03/26/2025  
A-25

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RIGHT

MATERIALS LEGEND

- ROOF: CONCRETE FLAT TILE
- FASCIA: 2x6 WOOD
- BARGE: 2x6 WOOD
- GABLE: CLAY PIPES/ WOOD GRAIN CORBEL
- WALL: STUCCO/ LAP SIDING
- WINDOWS: VINYL WITH DIVIDED LITES
- TRIM: STUCCO OVER FOAM TRIM
- FRONT DOOR: FIBERGLASS
- GARAGE DOOR: METAL SECTIONAL
- SHUTTERS: DECORATIVE FOAM
- POT SHELF: STIMULATED WOOD
- PORCH: WOOD POST AND BEAM



REAR



LEFT

COLOR SCHEME 3

PLAN 3 "A"

ADOBE RANCH ENHANCED ELEVATIONS

*Haven* AT COVENANT POINT  
LOMA LINDA, CA

TRUMARKHOMES

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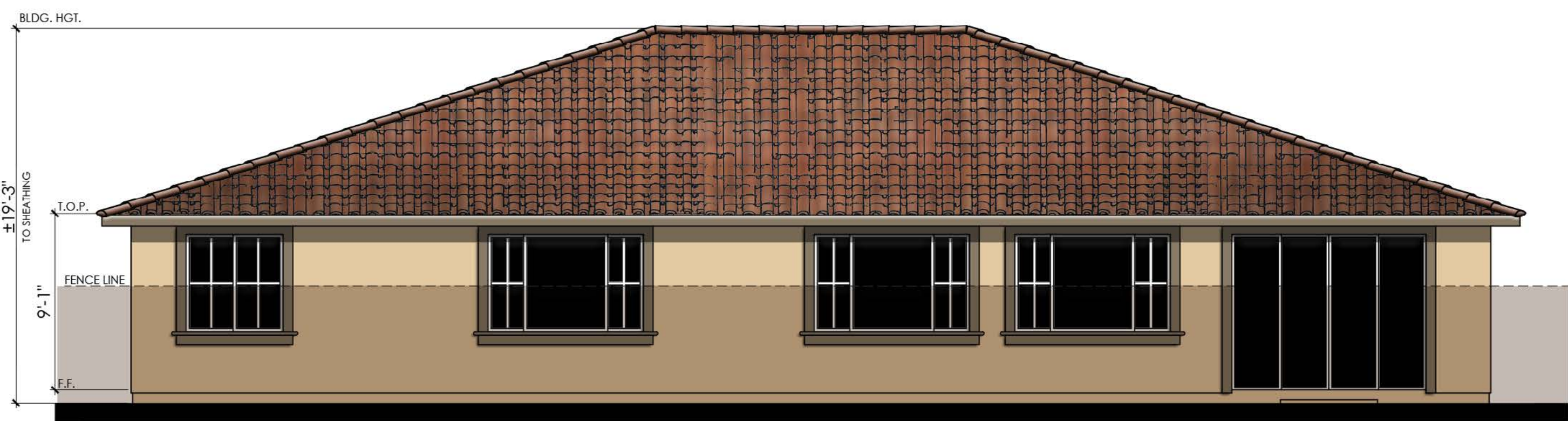
FRONT



RIGHT

MATERIALS LEGEND

- ROOF: CONCRETE "S" TILE
- FASCIA: 2x6 WOOD
- BARGE: 2x6 WOOD
- WALL: STUCCO
- WINDOWS: VINYL WITH DIVIDED LITES
- TRIM: STUCCO OVER RIGID FOAM
- FRONT DOOR: FIBERGLASS
- GARAGE DOOR: METAL SECTIONAL
- SHUTTERS: DECORATIVE FOAM
- VENEER: BRICK



REAR



LEFT

COLOR SCHEME 6

PLAN 3 "B"

SPANISH COLONIAL ELEVATIONS

*Haven* AT COVENANT POINT  
LOMA LINDA, CA

TRUMARKHOMES

03/26/2025  
A-27



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RIGHT

MATERIALS LEGEND

- ROOF: CONCRETE "S" TILE
- FASCIA: 2x6 WOOD
- BARGE: 2x6 WOOD
- WALL: STUCCO
- WINDOWS: VINYL WITH DIVIDED LITES
- TRIM: STUCCO OVER RIGID FOAM
- FRONT DOOR: FIBERGLASS
- GARAGE DOOR: METAL SECTIONAL
- SHUTTERS: DECORATIVE FOAM
- VENEER: BRICK



REAR



LEFT

COLOR SCHEME 6

PLAN 3 "B"

SPANISH COLONIAL ENHANCED ELEVATIONS

*Haven* AT COVENANT POINT  
LOMA LINDA, CA

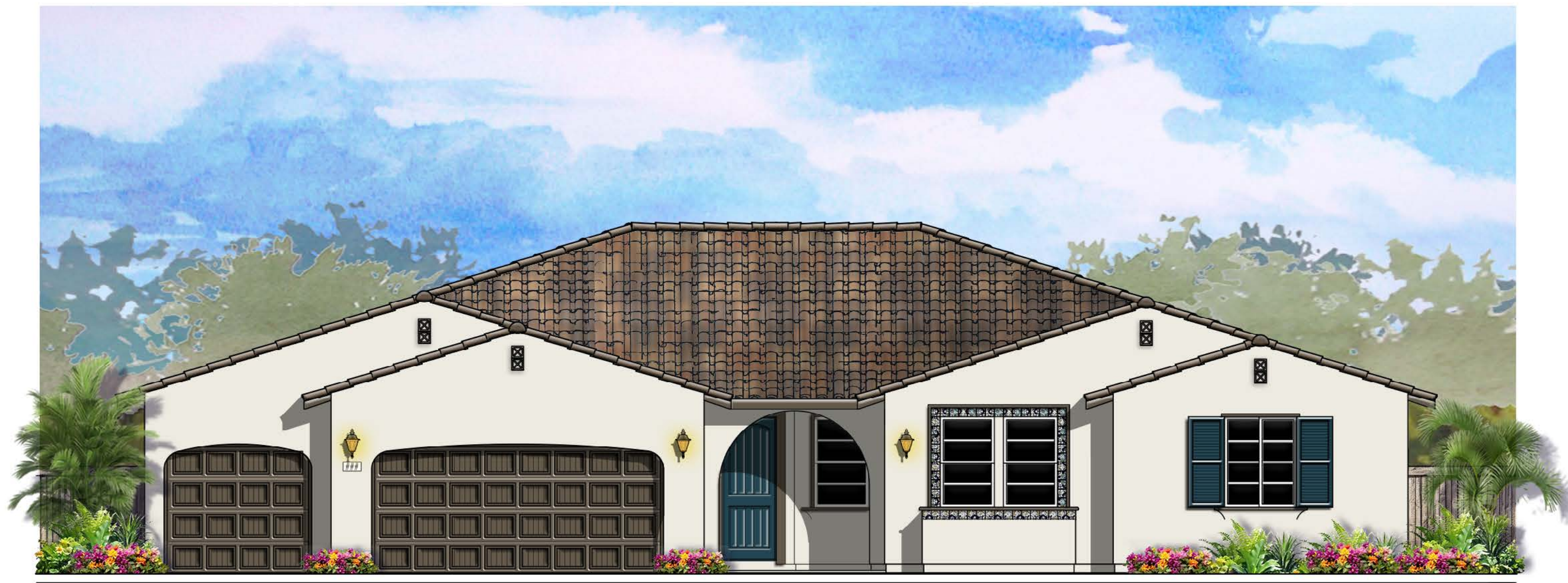
TRUMARKHOMES

03/26/2025  
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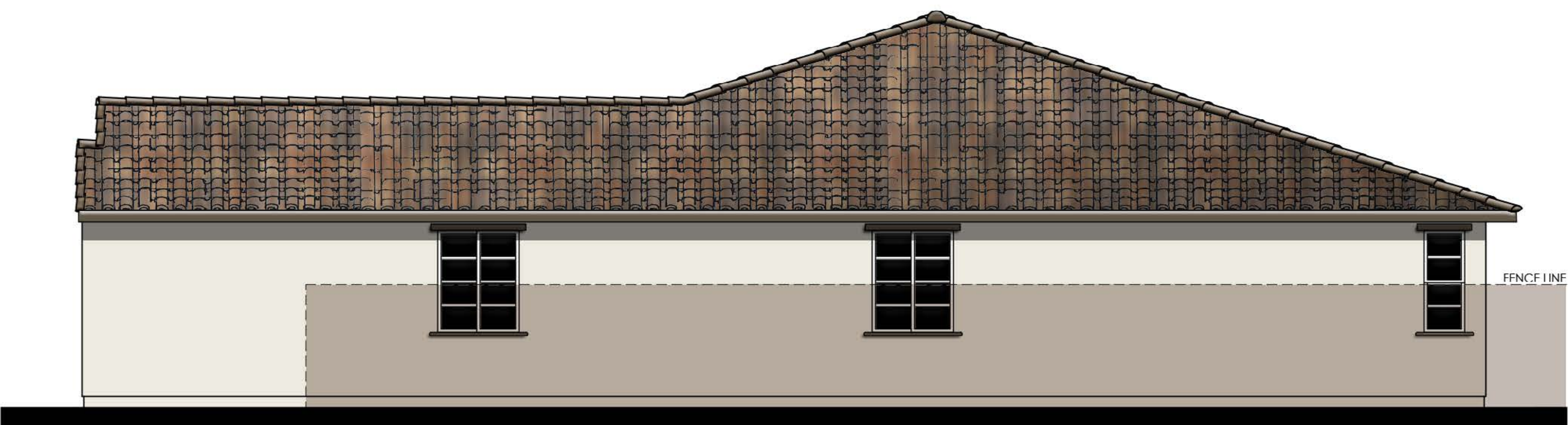




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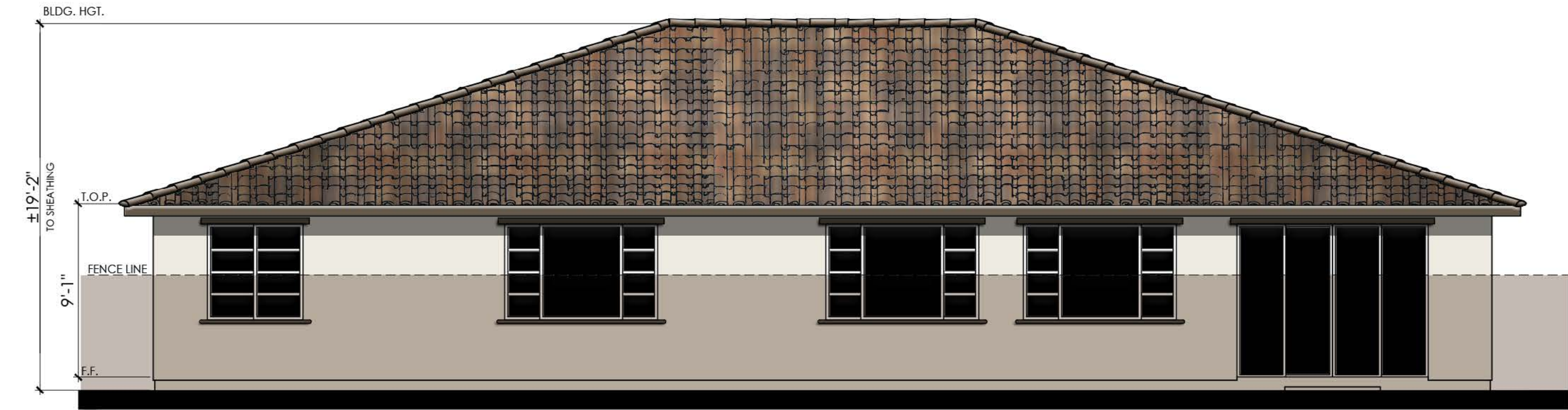
FRONT



RIGHT

MATERIALS LEGEND

- ROOF: CONCRETE "S" TILE
- FASCIA: 2x6 WOOD
- BARGE: 2x6 WOOD
- GABLE: DECORATIVE SIMULATED CLAY TILE
- WALL: STUCCO  
W.I. WHERE OCCURS
- WINDOWS: VINYL WITH DIVIDED LITES
- TRIM: STUCCO OVER RIGID FOAM/ CERAMIC TILE
- FRONT DOOR: FIBERGLASS
- GARAGE DOOR: METAL SECTIONAL
- SHUTTERS: DECORATIVE FOAM



REAR



LEFT

COLOR SCHEME 9

PLAN 3 "C"

SANTA BARBARA ELEVATIONS

TRUMARKHOMES

Haven AT COVENANT POINT  
LOMA LINDA, CA

03/26/2025  
A-29

0 2 4 8 12  
Kevin L. Crook  
Architect  
Inc  
#24049  
PLANNING + ARCHITECTURE

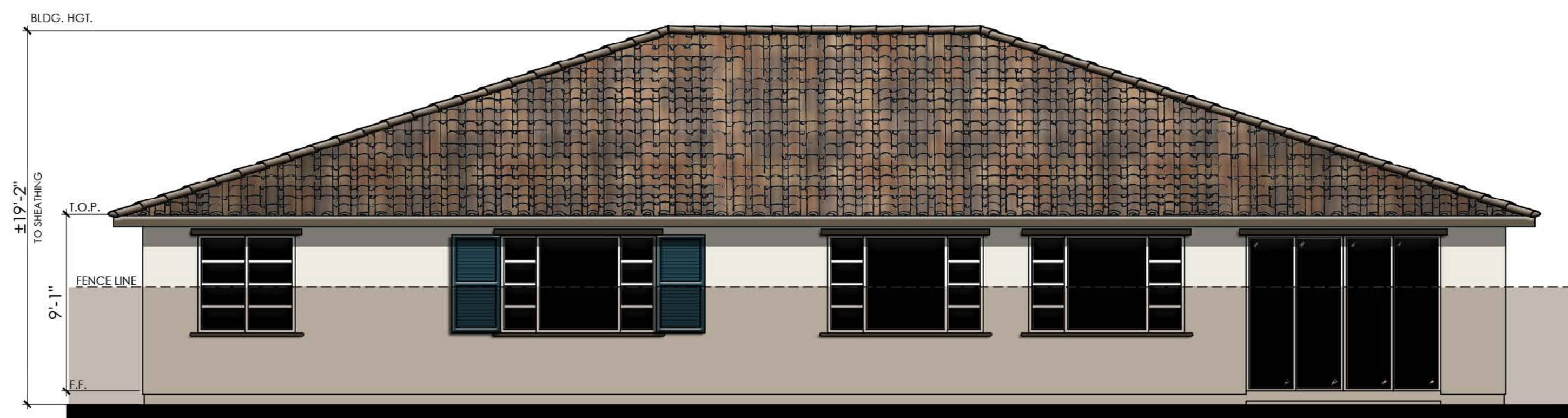




RIGHT

**MATERIALS LEGEND**

ROOF:	CONCRETE "S" TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE:	DECORATIVE SIMULATED CLAY TILE
WALL:	STUCCO W.I. WHERE OCCURS
WINDOWS:	VINYL WITH DIVIDED LITES
TRIM:	STUCCO OVER RIGID FOAM/ CERAMIC TILE
FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
SHUTTERS:	DECORATIVE FOAM



REAR



LEFT

COLOR SCHEME 9

PLAN 3 "C"

SANTA BARBARA ENHANCED ELEVATIONS

*Haven* AT COVENANT POINT  
LOMA LINDA, CA

TRUMARKHOMES

03/26/2025  
A-30

Kevin L. Crook  
**Architect**  
Inc  
#24049  
PLANNING + ARCHITECTURE



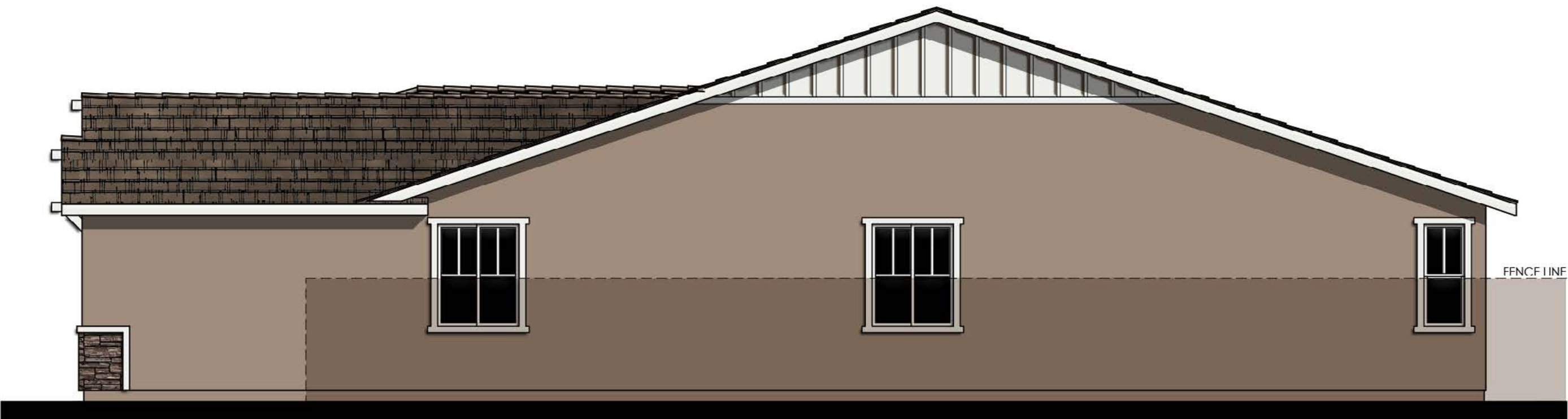




© 2025 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

FRONT



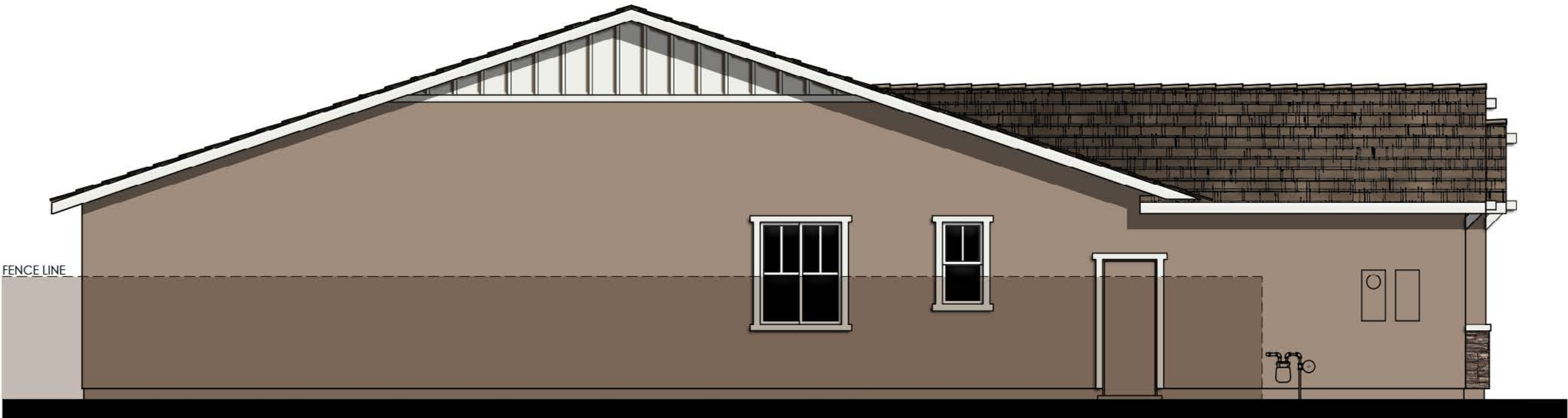
RIGHT

MATERIALS LEGEND

- |              |                                |
|--------------|--------------------------------|
| ROOF:        | CONCRETE FLAT TILE             |
| FASCIA:      | 2x6 WOOD                       |
| BARGE:       | 2x6 WOOD                       |
| GABLE:       | BOARD AND BATTEN & KNEE BRACES |
| WALL:        | STUCCO/ BOARD AND BATTEN       |
| WINDOWS:     | VINYL WITH DIVIDED LITES       |
| TRIM:        | STUCCO OVER FOAM TRIM          |
| FRONT DOOR:  | FIBERGLASS                     |
| GARAGE DOOR: | METAL SECTIONAL                |
| SHUTTERS:    | DECORATIVE FOAM                |
| PORCH:       | TAPERED COLUMNS                |
| VENEER:      | STONE                          |



REAR



LEFT

COLOR SCHEME 12  
PLAN 3 "D"  
CRAFTSMAN ELEVATIONS

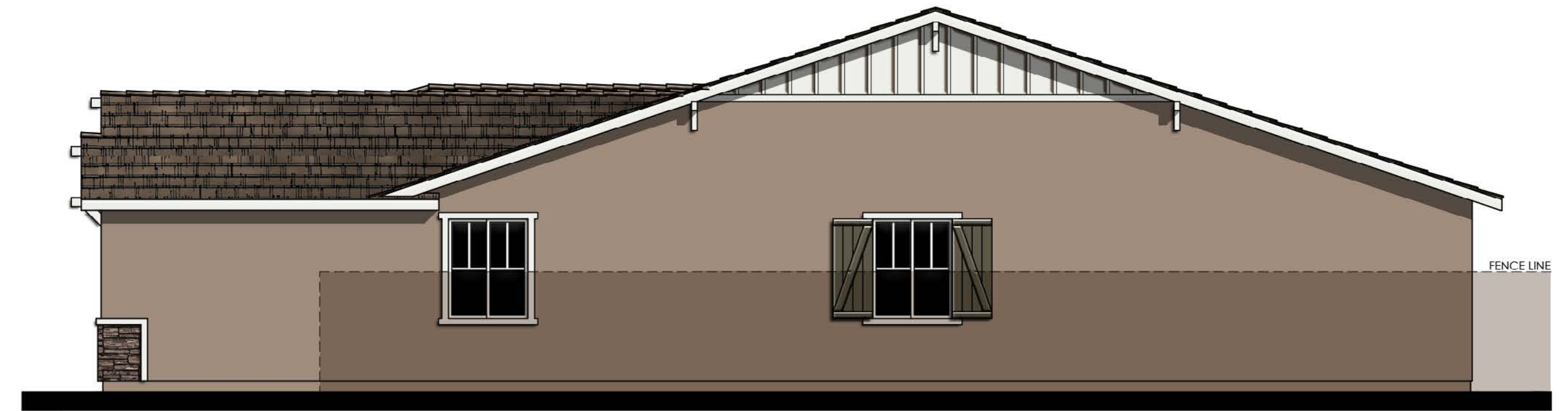
TRUMARKHOMES

*Haven* AT COVENANT POINT  
LOMA LINDA, CA

03/26/2025  
A-31

0 2 4 8 12  
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#24049  
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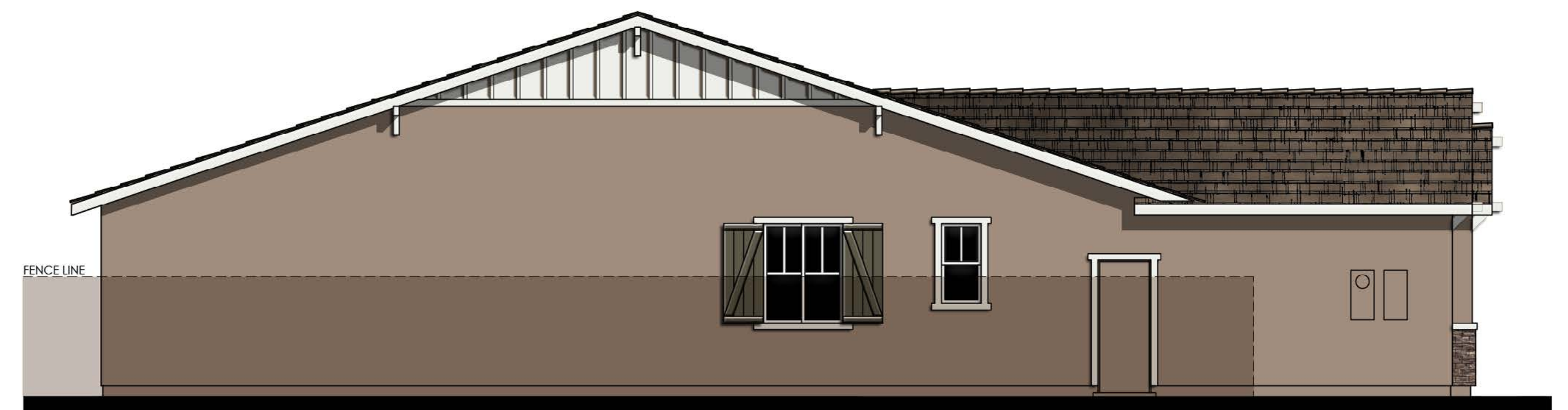
RIGHT

#### MATERIALS LEGEND

ROOF:	CONCRETE FLAT TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE:	BOARD AND BATTEN & KNEE BRACES
WALL:	STUCCO/ BOARD AND BATTEN
WINDOWS:	VINYL WITH DIVIDED LITES
TRIM:	STUCCO OVER FOAM TRIM
FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
SHUTTERS:	DECORATIVE FOAM
PORCH:	TAPERED COLUMNS
VENEER:	STONE



REAR



LEFT

COLOR SCHEME 12

### PLAN 3 "D"

CRAFTSMAN ENHANCED ELEVATIONS

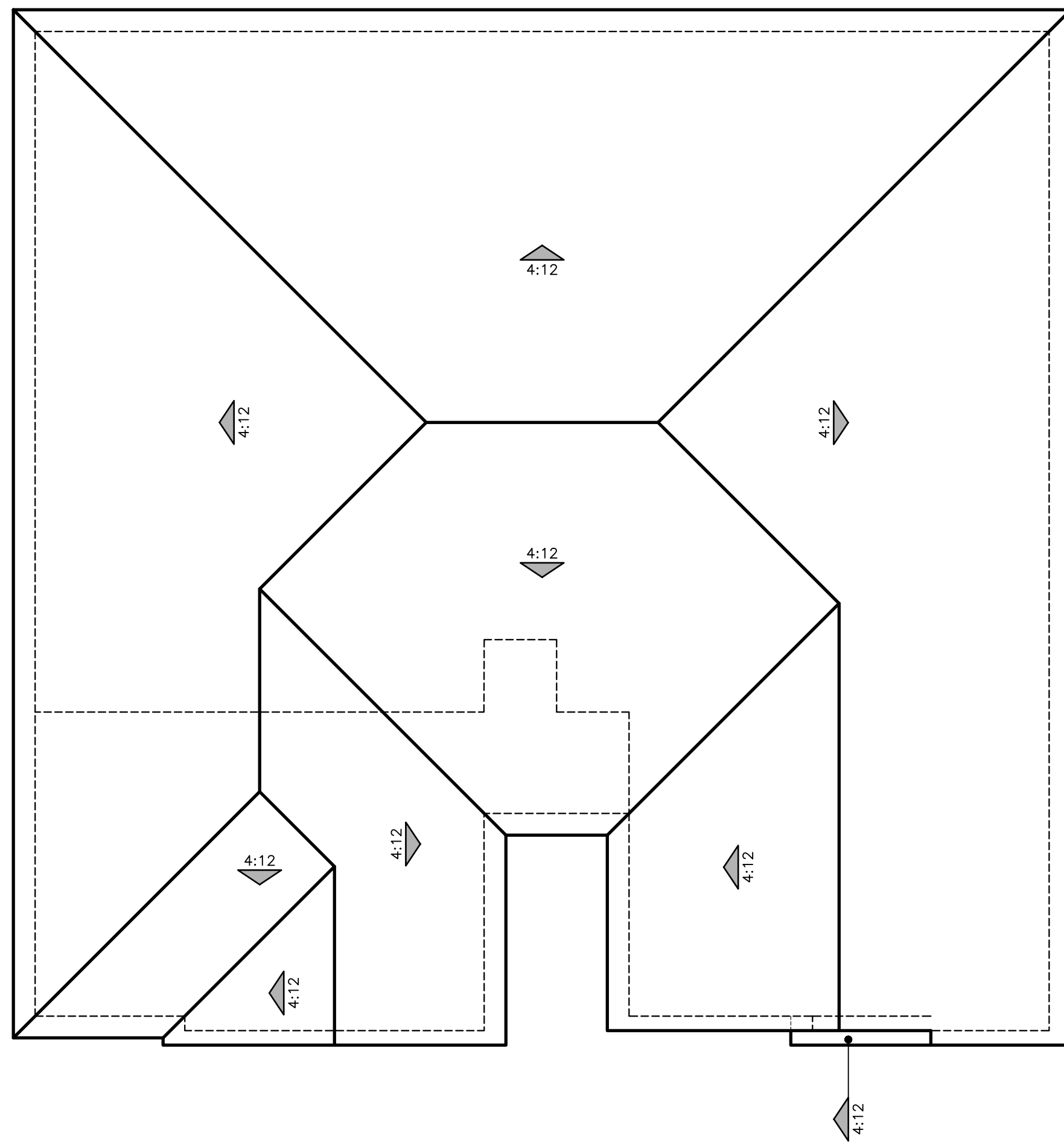
TRUMARKHOMES

*Haven* AT COVENANT POINT  
LOMA LINDA, CA

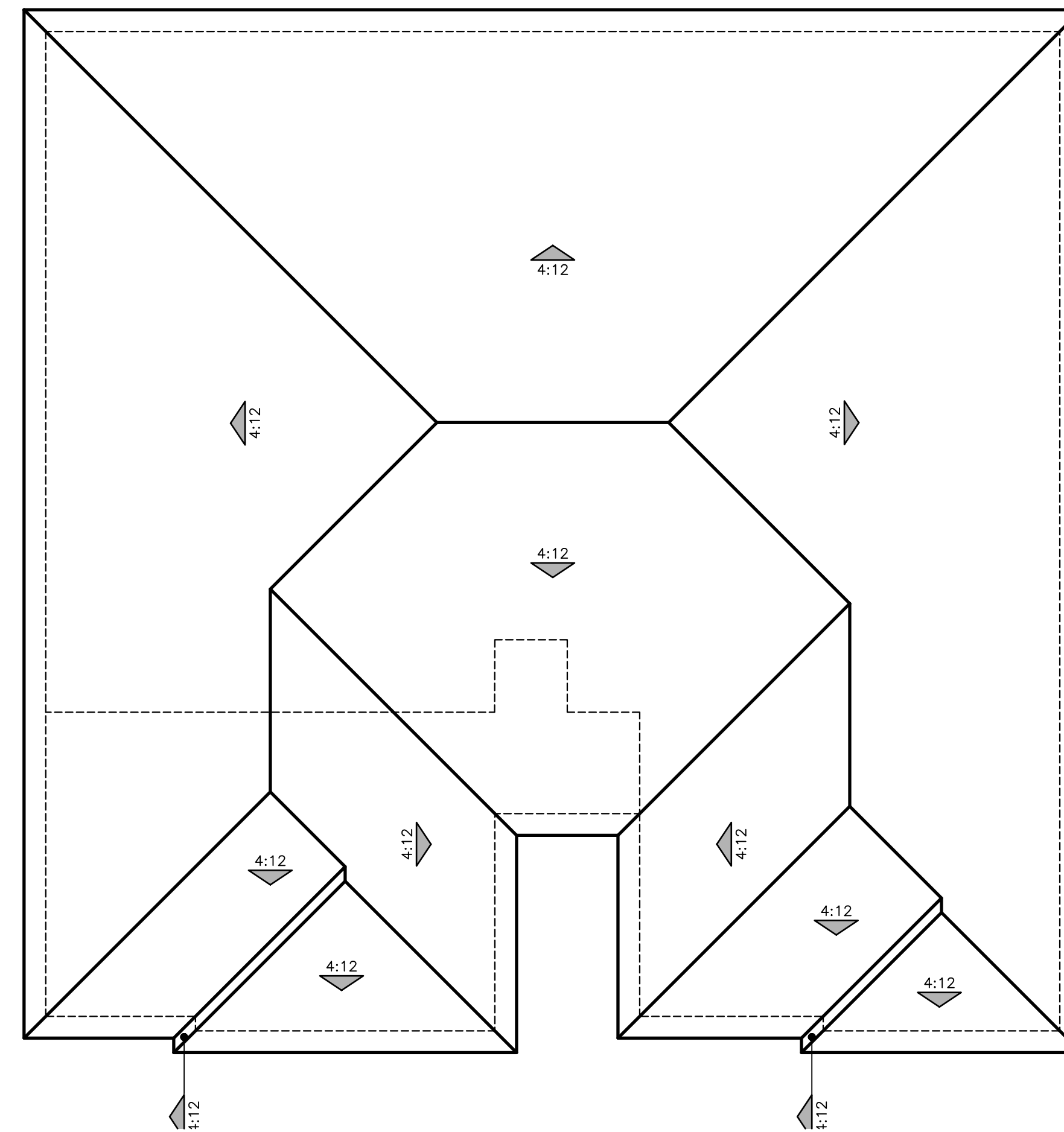
03/26/2025  
A-32

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#24049  
PLANNING + ARCHITECTURE





"A" - ADOBE RANCH

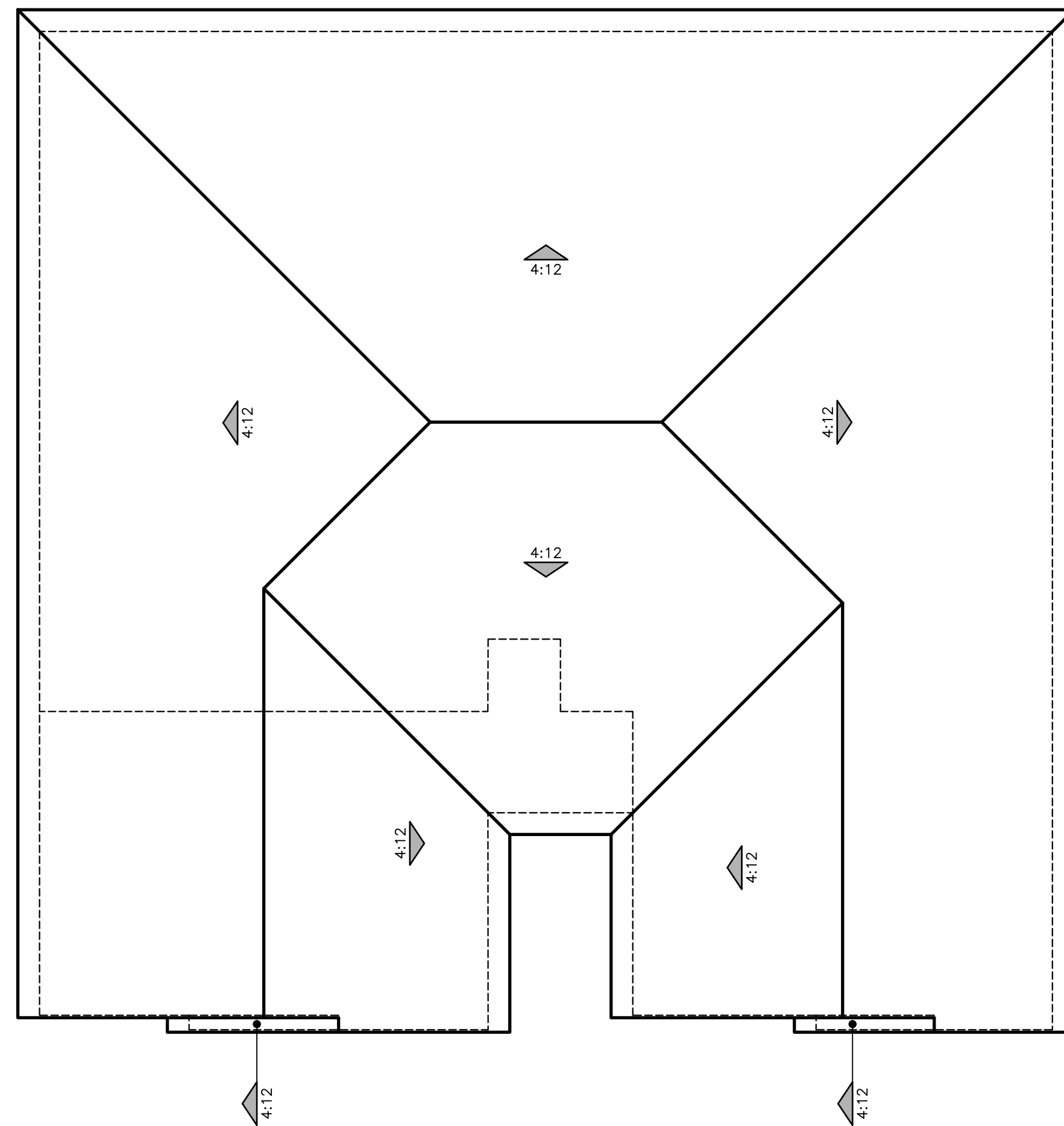


"B" - SPANISH COLONIAL

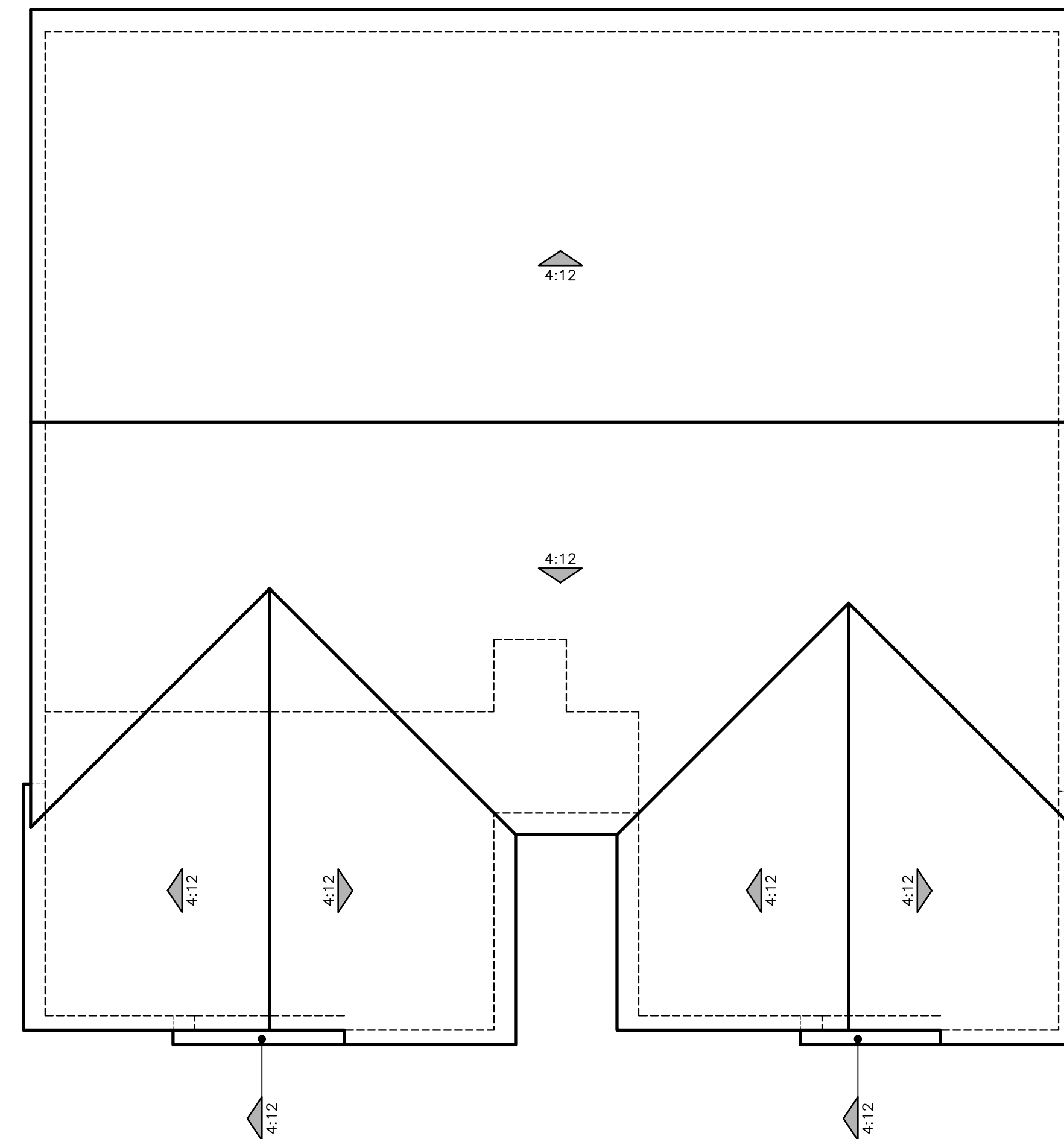
ROOF PLANS  
PLAN 3

0 2 4 8 12





"C" - SANTA BARBARA



"D" - CRAFTSMAN

ROOF PLANS  
PLAN 3

0 2 4 8 12



HAVEN AT COVENANT POINT  
LOMA LINDA, CA

PROJECT 24049  
CREATED 9/18/24  
Planning Rev. 11/13/24  
Planning Rev. 12/5/24  
Planning Rev. 1/13/25

"A" ELEVATIONS ADOBE RANCH	SCHEME 1	SCHEME 2	SCHEME 3
STUCCO	1512	1513	1629
STUCCO PAINT MATCH***	SW7558 MEDICI IVORY	SW7688 SUNDEW	SW9116 SERENGETI GRASS
FASCIA / TRIM	SW7005 PURE WHITE	SW7006 EXTRA WHITE	SW7005 PURE WHITE
LAP SIDING / GARAGE DOOR	SW7705 WHEAT PENNY	SW6172 HARDWARE	SW7005 PURE WHITE
FRONT DOOR / SHUTTERS	SW7675 SEALSKIN	SW2837 AURORA BROWN	SW7048 URBANE BRONZE
ROOF: FLAT SLATE	1FSCS3184 RUSTIC BRWN BLD	1FQCY3181 SMOKEY TOPAZ BLD	1FSCS1132 CHARCOAL BRWN BLD
STONE: (DRystack INSTALLATION)	CLIFFSTONE CAMBRIA	CLIFFSTONE LANTANA	CLIFFSTONE MONTECITO

"B" ELEVATIONS SPANISH COLONIAL	SCHEME 4	SCHEME 5	SCHEME 6
STUCCO	1502	1557	1531
STUCCO PAINT MATCH***	SW7571 CASA BLANCA	SW7573 EAGLET BEIGE	SW7691 BILTMORE BUFF
FASCIA / TRIM	SW7549 STUDIO TAUPE	SW7533 KHAKI SHADE	SW2820 DOWNING EARTH
GARAGE DOOR	SW6152 SUPERIOR BRONZE	SW7525 TREE BRANCH	SW7105 PAPERWHITE
FRONT DOOR / SHUTTERS	SW0045 ANTIQUARIAN BROWN	SW6047 HOT COCOA	SW0041 DARD HUNTER GREEN
ROOF: "S" TILE VILLA	1VICS6464 CALIFORNIA MISS BLD	1VICS0431 APPLE BARK	1VICS6169 CASA GRANDE BLD
BRICK:	TUNDRA LATIGO	TUNDRA HARTFORD	TUNDRA RIVERBED
GROUT	MAC MISTY COVE	MAC MISTY COVE	MAC MISTY COVE

"C" ELEVATIONS SANTA BARBARA	SCHEME 7	SCHEME 8	SCHEME 9
STUCCO	1572	1579	1501
STUCCO PAINT MATCH***	SW7006 EXTRA WHITE	SW7532 URBAN PUTTY	SW7008 ALABASTER
FASCIA / TRIM / GARAGE DOOR	SW7514 FOOTHILLS	SW6152 SUPERIOR BRONZE	SW7054 OAK LEAF BROWN
ARCHED TRIM	SW7506 LOGGIA	SW7534 OUTERBANKS	SW7052 GRAY AREA
FRONT DOOR / SHUTTERS	SW7580 CARNELIAN	SW7048 URBANE BRONZE	SW6230 RAINSTORM
GABLE END DETAIL	SW6061 TANBARK	SW6061 TANBARK	SW6061 TANBARK
WROUGHT IRON	SW6990 CAVIAR	SW6990 CAVIAR	SW6990 CAVIAR
ROOF: LOW PROFILE "S" VILLA	1VICS6169 CASA GRANDE BLD	1VICS0413 APPLE BARK	1VICS3940 CLIFFSIDE
DECORATIVE TILE: SANTA BARBARA	MANZANILLA 2 GLOSS ITEM #30984	OLIVE ALAMEDA ITEM #20165	MANZANILLA 1 GLOSS ITEM #30983

"D" ELEVATIONS CRAFTSMAN	SCHEME 10	SCHEME 11	SCHEME 12
STUCCO	1535	1627	1582
STUCCO PAINT MATCH *	SW9152 LET IT RAIN	SW7038 TONY TAUPE	SW7502 DRY DOCK
FASCIA / TRIM / GARAGE DOOR	SW7006 EXTRA WHITE	SW7000 IBIS WHITE	SW7006 EXTRA WHITE
BOARD & BATTEN	SW7069 IRON ORE	SW6005 FOLKSTONE	SW7006 EXTRA WHITE
FRONT DOOR / SHUTTERS	SW0006 TOILE RED	SW7630 RAISIN	SW6167 GARDEN GATE
ROOF: FLAT SHAKE	1FBCJ1430 CHARCOAL BLEND	1FBCJ1132 CHARCOAL BRWN BLD	1FBCJ3233 BROWN BLEND
STONE: DRYSTACK INSTALLATION	STACKED STONE DARK RUNDLE	STACKED STONE SANTA FE	STACKED STONE SANTA FE
GROUT:	MAC MISTY COVE	MAC MISTY COVE	MAC MISTY COVE

\*\* FOR PHOTOSHOP & RENDERING PURPOSES ONLY. DO NOT USE IN THE FIELD  
TODAS LAS TAPAJUNTAS, CAJALERAS, CAJALONES, ETC.SERAN PINTADOS PARA IGUALAR A LA SUPERFICIE DE JUNTO  
TODAS LAS RESTAURAS DE PINTURA SE CORTARAN EN LAS ESQUINAS INTERIORES  
\*\*SOLO PARA FINES DE PHOTOSHOP Y REPRESENTACIONES, NO USAR EN EL CAMPO

STUCCO:	OMEGA
PAINT:	SHERWIN WILLIAMS
ROOF:	NEWPOINT
veneER:	ELDORADO
DECORATIVE TILE:	TIERRA Y FUEGO
GROUT:	ORCO or EQUAL



"A" ELEVATIONS  
ADOBE RANCH



"B" ELEVATIONS  
SPANISH COLONIAL



"C" ELEVATIONS  
SANTA BARBARA



"D" ELEVATIONS  
CRAFTSMAN

TRUMARKHOMES  
Kevin L. Crook  
Architect  
Inc  
PLANNING + ARCHITECTURE

WRITTEN COLOR SCHEMES

TRUMARKHOMES

Haven AT COVENANT POINT  
LOMA LINDA, CA

03/26/2025  
A-35

Kevin L. Crook  
Architect  
Inc  
PLANNING + ARCHITECTURE  
#24049



ADOBE RANCH  
SCHEME #1

STUCCO BODY

CONCRETE ROOF

FASCIA / TRIM

LAP SIDING /  
GARAGE DOOR

FRONT DOOR /  
SHUTTERS

STONE

TRUMARKHOMES

HAVEN AT COVENANT POINT  
LOMA LINDA, CA

#24049  
SEPT. 18, 2024

Kevin L. Crook  
Architect  
Inc  
PLANNING + ARCHITECTURE

ADOBE RANCH  
SCHEME #2

STUCCO BODY

CONCRETE ROOF

FASCIA / TRIM

LAP SIDING /  
GARAGE DOOR

FRONT DOOR /  
SHUTTERS

STONE

TRUMARKHOMES

HAVEN AT COVENANT POINT  
LOMA LINDA, CA

#24049  
SEPT. 18, 2024

Kevin L. Crook  
Architect  
Inc  
PLANNING + ARCHITECTURE

ADOBE RANCH  
SCHEME #3

STUCCO BODY

CONCRETE ROOF

FASCIA / TRIM

LAP SIDING /  
GARAGE DOOR

FRONT DOOR /  
SHUTTERS

STONE

TRUMARKHOMES

HAVEN AT COVENANT POINT  
LOMA LINDA, CA

#24049  
SEPT. 18, 2024

Kevin L. Crook  
Architect  
Inc  
PLANNING + ARCHITECTURE

COLOR BOARDS - “A” ADOBE RANCH



SPANISH COLONIAL  
SCHEME #4

STUCCO BODY

FASCIA / TRIM

GARAGE DOOR

FRONT DOOR / SHUTTERS

CONCRETE ROOF

BRICK

TRUMARKHOMES

HAVEN AT COVENANT POINT  
LOMA LINDA, CA

#24049  
SEPT. 18, 2024

Kevin L. Crook  
Architect Inc  
PLANNING + ARCHITECTURE

SPANISH COLONIAL  
SCHEME #5

STUCCO BODY

FASCIA / TRIM

GARAGE DOOR

FRONT DOOR / SHUTTERS

CONCRETE ROOF

BRICK

TRUMARKHOMES

HAVEN AT COVENANT POINT  
LOMA LINDA, CA

#24049  
SEPT. 18, 2024

Kevin L. Crook  
Architect Inc  
PLANNING + ARCHITECTURE

SPANISH COLONIAL  
SCHEME #6

STUCCO BODY

FASCIA / TRIM

GARAGE DOOR

FRONT DOOR / SHUTTERS

CONCRETE ROOF

BRICK

TRUMARKHOMES

HAVEN AT COVENANT POINT  
LOMA LINDA, CA

#24049  
SEPT. 18, 2024

Kevin L. Crook  
Architect Inc  
PLANNING + ARCHITECTURE

COLOR BOARDS - "B" SPANISH COLONIAL



SANTA BARBARA  
SCHEME #7

STUCCO BODY

CONCRETE ROOF

FASCIA / TRIM / GARAGE DOOR

ARCHED TRIM

FRONT DOOR / SHUTTERS

GABLE END DETAIL

WROUGHT IRON

DECORATIVE TILE

TRUMARKHOMES

HAVEN AT COVENANT POINT  
LOMA LINDA, CA

#24049  
SEPT. 18, 2024

Kevin L. Crook  
Architect Inc  
PLANNING + ARCHITECTURE

SANTA BARBARA  
SCHEME #8

STUCCO BODY

CONCRETE ROOF

FASCIA / TRIM / GARAGE DOOR

ARCHED TRIM

FRONT DOOR / SHUTTERS

GABLE END DETAIL

WROUGHT IRON

DECORATIVE TILE

TRUMARKHOMES

HAVEN AT COVENANT POINT  
LOMA LINDA, CA

#24049  
SEPT. 18, 2024

Kevin L. Crook  
Architect Inc  
PLANNING + ARCHITECTURE

SANTA BARBARA  
SCHEME #9

STUCCO BODY

CONCRETE ROOF

FASCIA / TRIM / GARAGE DOOR

ARCHED TRIM

FRONT DOOR / SHUTTERS

GABLE END DETAIL

WROUGHT IRON

DECORATIVE TILE

TRUMARKHOMES

HAVEN AT COVENANT POINT  
LOMA LINDA, CA

#24049  
SEPT. 18, 2024

Kevin L. Crook  
Architect Inc  
PLANNING + ARCHITECTURE

COLOR BOARDS - "C" SANTA BARBARA



CRAFTSMAN  
SCHEME #10

STUCCO BODY

FASCIA / TRIM /  
GARAGE DOOR

BOARD & BATTEN  
SIDING

FRONT DOOR /  
SHUTTERS

CONCRETE ROOF

STONE

TRUMARKHOMES

CANYON RANCH 20000'S  
LOMA LINDA / REDLANDS, CA

#24049  
DEC. 5, 2024

Kevin L. Crook  
Architect  
Inc  
PLANNING + ARCHITECTURE

CRAFTSMAN  
SCHEME #11

STUCCO BODY

FASCIA / TRIM /  
GARAGE DOOR

BOARD & BATTEN  
SIDING

FRONT DOOR /  
SHUTTERS

CONCRETE ROOF

STONE

TRUMARKHOMES

CANYON RANCH 20000'S  
LOMA LINDA / REDLANDS, CA

#24049  
SEPT. 18, 2024

Kevin L. Crook  
Architect  
Inc  
PLANNING + ARCHITECTURE

CRAFTSMAN  
SCHEME #12

STUCCO BODY

FASCIA / TRIM /  
GARAGE DOOR

BOARD & BATTEN  
SIDING

FRONT DOOR /  
SHUTTERS

CONCRETE ROOF

STONE

TRUMARKHOMES

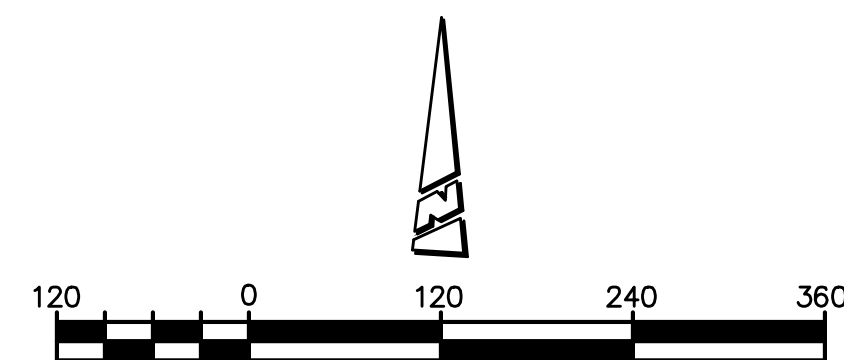
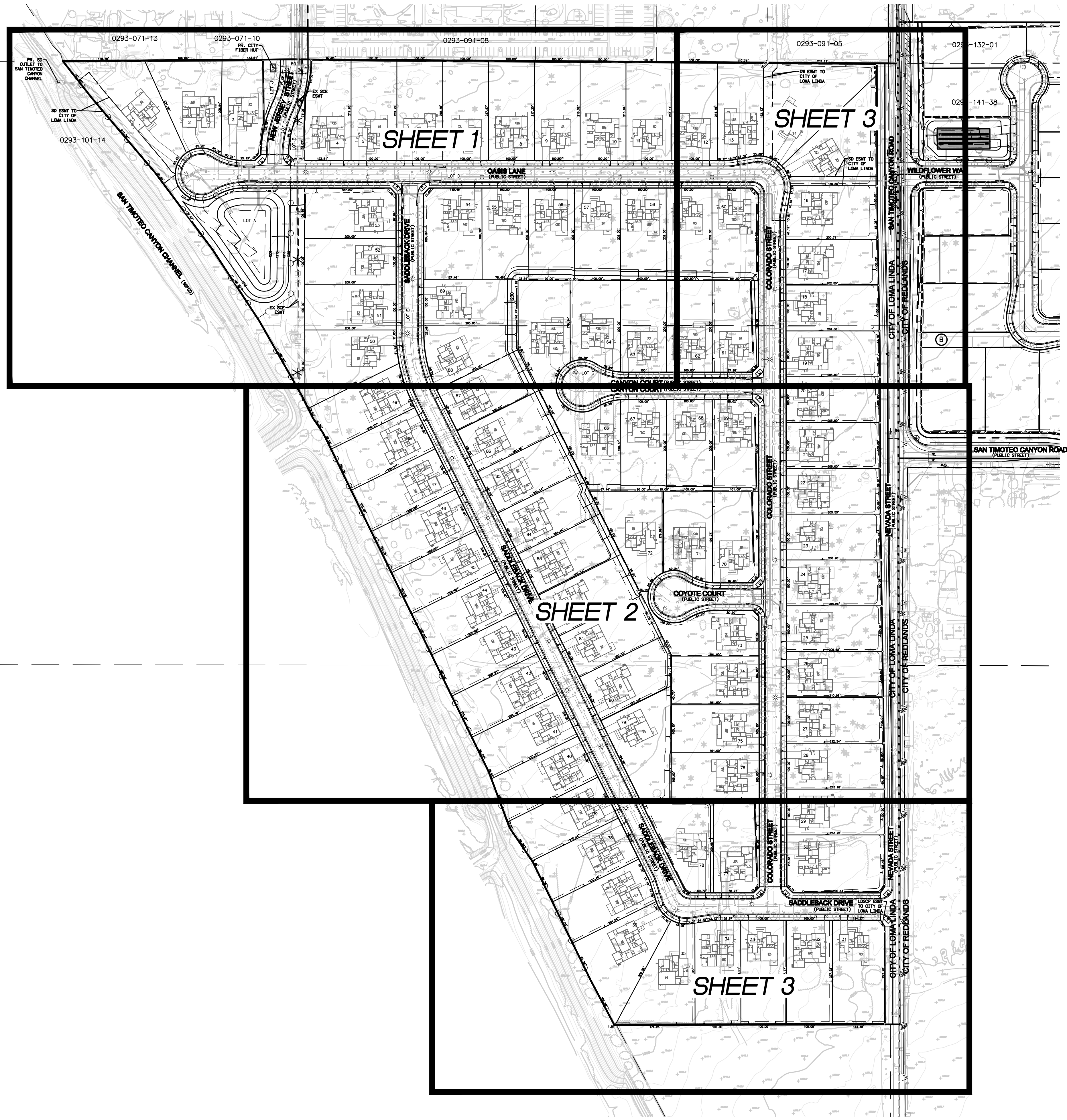
CANYON RANCH 20000'S  
LOMA LINDA / REDLANDS, CA

#24049  
SEPT. 18, 2024

Kevin L. Crook  
Architect  
Inc  
PLANNING + ARCHITECTURE

COLOR BOARDS - "D" CRAFTSMAN





PLANS PREPARED  
UNDER THE SUPERVISION OF:

SCOTT P. GILBERT  
R.C.E. #65194

DATE



PREPARED BY:

**PROACTIVE**  
ENGINEERING CONSULTANTS  
WWW.PROACTIVEENGINEERING.NET  
200 South Main Street, Corona, CA 92882 Suite 300  
951-280-3300

SCALE: 1"=120'  
DESIGN: AMG  
DRAWN: AMG  
CHECKED: SG  
APPROVED:



CITY OF LOMA LINDA  
TR 20404 COVENANT POINT SITE PLAN  
20,000 SQ FT MIN LOTS  
SITE PLAN INDEX

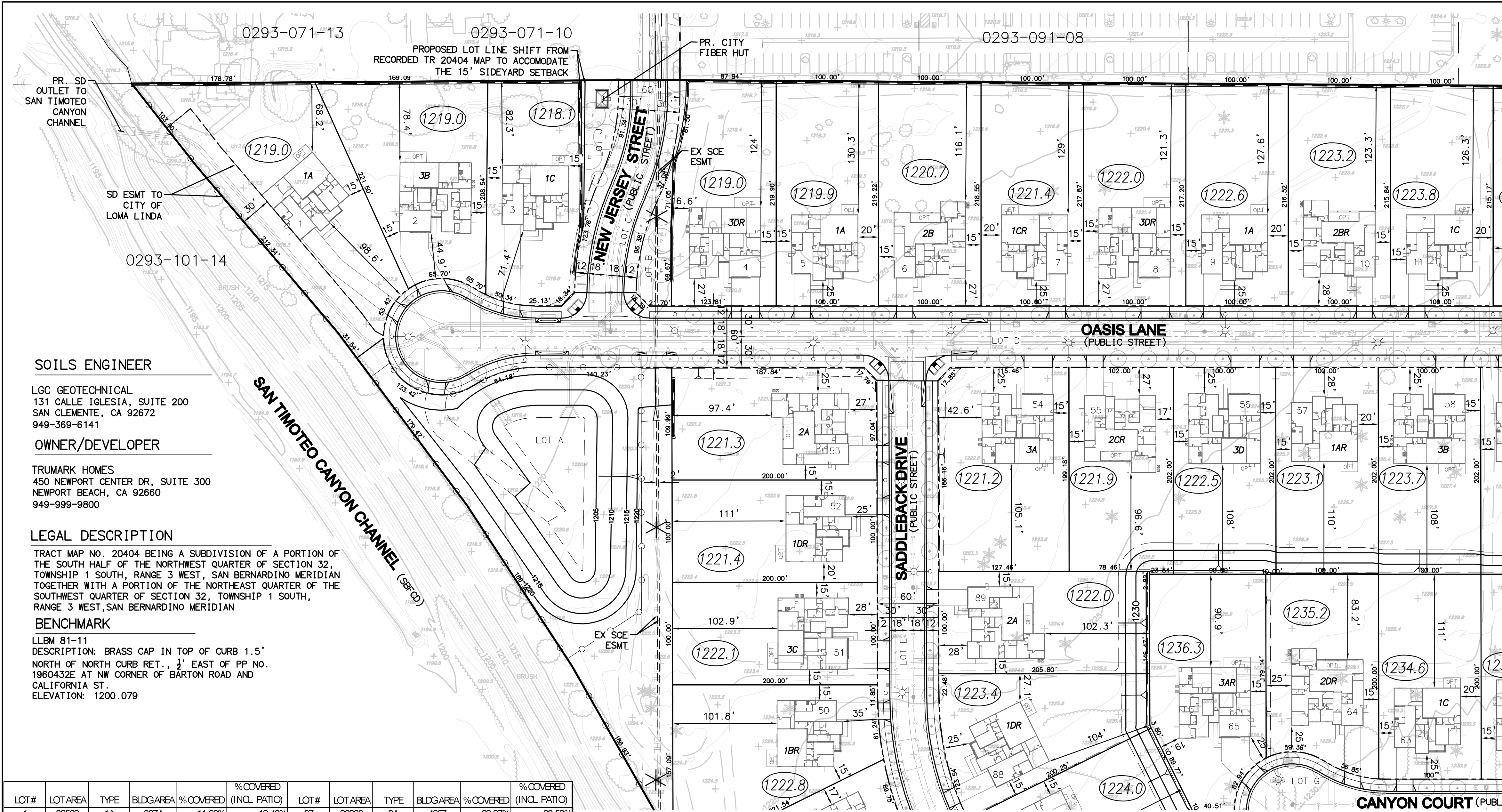
APRIL 2025

SHEET NO.

OF

PROJECT NO.





SEE SHEET 3

SOILS ENGINEER

LGC GEOTECHNICAL  
131 CALLE IGLESIA, SUITE 200  
SAN CLEMENTE, CA 92672  
949-369-6141

OWNER/DEVELOPER

TRUMARK HOMES  
450 NEWPORT CENTER DR, SUITE 300  
NEWPORT BEACH, CA 92660  
949-999-9800

LEGAL DESCRIPTION

TRACT MAP NO. 20404 BEING A SUBDIVISION OF A PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 1 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN TOGETHER WITH A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 1 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN

BENCHMARK

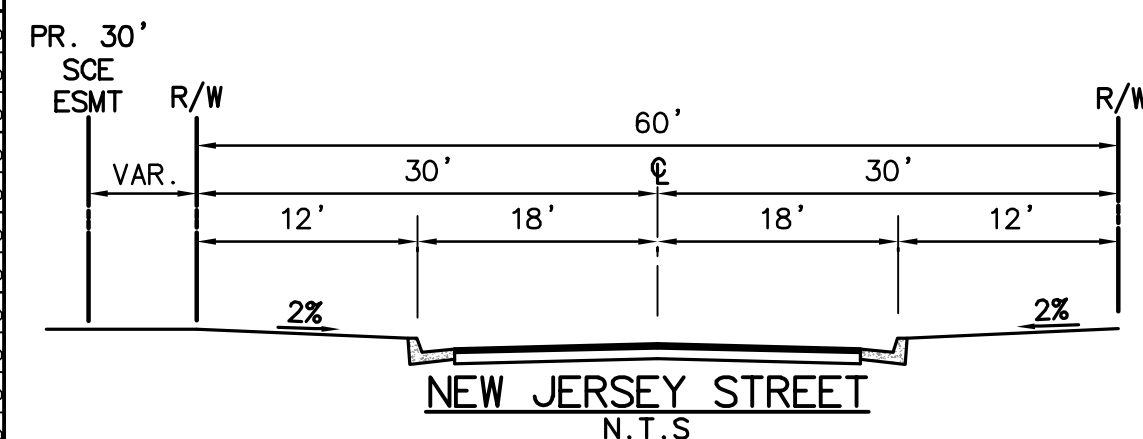
LLBM 81-11  
DESCRIPTION: BRASS CAP IN TOP OF CURB 1.5' NORTH OF NORTH CURB RET. . 1' EAST OF PP NO. 1960432E AT NW CORNER OF BARTON ROAD AND CALIFORNIA ST.  
ELEVATION: 1200.079

LOT#	LOT AREA	TYPE	BLDG AREA	% COVERED	(INCL. PATIO)	LOT#	LOT AREA	TYPE	BLDG AREA	% COVERED	(INCL. PATIO)
1	32562	1A	3874	11.90%	12.40%	37	20908	3A	4657	22.27%	23.52%
2	24354	3B	4657	19.12%	20.19%	38	21021	3BR	4657	22.15%	23.39%
3	19779	1C	3874	19.59%	20.42%	39	21702	2C	4396	20.26%	21.62%
4	21976	3DR	4657	21.19%	22.37%	40	21553	3DR	4657	21.61%	22.81%
5	21955	1A	3874	17.64%	18.40%	41	20860	1A	3874	18.57%	19.36%
6	21888	2B	4396	20.09%	21.44%	42	20790	3DR	4657	22.40%	23.65%
7	21820	1CR	3874	17.75%	18.51%	43	20732	1C	3874	18.69%	19.48%
8	21753	3DR	4657	21.41%	22.60%	44	20674	2DR	4396	21.26%	22.70%
9	21685	1A	3874	17.89%	18.62%	45	20616	1C	3874	18.79%	19.59%
10	21618	2BR	4396	20.34%	21.71%	46	20558	2BR	4396	21.38%	22.63%
11	21550	1C	3874	17.98%	18.74%	47	20500	3C	4657	22.72%	23.99%
12	21483	2DR	4396	20.48%	21.84%	48	20442	2DR	4396	21.51%	22.96%
13	21036	3A	4657	22.14%	23.37%	49	21395	3A	4657	21.77%	22.98%
14	34369	1BR	3874	11.27%	11.75%	50	25081	1BR	3874	15.45%	16.10%
15	29243	1C	3874	13.25%	13.61%	51	20000	3C	4657	23.29%	24.59%
16	22982	3DR	4657	20.28%	21.40%	52	20000	1DR	3874	19.37%	20.20%
17	20163	2AR	4396	21.80%	23.27%	53	21919	2A	4396	20.06%	21.41%
18	20346	1B	3874	19.04%	19.85%	54	25332	3A	4657	18.38%	19.41%
19	20490	2CR	4396	21.48%	22.90%	55	20383	2CR	4396	21.57%	23.02%
20	20500	3D	4657	22.72%	23.98%	56	20200	3D	4657	23.05%	24.34%
21	20500	2AR	4396	21.44%	22.89%	57	20200	1AR	3874	19.18%	19.99%
22	20511	3B	4657	22.70%	23.97%	58	20200	3B	4657	23.05%	24.34%
23	20622	1CR	3874	18.79%	19.59%	59	20200	1CR	3874	19.18%	19.99%
24	20758	3D	4657	22.43%	23.69%	60	20318	2CR	4396	21.64%	23.10%
25	20694	1DR	3874	18.54%	19.33%	61	20115	1A	3874	19.26%	20.08%
26	21030	2B	4396	20.90%	22.32%	62	20000	3BR	4657	23.29%	24.59%
27	21166	3CR	4657	22.00%	23.23%	63	19999	1C	3874	19.37%	20.20%
28	21292	1DR	3874	18.19%	18.97%	64	20294	2DR	4396	21.69%	23.16%
29	21321	2AR	4396	20.62%	22.01%	65	23281	3AR	4657	20.00%	21.12%
30	26832	3B	4657	17.38%	18.33%	66	22569	3B	4657	20.61%	21.76%
31	25657	1CR	3874	14.92%	15.56%	67	19999	2CR	4396	21.98%	23.47%
32	22765	2B	4396	19.31%	20.61%	68	20000	1D	3874	19.37%	20.20%
33	22790	1DR	3874	17.00%	17.72%	69	20116	2BR	4396	21.85%	23.33%
34	22693	3B	4657	20.52%	21.67%	70	20115	1B	3874	19.26%	20.08%
35	25455	1A	3874	15.22%	15.87%	71	20286	3CR	4657	22.98%	24.26%
36	26972	2DR	4396	16.30%	17.40%	72	21825	1BR	3874	17.75%	18.51%

LOT#	LOT AREA	TYPE	BLDG AREA	% COVERED	(INCL. PATIO)
73	20014	2A	4396	21.97%	23.45%
74	20000	3DR	4657	23.29%	24.59%
75	20000	2B	4396	21.98%	23.46%
76	20000	3AR	4657	23.29%	24.59%
77	20007	2A	4396	21.97%	23.46%
78	21996	1BR	3874	17.61%	18.36%
79	25320	1C	3874	15.30%	15.95%
80	20572	2DR	4396	21.37%	22.81%
81	20178	1A	3874	19.20%	20.02%
82	20149	2BR	4396	21.82%	23.29%
83	20119	3C	4657	23.15%	24.44%
84	20089	2DR	4396	21.88%	23.36%
85	20060	3A	4657	23.22%	24.51%
86	20030	1BR	3874	19.34%	20.16%
87	20000	3C	4657	23.29%	24.59%
88	20225	1DR	3874	19.15%	19.97%
89	20586	2A	4396	21.36%	22.80%

SUBTOTAL	1928619				
LOTA	64207		N/A		
LOTB	3149		N/A		
LOTC	12823		N/A		
LOTD	86254		N/A		
LOTE	129765		N/A		
LOTF	90910		N/A		
LOTG	29632		N/A		
LOTH	17638		N/A		
LOTI	80281		N/A		
LOTJ	3391		N/A		
SUBTOTAL	521051				
TOTAL	2447670				

SEE SHEET 2

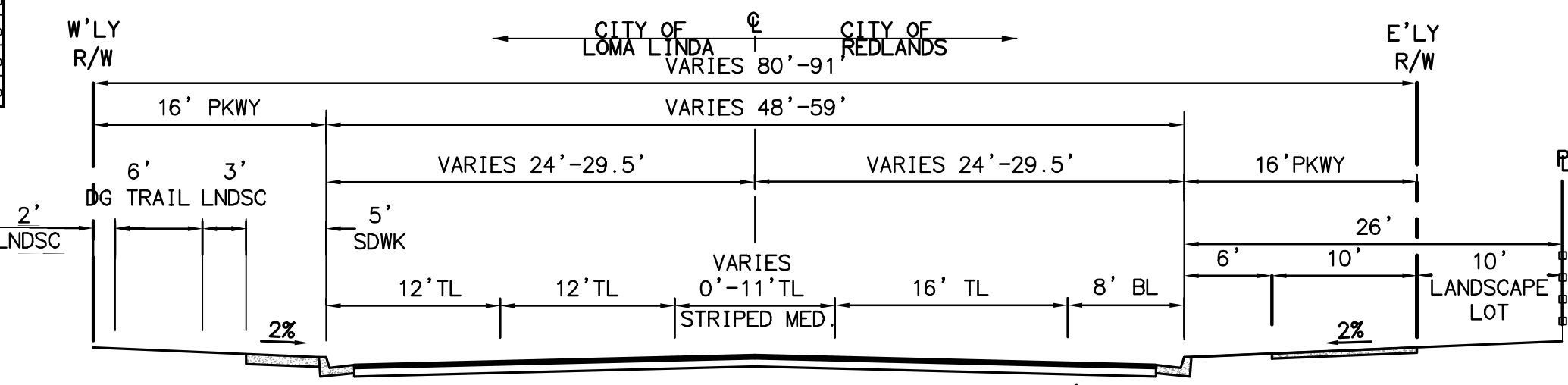


PROPOSED SITE INFORMATION

NUMBER OF LOTS: 89  
SITE ACREAGE: 56.19 AC  
PROPOSED DENSITY: 1.58 DU/AC  
RESIDENTIAL & STREET ACREAGE: 54.72 AC (97.4%)  
DETENTION BASIN ACREAGE (LOT A): 1.47 AC (2.6%)  
LOT SIZES: 20,000 SF MIN  
LOT DIMENSIONS: 100 FT X 200 FT MIN  
LANDSCAPE ACREAGE: 2.92 AC (5.2%)\*  
\* PERCENTAGE OF TOTAL SITE ACREAGE

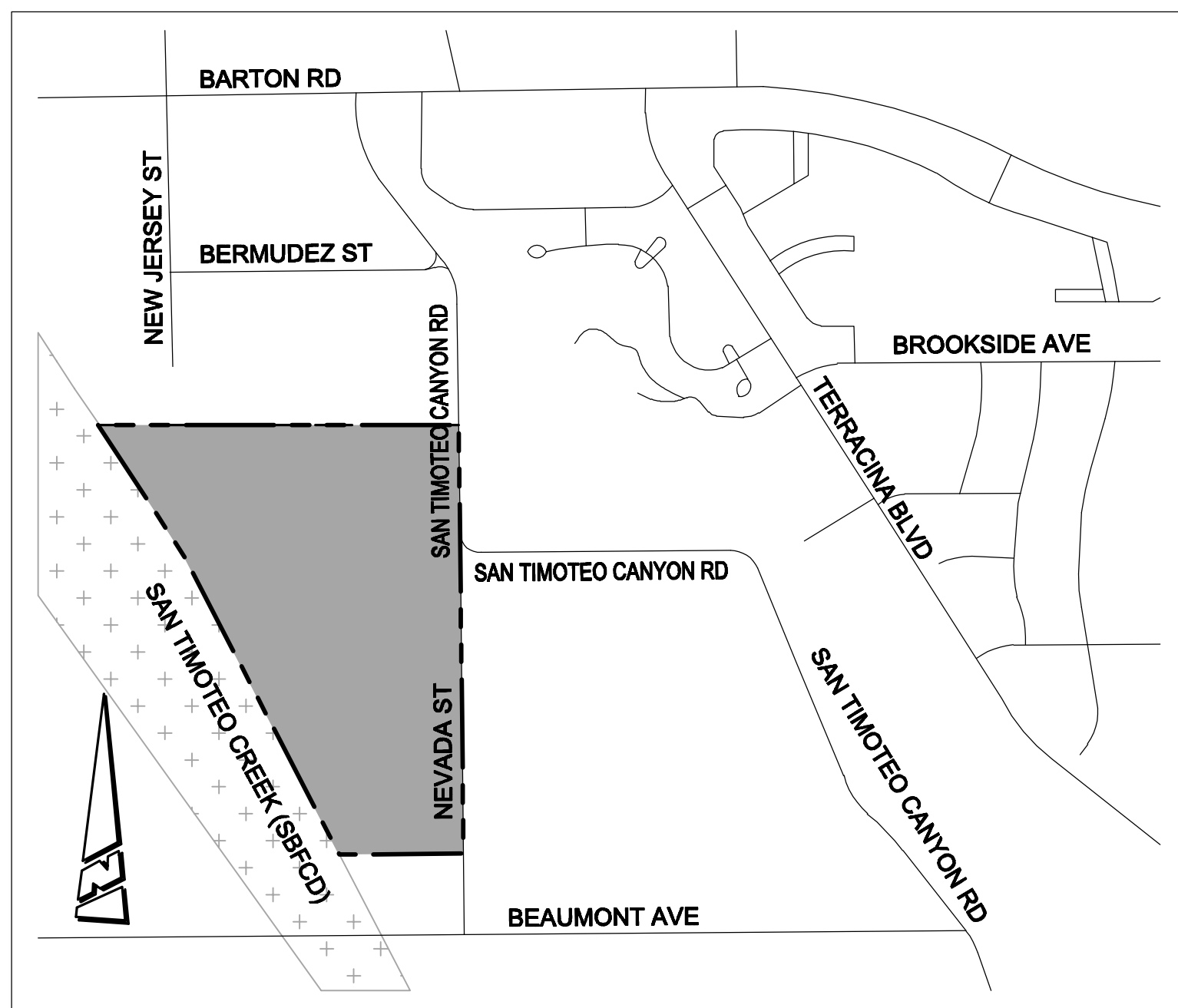
EXISTING SITE INFORMATION

CURRENT LAND USE: AGRICULTURAL  
APN #: 0293-111-18, 0293-111-19, 0293-111-21, 0293-101-08, 0293-101-11, 0293-101-13  
EXISTING ZONING: HILLSIDE RESIDENTIAL-VERY LOW DENSITY (HR-VL)  
GENERAL PLAN: HILLSIDE RESIDENTIAL-VERY LOW DENSITY (HR-VL)  
EX ADJACENT LAND USE: GENERAL COMMERCIAL, LOW DENSITY RESIDENTIAL



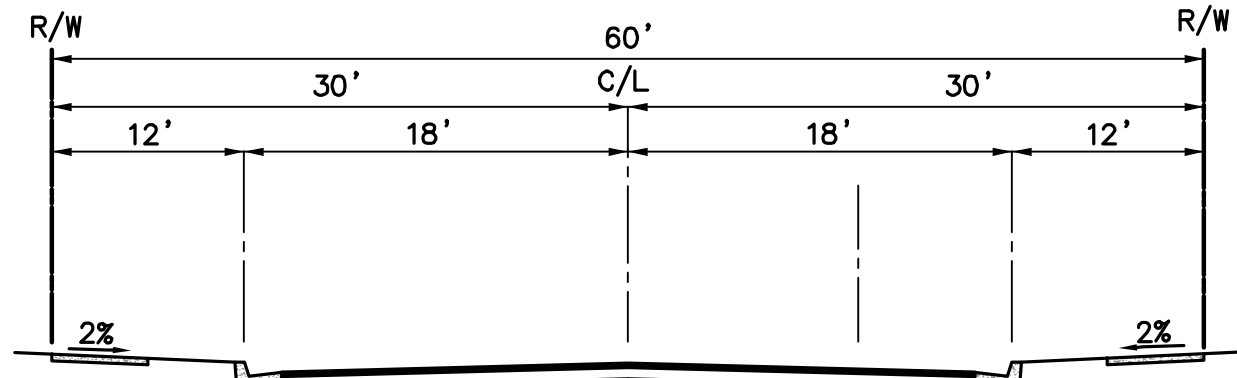
RURAL ARTERIAL - SAN TIMOTEO CANYON ROAD NORTH/SOUTH

STREET SECTION PER CITY OF REDLANDS STD. DWG. NO. 701-0 (EAST OF CENTERLINE)  
STREET SECTION PER CITY OF LOMA LINDA STD. DWG. NO. R-1 (WEST OF CENTERLINE)  
N.T.S.



VICINITY MAP

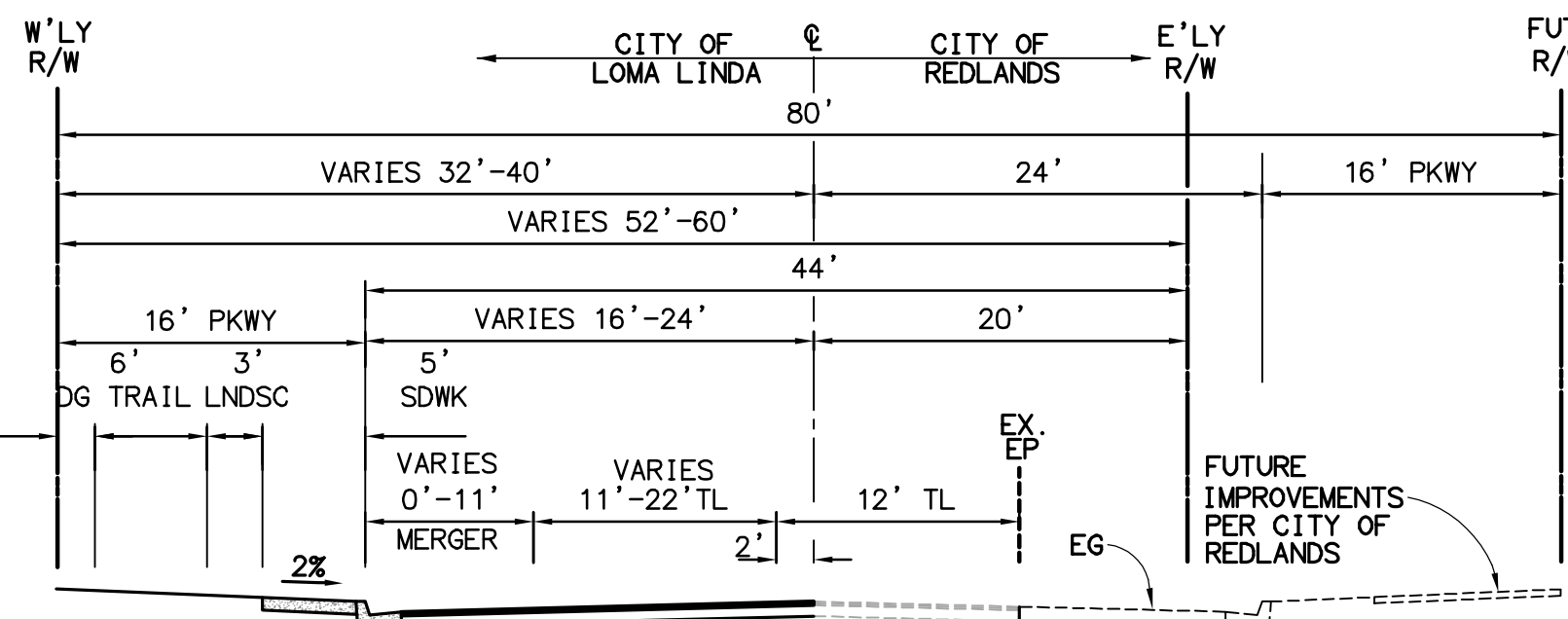
NTS



INTERIOR PUBLIC STREETS

LOCAL STREET (STANDARD)

OASIS LN, CANYON CT, COLORADO ST, COYOTE CT, SADDLEBACK DR  
N.T.S.



RURAL ARTERIAL - NEVADA STREET

MODIFIED LOMA LINDA STANDARD (R-1)  
N.T.S.

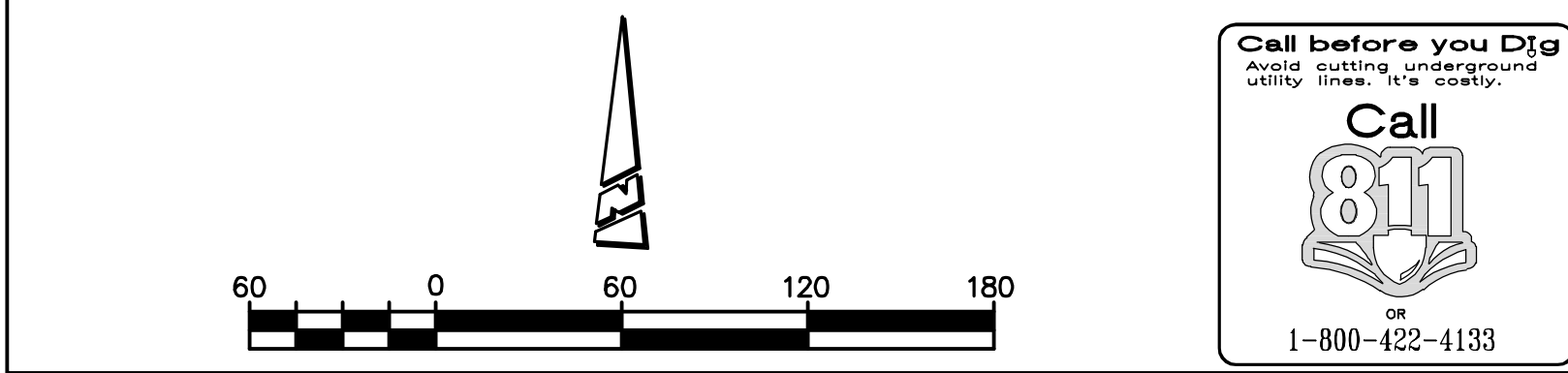
LEGEND

- TRACT BOUNDARY
- PR. RIGHT-OF-WAY
- PR. LOT LINE
- CITY BOUNDARY
- EX. POWER POLE (APPROXIMATE LOCATION)
- PR. TUBE STEEL FENCE
- PR. BLOCK WALL
- PR. STREET LIGHT
- OPTIONAL BACKYARD PATIO

PUBLIC UTILITY COMPANIES

SEWER: CITY OF LOMA LINDA PUBLIC WORKS  
26000 BARTON RD  
LOMA LINDA, CA 92354  
PHONE: 1 (909) 799-4400  
WATER: CITY OF LOMA LINDA PUBLIC WORKS  
26000 BARTON RD  
LOMA LINDA, CA 92354  
PHONE: 1 (909) 799-4400  
ELECTRIC: SOUTHERN CALIFORNIA EDISON  
2244 WALNUT GROVE AVENUE  
ROSEMEAD, CA 91770  
PHONE: 1 (800) 655-4555  
GAS: THE SOUTHERN CALIFORNIA GAS CO.  
196 E 3RD ST.  
POMONA, CA 91766  
PHONE: 1 (800) 427-2200  
CABLE: SPECTRUM  
400 ATLANTIC ST. FL 10.  
STAMFORD, CT 06901  
PHONE: 1 (855) 470-3572  
TELEPHONE: FRONTIER COMMUNICATIONS  
401 MERRITT 7  
NORWALK, CT 06851  
PHONE: 1 (855) 237-5355

APRIL 2025



Call before you Dig  
Avoid cutting underground utility lines. It's costly.  
Call  
811  
OR  
1-800-422-4133

PLANS PREPARED UNDER THE SUPERVISION OF:

SCOTT P. GILBERT  
R.C.E. #65194

DATE



PREPARED BY:

**PROACTIVE**  
ENGINEERING CONSULTANTS  
WWW.PROACTIVEENGINEERING.NET  
200 South Main Street, Corona, CA 92882 Suite 300  
951-280-3300

SCALE: 1"=60'

DESIGN: AMG

DRAWN: AMG

CHECKED: SG

APPROVED:



CITY OF LOMA LINDA

TR 20404 COVENANT POINT SITE PLAN  
20,000 SQ FT MIN LOTS

SHEET NO.

1 OF 3

PROJECT NO.



**CANYON COURT (PUBLIC STREET)**



SCOTT P. GILBERT  
R.C.E. #65194

DATE \_\_\_\_\_



SCALE:	1"=60'
DESIGN:	AMG
DRAWN:	AMG
CHECKED:	SG
APPROVED:	



CITY OF LOMA LINDA  
TR 20404 COVENANT POINT SITE PLAN  
20,000 SQ FT MIN LOTS

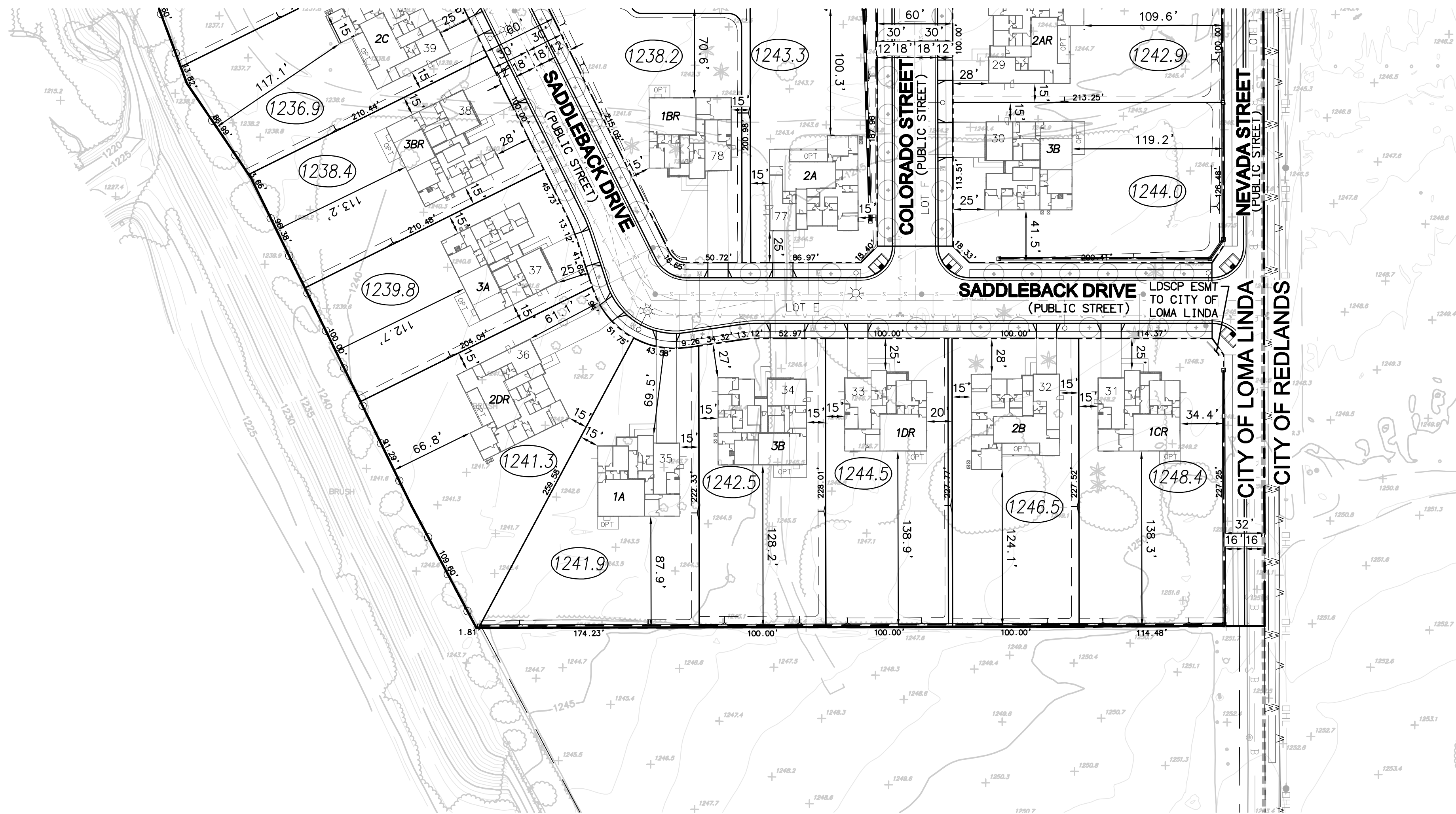
SHEET NO.

2 OF 3

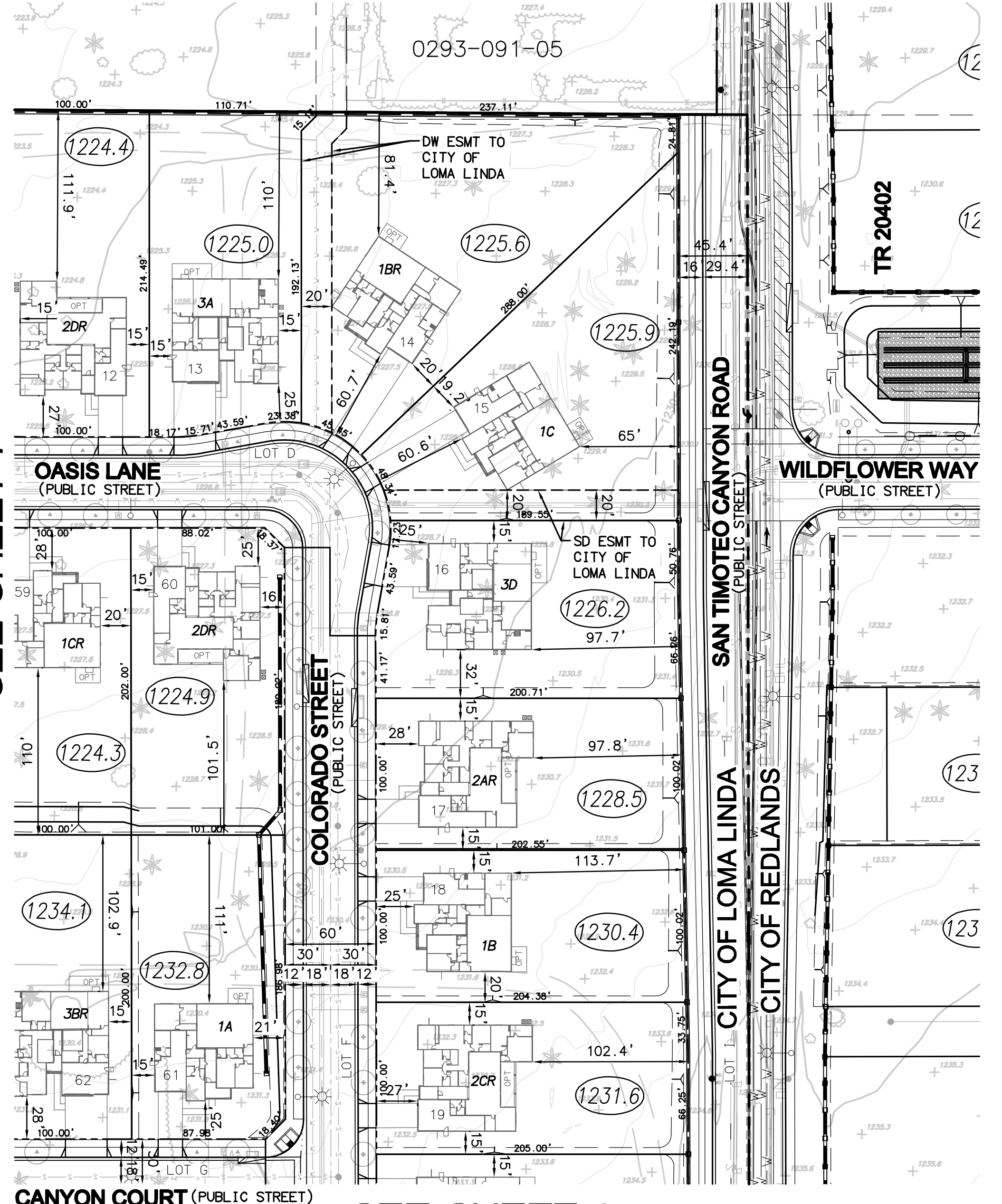
PROJECT NO.



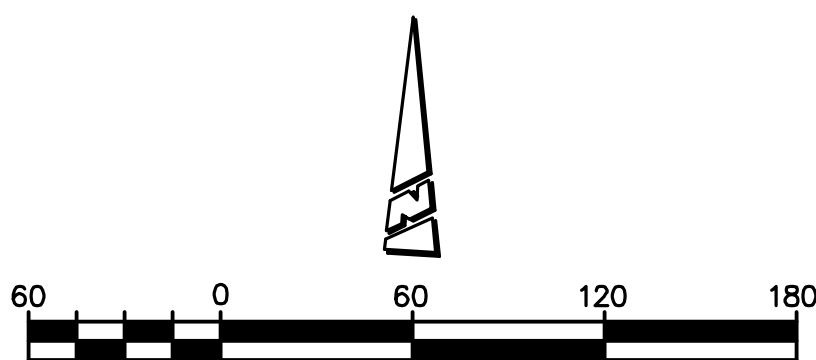
SEE SHEET 2



SEE SHEET 1



SEE SHEET 2



PLANS PREPARED  
UNDER THE SUPERVISION OF:  
  
SCOTT P. GILBERT  
R.C.E. #65194

DATE



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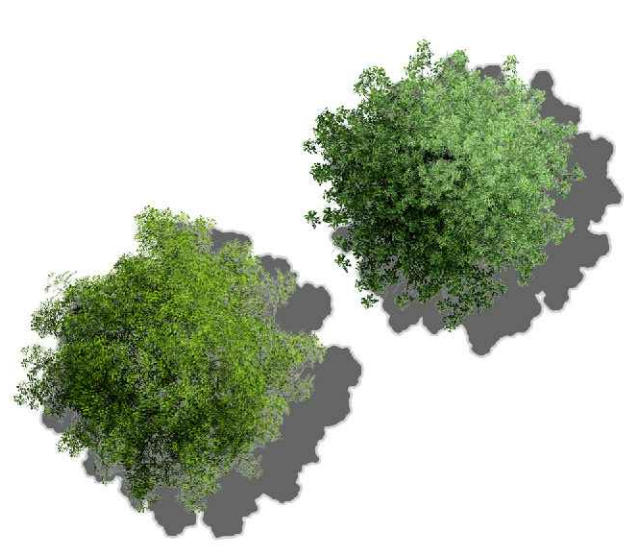
CITY OF LOMA LINDA  
TR 20404 COVENANT POINT SITE PLAN  
20,000 SQ FT MIN LOTS

SHEET NO.  
3 OF 3  
PROJECT NO.



# Canyon Ranch

## Tract 20403



### FRONT YARD TREE PALETTE - 24" BOX

BOTANICAL NAME	COMMON NAME	WUCOLS
TREES		
GEIJERA PARVIFLORA	AUSTRALIAN WILLOW	MED
LAGERSTROEMIA INDICA 'NATCHEZ'	CRAPE MYRTLE	MED
LAURUS NOBILIS 'SARATOGA'	SARATOGA LAUREL	LOW
MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	MED
PHOTINIA FRASERII	PHOTINIA	MED



### FRONT YARD SHRUB PALETTE - 1 GAL / 5 GAL

BOTANICAL NAME	COMMON NAME	WUCOLS
SHRUBS		
CALLISTEMON C. 'LITTLE JOHN'	CALLISTEMON	LOW
DIANELLA LITTLE REV	LITTLE REV FLAX LILY	MED
DIANELLA TASMANICA 'VARIEGATA'	VAR. FLAX LILY	MED
DIETES BICOLOR	FORTNIGHT LILY	MED
FEJOA SELLOWIANA	PINEAPPLE GUAVA	LOW
LEYMUS C. 'CANYON PRINCE'	CAN. PRINCE WILD RYE	LOW
LIGUSTRUM JAPONICUM TEXANUM	WAXLEAF PRIVET	MED
PHOTINIA F. 'LITTLE RED ROBIN'	PHOTINIA	MED
PITTOSPORUM TOBIRA 'VARIEGATA'	VAR. TOBIRA	MED
RHAPHIOLEPIS INDICA 'BALLERINA'	INDIA HAWTHORN	MED
WESTRINGIA WYNYABBIE GEM	COASTAL ROSEMARY	LOW



### PARKWAY TREE PALETTE - 24" BOX

BOTANICAL NAME	COMMON NAME	WUCOLS
TREES		
ARBUTUS MARINA	STRAWBERRY TREE	MED
PYRUS CALLERYANA 'BRADFORD'	BRADFORD PEAR	MED



### PARKWAY SHRUB PALETTE - 1 GAL

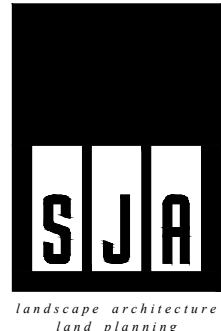
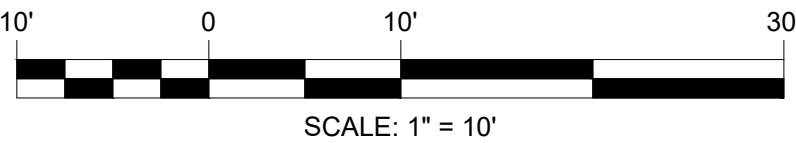
BOTANICAL NAME	COMMON NAME	WUCOLS
SHRUBS		
DIETES BICOLOR	FORTNIGHT LILY	MED
MYPPORUM PAR. 'PINK'	MYOPORUM	LOW
TRACHELOPERMUM ASIATICUM	ASIAN JASMINE	MED



- NOTES:
- ALL LANDSCAPE & IRRIGATION SHALL CONFORM TO THE CITY OF LOMA LINDA LANDSCAPE ORDINANCE AND ALL OTHER LANDSCAPE RELATED REGIONAL STANDARDS.
  - ALL PLANTED AREAS LESS THAN 3:1 SLOPE SHALL RECEIVE 3" DEEP LAYER OF MULCH - FOREST FLOOR BARK. AVAILABLE THRU: AGUINAGA FERTILIZER COMPANY (949) 786-9558, OR APPROVED EQUAL.
  - FOR SOILS LESS THAN SIX-PERCENT (6%) ORGANIC MATTER IN THE TOP SIX (6) INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR (4) CUBIC YARDS PER ONE-THOUSAND (1,000) SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX (6) INCHES INTO THE SOIL.

TRUMARKHOMES

Front Yard Typicals  
Landscape Concept

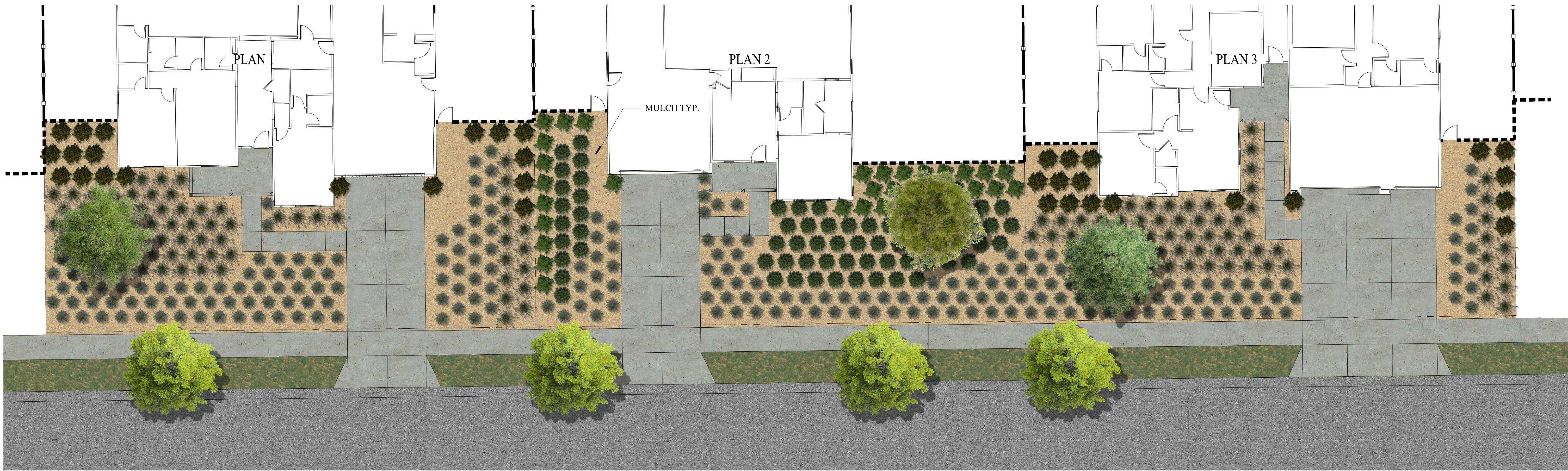


December 7, 2024



# Canyon Ranch

## Tract 20404



### FRONT YARD TREE PALETTE - 24" BOX

BOTANICAL NAME	COMMON NAME	WUCOLS
TREES		
ARBUTUS MARINA	STRAWBERRY TREE	MED
CHITALPA TASHKENTENSIS	CHITALPA	LOW
GEIDERA PARVIFLORA	AUSTRALIAN WILLOW	MED
LAGERSTROEMIA INDICA 'NATCHEZ'	CRAPPE MYRTLE	MED
LAGERSTROEMIA INDICA 'RED'	CRAPPE MYRTLE	MED
LAURUS NOBILIS 'SARATOGA'	SARATOGA LAUREL	LOW
MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	MED
PHOTINIA FRASERII	PHOTINIA	MED

### FRONT YARD SHRUB PALETTE - 1 GAL / 5 GAL

BOTANICAL NAME	COMMON NAME	WUCOLS
SHRUBS		
CALLISTEMON C. 'LITTLE JOHN'	CALLISTEMON	LOW
DIANELLA LITTLE REV	LITTLE REV FLAX LILY	MED
DIANELLA TASMANICA 'VARIEGATA'	VAR. FLAX LILY	MED
DIETES BICOLOR	FORTNIGHT LILY	MED
FEDOA SELLOWIANA	PINEAPPLE GUAVA	LOW
LEYMUS C. 'CANYON PRINCE'	CAN. PRINCE WILD RYE	LOW
LIGUSTRUM JAPONICUM TEXANUM	WAXLEAF PRIVET	MED
PHOTINIA F. 'LITTLE RED ROBIN'	PHOTINIA	MED
PITTOSPORUM TOBIRA 'VARIEGATA'	VAR. TOBIRA	MED
RHAPHIOLEPIS INDICA 'BALLERINA'	INDIA HAWTHORN	MED
RHAPHIOLEPIS INDICA 'CLARA'	INDIA HAWTHORN	MED
SALVIA GREGGII 'FURMAN'S RED'	FURMAN'S RED SALVIA	LOW
WESTRINGIA WYNYABBIE GEM	COASTAL ROSEMARY	LOW

### PARKWAY TREE PALETTE - 24" BOX

BOTANICAL NAME	COMMON NAME	WUCOLS
TREES		
ARBUTUS MARINA	STRAWBERRY TREE	MED
PYRUS CALLERYANA 'BRADFORD'	BRADFORD PEAR	MED

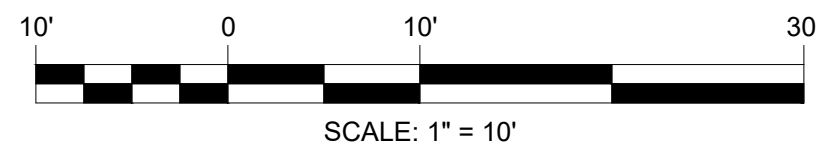
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BOTANICAL NAME	COMMON NAME	WUCOLS
SHRUBS		
DIETES BICOLOR	FORTNIGHT LILY	MED
MYPPORUM PAR. 'PINK'	MYOPORUM	LOW
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TRUMARKHOMES

Front Yard Typicals  
Landscape Concept



December 7, 2024



# LANDSCAPE IMPROVEMENT PLAN

# TRACT 20403 - EDEN AT COVENANT POINT

# ENTRY MONUMENT

## PROJECT DIRECTORY

### DEVELOPER / OWNER

TRUMARK HOMES  
450 NEWPORT CENTER DR, SUITE 300  
NEWPORT BEACH, CA 92660  
TEL: (949) 999-9800  
CEL#: (858) 668-6134  
CONTACT: PAUL FAYE

### LANDSCAPE ARCHITECT

SJA, INC.  
7859 SITIO COCO  
CARLSBAD, CA 92009  
FAX: (949) 276-6500  
FAX: (949) 276-6506  
CONTACT: RUSS JOHNSTON

### CIVIL ENGINEER & SURVEYOR

PROACTIVE ENGINEERING  
CONSULTANTS INC.  
200 S. MAIN STREET, SUITE 300  
CORONA, CA 92882  
TEL: (951) 280-3312  
CONTACT: ADRIANA GRIFFITH

### SOILS ENGINEER

LEIGHTON AND ASSOCIATES, INC  
17781 COWAN  
FAY: IRVINE, CA 92614  
TEL: (949) 681-4265

## PROJECT DIRECTORY

### SEWER:

CITY OF LOMA LINDA PUBLIC WORKS  
26000 BARTON RD  
LOMA LINDA, CA 92354  
TEL: (909) 799-4400

### WATER

CITY OF LOMA LINDA PUBLIC WORKS  
26000 BARTON RD  
LOMA LINDA, CA 92354  
TEL: (909) 799-4400

### GAS

THE SOUTHERN CALIFORNIA GAS CO.  
196 E 3RD ST.  
POMONA, CA 91766  
TEL: (800) 427-2200

### ELECTRIC

SOUTHERN CALIFORNIA EDISON  
2244 WALNUT GROVE AVENUE  
ROSEMEAD, CA 91770  
TEL: (800) 655-4555

### TELEPHONE

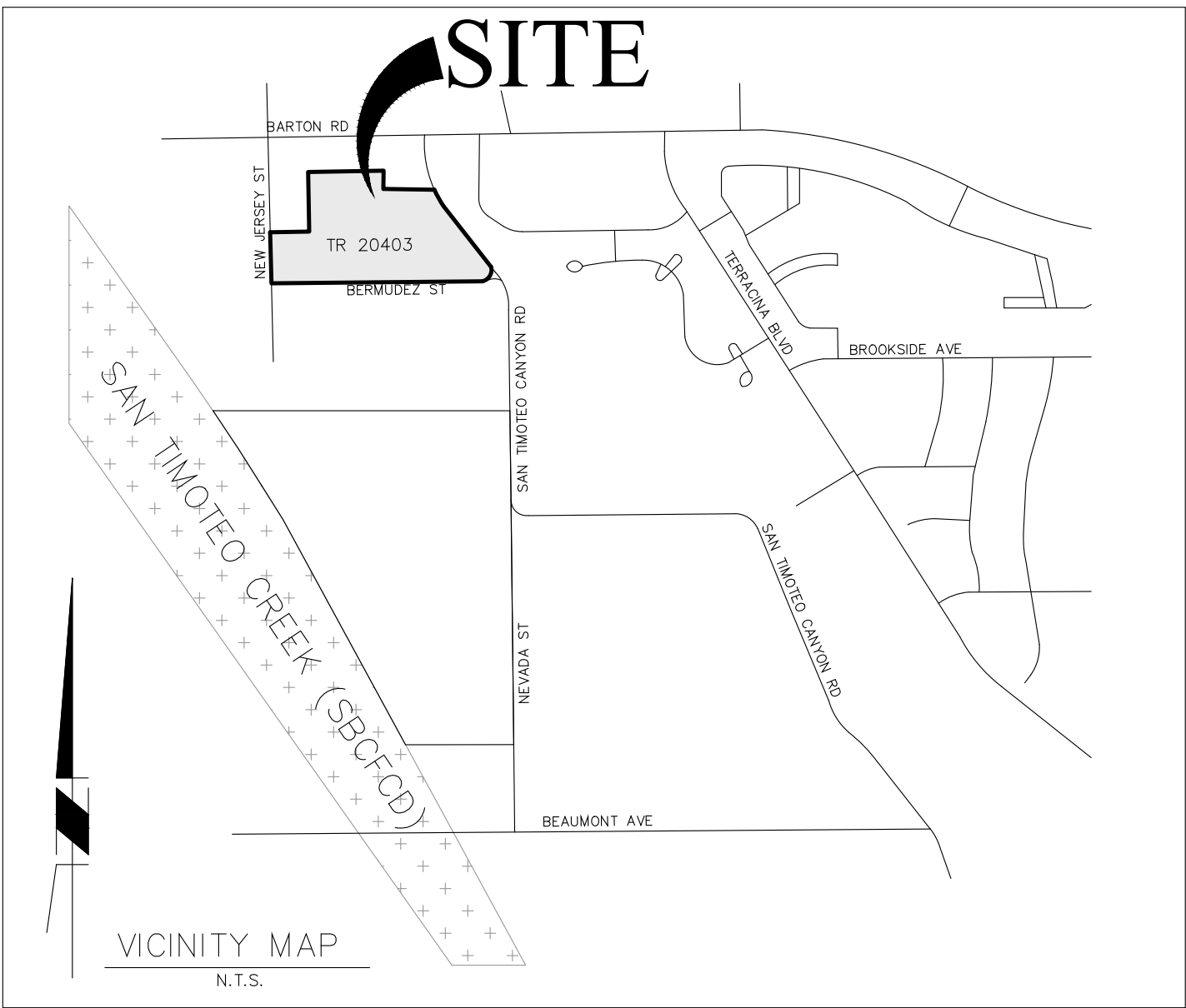
FRONTIER COMMUNICATIONS  
401 MERRITT 7  
NORWALK, CT 06851  
TEL: (855) 237-5355

### CABLE

SPECTRUM  
400 ATLANTIC ST.,FL 10.  
STAMFORD, CT 06901  
TEL: (855) 470-3572

## LEGAL DISCRIPTION

TRACT MAP NO. 20403 IN THE CITY OF LOMA LINDA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, BEING A SUBDIVISION OF A PORTION OF THE 19 ACRE TRACT OF LAND AS SHOWN ON THE PLAT SHOWING MRS. BURMUDEZ SURVEY, RECORDED IN BOOK 13, PAGE 35, OF MAPS, OFFICIAL RECORDS OF SAID COUNTY, LYING WITHIN SECTION 32, TOWNSHIP 1 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN.



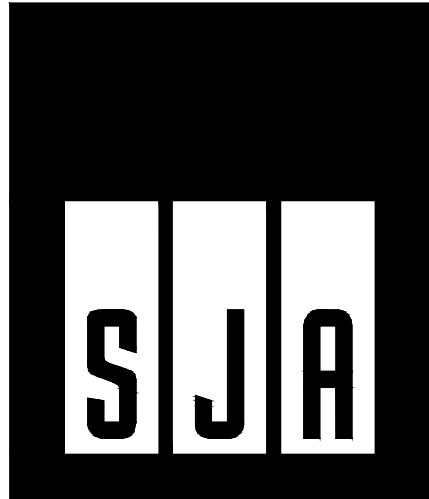
## SHEET INDEX

TITLE SHEET	1
CONSTRUCTION PLAN	2
CONSTRUCTION DETAILS	3
CONSTRUCTION SPECIFICATIONS	4



Know what's below.  
Call before you dig.

NOTE: THIS PROJECT SHALL CONFORM TO THE FOLLOWING EDITIONS: 2022 CALIFORNIA BUILDING CODE/2021 IRC, 2022 CALIFORNIA RESIDENTIAL CODE/2021 IRC, 2022 CALIFORNIA ELECTRICAL CODE/2020 NEC, 2022 CALIFORNIA MECHANICAL CODE/2021 UMC, 2022 CALIFORNIA PLUMBING CODE/2021 UPC, 2022 CALIFORNIA ENERGY CODE, 2022 CALIFORNIA HISTORICAL BUILDING CODE, 2022 CALIFORNIA EXISTING BUILDING CODE/2021 IEBC, 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), INCLUDING ALL CITY / COUNTY LAWS AND ORDINANCES.



landscape architecture  
land planning

7859 SITIO COCO  
CARLSBAD, CA 92009  
TEL 949 276 6500 | FAX 949 276 6506  
www.sja-inc.com

TRACT 20403  
EDEN AT COVENANT POINT  
ENTRY MONUMENT  
LOMA LINDA, CA

TRUMARK  
450 NEWPORT CENTER DRIVE, SUITE 300  
NEWPORT BEACH, CA 92660

## REVISIONS

REVISION	DATE
MONUMENT SIGN	04-07-2025
COLOR SWATCH	04-09-2025

SCALE	N/A
DRAWN	KC
DESIGNED	RJ
CHECKED	
DATE	02/27/25
JOB NO.	-
JOB TYPE	ENTRY MONUMENT



## SHEET TITLE

TITLE SHEET

## SHEET

1

## OF

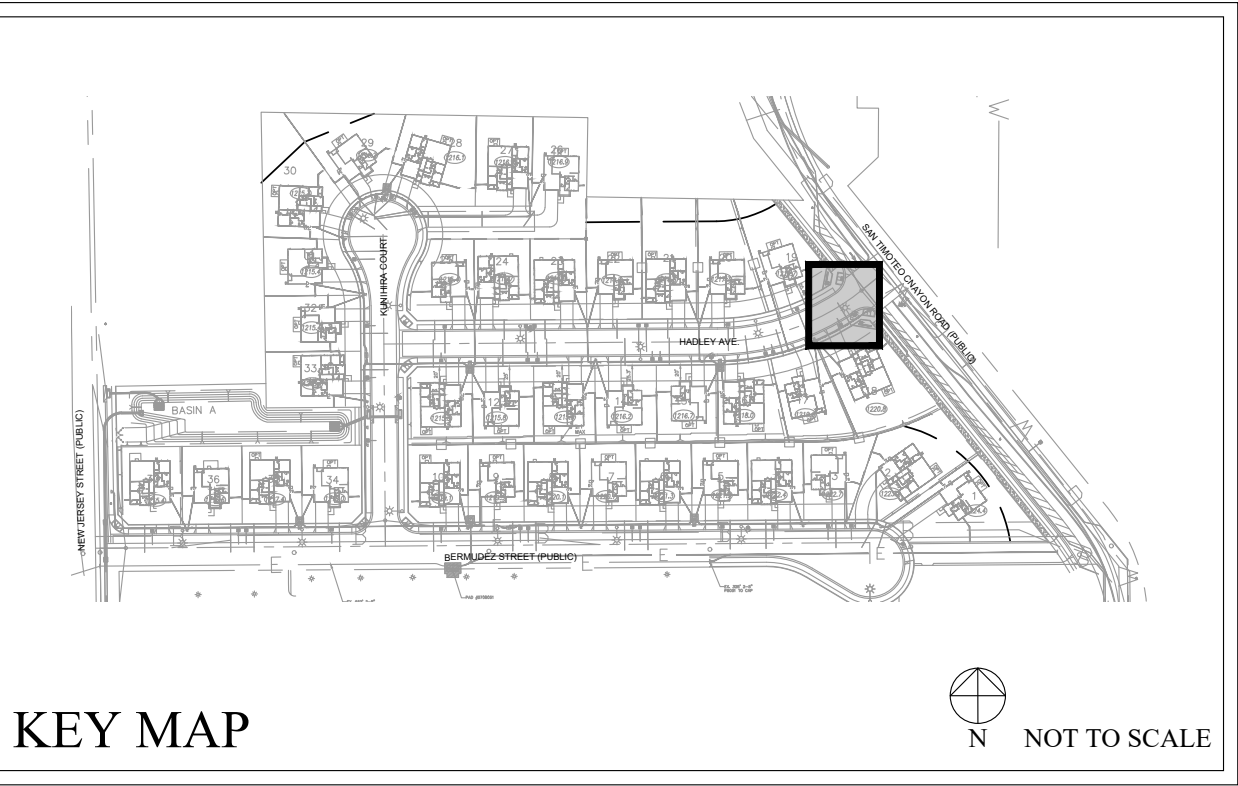
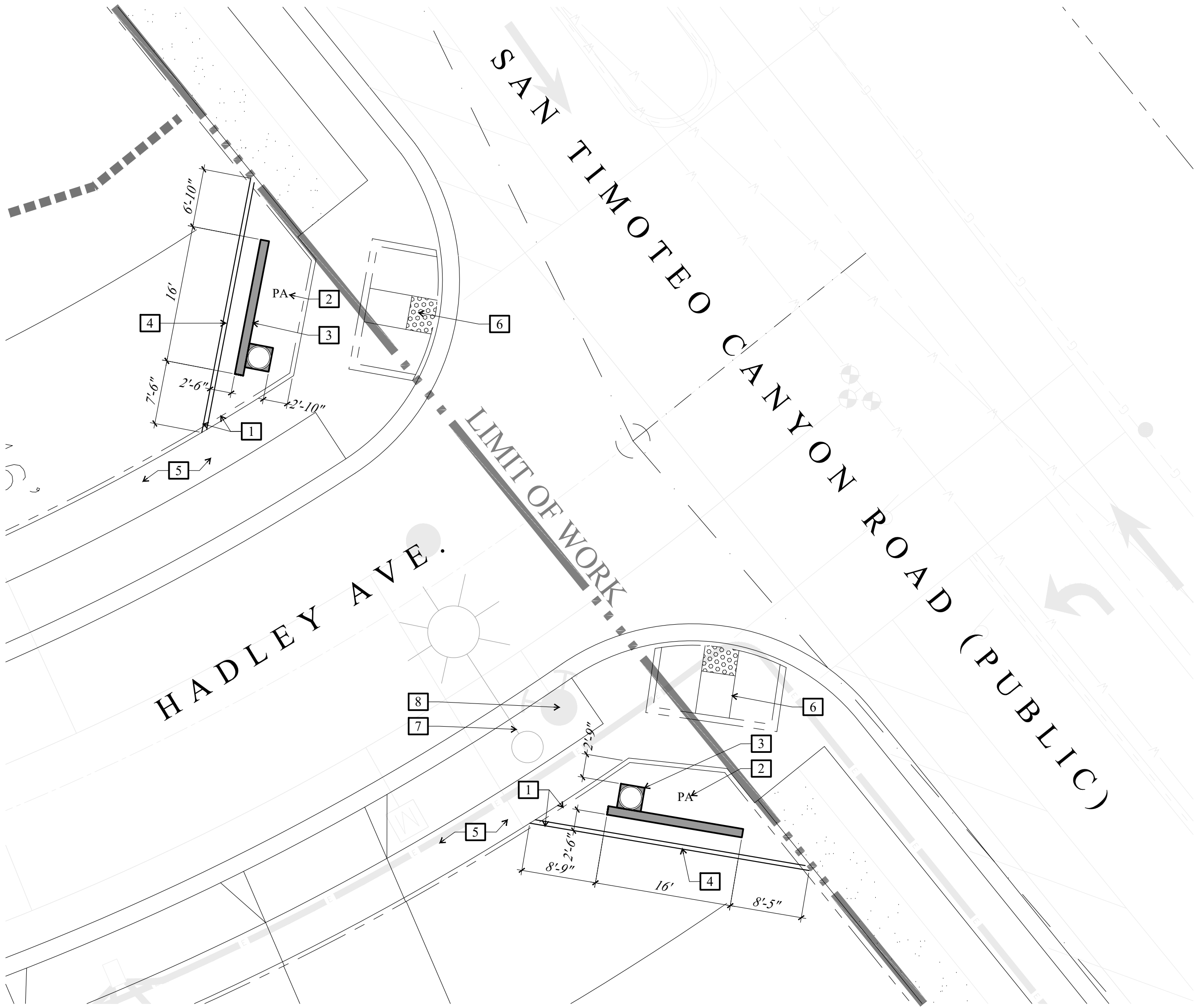
4

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GENERAL CONSTRUCTION NOTES

1. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY HAVE NOT BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE CITY/COUNTY REP. FAILURE TO GIVE SUCH NOTIFICATION SHALL RESULT IN THE CONTRACTOR ASSUMING FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER SUB-CONTRACTORS AS REQUIRED TO ACCOMPLISH CONSTRUCTION OPERATIONS.
4. SEE GRADING PLANS FOR VERTICAL CONTROL, WHERE APPLICABLE.
5. CONTRACTOR SHALL COORDINATE IRRIGATION SLEEVE LOCATIONS UNDER PAVED AREAS AS REQUIRED. REFER TO IRRIGATION PLANS.
6. PRIOR TO PLACING CONCRETE OR AC, THE CONTRACTOR SHALL SUFFICIENTLY COMPACT THE SUBGRADE AND PROVIDE SUBSURFACE PREPARATION PER SPECIFICATIONS.
7. CONCRETE/HARDSCAPE SURFACES SHALL BE FORMED WITH LONG, SMOOTH GRADIENTS TO REDUCE DIPS, ABRUPT CHANGES AND SHARP TRANSITIONS.
8. ALL CURVILINEAR WALKS, CURBS, HEADERBOARDS, AND WALLS SHALL HAVE A CONTINUOUS SMOOTH CURVE WHERE APPLICABLE. ALL FORMS MUST BE INSPECTED AND APPROVED PRIOR TO BEGINNING THAT PHASE OF WORK.
9. UNLESS OTHERWISE SHOWN, ALL WALKS SHALL BE 3-1/2" THICK NATURAL COLOR WITH A ACID WASH FINISH. INSTALL EXPANSION JOINTS PER PLAN.
10. IF IN THE FIELD, SCALED DIMENSIONS CONFLICT WITH WRITTEN GRADES, AND/OR DIMENSIONS, THE WRITTEN INFORMATION SHALL TAKE PRECEDENCE.



CONSTRUCTION NOTATION

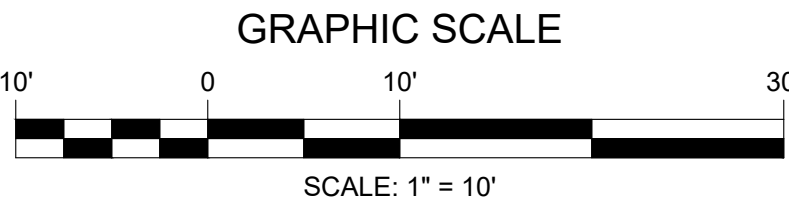
- 1 RIGHT OF WAY
- 2 PA - PLANTING AREA
- 3 ENTRY MONUMENT, SEE DETAIL A,AA/3
- 4 CONCRETE MOW CURB, SEE DETAIL B/3
- 5 CONCRETE SIDE WALK, PER CIVIL PLAN
- 6 ADA RAMP, PER CIVIL PLAN
- 7 STREET LIGHT, PER CIVIL PLAN
- 8 FIRE HYDRANT, PER CIVILPLAN

NOTE:  
REFER TO SEPARATE TRACT 20403 - CANYON RANCH COMMON AREAS LANDSCAPE PLANS FOR IRRIGATION AND PLANTING AROUND ENTRY MONUMENTS.



Know what's below.  
Call before you dig.

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CARLSBAD, CA 92009  
TEL 949 276 6500 | FAX 949 276 6506  
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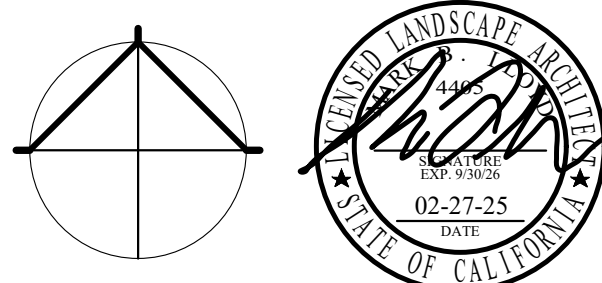
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SCALE	1" = 20'
DRAWN	KC
DESIGNED	RJ
CHECKED	
DATE	02/27/25
JOB NO.	-
JOB TYPE	ENTRY MONUMENT



SHEET TITLE  
CONSTRUCTION PLAN

SHEET

2

OF

4







GENERAL NOTES

1.0 BIDS, CONTRACTS AND INSURANCE

- A. EACH BIDDER SHALL INSPECT THE SITE BEFORE SUBMITTING HIS BID.
- B. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- C. SEPARATE CONTRACTS: THE OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTS IN CONNECTION WITH HIS WORK. THE CONTRACTOR SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE EXECUTION OF THEIR WORK, AND SHALL PROPERLY COORDINATE HIS WORK WITH THEIRS.
- D. LIABILITY AND COMPENSATION INSURANCE: THE CONTRACTOR SHALL CARRY AND PAY FOR ADEQUATE LIABILITY AND COMPENSATION INSURANCE AND SHALL, IF REQUIRED, FURNISH THE OWNER WITH EVIDENCE TO THIS EFFECT.
- E. GUARANTEE BONDS: THE OWNER SHALL HAVE THE RIGHT, PRIOR TO THE SIGNING OF THE CONTRACT TO REQUIRE THE CONTRACTOR TO FURNISH BOND COVERING OF THE FAITHFUL PERFORMANCE OF THE CONTRACT AND THE PAYMENT OF ALL OBLIGATIONS ARISING THEREUNDER, IN SUCH FORM AS THE OWNER MAY PRESCRIBE AND WITH SUCH SURETIES AS HE MAY APPROVE. IF SUCH BOND IS REQUIRED, THE PREMIUM SHALL BE PAID BY THE OWNER.

2.0 PLANS AND PERMITS

- A. ALL CONSTRUCTION SHALL BE ACCORDING TO CONSTRUCTION DOCUMENTS AND SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE U.B.C.
- B. CORRELATION OF DRAWINGS AND SPECIFICATIONS: ANY WORK NOT ACCORDING TO DRAWINGS AND SPECIFICATIONS OR ORDINANCES AND LAWS SHALL BE REMOVED.
- C. DO NOT SCALE DRAWINGS. USE DIMENSIONS INDICATED.
- D. ANY DISCREPANCY IN THE DRAWINGS OR SPECIFICATIONS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT. FAILURE TO DO SO WILL PLACE RESPONSIBILITY ON THE CONTRACTOR.
- E. PERMITS, FEES, ETC.: THE CONTRACTOR SHALL ARRANGE AND PAY FOR THE BUILDING PERMIT AND EACH SUBCONTRACTOR SHALL ARRANGE AND PAY FOR PERMITS FOR THEIR RESPECTIVE WORK.

3.0 EXECUTION

- A. CONTRACTOR TO VERIFY ON SITE, ALL DIMENSIONS AND LOCATION OF ANY UNDERGROUND UTILITIES.
- B. DEMOLITION AND REMOVALS SHALL PROCEED ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT/OWNER.
- C. CUT, CAP, OR PLUG, AS REQUIRED, THOSE UTILITY LINES SERVING THE AREA WITHIN THE PROJECT LIMITS SHALL REMAIN UNINTERRUPTED DURING THE WORK PROGRESS.
- D. CARE IS TO BE TAKEN NOT TO DEFACE, CRACK OR DAMAGE ANY EXISTING STRUCTURES, FENCES OR CONCRETE WORK. ALL DAMAGES TO BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- E. CUTTING AND PATCHING: THE CONTRACTOR SHALL DO ALL CUTTING, FITTING OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE IT COMPLETE AS SHOWN BY DRAWINGS AND SPECIFICATIONS. ANY COST CAUSED BY DEFECTIVE OR ILL-TIMED WORK SHALL BE BORNE BY THE PARTY RESPONSIBLE THEREFOR.
- F. CLEANING: IT SHALL BE THE DUTY OF EACH SUBCONTRACTOR TO REMOVE HIS OWN RUBBISH FROM THE PREMISES AND KEEP THE JOB CLEAN AT ALL TIMES. HE SHALL PROTECT WORK OF ALL OTHER CONTRACTORS.
- G. CONTRACTOR SHALL THOROUGHLY CLEAN UP SITE AND REMOVE ALL DEBRIS AND EXTRANEOUS MATERIAL FROM THE SITE PRIOR TO FINAL APPROVAL.
- H. CONDUCT OF THE WORK: THE CONTRACTOR SHALL, AT ALL TIMES, KEEP A COMPETENT FOREMAN ON THE JOB WHO SHALL BE IN CHARGE OF THE ENTIRE WORK INCLUDING THE WORK OF HIS SUBCONTRACTORS. HE SHALL BE RESPONSIBLE FOR ITS ACCURACY.

4.0 EXTRAS AND SUBSTITUTIONS

- A. ANY EXTRAS TO BE APPROVED IN WRITING BY THE OWNER PRIOR TO ANY CONSTRUCTION.
- B. THERE ARE TO BE NO SUBSTITUTIONS WITHOUT THE PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.

5.0 PAYMENT

LIEN RELEASES FOR THE COMPLETED WORK SHALL BE SUBMITTED PRIOR TO PAYMENT FOR SAID WORK.

MASONRY SPECIFICATIONS

1.0 SCOPE OF WORK

- A. GENERAL: THIS WORK SHALL CONSIST OF FURNISHING ALL LABOR AND MATERIALS FOR CONSTRUCTION OR INSTALLATION OF ALL LABOR AND STRUCTURES, AND BRICK OR TILE AS DETAILED ON THE PLANS.
- B. WORK INCLUDES THE INSTALLATION OF ANCHORS AND INSERTS FURNISHED BY OTHER REQUIRED FOR OTHER TRADES, REINFORCEMENT STEEL, CONCRETE BASES OR FOOTINGS, AND STUCCO FINISHES.

2.0 MATERIALS

- A. REFER TO PLANS FOR SPECIFIC MATERIAL TYPES, COLORS FINISHES, ETC.
- B. CONCRETE MASONRY UNITS: CONFORM TO ASTM C90, GRADE N-II AND THE REQUIREMENTS OF THE QUALITY CONTROL STANDARDS OF THE CONCRETE MASONRY ASSOCIATION; AS MANUFACTURED BY ORCO BLOCK CO., OR EQUAL.
- C. PORTLAND CEMENT: CONFORM TO ASTM C150, TYPE I OR TYPE II, TYPE, LOW ALKALI. USE ONLY ONE BRAND THROUGHOUT WORK. PROVIDE WHITE CEMENT AS REQUIRED FOR USE IN COLORED MORTAR.
- D. HYDRATED LIME: CONFORM TO ASTM C207, TYPE S, AND CONTAINING 95% BY WEIGHT OF CALCIUM OXIDE.
- E. AGGREGATES: CONFORM TO ASTM C144.
- E.1. SAND: CONSIST OF FINE GRANULAR MATERIALS, (NOT LESS THAN 5% PASSING NO. 8 SIEVE), COMPOSED OF HARD, STRONG DURABLE MINERAL PARTICLES, FREE FROM INJURIOUS AMOUNTS OF SALINE, ALKALINE, ORGANIC OR OTHER DELETERIOUS SUBSTANCES.
- E.2. PEA GRAVEL: GRADED WITH NO MORE THAN 5% PASSING THE NO. 8 SIEVE AND WITH 100% PASSING THE 3/8" SIEVE.
- F. REINFORCING STEEL: NEW, TESTED DEFORMED BARS OF DOMESTIC MANUFACTURE CONFORMING TO ASTM 1615.
- G. WATER: CLEAN, POTABLE, FROM DOMESTIC SUPPLY.
- H. ADMIXTURE FOR MORTAR: "RED LABEL" USED IN ACCORDANCE WITH THE SPECIFICATIONS.
- I. MORTAR: FRESHLY PREPARED AND UNIFORMLY MIXED IN THE RATIO BY VOLUMES OF 1 PART CEMENT, 1/2 PART LIME PUTTY, 4 1/2 PARTS SAND. PUTTY SHALL BE OMITTED. MORTAR SHALL MATCH COLOR OF BLOCK, UNLESS OTHERWISE SPECIFIED.
- J. GROUT: FLUID CONSISTENCY AND MIXED IN THE RATIO BY PARTS SAND, 2 PARTS PEA GRAVEL.
- K. LIME PUTTY: ASTM C5, HIGH CALCIUM LIME, COMPLETELY SLAKED BEFORE USING.

3.0 EXECUTION

- A. EXECUTE WORK IN BEST WORKMANSHIP LIKE MANNER IN FULL COMPLIANCE WITH APPLICABLE BUILDING ORDINANCES.
- B. CONCRETE BLOCK SHALL BE LAID AS REINFORCED FULL CELL UNIT MASONRY. BLOCK SHALL BE LAID ON 3/8" THICK FULL MORTAR BED ON ALL WEBS AND FACE SHELLS. VERTICAL FACES OF HEAD JOINTS SHALL BE WELL BUTTERED TO A DEPTH OF 1 1/2" FROM EXTERIOR FACES AND ALL JOINTS SHALL BE SHOVED INTO PLACE, SO THE MORTAR BONDS WELL WITH BOTH BLOCKS. FURROWING OF THE MORTAR IS NOT PERMITTED. INTERSECTING MASONRY SHALL BE GROUTED IN 4"Ø MAXIMUM POURS. UNLESS OTHERWISE NOTED ON PLANS, ALL CELLS CONTAINING REINFORCING SHALL BE SOLID GROUTED. PUDDLE THE GROUT WITH A STICK IN EACH CELL, EACH TIME IT IS POURED, TO OBTAIN A COMPLETE FILLING OF THE VOIDS. RECONSOLIDATE ALL GROUT. RUN ALL HORIZONTAL BARS IN BOND BEAM BLOCK AND LAP AROUND CORNER AND AT ALL SPLICE 2'-0" MINIMUM. RUN ALL VERTICAL BARS IN OPEN END BLOCK.

- C. DO NOT START MASONRY IF THE HORIZONTAL OR VERTICAL ALIGNMENT OF THE FOUNDATION IS A MAXIMUM OF 1" TOTAL IN ERROR.
- D. ALL UNITS SHALL BE CLEAN WHERE LAID. CONCRETE UNITS SHALL BE DRY. BRICK SHALL BE WETTED BUT HAVE NO FREE MOVING WATER WHEN LAID.
- E. WHERE NO BOND PATTERN IS SHOWN ON THE PLANS, THE WALL SHALL BE RUNNING BOND.
- F. WHERE MASONRY UNIT CUTTING IS NECESSARY, MAKE ALL CUTS NEAT AND REGULAR, EDGES EXPOSED IN THE FINISHED WORK SHALL BE CUT WITH A POWER DRIVEN ABRASIVE SAW.
- G. MORTAR JOINTS SHALL BE STRAIGHT, CLEAN AND UNIFORM IN THICKNESS. UNLESS OTHERWISE SPECIFIED OR DETAILED, HORIZONTAL AND VERTICAL JOINTS SHALL BE APPROXIMATELY 3/8" THICK FOR PRECISION BLOCS. BRICK JOINTS TO BE 1/2" - 3/8" THICK WITH A MAXIMUM DEPTH OF 3/8" RAKE. UNLESS OTHERWISE SHOWN ON PLANS, EXPOSED WALLS SHALL HAVE DENSE, SLIGHTLY CONCAVE SURFACE WELL BONDED TO THE BLOCK AT THE EDGES. PERFECT TOOLING WHEN THE MORTAR IS PARTIALLY SET BUT STILL SUFFICIENTLY PLASTIC TO BOND. DO ALL TOOLING WITH A TOOL WHICH COMPACTS THE MORTAR, PRESSING THE EXCESS MORTAR OUT OF IT RATHER THAN DRAGGING IT OUT. WHERE WALL SURFACE IS TO BE PLASTERED, MAKE MORTAR JOINTS FLUSH WITH BLOCK FACE.
- I. IF IT IS NOT NECESSARY TO MOVE A BLOCK SO AS TO OPEN A JOINT, REMOVE THE BLOCK FROM THE WALL, CLEAN AND SET IN FRESH MORTAR.
- J. CONCRETE FOOTINGS TO ATTAIN 2800 PSI AT 28 DAYS (MAX. 4 1/2" SLUMP). THE OWNER'S REPRESENTATIVE IS TO BE NOTIFIED 24 HOURS PRIOR TO CONCRETE POUR IN ORDER THAT THE FORMS AND REINFORCEMENT MAY BE INSPECTED.
- L. CO-ORDINATE PLACEMENT OF WATER AND ELECTRICAL LINES PRIOR TO CONCRETE POUR. VERIFY LOCATION OF ALL P.V.C. SLEEVES AND ELECTRIC SOURCE FOR IRRIGATION CLOCK WITH LANDSCAPE CONTRACTOR.
- M. MASON TO BE RESPONSIBLE FOR SETTING ALL S.P.O.'S SWITCHES, J-BOXES FLUSH WITH STRUCTURE, AND FOR SETTING BOLTS, ANCHORS, AND INSERTS FOR ATTACHMENTS BY OTHER TRADES.
- N. PLACING REINFORCING STEEL:
- N.1. WHERE HORIZONTAL COURSES ARE TO BE FILLED, USE METAL STOPS. USE OF PAPER STOPS WILL NOT BE PERMITTED. ALL HORIZONTAL REINFORCING STEEL SHALL BE LAID IN A COURSE OF BOND BEAM BLOCK FILLED WITH MORTAR.
- N.2. CUT BRICK WITH POWER DRIVEN ABRASIVE SAW ONLY. CUT NEAT TRUE LINE WITHOUT CHIPS ON EXPOSED FACES, CONCEAL CUT FACES WHERE POSSIBLE. DO NOT LAY BRICKS LESS THAN 1/4 LENGTH IN EXPOSED WORK. IF ANY BRICK MUST BE REMOVED OR SHIFTED AFTER IT HAS BEEN LAID, REMOVE SETTING MORTAR, CLEAN BRICK THOROUGHLY, APPLY FRESH MORTAR AND RE-LAY.
- N.3. LAY MASONRY TRUE, LEVEL, AND PLUMB WITH ANGLE SQUARE IN ACCORDANCE WITH PLANS.
- O. SEAL BACK OF PLANTER WALLS WITH APPROVED ELASTOMERIC WATERPROOF MEMBRANE.
- P. BACKFILL BEHIND ALL WALLS AND MASONRY STRUCTURES, AS REQUIRED AND AS PER DETAILS. BACKFILL IN PLANTERS TO BE TOP GRADE SANDY LOAM TOPSOIL, SWALE EARTH FOR PROPER DRAINAGE. WHERE CONCRETE SLABS OCCUR NEXT TO WALLS, BACKFILL SHALL BE COMPACTED TO 90%.

4.0 CLEANING

- A. SPECIAL CARE SHALL BE USED TO PREVENT STAINING OF EXPOSED AND GROUT. ANY MORTAR OR GROUT WHICH COMES IN SUCH FACES SHALL BE PROMPTLY AND THOROUGHLY REMOVED BY AFFECTIVE AND APPROVED MEANS.
- B. ENTIRE SITE TO BE CLEANED AND ALL DEBRIS REMOVED PRIOR TO FINAL INSPECTION.

WOODWORKING SPECIFICATIONS

1.0 SCOPE OF WORK

- A. GENERAL: THIS WORK SHALL CONSIST OF FURNISHING ALL LABOR AND MATERIAL FOR CONSTRUCTION OF OVERHEAD WOOD TRELLIS, FENCES, AND SCREENS, AS DETAILED ON THE PLANS. THE WORK DOES NOT INCLUDE POST FOOTINGS AND HARDWARE SET IN PAVED AREAS.
- B. COORDINATION: WOOD WORK CONTRACTOR SHALL LOCATE AND STAKE POST LOCATIONS FOR CONCRETE AND/OR MASONRY CONTRACTOR BEFORE PAVING OR MASONRY WORK IS BEGUN.
- C. SITE CONDITIONS: VERIFY ALL DIMENSIONS AND SITE CONDITIONS ON THE SITE PRIOR TO BEGINNING WORK. ANY DISCREPANCIES SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.
- D. PERMITS: CONTRACTOR SHALL OBTAIN ALL BUILDING PERMITS AND APPROVALS. (REFER TO GENERAL NOTES).

2.0 MATERIALS

- A. GENERAL: ALL MATERIALS SHALL BE NEW AND PROPERLY MISCELL-MAKED OR CERTIFIED. ONLY LUMBER CONSISTING OF SOUND WOOD, FREE OF DECAY, WARPING, SPLITS OR CHECKS WILL BE ACCEPTABLE.
- B. LUMBER:
- B.1. ALL LUMBER SIZES SHOWN ON THE PLANS OR SPECIFIED REFER TO NOMINAL SIZES AND THE AMERICAN STANDARD ROUGH AND DRESSED SIZES WILL BE ACCEPTED AS CONFORMING THERETO.
- B.2. DOUGLAS FIR SHALL BE OF THE SPECIES "PSEUDOTSUGA MENZIESII" AND SHALL BE GRADED IN ACCORDANCE WITH THE CURRENT STANDARD GRADING AND DRESSING RULES FOR DOUGLAS FIR ADOPTED BY THE WEST COAST BUREAU OF LUMBER GRADES AND INSPECTION.
- B.3. CEDAR SHALL BE OF THE SPECIES "CHAMAECYPARIS LAWSONIANA" AND SHALL BE GRADED IN ACCORDANCE WITH THE CURRENT GRADING AND DRESSING RULES FOR CEDAR.
- B.4. ALL WOOD BEARING ON CONCRETE OR MASONRY LESS THAN 4'-0" ABOVE GRADE SHALL BE PRESSURE TREATED. WOOD JOINTS OR THE BOTTOM OF WOOD FLOORS LESS THAN 18" ABOVE GRADE SHALL ALSO B PRESSURE TREATED.
- B.5. ALL STRUCTURAL MEMBER (I.E., BEAMS, RAFTERS, POSTS, JOINTS) TO BE DOUGLAS FIR NO. 1 OR BETTER UNLESS OTHERWISE NOTED. ALL LATH AND DECKING AS SPECIFIED.
- C. HARDWARE:
- C.1. NAILS TO BE GENERAL FRAMING COMMON OF STANDARD SIZE AND FORM, HOT DIPPED GALVANIZED OR ALUMINUM, UNLESS SPECIFICALLY NOTED. BOX NAILS WILL BE ACCEPTED.
- C.2. WASHERS TO BE REINFORCED MALLEABLE IRON, GALVANIZED.
- C.3. ALL BRACKETS AND HANGERS TO BE SIMPSON OR APPROVED EQUAL.

3.0 EXECUTION

- A. WORKMANSHIP: ALL WOODWORK SHALL BE CUT, FITTED, JOINTED TOGETHER, TIED, SET TO REQUIRED LINES AND LEVELS, SHORED IN PLACE ETC., IN A NEAT WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE LANDSCAPE ARCHITECT. ALL SPLIT WOOD SHALL BE REMOVED AND REPLACED.
- B. BOLTING: HEADS AND NUTS OF MACHINE BOLTS AND NUTS OF CARRIAGE BOLTS SHALL HAVE WASHERS, EXCEPT AGAINST STEEL PLATES. BOLT, SPLICE AND HAND ALL BEAMS AS SHOWN ON DRAWINGS. CUT ALL BOLTS FLUSH WITH NUTS, PLAIN SMOOTH AND REMOVE ALL BURRS. HOLES FOR BOLTS SHALL BE BORED 1/32" TO 1/16" LARGER THAN NOMINAL BOLT DIAMETER. NAILS SHALL NOT BE INSTALLED CLOSER THAN 1/2 THEIR LENGTHS AND DRILLED HOLES, ONE SIZE SMALLER THAN NAIL SHANK, SHALL BE USED WHERE WOOD MEMBERS ARE LIABLE TO BE SPLIT BY NORMALLY DRIVEN NAILS. ALL NAILING SHALL BE IN ACCORDANCE WITH U.B.C.
- C. STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, ETC., UNLESS SPECIFICALLY NOTED OR DETAILED.
- D. FINISHING: CONTRACTOR TO STAIN, PAINT OR SEAL WOOD, REFER TO DRAWINGS. PAINT ALL METAL TO MATCH WOOD FINISH UNLESS NOTED OTHERWISE WITH (1) COAT ZINC RICH PRIMER AND (2) COATS SEMI-GLOSS OIL BASE EXTERIOR PAINT.
- E. CLEANUP: CONTRACTOR SHALL DAILY REMOVE ALL RUBBISH, SCRAPS, EXTRANEOUS CONCRETE AND HARDWARE FROM THE PREMISES AND KEEP THE JOB REASONABLY CLEAN AT ALL TIMES. SPILLED OR OVERSPRAYED PAINT SHALL BE IMMEDIATELY CLEANED OFF OF FINISHED SURFACES TO THE LANDSCAPE ARCHITECT'S SATISFACTION. SPECIAL CARE SHALL BE

EXERCISED TO PREVENT ACCUMULATIONS OF MATERIAL TO FORM A FIRE OR SAFETY HAZARD.

TUBULAR STEEL

1.0 SCOPE OF WORK

WORK INCLUDED:

- A. FURNISH AND INSTALL TUBULAR STEEL PER PLANS, DETAILS AND SPECIFICATIONS.

RELATED WORK SPECIFIED IN THIS SECTION:

2.0 QUALITY ASSURANCE

A. QUALIFICATIONS

- A.1. PERFORM SHOP WELDING ON THE PREMISES OF A FABRICATOR LICENSED BY THE CITY BUILDING AND SAFETY DEPARTMENT.
- A.2. PERFORM WELDING BY WELDERS APPROVED AND CERTIFIED IN ACCORDANCE WITH REQUIREMENTS OF AWS.
- B. REFERENCE STANDARDS
- B.1. "AISC" STEEL CONSTRUCTION MANUAL.
- B.2. "CODE FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION". AWS F1.0 OF THE AMERICAN WELDING SOCIETY.
- B.3. "METAL FINISHES MANUAL", OF THE NATIONAL ASSOCIATION OF ARCHITECTURAL METAL MANUFACTURERS (NAAMM).

3.0 SUBMITTALS

- A. SUBMIT COMPLETE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE FOR REVIEW IN ADVANCE OF FABRICATION.
- A.1. SHOW DIMENSIONS, SITES, THICKNESSES, GAUGES, FINISHES, JOINING, ATTACHMENTS AND RELATIONSHIP TO ADJACENT WORK.
- A.2. WHERE WELDED CONNECTIONS, CONCRETE INSERTS, AND OTHER ITEMS ARE REQUIRED TO RECEIVE OTHER WORK, SHOW EXACT LOCATIONS REQUIRED.
- A.3. FOR STANDARD MANUFACTURED ITEMS, SUBMIT WORK SHEETS SHOWING ILLUSTRATED CUTS OF ITEMS TO BE FURNISHED, SCALE, DETAILS AND DIMENSIONS.

4.0 MATERIALS

- A. ROLLED STEEL SHAPES AND STEEL PLATES: ASTM A36.
- B. STEEL TUBING: ASTM A500 GRADE A, OR ASTM 1501 SEAMLESS - G.A. PER DETAILS.
- C. STEEL PIPE: ASTM A53, TYPE E OR S, GRADE A OR A120, GALVANIZED 6" DIAMETER.
- D. STEEL BOLTS: ASTM A307, GRADE A.
- E. WELDING RODS: CONFORM TO AWS REQUIREMENTS FOR INTENDED USE.
- F. CONCRETE INSERTS: AS INDICATED ON THE PLANS.
- G. SHOP PRIME-COAT PAINT: CONFORM TO EITHER FS TT-P-86 TYPE II FOR RED LEAD/ALKYD TYPE PAINT OR TO FS TT-P-45 FOR ZINC CHROMATE TYPE PAINT.
- H. TOUCH-UP FOR GALVANIZED SURFACES: ALL STATE No. 321 GALVANIZING POWDER (30% TIN, 30% ZINC, 40% LEAD AND FLUX) AS MANUFACTURED BY ALL STATE WELDING ALLOYS CO., OR SPEED GALVANIZED BY W.D.L. CO. OR EQUAL.
- I. NON-SHRINK GROUT: MINI WAX CONSTRUCTION PRODUCTS DIVISION POR-ROCK, OR APPROVED EQUAL.
- J. METAL ENAMEL: FS TT-P-37C - (2 COATS).

5.0 FABRICATION

- A. CONFORM TO THE REQUIREMENTS OF THE REFERENCED STANDARDS.
- A.1. FOR MANUAL WELDING, USE LOW HYDROGEN TYPE E-7015 AND 7016 ELECTRODES.
- A.2. WELD PREHEAT SHALL BE DETERMINED FROM MILL REPORTS SHOWING THE CHEMICAL COMPOSITION OF THE REINFORCEMENT.
- B. SHOP PRIME ALL FERROUS ITEMS TO 1 MILL DRY COAT THICKNESS AFTER FABRICATION, DE-BURRING AND GRINDING SMOOTH WELDS AND ROUGH SPOTS. TOUCH-UP AFTER INSTALLATION. LEAVE IN PROPER CONDITION TO RECEIVE FINISH PAINTING.
- B.1. DO NOT PAINT REBAR AND STEEL SURFACES TO BE EMBEDDED IN OR BONDED TO CONCRETE.
- B.2. WALLS SHALL BE GROUND SMOOTHLY, ALL WELD SPATTER REMOVED AND WORK SHALL COMPLY WITH THE SPECIFICATIONS OF THE "AMERICAN WELDING SOCIETY."
- D. SUBCONTRACTOR TO PERFORM ALL THE ABOVE WORK IN ACCORDANCE WITH THE GOVERNING PLANS AND SPECIFICATIONS.

6.0 COORDINATION WITH OTHER WORK

- A. EXAMINE DRAWINGS AND SPECIFICATIONS, AND INCLUDE ALL MISCELLANEOUS METAL WORK WHICH IS NOT DISTINCTLY SPECIFIED IN OTHER SECTIONS.
- B. PROVIDE ALL CONNECTIONS, ANCHORS, BOLTS, WELDING, CUTTING, PUNCHING, DRILLING, TAPPING OR OTHER CONNECTION REQUIRED TO FIT MISCELLANEOUS METAL WITH OTHER WORK.
- C. PROVIDE ITEMS TO BE INSTALLED BY OTHER TRADES WELL IN ADVANCE, TO PERMIT PROPER SEQUENCING AND SCHEDULING OF OTHER WORK.

7.0 INSTALLATION

- A. MISCELLANEOUS METAL WORK SHALL BE FREE FROM DEFECTS WHICH WOULD IMPAIR STRENGTH, DURABILITY AND APPEARANCE.
- B. ERECT PLUMB, STRAIGHT, TRUE AND ACCURATELY FIT IN PLACE BRACE, REINFORCE, AND ANCHOR IN PLACE. GRIND ALL FIELD WELDS.
- C. PROVIDE NON-SHRINK GROUTING OF ALL FRAMES, PLATES, SILLS, BOLTS AND OTHER ITEMS NOT DESIGNATED TO BE DONE BY OTHERS.
- D. CONCEAL ALL CONNECTIONS IN THE FINISHED WORK, WHERE POSSIBLE. EXPOSED SCREW CONNECTIONS SHALL BE ALLEN HEAD SCREWS MATCHING THE MATERIAL THEY FASTEN.
- E. SET BASE PLATE FOR SUPPORT POSTS, TRUE AND PLUMB IN CONCRETE FOOTING PER DETAILS.
- F. PROTECT ALL DISSIMILAR METALS FROM GALVANIC CORROSION BY PRESSURE TAPES, COATINGS, OR ISOLATORS.
- G. AFTER ERECTION, CLEAN OFF ALL RUST, SCALE AND OIL. CLEAN FIELD WELDS, BOLTS, AND ABRADED AREAS. TOUCH-UP ALL AREAS WITH THE SAME MATERIAL AS USED FOR THE SHOP COAT, LEAVING ALL SURFACES READY TO RECEIVE FINISH COATS. APPLY SECOND COAT OF PRIMER ON SITE.
- H. APPLY (2) COATS ZINC RICH PRIMER COAT AND TWO FINISH COATS OF EXTERIOR METAL ENAMEL TO METAL SURFACES, COLOR AS SELECTED BY OWNER'S REPRESENTATIVE.

8.0 REPAIR OF DEFECTS

ALL DEFECTIVE OR DAMAGED WORK SHALL BE REPLACED, REMOVED AND REPAIRED AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE AT NO COST TO THE OWNER.

9.0 CLEAN-UP

- A. CLEAN-UP AND REMOVE FROM THE SITE ALL UNUSED MATERIALS AND DEBRIS RESULTING FROM THE PERFORMANCE OF THIS WORK NOT LESS THAN ONCE A WEEK OR THE LAST WORKING DAY EACH WEEK. ALL TRASH SHALL BE REMOVED COMPLETELY FROM THE PROJECT SITE.
- B. TOUCHUP- CONTRACTOR SHALL CLEAN AND RETOUCH CONTRACTOR'S WORK AS NECESSARY, OR AS REQUIRED FOR FINAL APPROVAL BY THE LANDSCAPE ARCHITECT WITHIN 24 HOURS NOTICE.
- C. UNPAINTED SURFACE- CONTRACTOR SHALL LEAVE ALL SURFACES NOT TO BE PAINTED, PAVING, HARDWARE, OR PLANT MATERIALS FREE FROM ANY PAINT, STAIN, SPATTERING, SMEARS OR SMUDGES WHICH ARE THE RESULT OF THE CONTRACTORS OPERATION.
- D. LOCATION- CONTRACTOR SHALL NOT CLEAN EQUIPMENT AND BRUSHES OR DISPOSE OF THINNERS, PAINT OR OTHERS CHEMICALS IN AREAS TO BE PLANTED OR IN THE VICINITY OF EXISTING PLANTS.

CONCRETE

1.0 SCOPE OF WORK

FURNISH AND INSTALL ALL CONCRETE WORK COMPLETE AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS INCLUDING, BUT NOT LIMITED TO:

- A. FURNISH AND SET ALL REINFORCING STEEL, BOLTS AND ANCHORS.
- B. INSTALL ALL ITEMS REQUIRED BY OTHER TRADES WHICH ARE TO BE CAST INTO CONCRETE.
- C. CONCRETE MOW CURBS, BANDING, OTHER FLATWORK, FOOTINGS, PADS AND SLABS FOR: WALLS, FENCING, CONTROLLERS, ETC., WHERE APPLICABLE.

2.0 GENERAL

ALL REQUIREMENTS OF SUBSECTION 3.31, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, SHALL APPLY EXCEPT AS SPECIFIED HEREIN.

2.1 INSPECTION OF SITE

EXAMINE RELATED WORK AND SURFACES BEFORE STARTING WORK IN THIS SECTION. REPORT TO THE LANDSCAPE ARCHITECT IN WRITING, SITE CONDITIONS WHICH WILL PREVENT THE PROPER PROVISION OF THIS WORK. BEGINNING THE WORK IN THIS SECTION WITHOUT REPORTING UNSUITABLE CONDITIONS TO THE LANDSCAPE ARCHITECT CONSTITUTES ACCEPTANCE OF SITE CONDITIONS BY THE CONTRACTOR. ANY REQUIRED REMOVAL, REPAIR, OR REPLACEMENT OF THIS WORK CAUSED BY UNSUITABLE CONDITIONS SHALL BE DONE AT NO ADDITIONAL COST TO OWNER.

2.2 PROTECTION OF EXISTING CONDITIONS

CONTRACTOR SHALL ACQUAINT HIMSELF WITH ALL SITE CONDITIONS. HE SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING SITE CONDITIONS. SHOULD DAMAGE BE INCURRED, THIS CONTRACTOR SHALL REPAIR DAMAGE TO ITS ORIGINAL CONDITION OR FURNISH AND INSTALL EQUAL REPLACEMENT AT HIS OWN EXPENSE, TO THE SATISFACTION OF THE OWNER.

2.3 COORDINATION

- A. COOPERATION ON-SITE: COORDINATE AND COOPERATE WITH OTHER CONTRACTORS TO ENABLE THE WORK TO PROCEED AS RAPIDLY AND EFFICIENTLY AS POSSIBLE.
- B. WORK WITH OTHER TRADES: COORDINATE WITH GENERAL CONTRACTOR ITEMS OF OTHER TRADES TO BE FURNISHED AND SET IN PLACE. SUCH PORTIONS OF THEIR WORK AS ALL OR IN PART EMBEDDED, BUILT-IN, ATTACHED TO, OR SUPPORTED BY THE WORK SHALL BE EXECUTED BY THEM IN AMPLE TIME THAT PROGRESS OF THE WORK IS NOT DELAYED. ANY CUTTING OR PATCHING MADE NECESSARY TO COMPLY WITH THIS INJUNCTION SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

2.4 APPROVAL

WHEREVER THE TERMS "APPROVE," "APPROVAL," OR "APPROVED" ARE USED IN THE SPECIFICATIONS, THEY MEAN APPROVAL OF THE LANDSCAPE ARCHITECT, THE OWNER'S REPRESENTATIVE OR THEIR FIELD REPRESENTATIVES, IN WRITING.

2.5 SUBMITTALS

AFTER AWARD OF CONTRACT, CONTRACTOR SHALL SUBMIT FOR APPROVAL SAMPLES AND SPECIFICATIONS OF SPECIFIED ITEMS PRIOR TO BEGINNING WORK. APPROVED SAMPLES SHALL BE STANDARDS FOR COMPLETING WORK. SAMPLES SHALL CONSIST OF 9" SQUARE PANELS. CONTRACTOR SHALL PROVIDE ONE PANEL FOR EACH COLOR AND OR FINISH ON THE JOB SITE. EACH SAMPLE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

2.6 SUBSTITUTIONS

- A. STANDARDS- SPECIFIC REFERENCE TO MANUFACTURES NAMES AND PRODUCTS AS SPECIFIED IN THIS SECTION ARE USED AS STANDARDS. THIS IMPLIES NO RIGHT TO SUBSTITUTE OTHER MATERIAL OR METHODS WITHOUT WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- B. APPROVAL- INSTALLATION OF ANY APPROVED SUBSTITUTIONS IS CONTRACTOR'S RESPONSIBILITY. ANY CHANGES REQUIRED FOR INSTALLATION OF ANY APPROVED SUBSTITUTION MUST BE MADE TO THE SATISFACTION OF LANDSCAPE ARCHITECT AND WITHOUT ADDITIONAL COST TO OWNER. APPROVAL BY LANDSCAPE ARCHITECT OF SUBSTITUTED MATERIALS AND/OR DIMENSIONAL DRAWINGS DOES NOT WAIVE THESE REQUIREMENTS.

2.7 WARRANTY

IN ADDITION TO MANUFACTURERS' GUARANTEES OR WARRANTIES, ALL WORK SHALL BE WARRANTED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP BY CONTRACTOR. WARRANTY SHALL ALSO COVER REPAIR OF DAMAGE TO ANY PART OF THE PREMISES.

3.0 MATERIALS

- A. PORTLAND CEMENT SHALL CONFORM TO ASTM-C150, TYPE I OR TYPE II.
- B. CONCRETE AGGREGATE SHALL CONFORM TO ASTM-C33. WATER SHALL BE CLEAN, FREE FROM STRONG ACIDS, ALKALI, OIL OR ORGANIC MATTER.
- C. ADMIXTURE FOR ALL FORMED CONCRETE SHALL BE SIK A CHEMICAL CORPS "PLASTIMET", OR APPROVED EQUAL, APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.
- D. REINFORCEMENT: REINFORCING STEEL ASTM-A15 AND ASTM-A-305. WIREFABRIC: ASTM-A185
- E. FORMS:
- E.1. LUMBER SHALL BE "CONSTRUCTION GRADE" DOUGLAS FIR
- E.2. PLYWOOD FOR FORMING OF CONCRETE WHICH IS EXPOSED SHALL BE PLYFORM. ALL PLYWOOD USED FOR FORMING SHALL BE AT LEAST 5/8 INCH THICK AND EDGE SEALED.
- F. EXPANSION JOINT FILLER SHALL CONFORM WITH ASTM-D1751 (PREMOLDED).
- G. PROVIDE CERTIFIED MILL TEST REPORTS OF THE CHEMICAL AND PHYSICAL PROPERTIES OF REINFORCING BARS AND WELDED WIRE FABRIC.
- G.1. REINFORCING BARS- DEFORMED BILLET-STEEL BARS CONFORMING TO ASTM A615. CLEAN AND FREE FROM RUST, SCALE, OR COATING THAT WILL REDUCE BOND.
- G.2. WELDED WIRE FABRIC
- G.2.1. CONFORM TO ASTM A185. TAGS DESIGNATING WIRE SIZE AND SPACING SHALL BE LEFT ON EACH ROLL UNTIL READY FOR USE.
- G.2.2. UNLESS OTHERWISE APPROVED WELDED WIRE MESH SHALL BE 6" X 6" No.10 No.10 CONTINUOUS.

4.0 CONCRETE

- A. QUALITY
- A.1. CONTRACTOR ASSUMES RESPONSIBILITY FOR THE DESIGN MIX AND GUARANTEES THE SPECIFIED ULTIMATE STRENGTH AS INDICATED OR SPECIFIED HEREIN.
- A.2. CONCRETE, MINIMUM 28-DAY ULTIMATE STRENGTH SHALL BE 2500 PSI.
- A.3. READY-MIXED CONCRETE SHALL CONFORM TO ASTM-C94.
- B. PROPORTIONS AND CONSISTENCY
- B.1. THE PROPORTIONS OF AGGREGATE TO CEMENT SHALL PROVIDE A DENSE MIXTURE WHICH WILL RIGIDLY WORK INTO ALL CORNERS OF THE FORMS AND AROUND ALL REINFORCEMENTS WITHOUT ANY SEGREGATION OF THE MATERIALS, CAUSE EXCESS FREE WATER TO COLLECT ON THE SURFACE OR CAUSE EXCESSIVE BLEEDING OF THE FORMS.
- B.2. THE RECOMMENDED PRACTICES OF THE AMERICAN CONCRETE INSTITUTE SHALL BE FOLLOWED IN ALL APPLICABLE PROCEDURES. PROVIDE MINIMUM SLUMP OF 4" FOR CURBS, 4 1/2" FOR 18 INCHES FOOTINGS, SLABS ON GRADE, AND MASS CONCRETE, 5 INCHES FOR FOUNDATION WALLS.

- C. CONTROL- THE CONCRETE QUALITY, PROPORTIONS, CONSISTENCY, ETC., IS SUBJECT TO THE APPROVAL OF OWNER, AND NO CHANGES SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL.

5.1 FORMWORK

- A. FORMS FOR CONCRETE WORK SHALL BE EITHER METAL OR WOOD. FORMS THAT ARE WARPED OR THAT DO NOT HAVE A SMOOTH STRAIGHT UPPER EDGE SHALL NOT BE USED. FORMS SHALL BE SET WITH THE UPPER EDGE OF THE BOARD TRUE TO LINE AND GRADE AND SHALL BE STAKED RIGIDLY IN PLACE WITH STAKES SET NOT MORE THAN FOUR FEET (4') APART SO AS TO REMAIN IMMOVABLE THROUGHOUT THE CONSTRUCTION. ALL FORMS SHALL BE APPROVED BY LANDSCAPE ARCHITECT WITHIN A TOLERANCE OF ONE PERCENT (1%). NOTIFY LANDSCAPE ARCHITECT 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION. ALL MATERIALS SHALL BE ACCURATELY AND SEPARATELY WEIGHTED AND MIXING SHALL CONTINUE UNTIL THE DISTRIBUTION OF MATERIAL IS UNIFORM AND THE MASS OF CONCRETE IS HOMOGENEOUS.
- B. TWO AND ONE-HALF (2 1/2) GALLONS OF WATER PER CUBIC YARD, SHALL BE WITHHELD FROM THE MIX AT THE PLANT, AND ALL OR A PORTION MAY BE ADDED TO THE MIX AT THE JOB SITE AS DIRECTED BY THE INSPECTOR. THE CONCRETE SHALL BE MIXED AT LEAST 5 MINUTES AFTER SUCH WATER IS ADDED AND NOT LESS THAN 3 MINUTES OF THIS TIME SHALL BE IMMEDIATELY PRIOR TO THE DISCHARGE OF THE BATCH. TOTAL MIXING TIME AFTER ADDING ORIGINAL WATER SHALL BE AT LEAST 15 MINUTES.
- C. CONCRETE WHICH IS NOT PLACED WITHIN 90 MINUTES AFTER THE INTRODUCTION OF CEMENT AND WATER, AND CONCRETE WHICH HAS STOOD FOR 30 MINUTES AFTER LEAVING THE MIXER, SHALL NOT BE USED.

5.2 REBAR

- A. REINFORCING BAR SHALL BE SPLICED WITH 30 BAR DIAMERS MINIMUM OVERLAP.

6.0 CONVEYING AND PLACING

- A. BEFORE POURING, ALL FORMS SHALL BE THOROUGHLY CLEANED AND MADE TIGHT. THE BOTTOM OF TRENCHES SHALL BE WETTED DOWN BEFORE POURING FOOTINGS. EARTH SHALL NOT BE MUDDY AT THE TIME OF POURING. CONCRETE SHALL NOT BE PLACED UNTIL REINFORCEMENTS, ROUGH HARDWARE, AND FORMS ARE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
- B. BEFORE DEPOSITING NEW CONCRETE AGAINST OLD CONCRETE, ALL LAITANCE SHALL BE REMOVED, AND THE SURFACES ROUGHENED TO EXPOSE THE EXPOSED AGGREGATE. THE SURFACES SHALL THEN BE COVERED WITH CEMENT GROUT, USING THE SPECIFIED MIX WITH 1/2 OF THE COURSE AGGREGATE OMITTED, 1 1/2 INCHES THICK.
- C. CONVEYING AND PLACING OF CONCRETE SHALL BE DONE SO AS TO PREVENT SEPARATION OF INGREDIENTS, AND IN NO CASE SHALL THE FREE FALL EXCEED 6 FEET. TREMIES SHALL BE USED AS REQUIRED. SURFACES OF CONCRETE SHALL BE KEPT REASONABLY LEVEL, WITH A MINIMUM AMOUNT OF CONCRETE BEING ALLOWED TO FLOW AFTER BEING PLACED. PLACING SHALL BE PERFORMED AS A CONTINUOUS OPERATION UNTIL EACH SECTION IS COMPLETED.
- D. CONCRETE SHALL BE SPADED AND VIBRATED WITH MECHANICAL VIBRATORS TO A MAXIMUM SUBSIDENCE, WITHOUT SEPARATION OF INGREDIENTS. THE MOVING OF CONCRETE BY VIBRATION WILL NOT BE PERMITTED.

6.1 COLORED CONCRETE

INTEGRAL COLOR SHALL BE PER PLAN WHERE APPLICABLE.

7.0 GROUTING

- A. GROUT SHALL BE COMPOSED OF ONE PART PORTLAND CEMENT AND TWO PARTS OF FINE AGGREGATE BY VOLUME. MATERIALS SHALL BE MIXED DRY AND WATER ADDED JUST SUFFICIENT TO MAKE THE MIXTURE FLOW UNDER ITS OWN WEIGHT.

8.0 CURING AND PROTECTION

- A. ALL EXPOSED SURFACES OF CONCRETE SHALL BE PROTECTED FROM DAMAGE DUE TO TEMPERATURE, ELEMENTS, AND CONSTRUCTION OPERATIONS.
- B. CURING:
- B.1. ALL EXPOSED SURFACES OF CONCRETE SHALL BE PROTECTED FROM PREMATURE DRYING AND FRESHLY PLACED CONCRETE SHALL BE PROTECTED AGAINST WASH BY RAIN. ALL CONCRETE SHALL BE KEPT WET FOR A PERIOD OF TEN DAYS AFTER PLACING.
- B.2. ALL LIQUID CURING COMPOUNDS SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SHALL NOT BE USED ON SURFACES RECEIVING CONCRETE HARDENER.

9.0 DEFECTIVE CONCRETE

- A. CONCRETE WHICH IS NOT IN ACCORDANCE WITH THESE SPECIFICATIONS, OUT OF LINE, LEVEL, OR PLUMB; SHOWING STRUCTURAL CRACKS, ROCK POCKETS, VOIDS, SPALLS, HONEYCOMBING, EXPOSED REINFORCING OR OTHER DAMAGED SURFACES SHALL BE CONSIDERED AS DEFECTIVE.
- B. ALL FINES AND IRREGULARITIES SHALL BE REMOVED FROM EXPOSED CONCRETE SURFACES WHILE THE CONCRETE IS STILL GREEN, WHERE PATCHING IS REQUIRED, ALL LOOSE AND UNIFORM CONCRETE SHALL BE REMOVED PRIOR TO PATCHING.

10.0 CONCRETE FINISHES

FLAT SURFACES SHALL BE SCREEDED TO THE REQUIRED LEVELS AND SLOPE AND THEN ANY EXCESS WATER OR LAITANCE REMOVED. CONCRETE SHALL BE COMPACTED WITH A GRID TAMPER AND THEN FLOATED TO A TRUE AND LEVEL SURFACE WITHIN THE TOLERANCE OF 1/8 INCH ALONG A 10 FOOT STRAIGHT EDGE. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ON ALL FLATWORK. SEE PLANS FOR CONCRETE FINISH.

11.0 EXPANSION JOINTS

CONTROL JOINTS AND OTHER EDGES SHALL BE FORMED IN FRESH CONCRETE USING A CLEAN EDGING OR JOINTING TOOL TO PROVIDE A SMOOTH UNIFORM FINISH.

12.0 CLEAN-UP

UPON COMPLETION OF ALL CONCRETE WORK AND BEFORE FINAL ACCEPTANCE, CONTRACTOR SHALL REMOVE ALL TOOLS, SURPLUS MATERIALS, APPARATUS, DEBRIS, ETC., FROM THE SITE AND THE SITE SHALL BE LEFT IN A CLEAN, NEAT CONDITION ACCEPTABLE TO OWNER.

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# LANDSCAPE IMPROVEMENT PLAN

# TRACT 20404 - HAVEN AT COVENANT POINT

# ENTRY MONUMENT

## PROJECT DIRECTORY

### DEVELOPER / OWNER

TRUMARK HOMES  
450 NEWPORT CENTER DR, SUITE 300  
NEWPORT BEACH, CA 92660  
TEL: (949) 999-9800  
CEL#: (858) 668-6134  
CONTACT: PAUL FAYE

### LANDSCAPE ARCHITECT

SJA, INC.  
7859 SITIO COCO  
CARLSBAD, CA 92009  
FAX: (949) 276-6500  
FAX: (949) 276-6506  
CONTACT: RUSS JOHNSTON

### CIVIL ENGINEER & SURVEYOR

PROACTIVE ENGINEERING  
CONSULTANTS INC.  
200 S. MAIN STREET, SUITE 300  
CORONA, CA 92882  
TEL: (951) 280-3312  
CONTACT: ADRIANA GRIFFITH

### SOILS ENGINEER

LEIGHTON AND ASSOCIATES, INC  
17781 COWAN  
FAY: IRVINE, CA 92614  
TEL: (949) 681-4265

## PROJECT DIRECTORY

### SEWER:

CITY OF LOMA LINDA PUBLIC WORKS  
26000 BARTON RD  
LOMA LINDA, CA 92354  
TEL: (909) 799-4400

### WATER

CITY OF LOMA LINDA PUBLIC WORKS  
26000 BARTON RD  
LOMA LINDA, CA 92354  
TEL: (909) 799-4400

### GAS

THE SOUTHERN CALIFORNIA GAS CO.  
196 E 3RD ST.  
POMONA, CA 91766  
TEL: (800) 427-2200

### ELECTRIC

SOUTHERN CALIFORNIA EDISON  
2244 WALNUT GROVE AVENUE  
ROSEMEAD, CA 91770  
TEL: (800) 655-4555

### TELEPHONE

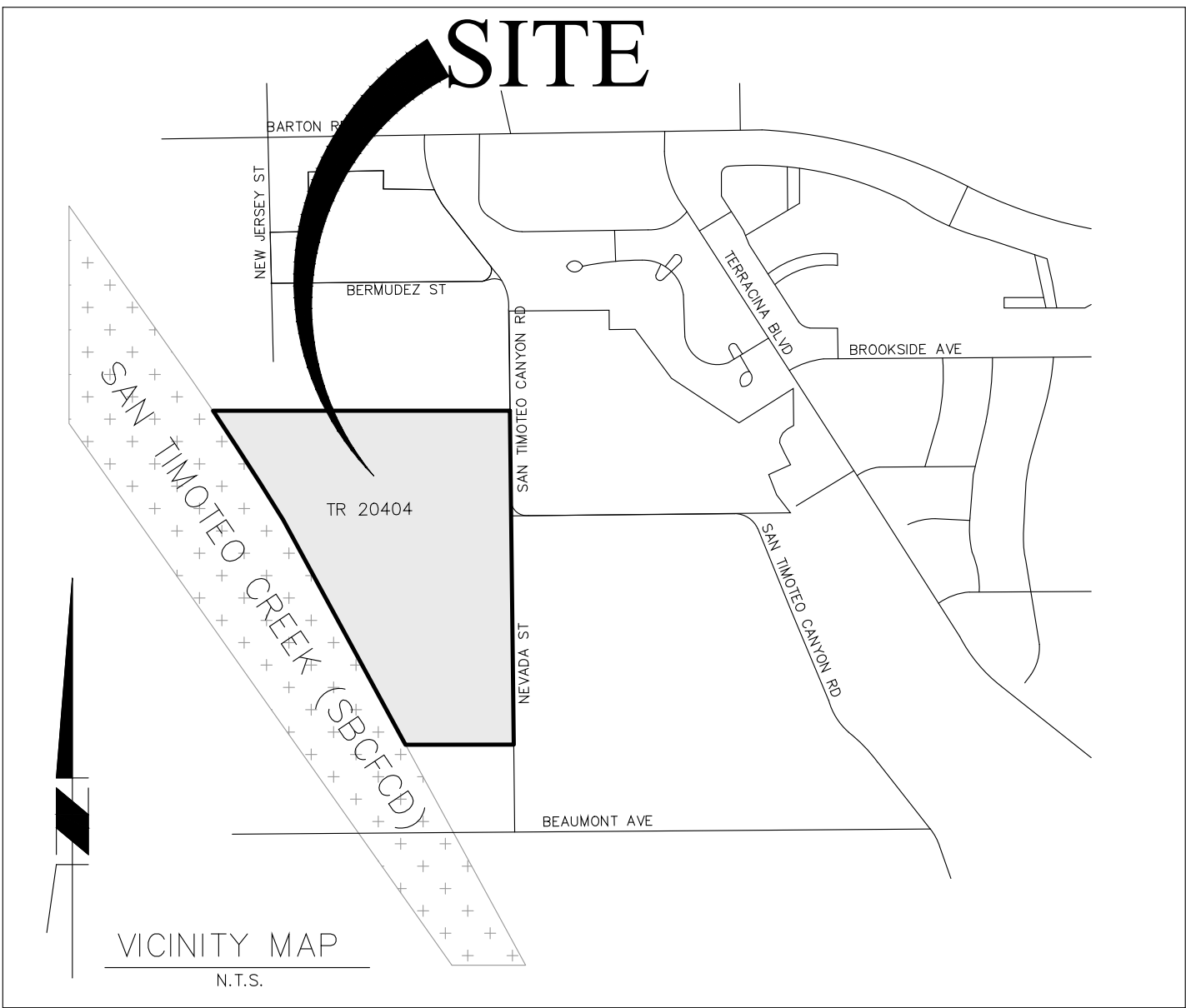
FRONTIER COMMUNICATIONS  
401 MERRITT 7  
NORWALK, CT 06851  
TEL: (855) 237-5355

### CABLE

SPECTRUM  
400 ATLANTIC ST.,FL 10.  
STAMFORD, CT 06901  
TEL: (855) 470-3572

## LEGAL DISCRIPTION

TRACT MAP NO. 20404 IN THE CITY OF LOMA LINDA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, BEING A SUBDIVISION OF A PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 1 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN TOGETHER WITH A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 1 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN.



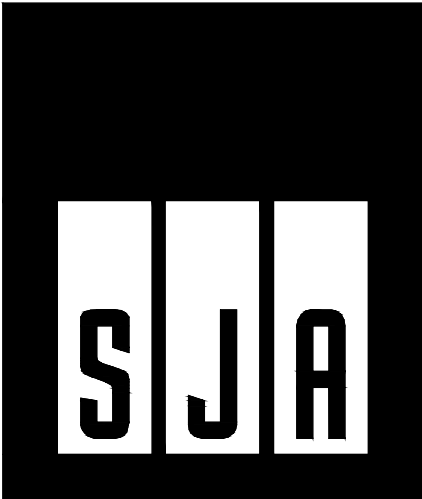
## SHEET INDEX

TITLE SHEET	1
CONSTRUCTION PLAN	2
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CONSTRUCTION SPECIFICATIONS	4



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NOTE: THIS PROJECT SHALL CONFORM TO THE FOLLOWING EDITIONS: 2022 CALIFORNIA BUILDING CODE/2021 IRC, 2022 CALIFORNIA RESIDENTIAL CODE/2021 IRC, 2022 CALIFORNIA ELECTRICAL CODE/2020 NEC, 2022 CALIFORNIA MECHANICAL CODE/2021 UMC, 2022 CALIFORNIA PLUMBING CODE/2021 UPC, 2022 CALIFORNIA ENERGY CODE, 2022 CALIFORNIA HISTORICAL BUILDING CODE, 2022 CALIFORNIA EXISTING BUILDING CODE/2021 IEBC, 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), INCLUDING ALL CITY / COUNTY LAWS AND ORDINANCES.



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TRUMARK  
450 NEWPORT CENTER DRIVE, SUITE 300  
NEWPORT BEACH, CA 92660

## REVISIONS

REVISION	DATE
MONUMENT SIGN	04-07-2025
COLOR SWATCH	04-09-2025

SCALE	N/A
DRAWN	KC
DESIGNED	RJ
CHECKED	
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## SHEET TITLE

TITLE SHEET

## SHEET

1

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4

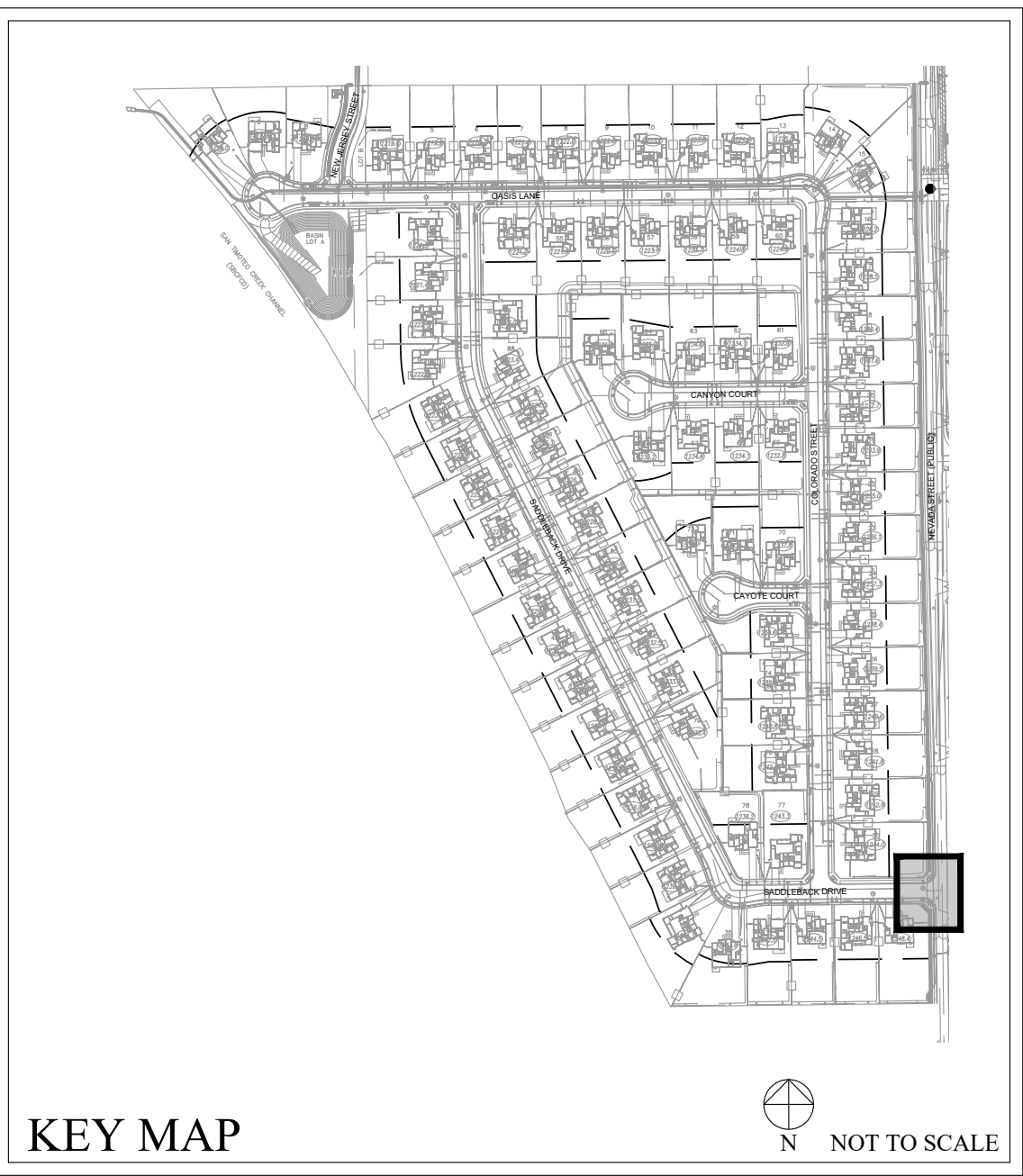
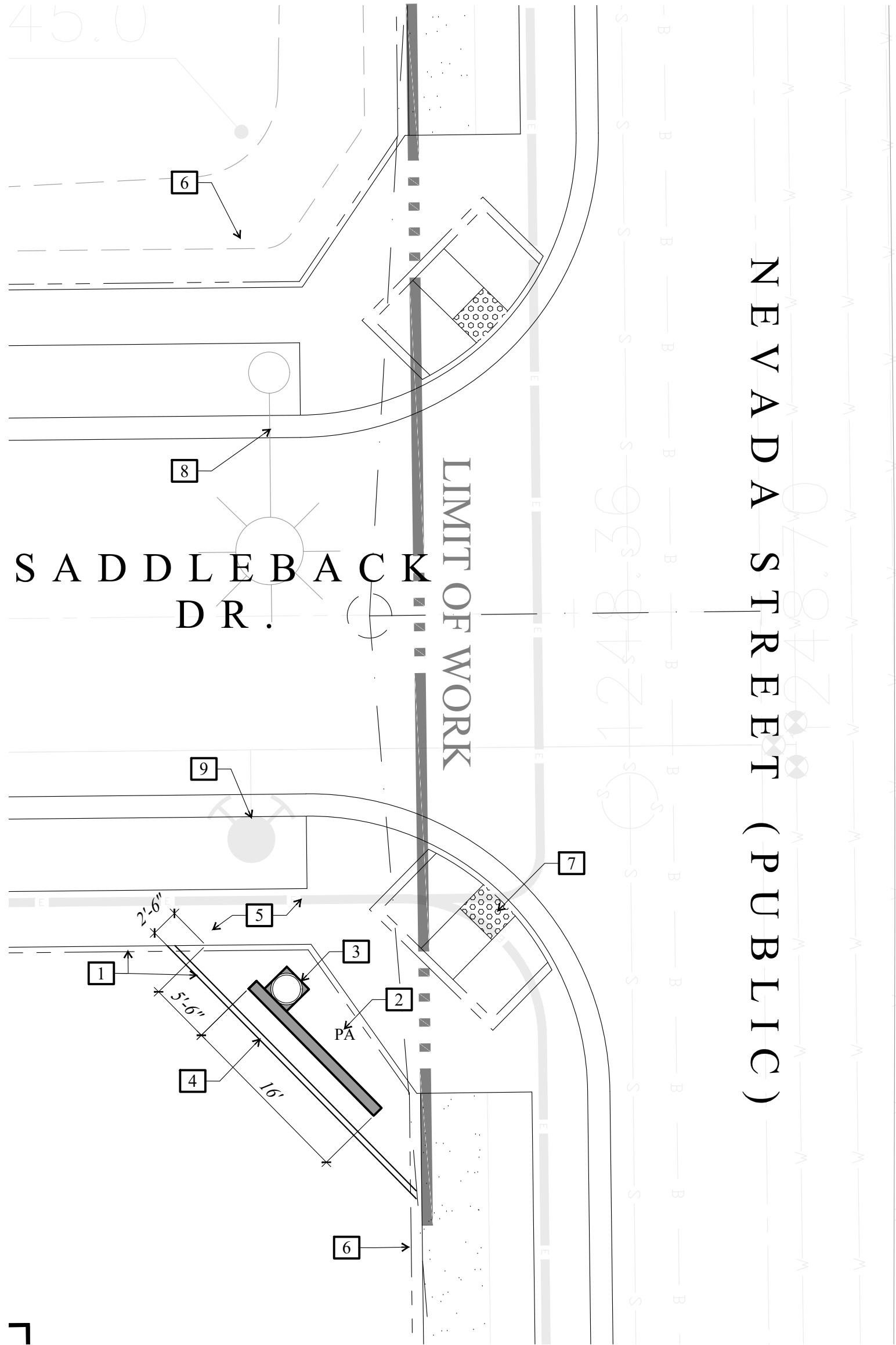
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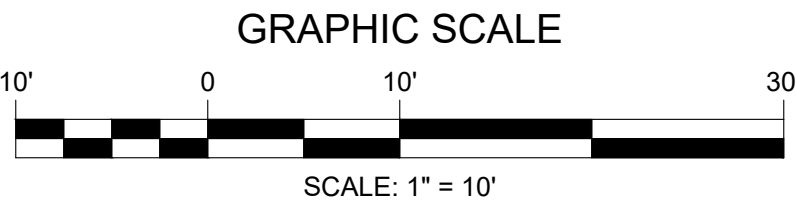
CONSTRUCTION NOTATION

- 1 RIGHT OF WAY
- 2 PA - PLANTING AREA
- 3 ENTRY MONUMENT, SEE DETAIL A, AA/3
- 4 CONCRETE MOW CURB, SEE DETAIL B/3
- 5 CONCRETE SIDE WALK, PER CIVIL PLAN
- 6 PRODUCTION WALL, PER CIVIL PLAN
- 7 ADA RAMP, PER CIVIL PLAN
- 8 STREET LIGHT, PER CIVIL PLAN
- 9 FIRE HYDRANT, PER CIVILPLAN

NOTE:  
REFER TO SEPARATE TRACT 20404 - CANYON RANCH COMMON AREAS LANDSCAPE PLANS FOR IRRIGATION AND PLANTING AROUND ENTRY MONUMENT.

GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY HAVE NOT BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE CITY/COUNTY REP. FAILURE TO GIVE SUCH NOTIFICATION SHALL RESULT IN THE CONTRACTOR ASSUMING FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER SUB-CONTRACTORS AS REQUIRED TO ACCOMPLISH CONSTRUCTION OPERATIONS.
- SEE GRADING PLANS FOR VERTICAL CONTROL, WHERE APPLICABLE.
- CONTRACTOR SHALL COORDINATE IRRIGATION SLEEVE LOCATIONS UNDER PAVED AREAS AS REQUIRED. REFER TO IRRIGATION PLANS.
- PRIOR TO PLACING CONCRETE OR AC, THE CONTRACTOR SHALL SUFFICIENTLY COMPACT THE SUBGRADE AND PROVIDE SUBSURFACE PREPARATION PER SPECIFICATIONS.
- CONCRETE/HARDSCAPE SURFACES SHALL BE FORMED WITH LONG, SMOOTH GRADIENTS TO REDUCE DIPS, ABRUPT CHANGES AND SHARP TRANSITIONS.
- ALL CURVILINEAR WALKS, CURBS, HEADERBOARDS, AND WALLS SHALL HAVE A CONTINUOUS SMOOTH CURVE WHERE APPLICABLE. ALL FORMS MUST BE INSPECTED AND APPROVED PRIOR TO BEGINNING THAT PHASE OF WORK.
- UNLESS OTHERWISE SHOWN, ALL WALKS SHALL BE 3-1/2" THICK NATURAL COLOR WITH A ACID WASH FINISH. INSTALL EXPANSION JOINTS PER PLAN.
- IF IN THE FIELD, SCALED DIMENSIONS CONFLICT WITH WRITTEN GRADES, AND/OR DIMENSIONS, THE WRITTEN INFORMATION SHALL TAKE PRECEDENCE.



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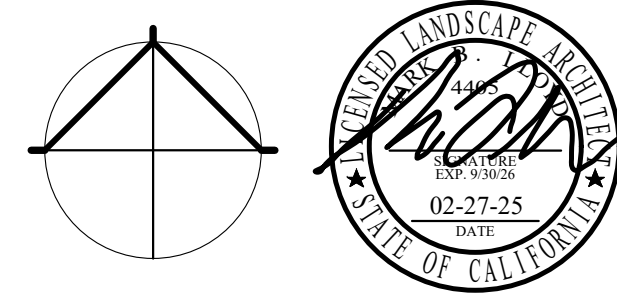
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SHEET TITLE  
CONSTRUCTION PLAN

SHEET

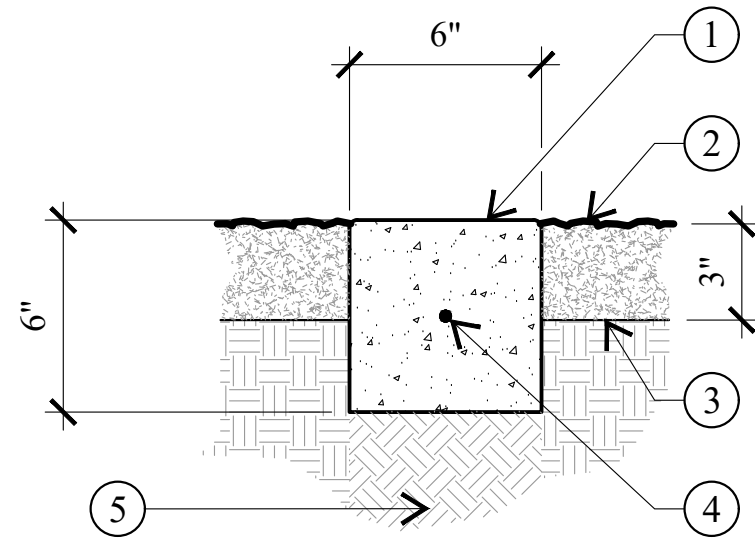
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- ① NATURAL GRAY (NO COLOR) CONCRETE MOW CURB - 1/4" RADIUS EXPOSED EDGES, FINISH TO MATCH ADJACENT CONCRETE PAVING
- ② FINISH GRADE OF MULCH - FLUSH WITH CONCRETE MOW CURB
- ③ FINISH GRADE IN SHRUB AREAS
- ④ NO. 3 REBAR, CONTINUOUS - SET AT MID-HEIGHT / WIDTH, OVERLAP 12" MIN. AT SPLICES, TYP.
- ⑤ COMPACTED SUBGRADE PER SOILS REPORT

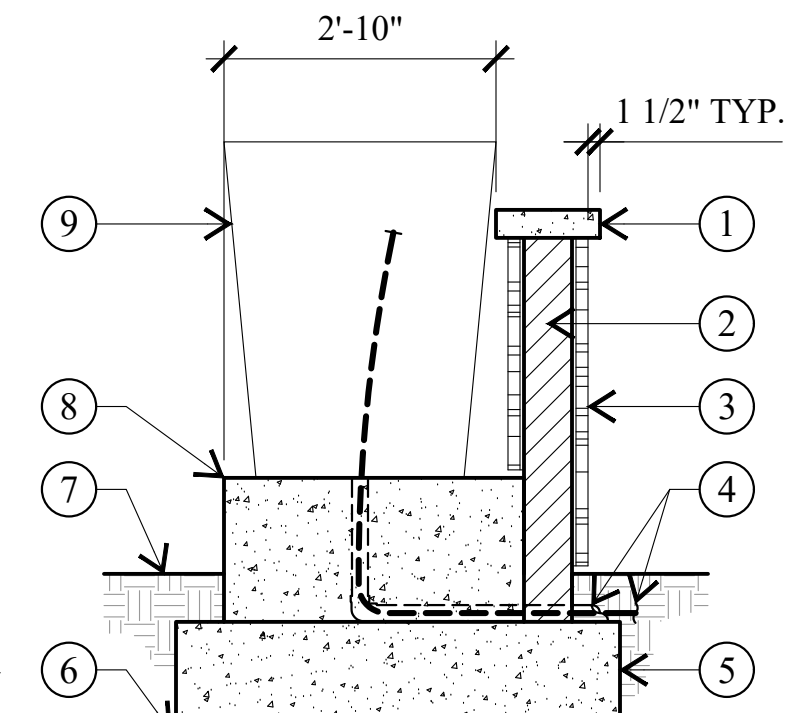


NOTE:  
A. PROVIDE SCORE JOINTS AT 8'-0" O.C. AND 3/8" POLY EXPANSION JOINT AT EACH END.

- ① 3-1/2" THICK P.I.P. INTEGRAL COLOR CONCRETE CAP - RADIUS ALL EDGES 1/4". COLOR: TAUPE 677, AVAIL. THRU: DAVIS COLORS, FINISH: TOP-CAST #03
- ② 6" WIDE CMU, GROUT ALL CELLS SOLID
- ③ MESQUITE - CLIFFSTONE VENEER, AVAILABLE THRU: EL DorADO STONE - INSTALL W/ CONC. MORTAR, GROUTLESS
- ④ IRRIGATION PLUMBED THRU 2" DIA. DRAIN PIPE W/ ATRIUM GRATE. CONNECT DRAIN PIPE TO MAIN DRAIN
- ⑤ P.I.P. CONCRETE FOOTING
- ⑥ COMPACTED SUBGRADE PER SOILS REPORT
- ⑦ FINISH GRADE
- ⑧ P.I.P. INTEGRAL COLOR CONCRETE POT PEDESTAL - RADIUS ALL EDGES 1/4", COLOR TO MATCH CAP
- ⑨ MODERN TALL ROUND (GFR-MTR) POT, 34" (W) x 42" (H) x (26" BASE), COLOR: NEEDLEPOINT NAVY, AVAILABLE THRU: PLANTER SUPPLY CO.
- ⑩ SIGNAGE BY FUSION SIGN AND DESIGN

NOTES:

- A. DETAIL IS FOR DESIGN INTENT ONLY.
- B. REFER TO STRUCTURAL DRAWINGS FOR STEEL REINFORCEMENTS, FOOTING INFORMATION AND CALCULATIONS.



SCALE: 1/2" = 1'-0"

## ELEVATION

## ENTRY MONUMENT

## CONCRETE MOW CURB

TRACT 20404  
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SHEET TITLE
CONSTRUCTION DETAILS

## SHEET

3

OF 4

### ENTRY MONUMENT FONT - COLOR SWATCH

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GENERAL NOTES

1.0 BIDS, CONTRACTS AND INSURANCE

- A. EACH BIDDER SHALL INSPECT THE SITE BEFORE SUBMITTING HIS BID.
- B. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- C. SEPARATE CONTRACTS: THE OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTS IN CONNECTION WITH HIS WORK. THE CONTRACTOR SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE EXECUTION OF THEIR WORK, AND SHALL PROPERLY COORDINATE HIS WORK WITH THEIRS.
- D. LIABILITY AND COMPENSATION INSURANCE: THE CONTRACTOR SHALL CARRY AND PAY FOR ADEQUATE LIABILITY AND COMPENSATION INSURANCE AND SHALL, IF REQUIRED, FURNISH THE OWNER WITH EVIDENCE TO THIS EFFECT.
- E. GUARANTEE BONDS: THE OWNER SHALL HAVE THE RIGHT, PRIOR TO THE SIGNING OF THE CONTRACT TO REQUIRE THE CONTRACTOR TO FURNISH BOND COVERING OF THE FAITHFUL PERFORMANCE OF THE CONTRACT AND THE PAYMENT OF ALL OBLIGATIONS ARISING THEREUNDER, IN SUCH FORM AS THE OWNER MAY PRESCRIBE AND WITH SUCH SURETIES AS HE MAY APPROVE. IF SUCH BOND IS REQUIRED, THE PREMIUM SHALL BE PAID BY THE OWNER.

2.0 PLANS AND PERMITS

- A. ALL CONSTRUCTION SHALL BE ACCORDING TO CONSTRUCTION DOCUMENTS AND SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE U.B.C.
- B. CORRELATION OF DRAWINGS AND SPECIFICATIONS: ANY WORK NOT ACCORDING TO DRAWINGS AND SPECIFICATIONS OR ORDINANCES AND LAWS SHALL BE REMOVED.
- C. DO NOT SCALE DRAWINGS. USE DIMENSIONS INDICATED.
- D. ANY DISCREPANCY IN THE DRAWINGS OR SPECIFICATIONS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT. FAILURE TO DO SO WILL PLACE RESPONSIBILITY ON THE CONTRACTOR.
- E. PERMITS, FEES, ETC.: THE CONTRACTOR SHALL ARRANGE AND PAY FOR THE BUILDING PERMIT AND EACH SUBCONTRACTOR SHALL ARRANGE AND PAY FOR PERMITS FOR THEIR RESPECTIVE WORK.

3.0 EXECUTION

- A. CONTRACTOR TO VERIFY ON SITE, ALL DIMENSIONS AND LOCATION OF ANY UNDERGROUND UTILITIES.
- B. DEMOLITION AND REMOVALS SHALL PROCEED ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT/OWNER.
- C. CUT, CAP, OR PLUG, AS REQUIRED, THOSE UTILITY LINES SERVING THE AREA WITHIN THE PROJECT LIMITS SHALL REMAIN UNINTERRUPTED DURING THE WORK PROGRESS.
- D. CARE IS TO BE TAKEN NOT TO DEFACE, CRACK OR DAMAGE ANY EXISTING STRUCTURES, FENCES OR CONCRETE WORK. ALL DAMAGES TO BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- E. CUTTING AND PATCHING: THE CONTRACTOR SHALL DO ALL CUTTING, FITTING OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE IT COMPLETE AS SHOWN BY DRAWINGS AND SPECIFICATIONS. ANY COST CAUSED BY DEFECTIVE OR ILL-TIMED WORK SHALL BE BORNE BY THE PARTY RESPONSIBLE THEREFOR.
- F. CLEANING: IT SHALL BE THE DUTY OF EACH SUBCONTRACTOR TO REMOVE HIS OWN RUBBISH FROM THE PREMISES AND KEEP THE JOB CLEAN AT ALL TIMES. HE SHALL PROTECT WORK OF ALL OTHER CONTRACTORS.
- G. CONTRACTOR SHALL THOROUGHLY CLEAN UP SITE AND REMOVE ALL DEBRIS AND EXTRANEOUS MATERIAL FROM THE SITE PRIOR TO FINAL APPROVAL.
- H. CONDUCT OF THE WORK: THE CONTRACTOR SHALL, AT ALL TIMES, KEEP A COMPETENT FOREMAN ON THE JOB WHO SHALL BE IN CHARGE OF THE ENTIRE WORK INCLUDING THE WORK OF HIS SUBCONTRACTORS. HE SHALL BE RESPONSIBLE FOR ITS ACCURACY.

4.0 EXTRAS AND SUBSTITUTIONS

- A. ANY EXTRAS TO BE APPROVED IN WRITING BY THE OWNER PRIOR TO ANY CONSTRUCTION.
- B. THERE ARE TO BE NO SUBSTITUTIONS WITHOUT THE PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.

5.0 PAYMENT

LIEN RELEASES FOR THE COMPLETED WORK SHALL BE SUBMITTED PRIOR TO PAYMENT FOR SAID WORK.

MASONRY SPECIFICATIONS

1.0 SCOPE OF WORK

- A. GENERAL: THIS WORK SHALL CONSIST OF FURNISHING ALL LABOR AND MATERIALS FOR CONSTRUCTION OR INSTALLATION OF ALL LABOR AND STRUCTURES, AND BRICK OR TILE AS DETAILED ON THE PLANS.
- B. WORK INCLUDES THE INSTALLATION OF ANCHORS AND INSERTS FURNISHED BY OTHER REQUIRED FOR OTHER TRADES, REINFORCEMENT STEEL, CONCRETE BASES OR FOOTINGS, AND STUCCO FINISHES.

2.0 MATERIALS

- A. REFER TO PLANS FOR SPECIFIC MATERIAL TYPES, COLORS FINISHES, ETC.
- B. CONCRETE MASONRY UNITS: CONFORM TO ASTM C90, GRADE N-II AND THE REQUIREMENTS OF THE QUALITY CONTROL STANDARDS OF THE CONCRETE MASONRY ASSOCIATION; AS MANUFACTURED BY ORCO BLOCK CO., OR EQUAL.
- C. PORTLAND CEMENT: CONFORM TO ASTM C150, TYPE I OR TYPE II, TYPE, LOW ALKALI. USE ONLY ONE BRAND THROUGHOUT WORK. PROVIDE WHITE CEMENT AS REQUIRED FOR USE IN COLORED MORTAR.
- D. HYDRATED LIME: CONFORM TO ASTM C207, TYPE S, AND CONTAINING 95% BY WEIGHT OF CALCIUM OXIDE.
- E. AGGREGATES: CONFORM TO ASTM C144.
- E.1. SAND: CONSIST OF FINE GRANULAR MATERIALS, (NOT LESS THAN 5% PASSING NO. 8 SIEVE), COMPOSED OF HARD, STRONG DURABLE MINERAL PARTICLES, FREE FROM INJURIOUS AMOUNTS OF SALINE, ALKALINE, ORGANIC OR OTHER DELETERIOUS SUBSTANCES.
- E.2. PEA GRAVEL: GRADED WITH NO MORE THAN 5% PASSING THE NO. 8 SIEVE AND WITH 100% PASSING THE 3/8" SIEVE.
- F. REINFORCING STEEL: NEW, TESTED DEFORMED BARS OF DOMESTIC MANUFACTURE CONFORMING TO ASTM 1615.
- G. WATER: CLEAN, POTABLE, FROM DOMESTIC SUPPLY.
- H. ADMIXTURE FOR MORTAR: "RED LABEL" USED IN ACCORDANCE WITH THE SPECIFICATIONS.
- I. MORTAR: FRESHLY PREPARED AND UNIFORMLY MIXED IN THE RATIO BY VOLUMES OF 1 PART CEMENT, 1/2 PART LIME PUTTY, 4 1/2 PARTS SAND. PUTTY SHALL BE OMITTED. MORTAR SHALL MATCH COLOR OF BLOCK, UNLESS OTHERWISE SPECIFIED.
- J. GROUT: FLUID CONSISTENCY AND MIXED IN THE RATIO BY PARTS SAND, 2 PARTS PEA GRAVEL.
- K. LIME PUTTY: ASTM C5, HIGH CALCIUM LIME, COMPLETELY SLAKED BEFORE USING.

3.0 EXECUTION

- A. EXECUTE WORK IN BEST WORKMANSHIP LIKE MANNER IN FULL COMPLIANCE WITH APPLICABLE BUILDING ORDINANCES.
- B. CONCRETE BLOCK SHALL BE LAID AS REINFORCED FULL CELL UNIT MASONRY. BLOCK SHALL BE LAID ON 3/8" THICK FULL MORTAR BED ON ALL WEBS AND FACE SHELLS. VERTICAL FACES OF HEAD JOINTS SHALL BE WELL BUTTERED TO A DEPTH OF 1 1/2" FROM EXTERIOR FACES AND ALL JOINTS SHALL BE SHOVED INTO PLACE, SO THE MORTAR BONDS WELL WITH BOTH BLOCKS. FURROWING OF THE MORTAR IS NOT PERMITTED. INTERSECTING MASONRY SHALL BE GROUTED IN 4"Ø MAXIMUM POURS. UNLESS OTHERWISE NOTED ON PLANS, ALL CELLS CONTAINING REINFORCING SHALL BE SOLID GROUTED. PUDDLE THE GROUT WITH A STICK IN EACH CELL, EACH TIME IT IS POURED, TO OBTAIN A COMPLETE FILLING OF THE VOIDS. RECONSOLIDATE ALL GROUT. RUN ALL HORIZONTAL BARS IN BOND BEAM BLOCK AND LAP AROUND CORNER AND AT ALL SPLICE 2'-0" MINIMUM. RUN ALL VERTICAL BARS IN OPEN END BLOCK.

- C. DO NOT START MASONRY IF THE HORIZONTAL OR VERTICAL ALIGNMENT OF THE FOUNDATION IS A MAXIMUM OF 1" TOTAL IN ERROR.
- D. ALL UNITS SHALL BE CLEAN WHERE LAID. CONCRETE UNITS SHALL BE DRY. BRICK SHALL BE WETTED BUT HAVE NO FREE MOVING WATER WHEN LAID.
- E. WHERE NO BOND PATTERN IS SHOWN ON THE PLANS, THE WALL SHALL BE RUNNING BOND.
- F. WHERE MASONRY UNIT CUTTING IS NECESSARY, MAKE ALL CUTS NEAT AND REGULAR, EDGES EXPOSED IN THE FINISHED WORK SHALL BE CUT WITH A POWER DRIVEN ABRASIVE SAW.
- G. MORTAR JOINTS SHALL BE STRAIGHT, CLEAN AND UNIFORM IN THICKNESS. UNLESS OTHERWISE SPECIFIED OR DETAILED, HORIZONTAL AND VERTICAL JOINTS SHALL BE APPROXIMATELY 3/8" THICK FOR PRECISION BLOCS. BRICK JOINTS TO BE 1/2" - 3/8" THICK WITH A MAXIMUM DEPTH OF 3/8" RAKE. UNLESS OTHERWISE SHOWN ON PLANS, EXPOSED WALLS SHALL HAVE DENSE, SLIGHTLY CONCAVE SURFACE WELL BONDED TO THE BLOCK AT THE EDGES. PERFECT TOOLING WHEN THE MORTAR IS PARTIALLY SET BUT STILL SUFFICIENTLY PLASTIC TO BOND. DO ALL TOOLING WITH A TOOL WHICH COMPACTS THE MORTAR, PRESSING THE EXCESS MORTAR OUT OF IT RATHER THAN DRAGGING IT OUT. WHERE WALL SURFACE IS TO BE PLASTERED, MAKE MORTAR JOINTS FLUSH WITH BLOCK FACE.
- I. IF IT IS NOT NECESSARY TO MOVE A BLOCK SO AS TO OPEN A JOINT, REMOVE THE BLOCK FROM THE WALL, CLEAN AND SET IN FRESH MORTAR.
- J. CONCRETE FOOTINGS TO ATTAIN 2800 PSI AT 28 DAYS (MAX. 4 1/2" SLUMP). THE OWNER'S REPRESENTATIVE IS TO BE NOTIFIED 24 HOURS PRIOR TO CONCRETE POUR IN ORDER THAT THE FORMS AND REINFORCEMENT MAY BE INSPECTED.
- L. CO-ORDINATE PLACEMENT OF WATER AND ELECTRICAL LINES PRIOR TO CONCRETE POUR. VERIFY LOCATION OF ALL P.V.C. SLEEVES AND ELECTRIC SOURCE FOR IRRIGATION CLOCK WITH LANDSCAPE CONTRACTOR.
- M. MASON TO BE RESPONSIBLE FOR SETTING ALL S.P.O.'S SWITCHES, J-BOXES FLUSH WITH STRUCTURE, AND FOR SETTING BOLTS, ANCHORS, AND INSERTS FOR ATTACHMENTS BY OTHER TRADES.
- N. PLACING REINFORCING STEEL:
- N.1. WHERE HORIZONTAL COURSES ARE TO BE FILLED, USE METAL STOPS. USE OF PAPER STOPS WILL NOT BE PERMITTED. ALL HORIZONTAL REINFORCING STEEL SHALL BE LAID IN A COURSE OF BOND BEAM BLOCK FILLED WITH MORTAR.
- N.2. CUT BRICK WITH POWER DRIVEN ABRASIVE SAW ONLY. CUT NEAT TRUE LINE WITHOUT CHIPS ON EXPOSED FACES, CONCEAL CUT FACES WHERE POSSIBLE. DO NOT LAY BRICKS LESS THAN 1/4 LENGTH IN EXPOSED WORK. IF ANY BRICK MUST BE REMOVED OR SHIFTED AFTER IT HAS BEEN LAID, REMOVE SETTING MORTAR, CLEAN BRICK THOROUGHLY, APPLY FRESH MORTAR AND RE-LAY.
- N.3. LAY MASONRY TRUE, LEVEL, AND PLUMB WITH ANGLE SQUARE IN ACCORDANCE WITH PLANS.
- O. SEAL BACK OF PLANTER WALLS WITH APPROVED ELASTOMERIC WATERPROOF MEMBRANE.
- P. BACKFILL BEHIND ALL WALLS AND MASONRY STRUCTURES, AS REQUIRED AND AS PER DETAILS. BACKFILL IN PLANTERS TO BE TOP GRADE SANDY LOAM TOPSOIL, SWALE EARTH FOR PROPER DRAINAGE. WHERE CONCRETE SLABS OCCUR NEXT TO WALLS, BACKFILL SHALL BE COMPACTED TO 90%.

4.0 CLEANING

- A. SPECIAL CARE SHALL BE USED TO PREVENT STAINING OF EXPOSED AND GROUT. ANY MORTAR OR GROUT WHICH COMES IN SUCH FACES SHALL BE PROMPTLY AND THOROUGHLY REMOVED BY AFFECTIVE AND APPROVED MEANS.
- B. ENTIRE SITE TO BE CLEANED AND ALL DEBRIS REMOVED PRIOR TO FINAL INSPECTION.

WOODWORKING SPECIFICATIONS

1.0 SCOPE OF WORK

- A. GENERAL: THIS WORK SHALL CONSIST OF FURNISHING ALL LABOR AND MATERIAL FOR CONSTRUCTION OF OVERHEAD WOOD TRELLIS, FENCES, AND SCREENS, AS DETAILED ON THE PLANS. THE WORK DOES NOT INCLUDE POST FOOTINGS AND HARDWARE SET IN PAVED AREAS.
- B. COORDINATION: THE WOOD WORK CONTRACTOR SHALL LOCATE AND STAKE POST LOCATIONS FOR CONCRETE AND/OR MASONRY CONTRACTOR BEFORE PAVING OR MASONRY WORK IS BEGUN.
- C. SITE CONDITIONS: VERIFY ALL DIMENSIONS AND SITE CONDITIONS ON THE SITE PRIOR TO BEGINNING WORK. ANY DISCREPANCIES SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.
- D. PERMITS: CONTRACTOR SHALL OBTAIN ALL BUILDING PERMITS AND APPROVALS. (REFER TO GENERAL NOTES).

2.0 MATERIALS

- A. GENERAL: ALL MATERIALS SHALL BE NEW AND PROPERLY GRADE-MARKED OR CERTIFIED. ONLY LUMBER CONSISTING OF SOUND WOOD, FREE OF DECAY, WARPING, SPLITS OR CHECKS WILL BE ACCEPTABLE.
- B. LUMBER:
- B.1. ALL LUMBER SIZES SHOWN ON THE PLANS OR SPECIFIED REFER TO NOMINAL SIZES AND THE AMERICAN STANDARD ROUGH AND DRESSED SIZES WILL BE ACCEPTED AS CONFORMING THERETO.
- B.2. DOUGLAS FIR SHALL BE OF THE SPECIES "PSEUDOTSUGA MENZIESII" AND SHALL BE GRADED IN ACCORDANCE WITH THE CURRENT STANDARD GRADING AND DRESSING RULES FOR DOUGLAS FIR ADOPTED BY THE WEST COAST BUREAU OF LUMBER GRADES AND INSPECTION.
- B.3. CEDAR SHALL BE OF THE SPECIES "CHAMAECYPARIS LAWSONIANA" AND SHALL BE GRADED IN ACCORDANCE WITH THE CURRENT GRADING AND DRESSING RULES FOR CEDAR.
- B.4. ALL WOOD BEARING ON CONCRETE OR MASONRY LESS THAN 4'-0" ABOVE GRADE SHALL BE PRESSURE TREATED. WOOD JOINTS OR THE BOTTOM OF WOOD FLOORS LESS THAN 18" ABOVE GRADE SHALL ALSO B PRESSURE TREATED.
- B.5. ALL STRUCTURAL MEMBER (I.E., BEAMS, RAFTERS, POSTS, JOINTS) TO BE DOUGLAS FIR NO. 1 OR BETTER UNLESS OTHERWISE NOTED. ALL LATH AND DECKING AS SPECIFIED.
- C. HARDWARE:
- C.1. NAILS TO BE GENERAL FRAMING COMMON OF STANDARD SIZE AND FORM, HOT DIPPED GALVANIZED OR ALUMINUM, UNLESS SPECIFICALLY NOTED. BOX NAILS WILL BE ACCEPTED.
- C.2. WASHERS TO BE REINFORCED MALLEABLE IRON, GALVANIZED.
- C.3. ALL BRACKETS AND HANGERS TO BE SIMPSON OR APPROVED EQUAL.

3.0 EXECUTION

- A. WORKMANSHIP: ALL WOODWORK SHALL BE CUT, FITTED, JOINED TOGETHER, TIED, SET TO REQUIRED LINES AND LEVELS, SHORED IN PLACE ETC., IN A NEAT WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE LANDSCAPE ARCHITECT. ALL SPLIT WOOD SHALL BE REMOVED AND REPLACED.
- B. BOLTING: HEADS AND NUTS OF MACHINE BOLTS AND NUTS OF CARRIAGE BOLTS SHALL HAVE WASHERS, EXCEPT AGAINST STEEL PLATES. BOLT, SPLICE AND HAND ALL BEAMS AS SHOWN ON DRAWINGS. CUT ALL BOLTS FLUSH WITH NUTS, PLAIN SMOOTH AND REMOVE ALL BURRS. HOLES FOR BOLTS SHALL BE BORED 1/32" TO 1/16" LARGER THAN NOMINAL BOLT DIAMETER. NAILS SHALL NOT BE INSTALLED CLOSER THAN 1/2 THEIR LENGTHS AND DRILLED HOLES, ONE SIZE SMALLER THAN NAIL SHANK, SHALL BE USED WHERE WOOD MEMBERS ARE LIABLE TO BE SPLIT BY NORMALLY DRIVEN NAILS. ALL NAILING SHALL BE IN ACCORDANCE WITH U.B.C.
- C. STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, ETC., UNLESS SPECIFICALLY NOTED OR DETAILED.
- D. FINISHING: CONTRACTOR TO STAIN, PAINT OR SEAL WOOD, REFER TO DRAWINGS. PAINT ALL METAL TO MATCH WOOD FINISH UNLESS NOTED OTHERWISE WITH (1) COAT ZINC RICH PRIMER AND (2) COATS SEMI-GLOSS OIL BASE EXTERIOR PAINT.
- E. CLEANUP: CONTRACTOR SHALL DAILY REMOVE ALL RUBBISH, SCRAPS, EXTRANEOUS CONCRETE AND HARDWARE FROM THE PREMISES AND KEEP THE JOB REASONABLY CLEAN AT ALL TIMES. SPILLED OR OVERSPRAYED PAINT SHALL BE IMMEDIATELY CLEANED OFF OF FINISHED SURFACES TO THE LANDSCAPE ARCHITECT'S SATISFACTION. SPECIAL CARE SHALL BE

EXERCISED TO PREVENT ACCUMULATIONS OF MATERIAL TO FORM A FIRE OR SAFETY HAZARD.

TUBULAR STEEL

1.0 SCOPE OF WORK

WORK INCLUDED:

- A. FURNISH AND INSTALL TUBULAR STEEL PER PLANS, DETAILS AND SPECIFICATIONS.

RELATED WORK SPECIFIED IN THIS SECTION:

2.0 QUALITY ASSURANCE

A. QUALIFICATIONS

- A.1. PERFORM SHOP WELDING ON THE PREMISES OF A FABRICATOR LICENSED BY THE CITY BUILDING AND SAFETY DEPARTMENT.
- A.2. PERFORM WELDING BY WELDERS APPROVED AND CERTIFIED IN ACCORDANCE WITH REQUIREMENTS OF AWS.
- B. REFERENCE STANDARDS
- B.1. "AISC" STEEL CONSTRUCTION MANUAL.
- B.2. "CODE FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION". AWS F1.0 OF THE AMERICAN WELDING SOCIETY.
- B.3. "METAL FINISHES MANUAL", OF THE NATIONAL ASSOCIATION OF ARCHITECTURAL METAL MANUFACTURERS (NAAMM).

3.0 SUBMITTALS

- A. SUBMIT COMPLETE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE FOR REVIEW IN ADVANCE OF FABRICATION.
- A.1. SHOW DIMENSIONS, SITES, THICKNESSES, GAUGES, FINISHES, JOINING, ATTACHMENTS AND RELATIONSHIP TO ADJACENT WORK.
- A.2. WHERE WELDED CONNECTIONS, CONCRETE INSERTS, AND OTHER ITEMS ARE REQUIRED TO RECEIVE OTHER WORK, SHOW EXACT LOCATIONS REQUIRED.
- A.3. FOR STANDARD MANUFACTURED ITEMS, SUBMIT WORK SHEETS SHOWING ILLUSTRATED CUTS OF ITEMS TO BE FURNISHED, SCALE, DETAILS AND DIMENSIONS.

4.0 MATERIALS

- A. ROLLED STEEL SHAPES AND STEEL PLATES: ASTM A36.
- B. STEEL TUBING: ASTM A500 GRADE A, OR ASTM 1501 SEAMLESS - G.A. PER DETAILS.
- C. STEEL PIPE: ASTM A53, TYPE E OR S, GRADE A OR A120, GALVANIZED 6" DIAMETER.
- D. STEEL BOLTS: ASTM A307, GRADE A.
- E. WELDING RODS: CONFORM TO AWS REQUIREMENTS FOR INTENDED USE.
- F. CONCRETE INSERTS: AS INDICATED ON THE PLANS.
- G. SHOP PRIME-COAT PAINT: CONFORM TO EITHER FS TT-P-86 TYPE II FOR RED LEAD/ALKYD TYPE PAINT OR TO FS TT-P-45 FOR ZINC CHROMATE TYPE PAINT.
- H. TOUCH-UP FOR GALVANIZED SURFACES: ALL STATE No. 321 GALVANIZING POWDER (30% TIN, 30% ZINC, 40% LEAD AND FLUX) AS MANUFACTURED BY ALL STATE WELDING ALLOYS CO., OR SPEED GALVANIZED BY W.D.L. CO. OR EQUAL.
- I. NON-SHRINK GROUT: MINI WAX CONSTRUCTION PRODUCTS DIVISION POR-ROCK, OR APPROVED EQUAL.
- J. METAL ENAMEL: FS TT-P-37C - (2 COATS).

5.0 FABRICATION

- A. CONFORM TO THE REQUIREMENTS OF THE REFERENCED STANDARDS.
- A.1. FOR MANUAL WELDING, USE LOW HYDROGEN TYPE E-7015 AND 7016 ELECTRODES.
- A.2. WELD PREHEAT SHALL BE DETERMINED FROM MILL REPORTS SHOWING THE CHEMICAL COMPOSITION OF THE REINFORCEMENT.
- B. SHOP PRIME ALL FERROUS ITEMS TO 1 MILL DRY COAT THICKNESS AFTER FABRICATION, DE-BURRING AND GRINDING SMOOTH WELDS AND ROUGH SPOTS. TOUCH-UP AFTER INSTALLATION. LEAVE IN PROPER CONDITION TO RECEIVE FINISH PAINTING.
- B.1. DO NOT PAINT BARS AND STEEL SURFACES TO BE EMBEDDED IN OR BONDED TO CONCRETE.
- B.2. WALLS SHALL BE GROUND SMOOTHLY, ALL WELD SPATTER REMOVED AND WORK SHALL COMPLY WITH THE SPECIFICATIONS OF THE "AMERICAN WELDING SOCIETY."
- D. SUBCONTRACTOR TO PERFORM ALL THE ABOVE WORK IN ACCORDANCE WITH THE GOVERNING PLANS AND SPECIFICATIONS.

6.0 COORDINATION WITH OTHER WORK

- A. EXAMINE DRAWINGS AND SPECIFICATIONS, AND INCLUDE ALL MISCELLANEOUS METAL WORK WHICH IS NOT DISTINCTLY SPECIFIED IN OTHER SECTIONS.
- B. PROVIDE ALL CONNECTIONS, ANCHORS, BOLTS, WELDING, CUTTING, PUNCHING, DRILLING, TAPPING OR OTHER CONNECTION REQUIRED TO FIT MISCELLANEOUS METAL WITH OTHER WORK.
- C. PROVIDE ITEMS TO BE INSTALLED BY OTHER TRADES WELL IN ADVANCE, TO PERMIT PROPER SEQUENCING AND SCHEDULING OF OTHER WORK.

7.0 INSTALLATION

- A. MISCELLANEOUS METAL WORK SHALL BE FREE FROM DEFECTS WHICH WOULD IMPAIR STRENGTH, DURABILITY AND APPEARANCE.
- B. ERECT PLUMB, STRAIGHT, TRUE AND ACCURATELY FIT IN PLACE BRACE, REINFORCE, AND ANCHOR IN PLACE. GRIND ALL FIELD WELDS.
- C. PROVIDE NON-SHRINK GROUTING OF ALL FRAMES, PLATES, SILLS, BOLTS AND OTHER ITEMS NOT DESIGNATED TO BE DONE BY OTHERS.
- D. CONCEAL ALL CONNECTIONS IN THE FINISHED WORK, WHERE POSSIBLE. EXPOSED SCREW CONNECTIONS SHALL BE ALLEN HEAD SCREWS MATCHING THE MATERIAL THEY FASTEN.
- E. SET BASE PLATE FOR SUPPORT POSTS, TRUE AND PLUMB IN CONCRETE FOOTING PER DETAILS.
- F. PROTECT ALL DISSIMILAR METALS FROM GALVANIC CORROSION BY PRESSURE TAPES, COATINGS, OR ISOLATORS.
- G. AFTER ERECTION, CLEAN OFF ALL RUST, SCALE AND OIL. CLEAN FIELD WELDS, BOLTS, AND ABRADED AREAS. TOUCH-UP ALL AREAS WITH THE SAME MATERIAL AS USED FOR THE SHOP COAT, LEAVING ALL SURFACES READY TO RECEIVE FINISH COATS. APPLY SECOND COAT OF PRIMER ON SITE.
- H. APPLY (2) COATS ZINC RICH PRIMER COAT AND TWO FINISH COATS OF EXTERIOR METAL ENAMEL TO METAL SURFACES, COLOR AS SELECTED BY OWNER'S REPRESENTATIVE.

8.0 REPAIR OF DEFECTS

ALL DEFECTIVE OR DAMAGED WORK SHALL BE REPLACED, REMOVED AND REPAIRED AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE AT NO COST TO THE OWNER.

9.0 CLEAN-UP

- A. CLEAN-UP AND REMOVE FROM THE SITE ALL UNUSED MATERIALS AND DEBRIS RESULTING FROM THE PERFORMANCE OF THIS WORK NOT LESS THAN ONCE A WEEK OR THE LAST WORKING DAY EACH WEEK. ALL TRASH SHALL BE REMOVED COMPLETELY FROM THE PROJECT SITE.
- B. TOUCHUP- CONTRACTOR SHALL CLEAN AND RETOUCH CONTRACTOR'S WORK AS NECESSARY, OR AS REQUIRED FOR FINAL APPROVAL BY THE LANDSCAPE ARCHITECT WITHIN 24 HOURS NOTICE.
- C. UNPAINTED SURFACE- CONTRACTOR SHALL LEAVE ALL SURFACES NOT TO BE PAINTED, PAVING, HARDWARE, OR PLANT MATERIALS FREE FROM ANY PAINT, STAIN, SPATTERING, SMEARS OR SMUDGES WHICH ARE THE RESULT OF THE CONTRACTORS OPERATION.
- D. LOCATION- CONTRACTOR SHALL NOT CLEAN EQUIPMENT AND BRUSHES OR DISPOSE OF THINNERS, PAINT OR OTHERS CHEMICALS IN AREAS TO BE PLANTED OR IN THE VICINITY OF EXISTING PLANTS.

CONCRETE

1.0 SCOPE OF WORK

FURNISH AND INSTALL ALL CONCRETE WORK COMPLETE AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS INCLUDING, BUT NOT LIMITED TO:

- A. FURNISH AND SET ALL REINFORCING STEEL, BOLTS AND ANCHORS.
- B. INSTALL ALL ITEMS REQUIRED BY OTHER TRADES WHICH ARE TO BE CAST INTO CONCRETE.
- C. CONCRETE MOW CURBS, BANDING, OTHER FLATWORK, FOOTINGS, PADS AND SLABS FOR: WALLS, FENCING, CONTROLLERS, ETC., WHERE APPLICABLE.

2.0 GENERAL

ALL REQUIREMENTS OF SUBSECTION 3.31, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, SHALL APPLY EXCEPT AS SPECIFIED HEREIN.

2.1 INSPECTION OF SITE

EXAMINE RELATED WORK AND SURFACES BEFORE STARTING WORK IN THIS SECTION. REPORT TO THE LANDSCAPE ARCHITECT IN WRITING, SITE CONDITIONS WHICH WILL PREVENT THE PROPER PROVISION OF THIS WORK. BEGINNING THE WORK IN THIS SECTION WITHOUT REPORTING UNSUITABLE CONDITIONS TO THE LANDSCAPE ARCHITECT CONSTITUTES ACCEPTANCE OF SITE CONDITIONS BY THE CONTRACTOR. ANY REQUIRED REMOVAL, REPAIR, OR REPLACEMENT OF THIS WORK CAUSED BY UNSUITABLE CONDITIONS SHALL BE DONE AT NO ADDITIONAL COST TO OWNER.

2.2 PROTECTION OF EXISTING CONDITIONS

CONTRACTOR SHALL ACQUAINT HIMSELF WITH ALL SITE CONDITIONS. HE SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING SITE CONDITIONS. SHOULD DAMAGE BE INCURRED, THIS CONTRACTOR SHALL REPAIR DAMAGE TO ITS ORIGINAL CONDITION OR FURNISH AND INSTALL EQUAL REPLACEMENT AT HIS OWN EXPENSE, TO THE SATISFACTION OF THE OWNER.

2.3 COORDINATION

- A. COOPERATION ON-SITE: COORDINATE AND COOPERATE WITH OTHER CONTRACTORS TO ENABLE THE WORK TO PROCEED AS RAPIDLY AND EFFICIENTLY AS POSSIBLE.
- B. WORK WITH OTHER TRADES: COORDINATE WITH GENERAL CONTRACTOR ITEMS OF OTHER TRADES TO BE FURNISHED AND SET IN PLACE. SUCH PORTIONS OF THEIR WORK AS ALL OR IN PART EMBEDDED, BUILT-IN, ATTACHED TO, OR SUPPORTED BY THE WORK SHALL BE EXECUTED BY THEM IN AMPLE TIME THAT PROGRESS OF THE WORK IS NOT DELAYED. ANY CUTTING OR PATCHING MADE NECESSARY TO COMPLY WITH THIS INJUNCTION SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

2.4 APPROVAL

WHEREVER THE TERMS "APPROVE," "APPROVAL," OR "APPROVED" ARE USED IN THE SPECIFICATIONS, THEY MEAN APPROVAL OF THE LANDSCAPE ARCHITECT, THE OWNER'S REPRESENTATIVE OR THEIR FIELD REPRESENTATIVES, IN WRITING.

2.5 SUBMITTALS

AFTER AWARD OF CONTRACT, CONTRACTOR SHALL SUBMIT FOR APPROVAL SAMPLES AND SPECIFICATIONS OF SPECIFIED ITEMS PRIOR TO BEGINNING WORK. APPROVED SAMPLES SHALL BE STANDARDS FOR COMPLETING WORK. SAMPLES SHALL CONSIST OF 9" SQUARE PANELS. CONTRACTOR SHALL PROVIDE ONE PANEL FOR EACH COLOR AND/OR FINISH ON THE JOB SITE. EACH SAMPLE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

2.6 SUBSTITUTIONS

- A. STANDARDS- SPECIFIC REFERENCE TO MANUFACTURES NAMES AND PRODUCTS AS SPECIFIED IN THIS SECTION ARE USED AS STANDARDS. THIS IMPLIES NO RIGHT TO SUBSTITUTE OTHER MATERIAL OR METHODS WITHOUT WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- B. APPROVAL- INSTALLATION OF ANY APPROVED SUBSTITUTIONS IS CONTRACTOR'S RESPONSIBILITY. ANY CHANGES REQUIRED FOR INSTALLATION OF ANY APPROVED SUBSTITUTION MUST BE MADE TO THE SATISFACTION OF LANDSCAPE ARCHITECT AND WITHOUT ADDITIONAL COST TO OWNER. APPROVAL BY LANDSCAPE ARCHITECT OF SUBSTITUTED MATERIALS AND/OR DIMENSIONAL DRAWINGS DOES NOT WAIVE THESE REQUIREMENTS.

2.7 WARRANTY

IN ADDITION TO MANUFACTURERS' GUARANTEES OR WARRANTIES, ALL WORK SHALL BE WARRANTED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP BY CONTRACTOR. WARRANTY SHALL ALSO COVER REPAIR OF DAMAGE TO ANY PART OF THE PREMISES.

3.0 MATERIALS

- A. PORTLAND CEMENT SHALL CONFORM TO ASTM-C150, TYPE I OR TYPE II.
- B. CONCRETE AGGREGATE SHALL CONFORM TO ASTM-C33. WATER SHALL BE CLEAN, FREE FROM STRONG ACIDS, ALKALI, OIL OR ORGANIC MATTER.
- C. ADMIXTURE FOR ALL FORMED CONCRETE SHALL BE SIK A CHEMICAL CORPS "PLASTIMET", OR APPROVED EQUAL, APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.
- D. REINFORCEMENT: REINFORCING STEEL ASTM-A15 AND ASTM-A-305. WIREFABRIC: ASTM-A185
- E. FORMS:
- E.1. LUMBER SHALL BE "CONSTRUCTION GRADE" DOUGLAS FIR
- E.2. PLYWOOD FOR FORMING OF CONCRETE WHICH IS EXPOSED SHALL BE PLYFORM. ALL PLYWOOD USED FOR FORMING SHALL BE AT LEAST 5/8 INCH THICK AND EDGE SEALED.
- F. EXPANSION JOINT FILLER SHALL CONFORM WITH ASTM-D1751 (PREMOLDED).
- G. PROVIDE CERTIFIED MILL TEST REPORTS OF THE CHEMICAL AND PHYSICAL PROPERTIES OF REINFORCING BARS AND WELDED WIRE FABRIC.
- G.1. REINFORCING BARS- DEFORMED BILLET-STEEL BARS CONFORMING TO ASTM A615. CLEAN AND FREE FROM RUST, SCALE, OR COATING THAT WILL REDUCE BOND.
- G.2. WELDED WIRE FABRIC
- G.2.1. CONFORM TO ASTM A185. TAGS DESIGNATING WIRE SIZE AND SPACING SHALL BE LEFT ON EACH ROLL UNTIL READY FOR USE.
- G.2.2. UNLESS OTHERWISE APPROVED WELDED WIRE MESH SHALL BE 6" X 6" No.10 No.10 CONTINUOUS.

4.0 CONCRETE

- A. QUALITY
- A.1. CONTRACTOR ASSUMES RESPONSIBILITY FOR THE DESIGN MIX AND GUARANTEE THE SPECIFIED ULTIMATE STRENGTH AS INDICATED OR SPECIFIED HEREIN.
- A.2. CONCRETE, MINIMUM 28-DAY ULTIMATE STRENGTH SHALL BE 2500 PSI.
- A.3. READY-MIXED CONCRETE SHALL CONFORM TO ASTM-C94.
- B. PROPORTIONS AND CONSISTENCY
- B.1. THE PROPORTIONS OF AGGREGATE TO CEMENT SHALL PROVIDE A DENSE MIXTURE WHICH WILL RIGIDLY WORK INTO ALL CORNERS OF THE FORMS AND AROUND ALL REINFORCEMENTS WITHOUT ANY SEGREGATION OF THE MATERIALS, CAUSE EXCESS FREE WATER TO COLLECT ON THE SURFACE OR CAUSE EXCESSIVE BLEEDING OF THE FORMS.
- B.2. THE RECOMMENDED PRACTICES OF THE AMERICAN CONCRETE INSTITUTE SHALL BE FOLLOWED IN ALL APPLICABLE PROCEDURES. PROVIDE MINIMUM SLUMP SHALL NOT EXCEED 4" FOR 12 INCHES FOOTINGS, SLABS ON GRADE, AND MASS CONCRETE; 5 INCHES FOR FOUNDATION WALLS.

- C. CONTROL- THE CONCRETE QUALITY, PROPORTIONS, CONSISTENCY, ETC., IS SUBJECT TO THE APPROVAL OF OWNER, AND NO CHANGES SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL.

5.1 FORMWORK

- A. FORMS FOR CONCRETE WORK SHALL BE EITHER METAL OR WOOD. FORMS THAT ARE WARPED OR THAT DO NOT HAVE A SMOOTH STRAIGHT UPPER EDGE SHALL NOT BE USED. FORMS SHALL BE SET WITH THE UPPER EDGE OF THE BOARD TRUE TO LINE AND GRADE AND SHALL BE STAKED RIGIDLY IN PLACE WITH STAKES SET NOT MORE THAN FOUR FEET (4') APART SO AS TO REMAIN IMMOVABLE THROUGHOUT THE CONSTRUCTION. ALL FORMS SHALL BE APPROVED BY LANDSCAPE ARCHITECT WITHIN A TOLERANCE OF ONE PERCENT (1%). NOTIFY LANDSCAPE ARCHITECT 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION. ALL MATERIALS SHALL BE ACCURATELY AND SEPARATELY WEIGHTED AND MIXING SHALL CONTINUE UNTIL THE DISTRIBUTION OF MATERIAL IS UNIFORM AND THE MASS OF CONCRETE IS HOMOGENEOUS.
- B. TWO AND ONE-HALF (2 1/2) GALLONS OF WATER PER CUBIC YARD, SHALL BE WITHHELD FROM THE MIX AT THE PLANT, AND ALL OR A PORTION MAY BE ADDED TO THE MIX AT THE JOB SITE AS DIRECTED BY THE INSPECTOR. THE CONCRETE SHALL BE MIXED AT LEAST 5 MINUTES AFTER SUCH WATER IS ADDED AND NOT LESS THAN 3 MINUTES OF THIS TIME SHALL BE IMMEDIATELY PRIOR TO THE DISCHARGE OF THE BATCH. TOTAL MIXING TIME AFTER ADDING ORIGINAL WATER SHALL BE AT LEAST 15 MINUTES.
- C. CONCRETE WHICH IS NOT PLACED WITHIN 90 MINUTES AFTER THE INTRODUCTION OF CEMENT AND WATER, AND CONCRETE WHICH HAS STOOD FOR 30 MINUTES AFTER LEAVING THE MIXER, SHALL NOT BE USED.

5.2 REBAR

- A. REINFORCING BAR SHALL BE SPLICED WITH 30 BAR DIAMERS MINIMUM OVERLAP.

6.0 CONVEYING AND PLACING

- A. BEFORE POURING, ALL FORMS SHALL BE THOROUGHLY CLEANED AND MADE TIGHT. THE BOTTOM OF TRENCHES SHALL BE WETTED DOWN BEFORE POURING FOOTINGS. EARTH SHALL NOT BE MUDDY AT THE TIME OF POURING. CONCRETE SHALL NOT BE PLACED UNTIL REINFORCEMENTS, ROUGH HARDWARE, AND FORMS ARE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
- B. BEFORE DEPOSITING NEW CONCRETE AGAINST OLD CONCRETE, ALL LAITANCE SHALL BE REMOVED, AND THE SURFACES ROUGHENED TO EXPOSE THE EXPOSED AGGREGATE. THE SURFACES SHALL THEN BE COVERED WITH CEMENT GROUT, USING THE SPECIFIED MIX WITH 1/2 OF THE COURSE AGGREGATE OMITTED, 1 1/2 INCHES THICK.
- C. CONVEYING AND PLACING OF CONCRETE SHALL BE DONE SO AS TO PREVENT SEPARATION OF INGREDIENTS, AND IN NO CASE SHALL THE FREE FALL EXCEED 6 FEET. TREMIES SHALL BE USED AS REQUIRED. SURFACES OF CONCRETE SHALL BE KEPT REASONABLY LEVEL, WITH A MINIMUM AMOUNT OF CONCRETE BEING ALLOWED TO FLOW AFTER BEING PLACED. PLACING SHALL BE PERFORMED AS A CONTINUOUS OPERATION UNTIL EACH SECTION IS COMPLETED.
- D. CONCRETE SHALL BE SPADED AND VIBRATED WITH MECHANICAL VIBRATORS TO A MAXIMUM SUBSIDENCE, WITHOUT SEPARATION OF INGREDIENTS. THE MOVING OF CONCRETE BY VIBRATION WILL NOT BE PERMITTED.

6.1 COLORED CONCRETE

INTEGRAL COLOR SHALL BE PER PLAN WHERE APPLICABLE.

7.0 GROUTING

- A. GROUT SHALL BE COMPOSED OF ONE PART PORTLAND CEMENT AND TWO PARTS OF FINE AGGREGATE BY VOLUME. MATERIALS SHALL BE MIXED DRY AND WATER ADDED JUST SUFFICIENT TO MAKE THE MIXTURE FLOW UNDER ITS OWN WEIGHT.

8.0 CURING AND PROTECTION

- A. ALL EXPOSED SURFACES OF CONCRETE SHALL BE PROTECTED FROM DAMAGE DUE TO TEMPERATURE, ELEMENTS, AND CONSTRUCTION OPERATIONS.
- B. CURING:
- B.1. ALL EXPOSED SURFACES OF CONCRETE SHALL BE PROTECTED FROM PREMATURE DRYING AND FRESHLY PLACED CONCRETE SHALL BE PROTECTED AGAINST WASH BY RAIN. ALL CONCRETE SHALL BE KEPT WET FOR A PERIOD OF TEN DAYS AFTER PLACING.
- B.2. ALL LIQUID CURING COMPOUNDS SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SHALL NOT BE USED ON SURFACES RECEIVING CONCRETE HARDENER.

9.0 DEFECTIVE CONCRETE

- A. CONCRETE WHICH IS NOT IN ACCORDANCE WITH THESE SPECIFICATIONS, OUT OF LINE, LEVEL, OR PLUMB; SHOWING STRUCTURAL CRACKS, ROCK POCKETS, VOIDS, SPALLS, HONEYCOMBING, EXPOSED REINFORCING OR OTHER DAMAGED SURFACES SHALL BE CONSIDERED AS DEFECTIVE.
- B. ALL FINES AND IRREGULARITIES SHALL BE REMOVED FROM EXPOSED CONCRETE SURFACES WHILE THE CONCRETE IS STILL GREEN, WHERE PATCHING IS REQUIRED, ALL LOOSE AND UNIFORM CONCRETE SHALL BE REMOVED PRIOR TO PATCHING.

10.0 CONCRETE FINISHES

FLAT SURFACES SHALL BE SCREEDED TO THE REQUIRED LEVELS AND SLOPE AND THEN ANY EXCESS WATER OR LAITANCE REMOVED. CONCRETE SHALL BE COMPACTED WITH A GRID TAMPER AND THEN FLOATED TO A TRUE AND LEVEL SURFACE WITHIN THE TOLERANCE OF 1/8 INCH ALONG A 10 FOOT STRAIGHT EDGE. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ON ALL FLATWORK. SEE PLANS FOR CONCRETE FINISH.

11.0 EXPANSION JOINTS

CONTROL JOINTS AND OTHER EDGES SHALL BE FORMED IN FRESH CONCRETE USING A CLEAN EDGING OR JOINTING TOOL TO PROVIDE A SMOOTH UNIFORM FINISH.

12.0 CLEAN-UP

UPON COMPLETION OF ALL CONCRETE WORK AND BEFORE FINAL ACCEPTANCE, CONTRACTOR SHALL REMOVE ALL TOOLS, SURPLUS MATERIALS, APPARATUS, DEBRIS, ETC., FROM THE SITE AND THE SITE SHALL BE LEFT IN A CLEAN, NEAT CONDITION ACCEPTABLE TO OWNER.

SJA

landscape architecture  
land planning

7859 SITIO COCO  
CARLSBAD, CA 92





# City of Loma Linda

25541 Barton Rd, Loma Linda, CA 92354 ☎909-799-2830 ✉commdev@lomalinda-ca.gov

## Community Development Department

### CONDITIONS OF APPROVAL

**PROJECT DESCRIPTION:** Architectural elevations and site configuration for the Haven Covenant Point residential development within Tract Map 20404. The application includes a design review for 89 residential lots (minimum 20,000 sq. ft.) on an approximate 56-acre site in the Very Low Density Residential Zone (HR-VL), with a detention basin and associated improvements. The project also includes a Master Sign Plan review for three proposed community-identifying monument signs.

#### COMMUNITY DEVELOPMENT/PLANNING DIVISION (909) 799-2839

##### General

1. The project shall be constructed and operated in accordance with the authorized use as described in the approved application materials and plans provided to the Planning Commission.
2. Within 24 months (two years) of the entitlement approval date, the project shall be exercised by substantial construction or the approval shall become null and void. In addition, if after commencement of construction, work is discontinued for a period of one year, the approval shall become null and void.

##### PLANNING CASE NUMBERS

**MDA-2024-0031; PPD-2024-0006  
MSP-2025-0031**

##### EXPIRATION DATE

**April 16, 2027**

3. The review authority may, upon application being filed 30 days prior to the expiration date and for good cause, grant a one-time extension not to exceed 12 months. The review authority shall ensure that the project complies with all current Development Code provisions.
4. The applicant shall indemnify, protect, defend, and hold harmless the City, and any agency or instrumentality thereof, and officers, officials, employees, or agents thereof, from any and all claims, actions, suits, proceedings, or judgments against the City, or any agency or instrumentality thereof, and any officers, officials, employees, or agents thereof to attack, set aside, void, or annul, an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board, or legislative body, including actions approved by the voters of the City, concerning the project and the approvals granted herein, including without limitation the Conditions of Approval. Furthermore, the applicant shall indemnify, protect, defend, and hold harmless the City, or any agency or instrumentality thereof, against any and all claims, actions, suits, proceedings, or judgments against another governmental entity in which the applicant's project is subject to that other governmental entity's approval and a condition of such approval is that the City indemnify and defend such governmental entity.
5. In the event that this approval is legally challenged, the City will promptly notify the applicant of any claim or action and will cooperate fully in the defense of the matter. Once notified, the applicant agrees to defend, indemnify, and hold harmless the City, their affiliates, officers, agents and employees from any claim, action or proceeding against the City of Loma Linda. The applicant further agrees to reimburse the City of any costs and attorney's fees, which the City



may be required by a court to pay as a result of such action, but such participation shall not relieve applicant of his or her obligation under this condition.

6. During the lifetime of the permit, the applicant must comply with all applicable laws and regulations of every local, state, and federal entity; and all such requirements and enactments will be incorporated by reference as conditions of this permit. The duty of inquiry as to such requirements and any amendments thereto will be upon the applicant and his or her transferees or successor in interest.
7. The applicant, including successors, shall be responsible for compliance with all the Conditions of Approval, mitigation measures, and any recommendations contained in any submitted and approved technical report at his/her sole cost and expense, subject to review and approval of the City of Loma Linda.
8. Violation of any term, condition, or project description associated with this approval, or any applicable law, statute, or ordinance, shall constitute a violation of the Loma Linda Municipal Code and is strictly prohibited. The City reserves the right to initiate civil and/or criminal enforcement and abatement proceedings or, after notice and public hearing, to modify or revoke this approval if such violations occur or if the project operates as or causes a public nuisance. Additionally, the Community Development Department may revoke this permit if the applicant fails to correct a violation within 30 days of receiving written notice. Nothing in this condition shall limit the City's authority to take immediate enforcement action as deemed necessary.
9. A copy of the Action (approval) letter and Conditions of Approval shall be signed by the project applicant, attached to each set of permit plans submitted to the appropriate City department for the project, and made available at the project job site at all times.
10. Construction shall be in conformance with the plan(s) approved by the Planning Commission and/or City Council. Minor modification to the plan(s) shall be subject to approval by the Director through a minor administrative variation process. Any modification that exceeds 10% of the following allowable measurable design/site considerations shall require the refilling of the original application(s) and a subsequent hearing by the appropriate hearing review authority. Modifications may include:
  - a. On-site circulation and parking, loading and landscaping;
  - b. Placement and/or height of walls, fences and structures;
  - c. Reconfiguration of architectural features, including colors, and/or modification of finished materials that do not alter or compromise the previously approved theme; and,
  - d. A reduction in density or intensity of a development project.
11. No vacant, relocated, altered, repaired or hereafter erected structure shall be occupied or no change of use of land or structure(s) shall be inaugurated, or no new business commenced as authorized by this permit until a Certificate of Occupancy has been issued by the Building Division. A Temporary Certificate of Occupancy may be issued by the Building Division subject to the conditions imposed on the use, provided that a deposit is filed with the Community Development Department prior to the issuance of the Certificate, if necessary. The deposit or security shall guarantee the faithful performance and completion of all terms, conditions and performance standards imposed on the intended use by this permit.
12. Any future construction or application submitted for development shall meet the requirements of the California Building Code and the California Fire Code as adopted and amended from time to time by the City of Loma Linda and legally in effect at the time of issuance of building permits.



13. Any future grading, construction or submittal of a development application shall comply with all provisions and requirements of the applicable development standards found in the Loma Linda Municipal Code as amended from time to time.
14. This approval, along with future grading and construction, is subject to all the applicable provisions of the Loma Linda Municipal Code, Title 17, which includes development standards and requirements relating to: dust and dirt control during construction and grading activities; emission control of fumes, vapors, gases and other forms of air pollution; glare control; exterior lighting design and control; noise control; odor control; screening; signs, off-street parking and off-street loading; and, vibration control. Screening and sign regulations compliance are important considerations to the developer because they will delay the issuance of a Certificate of Occupancy until compliance is met. Any exterior structural equipment, or utility transformers, boxes, ducts or meter cabinets shall be architecturally screened by wall or structural element, blending with the building design and include landscaping when on the ground.
15. Any signs not identified in the approved Master Sign Program shall be subject to review and approval by the Planning Division through a sign permit, in accordance with LLMC Chapter 17.18. Additionally, a building permit from the Building Division shall be required for the construction or installation of such signs, as applicable.
16. Any proposed walls, fence, and/or patios, including the proposed 6-foot perimeter wall and interior lot fencing, will require a separate review and permit from the Planning and Building and Safety Divisions. Submit the applications, along with plans, during the Plan Check process.
17. If it is determined that hazardous wastes are, or will be generated by the proposed operation of the facility, all hazardous waste shall be managed in accordance with the California Hazardous Waste Control Law and the Hazardous Waste Control Regulations.
18. The applicant shall work with the City's franchised solid waste hauler, CR&R, to follow a debris management plan to divert the material from landfills by the use of separate recycling bins (e.g., wood, concrete, steel, aggregate, glass) during demolition and construction to minimize waste and promote recycle and reuse of the materials.
19. The applicant may be required to cover the full costs of independent third-party technical review as may be undertaken by City and City monitoring and inspection, including without limitation, special inspector(s)/inspection(s) during times of extensive or specialized plan check review or construction, and inspections of potential violations of the Conditions of Approval. The applicant shall establish a deposit with the Community Development Department, if directed by the Director or designee, prior to the issuance of a construction-related permit and an on-going as-needed basis.
20. Prior to issuance of building permits, the applicant shall submit to the Community Development Department (Building and Safety Division) proof of payment or waiver from the City of San Bernardino for sewer capacity fees and the Redlands Unified School District for school fees.
21. Prior to the issuance of building permits, the Development Impact Fees shall be paid to the City of Loma Linda. The fees shall cover 100 percent of the established amount at the time it is due. The impact fees cover public infrastructure, facilities, services, park, traffic fair share, etc.



Additionally, the applicant shall either pay the in-lieu fee for the Art in Public Places program or install a public art feature in compliance with Chapter 17.26 of the Loma Linda Municipal Code.

### **Landscaping**

22. During the Plan Check process, the applicant shall submit three (3) sets of Final Landscape Plan prepared by a state licensed Landscape Architect, for review and approval by the Planning and Building Divisions and the Public Works Department. Plans shall cover front yards, parkways, and public right-of-way areas.
23. The Final Landscape Plan shall comply to the City's landscape regulation and the State Model Water Efficient Landscape Ordinance, as adopted by the City (LLMC, Ch. 8.12 and Ch. 17.74).
24. The Final Landscape Plan shall be in substantial conformance with the approved Preliminary Landscape Plan on file for Map 20404.
25. All fencing or walls shall be illustrated on the Final Landscape Plan.
26. Separate Landscape and Irrigation Plans for the required Landscape Maintenance District shall be submitted to the Public Works Department during Plan Check. These plans shall include landscaping and irrigation in the public right-of-way, as well as utility laterals, concrete improvements, and tree locations.
27. Any modifications to the Final Landscape Plan or Irrigation Plan shall be reviewed and approved by the Public Works Department and the Planning and Building Divisions prior to issuance of permits.
28. The applicant shall maintain the property and landscaping in a clean, orderly manner and ensure a 14-foot vertical clearance for emergency access at all times.
29. For the lifetime of this permit, the applicant shall replace all dead or missing plants and trees in parkways and public right-of-way areas per the approved Landscape Plan, using similar or equivalent vegetation.

### **MITIGATION MONITORING REPORTING PROGRAM (MMRP)**

30. The applicant shall review and adhere to the adopted Mitigation Monitoring and Reporting Program (MMRP), as approved on May 9, 2023, for the project site. Compliance with all applicable mitigation measures is required, including but not limited to those addressing aesthetics, biological resources, cultural resource investigations, geology and soils, hazards and hazardous materials, noise, tribal cultural resources, and transportation/traffic impacts. The applicant shall ensure that all mitigation measures are properly implemented throughout the project's duration and shall provide necessary documentation or reports as required by the City.

### **BUILDING AND SAFETY DIVISION (909) 799-2836**

31. Upon approval, applicant shall submit professionally prepared plans to the Building and Safety Division's online portal for Plan Check. Plans must comply with the adopted California Building and Fire Code as adopted and amended by the City of Loma Linda and legally in effect at the time of issuance of building permit.



32. The applicant shall also submit the structural calculations and Title 24 documentation.
33. The applicant shall comply with the LLMC, Chapter 17.24.310 and the California Green Building Standard Code, Section 5.106 to reduce light pollution.
34. During construction of the site, the project shall comply with Section 9.20 (Prohibited Noises) which limit construction activities to the hours between 7:00 a.m. to 8:00 p.m. Monday through Friday, with no heavy construction occurring on weekends or national holidays. Additionally, all equipment is required to be properly equipped with standard noise muffling apparatus. Adhering to the City's noise ordinance would ensure impacts from construction noise would be less than significant.
35. The applicant shall implement SCAQMD Rule 403 and standard construction practices during all operations capable of generating fugitive dust, which will include but not be limited to the use of best available control measures and reasonably available control measures such as:
  - a. Water active grading areas and staging areas at least twice daily as needed;
  - b. Ensure that landscaped areas are installed as soon as possible to reduce the potential for wind erosion;
  - c. Suspend grading activities when wind gusts exceed 25 mph;
  - d. Sweep public paved roads if visible soil material is carried off-site;
  - e. Enforce on-site speed limits on unpaved surface to 15 mph; and
  - f. Discontinue construction activities during Stage 1 smog episodes.
36. To reduce emissions, all equipment used in grading and construction must be tuned and maintained to the manufacturer's specification to maximize efficient burning of vehicle fuel.
37. The operator shall maintain and effectively utilize and schedule on-site equipment in order to minimize exhaust emissions from truck idling.
38. The applicant shall ensure that existing power sources are utilized where feasible via temporary power poles to avoid on-site power generation during construction.
39. The applicant shall ensure that construction personnel are informed of ride sharing and transit opportunities.
40. The applicant shall provide infrastructure for the Loma Linda Connected Community Program (LLCCP), which includes providing a technologically enabled development for each future unit in the development. Plans for the location of the infrastructure shall be provided with the precise grading plans and approved by the city's Technology Services Department prior to issuance of grading permits. LLCCP info: <http://www.lomalinda-ca.gov/asp/Site/LLCCP/AboutLLCCP/Introduction/index.asp>
41. Comply with all existing and future CARB and SCAQMD regulations related to diesel-fueled trucks, which may include among others: (1) meeting more stringent emission standards; (2) retrofitting existing engines with particulate traps; (3) use of low sulfur fuel; and (4) use of alternative fuels or equipment.
42. Separate permits, not part of this approval, are required for all accessory structures such as but not limited to block walls and storage buildings.



43. Pursuant to California Business and Professions Code Section 6737, this project is required to be designed by a California licensed architect or engineer.

<b>FIRE DEPARTMENT (909) 799-2853</b>
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44. All construction shall meet the requirements of the 2022 California Building Code (CBC) and the California Fire Code (CFC)/International Fire Code (IFC) as adopted and amended by the City of Loma Linda and legally in effect at the time of issuance of building permit.
45. On-site civil engineering improvement plans shall be submitted to Fire Prevention for review and approval prior to construction.
46. All driveways over 150' shall be engineered to withstand fire trucks.
47. Deferred submittals for a NFPA 13D sprinkler system. Pursuant to CFC Section 903, as amended in Loma Linda Municipal Code (LLMC) Sections 15.28.230-450, the building(s) shall be equipped with automatic fire sprinkler system(s). Pursuant to CFC Section 901.2, plans and specifications for the fire sprinkler system(s) shall be submitted to Fire Prevention for review and approval prior to installation. Fire flow test data for fire sprinkler calculations must be current within the last 6 months. Request flow test data from Loma Linda Fire Prevention.
48. Builder must submit the fire safety and prevention plan to AHJ for authorization prior to starting work.
49. NASFM Construction Fire Safety training for PM and site supervisors.
50. No lumber drops until fire underground is installed and tested, and fire department access points and road have been established.
51. CFC Chapter 33 shall be maintained at all times during construction/demolition.
52. Street name signs must be installed in conjunction with road improvements and the sign must be in accordance with the City's standards.
53. Illuminated address for each structure per LLMC 15.28.190 section 505.1.
54. Comply with Section 503.2.4 Turning Radius. The required turning radius of a fire apparatus access road shall be determined by the fire code official.
55. Provide hydrants for fire flow requirements per CFC Annex B and BB.
56. All fire hydrants shall be installed and tested for review and approval by the Fire Department.
57. Fire lines and signage, as indicated on the approved FD access plan, shall be maintained at all times.
58. Structures under construction shall be provided with not less than one approved portable fire extinguisher in accordance with §906 of the CFC.



- 59. Combustible waste material shall be removed from buildings at the end of each shift of work.
- 60. Builder must have an all-weather driving surface, and the fire loop and hydrants must be installed, inspected, and tested prior to any lumber drop.
- 61. Builder and employees must take the National Association State Fire Marshals construction fire safety training prior to the start of the project.
- 62. For all notes, guidelines and FD apparatus specifications for plan submittal:  
[http://www.lomalindaca.gov/our\\_city/departments/fire/fire\\_prevention/fire\\_plan\\_check\\_application](http://www.lomalindaca.gov/our_city/departments/fire/fire_prevention/fire_plan_check_application)

<b>PUBLIC WORKS DEPARTMENT (909) 799-4407</b>
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- 63. Project shall comply with the conditions outlined in the adopted Final Map for Map 20404.
- 64. Prior to issuance of a grading permit, applicant must submit improvement plans on 24" x 36" sheets having the City's standard signature blocks. All plans must be drawn in ink and must be signed by a California State Registered Civil Engineer at the time of first submittal. The applicant must submit improvement plans for the entire project as one package and must include all project improvements shown on the approved project exhibits and those to be designed per these Conditions. Piecemeal submittal of plans is not acceptable. This package must include all supporting studies.
- 65. Prior to the issuance of building permits, the precise grading plan with hydrology study, hydraulic calculations, and soils report for the project shall be approved by the Public Works Department.
- 66. The applicant shall install or bond for all off-site improvements prior to recording the Final Map.
- 67. Easements of record not shown on the Final Map shall be relinquished or relocated. Lots affected by proposed easements or easement of records, which cannot be relinquished or relocated, shall be redesigned.
- 68. The applicant shall submit final grade certifications, by the grading engineer, to the Public Works Department prior to issuance of any Certificate of Occupancy.
- 69. Any damage to existing improvements as a result of this project shall be repaired by the applicant to the satisfaction of the City Engineer.
- 70. NPDES requirements apply, including SWPPP and WQMP. All drainage due to development shall be mitigated on-site, no cross-lot drainage will be allowed unless suitable easements are provided. A Water Quality Management Plan is required to address on-site drainage construction and operation.
- 71. Prior to issuance of grading permits, the applicant shall submit to the City Engineer a Notice of Intent (NOI) to comply with obtaining coverage under the National Pollutant Discharge Elimination System (NPDES) General Construction Storm Water Permit from the State Water Resources Control Board. Evidence that this has been obtained (i.e., a copy of the Waste



Dischargers Identification Number) shall be submitted to the City Engineer for coverage under the NPDES General Construction Permit.

72. The project shall comply with the Low Impact Development (LID) Principles and LID Best Management Practices (BMPs) for Southern California.
73. Prior to issuance of grading permits, the applicant shall submit a photometric plan and final lighting plan to City staff showing the exact locations of light poles and the proposed orientation and shielding of all light fixtures to prevent glare onto existing and potential future development surrounding the Project Site.
74. LED Street light locations shall be approved by the City of Loma Linda. Streetlights shall be installed and energized prior to release for occupancy for any houses.
75. "Record Revisions" or "As-Builts" shall be made to all plans to reflect the changes to the improvements as constructed.
76. The applicant shall design public improvements including sidewalk, drive approaches and handicap ramps in accordance with all requirements of the State of California Accessibility Standards, Title 24 California Administrative Code.
77. The applicant must provide utilities and design improvements such that all existing and proposed utilities are underground and meeting city specifications, including location, distance and separation requirements, and away from driveways and trees.
78. The applicant shall pay for the relocation of any power poles or other existing public utilities as necessary.
79. All fire hydrants and their distribution mains shall be made part of the Public System.
80. Water mains, fire hydrants, services and meters shall be sized and installed to City of Loma Linda standards and as shown on the approved utility plans for the development. These utilities shall be public and constructed within public right-of-way or public utility easements. Submit plans for review and approval.
81. Improvement plans shall include all connections and locations to the City mains for on-site irrigation, including all meter and backflow prevention devices. A non-potable irrigation system shall be installed for all separate right-of-way landscaping.
82. The applicant shall provide a storm drain system prior to issuance of Certificate of Occupancy.
83. Any abandoned wells on the property or similar structures shall be destroyed in a manner approved by the Public Works Department in accordance with the State of California Department of Health Services or other appropriate oversight agency.
84. All underground structures, except those desired to be retained, shall be broken in, backfilled, and inspected before covering.
85. Should future/subsequent project construction require soil excavation or filling in certain areas, soil sampling may be required. If soil is contaminated, it must be properly disposed. Land



Disposal Restrictions (LDRs) may be applicable to such soils. Soil sampling shall also be conducted on any imported soil.

86. The applicant shall comply with the prevailing City standards and requirements at the time of construction.
87. Construct street improvements (including, but not limited to curb and gutter, asphalt concrete pavement, aggregate base, sidewalk, one drive approach per lot, and street lights) on all interior streets.
88. Provide adequate corner sight distance per Caltrans standards at intersection and submit verification of same to the Public Works Department as required in conjunction with plan checking of the street improvement plans.
89. Install street name signs and traffic control signs with locations and types approved by the Public Works Department.
90. The applicant shall install improvements (including off-site) to transition traffic and drainage flows from proposed to existing.
91. Comply with state law regarding waste management and the City's Refuse Collection, Recycling and Disposal Ordinance.
92. The C&D ordinance applies to the project, including a required solid waste management plan. Coordinate with Public Works.
93. The project shall form and join the Landscape Maintenance District (LMD). The developer develops scope of service and submits to Public Works for approval. The formation of an LMD involves the annexation of the subdivision territories benefiting from the LMD improvements.
94. All areas to be landscaped in front of project boundary walls, within traffic medians, along project street frontages and on major slopes annexed to the City's Landscape Maintenance District in accordance with City policy.
95. Submit the City form for the agreement for construction of improvements with the City of Loma Linda.
96. All studies required within these conditions require a deposit to cover the cost of the review of the studies. Additional deposits may be required or a refund issued when the costs do not match the deposits.
97. Prior to requesting a final inspection for release of securities, applicant must submit record drawings, certifications, final soils report, and a digital file of record drawings to the Department.
98. Prior to occupancy, the applicant must complete all improvements per the accepted plans and approved conditions, and obtain acceptance for the improvements from the City.
99. The applicant must install root barriers, adjacent to back side of sidewalk, when planting on-site tree(s) within 10 feet from the public rights-of-way and public sidewalk.



100. If Home Owner's Association (HOA) is proposed, prior to the issuance of a Certificate of Occupancy, applicant must prepare a Declaration of Covenants, Conditions, and Restrictions (CC&Rs) and submit them to the City for the Planning and Public Works Department review and approval. The applicant must have the approved CC&Rs recorded with the County Recorder's Office. Any future revision of the CC&Rs, as they pertain to the requirements set forth below, will require the approval of the City.
101. The applicant shall coordinate with the Public Works Department to process and complete a Lot Line Adjustment between Lot 3 and Lot J, subject to review and approval by the City.
102. The applicant must install and maintain the street trees, parkway landscaping, and irrigation system within the public right of way areas. Once installed, the property owner and/or the HOA, must maintain these improvements in perpetuity. This requirement shall be outlined in the CC&R's for the development.

### **END OF CONDITIONS**

#### **Applicant Statement**

I have read and accept responsibility for the Conditions of Approval. I agree to abide by and conform to the Conditions of Approval, as well as the mitigations listed in the adopted Mitigation Monitoring Reporting Program and the provisions of the Loma Linda Municipal Code pertaining to the project.

\_\_\_\_\_  
Printed Name of Project Applicant

\_\_\_\_\_  
Signature of Project Applicant

\_\_\_\_\_  
Date





# City of Loma Linda

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## City Council Action Minutes

### Regular Meeting of May 9, 2023

A regular meeting of the City Council was called to order by Mayor Dupper at 7:07 pm Tuesday, May 9, 2023.

Councilmen Present: Mayor Phill Dupper  
Mayor pro tempore Ron Dailey  
Bhavin Jindal  
John Lenart  
Rhodes Rigsby

Councilman Absent: None

Others Present: City Manager T. Jarb Thaipejr  
City Attorney Diane Robbins

The Pledge of Allegiance and invocation were led by Councilman Lenart.

#### **Items To Be Added Or Deleted**

City Manager Thaipejr removed item No. 20 to appoint new delegates to replace Councilman Rhodes Rigsby's position with the three listed agencies.

#### **Oral Reports/Public Participation - Non-Agenda Items (Limited to 30 minutes; 3 minutes allotted for each speaker)**

Cheryl Lucas asked City Council to consider proposing rent control in Loma Linda. She recently had 10% increase in rent and will have another 10% rent increase in 2024. She asked City Council to consider her request.

Dr. Gabriella Odudu, a resident physician at Loma Linda University, spoke on behalf of her colleagues, stating that earlier this year they filed a petition to unionize. Since then, they have received a lot of pushback and hostility from Loma Linda University. She noted that the goal is to provide patient safety as well as safety for healthcare workers. She noted that healthcare workers routinely work long shifts for several days straight. They work to exhaustion. Studies show that a sleep-deprived human in a 24-hour period is the same as having a blood alcohol content of 0.1%, which is above the limit. She stated that colleagues have fallen asleep during shifts, passed out in the OR, and have been in auto accidents. They do not have a call room. It is a huge safety hazard. She noted that many struggle financially. They are asking for fair compensation and better working conditions. They wanted to make the Council aware of this serious issue. She noted that May is National Mental Health awareness month. They invite Council to attend an event they are holding.

Mayor Dupper thanked the speakers and explained that, due to the Brown Act guidelines, the City Council cannot discuss any non-agenda items.



### **Scheduled and Related Items**

#### **CC-2023-27 - Public Hearing – Fee Study Update for the City of Loma Linda establishing the proposed fees and amounts**

- a. **Council Bill #R-2023-10 – Adopt a resolution of the Fee Study Update for the City of Loma Linda along with the proposed fees outlined in the study (Attachment A); and**
- b. **Council Bill #R-2023-11 – Adopt an Urgency Resolution of the Fee Study Update for the City of Loma Linda and establish the proposed fees immediately. These fees shall become effective immediately and for 30 days unless extended by the City Council for an additional 30 days.**

Eric Johnson, Revenue Cost Specialist, presented the report into evidence reviewing the results of the User Fee Study. He gave a brief background of his company. He discussed what they have done for the preparation of the study; described the thorough process; described the methodology of establishing service and time spent, the calculation of overhead, allocated hourly rate of staff, and the cost for services; discussed the community support tax services versus fees; discussed the annual subsidy; and the possible cost recovery. The report provides fee comparisons, fee details, and the final tax subsidy decision.

City Manager Thaipejr explained that the City normally does the study every 5 years; however, due to Covid, the study got delayed and had not been done since 2015. The City is, therefore, requesting City Council to adopt the Urgency Resolution so the fees can go into effect immediately.

Mayor pro tempore Dailey asked if there is an assessment of how Loma Linda's fees compare with adjacent communities.

Mr. Johnson explained that they do not do that type of comparison. He noted that every city defines things differently and the processing varies due to city codes and regulations.

Community Development Director Mataritta stated that they conducted a Planning fee survey with several cities to obtain permit fees for new processes, such as ADU's. In their review, they did discover cities do handle permit processes differently.

In response to a comment, Mr. Johnson stated that some fees decreased because of more efficient processes or because the process was handled by a lower-paid individual.

Discussion ensued.

Mayor pro tempore Dailey left the Chambers at 7:35 pm

Mr. Johnson commented that Loma Linda has been the best city he has worked in and enjoyed working with the City Manager.

The public hearing was open and closed with no public participation.

**Motion by Jindal, seconded by Rigsby to 1) adopt Council Bill #R-2023-10, approving the Fee Study Update for the City of Loma Linda along with the proposed fees outlined in the Study (Attachment A); and**

#### **RESOLUTION NO. 3170**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOMA LINDA, CALIFORNIA, ADOPTING THE FEE STUDY UPDATE, DATED APRIL 2023, AND THE ASSOCIATED NEW FEES FOR CITY SERVICES WITHIN LOMA LINDA**



**2) adopt Council Bill #R-2023-11, an Urgency Resolution of the Fee Study Update for the City of Loma Linda and establish the proposed fees immediately. These fees shall become effective immediately and for 30 days unless extended by the City for an additional 90 days.**

**RESOLUTION NO. 3171**

AN URGENCY RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOMA LINDA, CALIFORNIA, ADOPTING THE FEE STUDY UPDATE, DATED APRIL 2023, AND THE ASSOCIATED NEW FEES FOR CITY SERVICES WITHIN LOMA LINDA

**The City Clerk called roll and motion carried by a vote of 4 ayes, 0 noes, and 1 absent; Dailey absent.**

Mayor pro tempore returned to the chamber at 7:39 pm.

**CC-2023-28 - Public Hearing - Consideration of the Canyon Ranch Annexation and Subdivision project applications and supporting CEQA documents [Continued from April 11, 2023] [Community Development]**

- a. **ADOPT the Mitigated Negative Declaration for Canyon Ranch annexation and subdivision request;**
- b. **ADOPT the Mitigation Monitoring Reporting Program;**
- c. **ADOPT Council Bill #R-2023-06 a Resolution to approve a General Plan Amendment (GPA No. P21-073) to change the current land use designation of four (4) Commercial designated lots to Low-Density Residential (R-1, 0 to 4 du/ac) lots within the 141-acre annexation area;**
- d. **ADOPT Council Bill #O-2023-01 (First Reading/Set Second Reading for June 13, 2023) the Ordinance to approve a Zone Change (ZC No. P21-074) to change the current pre-zone of four (4) General Commercial zoned lots to Low-Density Residential (R-1, 0 to 4 du/ac) lots within the 141-acre annexation area; and ;**
- e. **APPROVE an Annexation Application (ANX No. P21-072) to annex the entire 141-acre Project area into the City of Loma Linda, including service for water and sewer; and**
- f. **APPROVE Tentative Tract Map 20403 (TTM No. P21-075), a 10.96-acre subdivision for the construction of 37 single-family residential units and one (1) lettered lot, and Tentative Tract Map 20404, a 55.72-acre subdivision for the construction of 89 residential units and two (2) lettered lots. Both maps will include lettered lots for drainage as well as site and infrastructure improvements. The request also includes the vacation of the extension of Bermudez Street to San Timoteo Canyon Road and will end Bermudez Street as a cul-de-sac; and**
- g. **APPROVE Variance Request No. P23-038, seeking relief from Sections 17.14.100 and 17.14.110 of the Municipal Code, to the block wall at all indicated corner lots to encroach 15' into the street-side setback and be located on the property line, and to allow the vinyl fencing to exceed the reverse corner lot height limit of 5' to 5'-6"**

Community Development Director Mataritta presented the report into evidence, stating that the project request includes requested approvals of a General Plan Amendment, Zone Change, Annexation, Tentative Tract Map, and Variance Request. She explained the existing setting of the site, provided the background for the Annexation request; noted the existing and proposed public services at the project site; and described the proposed tentative tract maps, landscape designs; and noted that an environmental review and traffic studies were completed with the findings within the report. She explained the project was reviewed by Planning Commission and noted the added recommended conditions.

City Manager Thaipejr explained that the Staff Review Committee reviewed and responded to the



recommendations of the Planning Commission, noting that they did not support the two pocket parks on Items 1 & 2, because the parks would not be functional and attract homeless individuals; that they recommended the art element should be reviewed by the Parks Recreation and Beautification Committee on Item 3; and that they did not support the recommendation to widening the landscape right of way. They recommended a one-foot landscape right-of-way area with planted vines and widening the parkway to 4 feet versus 3 feet for trees.

Councilman Jindal reviewed the comments from citizens that were included in the report. He noted and Mayor pro tempore Dailey concurred that the project needed an open space/park area for the residents to congregate.

Mayor pro tempore Dailey supported a more useful and functional park with possible playground equipment and picnic tables.

Steve Bliss, Highpointe Communities, 16501 Scientific Way, Irvine, stated that they discussed the recommendation of the pocket parks and offered to merge two lots and create a park, approximately one acre if that is the desire of the Council.

Mayor Dupper stated that when his residential development was constructed, development impact fees were negotiated for public parks within the community. He noted that most residents in the development are frustrated that the parks are not just for the community. They are open to all and don't always attract the appropriate visitors. He pointed out that public parks come with increased costs to the City. He would prefer to see what the developers and market dictate.

Mr. Bliss pointed out of an informal meeting they held in Loma Lina with residents living in the hillside to discuss this development. He noted that the feedback they received was larger lot sizes and no parks.

The public hearing was opened and closed with no public comments.

Mayor pro tempore Dailey stated that he supports the project, but expressed concerns with the Traffic Study and the traffic impact this project will have. He noted that there are many lots in the newer developments where the landscape areas are not properly maintained. He said, as a city, should look at ways to address this issue at an early stage.

**Motion by Rigsby, seconded by Dailey to adopt the Mitigated Negative Declaration for Canyon Ranch annexation and subdivision request; to adopt the Mitigation Monitoring Reporting Program; to adopt Council Bill #R-2023-06, adopting a General Plan Amendment (GPA No. P21-073) to change the current land use designation of four Commercial designated lots to Low-Density Residential (R-1, 0 to 4 du/ac) lots within the 141-acre annexation area;**

#### **RESOLUTION NO. 3172**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY LOMA AMENDING THE LAND USE MAP OF THE ADOPTED GENERAL PLAN MODIFYING THE LAND USE DESIGNATION OF FOUR PARCELS FROM COMMERCIAL TO LOW DENSITY RESIDENTIAL AT AN APPROXIMATE 10.96 ACRE SITE IDENTIFIED BY ASSESSOR PARCEL NUMBERS 0293-081-09, -11, -12 and -19 (GENERAL PLAN AMENDMENT NO. P21-073)

**to introduce Council Bill #O-2023-01 on the first reading and set the second reading to June 13, 2023, an ordinance to approve a Zone Change (ZC No. P21-074) to change**



**the current pre-zone of four General Commercial zoned lots to Low-Density Residential (R-1, 0 to 4 du/ac) lots within the 141-acre annexation area; to approve an Annexation Application No. P21-072 to annex the entire 141-acre Project area into the City of Loma Linda, including service for water and sewer; to approve Tentative Tract Map 20403 (TTM No. P21-075), a 10.96-acre subdivision for the construction of 37 single-family residential units and one lettered lot, and Tentative Tract Map 20404, a 55.72-acre subdivision for the construction of 89 residential units and two lettered lots. Both maps will include lettered lots for drainage as well as site and infrastructure improvements and include the vacation of the extension of Bermudez Street to San Timoteo Canyon Road and will end Bermudez Street as a cul-de-sac; and to approve Variance Request No. P23-038, seeking relief from Sections 17.14.100 and 17.14.110 of the Municipal Code to the block wall at all indicated corner lots to encroach 15' into the street-side setback and be located on the property line, and to allow the vinyl fencing to exceed the reverse corner lot height limit of 5' to 5'-6"; and with the added conditions as recommended by the City Staff Review Committee.**

Councilman Jindal asked to amend the motion to consider Lots 77 & 78 to green space.

Councilman Rigsby concurred with comments made by the Mayor regarding the parks. He also expressed concern about the homeless populating the small parks.

Mayor pro tempore Dailey stated that he lives by Hulda Crooks Park and is not aware of homeless issues.

Mayor Dupper stated that the City receives several complaints of homeless individuals around the City.

City Manager Thaipejr noted that the Code Enforcement has to remove homeless people at the parks regularly.

Lt. Smith stated that there is a constant problem with vandalism at the parks, especially the new park. She has deputies do extra patrolling at night at the parks.

**The City Clerk called roll and motion carried unanimously.**

#### **CC-2023-29 - Consent Calendar**

**Motion by Rigsby, seconded by Dailey to approve the Consent Calendar items as presented except for the Minutes of April 11, 2023;**

Mayor pro tempore Dailey inquired about Items No. 7 and 11. Community Development Director Mataritta clarified the purpose of the item. City Manager Thaipejr clarified the repair work for Item No. 11.

CD provided clarification to Item 7.

**the City Clerk called roll and motion carried unanimously.**

Approved the demands registers dated:

- April 25, 2023, with commercial demands totaling \$2,311,774.50 and payroll demands dated April 13, 2023, in the amount of \$373,304.48; and
- May 9, 2023, with commercial demands totaling \$538,918.25 and payroll demands dated April 27, 2023, \$347,614.22;

Accepted for filing the April 2023 Treasurer's Reports;



Accepted for filing the April 2023 Fire Department's Activity Report;

Adopted Council Bill #R-2023-12 to extend the urgency of Resolution #3169 to establish the Development Impact Fees listed in Appendix G immediately upon its approval to be effective immediately for an additional 30 days;

**RESOLUTION NO. 3173**

AN EXTENSION OF AN ADOPTED URGENCY RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOMA LINDA, CALIFORNIA, IMMEDIATELY ESTABLISHING THE FEES PERTAINING TO THE SAN BERNARDINO COUNTY TRANSPORTATION AUTHORITY CIRCULATION-RELATED PROJECTS (APPENDIX G) WITHIN THE DEVELOPMENT IMPACT FEE CALCULATION UPDATE AND NEXUS REPORT

Approved an amendment to the Agreement to extend the contract for consultant services between the City of Loma Linda and Planning PLUS/P+ in an amount not-to-exceed of \$3,000 (pass-through fee) for additional review of a project application within the Planning Area 3-3 of the Groves at Loma Linda Specific Plan;

Awarded a contract to Sierra Pacific for the purchase and installation of four (4) street light poles in an amount of \$23,458.00;

Awarded a contract to Golden Bell Products, Inc. for cockroach management services to in an amount of \$13,671.00;

Approved a supplemental appropriation in the amount of \$17,900 from General Fund Balance, and Awarded a contract to Neuroth Construction to modify shower stall at Fire Station No. 1 in an amount of \$16,243.50;

Adopted Council Bill #R-2023-08 to approve the 2023-24 Budget for projects funded by for the Road Repair and Accountability Act (SB1) and repeal Resolution No. 3136

**RESOLUTION 3174**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOMA LINDA, COUNTY OF SAN BERNARDINO APPROVING THE 2023-24 BUDGET TO INCORPORATE A LIST OF PROJECTS FUNDED BY SB 1: THE ROAD REPAIR AND ACCOUNTABILITY ACT AND REPEALING RESOLUTION NO. 3116

Adopted Council Bill #R-2023-13 to order the preparation of the Annual Report for the Landscape Maintenance District No. 1 Annual Report – Fiscal Year 2023-2024

**RESOLUTION NO 3175**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOMA LINDA, COUNTY OF SAN BERNARDINO, CALIFORNIA, INITIATING PROCEEDINGS AND ORDERING THE PREPARATION OF AN ENGINEER'S REPORT FOR LANDSCAPE MAINTENANCE DISTRICT NO. 1 FOR FISCAL YEAR 2023/2024



Adopted Council Bill #R-2023-14 for preliminary approval of the Annual Report for the Landscape Maintenance District No. 1 Annual Report – Fiscal Year 2023-2024

**RESOLUTION NO. 3176**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOMA LINDA, COUNTY OF SAN BERNARDINO, PRELIMINARILY APPROVING ENGINEER'S REPORT FOR FISCAL YEAR 2023/2024 FOR LANDSCAPE MAINTENANCE DISTRICT NO. 1

Adopted Council Bill #R-2023-15 to set the public hearing for June 13, 2023, for the Landscape Maintenance District No. 1 Annual Report – Fiscal Year 2023-2024

**RESOLUTION NO. 3177**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOMA LINDA, COUNTY OF SAN BERNARDINO, CALIFORNIA DECLARING ITS INTENTION TO LEVY AND COLLECT ASSESSMENTS FOR FISCAL YEAR 2023/2024 IN LANDSCAPE MAINTENANCE DISTRICT NO. 1, AN ASSESSMENT DISTRICT; DECLARING THE WORK TO BE OF MORE SPECIAL THAN GENERAL PUBLIC BENEFIT; SPECIFYING THE EXTERIOR BOUNDARIES OF THE AREAS WITHIN LANDSCAPE MAINTENANCE DISTRICT NO. 1 TO BE ASSESSED THE COST AND EXPENSE THEREOF; DESIGNATING SAID DISTRICT AS LANDSCAPE MAINTENANCE DISTRICT NO. 1, DETERMINING THAT THESE PROCEEDINGS SHALL BE TAKEN PURSUANT TO THE LANDSCAPING AND LIGHTING ACT OF 1972; AND OFFERING A TIME AND PLACE FOR THE PUBLIC HEARING

Adopted Council Bill #R-2023-16 to order the preparation of the Annual Report for the Street Light Benefit Assessment District Annual Report – Fiscal Year 2023-2024

**RESOLUTION NO. 3178**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOMA LINDA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, INITIATING PROCEEDINGS AND ORDERING THE PREPARATION OF AN ENGINEER'S REPORT FOR STREET LIGHT BENEFIT ASSESSMENT DISTRICT NO. 1 FOR FISCAL YEAR 2023/2024

Adopted Council Bill #R-2023-17 for preliminary approval of the Annual Report for the Street Light Benefit Assessment District Annual Report – Fiscal Year 2023-2024

**RESOLUTION NO. 3179**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOMA LINDA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, PRELIMINARILY APPROVING ENGINEER'S REPORT FOR FISCAL YEAR 2023/2024 FOR STREET LIGHT BENEFIT ASSESSMENT DISTRICT NO. 1



Adopted Council Bill #R-2023-18 to set the public hearing for June 13, 2023, for the Street Light Benefit Assessment District Annual Report – Fiscal Year 2023-2024

**RESOLUTION NO. 3180**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOMA LINDA, COUNTY OF SAN BERNARDINO, CALIFORNIA DECLARING ITS INTENTION TO LEVY AND COLLECT ASSESSMENTS FOR FISCAL YEAR 2023/2024 IN STREET LIGHT BENEFIT ASSESSMENT DISTRICT NO. 1, AN ASSESSMENT DISTRICT; DECLARING THE WORK TO BE OF MORE SPECIAL THAN GENERAL PUBLIC BENEFIT; SPECIFYING THE EXTERIOR BOUNDARIES OF THE AREAS WITHIN STREET LIGHT BENEFIT ASSESSMENT DISTRICT NO. 1 AND TO BE ASSESSED THE COST AND EXPENSE THEREOF; DESIGNATING SAID DISTRICT AS STREET LIGHT BENEFIT ASSESSMENT DISTRICT NO. 1, DETERMINING THAT THESE PROCEEDINGS SHALL BE TAKEN PURSUANT TO THE LANDSCAPING AND LIGHTING ACT OF 1972; AND OFFERING A TIME AND PLACE FOR HEARING OBJECTIONS THERETO

Accepted as complete and authorized recordation of Notice of Completion for fabrication and installation of the ceramic tile mural at the City Library for \$22,400.00; Contractor: Michel Angela Petersen;

Accepted as complete and authorized recordation of Notice of Completion for Pavement Rehabilitation by Re-Play Method at Lawton Ave., Gower St., Saint David St., San Juan Dr., Loma Vista Dr., and Barton Frontage Rd. (CIP 23-113) in an amount of \$45,000.00; Contractor: Mike Roquet Construction Inc.;

Approved the purchase and installation of seven (7) Traffic Signal Battery Backup Systems from St. Francis Electric for \$34,645.00;

Approved the purchase of the MSA Evolution 6000 Xtreme Thermal Imaging Camera (TIC) for Medic Truck 252 from LN Curtis in an amount not to exceed \$11,000;

**Old Business** - None

**New Business**

**CC-2023-30 - Council Bill #R-2023-09 – Adopt a Resolution for the Measure I Five-Year Capital Improvement Plan for FY 2023/24 through FY 2027/28**

City Manager Thaiperpjr presented the report into evidence, discussing the capital projects planned for the next five years.

**Motion by Rigsby, seconded by Dailey to adopt Council Bill #R-2023-09 approving the Measure I Five-Year Capital Improvement Plan for FY 2023/24 through 2027/28 as presented; the City Clerk called roll and motion carried unanimously.**

**RESOLUTION NO. 3181**

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOMA LINDA, STATE OF CALIFORNIA, ADOPTING THE MEASURE I FIVE-YEAR CAPITAL IMPROVEMENT PLAN FOR FY 2023/2024 THROUGH FY2027 /2028



### **Reports of Councilmen**

Mayor pro tempore Dailey complimented staff on the repaving of Mt. View Ave. He noted that the hardscape at the ramps at Mt. View Ave. requires clean-up. City Manager Thaiprj would follow up with the contractor.

### **Reports of Officers**

City Manager Thaiprj announced that on May 23, 2023, from 9 am to 11 am the City will have a re-grand opening of the Senior Center. He invited the Council to attend.

Discussion ensued about the Council's attendance for the upcoming meetings. It was determined that there would not be a quorum on June 13 but would have a quorum on May 23 for the budget review. He announced that there would be a second meeting in June to discuss the trash rate increase.

The meeting adjourned at 9:06 pm to May 23, 2023.

Approved at the meeting of June 27, 2023.



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City Clerk