



CITY OF LOMA LINDA
PLANNING COMMISSION AGENDA

Wednesday, March 6, 2024, 7:00 PM
Council Chambers
25541 Barton Road
Loma Linda, CA 92354

**** Revised ****

1: Call to Order

- 1A. Call to Order
- 1B. Roll Call
- 1C. Pledge of Allegiance
- 1D. Items to be Added or Deleted
- 1E. Conflict of Interest Disclosure

2: Public Comments on Non-Agenda Items (LIMITED TO 30 MINUTES; 3 MINUTES ALLOTTED FOR EACH SPEAKER)

2A. Public Comments

This portion of the agenda provides an opportunity to speak on an item that is NOT on the agenda. Pursuant to the Brown Act, the Planning Commission can take no action at this time; however, the Commission may refer your comments/concerns to staff, or request the item be placed on a future agenda.

3: Public Hearing Items

3A. Tentative Tract Map No. P22-264 (TTM 20467) and Precise Plan of Design No. P22-266 – a request to demolish a single-family home and develop a single-family residential subdivision, comprised of 9 residential lots, one lettered lot, and a new public street. The site is located on Park Ave, west of Curtis Street and east of Coloma Street, within the Low Density Residential (R-1) General Land Use designation and Zoning District. (APN: 0283-162-20).

Staff recommends that the Planning Commission make the following recommendations to the City Council:

- 1. DETERMINE that the project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant Section No. 15332, (Class No. 32, In-Fill) and direct staff to file a Notice of Exemption; and,
- 2. APPROVE Tentative Tract Map No. P22-264 (Map 20467) to subdivide a 2.8-acre parcel and create nine single-family residential lots and one (1) lettered lot for a storm-water drainage basin, with associated street and landscaping improvements; and,
- 3. APPROVE Precise Plan of Design No. P22-266 for the demolition of an existing single-family residence and the construction of nine single-family residences each featuring its own Accessory Dwelling Unit, along with the addition of a shared drainage basin and a new city street extending from Park Avenue. The project approval is based on the Findings contained in the staff report and subject to the Conditions of Approval.

4: Approval of Minutes

- 4A. Planning Commission Minutes
Minutes of Planning Commission Regular Meeting of January 3rd, 2024

5: Reports

- 5A. Commissioners' Reports

6: Adjournment

6A. Adjournment

Reports and documents relating to each agenda item are on file in the Department of Community Development and are available for public inspection during normal business hours, Monday through Thursday, 7:00 a.m. to 5:30 p.m.

Notice to the Public:

Reports and documents relating to each agenda item are on file with the Community Development Department and are available for public inspection during normal business hours, Monday through Thursday, 7:00 a.m. to 5:30 p.m.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk at (909) 799-2819. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. Later requests will be accommodated to the extent feasible.



Sara Garcia- Barrera, Administrative Assistant II

City of Loma Linda, California

Date Posted: March 6, 2024



City of Loma Linda Planning Commission Staff Report

Prepared By: Nicole Campbell

Tentative Tract Map No. P22-264 (TTM 20467) and Precise Plan of Design No. P22-266 – a request to demolish a single-family home and develop a single-family residential subdivision, comprised of 9 residential lots, one lettered lot, and a new public street. The site is located on Park Ave, west of Curtis Street and east of Coloma Street, within the Low Density Residential (R-1) General Land Use designation and Zoning District. (APN: 0283-162-20).

Staff recommends that the Planning Commission make the following recommendations to the City Council:

Meeting	Agenda Group
Wednesday, March 6, 2024, 7:00 PM	Public Hearing Items Item: 3A
From	Via
Nicole Campbell, Associate Planner	Lorena Matarrita, Community Development Director

Approved/Continued/Denied by City Council

Date: _____

RECOMMENDATION:

Staff recommends that the Planning Commission make the following recommendations to the City Council:

- 1. DETERMINE** that the project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant Section No. 15332, (Class No. 32, In-Fill) and direct staff to file a Notice of Exemption; and,
- 2. APPROVE** Tentative Tract Map No. P22-264 (Map 20467) to subdivide a 2.8-acre parcel and create nine (9) single-family residential lots, one (1) letter lot for a storm-water drainage basin, and a new public street with associated street and landscaping improvements; and,
- 3. APPROVE** Precise Plan of Design No. P22-266 for the demolition of an existing single-family residence and the construction of nine (9) single-family residences each featuring its own Accessory Dwelling Unit. The project approval is based on the Findings contained in the staff report and subject to the Conditions of Approval.

BACKGROUND:

Applicant:	Alex Mucino
Property Owner:	AHD Limited Partnership
Site Area:	2.8 adjusted gross acres
Site Location:	Generally located north of Park Ave, west of Curtis Street and east of Coloma Street (APN: 0283-162-20)

Existing Land Use Designations

	<u>General Plan and Zoning District</u>	<u>Existing Land Use</u>
Site:	Low Density Residential (R-1)	Single Family Residence (To be Demolished)
North:	Commercial Manufacturing (CM)	Multi-tenant Building with various commercial and light industrial uses.
South:	Low Density Residential (R-1)	Single-Family Residences
East:	Commercial Manufacturing (CM) Low Density Residential (R-1)	Tire Shop and Single Family Residences
West:	Low Density Residential (R-1)	Single Family Residences

ANALYSIS:

Project Description

The applicant, Alex Mucino, is requesting that the Planning Commission review Tentative Tract Map No. P22-264 (Map No. 20467) and Precise Plan of Design (PPD) No. P22-266, a request to demolish a single-family home and develop a single-family residential subdivision, comprised of 9 (nine) residential lots, one (1) lettered lot, and a new public street. The site is located within the Low Density Residential (R-1) General Land Use designation and Zoning District (APN: 0283-162-20). The site will also include nine (9) accessory dwelling units that are subject to ministerial approval. The project will include associated street improvements and parkway improvements on Park Avenue.

The project site totals approximately 2.8 acres and is located on the north side of Park Avenue, east of Coloma Street. The site is currently improved with a single-family residence that is to be demolished. The site is within the Low Density Residential (R-1) General Land Use Designation and Zoning District. The intent for the Low Density Residential (R-1) Zone is to accommodate traditional single-family houses and subdivisions on relatively flat areas and to support accessory dwelling units, consistent with state law. To the south, east, and west, the site is bounded by Low Density Residential (R-1) zoned properties developed with single family homes. The property is bounded to the north by Commercial Manufacturing (CM) zoned properties with a mix of retail, service, and light industrial uses.

Tentative Tract Map No. P22-264 (Map 20467).

The applicant is proposing a single-family residential subdivision comprising of nine (9) residential lots and one (1) lettered lot. The existing 2.8-acre lot is currently developed with a single-family residence, to be demolished. The site is mostly underdeveloped with limited vegetation cover.

The nine (9) residential lots are proposed to be accessed from a cul-de-sac off Park Avenue. The lots range from 8,667 to 10,992 square feet and are proposed to front the new cul-de-sac. The lettered lot is 2,976 square-feet and is proposed to serve as drainage for the site. The proposed subdivision will accommodate nine (9) single-family homes and nine (9) accessory dwelling units. The Tentative Tract Map is consistent with the development standards of the Loma Linda Zoning Code and the subdivision standards of the Loma Linda Municipal Code.

Precise Plan of Design No. P22-266

The applicant is requesting approval of a development to include nine (9) single-family homes. The single-story homes are proposed with two floorplans. Plan A is 3,237 square-feet and includes five-bedrooms. Plan B is 2,886 square feet and includes four bedrooms with one flex room. In addition to the two floor plans, the project will achieve diversity with two architectural themes: Spanish and Craftsman. The Spanish style features tan colors with warm and natural tones. A variety of design features and materials are provided on the facades, such as arched doorways and windows, stucco exteriors, red tiled roofing, and other features appropriate to the Spanish architectural style. Two variations of the Craftsman are proposed, each including elements consistent with the Craftsman architecture such as earthy tones, tapered columns, and low-pitched gable roofs. The two styles will feature either muted blue or natural green siding to compliment the warm, earthy browns. The variety in architectural styles and colors will create diversity on the street facade and provide an architecturally and aesthetically pleasing project.

Site Access/Circulation/ Parking

The site is proposed to be accessed via a proposed cul-de-sac off of Park Avenue. The cul-de-sac is proposed to serve as a new public street. Each of the nine (9) single-family homes will have a two-car garage. The applicant is proposing a sidewalk along the east side of the proposed cul-de-sac, complemented by landscaping along the west side. This sidewalk will integrate with the existing sidewalk along Park Avenue, improving pedestrian connectivity and aesthetic appeal in the neighborhood.

Grading/ Walls

The grading remains consistent throughout the site. The applicant is proposing one drainage area. All runoff is proposed to flow southeast to northwest to the proposed infiltration basin located at the northwest corner of the property, in Lot A. The proposed grading adheres to the proposed drainage design. The site has a proposed CMU wall of 6-feet in height along the north and east property lines.

Consistency with the Development Code

The proposed project meets or exceeds the City’s General Plan and Development Code standards for the referenced items below.

PROPOSAL	REQUIREMENT
Land Use	
Single-Family Dwelling	Low Density (R-1) land use regulations allow for Single Family Dwellings.
Parcel Dimensions	
Lot Size: 8,667 - 10,992 Sq. Ft. Lot Width: Cul-de-sac lots: 60.6 - 61.0feet Standard Lots: 65 - 68.1 feet Lot Depth: 101.3 - 152.4 feet	Lot Size: 7,200 Sq. Ft. Lot Width: Cul-de-sac lots: 50 feet (minimum) Standard Lots: 65 feet (minimum) Lot Depth: 100 feet (minimum)
Parcel Coverage and Floor Area Ratio	
Building Coverage: 22.64 - 28.5% Floor Area: 2,886 – 3,237 sq. ft.	Building Coverage: 40% (maximum) Floor Area: 1,000 sq. ft. (minimum)
Building Setbacks	
Front: 20.8 – 34.3 feet Side: all lots comply Rear: 33.5 – 81.3 feet	Front: 20 feet (minimum) Side: 5 feet on one side and 15 feet on the other plus additional 5 feet for each story above the first (minimum) Rear: 15 feet (minimum)
Building Height	
24.4 feet	35 feet (maximum)
Parking	
2 garage spaces for every single-family unit	2 garage spaces for every single-family unit

Consistency with the General Plan

Staff has reviewed the proposed project and evaluated its consistency with applicable General Plan policies and has found that the project supports the following goals and policies of the General Plan:

Land Use Element 2.2.2.1 Guiding Policy for Residential Land Use

- a. Encourage a mixture of dwelling sizes, layouts, and ownership types (consistent with the corresponding land use designation, density range, and applicable General Plan requirements), especially within large-scale residential development projects, in order to provide housing opportunities for a range of incomes and households.
- b. Residential neighborhoods should exhibit a complementary variety of dwelling setbacks and placement on the lot, and lot patterns that reflect the existing topography.
- c. Where residential infill development is proposed, ensure that the density is compatible with the existing residential neighborhood.
- h. Require that all new detached single-family residences shall have a minimum lot size of 7,200 s.f, regardless of the underlying land use designation or zone.
- i. Unless specifically exempted from the applicable provisions of Measure V, require that all residential structures, including the residential portion of any mixed-use structure containing residential dwelling units, be no greater than 35 feet in height.

Housing Element Goal 1

Policy 1.1 Provide a range of housing types and unit sizes to meet the needs of households with varying income ranges and in all life stages.

FINDINGS:

Tentative Tract Map Findings:

Pursuant to Subdivision Map Act, Section 66474, a tract map shall be approved if the following applicable Findings can be made:

Finding No. 1:	That the proposed map is consistent with the applicable general plan and zoning designation.
Finding of Fact:	The project site is located within the Low Density Residential General Land Use Designation and Single Family Residential (R-1) Zoning District. The applicant is proposing a residential subdivision that subdivides one lot into nine residential lots and one lettered lot. The General Plan land use designation and Zoning District allows for detached single-family housing with density ranging from 0-4 dwelling units per acre. The density, size, and configuration of lots as proposed for Map 20467 are consistent with the goals and policies of the General Plan's Low Density Residential Land Use Designation and meets or exceeds the requirements of the Single-Family Residential Zone (R-1) and Measure V.
Finding No. 2:	The site is physically suitable for the type and density of development proposed.
Finding of Fact:	The project site of approximately 2.8 acres is an adequate size to accommodate the proposed single-family dwellings, off-site improvements, and landscaping. The area surrounding the site is developed with similarly sized single-family homes. The project is able to integrate with the already established roadways, infrastructure, and utilities, while contributing to the overall coherence of the development within the neighborhood. The Low Density Residential General Land Use Designation and Single Family Residential (R-1) Zoning District allows for a density of 0-4 dwelling units per acre. The subject site is approximately 2.8 acres, allowing for a maximum potential of 11 dwelling units. The applicant is proposing 9 single-family residences, which falls within the permitted range. Planning, Building and Safety, Public Works and Fire Prevention have reviewed the proposed project for site circulation, access, design, and safety.
Finding No. 3:	The design of the subdivision and the proposed improvements is not likely to cause substantial environmental damage or substantially and unavoidably injure fish and wildlife or their habitat.
Finding of Fact:	The review of the proposed project indicates that the design of the proposed improvements would not cause substantial environmental damage or substantially and unavoidably injure fish and wildlife or their habitat.
Finding No. 4:	The design of the subdivision and proposed improvements is not likely to cause serious public health problems.
Finding of Fact:	The proposed tentative tract map and associated improvements is not likely to cause serious public health problems. The proposed project will be built pursuant to all applicable building, zoning, fire codes, and standards which will result in an appropriate, safe, and desirable development. The conditions of approval referenced herein shall promote the public health, safety, and welfare of the community.
Finding No. 5:	The design of the proposed subdivision and improvements will not conflict with easements.
Finding of Fact:	As proposed, the project and associate improvements do not conflict with easements. There are no existing or proposed easements on the subject site.

Precise Plan of Design Findings:

Finding No. 1:	The proposal complies with the provisions within the Municipal Code and is consistent with the general plan and any applicable specific plan.
Finding of Fact:	The project site is located within the Low Density Residential (R-1) General Land Use Designation and Zoning District. The R-1 Zone is intended to accommodate single-family homes and subdivisions. The applicant is proposing to subdivide one parcel into nine residential lots and one (1) lettered lot to develop 9 single-family homes. Single-family residences are permitted within the R-1 Zone as a matter of right. The proposed project is consistent with the intent of the General Plan and the requirements of the Development Code.
Finding No. 2:	The site layout and design is of high quality, architecturally and aesthetically pleasing, and is compatible with the character of the neighborhood and general community.
Finding of Fact:	The proposed site plan complies with all applicable zoning and development standards and requirements. The site layout is well designed with sufficient parking, thoughtful landscaping, spacious lots, and proper drainage. These aspects contribute to the overall functionality and appeal of the site. This development will be a more efficient use of the existing underdeveloped site and an improvement to the surrounding neighborhood. The proposed Spanish and Craftsman architectural styles are harmonious with the character of the neighboring areas and indicates attention to detail and aesthetics. The proposed project will resonate positively with the community and offer an appealing living environment.
Finding No. 3:	The proposal will result in an efficient, safe, and desirable project that is not materially detrimental to public health, safety, or welfare, or injurious to persons, property, or improvements in the vicinity and zoning district in which the property is located.
Finding of Fact:	The proposed residential subdivision has been reviewed by Planning, Building and Safety, and Fire Prevention, ensuring it meets or exceeds all requirements. The proposed project has been reviewed for site circulation, access, design and safety. The proposed project, alongside the outlined conditions of approval will result in a project that is efficient, safe, and desirable for the subject site and the surrounding areas.
Finding No. 4:	That the project will not be detrimental to the harmonious and orderly growth of the City.
Finding of Fact:	The proposed residential subdivision and nine single-family residences is beneficial to the harmonious and orderly growth of the City. The proposed project expands the City's residential options by offering nine well-designed dwellings on generously sized lots. This development contributes to the City's growth while harmoniously integrating into the existing single-family housing area. A traffic study was prepared and concluded that the proposed project will not result in significant traffic impacts. The design of the project blends with the neighborhood's character and contributes to the growth of the City.

MEASURE V COMPLIANCE:

On November 15, 2023, Ganddini Group, Inc. prepared a Traffic Impact Analysis to evaluate the transportation impacts of the proposed project, in compliance with Measure V. The City of Loma Linda General Plan Policy 6.10.1.a and Measure V require that the Level of Service (LOS) resulting from the project should be maintained at LOS C or better, except where the current level of service is lower than LOS C. The study concludes that the intersections analyzed currently operate at LOS C or better and are forecast to continue operating at LOS C or better upon completion of the project. Therefore, no off-site improvements are necessary for compliance with Measure V requirements.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) STATUS:

The proposed project qualifies for a Categorical Exemption pursuant to Section No. 15332 (Class No. 32, In-Fill Development Project) of the California Environmental Quality Act (CEQA). The subject site is considered In-Fill Development and meets the CEQA requirements of In-Fill: (a) The proposed project is consistent with the Low Density Residential General Land Use Designation and Single Family Residential (R-1) Zoning District and regulations; (b) The subject site occurs within City limits and is less than five acres; (c) The project site is not within any known sensitive or threatened habitat area; (d) The project site will not have any significant effect related to traffic, noise, air quality, or water quality; and (e) There are adequate public utilities services for the development of the proposed single-family subdivision. A Notice of Exemption will be filed upon approval of the project.

PUBLIC COMMENTS:

The public notice for this project was duly posted on February 22, 2024 in three public places (City Hall, library, post office) and mailed to the owners of property within a radius of 300 feet of the exterior boundaries of the subject property as required by State law. Additionally, the notice was made available on the City's website.

Bob Stewart, a property owner in Loma Linda, contacted Staff to express opposition to the project. His primary concerns are related to drainage. The City Engineer, Jeff Peterson, and Public Works Director, Jarb Thaipejr reviewed the preliminary water quality management plan (PWQMP) and the hydrology report and confirmed that the proposal meets drainage standards.

As of the date on this report, there have been no additional written or oral comments received in opposition or in favor of the proposed project.

CONCLUSION:

Based on the information in the staff report, Staff recommends that the Planning Commission determine that Tentative Tract Map No. P22-264 (Map 20467) and Precise Plan of Design No. P22-266 are Categorically Exempt from the requirements of CEQA and approve the project, a request to develop a single-family residential subdivision, comprised of nine (9) residential lots and one (1) lettered lot.

Attachments

Attachment A - Vicinity Map.pdf

Attachment B - Tentative Tract Map No. 20467.pdf

Attachment C - Project Plans.pdf

Attachment D - Colored Elevations and Renderings.pdf

Attachment E - Conceptual Landscape Plan.pdf

Attachment F - Conditions of Approval.pdf

Attachment G - Fire Department Defferal Letter.pdf

Vicinity Map

TTM P22-264 and PPD P22-266

9 - Lot Residential Subdivision

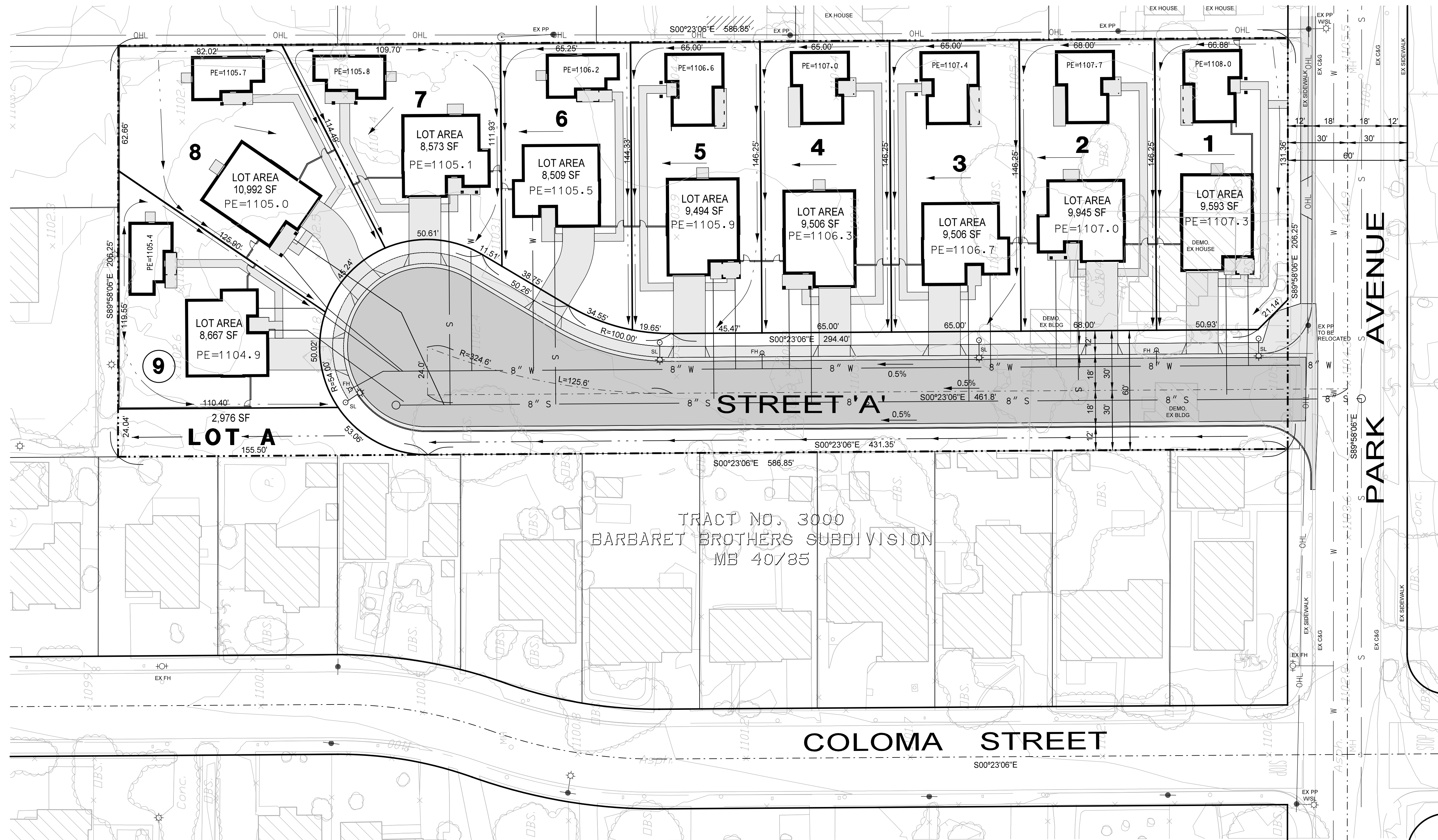
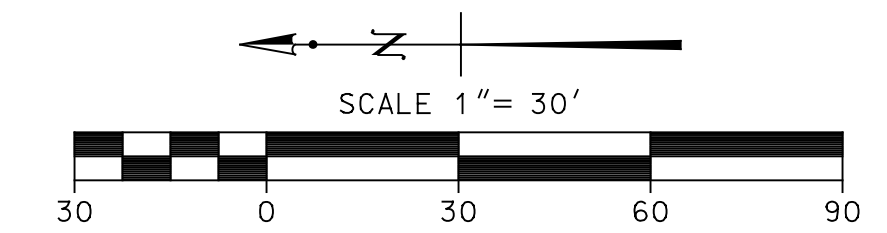


Attachment B

IN THE CITY OF LOMA LINDA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA TENTATIVE TRACT MAP NO. 20467

A PORTION OF EAST 50 ACRES OF LOT 15., BLOCK 75 OF THE 80 ACRE SURVEY OF THE RANCHO SAN BERNARDINO., AS PER PLAT RECORDED IN BOOK 7 OF MAPS, PAGE 2, RECORDS OF SAID COUNTY.

GOODMAN & ASSOCIATES DOUGLAS L. GOODMAN R.C.E. 28500



OWNER/APPLICANT:

AHD LIMITED PARTNERSHIP
CONTACT: ED HADDAD
422 WIER RD
SAN BERNARDINO, CA 92408
909-809-9658

EXISTING USE:

SINGLE FAMILY RESIDENCE
EXISTING HOUSE TO BE DEMOLISHED

ZONING/GENERAL PLAN:

LOW DENSITY RESIDENTIAL/LOW DENISITY RESIDENTIAL

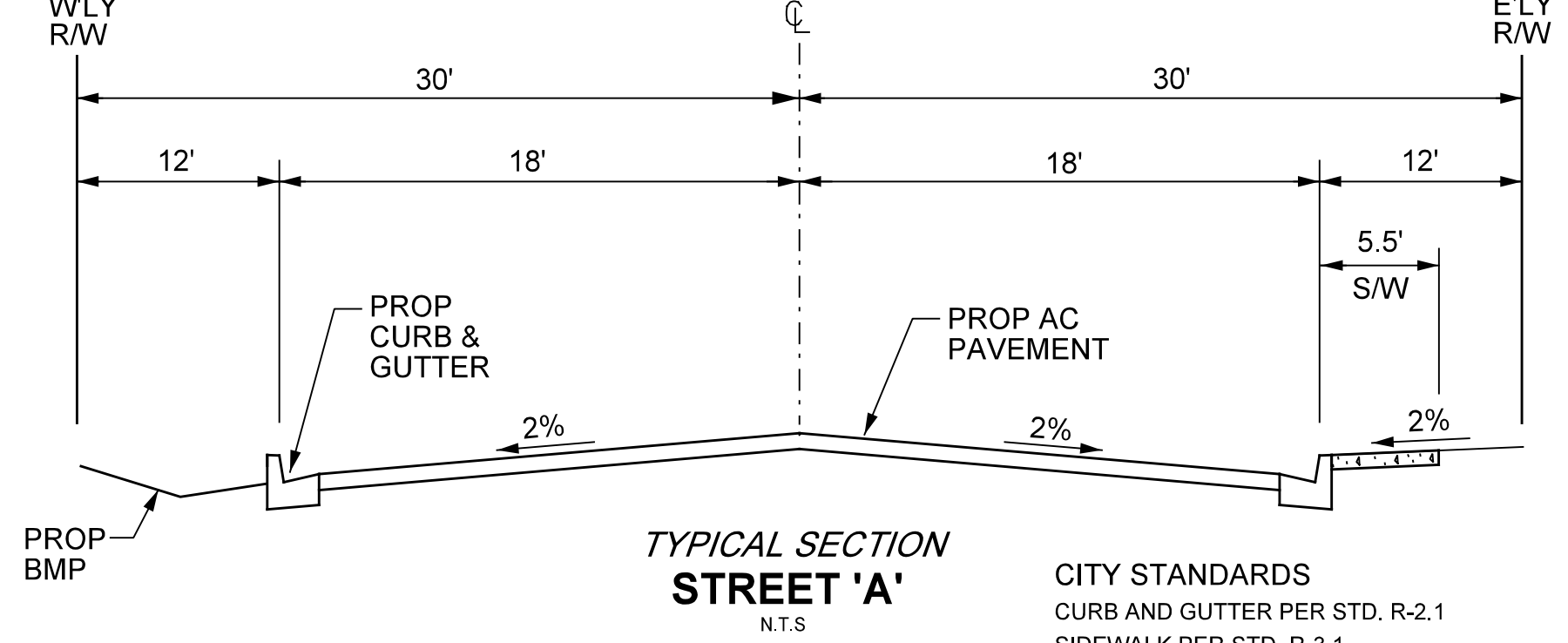
UTILITIES:

WATER: CITY OF LOMA LINDA
TELEPHONE: VERIZON
GAS: THE GAS COMPANY
ELECTRIC: SO. CALIF. EDISON
SEWER: CITY OF LOMA LINDA
FIRE PROTECTION: CITY OF LOMA LINDA
CONNECTED COMMUNITY: CITY OF LOMA LINDA
ALL UTILITIES TO BE UNDERGROUND

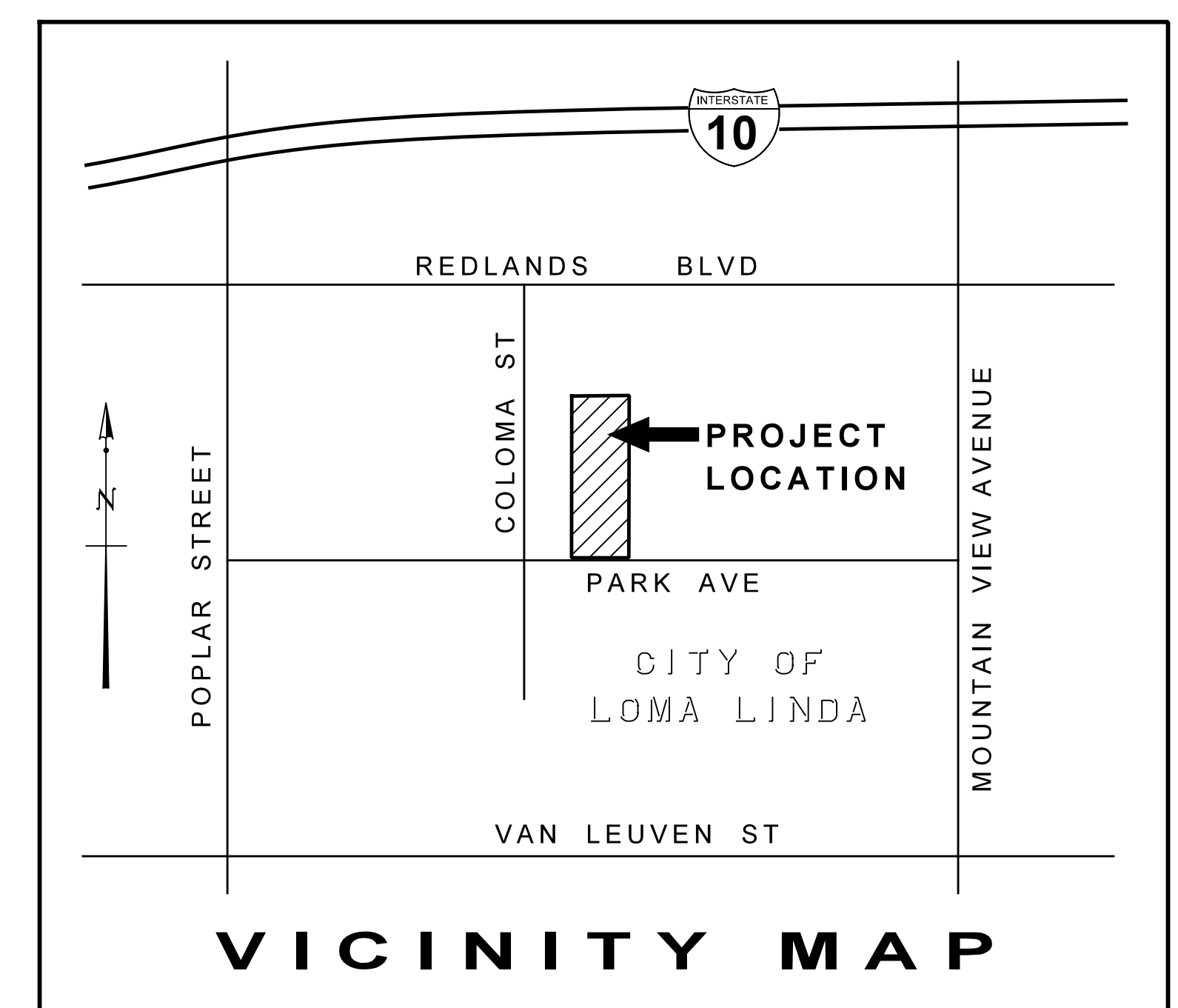
NOTES:

- EXISTING GROSS AND NET AREA: 2.78 ACRES
- THERE ARE NO PLOTTABLE EASEMENTS WITHIN THE PROPERTY
- THIS SUBDIVISION HAS 9 LOTS AND ONE LETTERED LOT
- SEE PWQMP FOR DRAINAGE DETAILS
- SEE SEPARATE SHEET, "EXISTING CONDITIONS" FOR TOPOGRAPHY OF ADJACENT PROPERTIES.

LEGEND	
FH	- FIRE HYDRANT
PL	- PROPERTY LINE
PP	- POWER POLE
PP/SL	- POWER POLE WITH SL
MH	- MANHOLE
SL	- STREET LIGHT
SW	- SIDEWALK
GB	- GRADE BREAK
HP	- HIGH POINT
LP	- LOW POINT
TC	- TOP OF CURB
FS	- FINISH SURFACE
FL	- FLOW LINE
RD	- ROOF DRAIN
PIP	- PROTECT IN PLACE



CITY STANDARDS
CURB AND GUTTER PER STD. R-2.1
SIDEWALK PER STD. R-3.1
DRIVE APPROACH PER STD. R-4.1
STREET LIGHTS - MAXIMUM 160' APART



Goodman & Associates

2079 SKY VIEW DRIVE
COLTON, CALIFORNIA 92324
(909) 824-2775

Douglas L. Goodman
DOUGLAS L. GOODMAN, R.C.E., 28500
MY LICENSE EXPIRES 3-31-24

09/07/2023
DATE

Underground Service Alert Call: TOLL FREE 1-800-227-2600	Designed by DG	Drawn by DG	Checked by DG	
PLANS PREPARED UNDER THE SUPERVISION OF DOUGLAS L. GOODMAN	Reference Plans For These Improvements			
Date	R.C.E., 28500	Date	By	REVISIONS

APPROVED	
T. JARB THAIPEJR DIRECTOR OF PUBLIC WORKS / CITY ENGINEER RCE 47907	DATE

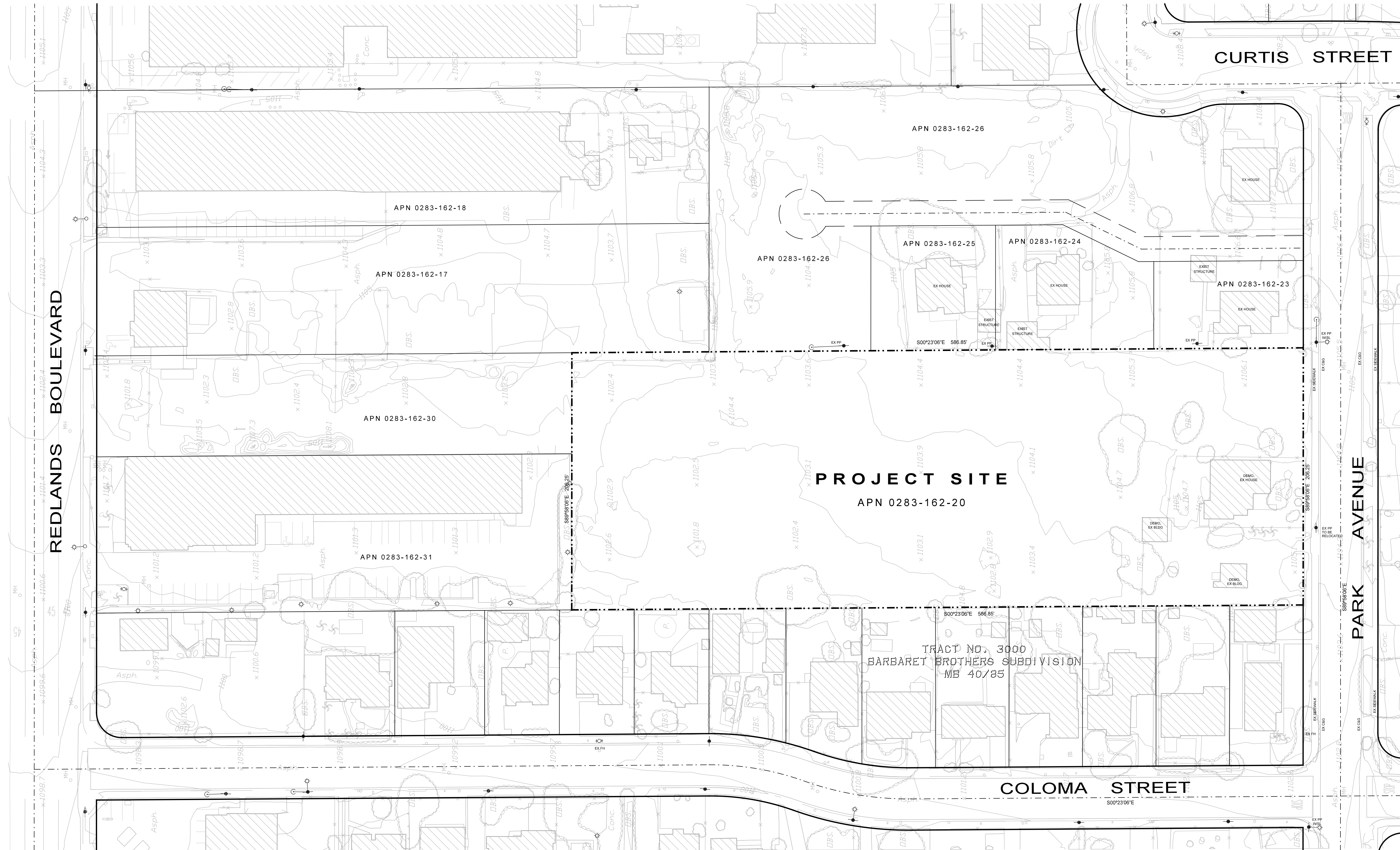
CITY OF LOMA LINDA TENTATIVE TRACT 20467 25450 PARK AVENUE APN: 0283-162-20	Drawing No. 1 SH. 1 OF 1
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TENTATIVE TRACT MAP NO. 20467

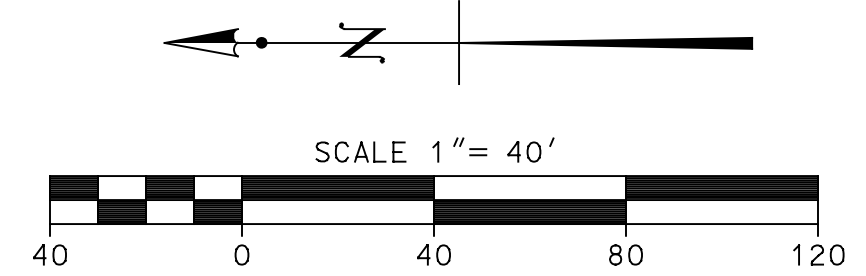
A PORTION OF EAST 50 ACRES OF LOT 15,, BLOCK 75 OF THE 80 ACRE SURVEY OF THE RANCHO SAN BERNARDINO,, AS PER PLAT RECORDED IN BOOK 7 OF MAPS, PAGE 2, RECORDS OF SAID COUNTY.

GOODMAN & ASSOCIATES

DOUGLAS L. GOODMAN R.C.E. 28500



EXISTING CONDITIONS



Goodman & Associates
2079 SKY VIEW DRIVE
COLTON, CALIFORNIA 92324
(909) 824-2775

Douglas L. Goodman
DOUGLAS L. GOODMAN, R.C.E. 28500
MY LICENSE EXPIRES 3-31-24

09/07/2023
DATE

Underground Service Alert Call: TOLL FREE 1-800-227-2600 TWO WORKING DAYS BEFORE YOU DIG	Designed by DG	Drawn by DG	Checked by DG
PLANS PREPARED UNDER THE SUPERVISION OF DOUGLAS L. GOODMAN			
Date	R.C.E. 28500	Reference Plans For These Improvements	Date By REVISIONS App'd

APPROVED	
T. JARB THAIPEJR DIRECTOR OF PUBLIC WORKS / CITY ENGINEER RCE 47907	DATE

CITY OF LOMA LINDA TENTATIVE TRACT 20467 25450 PARK AVENUE APN: 0283-162-20	Drawing No. 1 SH. 1 OF 1
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PARK SUBDIVISION

25450 PARK AVENUE
LOMA LINDA, CA 92354



Agency Approvals



BEN MILLETT
C-34761 | 951-533-0025
ben.m@dimension-arch.com

JAKE BUCHENAUER
C-39033 | 925-989-2145
jake.b@dimension-arch.com

Project 11HA.001

SITE DATA:

APN: 0283-162-20-0-0000
ADDRESS: 25450 PARK AVENUE
LOMA LINDA, CA 92354
AREA: 2.8 ACRES
ZONING: R1
GENERAL PLAN LAND USE: SINGLE FAMILY RESIDENTIAL R1 (MATCHES ZONING)

PROJECT SCOPE:

PROJECT IS A PROPOSED SUBDIVISION OF AN EXISTING LOT INTO 9 INDIVIDUAL LOTS AND ONE LETTERED LOT. AN EXISTING SINGLE-FAMILY RESIDENCE AND SEVERAL SMALL ACCESSORY STRUCTURES, FENCES, AND CONCRETE SHALL BE DEMO'D TO ACCOMMODATE THE PROJECT. THE NEW PROJECT SHALL INCLUDE (9) SINGLE FAMILY RESIDENCES AND (9) DETACHED ADUS. THE PROJECT WILL ALSO INCLUDE AN AREA FOR WATER QUALITY MANAGEMENT, AS WELL AS ALL REQUIRED CITY SERVICES (WATER, SEWER, ELECTRIC, GAS).

PROJECT SHALL BE DESIGNED SO IT WILL NOT HAVE SUBSTANTIAL ADVERSE EFFECTS TO THE ADJUTING PROPERTY, WHICH MEANS THE PROJECT WILL NOT GENERATE EXCESSIVE NOISE, TRAFFIC, VIBRATION, OR OTHER DISTURBANCE.

PROJECT TEAM

ARCHITECT

DIMENSION ARCHITECTURE AND DESIGN, INC.
Attn: JAKE BUCHENAUER
31555 AVENUE E
YUCAIPA, CA 92399
PH: 909-788-7900
Email: jake.b@dimension-arch.com

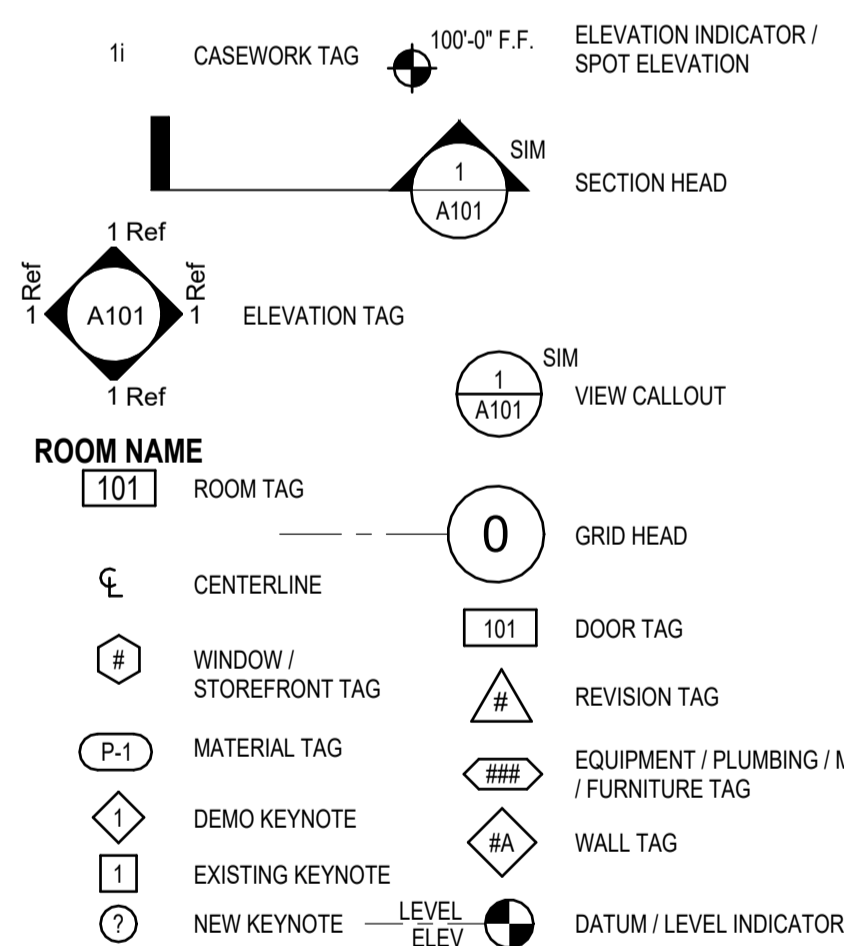
LANDSCAPE ARCHITECT

LANDARQ, INC.
Attn: FAUSTO A. REYES
865 S. MILLIKEN, STE E
ONTARIO, CA 91761
PH: (909) 259-9428 FAX: N/A
Email: fausto@landarq.com

CIVIL ENGINEER

GOODMAN & ASSOCIATES
Attn: DOUG GOODMAN
2079 SKY VIEW DR.
COLTON, CA 92324
PH: (909) 824-2775
Email: doug@goodman-assoc.com

SYMBOLS & TAGS



SHEET INDEX:

SHT #	SHEET NAME
GENERAL	TITLE SHEET
G001	TITLE SHEET
PLANNING	
PL101	SITE PLAN
PL101.1	FIRE DEPARTMENT ACCESS PLAN
PL102	PLAN A - FIRST FLOOR PLAN
PL103	PLAN B - FIRST FLOOR PLAN
PL105	PLAN B - SECOND FLOOR PLAN
PL106	ADU - FLOOR PLANS
PL201	PLAN A - CRAFTSMAN ELEVATIONS
PL202	PLAN A - SPANISH ELEVATIONS
PL203	PLAN B - CRAFTSMAN ELEVATIONS
PL204	PLAN B - SPANISH ELEVATIONS
PL205	ADU A - ELEVATIONS
PL206	ADU B - ELEVATIONS

BUILDING DATA:

SFR PLAN A:		DETACHED ACCESSORY DWELLING UNITS:	
STORIES	2	STORIES	1
AREA	2,742 SF	AREA	738 SF
FIRST FLOOR	1,256 SF		
SECOND FLOOR	1,486 SF		
BEDROOMS	5	BEDROOMS	1
BATHROOMS	3	BATHROOMS	1
PARKING	2-CAR GARAGE	PARKING	DEDICATED SPACE
SPRINKLERED	YES	SPRINKLERED	YES
CONST. TYPE	V-B	CONST. TYPE	V-B

SFR PLAN B:		ADU PLAN B:	
STORIES	2	STORIES	1
AREA	2,319 SF	AREA	965 SF
FIRST FLOOR	2,324 SF		
SECOND FLOOR	1,111 SF		
BEDROOMS	4	BEDROOMS	2
BATHROOMS	3	BATHROOMS	1
PARKING	2-CAR GARAGE	PARKING	DEDICATED SPACE
SPRINKLERED	YES	SPRINKLERED	YES
CONST. TYPE	V-B	CONST. TYPE	V-B

BUILDING CODES:

- 2022 CALIFORNIA ADMINISTRATIVE CODE (CAC), PART 1, TITLE 24 CCR*
- 2022 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R. (2022 INTERNATIONAL BUILDING CODE VOLUMES 1 & 2 AND 2022 CALIFORNIA AMENDMENTS)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 CCR (2022 NATIONAL ELECTRICAL CODE AND 2022 CALIFORNIA AMENDMENTS)
- 2022 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 CCR (2022 INTERNATIONAL MECHANICAL CODE AND 2022 CALIFORNIA AMENDMENTS)
- 2022 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 CCR (2022 IAPMO UNIFORM PLUMBING CODE AND 2019 CALIFORNIA AMENDMENTS)
- 2022 CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 CCR
- 2022 CALIFORNIA FIRE CODE, PART 9, TITLE 24 CCR (2022 INTERNATIONAL FIRE CODE AND 2022 CALIFORNIA AMENDMENTS)
- 2022 CALIFORNIA EXISTING BUILDING CODE (CEBC), PART 10, TITLE 24 CCR (2022 INTERNATIONAL EXISTING BUILDING CODE AND 2019 CALIFORNIA AMENDMENTS)
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), PART 11, TITLE 24 CCR
- 2022 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 CCR
- TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
- 2022 ASME A17.1/CSA B44-13 SAFETY CODE FOR ELEVATORS AND ESCALATORS
- CODE COMPLIANCE TO LOMA LINDA MUNICIPAL CODE

PARTIAL LIST OF APPLICABLE STANDARDS:

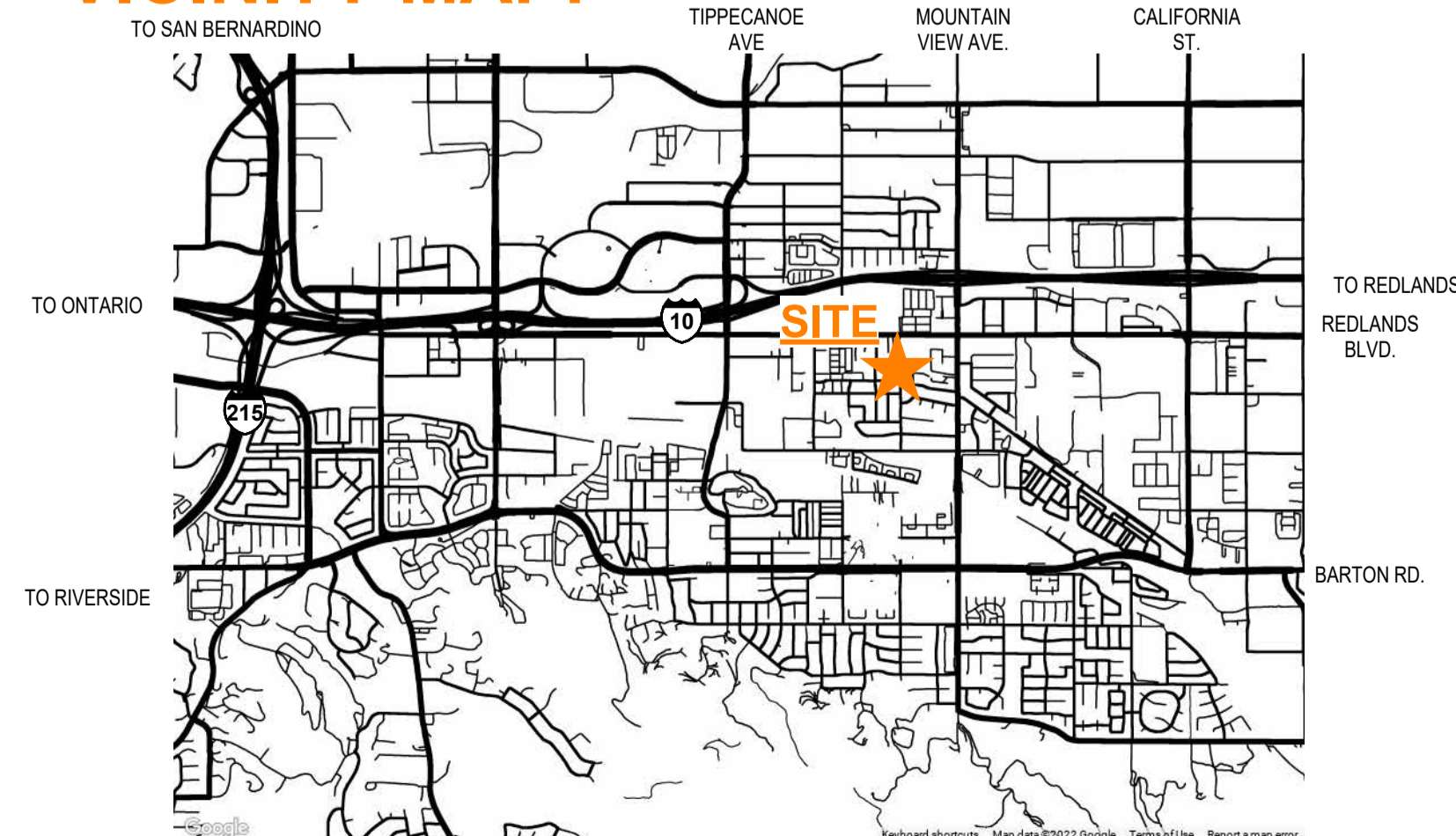
NFPA 13	STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEM (CA AMENDED)	2022	EDITION
NFPA 72	NATIONAL FIRE ALARM AND SIGNALING CODE (CA AMENDED)	2022	EDITION
NFPA 2001	STANDARD FOR CLEAN AGENT FIRE EXTINGUISHING SYSTEMS	2022	EDITION
UL 300	STANDARD FOR FIRE TESTING OF FIRE EXTINGUISHING SYSTEMS FOR PROTECTION OF COMMERCIAL COOKING EQUIPMENT	2022	EDITION
UL 464	AUDIBLE SIGNALING DEVICES FOR FIRE ALARM AND SIGNALING SYSTEMS, INCLUDING ACCESSORIES	2022	EDITION
UL 521	STANDARD FOR HEAT DETECTORS FOR FIRE PROTECTIVE SIGNALING SYSTEMS	2022	EDITION

FOR A COMPLETE LIST OF APPLICABLE NFPA STANDARDS REFER TO 2019 CBC (SFM) CHAPTER 35 AND CALIFORNIA FIRE CODE CHAPTER 80.

SEE CALIFORNIA BUILDING CODE, CHAPTER 35, FOR STATE OF CALIFORNIA AMENDMENTS TO THE NFPA STANDARDS.
* ALL PARTS OF THE 2019 CALIFORNIA BUILDING CODE BECAME EFFECTIVE JANUARY 1, 2020 EXCEPT THE EFFECTIVE DATE FOR THE USE OF THE CALIFORNIA ADMINISTRATIVE CODE (TITLE 24, PART 1, CHAPTER 4) IS JANUARY 8, 2019.

UPON ENTITLEMENT AND PLANNING APPROVAL, ANY BUILDING, SIGN, OR STRUCTURE TO BE CONSTRUCTED OR LOCATED ON SITE WILL REQUIRE PROFESSIONALLY PREPARED PLANS BASED THE 2022 CALIFORNIA BUILDING (AND FIRE) CODE TO BE SUBMITTED TO THE DIVISION.

VICINITY MAP:



FIRE DEPT NOTES

- OFC CHAPTER 33 SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION/DEMOLITION
- FIRE DEPARTMENT REQUIRES ALL PROJECTS GO THROUGH THEIR PLAN CHECK PROCESS SIMULTANEOUSLY WITH THE PLANNING DIVISION'S REVIEW PROCESS (PRIOR TO ENTITLEMENT). REACH OUT TO TOM INGALLS WITH QUESTIONS ABOUT HIS SUBMITTAL REQUIREMENTS FOR "FIRE DEPARTMENT ACCESS" AND THE PERMIT FEE. SEE THE LINK BELOW FOR THE PLAN CHECK APPLICATION AND ASSOCIATED FEES. ONCE THE FIRE DEPARTMENT ACCESS PLAN IS STAMPED AND APPROVED, ANOTHER PLAN MIGHT NOT BE REQUIRED DURING THE ARCHITECTURAL PLAN REVIEW PHASE.
- NASFM CONSTRUCTION FIRE SAFETY TRAINING FOR PM AND SITE SUPERVISORS
- NO LUMBER DROPS UNTIL FIRE UNDERGROUND IS INSTALLED AND TESTED, AND FIRE DEPARTMENT ACCESS POINTS AND ROAD HAVE BEEN ESTABLISHED.
- DEFERRED SUBMITTALS FOR A NFPA 13, SPRINKLER SYSTEM. INDICATE ON PLANS THE STRUCTURES WILL BE SPRINKLERED.
- ILLUMINATED ADDRESS FOR EACH STRUCTURE PER LLMC 15.28.190 SECTION 505.1.
- PROVIDE HYDRANTS FOR FIRE FLOW REQUIREMENTS PER CFC ANNEX B AND BB
- NEW ADDRESS WILL BE ASSIGNED BY FIRE DEPARTMENT ONCE PROJECT IS APPROVED
- 503.2.4 TURNING RADIUS. THE REQUIRED TURNING RADIUS OF A FIRE APPARATUS ACCESS ROAD SHALL BE DETERMINED BY THE FIRE CODE OFFICIAL.
- 509.3 ACCESS TO EQUIPMENT IN MULTI-UNIT BUILDINGS. WHEN AUTOMATIC FIRE SPRINKLER SYSTEMS OR FIRE ALARM SYSTEMS ARE INSTALLED IN BUILDINGS CONSTRUCTED FOR MULTIPLE TENANTS AND THESE SYSTEMS PROTECT MULTIPLE TENANT SPACES, THE MAIN CONTROLS AND CONTROL APPURTENANCES, SUCH AS RISERS, FIRE ALARM CONTROL PANELS, AND VALVES FOR SUCH SYSTEMS, SHALL BE LOCATED IN AN ATTACHED OR INCLUDED ROOM OR AN APPROVED WEATHER-RESISTANT ENCLOSURE WITH AT LEAST ONE EXTERIOR ACCESS DOOR OF NOT LESS THAN 3'-0" BY 6'-8".
- PROVIDE LOCATIONS AND SIZES OF BUILDING ADDRESSES ON THE EXTERIOR ELEVATION PLAN.
- 503.1.2 ADDITIONAL ACCESS. THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE MORE THAN ONE FIRE APPARATUS ACCESS ROAD BASED ON THE POTENTIAL FOR IMPAIRMENT OF A SINGLE ROAD BY VEHICLE CONGESTION, CONDITION OF TERRAIN, CLIMATIC CONDITIONS OR OTHER FACTORS THAT COULD LIMIT ACCESS.
- Fire Safety Plan reviewed and approved by AHJ prior to start of project.

UTILITY INFO:

WATER	CITY OF LOMA LINDA
TELEPHONE	VERIZON
GAS	THE GAS COMPANY
ELECTRIC	SO. CALIF. EDISON
SEWER	CITY OF LOMA LINDA
FIRE PROTECTION	CITY OF LOMA LINDA

PARK SUBDIVISION
for ED HADDAD

at 25450 PARK AVENUE
LOMA LINDA, CA 92354

Stamp



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Drawing Revisions

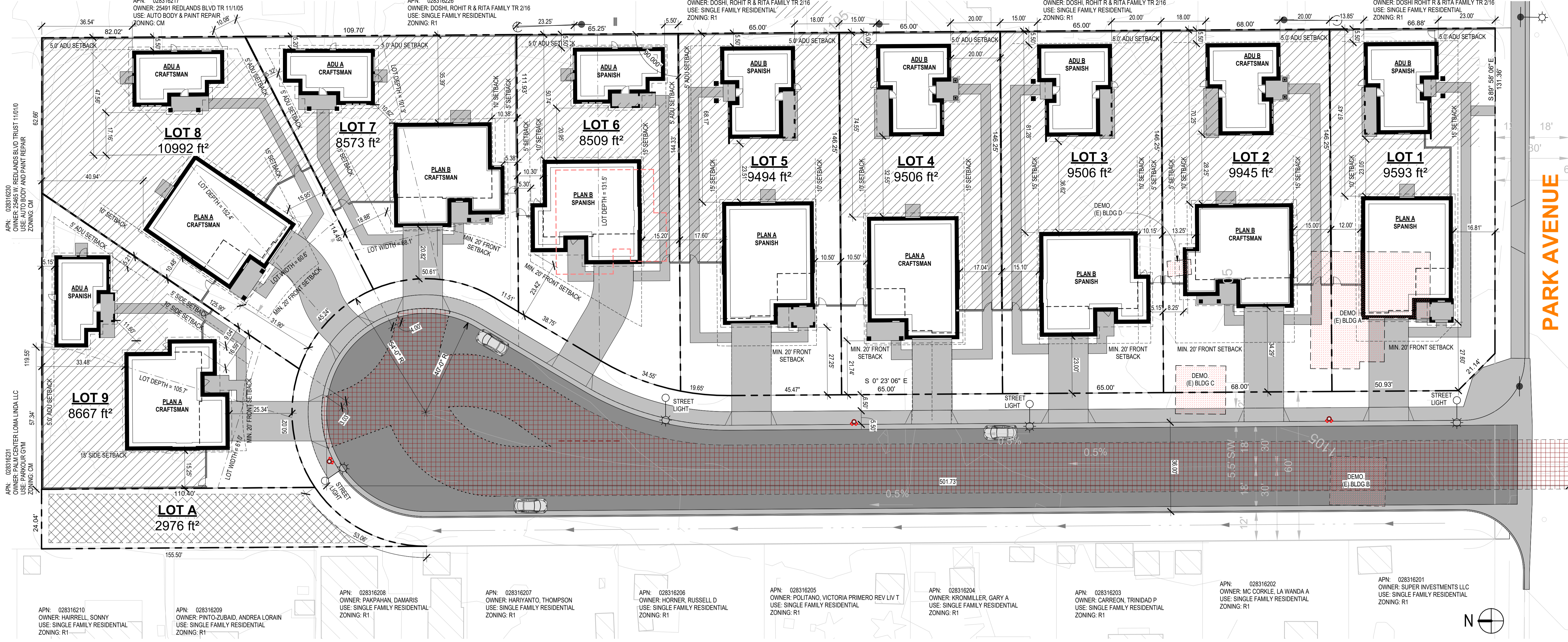
1 12/6/22 DUA Package

NOT FOR
CONSTRUCTION

Date 12/01/2023

TITLE SHEET

G001



Agency Approvals

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Project: 11HA.001

PARK SUBDIVISION
for ED HADDAD

at 25450 PARK AVENUE
LOMA LINDA, CA 92354

DEVELOPMENT STANDARDS

CHAPTER 17.32 RESIDENTIAL ZONES (R-1, R-2, R-3 AND R-4)
GENERAL PLAN LAND USE: LOW DENSITY RESIDENTIAL R-1 (MATCHES ZONING)
WIDTH - 65' MIN, 50' MIN @ CUL-DE-SAC
FRONTAGE - 45' MIN.
DEPTH - 100' MIN.
STANDARD PARCEL COVERAGE - 40%
NONCONFORMING PARCEL COVERAGE - 60%
PARCEL AREA / DWELLING UNIT - 7200 SF
FLOOR AREA / DWELLING UNIT - 1000 SF STANDALONE UNIT
DISTANCE BTWN STRUCTURES - 10' MIN.

TABLE 2-2 - RESIDENTIAL DEVELOPMENT STANDARDS - R-1 (0-4 UNITS / ACRE)

PARCEL DEVELOPMENT STANDARD	MAX / MIN. ALLOWED / REQUIRED	WORST CASE PROVIDED
DENSITY	0 TO 4 UNITS / ACRE	
PARCEL SIZE	7,200 SF MIN.	8,223 SF (LOT 9)
PARCEL WIDTH		
STANDARD PARCEL	65.0' MIN.	65.0' (LOTS 3,4,5)
AT CUL-DE-SAC	60.0' MIN.	60.0' (LOT 9)
MINIMUM FRONTAGE	45.0' MIN.	45.2' (LOT 8)
PARCEL DEPTH	100.0' MIN.	101.3' (LOT 7)
PARCEL COVERAGE		
STANDARD PARCEL	40% MAX	28.5% (LOT 5)
PARCEL AREA PER DWELLING UNIT	7,200 SF / UNIT MIN. (SEE NOTE 6)	8,223 SF / UNIT AVERAGE
FLOOR AREA PER DWELLING UNIT		
STAND-ALONE UNIT	1,000 SF MIN. (SEE NOTE 14)	2,324 SF (PLAN B)
DISTANCE BETWEEN STRUCTURES	10.0' MIN.	10.3' (LOT 7)
SETBACKS		
FRONT		
STANDARD LOT	25.0' MIN. (SEE NOTE 1)	N/A
AVERAGING WITH 5+ LOTS	25.0' MIN. AVG.	26.12' AVERAGE (LOT 7)
INDIVIDUAL LOT USING AVERAGE	20.0' MIN. (SEE NOTE 2)	20.8'
SIDE (SEE NOTES 3, 4, 5, 10, 11, 12)		
INTERIOR 1	15.0' ONE SIDE	16.0' (TYP)
INTERIOR 2	5.0' + 5.0' EACH ADJTL. STORY	5' / 10' (TYP)
CORNER EXT. PARCEL	15.0' MIN.	16.8' (LOT 1)
REAR	15.0' MIN.	35.4' (LOT 7)
HEIGHT LIMIT		
OPEN SPACE (SEE NOTES 8, 9, 13)	35.0' MAX.	25.5' (PLAN A)
AREA		
DIMENSION	1,200 SF MIN.	2,607 (LOT 1)
	15.0' MIN.	
DEVELOPMENT CODE ADA STANDARDS CHAPTER 17.110		
MINIMUM PARCEL AREA:	NOT REQUIRED	
SIDE SETBACK:	4.0' MIN.	5.0' (TYP)
REAR SETBACK REQUIREMENTS:	4.0' MIN.	5.0' (TYP)
BUILDING HEIGHT:	10.0' MIN & 16.0' MAX	10.3' (LOT 7)
UNIT SIZE:		
1-BEDROOM:	738 SF MAX (ADU A)	
2+ BEDROOM:	955 SF MAX (ADU B)	
17.110.060 DEVELOPMENT STANDARDS:		
DESIGN—GENERAL. THE EXTERIOR OF AN ACCESSORY DWELLING UNIT AND/OR JUNIOR ACCESSORY DWELLING UNIT ESTABLISHED BY THIS CHAPTER SHALL MATCH THE ARCHITECTURAL STYLE, COLORS, FINISH MATERIALS, ROOF PITCH AND EAVE DEPTH, WINDOWS, DOORS, TRIM, HARDWARE, LIGHT FIXTURES OF THE PRIMARY DWELLING ON THE PARCEL AND SHALL COMPLY WITH ANY OBJECTIVE DESIGN STANDARDS ADOPTED BY THE CITY THAT ARE APPLICABLE TO THE ZONE IN WHICH IT IS LOCATED.		

17.32.030 DEVELOPMENT STANDARDS

A. GENERAL. NEW LAND USES AND STRUCTURES, AND ALTERATIONS TO EXISTING LAND USES AND STRUCTURES, SHALL BE DESIGNED, CONSTRUCTED, AND/OR ESTABLISHED IN COMPLIANCE WITH THE REQUIREMENTS SPECIFIED IN TABLES 2-2 AND 2-3, IN ADDITION TO THE GENERAL DEVELOPMENT STANDARDS (E.G., LANDSCAPING, PARKING AND LOADING, ETC.) AND LAND USE STANDARDS SPECIFIED ELSEWHERE IN THIS TITLE, INCLUDING THE APPLICABLE REQUIREMENTS OF CHAPTER 17.115 (OBJECTIVE DESIGN STANDARDS). STANDARDS FOR ACCESSORY STRUCTURES ARE SPECIFIED IN CHAPTER 17.10 (ACCESSORY BUILDINGS) AND IN THE NOTES IN TABLE 2-2. STANDARDS FOR ACCESSORY DWELLING UNITS AND JUNIOR ACCESSORY DWELLING UNITS ARE SPECIFIED IN CHAPTER 17.110 (ACCESSORY DWELLING UNITS AND JUNIOR ACCESSORY DWELLING UNITS).

B. PROHIBITION ON STRUCTURES IN FRONT SETBACK AREA. PORTIONS OF ANY HABITABLE STRUCTURE AND/OR ACCESSORY STRUCTURE SHALL NOT OCCUPY ANY PORTION OF A REQUIRED FRONT SETBACK AREA, EXCEPT AS PROVIDED IN SECTION 17.08.050 (PERMITTED PROJECTIONS).

NOTES:

- GARAGE ENTRANCES SHALL FACE SIDE PARCEL LINES ON ALL PARCELS HAVING FRONT SETBACKS OF LESS THAN 25 FEET. THE MINIMUM GARAGE SETBACKS SHALL BE 20 FEET MEASURED FROM THE FACE OF THE GARAGE DOOR TO THE FRONT PROPERTY LINE.
- ALL FRONT SETBACKS IN A SUBDIVISION SHALL AVERAGE A MINIMUM OF NOT LESS THAN 25 FEET.
- NO PORTION OF A SECOND STORY WALL SHALL BE CLOSER THAN 10 FEET TO THE PROPERTY LINE. IF THE GREATER SIDE SETBACK HAS AN UNOBSTRUCTED GRADED AREA ON THAT SIDE INTENDED FOR GARAGE USE SUITABLE FOR VEHICLE PARKING, A SIDE SETBACK AT THE GROUND FLOOR MAY BE ALLOWED HAVING A MINIMUM DIMENSION FROM THE STRUCTURE TO THE PROPERTY LINE OF 10 FEET OPEN FROM GROUND TO SKY. EAVES MAY NOT ENCROACH WITHIN THE 10 FOOT CLEAR DIMENSION. THE SECOND STORY ON THIS GREATER SIDE SHALL CONTINUE TO HAVE A MINIMUM OF A 15 FOOT SETBACK.
- CARPORT STRUCTURES MAY BE ALLOWED ON SIDE PROPERTY LINES TO NOT LESS THAN FIVE FEET FROM THE REAR PROPERTY LINES. THE STRUCTURES SHALL BE FIRE RATED IN COMPLIANCE WITH THE UNIFORM BUILDING CODE AND MAY BE REQUIRED TO BE SCREENED FOR AESTHETIC PURPOSES. NO STRUCTURE SHALL BE ALLOWED WITHIN THE FRONT SETBACK OR EXTERIOR SIDE SETBACK ON CORNER PARCELS OR WITHIN 15 FEET OF AN EXTERIOR SIDE (STREET SIDE) PROPERTY LINE WITHIN THE REAR SETBACK OF CORNER PARCELS. ALL CARPORT STRUCTURES SHALL BE SUBJECT TO THE REVIEW OF THE DIRECTOR.
- ACCESSORY STRUCTURES. ACCESSORY STRUCTURES BOTH ATTACHED AND DETACHED SHALL BE ALLOWED UNDER THE SAME STANDARDS AS THE MAIN STRUCTURES, EXCEPT THAT DETACHED ONE-STORY ACCESSORY STRUCTURES MAY HAVE A REAR SETBACK OF 5 FEET. ATTACHED PATIOS WHICH ARE COMPLETELY UNENCLOSED, EXCEPT FOR FULLY VENTILATED SCREENING, MAY COME TO WITHIN NOT LESS THAN 5 FEET OF THE REAR PROPERTY LINE.
- DENSITY DESIGNATION. THE ORDINANCE ESTABLISHING ANY RESIDENTIAL ZONE MAY CONTAIN A NUMBER SUFFIXED WITH THE ZONE SYMBOL. THE NUMBER SHALL BE THE NUMBER OF SQUARE FEET OF TOTAL PARCEL AREA ALLOCATED TO EACH DWELLING UNIT. THE DESIGNATION MAY BE INDICATED ON THE ZONING MAP (E.G., R-2-3000, R-2-3600). THE DESIGNATION SHALL NOT EXCEED THE DENSITY SPECIFIED IN THE GENERAL PLAN.
- VOID
- VOID
- VOID
- VOID
- VOID
- VOID
- VOID
- LANDSCAPING. ANY PART OF A DEVELOPED PARCEL THAT IS VISIBLE FROM THE STREET, INCLUDING TURF ON SEPARATED PARKWAYS, SHALL BE LANDSCAPED IN COMPLIANCE WITH SECTION 17.02.215 (LANDSCAPING). ON A NATURAL SLOPE, THE SLOPE MAY BE LEFT IN ITS NATURAL CONDITION OR AS OTHERWISE REQUIRED; HOWEVER, A MANUFACTURED SLOPE SHALL BE LANDSCAPED. ALL LAWNS, YARDS, AND GARDENS VISIBLE FROM THE STREET SHALL BE MAINTAINED IN A MANNER WHICH CREATES A NEAT, CLEAN, AND ORDERLY APPEARANCE AND WHICH PREVENTS VISUAL BLIGHT AND PROPERTY DETERIORATION. PRUNING, MOWING AND EDGING OF LAWNS, WEEDING, REMOVAL OF LITTER, FERTILIZING, AND REGULAR WATERING OF ALL PLANTINGS ARE EXAMPLES OF PROPER MAINTENANCE. ALL DEAD PLANTS SHALL BE REPLACED. LANDSCAPING SHALL BE MAINTAINED BY THE PROPERTY OWNER OR ANY OCCUPANT OR PERSON IN CHARGE OR CONTROL OF THE SUBJECT PROPERTY.
- MINIMUM FLOOR AREA. FOR PURPOSES OF THIS SECTION, ANY SEPARATELY ENCLOSED, HABITABLE ROOM SHOWN ON A SUBMITTED FLOOR PLAN SHALL BE CONSIDERED A BEDROOM REGARDLESS OF DESIGNATION AS A "BED," "FAMILY ROOM," "STUDY" OR SIMILAR ROOM. NO BALCONY, PATIO, PORCH, OR SIMILAR FEATURE SHALL BE CONSIDERED IN DETERMINING UNIT FLOOR AREA.
- PROJECT SHALL COMPLY WITH LOMA LINDA CONNECTED COMMUNITY PROGRAM (LLCCP)

ADU STANDARDS

17.110.030 STATUTORY REQUIREMENT AND MANDATORY APPROVAL.

AN ACCESSORY DWELLING UNIT OR JUNIOR ACCESSORY DWELLING UNIT SHALL BE APPROVED MINISTERIALLY PROVIDED ALL APPLICABLE REQUIREMENTS OF THIS CHAPTER ARE MET. HOWEVER, IN NO CASE SHALL ANY REQUIREMENTS FOR LOT COVERAGE, FLOOR AREA RATIO, OPEN SPACE, MINIMUM LOT SIZE, ANY OTHER REQUIREMENTS OF THIS CHAPTER, OR ANY PROVISIONS CONTAINED ELSEWHERE IN TITLE 17 (ZONING) BE INTERPRETED OR IMPLEMENTED IN ANY MANNER THAT WOULD PRECLUDE THE DEVELOPMENT OF:

A. ACCESSORY DWELLING UNIT. ANY ACCESSORY DWELLING UNIT THAT IS UP TO 800 SF IN SIZE, WHICH HAS AN OVERALL HEIGHT ABOVE GRADE OF NO MORE THAN 16'-0", AND PROVIDES MINIMUM 4'-0" SIDE AND REAR YARD SETBACKS.

17.110.040 PERMITTED ZONES.

A. SINGLE-FAMILY ZONES, AN ACCESSORY DWELLING UNIT AND/OR A JUNIOR ACCESSORY DWELLING UNIT SHALL BE PERMITTED IN CONFORMANCE WITH THE REQUIREMENTS OF THIS CHAPTER IN ALL ZONING DISTRICTS ALLOWING SINGLE-FAMILY DEVELOPMENT, ON PARCELS DEVELOPED WITH EXISTING SINGLE-FAMILY DWELLINGS, OR IN CONJUNCTION WITH A PROPOSED SINGLE-FAMILY DWELLING.

17.110.050 NUMBER AND TYPES OF UNITS ALLOWED.

A. SINGLE-FAMILY ACCESSORY DWELLING UNIT. A PARCEL DEVELOPED WITH ONE EXISTING OR PROPOSED SINGLE-FAMILY DWELLING THAT IS LOCATED WITHIN A ZONING DISTRICT PERMITTING RESIDENTIAL USES, SHALL BE PERMITTED TO ESTABLISH ONE ACCESSORY DWELLING UNIT BY ONE OF THE FOLLOWING MEANS:

- AS A UNIT ATTACHED TO AN EXISTING OR PROPOSED SINGLE-FAMILY DWELLING.
- AS A NEW DETACHED STRUCTURE.
- N/A
- N/A
- N/A

B. SINGLE-FAMILY JUNIOR ACCESSORY DWELLING UNIT (N/A)

C. UNIT COMBINATION LIMIT FOR SINGLE-FAMILY. THE NUMBER AND COMBINATION OF UNITS WHERE A PARCEL IS DEVELOPED WITH ONE EXISTING OR PROPOSED SINGLE-FAMILY DWELLING IS LIMITED TO EITHER:

- ONE ATTACHED ACCESSORY DWELLING UNIT WITHIN THE EXISTING OR PROPOSED SPACE OF A SINGLE-FAMILY DWELLING OR ACCESSORY STRUCTURE, PLUS ONE JUNIOR ACCESSORY DWELLING UNIT, OR
- ONE DETACHED ACCESSORY DWELLING UNIT CONSTRUCTED IN CONFORMANCE WITH ALL APPLICABLE DEVELOPMENT STANDARDS OF THIS CHAPTER, PLUS ONE JUNIOR ACCESSORY DWELLING UNIT.

D. MULTIFAMILY ACCESSORY DWELLING UNITS (N/A)

E. UNIT LIMITATION FOR MULTIFAMILY (N/A)

17.110.060 DEVELOPMENT STANDARDS.

THE DEVELOPMENT STANDARDS OF THE ZONE IN WHICH AN ACCESSORY DWELLING UNIT OR JUNIOR ACCESSORY DWELLING UNIT IS LOCATED SHALL APPLY UNLESS SPECIFICALLY MODIFIED BY THE PROVISIONS WITHIN THIS CHAPTER AND AS FOLLOWS:

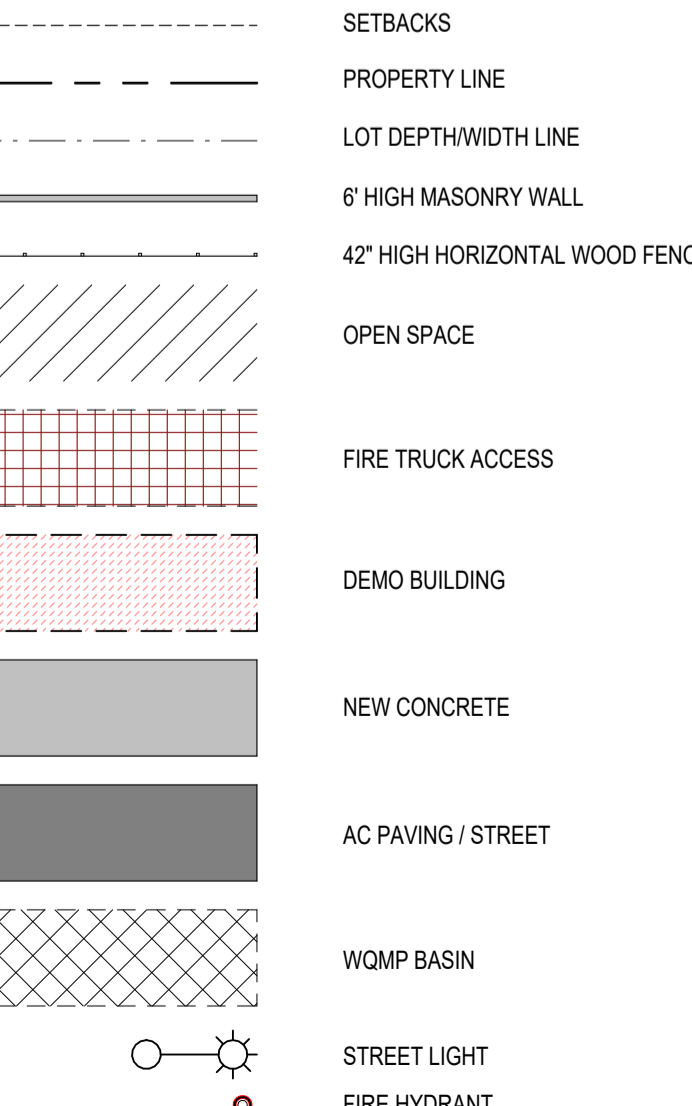
A. DESIGN—GENERAL. THE EXTERIOR OF AN ACCESSORY DWELLING UNIT AND/OR JUNIOR ACCESSORY DWELLING UNIT ESTABLISHED BY THIS CHAPTER SHALL MATCH THE ARCHITECTURAL STYLE, COLORS, FINISH MATERIALS, ROOF PITCH AND EAVE DEPTH, WINDOWS, DOORS, TRIM, HARDWARE, LIGHT FIXTURES OF THE PRIMARY DWELLING ON THE PARCEL AND SHALL COMPLY WITH ANY OBJECTIVE DESIGN STANDARDS ADOPTED BY THE CITY THAT ARE APPLICABLE TO THE ZONE IN WHICH IT IS LOCATED.

SITE / BUILDING MATRIX

NOTE: SHADED AREAS INDICATE NON-CONFORMING LOTS

LOT	LOT DIMENSIONS				SETBACKS			SITE COVERAGE				SINGLE FAMILY RESIDENCE				ADU									
	AREA	FRONT	LOT WIDTH	LOT DEPTH	FRONT	1ST FLR	2ND FLR	LG. REAR	BUILDING FOOTPRINT (SFR ONLY)	% PARCEL COVERAGE (SFR ONLY)	BUILDING FOOTPRINT (INCL ADU)	% PARCEL COVERAGE (INCL ADU)	OPEN SPACE (SF)	SFR DESIGN OPTION	1ST FLOOR PLAN	2ND FLOOR AREA	TOTAL LIVING AREA	TOTAL GARAGE AREA	TOTAL BUILDING AREA	ADU DESIGN OPTION	ADU PLAN	ADU AREA			
LOT 1	9,993 ft ²	72.1'	66.9'	146.3'	27.5'	12.0'	12.0'	16.8'	67.4'	17.51%	18.25%	2,706 ft ²	28.21%	2,607 ft ²	SPANISH	A	1,256 ft ²	1,486 ft ²	2,742 ft ²	495 ft ²	3,237 ft ²	SPANISH	B	955 ft ²	
LOT 2	9,945 ft ²	68.0'	68.0'	146.3'	34.3'	8.3'	13.3'	15.0'	70.3'	16.73%	16.82%	2,628 ft ²	26.43%	4,087 ft ²	CRAFTSMAN	B	1,111 ft ²	1,213 ft ²	2,324 ft ²	562 ft ²	2,886 ft ²	CRAFTSMAN	B	955 ft ²	
LOT 3	9,506 ft ²	65.0'	65.0'	146.3'	25.3'	5.2'	10.2'	16.1'	81.3'	16.73%	17.60%	2,628 ft ²	27.84%	4,536 ft ²	SPANISH	B	1,111 ft ²	1,213 ft ²	2,324 ft ²	562 ft ²	2,886 ft ²	SPANISH	B	955 ft ²	
LOT 4	9,506 ft ²	65.0'	65.0'	146.3'	21.7'	10.5'	10.5'	17.0'	74.6'	17.51%	18.42%	2,706 ft ²	28.47%	4,263 ft ²	CRAFTSMAN	A	1,256 ft ²	1,486 ft ²	2,742 ft ²	495 ft ²	3,237 ft ²	CRAFTSMAN	B	955 ft ²	
LOT 5	9,494 ft ²	65.2'	65.0'	146.3'	27.2'	10.1'	10.1'	17.6'	68.2'	17.51%	18.44%	2,706 ft ²	28.50%	3,640 ft ²	SPANISH	A	1,256 ft ²	1,486 ft ²	2,742 ft ²	495 ft ²	3,237 ft ²	SPANISH	B	955 ft ²	
LOT 6	8,509 ft ²	73.2'	65.3'	131.5'	20.0'	5.3'	10.3'	15.2'	50.7'	16.73%	19.66%	2,411 ft ²	28.34%	2,771 ft ²	SPANISH	B	1,111 ft ²	1,213 ft ²	2,324 ft ²	562 ft ²	2,886 ft ²	SPANISH	A	738 ft ²	
LOT 7	8,573 ft ²	62.1'	68.1'	101.2'	20.8'	5.4'	10.4'	18.9'	35.4'	16.73%	19.51%	2,411 ft ²	28.12%	3,345 ft ²	CRAFTSMAN	B	1,111 ft ²	1,213 ft ²	2,324 ft ²	562 ft ²	2,886 ft ²	CRAFTSMAN	A	738 ft ²	
LOT 8	10,992 ft ²	45.2'	60.6'	152.4'	31.9'	10.5'	10.5'	16.0'	40.9'	17.51%	15.93%	2,489 ft ²	22.84%	5,311 ft ²	CRAFTSMAN	A	1,256 ft ²	1,486 ft ²	2,742 ft ²	495 ft ²	3,237 ft ²	CRAFTSMAN	A	738 ft ²	
LOT 9	8,667 ft ²	50.0'	61.0'	105.7'	25.3'	9.0'	16.6'	15.2'	33.5'	16.73%	19.30%	2,411 ft ²	27.82%	3,275 ft ²	SPANISH	B	1,111 ft ²	1,213 ft ²	2,324 ft ²	562 ft ²	2,886 ft ²	SPANISH	A	738 ft ²	
SUM OF FRONT YARD SETBACKS					231.7'																				
FRONT YARD SETBACKS:		AVERAGE																							

LEGEND



CITY/PROJECT NOTES

- PROJECT SHALL COMPLY WITH LLCCP PROGRAM. PROJECT SHALL BE EQUIPPED WITH CITY'S FIBER-OPTICS INTERFACE AND COPPER CABLING AS REQUIRED.
- STREET LIGHTING SHALL BE SPACED A MINIMUM OF 160'
- FENCING OR RAILING REQUIRED AT ALL DRAINAGE BASINS WITH SLOPES GREATER THAN 5:1
- ALL UTILITY LINES SHALL BE LOCATED UNDERGROUND
- THERE SHALL BE 10' SEPARATION FROM ALL LATERALS AND U.G. SERVICES LINES

PARKING

17.24.060 RESIDENTIAL PARKING SPACE REQUIREMENTS.

A. ONE-FAMILY DWELLINGS SHALL BE PROVIDED WITH TWO GARAGE PARKING SPACES.

17.24.290 SPACES—IN REQUIRED SIDE AND REAR YARDS.

A. REQUIRED SIDE YARDS AND REAR YARDS MAY NOT BE USED FOR PARKING PURPOSES. (ORD. 98 § 14.07.06, 1974).

DEMOLITION

BUILDING	USE	AREA	CONST. TYPE
BUILDING A	SFR	1,870 SF	V-8 (WOOD FRAME)
BUILDING B	GARAGE	440 SF	V-8 (WOOD FRAME)
BUILDING C	GARAGE	395 SF	V-8 (WOOD FRAME)
BUILDING D	SHED	60 SF	V-8 (WOOD FRAME)



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Drawing Revisions

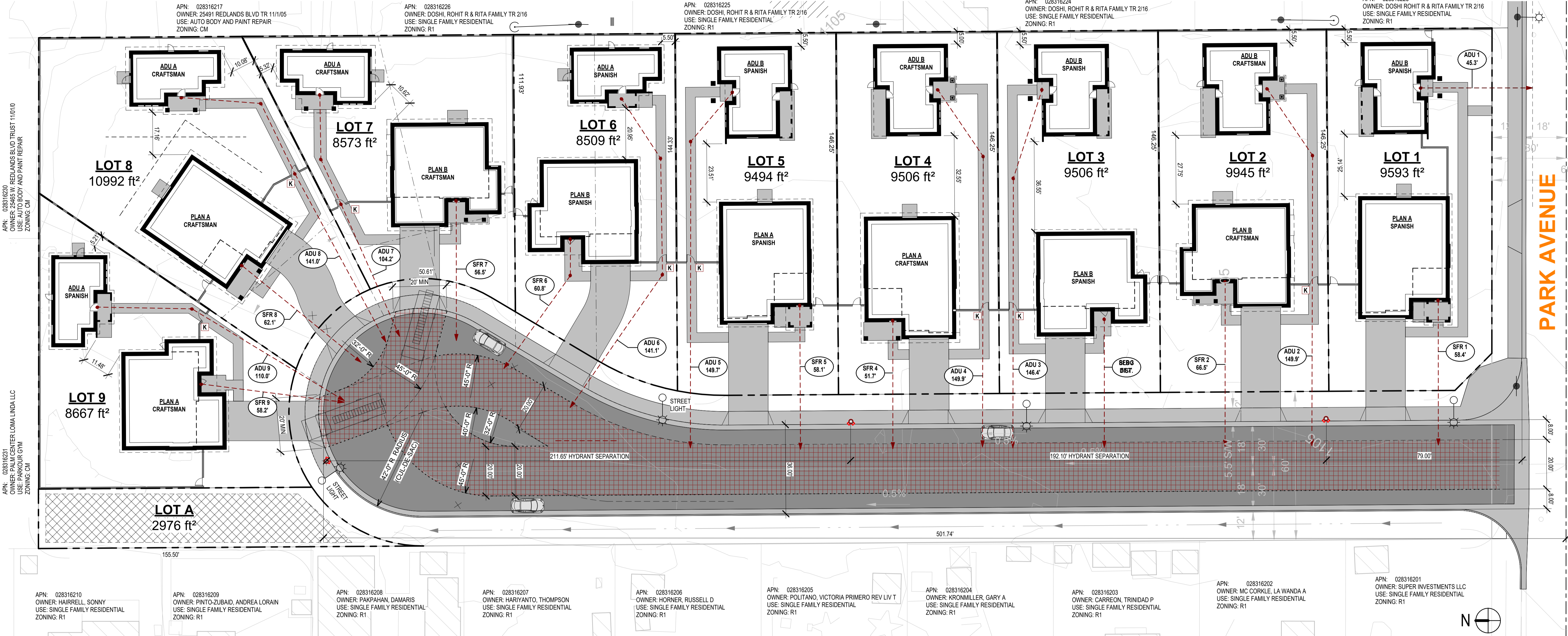
NO.	DATE	DESCRIPTION
1	12/6/22	DUA Package

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Date: 12/01/2023

SITE PLAN

PL101



Agency Approvals

IMENSION
ARCH + DESIGN

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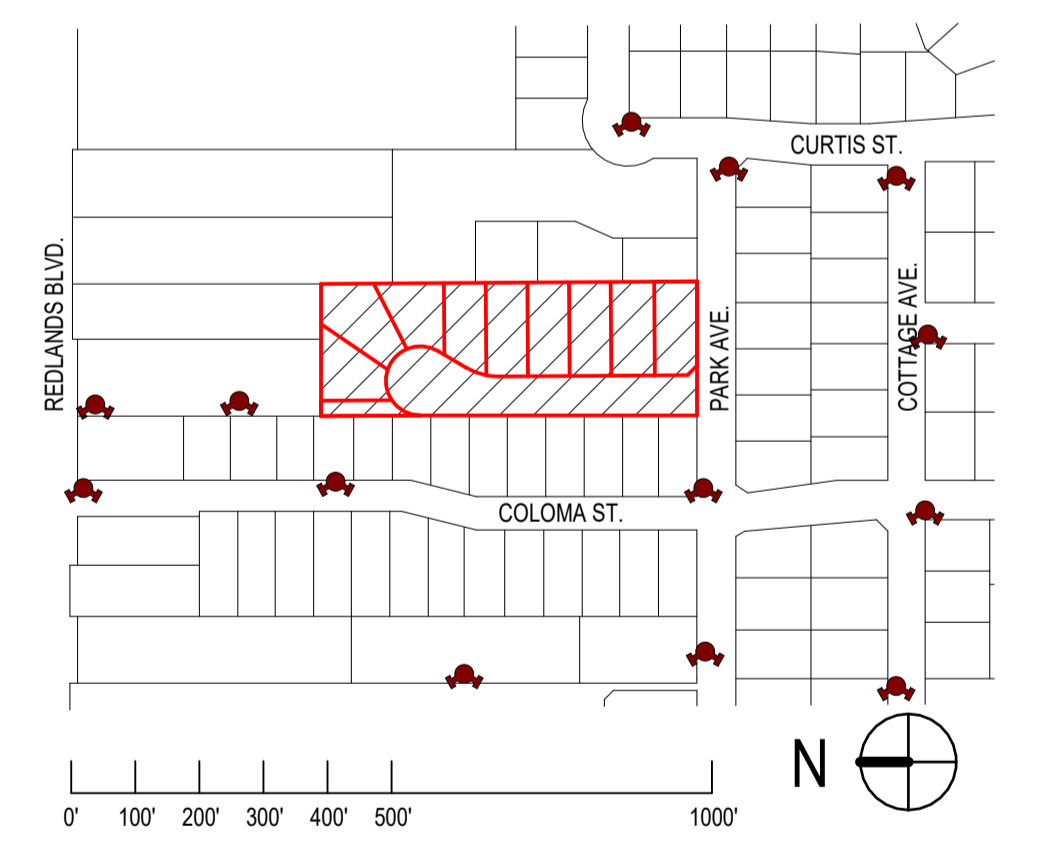
JAKE BUCHENAUER
C-39033 | 925-989-2145
jake.b@dimension-arch.com

Project 11HA.001

PARK SUBDIVISION
for ED HADDAD

at 25450 PARK AVENUE
LOMA LINDA, CA 92354

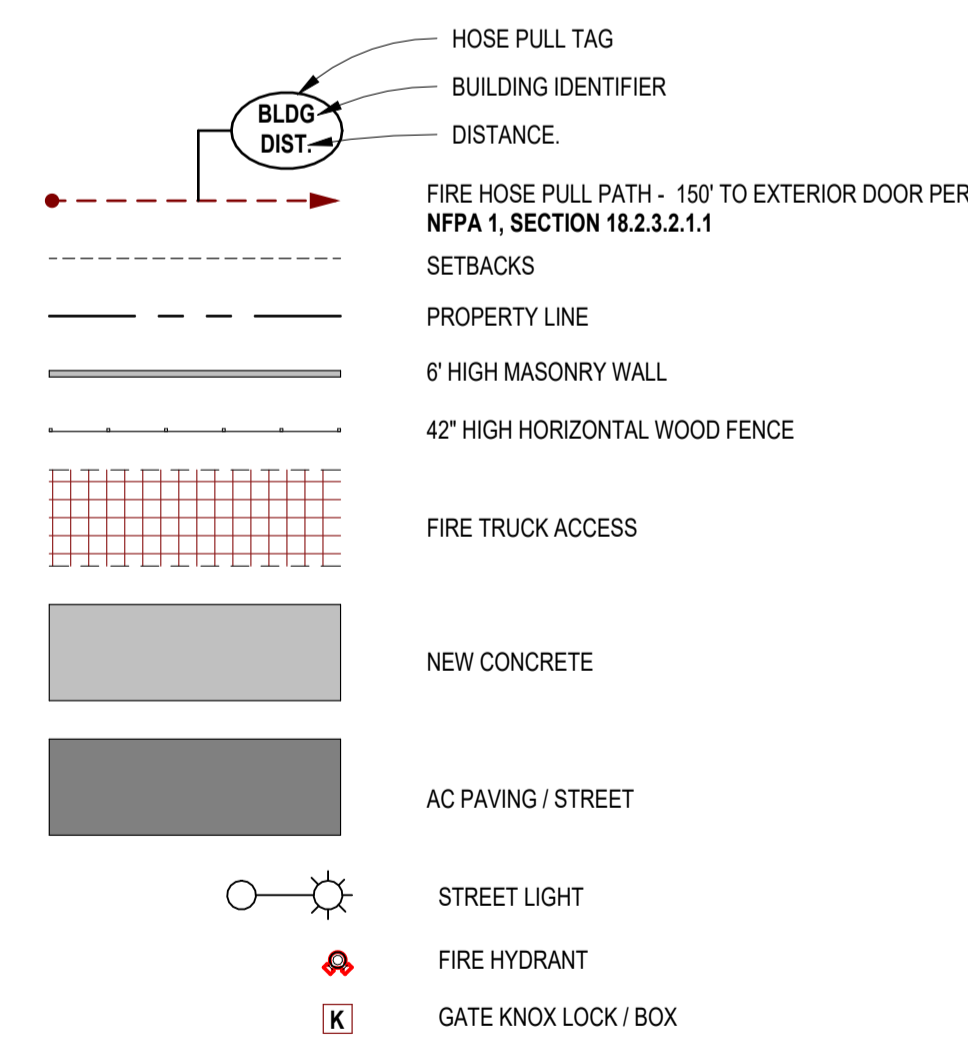
HYDRANT VICINITY PLAN



FIRE DEPARTMENT ACCESS & WATER NOTES

- INSPECTION REQUIREMENTS**
- LOMA LINDA SITE INSPECTIONS ARE REQUIRED FOR THIS PROJECT. PLEASE SCHEDULE ALL FIELD INSPECTIONS AT LEAST 48 HOURS IN ADVANCE. INSPECTIONS CANCELED AFTER 1 P.M. ON THE DAY BEFORE THE SCHEDULED DATE WILL BE SUBJECT TO A RE-INSPECTION FEE. CALL FIRE INSPECTOR (909) 799-2859 AND FIRE MARSHAL 909-799-2853 TO SCHEDULE AN INSPECTION. MONDAY THROUGH THURSDAY FROM 7AM TO 5PM.
 - A LUMBER DROP INSPECTION SHALL BE PERFORMED PRIOR TO BRINGING COMBUSTIBLE MATERIALS (OR COMBUSTIBLE FIXTURES AND FINISHES FOR STRUCTURES OF NON-COMBUSTIBLE CONSTRUCTION). ALL-WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 75,000 LBS., TOPPED WITH ASPHALT, CONCRETE, OR EQUIVALENT SHALL BE IN PLACE AND HYDRANTS OPERATIONAL AT TIME OF LUMBER DROP INSPECTION.
 - FOR PROJECTS WITH FUEL MODIFICATION, A VEGETATION CLEARANCE INSPECTION IS REQUIRED PRIOR TO A LUMBER DROP INSPECTION. USE THE FUEL MODIFICATION PLAN SERVICE REQUEST NUMBER TO SCHEDULE THE VEGETATION CLEARANCE INSPECTION.
 - PHASED INSTALLATION OF FIRE ACCESS ROADS REQUIRES ADDITIONAL INSPECTIONS NOT COVERED BY THE FEES PAID AT PLAN SUBMITTAL. CALL FIRE INSPECTOR (909) 799-2859 AND FIRE MARSHAL 909-799-2853 TO SCHEDULE AN INSPECTION TO ARRANGE FOR ADDITIONAL INSPECTIONS THAT MAY BE NEEDED AND ANY FEES THAT MAY BE DUE.
 - AN ORIGINAL APPROVED, SIGNED, WET-STAMPED LOMA LINDA FIRE ACCESS & WATER PLAN SHALL BE AVAILABLE ON-SITE AT TIME OF INSPECTION.
 - ACCESS ROADS AND HYDRANTS SHALL BE MAINTAINED AND REMAIN CLEAR OF OBSTRUCTIONS AT ALL TIMES DURING AND AFTER CONSTRUCTION. AREAS WHERE PARKING IS NOT PERMITTED SHALL BE CLEARLY IDENTIFIED AT ALL TIMES. OBSTRUCTION OF FIRE LANES AND HYDRANTS MAY RESULT IN CANCELLATION OR SUSPENSION OF INSPECTIONS.
 - TEMPORARY FUEL TANKS OF 60 OR MORE GALLONS SHALL BE REVIEWED, INSPECTED, AND PERMITTED BY THE LOMA LINDA FIRE DEPARTMENT, CITY OF LOMA LINDA PRIOR TO USE.
 - THE PROJECT ADDRESS SHALL BE CLEARLY POSTED AND VISIBLE FROM THE PUBLIC ROAD DURING CONSTRUCTION.
 - ALL GATES IN CONSTRUCTION FENCING SHALL BE EQUIPPED WITH EITHER A KNOX OR BREAKAWAY PADLOCK.
 - BUILDINGS OF FOUR OR MORE STORIES SHALL BE PROVIDED WITH STAIRS AND A STANDPIPE BEFORE REACHING 40 FEET IN HEIGHT.
- GENERAL REQUIREMENTS**
- FIRE LANE WIDTHS SHALL BE MEASURED FROM TOP FACE OF THE CURB TO TOP FACE OF THE CURB FOR FIRE LANES WITH STANDARD CURBS AND GUTTERS AND FROM FLOW-LINE TO FLOW-LINE FOR FIRE LANES WITH MODIFIED CURB DESIGNS (E.G., ROLLED, RAMPED, ETC.). THE DEVELOPER IS RESPONSIBLE TO VERIFY THAT ALL APPROVED PUBLIC WORKS OR GRADING DEPARTMENT STREET IMPROVEMENT PLANS OR PRECISE GRADING PLANS CONFORM TO THE MINIMUM STREET WIDTH MEASUREMENTS PER THE APPROVED LOMA LINDA FIRE DEPARTMENT ACCESS & WATER PLAN AND STANDARDS IDENTIFIED IN LOMA LINDA FIRE PREVENTION BUREAU ACCESS & WATER GUIDELINE FOR ALL PORTIONS OF THE FIRE ACCESS ROADS.
 - PERMANENT, TEMPORARY, AND PHASED EMERGENCY ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF 75,000 LBS. AND SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
 - FIRE LANE SIGNS AND RED CURBS SHALL MEET THE SPECIFICATIONS SHOWN IN LOMA LINDA FIRE PREVENTION BUREAU ACCESS & WATER GUIDELINE AND SHALL BE INSTALLED AS DESCRIBED THEREIN. ADDITIONAL FIRE LANE MARKINGS MAY BE REQUIRED AT THE TIME OF INSPECTION DEPENDING ON FIELD CONDITIONS.
 - ALL FIRE HYDRANTS SHALL HAVE A 'BLUE REFLECTIVE PAVEMENT MARKER' INDICATING THEIR LOCATION PER THE LOMA LINDA STANDARD. ON PRIVATE PROPERTY MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER.
 - ADDRESS NUMBERS SHALL BE LOCATED AND BE OF A COLOR AND SIZE SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ROADWAY FROM WHICH THE BUILDING IS ADDRESSED IN ACCORDANCE WITH LOMA LINDA FIRE PREVENTION BUREAU ACCESS & WATER GUIDELINE.

LEGEND



PROJECT SCOPE:

PROJECT IS A PROPOSED SUBDIVISION OF AN EXISTING LOT INTO 9 INDIVIDUAL LOTS AND ONE LETTERED LOT. AN EXISTING SINGLE-FAMILY RESIDENCE AND SEVERAL SMALL ACCESSORY STRUCTURES, FENCES, AND CONCRETE SHALL BE DEMO'D TO ACCOMMODATE THE PROJECT. THE NEW PROJECT SHALL INCLUDE (9) SINGLE FAMILY RESIDENCES AND (9) DETACHED ADUS. THE PROJECT WILL ALSO INCLUDE AN AREA FOR WATER QUALITY MANAGEMENT, AS WELL AS ALL REQUIRED CITY SERVICES (WATER, SEWER, ELECTRIC, GAS).

PROJECT SHALL BE DESIGNED SO IT WILL NOT HAVE SUBSTANTIAL ADVERSE EFFECTS TO THE ADJUTING PROPERTY, WHICH MEANS THE PROJECT WILL NOT GENERATE EXCESSIVE NOISE, TRAFFIC, VIBRATION, OR OTHER DISTURBANCE.

SITE DATA:

APN: 0283-162-20-0-0000
 ADDRESS: 25450 PARK AVENUE
 LOMA LINDA, CA 92354
 AREA: 2.8 ACRES
 ZONING: R1
 GENERAL PLAN LAND USE: SINGLE FAMILY RESIDENTIAL R1 (MATCHES ZONING)

BUILDING DATA:

SINGLE FAMILY RESIDENCES:		DETACHED ACCESSORY DWELLING UNITS:	
SFR PLAN A:		ADU PLAN A:	
STORIES	2	STORIES	1
AREA	2,742 SF	AREA	738 SF
FIRST FLOOR	1,296 SF		
SECOND FLOOR	1,488 SF		
BEDROOMS	5	BEDROOMS	1
BATHROOMS	3	BATHROOMS	1
PARKING	2-CAR GARAGE	PARKING	DEDICATED SPACE
SPRINKLERED	YES	SPRINKLERED	YES
CONST. TYPE	V-B	CONST. TYPE	V-B
OCC.	R-3	OCC.	R-3
SFR PLAN B:		ADU PLAN B:	
STORIES	2	STORIES	1
AREA	2,319 SF	AREA	955 SF
FIRST FLOOR	2,324 SF		
SECOND FLOOR	1,111 SF		
BEDROOMS	4	BEDROOMS	2
BATHROOMS	3	BATHROOMS	1
PARKING	2-CAR GARAGE	PARKING	DEDICATED SPACE
SPRINKLERED	YES	SPRINKLERED	YES
CONST. TYPE	V-B	CONST. TYPE	V-B
OCC.	R-3	OCC.	R-3

Stamp

LICENSED ARCHITECT
 BENJAMIN MILLETT
 C-34761
 01-31-24
 RENEWAL DATE
 STATE OF CALIFORNIA

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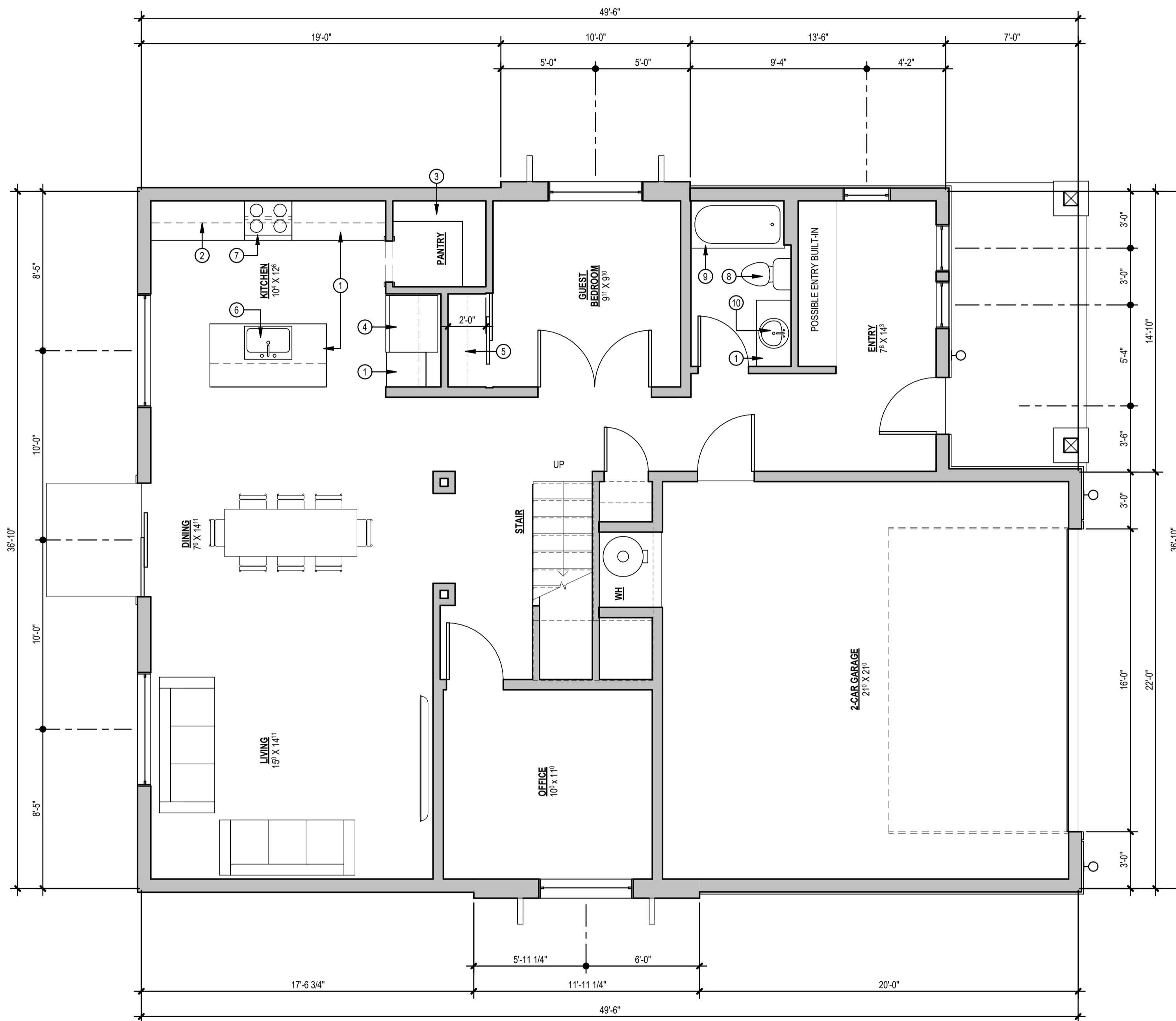
Date 12/01/2023

FIRE DEPARTMENT ACCESS PLAN

PL101.1

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① PLAN A - 1ST FLOOR
1/4" = 1'-0"

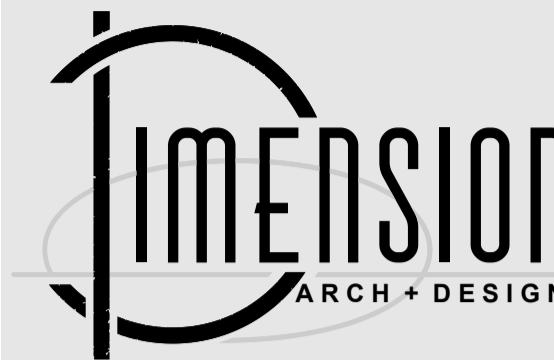
KEYNOTES

- NEW KEYNOTES**
1. BASE CABINETS
 2. UPPER CABINETS
 3. FLOATING SHELF
 4. REFRIGERATOR
 5. CLOSET SHELF & POLE
 6. KITCHEN SINK
 7. GAS RANGE
 8. TANKED TOILET
 9. TUB/SHOWER COMBO
 10. RESIDENTIAL VANITY

PLAN NOTES

1. HATCHING AND SHADING IS FOR INFORMATIVE PURPOSES ONLY, AND DO NOT INDICATE ACTUAL COLORS, SIZES, PATTERNS, ETC. REFER TO FINISH SCHEDULE FOR INFORMATION REGARDING ACTUAL FINISHES.
2. SEE SHEET G101 - 'CODE PLAN' FOR LOCATION AND TYPE OF ROOM / DOOR SIGNAGE.
3. PROVIDE SOUND INSULATION AT ALL WALLS AND CEILINGS OF ALL RESTROOMS, OFFICES, CONFERENCE ROOMS, AND DEMISING WALLS.
4. COORDINATE ALL WORK WITH CONSULTANT DRAWINGS.
5. SAWCUT AND PATCH CONCRETE AS REQUIRED FOR INSTALLATION OF NEW UTILITY LINES. SEE PLANS FOR LOCATION.
6. PROVIDE SECURE ACCESS DOORS AT ALL CAPPED UTILITY LOCATIONS.
7. AREA(S) WITH FLOOR DRAINS SHALL HAVE MAX. 2% SLOPE IN ALL DIRECTIONS.
8. FLOOR DRAINS AND FLOOR SINKS LOCATED IN CIRCULATION PATHS SHALL HAVE A MAX. GRATE OPENING OF 1/4" IN ALL DIRECTIONS.
9. PATCH/REPAIR ALL AREAS AFFECTED BY SCOPE OF WORK PRIOR TO INSTALLING PORTIONS OF NEW WORK (MATCH EXISTING MATERIALS, STYLE AND FINISH). PREPARE ALL SURFACES AS REQUIRED TO RECEIVE NEW FINISH.
10. REFER TO ARCHITECTURAL DETAIL SHEETS FOR TYPICAL DETAILS.

Agency Approvals



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Project 11HA.001

PARK SUBDIVISION
for ED HADDAD

at 25450 PARK AVENUE
LOMA LINDA, CA 92354

Stamp



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Drawing Revisions

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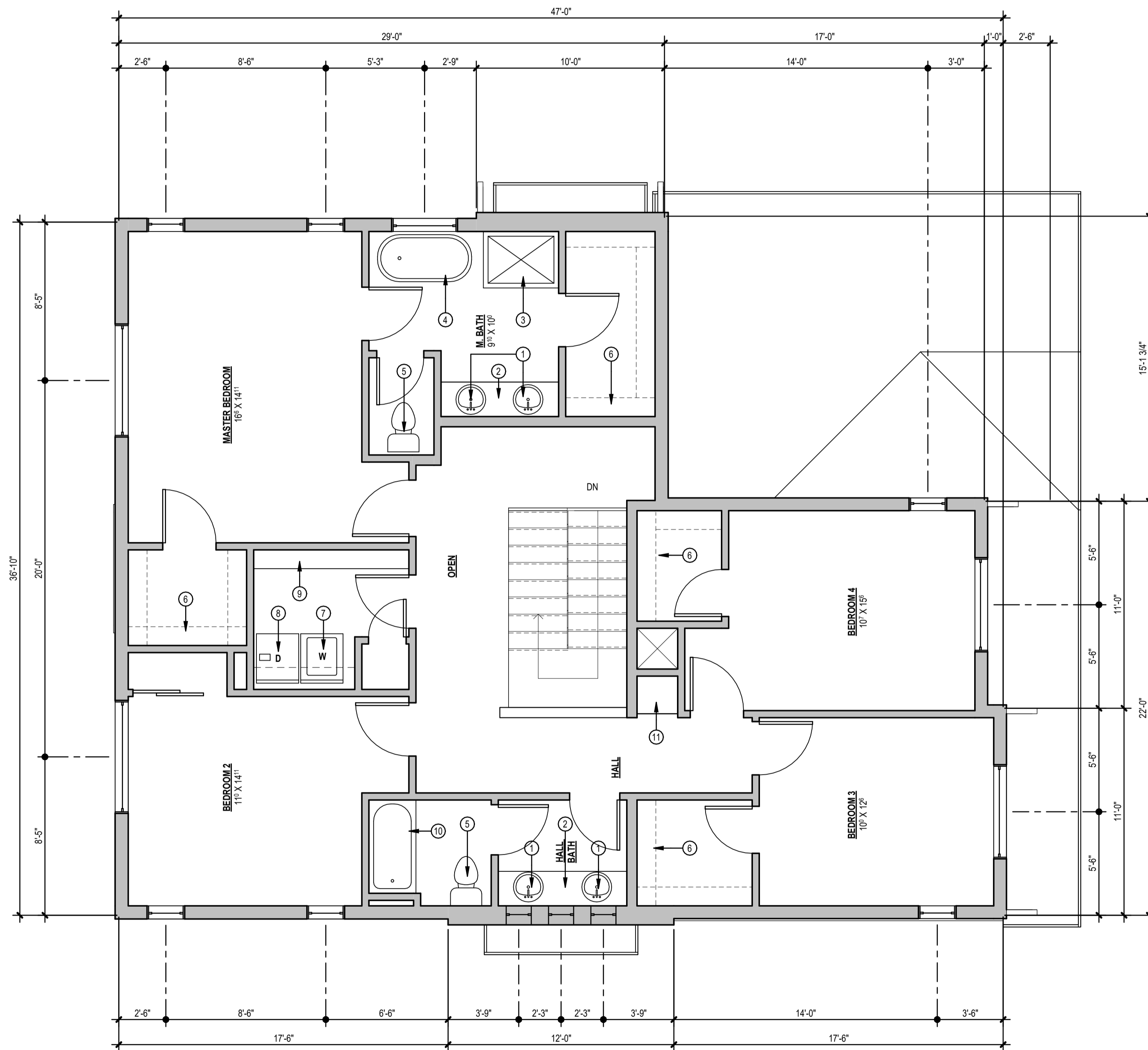
PLAN A - FIRST FLOOR PLAN

PL102

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1 PLAN A - 2ND FLOOR
1/4" = 1'-0"



KEYNOTES

- NEW KEYNOTES**
- 1 RESIDENTIAL VANITY
 - 2 BASE CABINETS
 - 3 WALK-IN SHOWER
 - 4 FREESTANDING TUB
 - 5 TANKED TOILET
 - 6 CLOSET SHELF & POLE
 - 7 WASHER
 - 8 DRYER
 - 9 FLOATING SHELF
 - 10 TUB/SHOWER COMBO
 - 11 FULL HEIGHT CABINETS

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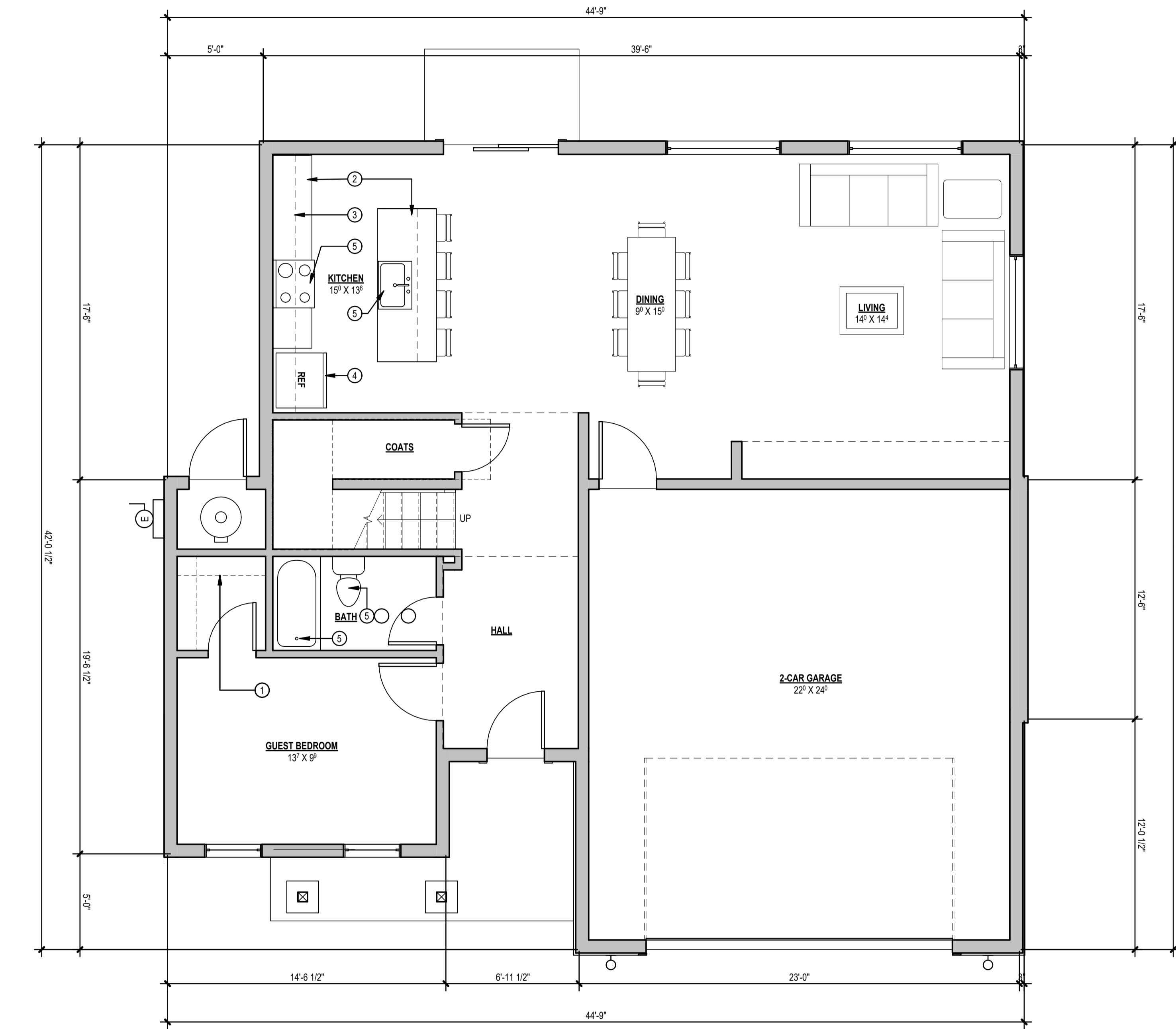
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Date 12/01/2023

PLAN A - SECOND FLOOR PLAN

PL103



① PLAN B - 1ST FLOOR
1/4" = 1'-0"

KEYNOTES

- NEW KEYNOTES**
- 1 CLOSET SHELF & POLE
 - 2 BASE CABINETS
 - 3 UPPER CABINETS
 - 4 REFRIGERATOR
 - 5

PLAN NOTES

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Drawing Revisions

Revision	Date	Description
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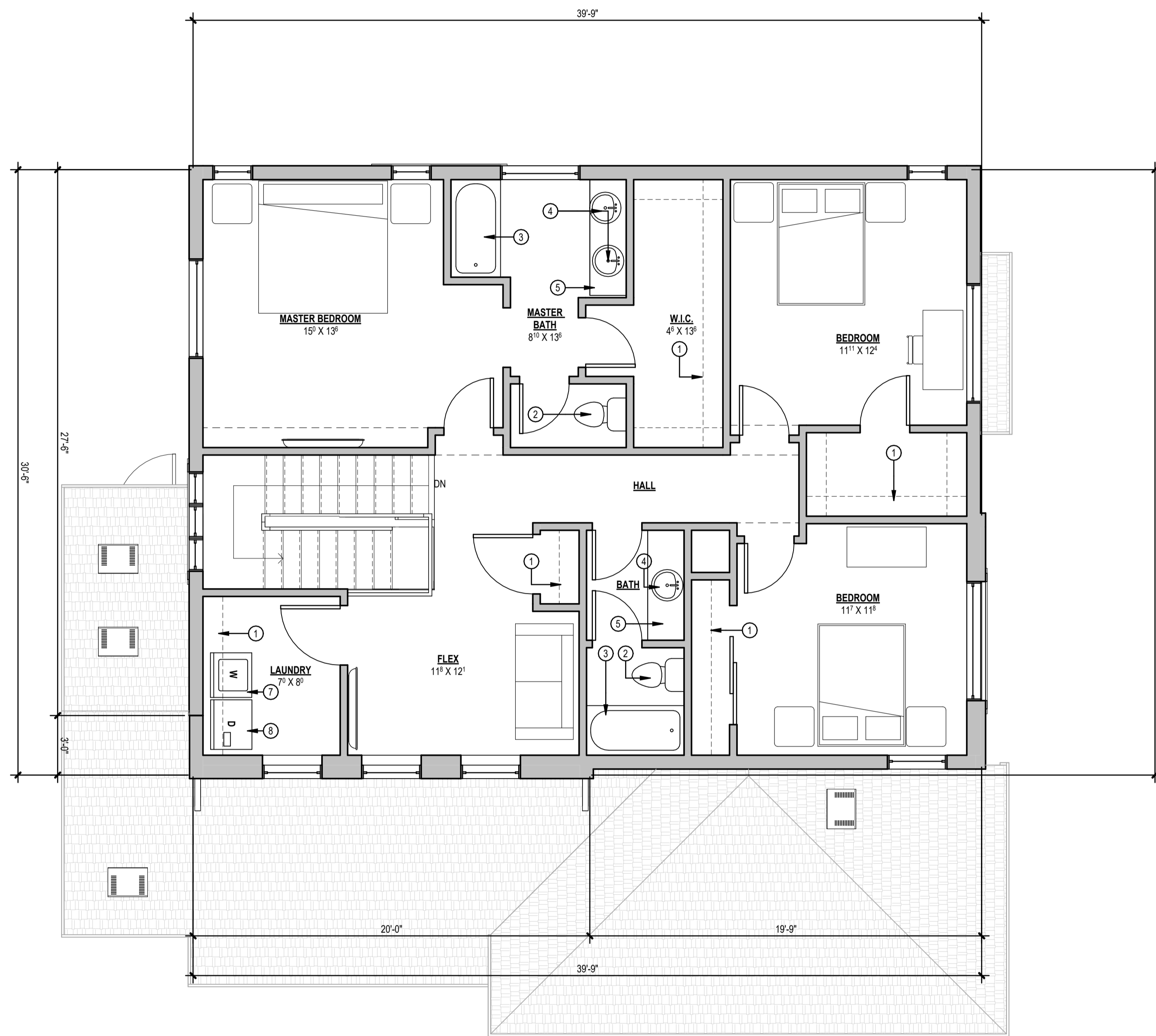
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PLAN B - FIRST FLOOR PLAN

PL104

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① PLAN B - 2ND FLOOR PLAN
1/4" = 1'-0"



KEYNOTES

- NEW KEYNOTES**
- 1 CLOSET SHELF & POLE
 - 2
 - 3
 - 4
 - 5 BASE CABINETS
 - 7
 - 8

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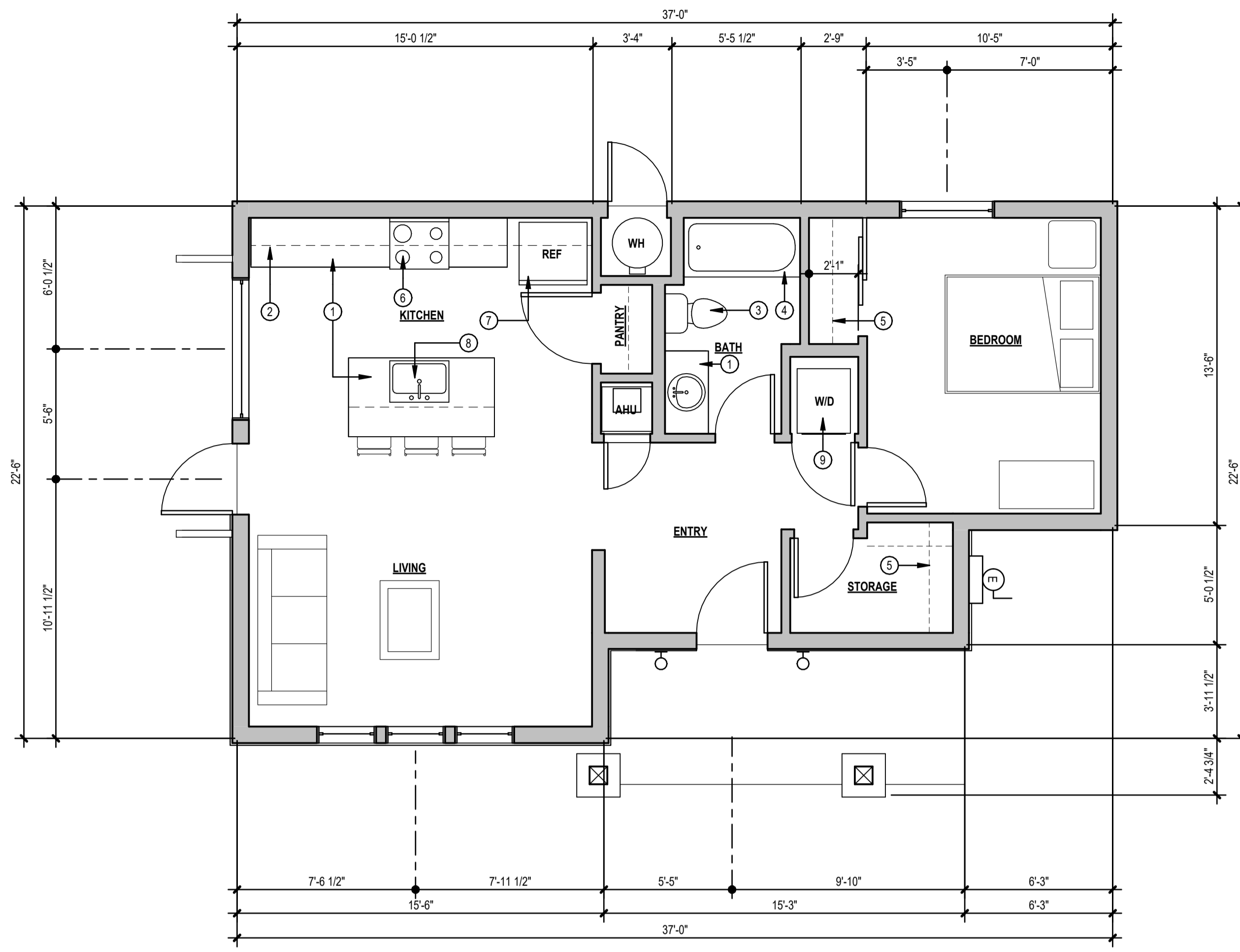
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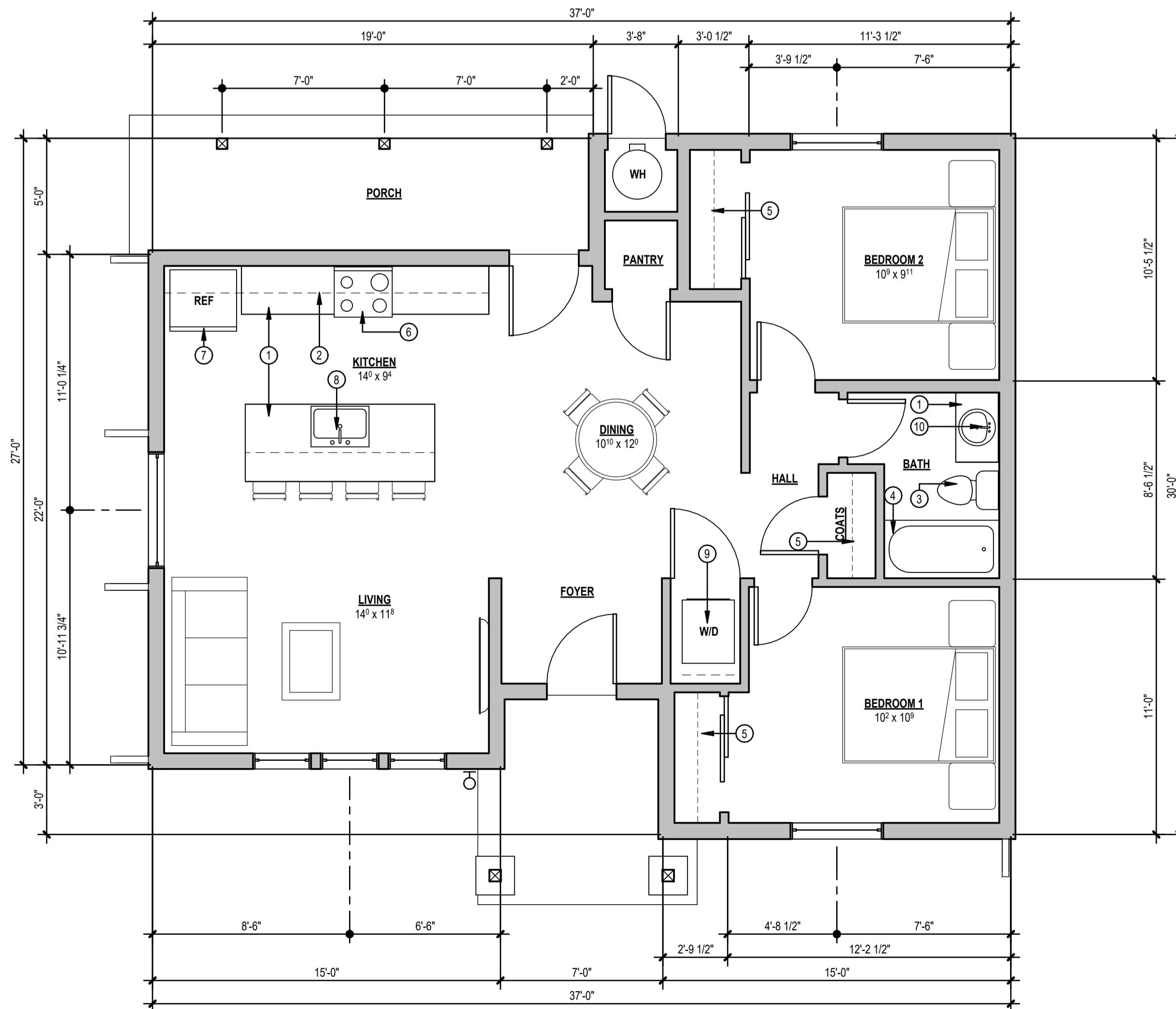
Date 12/01/2023

PLAN B - SECOND FLOOR PLAN

PL105



① ADU A - 1ST FLOOR PLAN
1/4" = 1'-0"



② ADU B - 1ST FLOOR PLAN
1/4" = 1'-0"

KEYNOTES

- NEW KEYNOTES**
- 1 BASE CABINETS
 - 2 UPPER CABINETS
 - 3 TANKED TOILET
 - 4 TUB/SHOWER COMBO
 - 5 CLOSET SHELF & POLE
 - 6 GAS RANGE
 - 7 REFRIGERATOR
 - 8 KITCHEN SINK
 - 9 STACKABLE WASHER/DRYER COMBO
 - 10 RESIDENTIAL VANITY

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Stamp



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ADU - FLOOR PLANS

PL106

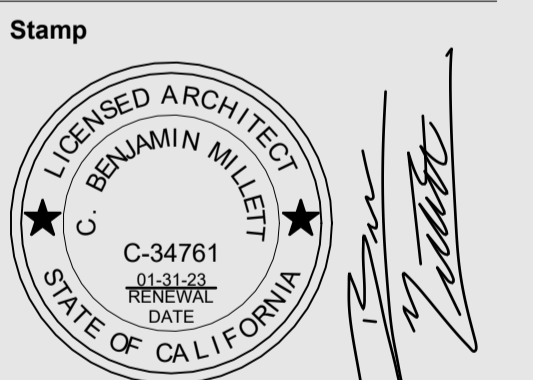


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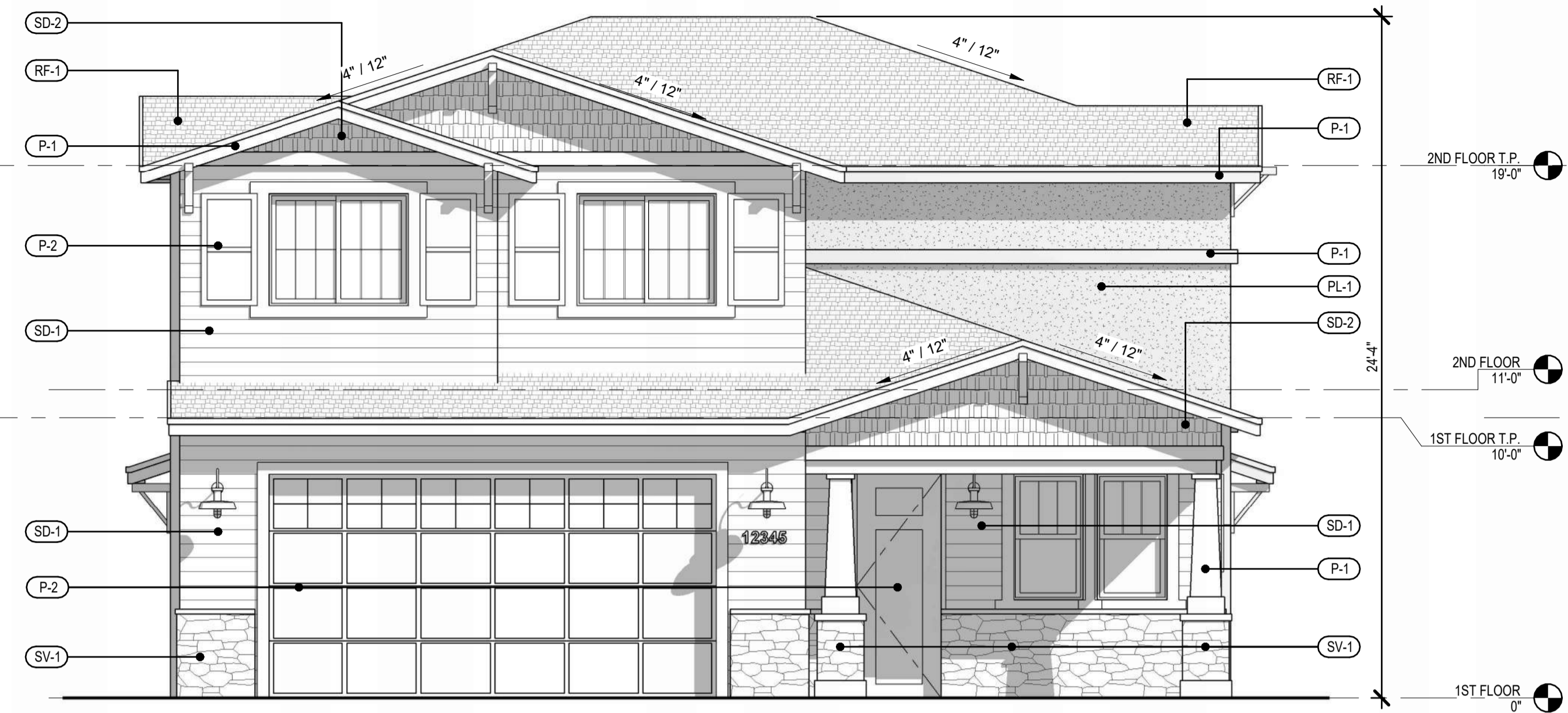
Drawing Revisions
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Date 12/01/2023

PLAN A - CRAFTSMAN ELEVATIONS

PL201



1 PLAN A - CRAFTSMAN ELEVATION - FRONT
 1/4" = 1'-0"



3 PLAN A - CRAFTSMAN ELEVATION - LEFT
 1/4" = 1'-0"

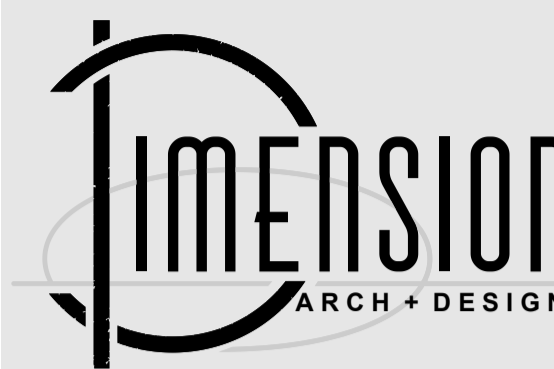


2 PLAN A - CRAFTSMAN ELEVATION - REAR
 1/4" = 1'-0"



4 PLAN A - CRAFTSMAN ELEVATION - RIGHT
 1/4" = 1'-0"

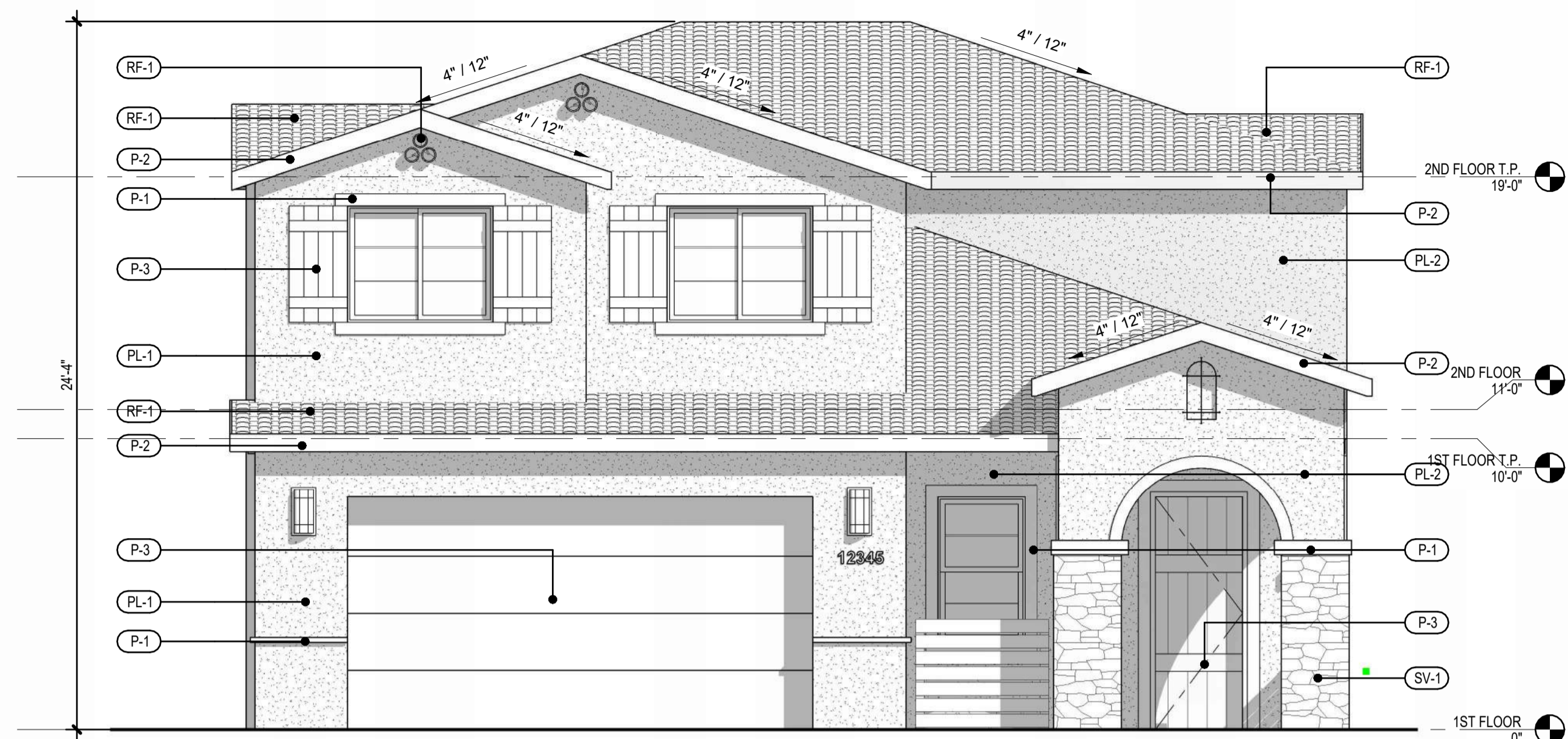
MARK	DESCRIPTION	MANUFACTURER	MODEL
P-1	PAINT - TRIM / FASCIA	DUNN EDWARDS	MFR: DUNN EDWARDS COLOR: DET 644 CREPE PAPER
P-2	PAINT - ACCENT / SHUTTERS / DOORS	DUNN EDWARDS	MFR: DUNN EDWARDS COLOR: DEA 159 RICH MOCHA
PL-1	EXTERIOR PLASTER, PAINTED	DUNN EDWARDS	PAINT MFR: DUNN EDWARDS COLOR: DET 644 CREPE PAPER
RF-1	ASPHALT ROOF SHINGLES		MFR: OWENS CORNING PROFILE: DURATION COOL PLUS COLOR: MIDNIGHT
SD-1	CEMENTITIOUS LAP SIDING, PAINTED	JAMES HARDIE / DUNN EDWARDS	MFR: JAMES HARDIE PRODUCT: HARDIE PLANK COLOR: DUNN EDWARDS DE 5774 THUNDERCLOUD
SD-2	CEMENTITIOUS SHAKE SIDING, PAINTED	JAMES HARDIE / DUNN EDWARDS	MFR: JAMES HARDIE PRODUCT: HARDIE SHINGLE COLOR: DUNN EDWARDS DE 5774 THUNDERCLOUD
SV-1	STONE VENEER	ELDORADO STONE	MFR: ELDORADO STONE SERIES: SHADOWROCK COLOR: SOMERSET



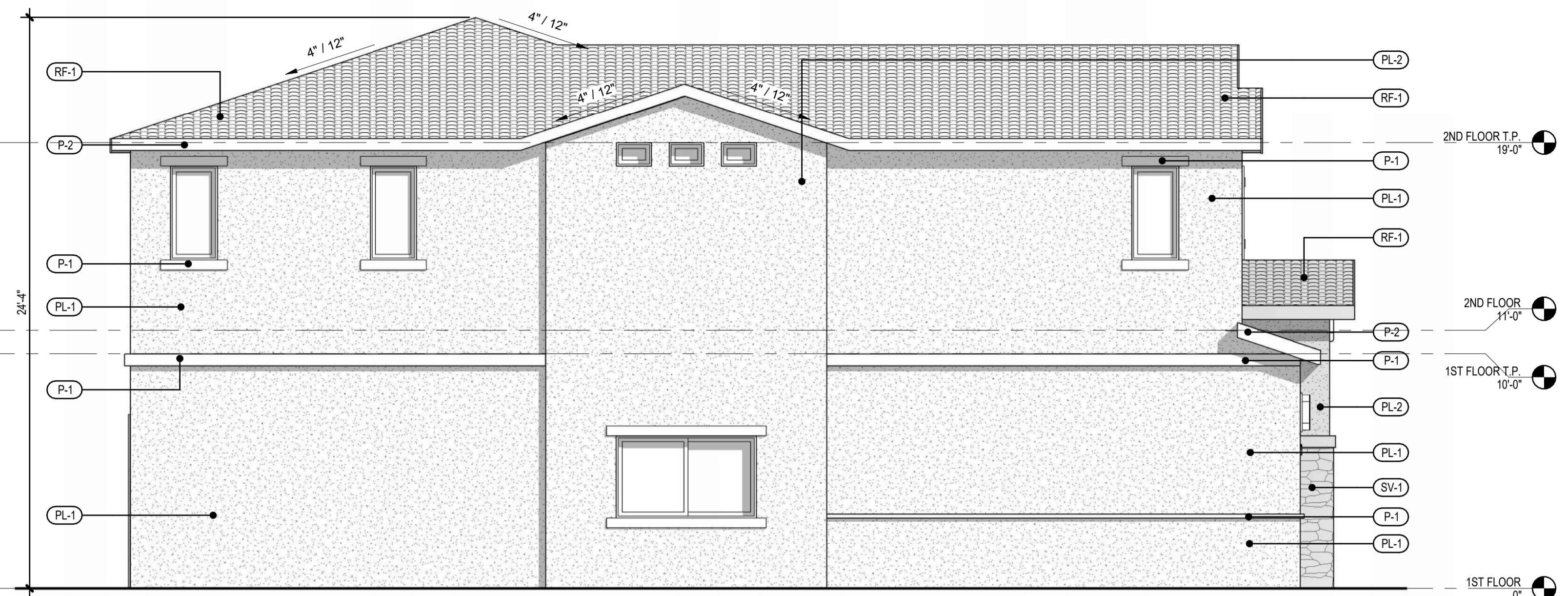
BEN MILLETT
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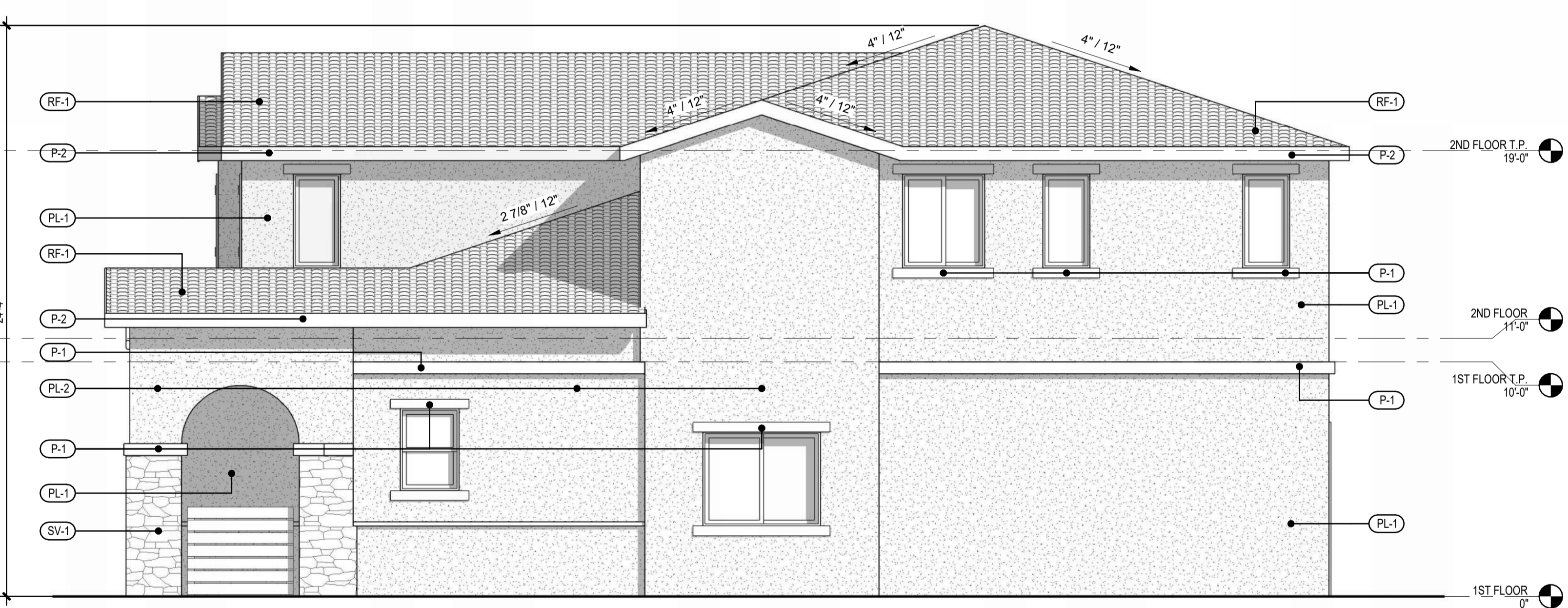
② PLAN A - SPANISH ELEVATION - FRONT
 1/4" = 1'-0"



① PLAN A - SPANISH ELEVATION - LEFT
 1/4" = 1'-0"

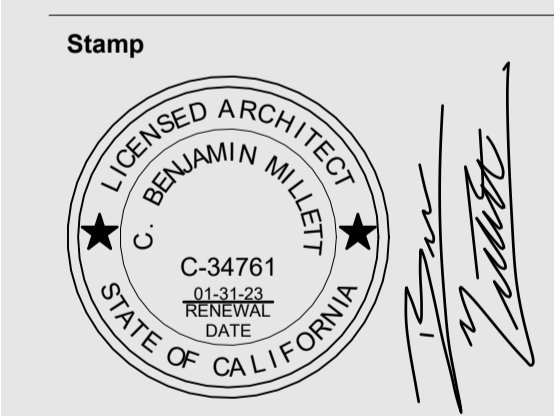


③ PLAN A - SPANISH ELEVATION - REAR
 1/4" = 1'-0"



④ PLAN A - SPANISH ELEVATION - RIGHT
 1/4" = 1'-0"

PARK SUBDIVISION
 for ED HADDAD
 at 25450 PARK AVENUE
 LOMA LINDA, CA 92354



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Drawing Revisions

1	12/6/22	DUA Package

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Date 12/01/2023

PLAN A - SPANISH ELEVATIONS

PL202

MATERIAL LEGEND

MARK	DESCRIPTION	MANUFACTURER	MODEL
P-1	PAINT - TRIM		MFR: DUNN EDWARDS COLOR: DE6111 SWIRES
P-2	PAINT - FASCIA		MFR: DUNN EDWARDS COLOR: DET653 HISTORIC WHITE
P-3	PAINT - ACCENT		MFR: DUNN EDWARDS COLOR: DEA159 RICH MOCHA
PL-1	EXTERIOR PLASTER		MFR: DUNN EDWARDS COLOR: DEC764 INSIDE PASSAGE
PL-2	EXTERIOR PLASTER		MFR: DUNN EDWARDS COLOR: DEC760 DESERT GRAY
RF-1	CONCRETE BARREL TILES	EAGLE ROOFING	MFR: EAGLE ROOFING COLOR: 9326 VALENCIA
SV-1	STONE VENEER	ELDORADO STONE	MFR: ELDORADO STONE SERIES: SHADOWROCK COLOR: SOMERSET



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 LOMA LINDA, CA 92354

Stamp



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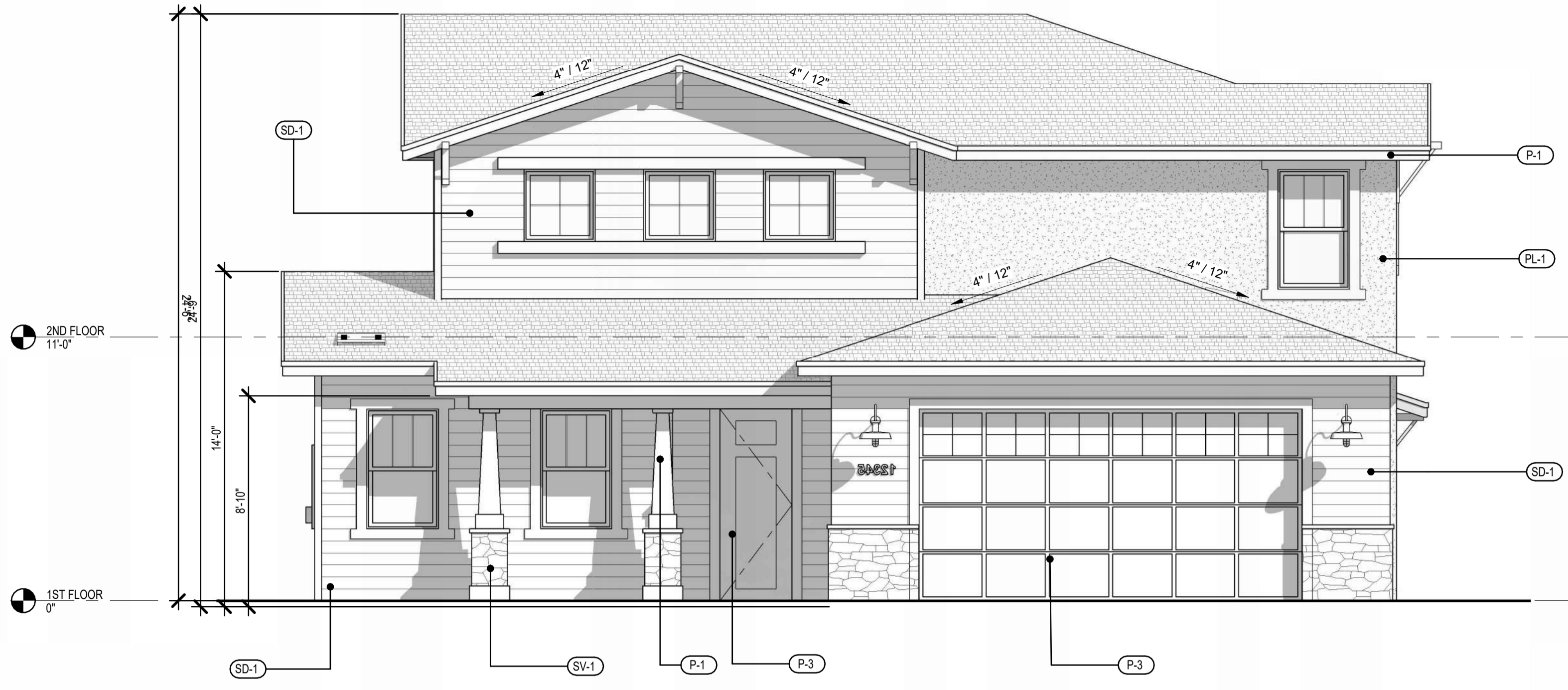
Drawing Revisions

1 12/6/22 DUA Package

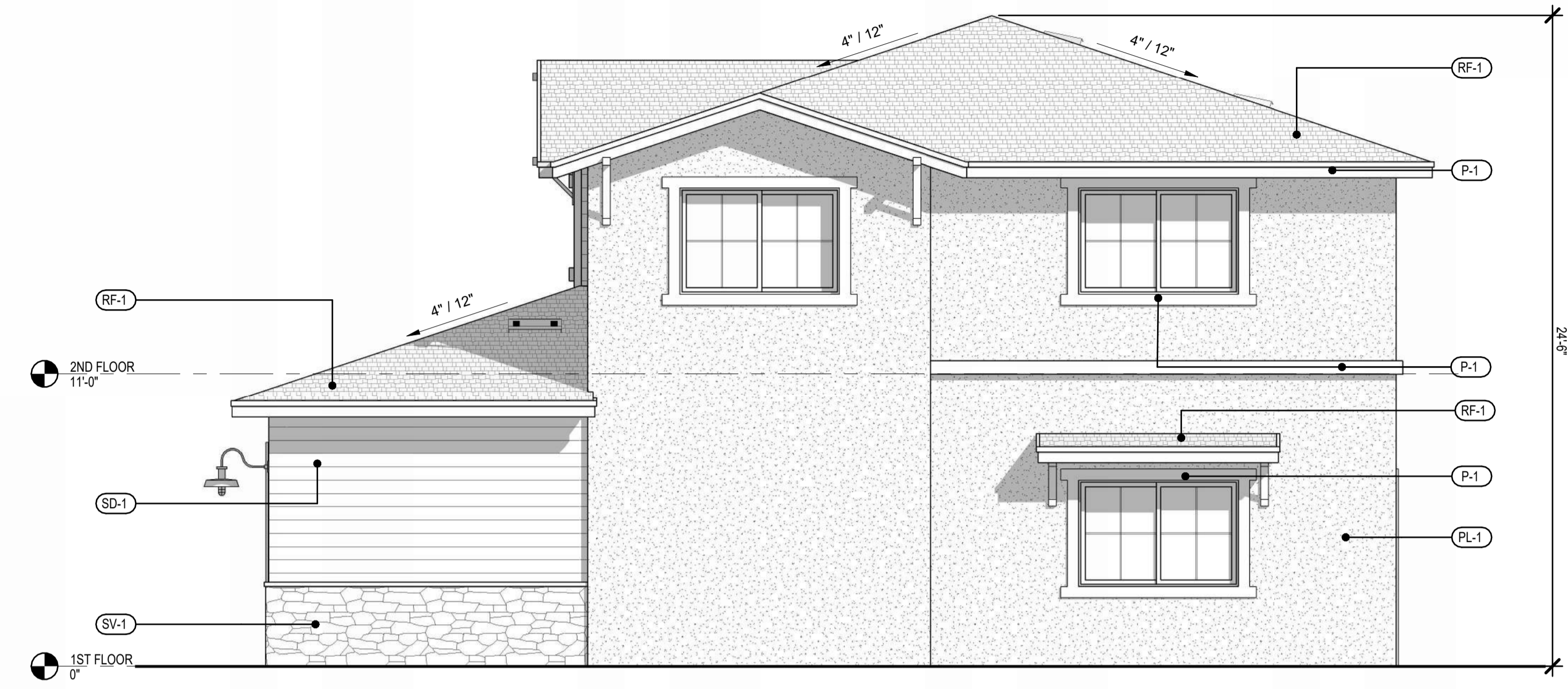
Date 12/01/2023

PLAN B - CRAFTSMAN ELEVATIONS

PL203



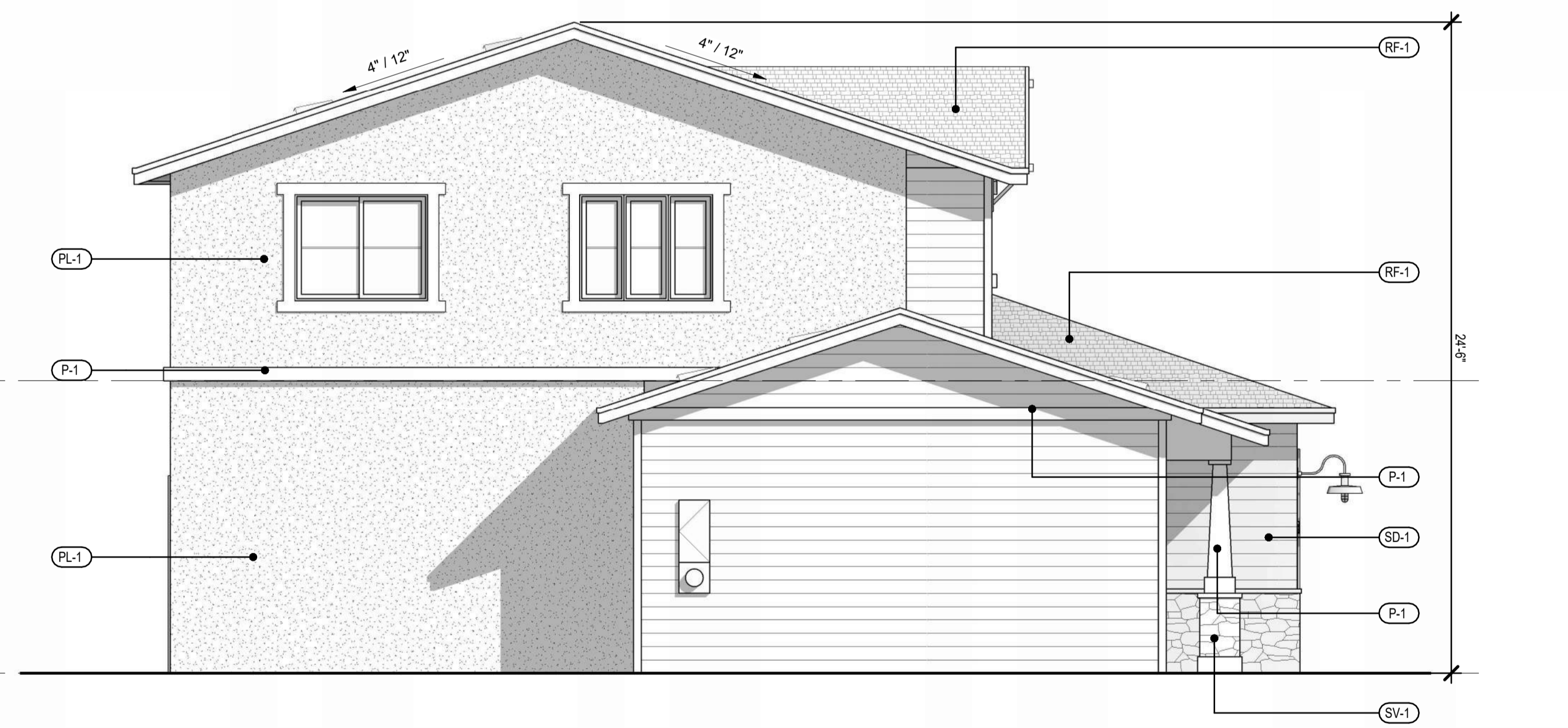
1 PLAN B - CRAFTSMAN ELEVATIONS - FRONT
 1/4" = 1'-0"



2 PLAN B - CRAFTSMAN ELEVATIONS - RIGHT
 1/4" = 1'-0"



3 PLAN B - CRAFTSMAN ELEVATIONS - REAR
 1/4" = 1'-0"



4 PLAN B - CRAFTSMAN ELEVATIONS - LEFT
 1/4" = 1'-0"

MATERIAL LEGEND

MARK	DESCRIPTION	MANUFACTURER	MODEL
P-1	TRIM / FASCIA - PAINTED		MFR: DUNN EDWARDS COLOR: DE 5055 MERLOT
P-2	ACCENT - PAINTED		MFR: DUNN EDWARDS COLOR: DE 5259 BLANCHED ALMOND
P-3	DOOR / SHUTTER - PAINTED	DUNN EDWARDS	MFR: DUNN EDWARDS COLOR: DE A159 RICH MOCHA
PL-1	EXTERIOR PLASTER		MFR: DUNN EDWARDS COLOR: DE 6130 WOODED ACRE
RF-1	ASPHALT ROOF SHINGLES		MFR: OWENS CORNING PROFILE: DURATION COOL PLUS COLOR: MIDNIGHT
SD-1	HORIZONTAL CEMENTITIOUS SIDING, PAINTED		MFR: JAMES HARDIE PRODUCT: HARDIE PLANK COLOR: DUNN EDWARDS DET540 TREE LINED
SV-1	STONE VENEER	ELDORADO STONE	MFR: ELDORADO STONE SERIES: SHADOWROCK COLOR: SOMERSET



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PARK SUBDIVISION
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at 25450 PARK AVENUE
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Drawing Revisions

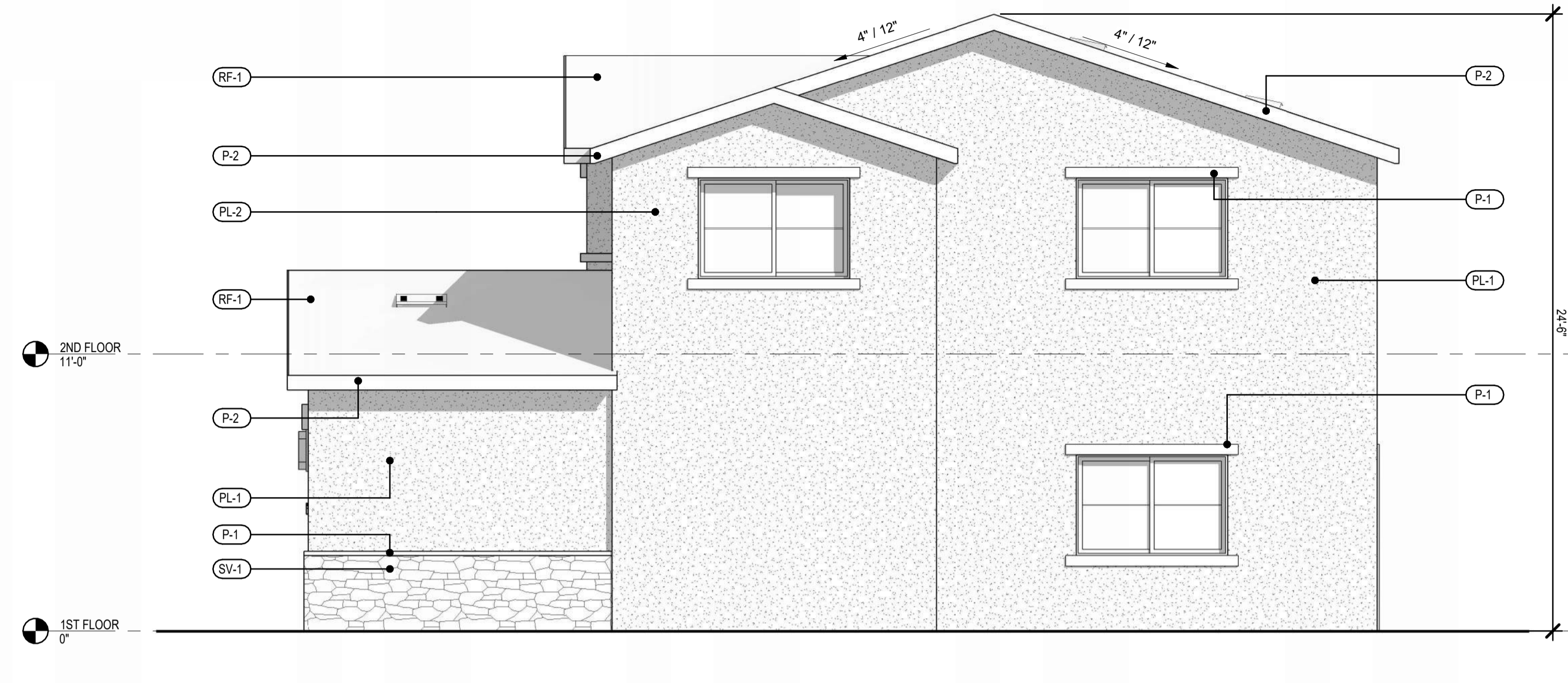
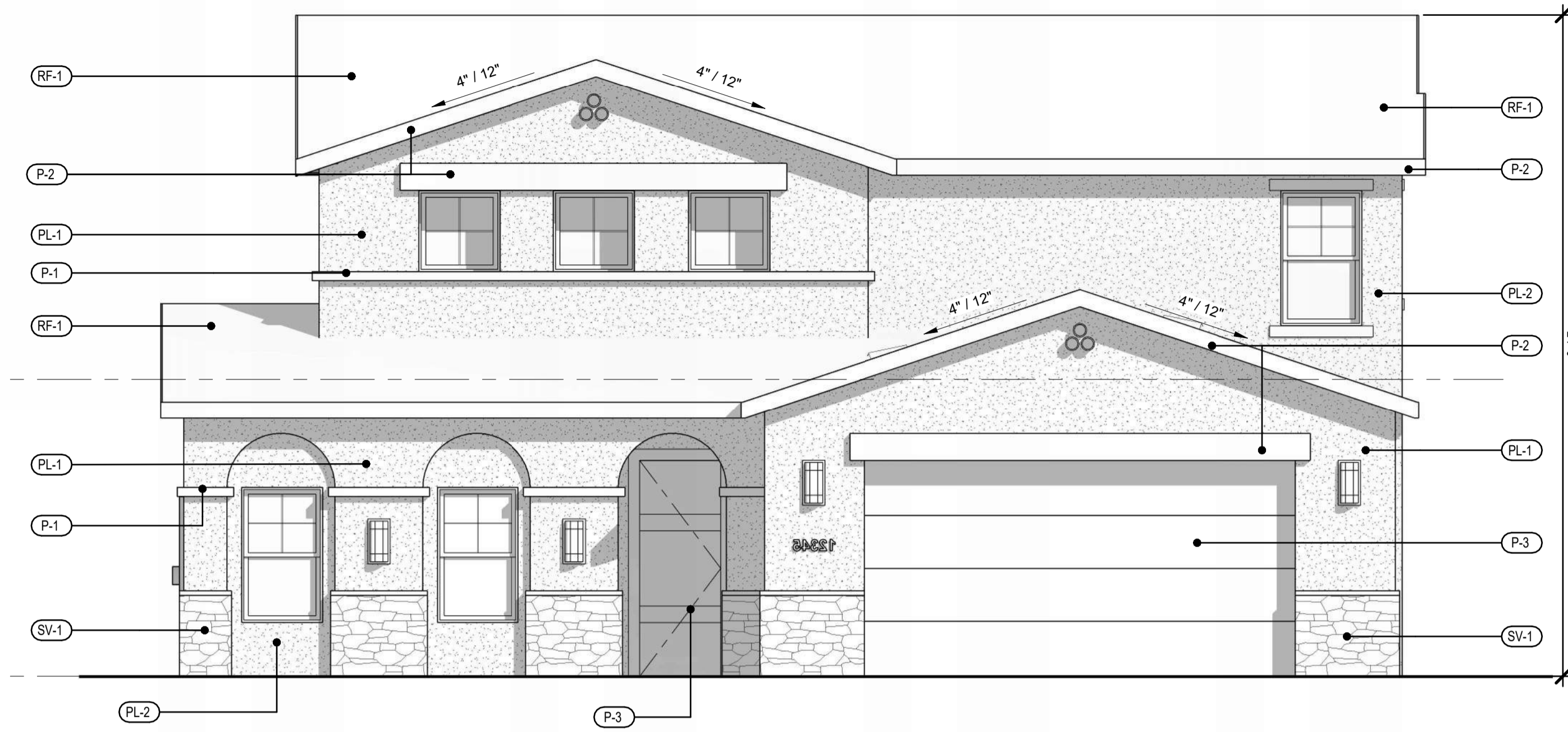
1	12/6/22	DUA Package
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Date 12/01/2023

PLAN B - SPANISH ELEVATIONS

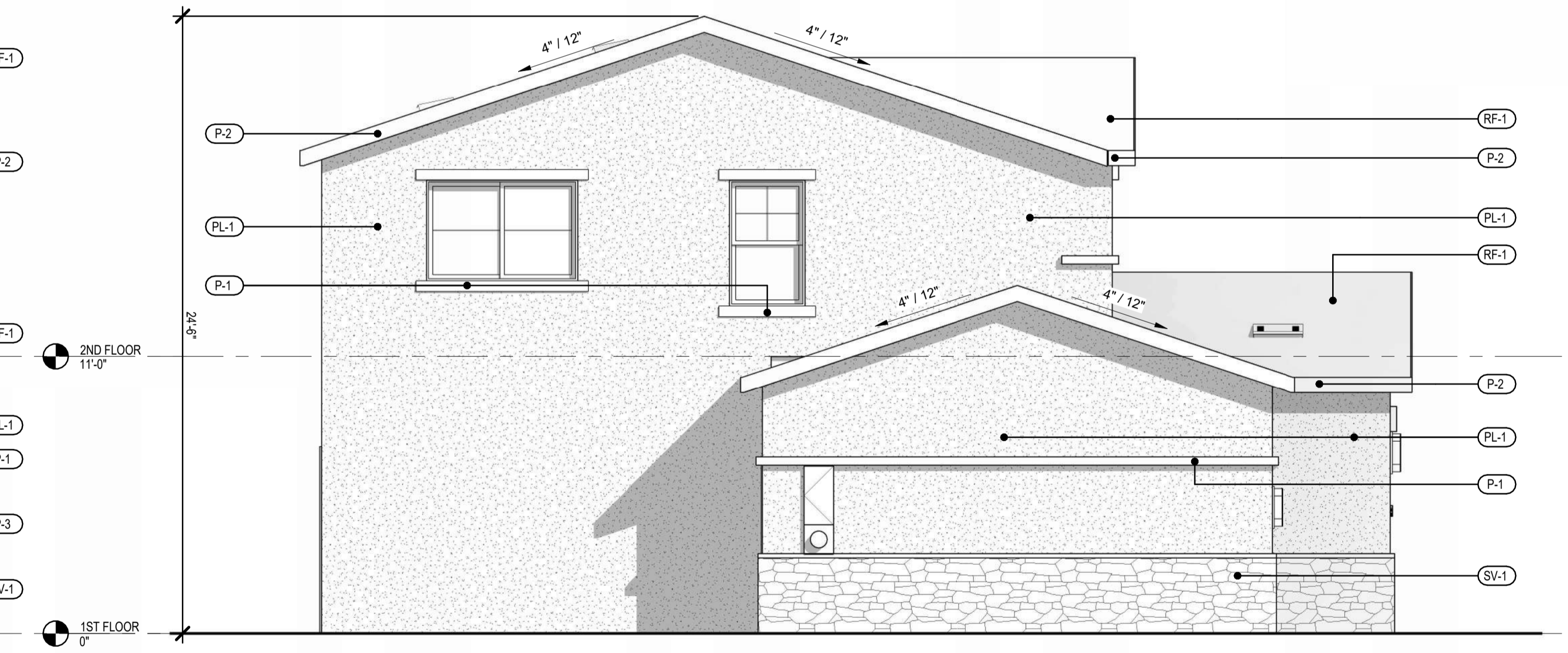
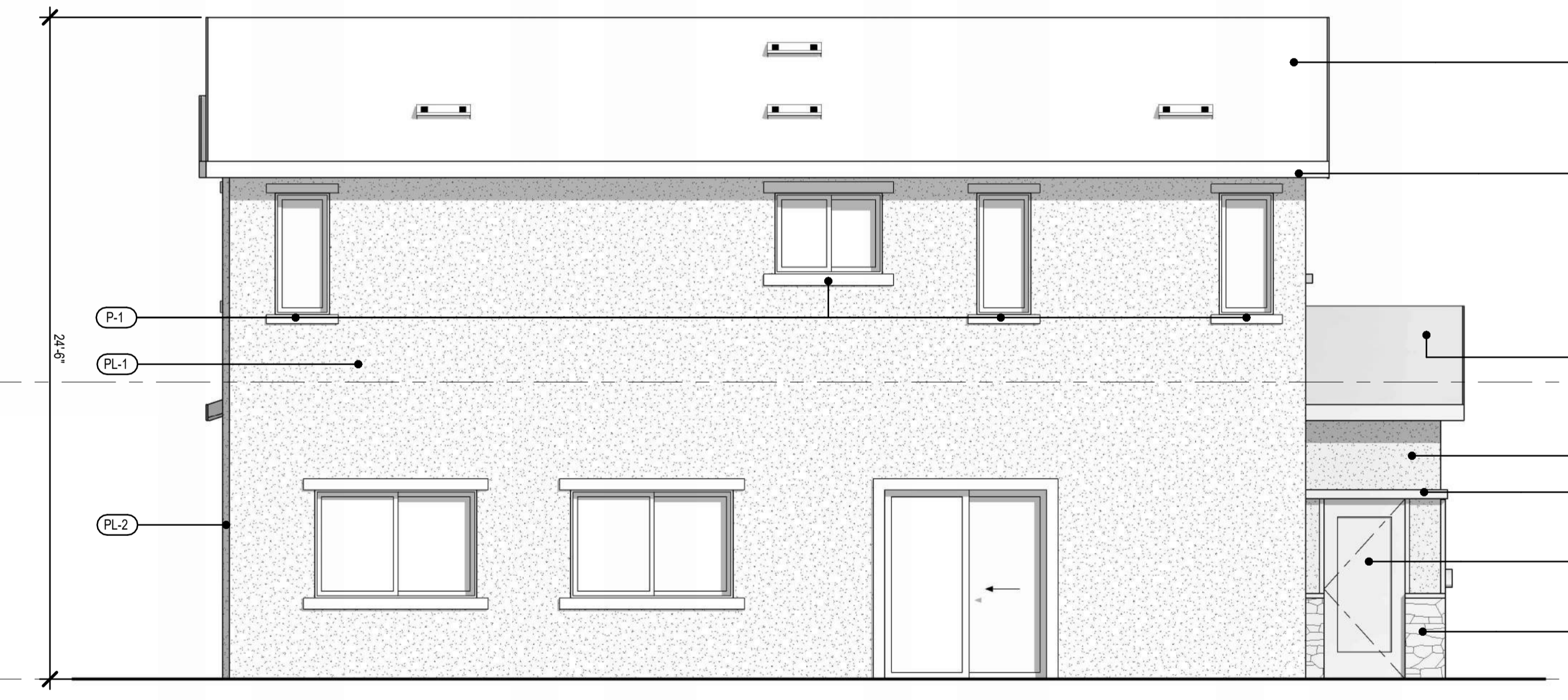
NOT FOR CONSTRUCTION

PL204



1 PLAN B - SPANISH ELEVATION - FRONT
1/4" = 1'-0"

2 PLAN B - SPANISH ELEVATION - RIGHT
1/4" = 1'-0"



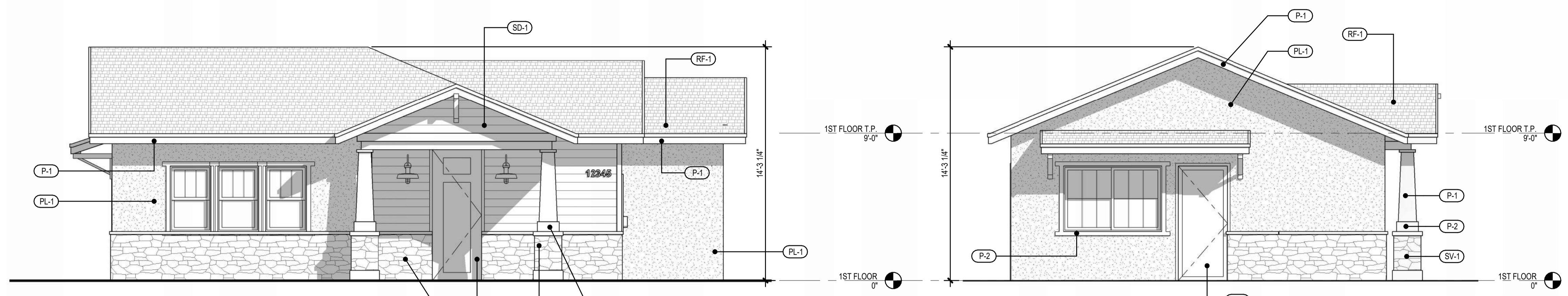
3 PLAN B - SPANISH ELEVATION - REAR
1/4" = 1'-0"

4 PLAN B - SPANISH ELEVATION - LEFT
1/4" = 1'-0"

MARK	DESCRIPTION	MANUFACTURER	MODEL
P-1	PAINT - TRIM		MFR: DUNN EDWARDS COLOR: DEC771 SHAGGY BARKED
P-2	DOOR - ACCENT	DUNN EDWARDS	MFR: DUNN EDWARDS COLOR: DEA159 RICH MOCHA
P-3	PAINT - DOORS	DUNN EDWARDS	MFR: DUNN EDWARDS COLOR: DE6097 MONTERAY BROWN
P-4	PAINT - SEL BY OWNER	SEL BY OWNER	SEL BY OWNER
PL-1	EXTERIOR PLASTER, PAINTED		MFR: DUNN EDWARDS COLOR: DEW318 COTTAGE WHITE
PL-2	EXTERIOR PLASTER, PAINTED	DUNN EDWARDS	MFR: DUNN EDWARDS COLOR: DEC766 STEVEARENO BEIGE
RF-1	CONCRETE BARREL TILES		MFR: EAGLE ROOFING COLOR: 3526 VALENCIA
SV-1	STONE VENEER		MFR: ELDORADO STONE SERIES: SHADOWROCK COLOR: SOMERSET

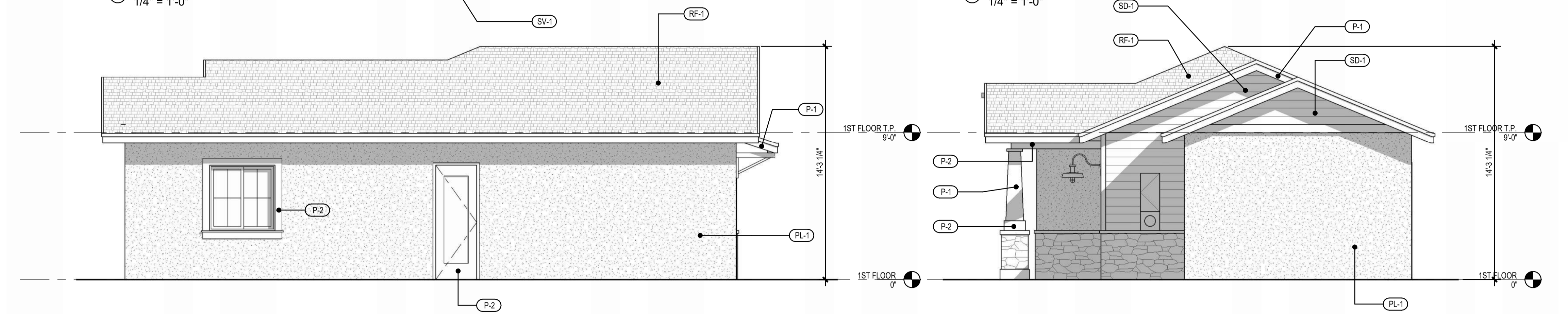
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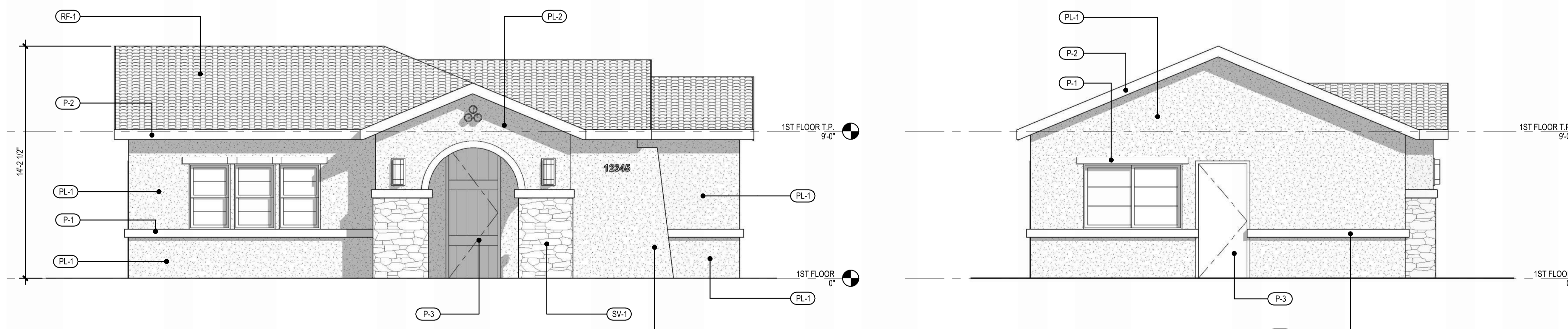
1 ADU A - CRAFTSMAN - FRONT
1/4" = 1'-0"

3 ADU A - CRAFTSMAN - LEFT SIDE
1/4" = 1'-0"



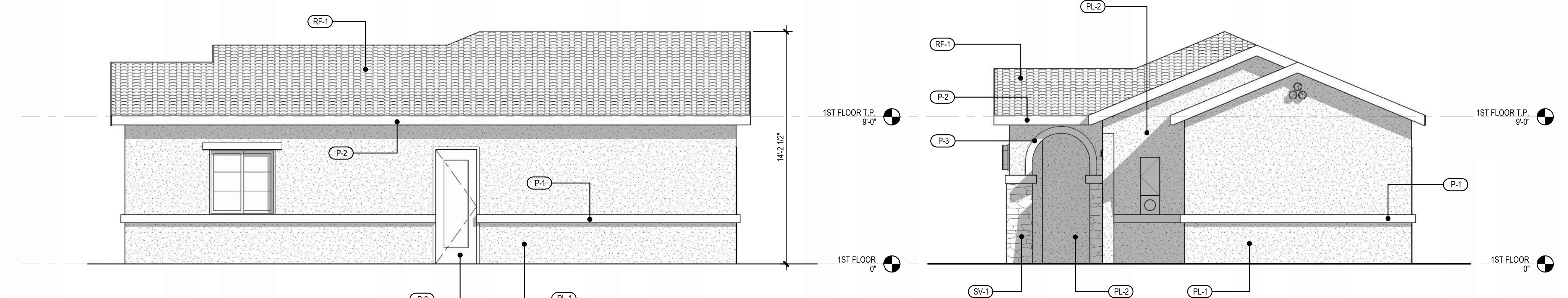
5 ADU A - CRAFTSMAN - REAR
1/4" = 1'-0"

8 ADU A - CRAFTSMAN - RIGHT SIDE
1/4" = 1'-0"



2 ADU A - SPANISH - FRONT
1/4" = 1'-0"

4 ADU A - SPANISH - LEFT SIDE
1/4" = 1'-0"



6 ADU A - SPANISH - REAR
1/4" = 1'-0"

7 ADU A - SPANISH - RIGHT SIDE
1/4" = 1'-0"

KEYNOTES

EXISTING KEYNOTES
 DEMO KEYNOTES
 NEW KEYNOTES

MARK	DESCRIPTION	MANUFACTURER	MODEL
P-1	PAINT - FASCIA / ACCENT	DUNN EDWARDS	MFR: DUNN EDWARDS COLOR: DET 644 CREPE PAPER
P-1	PAINT - TRIM	JAMES HARDIE / DUNN EDWARDS	MFR: DUNN EDWARDS COLOR: DE6111 SMOKES
P-2	PAINT - FASCIA	DUNN EDWARDS	MFR: DUNN EDWARDS COLOR: DE6153 HISTORIC WHITE
P-2	PAINT - TRIM	DUNN EDWARDS	MFR: DUNN EDWARDS COLOR: DEA 159 RICH MOCHA
P-3	PAINT - ACCENT	DUNN EDWARDS	MFR: DUNN EDWARDS COLOR: DEA159 RICH MOCHA
PL-1	EXTERIOR PLASTER	DUNN EDWARDS	MFR: DUNN EDWARDS COLOR: DEC764 INSIDE PASSAGE
PL-1	EXTERIOR PLASTER, PAINTED	DUNN EDWARDS	PAINT MFR: DUNN EDWARDS COLOR: DET 644 CREPE PAPER
PL-2	EXTERIOR PLASTER	DUNN EDWARDS	MFR: DUNN EDWARDS COLOR: DEC760 DESERT GRAY
RF-1	ASPHALT ROOF SHINGLES	EAGLE ROOFING	MFR: OWENS CORNING PROFILE: DURATION COOL PLUS COLOR: MIDNIGHT
RF-1	CONCRETE BARREL TILES	EAGLE ROOFING	MFR: EAGLE ROOFING COLOR: 3626 VALENCIA
SD-1	CEMENTITIONS LAP SIDING, PAINTED	JAMES HARDIE / DUNN EDWARDS	MFR: JAMES HARDIE PRODUCT: HARDIE PLANK COLOR: DUNN EDWARDS DE 574 THUNDERCLOUD
SV-1	STONE VENEER	ELDORADO STONE	MFR: ELDORADO STONE SERIES: SHADOWROCK COLOR: SOMERSET

ELEVATION NOTES

1. HATCHING AND SHADING IS FOR INFORMATIVE PURPOSES ONLY, AND DO NOT INDICATE ACTUAL COLORS. REFER TO FINISH SCHEDULE FOR INFORMATION REGARDING ACTUAL FINISHES.

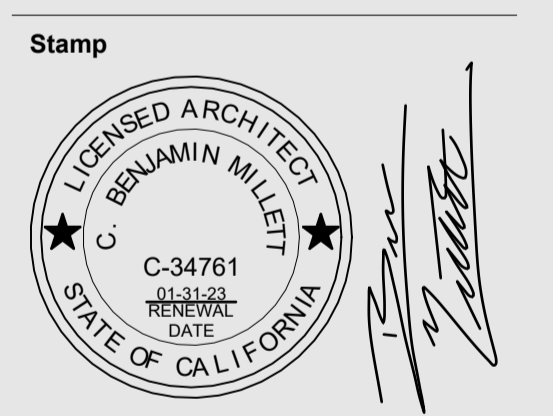
Agency Approvals



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 jake.b@dimension-arch.com

Project 11HA.001

PARK SUBDIVISION
 for ED HADDAD
 at 25450 PARK AVENUE
 LOMA LINDA, CA 92354



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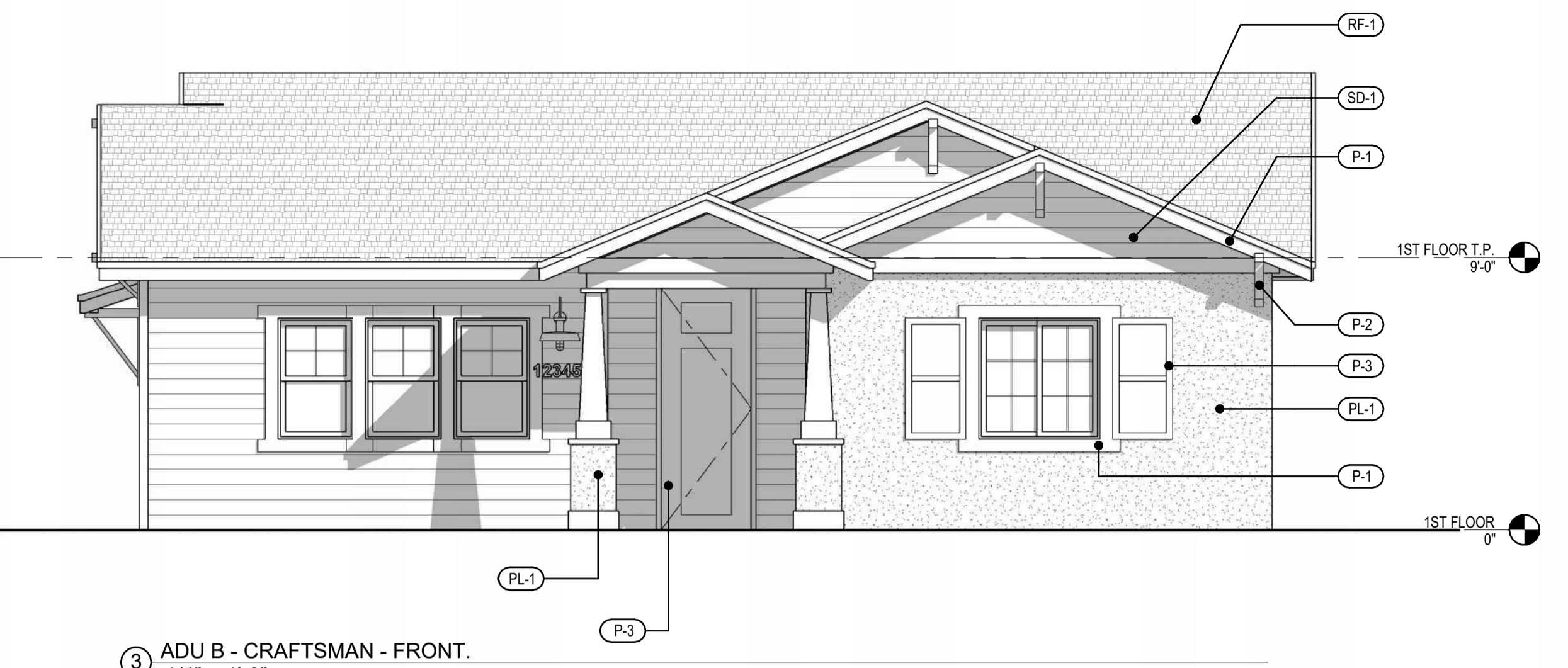
NOT FOR CONSTRUCTION

Date 12/01/2023

ADU A - ELEVATIONS

PL205

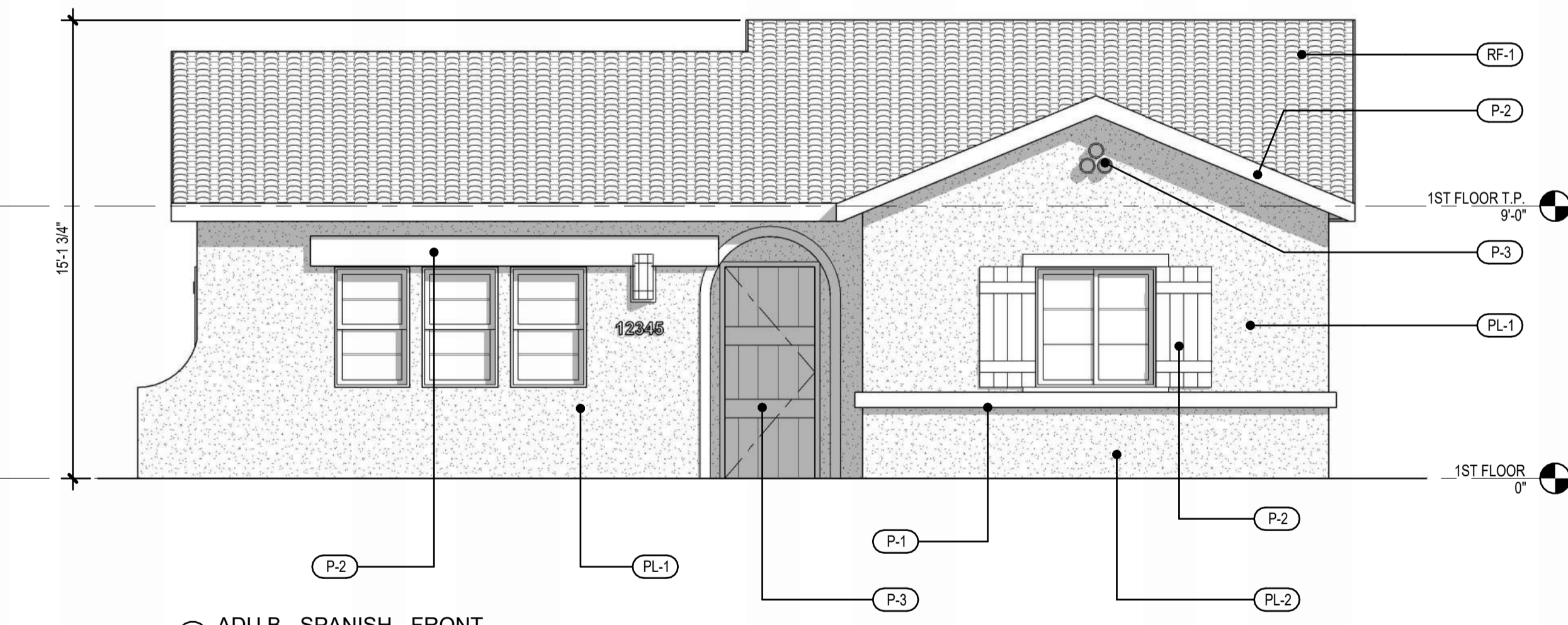
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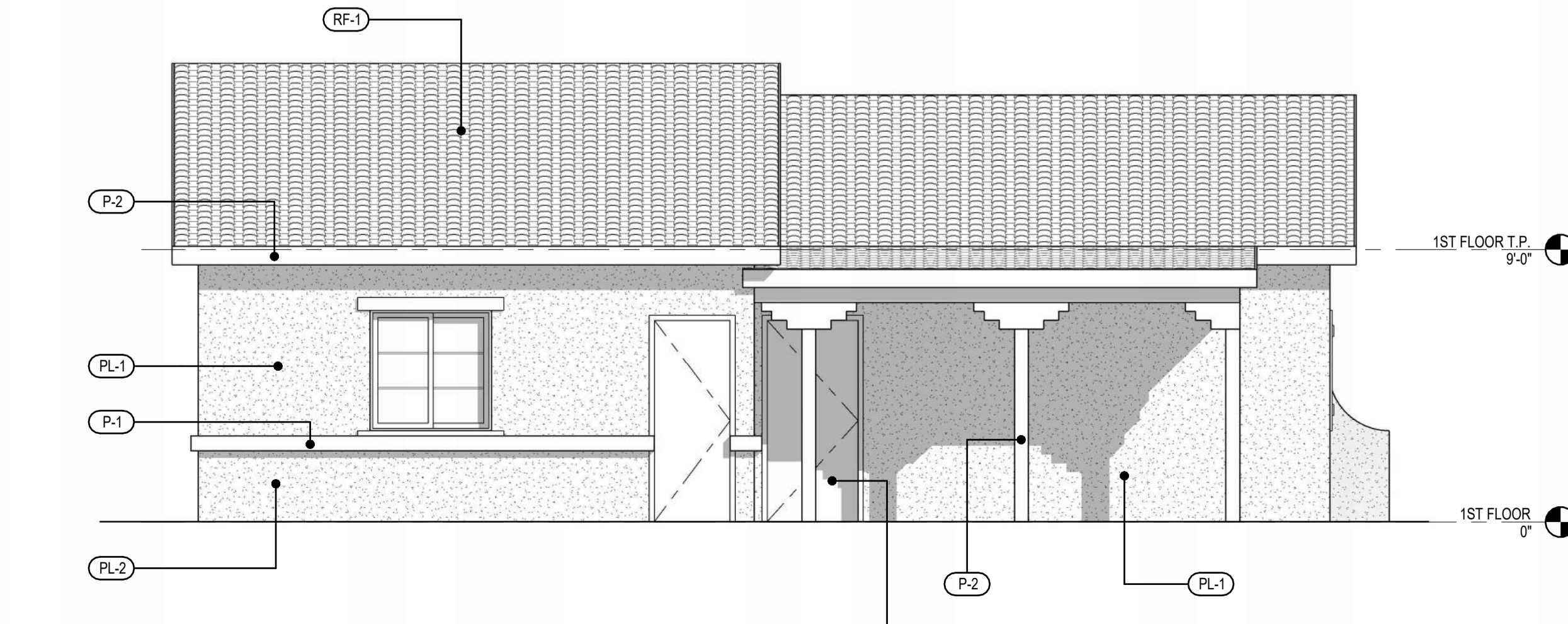
3 ADU B - CRAFTSMAN - FRONT.
1/4" = 1'-0"



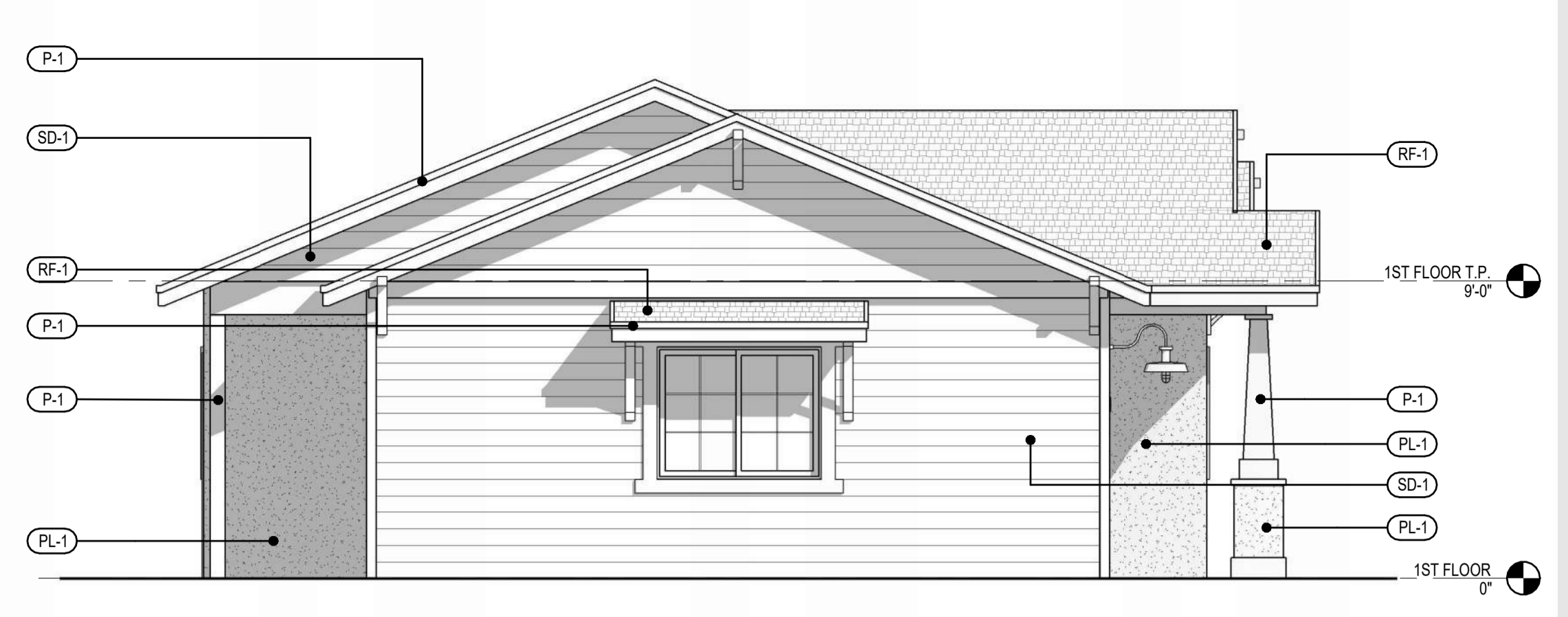
2 ADU B - CRAFTSMAN - REAR.
1/4" = 1'-0"



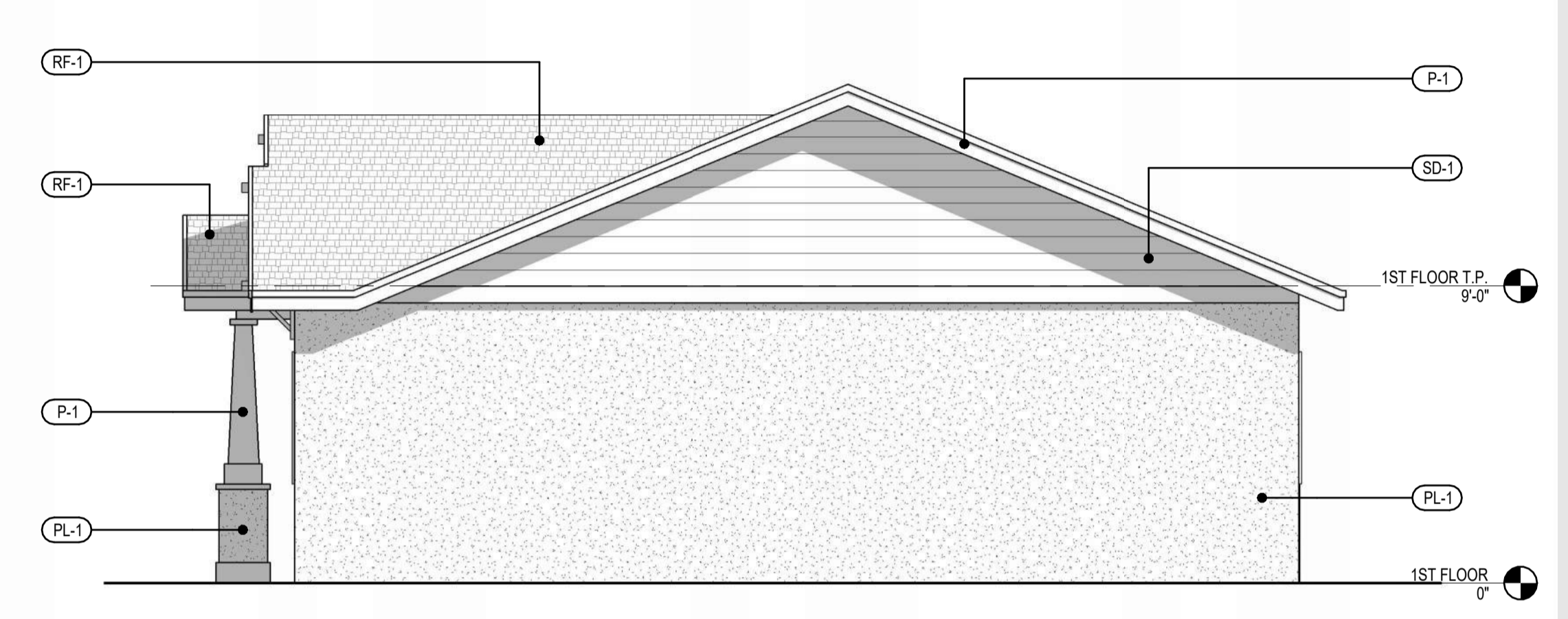
5 ADU B - SPANISH - FRONT
1/4" = 1'-0"



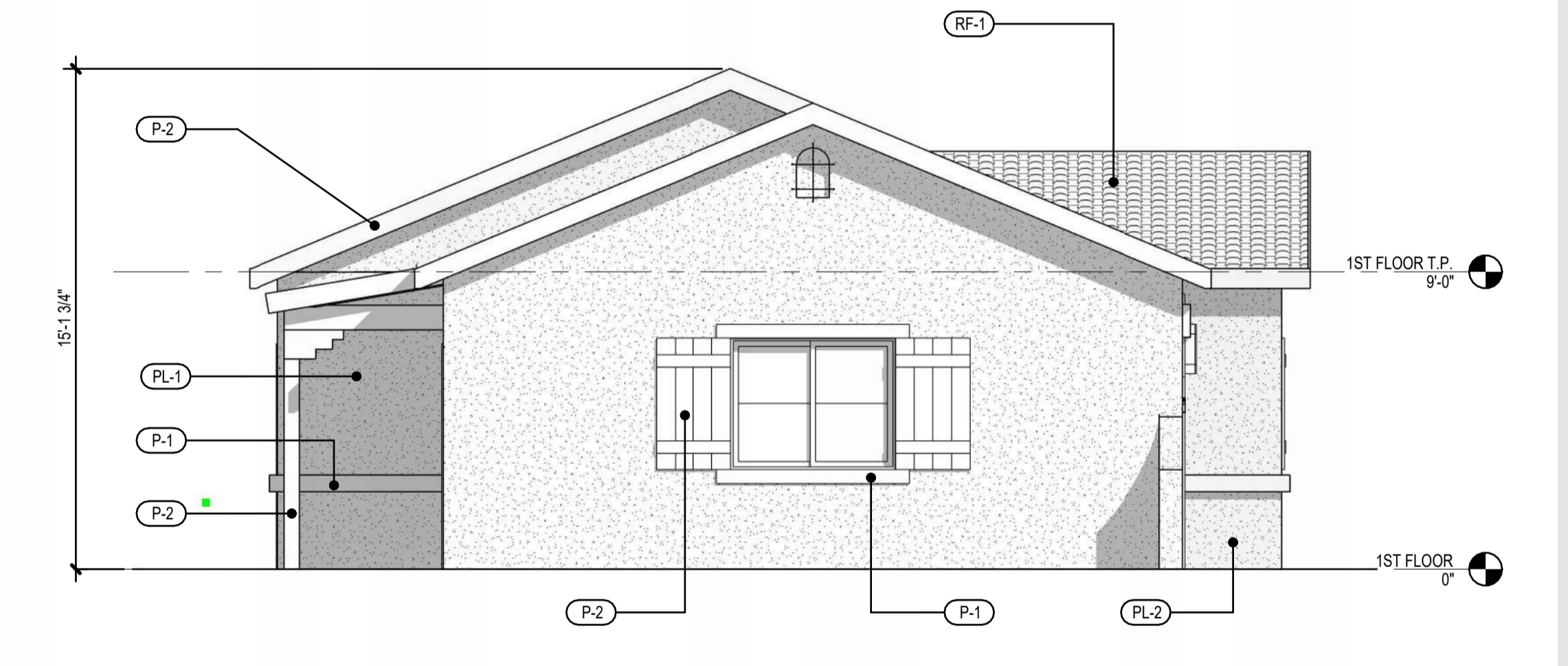
7 ADU B - SPANISH - REAR.
1/4" = 1'-0"



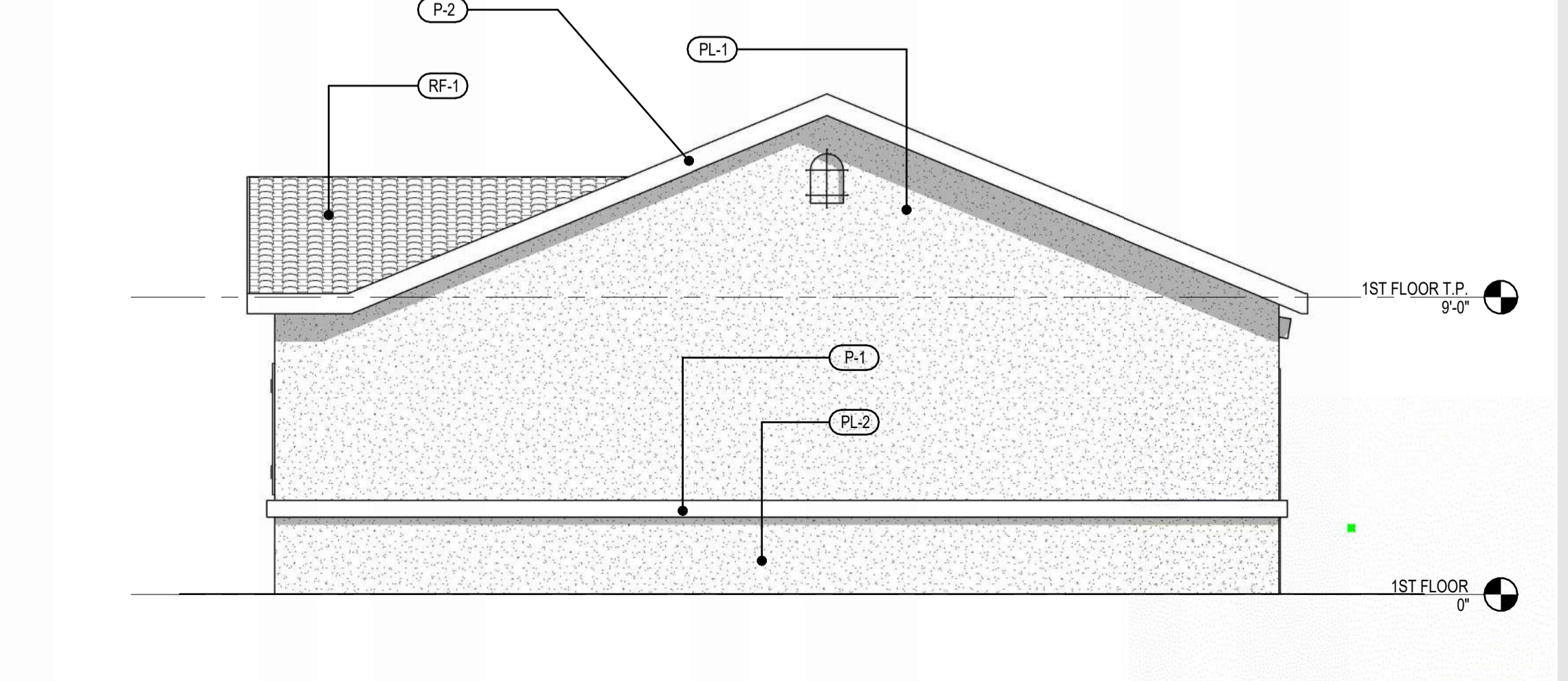
1 ADU B - CRAFTSMAN - LEFT SIDE.
1/4" = 1'-0"



4 ADU B - CRAFTSMAN - RIGHT SIDE.
1/4" = 1'-0"



6 ADU B - SPANISH - LEFT SIDE
1/4" = 1'-0"



8 ADU B - SPANISH - RIGHT SIDE
1/4" = 1'-0"

KEYNOTES

EXISTING KEYNOTES

DEMO KEYNOTES

NEW KEYNOTES

MATERIAL LEGEND

MARK	DESCRIPTION	MANUFACTURER	MODEL
P-1	PAINT - TRIM		MFR: DUNN EDWARDS COLOR: DEC771 SHAGGY BARKED
P-1	TRIM / FASCIA - PAINTED		MFR: DUNN EDWARDS COLOR: DE 5055 MERLOT
P-2	ACCENT - PAINTED		MFR: DUNN EDWARDS COLOR: DE 5259 BLANCHED ALMOND
P-2	PAINT - FASCIA / ACCENT	DUNN EDWARDS	MFR: DUNN EDWARDS COLOR: DEA159 RICH MOCHA
P-3	DOOR / SHUTTER - PAINTED	DUNN EDWARDS	MFR: DUNN EDWARDS COLOR: DE A159 RICH MOCHA
P-3	PAINT - DOORS	DUNN EDWARDS	MFR: DUNN EDWARDS COLOR: DE6097 MONTEREY BROWN
PL-1	EXTERIOR PLASTER		MFR: DUNN EDWARDS COLOR: DE 6130 WOODED ACRE
PL-1	EXTERIOR PLASTER, PAINTED		MFR: DUNN EDWARDS COLOR: DEW318 COTTAGE WHITE
PL-2	EXTERIOR PLASTER, PAINTED	DUNN EDWARDS	MFR: DUNN EDWARDS COLOR: DEC766 STEVEARENO BEIGE
RF-1	ASPHALT ROOF SHINGLES		MFR: OWENS CORNING PROFILE: DURATION COOL PLUS COLOR: MIDNIGHT
RF-1	CONCRETE BARREL TILES		MFR: EAGLE ROOFING COLOR: 3526 VALENCIA
SD-1	HORIZONTAL CEMENTITIOUS SIDING, PAINTED		MFR: JAMES HARDIE PRODUCT: HARDIE PLANK COLOR: DUNN EDWARDS DET540 TREE LINED

ELEVATION NOTES

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Agency Approvals

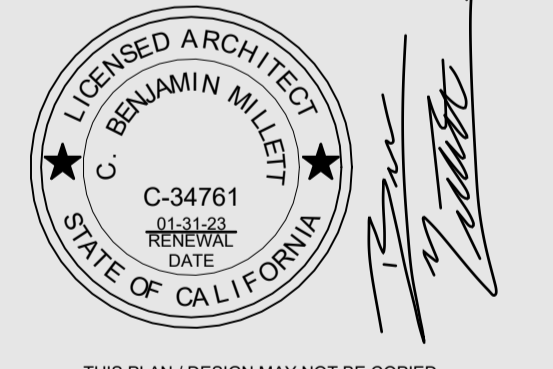


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Project 11HA.001

PARK SUBDIVISION
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 LOMA LINDA, CA 92354

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Drawing Revisions

NO.	DATE	DESCRIPTION
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Date 12/01/2023

ADU B - ELEVATIONS

PL206

Attachment D



UNIT SIZES		
Name	Area	PLAN
ADU A	955 ft ²	ADU A
	955 ft ²	
ADU B	738 ft ²	ADU B
	738 ft ²	
HOUSE A - 1ST FLOOR	1,256 ft ²	PLAN A
HOUSE A - 2ND FLOOR	1,486 ft ²	PLAN A
HOUSE A - GARAGE	495 ft ²	PLAN A
	3,237 ft ²	
HOUSE B - 1ST FLOOR	1,111 ft ²	PLAN B
HOUSE B - 2ND FLOOR	1,213 ft ²	PLAN B
PLAN B - GARAGE	562 ft ²	PLAN B
	2,886 ft ²	

① SITE PLAN - SHADED
1" = 50'-0"



DIM

PARK SUBDIVISION

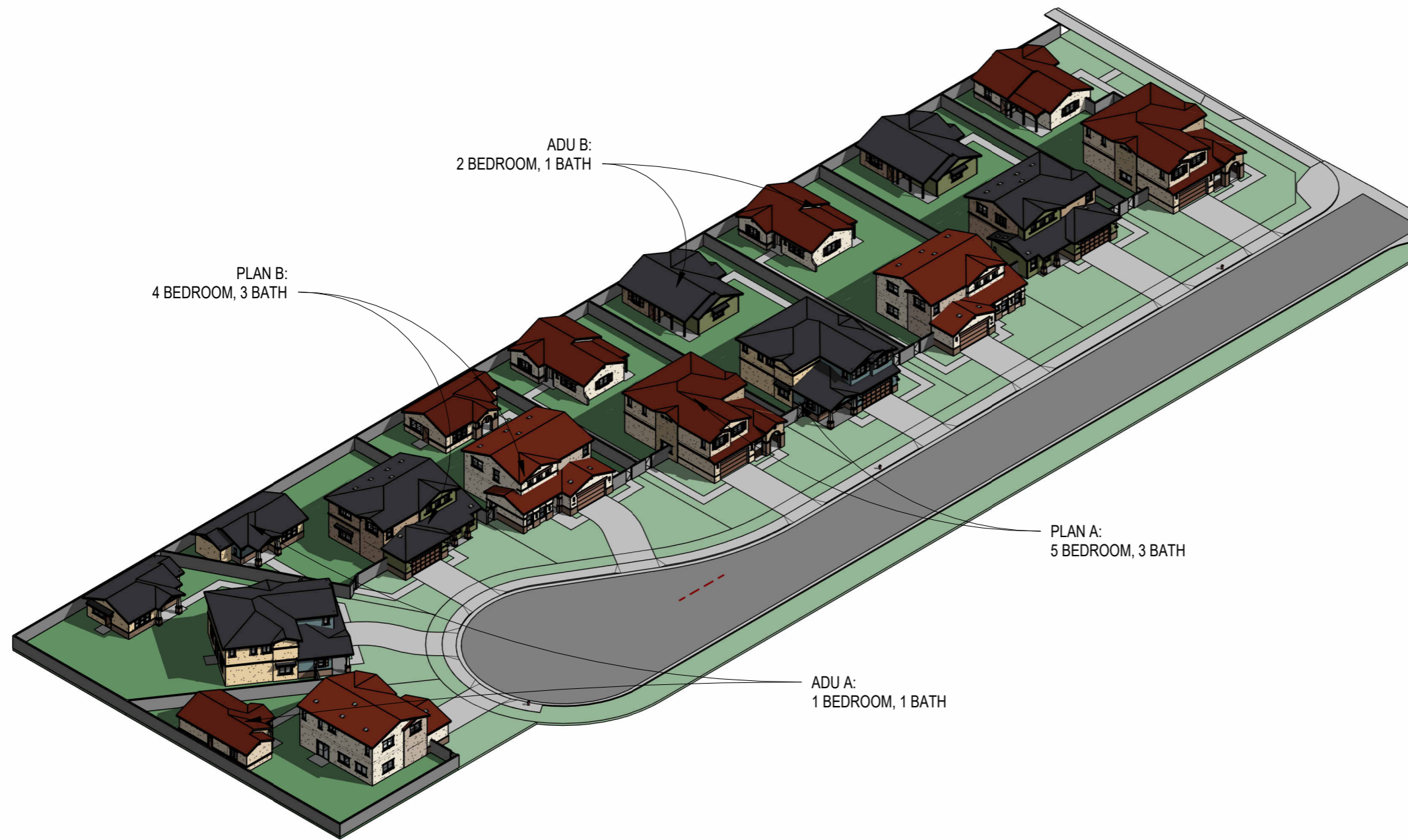
at 25450 PARK AVENUE
LOMA LINDA, CA 92354
for ED HADDAD

Project: 11HA.001
Date: 12/01/2023

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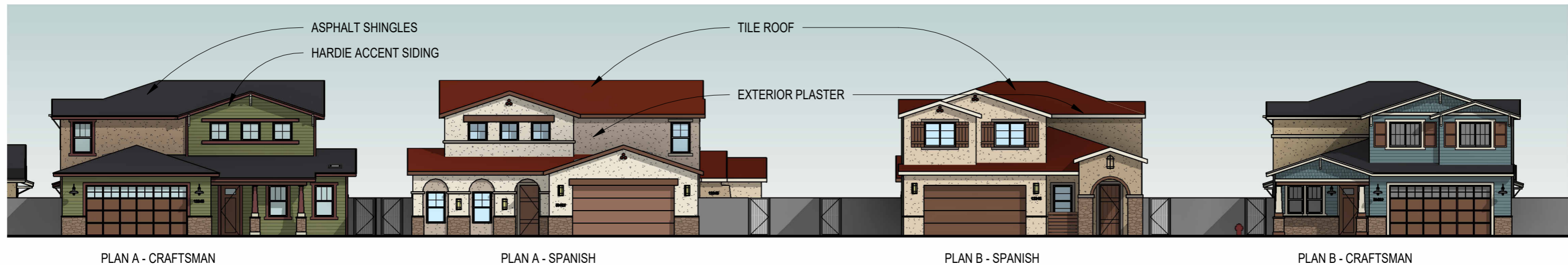
SHADED SITE PLAN

PL-01



UNIT SIZES		
Name	Area	PLAN
ADU A	955 ft ²	ADU A
	955 ft ²	
ADU B	738 ft ²	ADU B
	738 ft ²	
HOUSE A - 1ST FLOOR	1,256 ft ²	PLAN A
HOUSE A - 2ND FLOOR	1,486 ft ²	PLAN A
HOUSE A - GARAGE	495 ft ²	PLAN A
	3,237 ft ²	
HOUSE B - 1ST FLOOR	1,111 ft ²	PLAN B
HOUSE B - 2ND FLOOR	1,213 ft ²	PLAN B
PLAN B - GARAGE	562 ft ²	PLAN B
	2,886 ft ²	

① SITE AXONOMETRIC



① TYPICAL STREET ELEVATION
1/16" = 1'-0"

DIM

PARK SUBDIVISION

at 25450 PARK AVENUE
LOMA LINDA, CA 92354
for ED HADDAD

Project: 11HA.001
Date: 12/01/2023

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SHADED STREET
ELEVATION

PL-03



① CUL-DE-SAC RENDERING

DIM

PARK SUBDIVISION

at 25450 PARK AVENUE
LOMA LINDA, CA 92354
for ED HADDAD

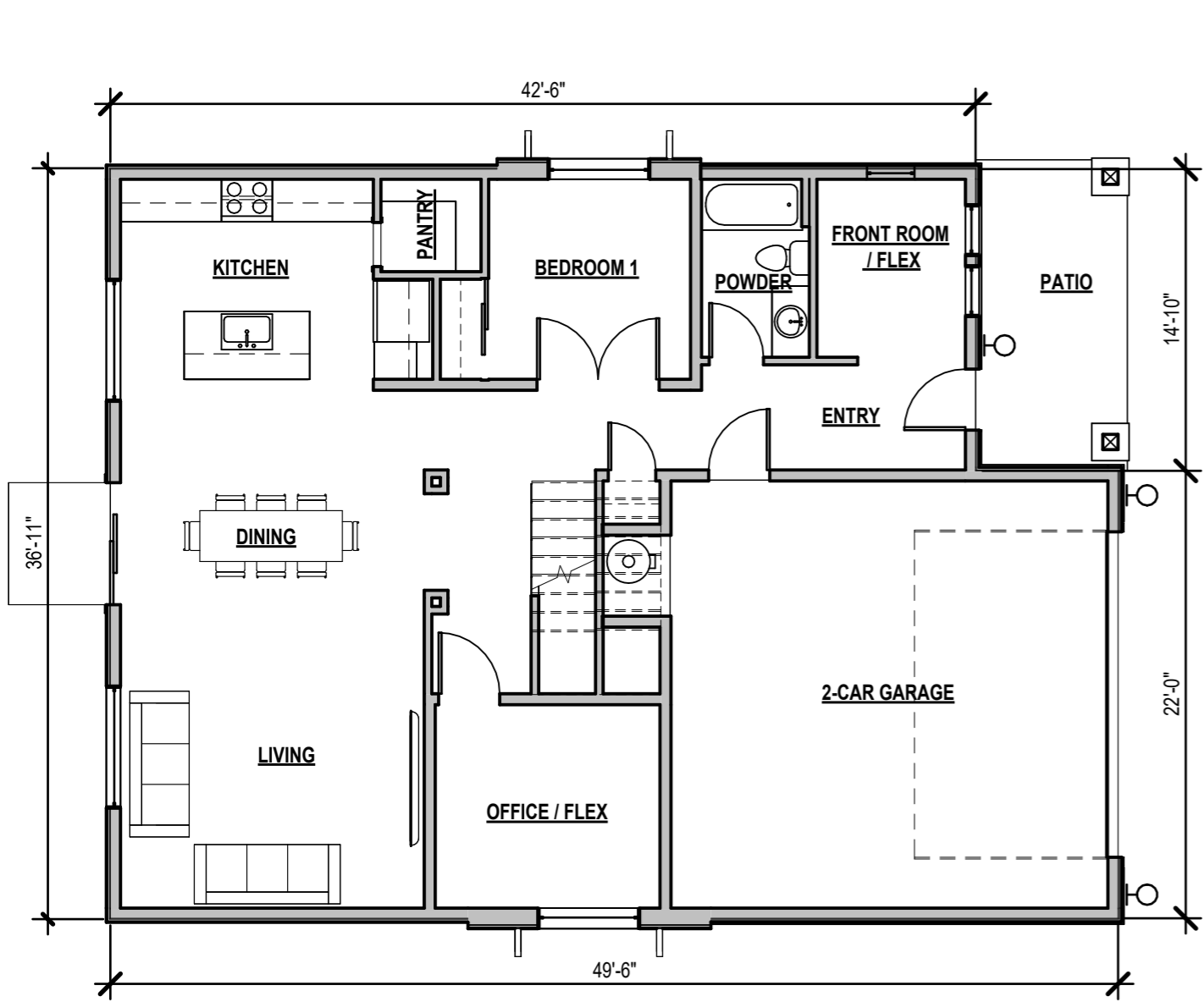
Project: 11HA.001

Date: 12/01/2023

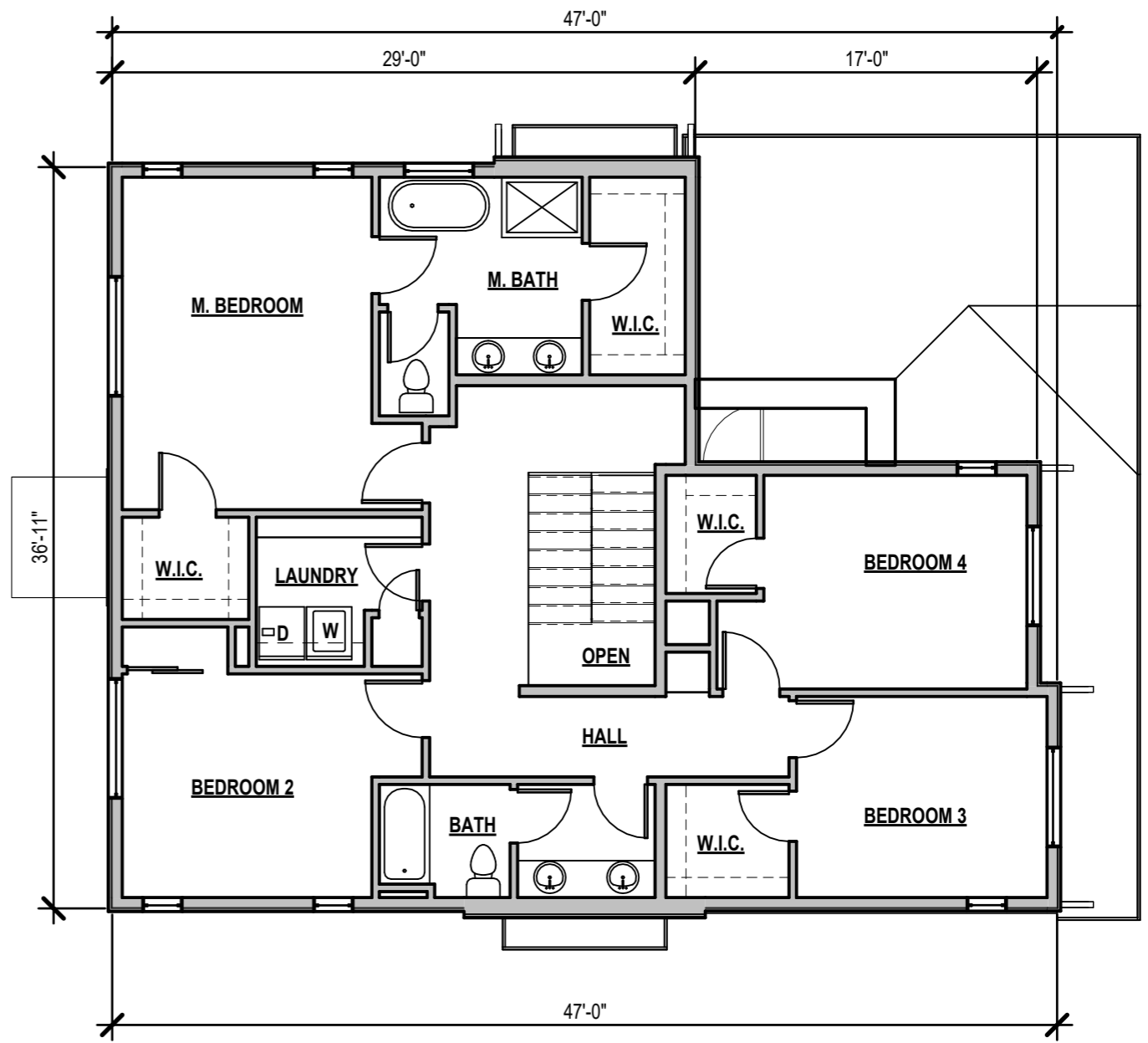
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EXTERIOR RENDERINGS

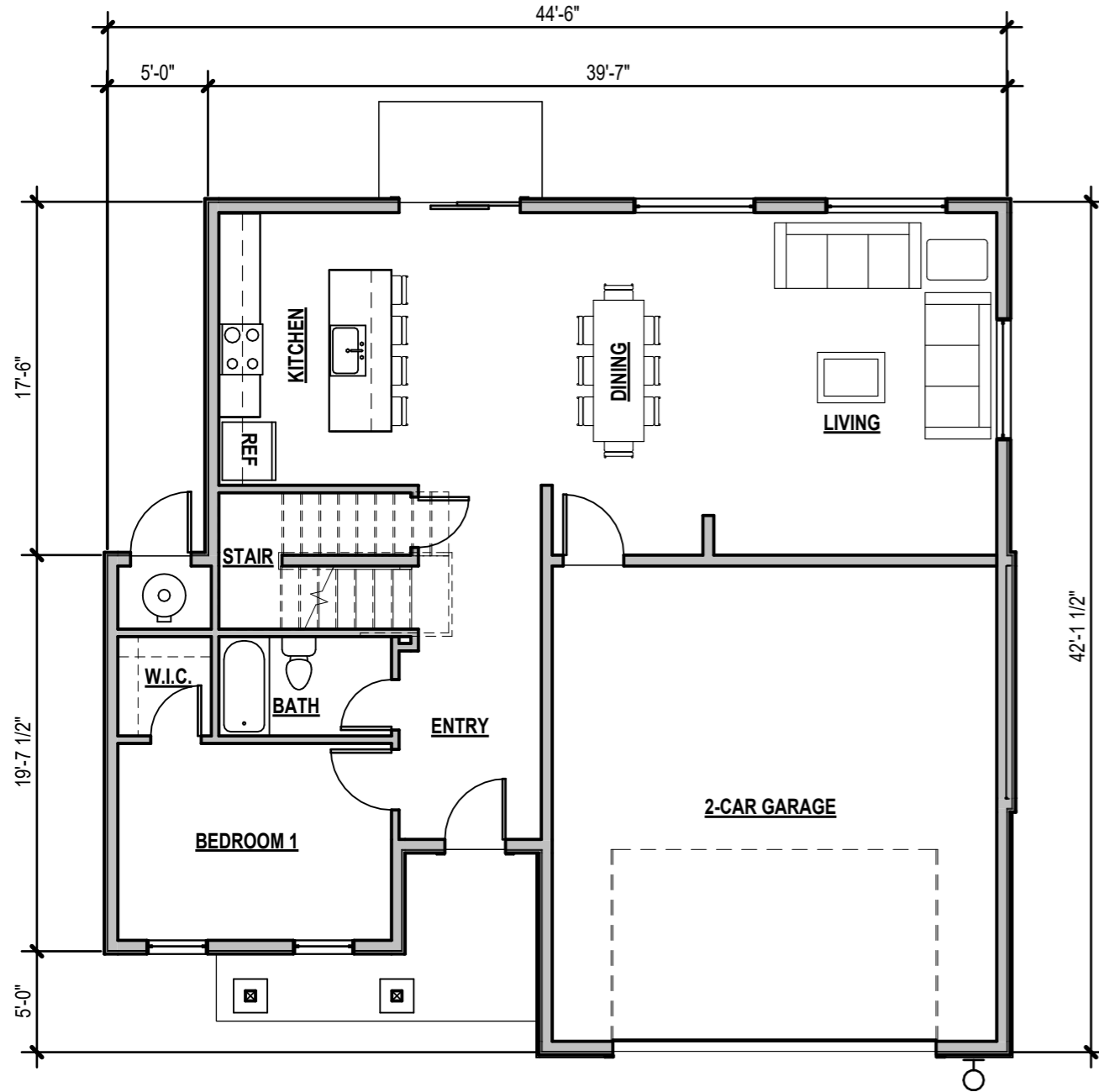
PL-08



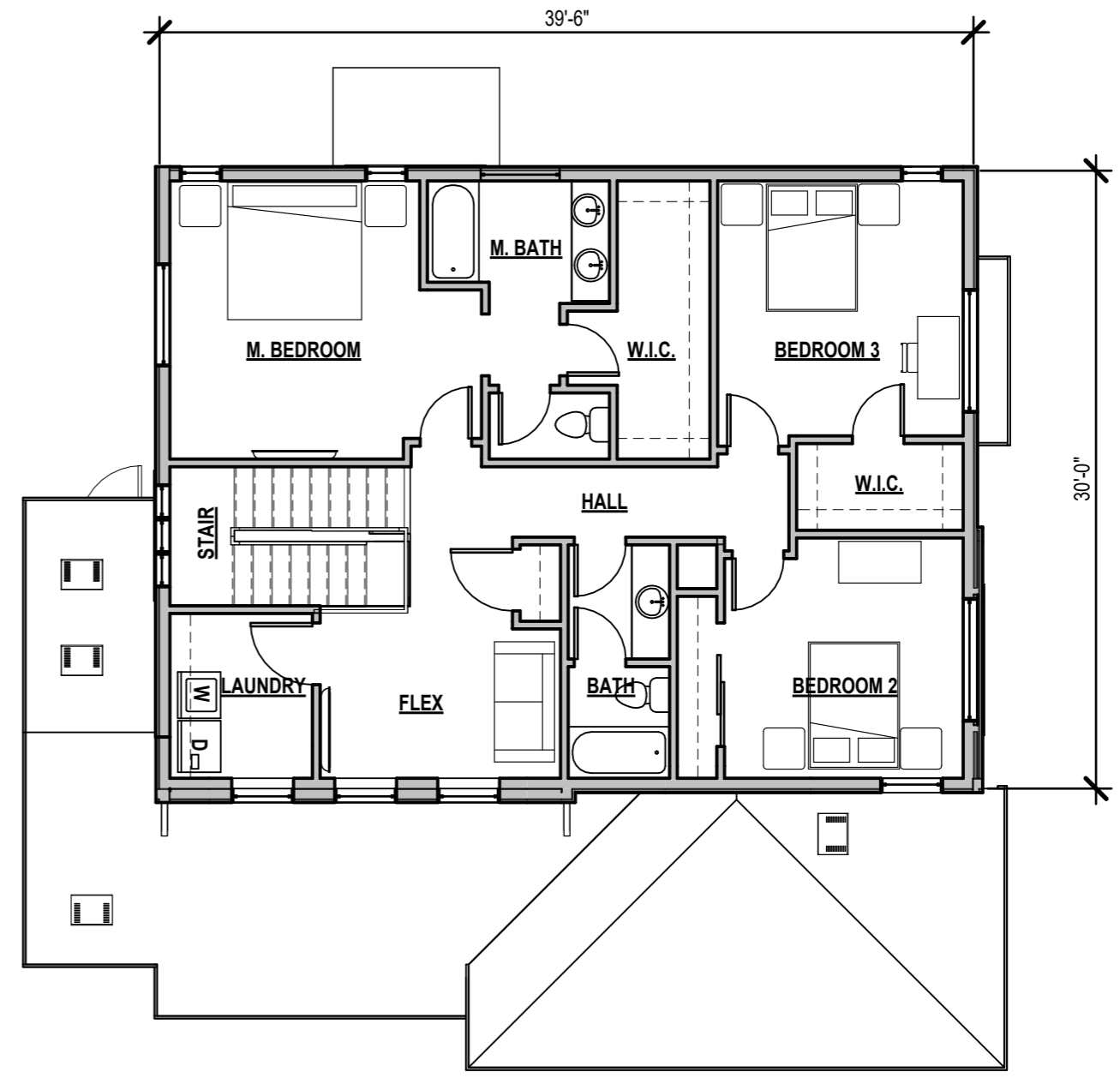
① PLAN A - FIRST FLOOR
1/8" = 1'-0"



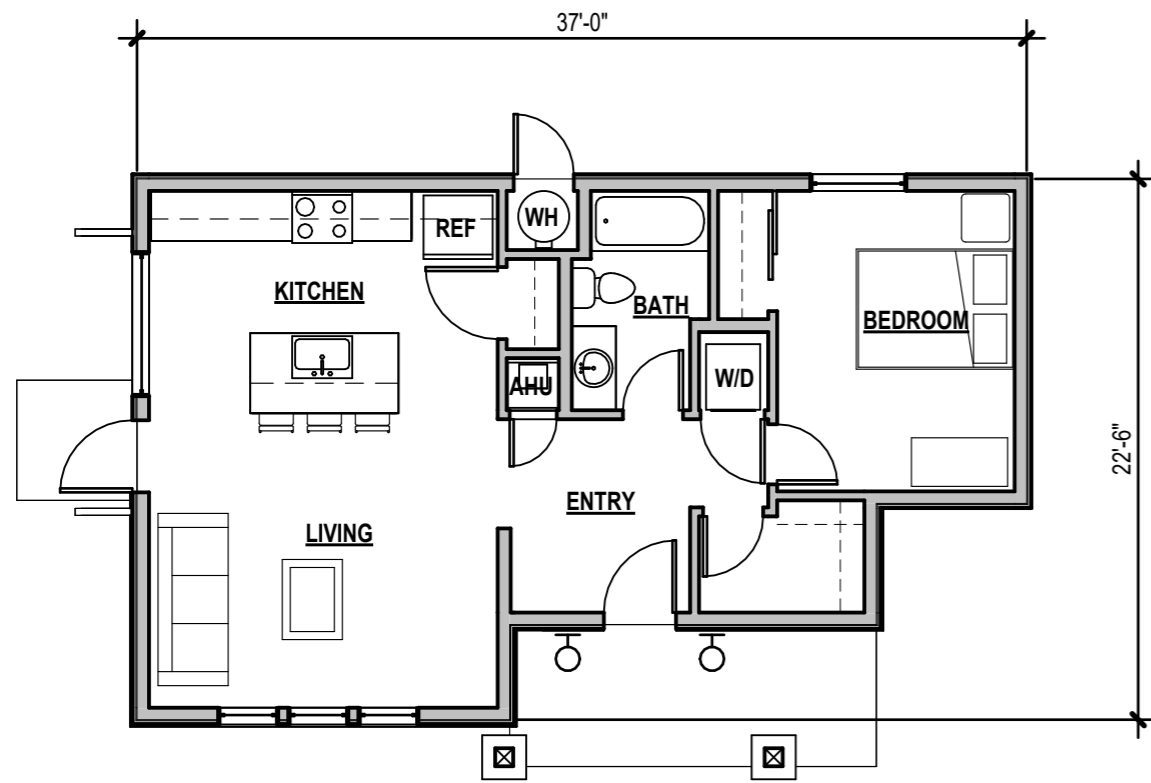
② PLAN A - SECOND FLOOR
1/8" = 1'-0"



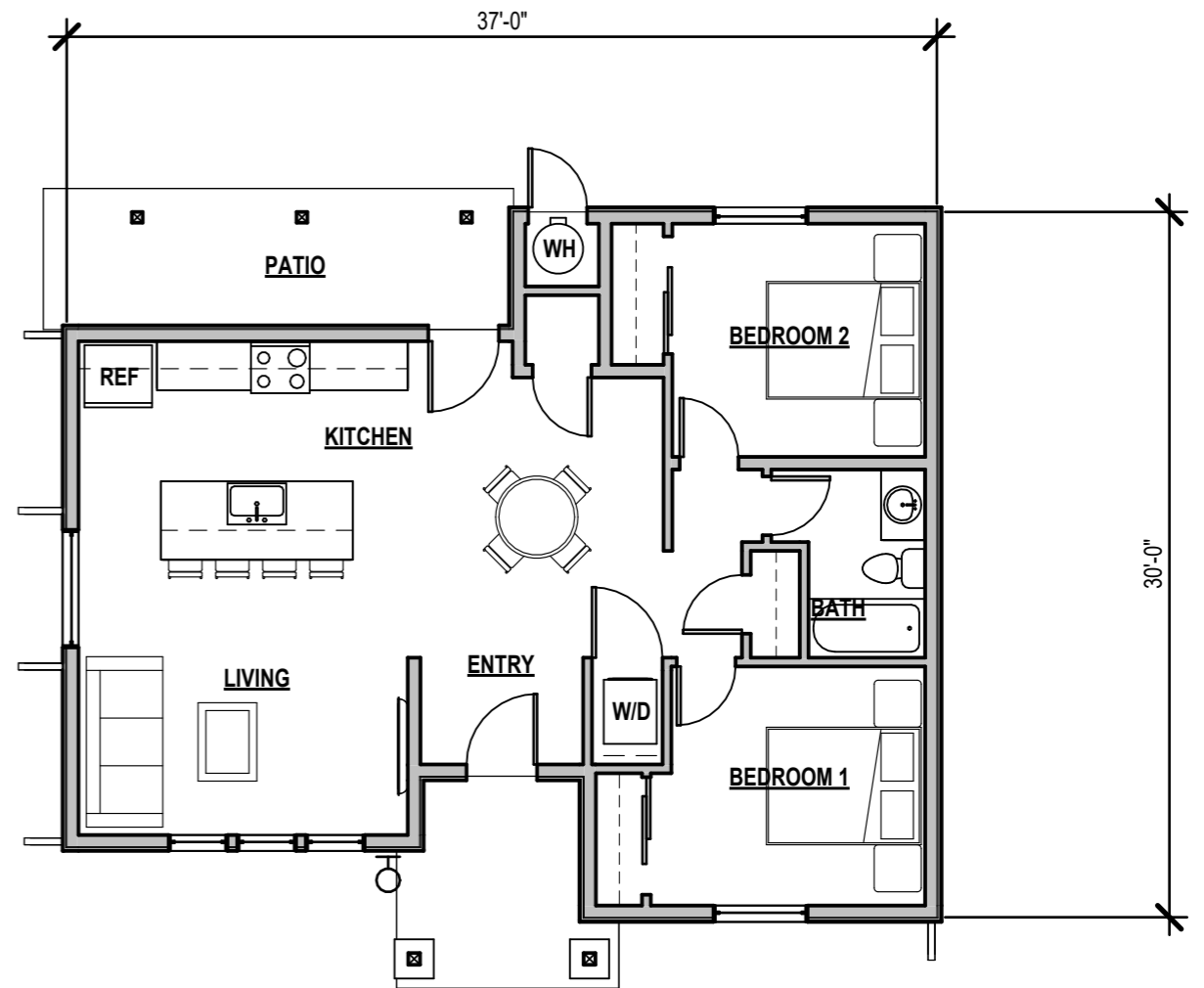
① PLAN B - FIRST FLOOR
1/8" = 1'-0"



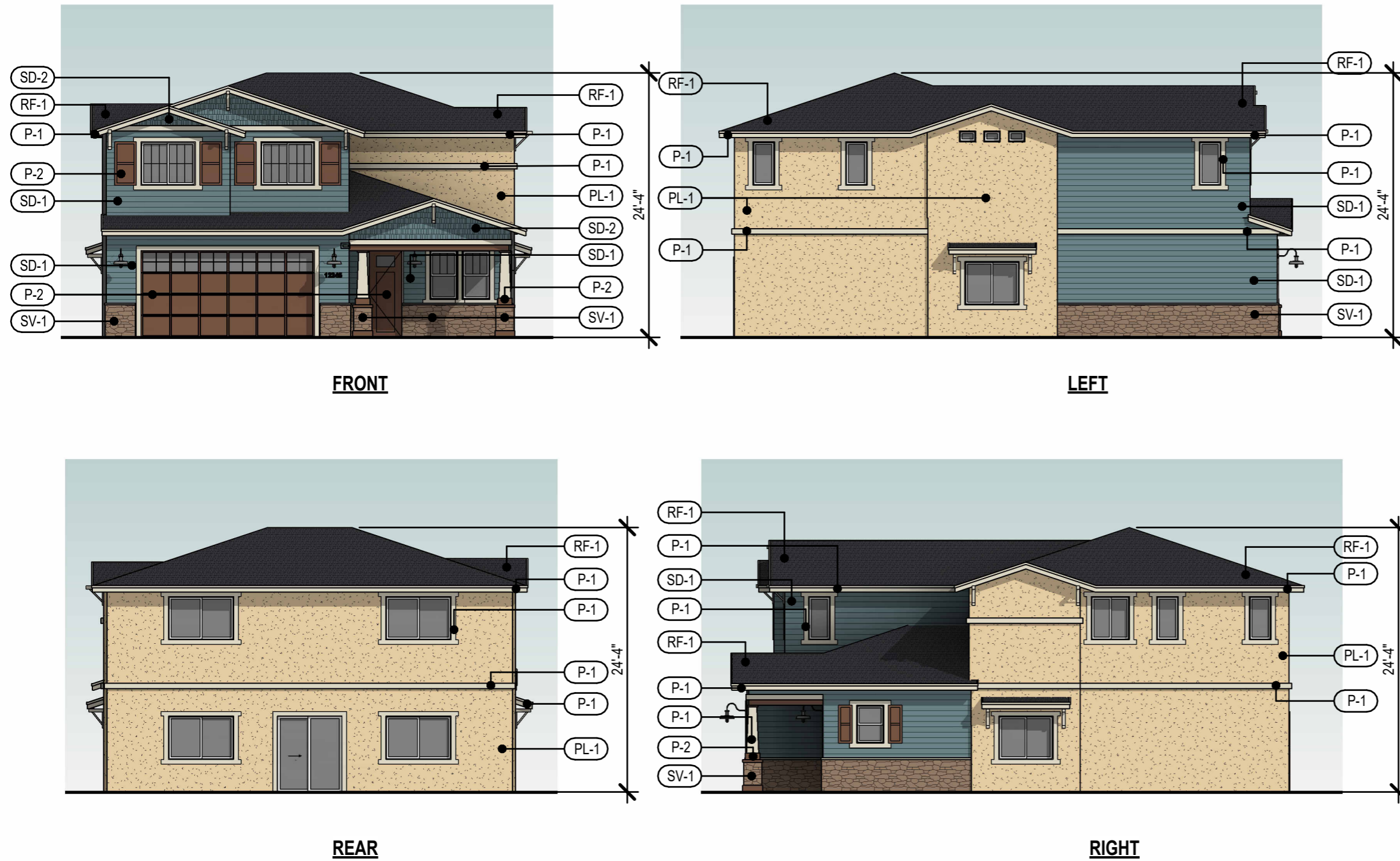
② PLAN B - 2ND FLOOR
1/8" = 1'-0"



① ADU A - FLOOR PLAN
1/8" = 1'-0"



② ADU B - FLOOR PLAN
1/8" = 1'-0"



MATERIAL SCHEDULE			
Park_House C - Craftsman			
	PAINT - TRIM / FASCIA	P-1	MFR: DUNN EDWARDS COLOR: DET 644 CREPE PAPER
	PAINT - ACCENT / SHUTTERS / DOORS	P-2	MFR: DUNN EDWARDS COLOR: DEA 159 RICH MOCHA
	EXTERIOR PLASTER, PAINTED	PL-1	PAINT MFR: DUNN EDWARDS COLOR: DET 644 CREPE PAPER
	ASPHALT ROOF SHINGLES	RF-1	MFR: OWENS CORNING PROFILE: DURATION COOL PLUS COLOR: MIDNIGHT
	CEMENTITIONS LAP SIDING, PAINTED	SD-1	MFR: JAMES HARDIE PRODUCT: HARDIE PLANK COLOR: DUNN EDWARDS DE 5774 THUNDERCLOUD
	CEMENTITIOUS SHAKE SIDING, PAINTED	SD-2	MFR: JAMES HARDIE PRODUCT: HARDIE SHINGLE COLOR: DUNN EDWARDS DE 5774 THUNDERCLOUD
	STONE VENEER	SV-1	MFR: ELDERADO STONE SERIES: SHADOWROCK COLOR: SOMERSET

1 PLAN A - CRAFTSMAN COLORED ELEVATIONS
3/32" = 1'-0"

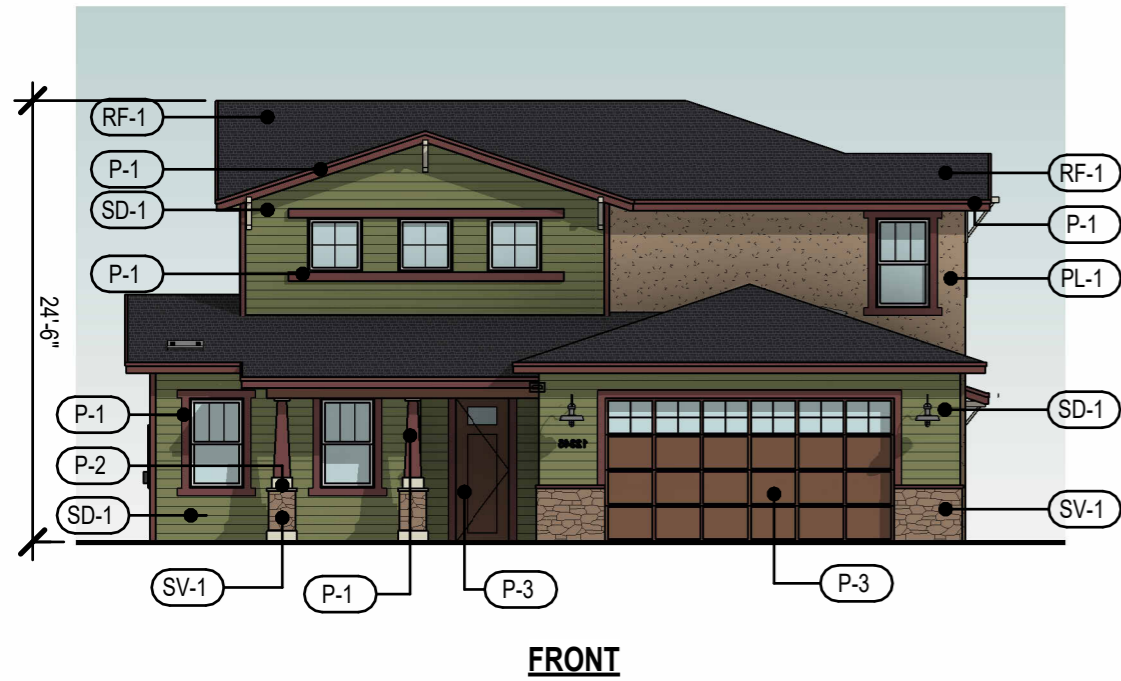
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PARK SUBDIVISION
at 25450 PARK AVENUE
LOMA LINDA, CA 92354
for ED HADDAD

Project: 11HA.001
Date: 12/01/2023
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SHADED ELEVATION /
MATERIAL BOARD -
CRAFTSMAN PLAN A

PL-12



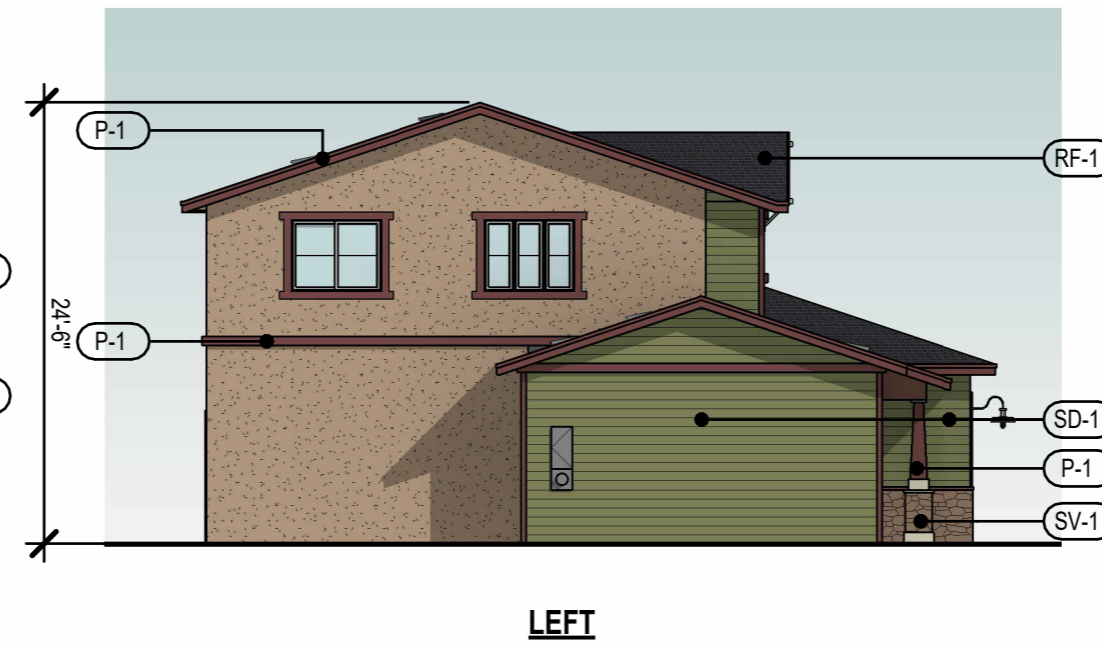
FRONT



RIGHT



REAR



LEFT

MATERIAL SCHEDULE

Park_House B - Craftsman

	TRIM / FASCIA - PAINTED	P-1	MFR: DUNN EDWARDS COLOR: DE 5055 MERLOT
	ACCENT - PAINTED	P-2	MFR: DUNN EDWARDS COLOR: DE 5259 BLANCHED ALMOND
	DOOR / SHUTTER - PAINTED	P-3	MFR: DUNN EDWARDS COLOR: DE A159 RICH MOCHA
	EXTERIOR PLASTER	PL-1	MFR: DUNN EDWARDS COLOR: DE 6130 WOODED ACRE
	ASPHALT ROOF SHINGLES	RF-1	MFR: OWENS CORNING PROFILE: DURATION COOL PLUS COLOR: MIDNIGHT
	HORIZONTAL CEMENTITIOUS SIDING, PAINTED	SD-1	MFR: JAMES HARDIE PRODUCT: HARDIE PLANK COLOR: DUNN EDWARDS DET540 TREE LINED
	STONE VENEER	SV-1	MFR: ELDORADO STONE SERIES: SHADOWROCK COLOR: SOMERSET

① PLAN B - CRAFTSMAN RENDERED ELEVATIONS.
3/32" = 1'-0"

DIM

PARK SUBDIVISION

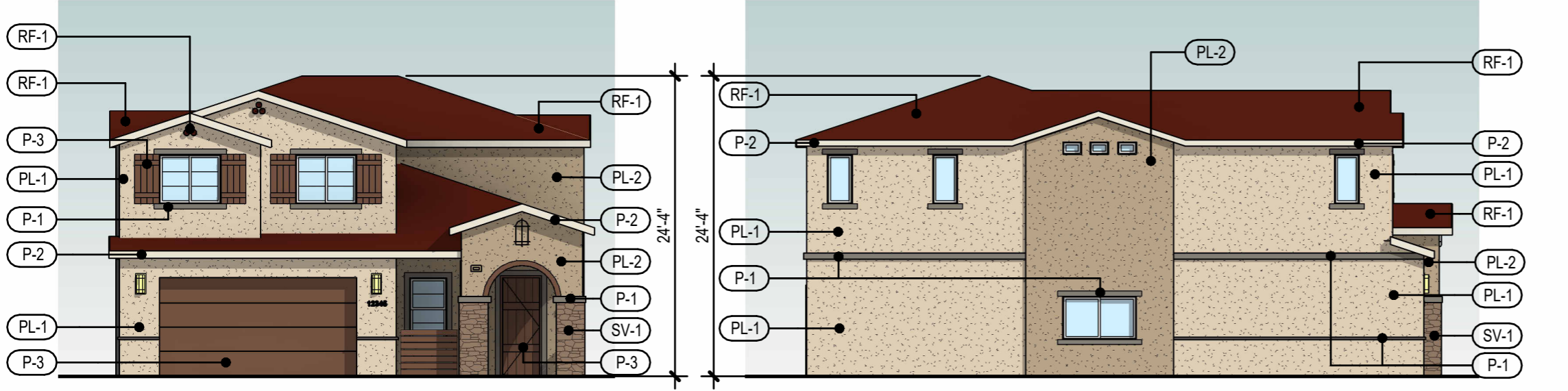
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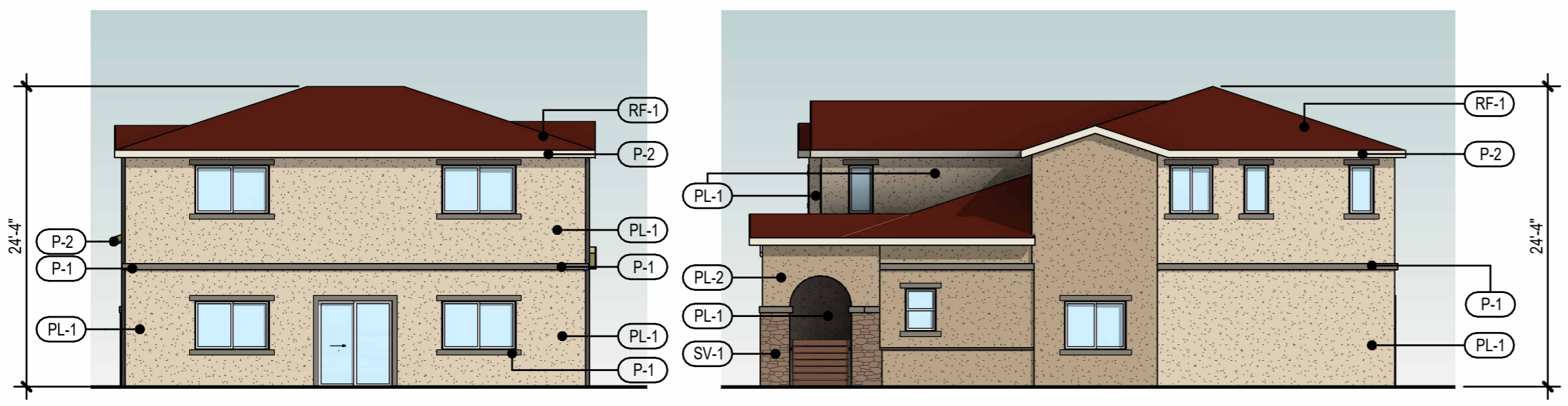
SHADED ELEVATION /
MATERIAL BOARD -
CRAFTSMAN PLAN B

PL-13



FRONT

LEFT



REAR

RIGHT

MATERIAL SCHEDULE

Park_House C - Spanish

	PAINT - TRIM	P-1	MFR: DUNN EDWARDS COLOR: DE6111 S'MORES
	PAINT - FASCIA	P-2	MFR: DUNN EDWARDS COLOR: DET653 HISTORIC WHITE
	PAINT - ACCENT	P-3	MFR: DUNN EDWARDS COLOR: DEA159 RICH MOCHA
	EXTERIOR PLASTER	PL-1	MFR: DUNN EDWARDS COLOR: DEC764 INSIDE PASSAGE
	EXTERIOR PLASTER	PL-2	MFR: DUNN EDWARDS COLOR: DEC760 DESERT GRAY
	CONCRETE BARREL TILES	RF-1	MFR: EAGLE ROOFING COLOR: 3526 VALENCIA
	STONE VENEER	SV-1	MFR: ELDORADO STONE SERIES: SHADOWROCK COLOR: SOMERSET

① PLAN A - SPANISH RENDERED ELEVATIONS.
3/32" = 1'-0"

DIM

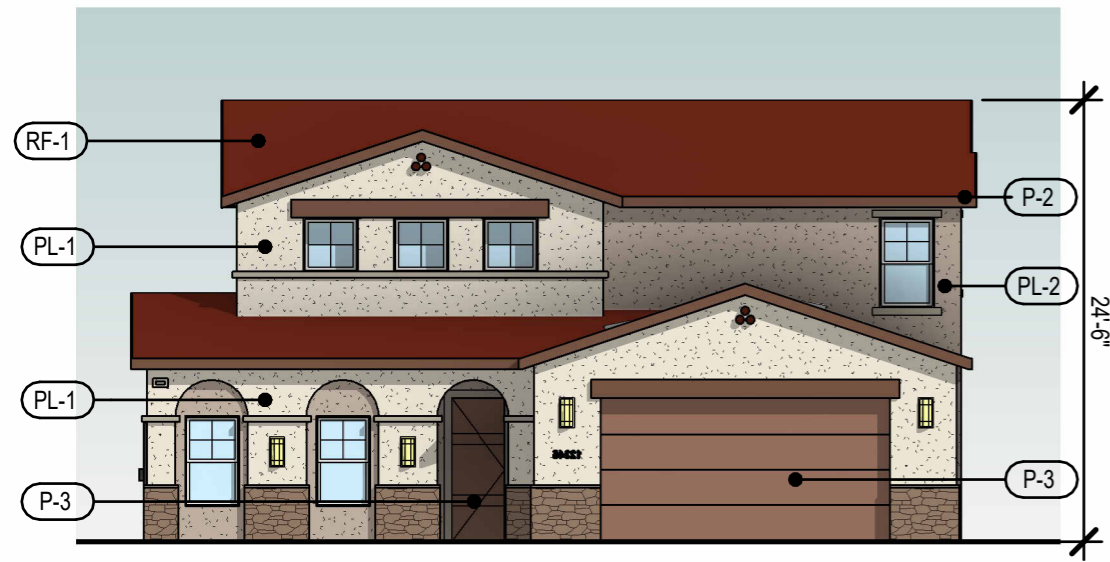
PARK SUBDIVISION

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LOMA LINDA, CA 92354
for ED HADDAD

Project: 11HA.001
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SHADED ELEVATION /
MATERIAL BOARD -
SPANISH PLAN A

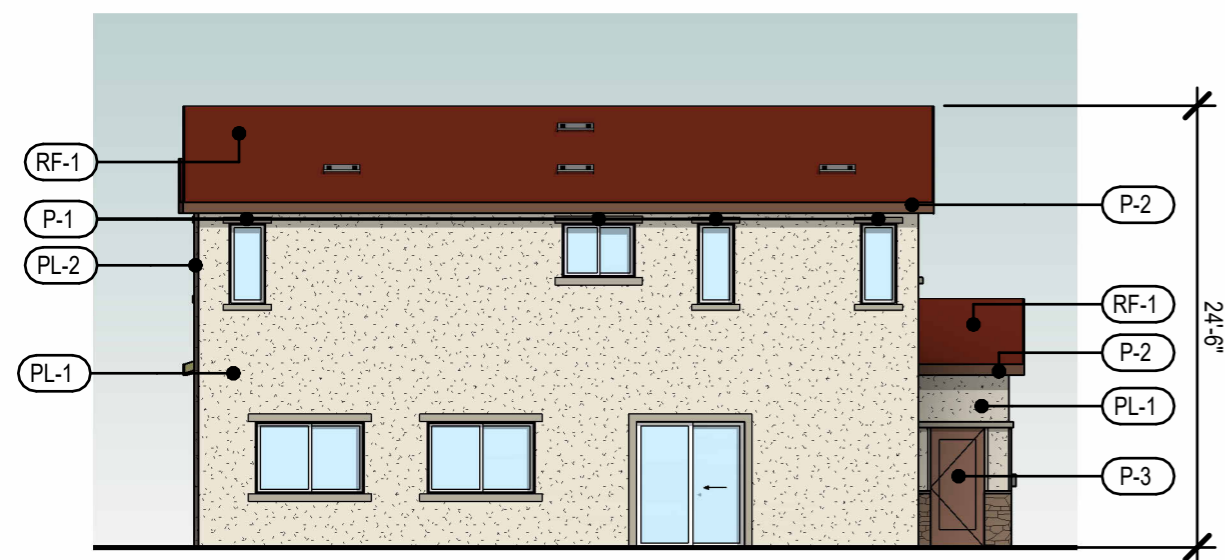
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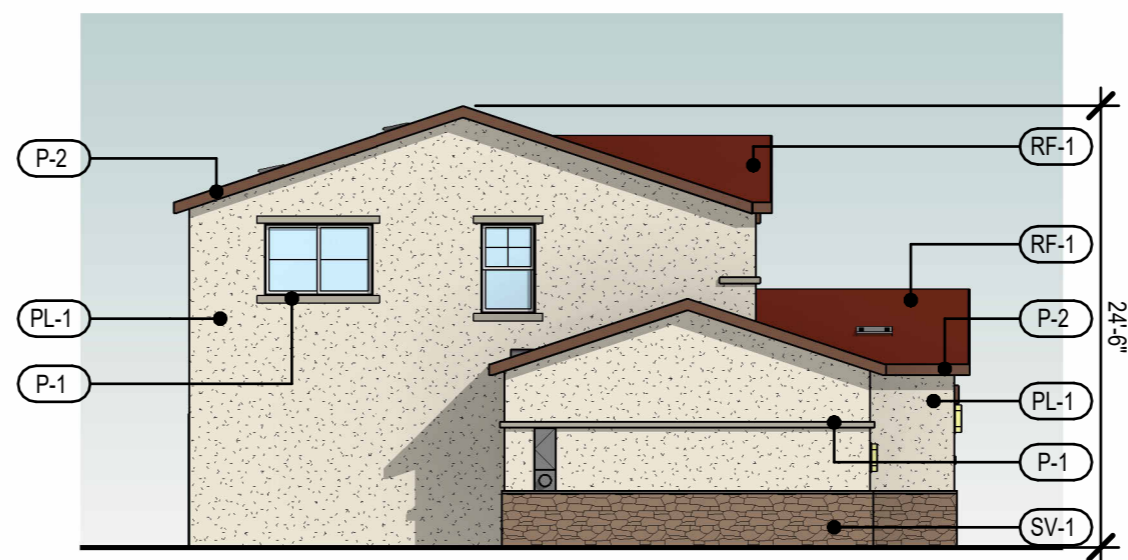
FRONT



RIGHT



REAR



LEFT

MATERIAL SCHEDULE

Park_House B - Spanish

	PAINT - TRIM	P-1	MFR: DUNN EDWARDS COLOR: DEC771 SHAGGY BARKED
	DOOR - ACCENT	P-2	MFR: DUNN EDWARDS COLOR: DEA159 RICH MOCHA
	PAINT - DOORS	P-3	MFR: DUNN EDWARDS COLOR: DE6097 MONTERAY BROWN
	PAINT - SEL. BY OWNER	P-4	SEL. BY OWNER
	EXTERIOR PLASTER, PAINTED	PL-1	MFR: DUNN EDWARDS COLOR: DEW318 COTTAGE WHITE
	EXTERIOR PLASTER, PAINTED	PL-2	MFR: DUNN EDWARDS COLOR: DEC766 STEVEARENO BEIGE
	CONCRETE BARREL TILES	RF-1	MFR: EAGLE ROOFING COLOR: 3526 VALENCIA
	STONE VENEER	SV-1	MFR: ELDORADO STONE SERIES: SHADOWROCK COLOR: SOMERSET

① PLAN B - SPANISH RENDERED ELEVATIONS,
3/32" = 1'-0"



PARK SUBDIVISION

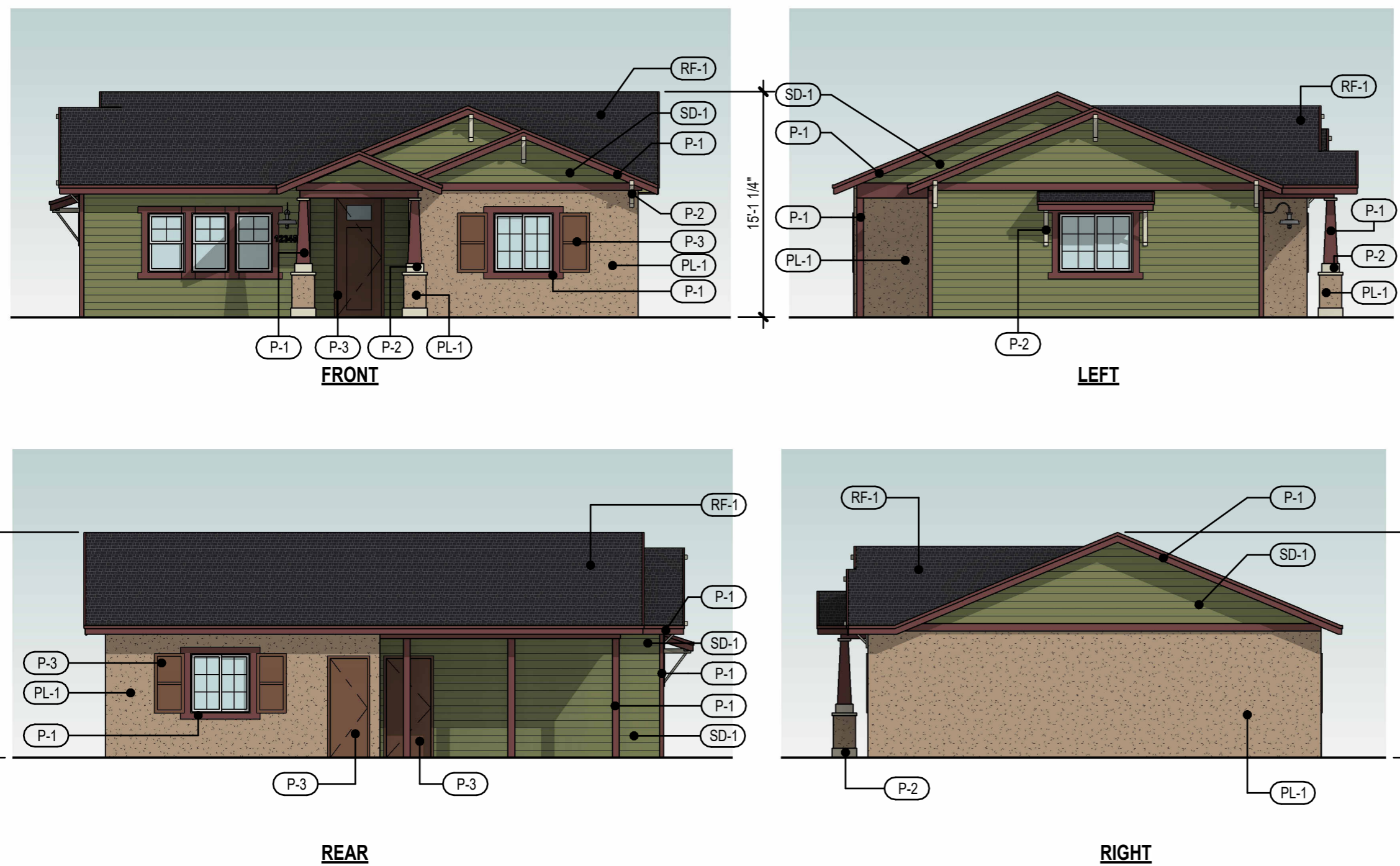
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for ED HADDAD

Project: 11HA.001
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SHADED ELEVATION /
MATERIAL BOARD -
SPANISH PLAN B

PL-15



MATERIAL SCHEDULE			
Park_ADU B - Craftsman			
	TRIM / FASCIA - PAINTED	P-1	MFR: DUNN EDWARDS COLOR: DE 5055 MERLOT
	ACCENT - PAINTED	P-2	MFR: DUNN EDWARDS COLOR: DE 5259 BLANCHED ALMOND
	DOOR / SHUTTER - PAINTED	P-3	MFR: DUNN EDWARDS COLOR: DE A159 RICH MOCHA
	EXTERIOR PLASTER	PL-1	MFR: DUNN EDWARDS COLOR: DE 6130 WOODED ACRE
	ASPHALT ROOF SHINGLES	RF-1	MFR: OWENS CORNING PROFILE: DURATION COOL PLUS COLOR: MIDNIGHT
	HORIZONTAL CEMENTITIOUS SIDING, PAINTED	SD-1	MFR: JAMES HARDIE PRODUCT: HARDIE PLANK COLOR: DUNN EDWARDS DET540 TREE LINED

1 ADU B - CRAFTSMAN RENDERED ELEVATIONS
1/8" = 1'-0"

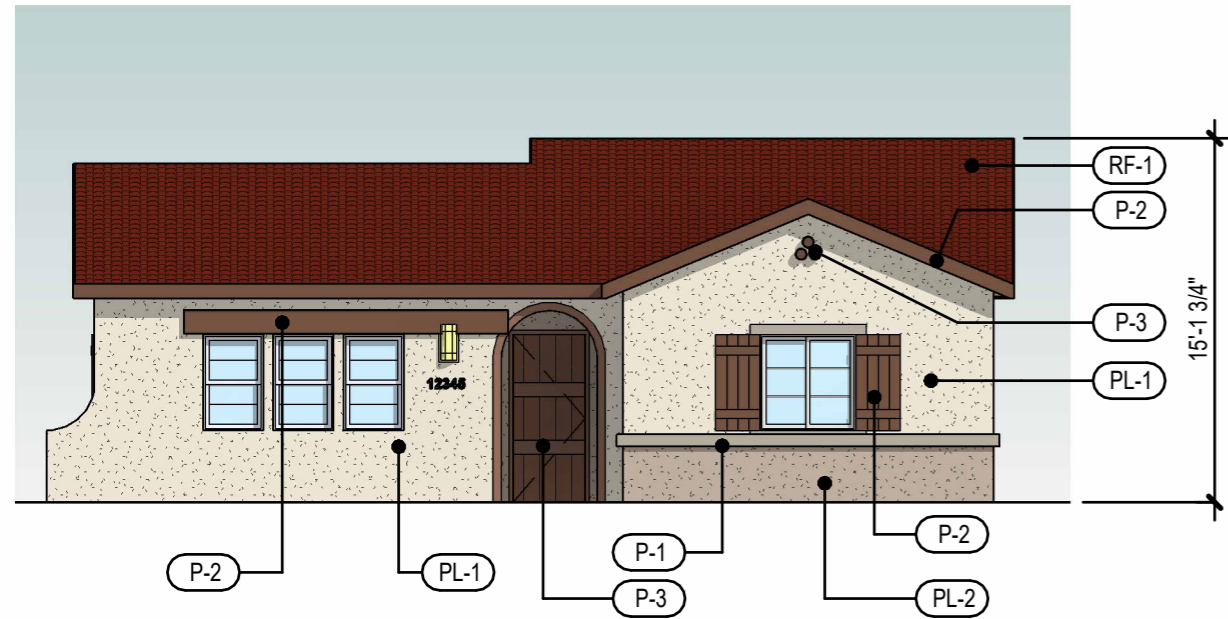
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LOMA LINDA, CA 92354
for ED HADDAD

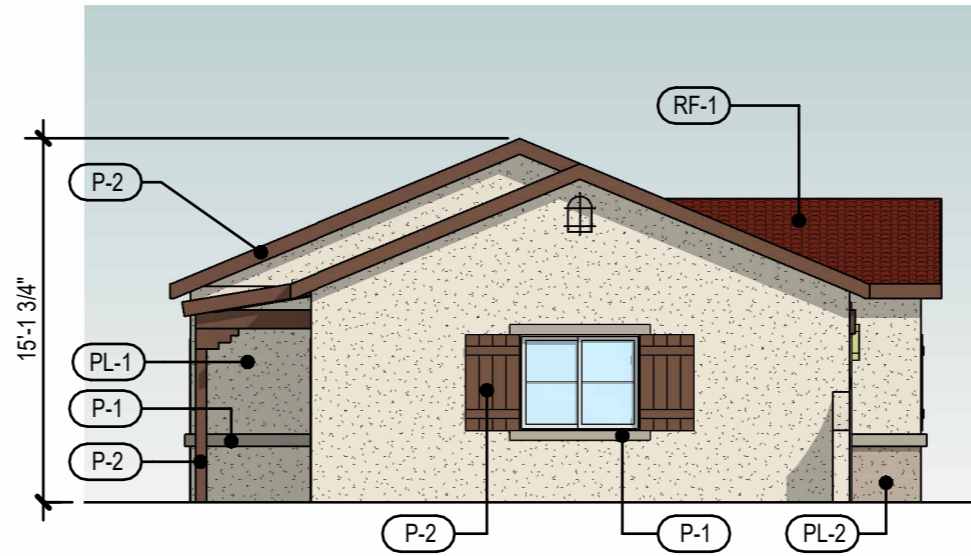
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SHADED ELEVATIONS /
MATERIAL BOARD -
CRAFTSMAN ADU B

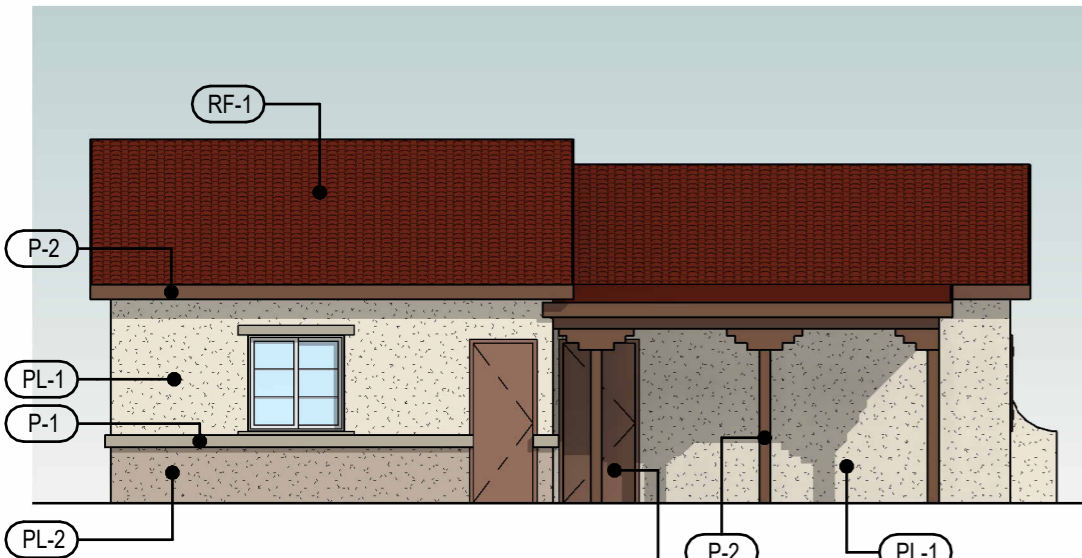
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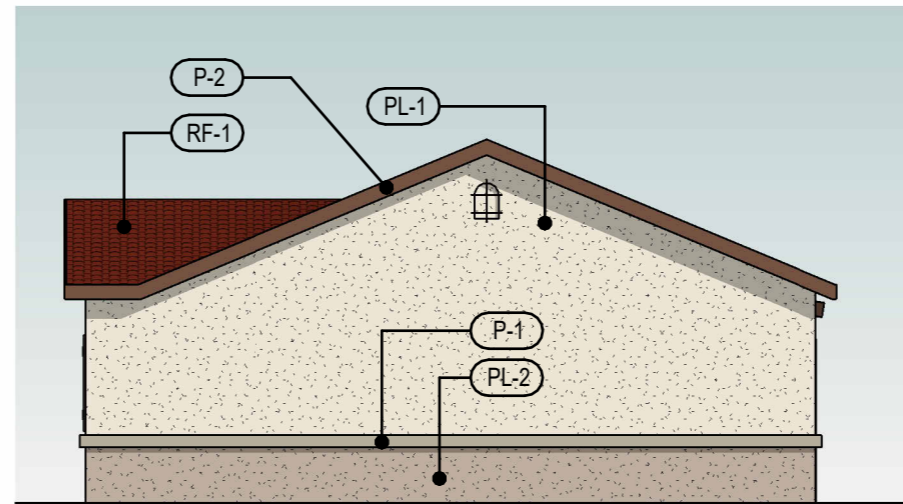
FRONT



LEFT



REAR



RIGHT

MATERIAL SCHEDULE

Park_ADU B - Spanish

	PAINT - TRIM	P-1	MFR: DUNN EDWARDS COLOR: DEC771 SHAGGY BARKED
	PAINT - FASCIA / ACCENT	P-2	MFR: DUNN EDWARDS COLOR: DEA159 RICH MOCHA
	PAINT - DOORS	P-3	MFR: DUNN EDWARDS COLOR: DE6097 MONTERAY BROWN
	EXTERIOR PLASTER, PAINTED	PL-1	MFR: DUNN EDWARDS COLOR: DEW318 COTTAGE WHITE
	EXTERIOR PLASTER, PAINTED	PL-2	MFR: DUNN EDWARDS COLOR: DEC766 STEVEARENO BEIGE
	CONCRETE BARREL TILES	RF-1	MFR: EAGLE ROOFING COLOR: 3526 VALENCIA

① ADU B - SPANISH ELEVATION
1/8" = 1'-0"

DIM

PARK SUBDIVISION

at 25450 PARK AVENUE
LOMA LINDA, CA 92354
for ED HADDAD

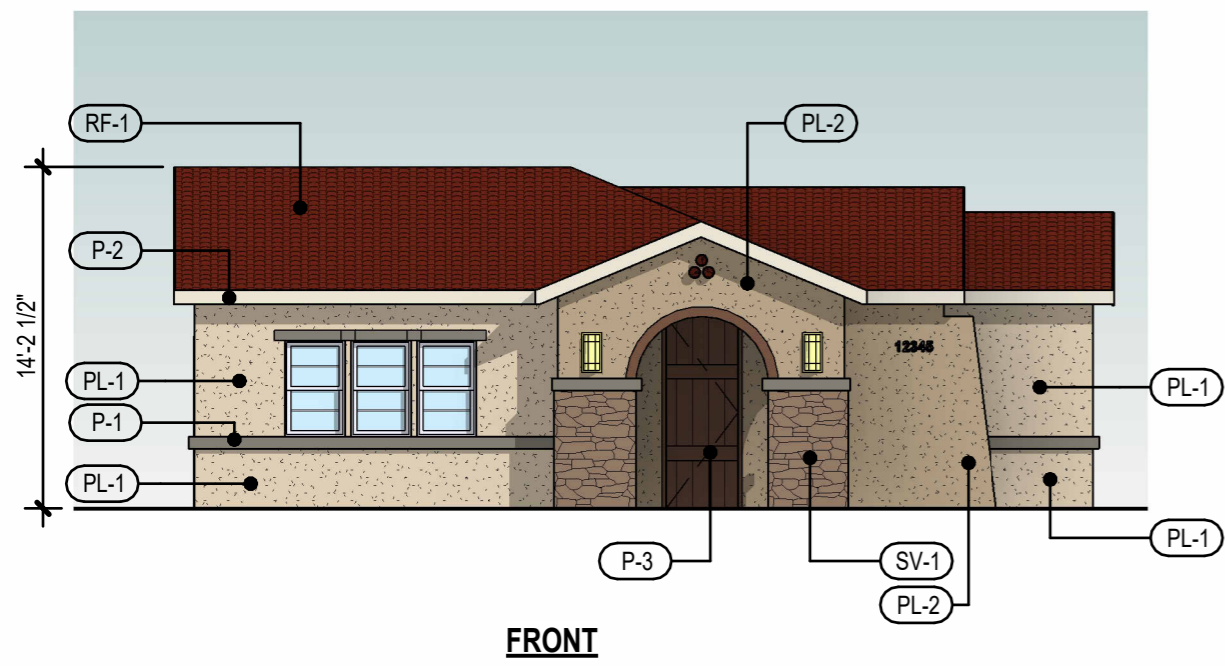
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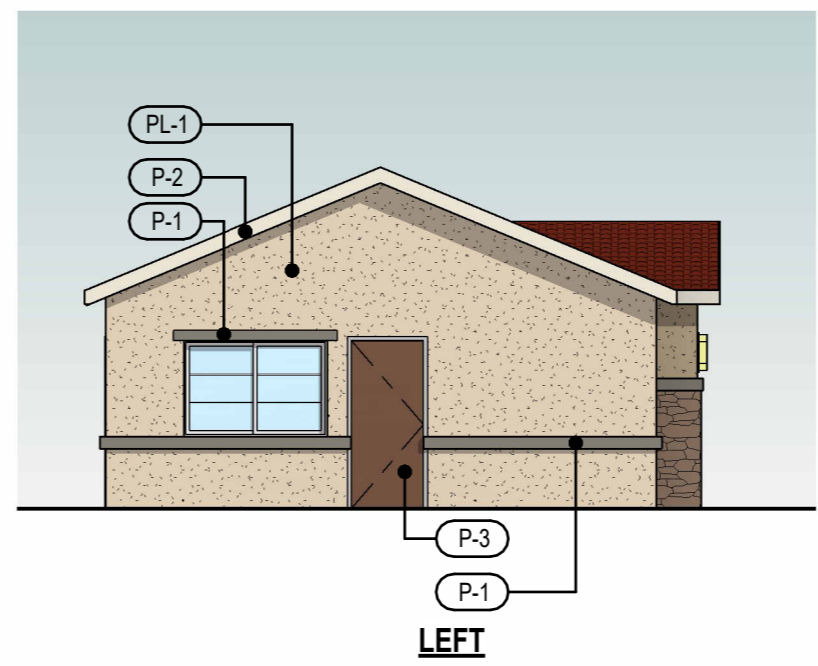
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SHADED ELEVATIONS /
MATERIAL BOARD -
SPANISH ADU B

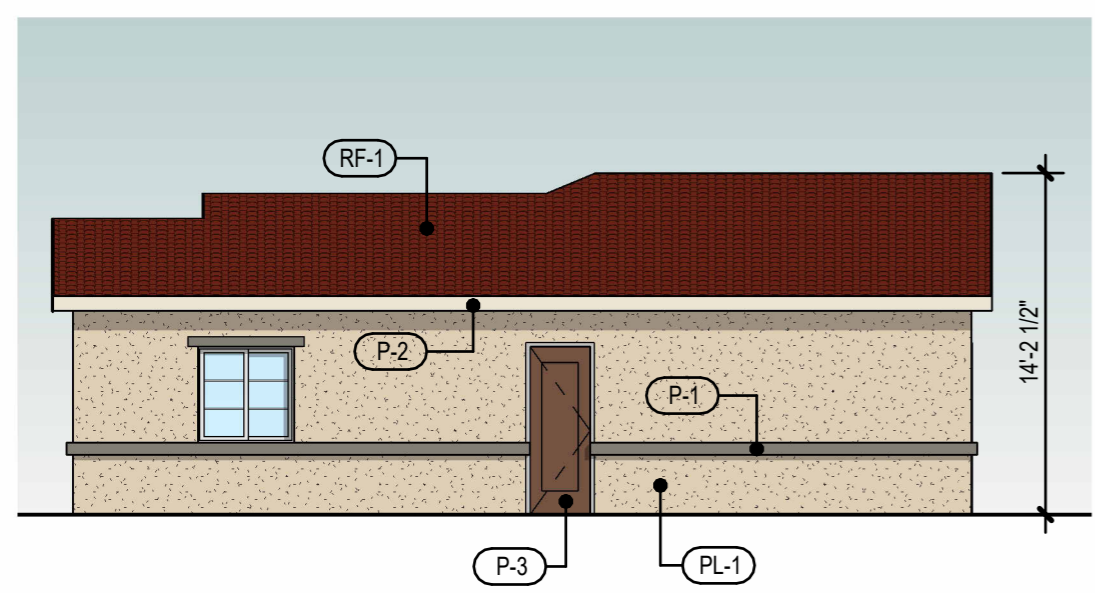
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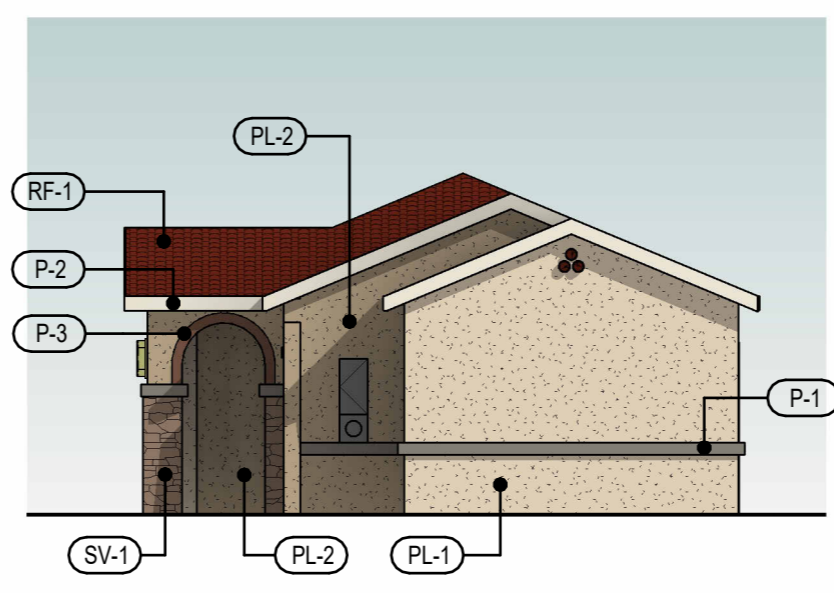
FRONT



LEFT



REAR



RIGHT

MATERIAL SCHEDULE

Park_ADU A - Spanish

	PAINT - TRIM	P-1	MFR: DUNN EDWARDS COLOR: DE6111 S'MORES
	PAINT - FASCIA	P-2	MFR: DUNN EDWARDS COLOR: DET653 HISTORIC WHITE
	PAINT - ACCENT	P-3	MFR: DUNN EDWARDS COLOR: DEA159 RICH MOCHA
	EXTERIOR PLASTER	PL-1	MFR: DUNN EDWARDS COLOR: DEC764 INSIDE PASSAGE
	EXTERIOR PLASTER	PL-2	MFR: DUNN EDWARDS COLOR: DEC760 DESERT GRAY
	CONCRETE BARREL TILES	RF-1	MFR: EAGLE ROOFING COLOR: 3526 VALENCIA
	STONE VENEER	SV-1	MFR: ELDORADO STONE SERIES: SHADOWROCK COLOR: SOMERSET

① ADU A - SPANISH ELEVATIONS
1/8" = 1'-0"

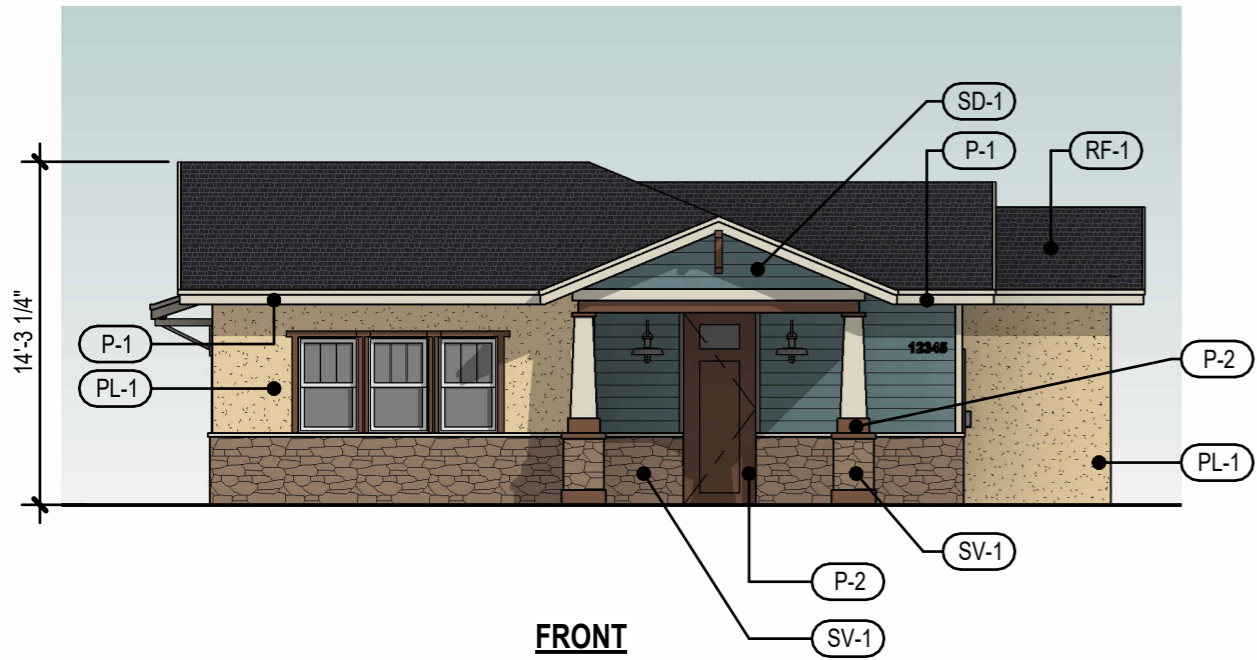


PARK SUBDIVISION
at 25450 PARK AVENUE
LOMA LINDA, CA 92354
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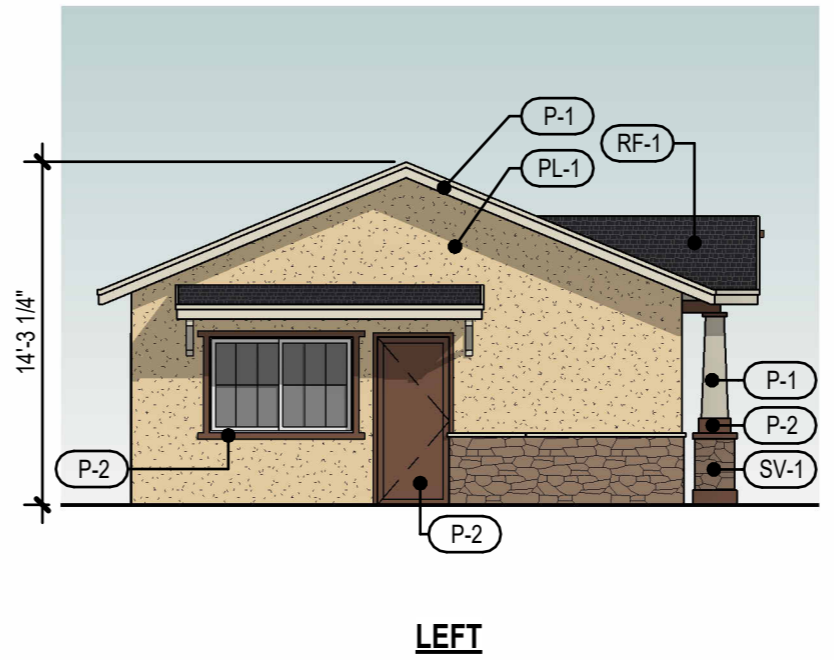
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SHADED ELEVATIONS /
MATERIAL BOARD -
SPANISH ADU A

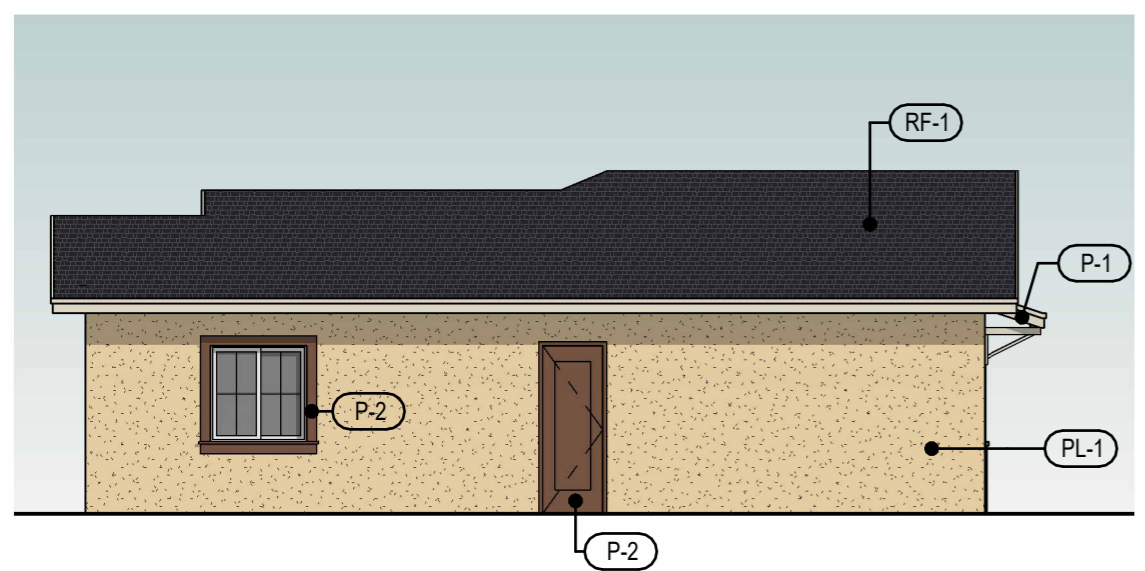
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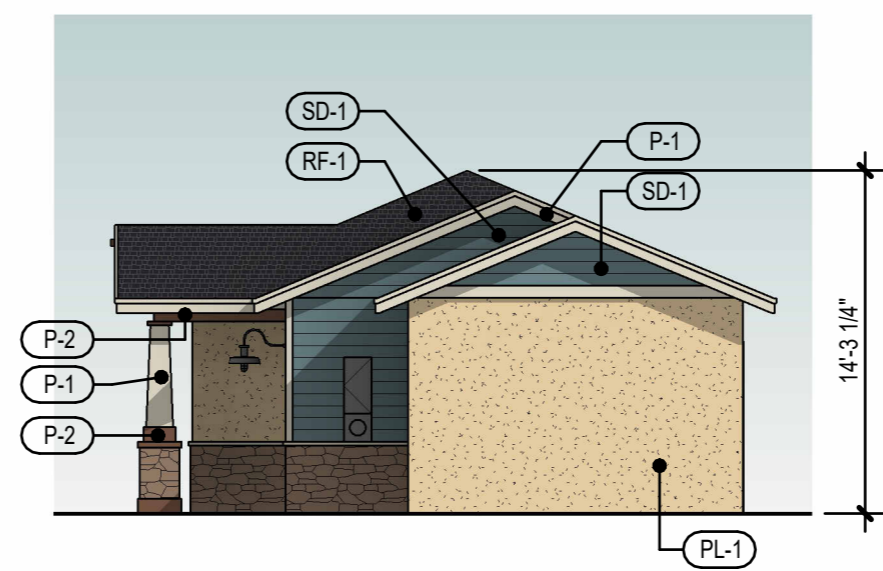
FRONT



LEFT



REAR

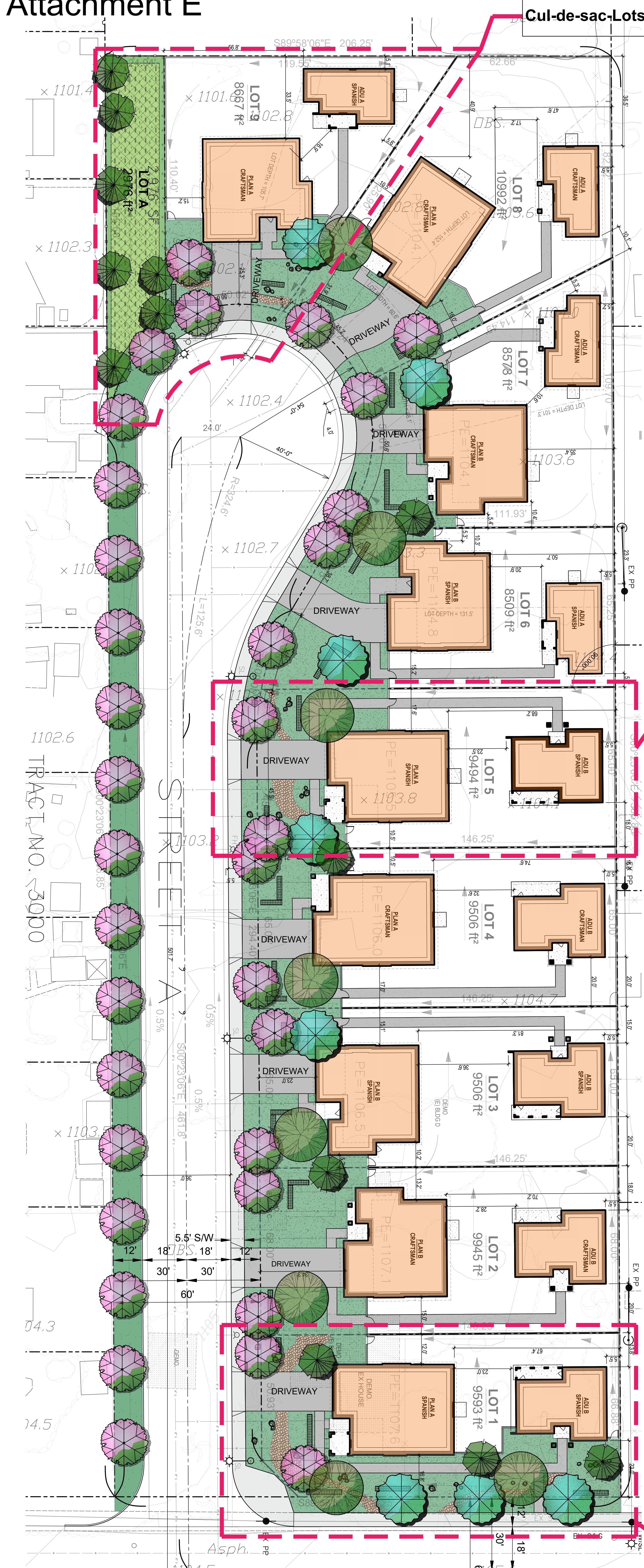


RIGHT

MATERIAL SCHEDULE			
Park_ADU A - Craftsman			
	PAINT - FASCIA / ACCENT	P-1	MFR: DUNN EDWARDS COLOR: DET 644 CREPE PAPER
	PAINT - TRIM	P-2	MFR: DUNN EDWARDS COLOR: DEA 159 RICH MOCHA
	EXTERIOR PLASTER, PAINTED	PL-1	PAINT MFR: DUNN EDWARDS COLOR: DET 644 CREPE PAPER
	ASPHALT ROOF SHINGLES	RF-1	MFR: OWENS CORNING PROFILE: DURATION COOL PLUS COLOR: MIDNIGHT
	CEMENTITIONS LAP SIDING, PAINTED	SD-1	MFR: JAMES HARDIE PRODUCT: HARDIE PLANK COLOR: DUNN EDWARDS DE 5774 THUNDERCLOUD
	STONE VENEER	SV-1	MFR: ELDORADO STONE SERIES: SHADOWROCK COLOR: SOMERSET

① ADU A - CRAFTSMAN ELEVATIONS
1/8" = 1'-0"

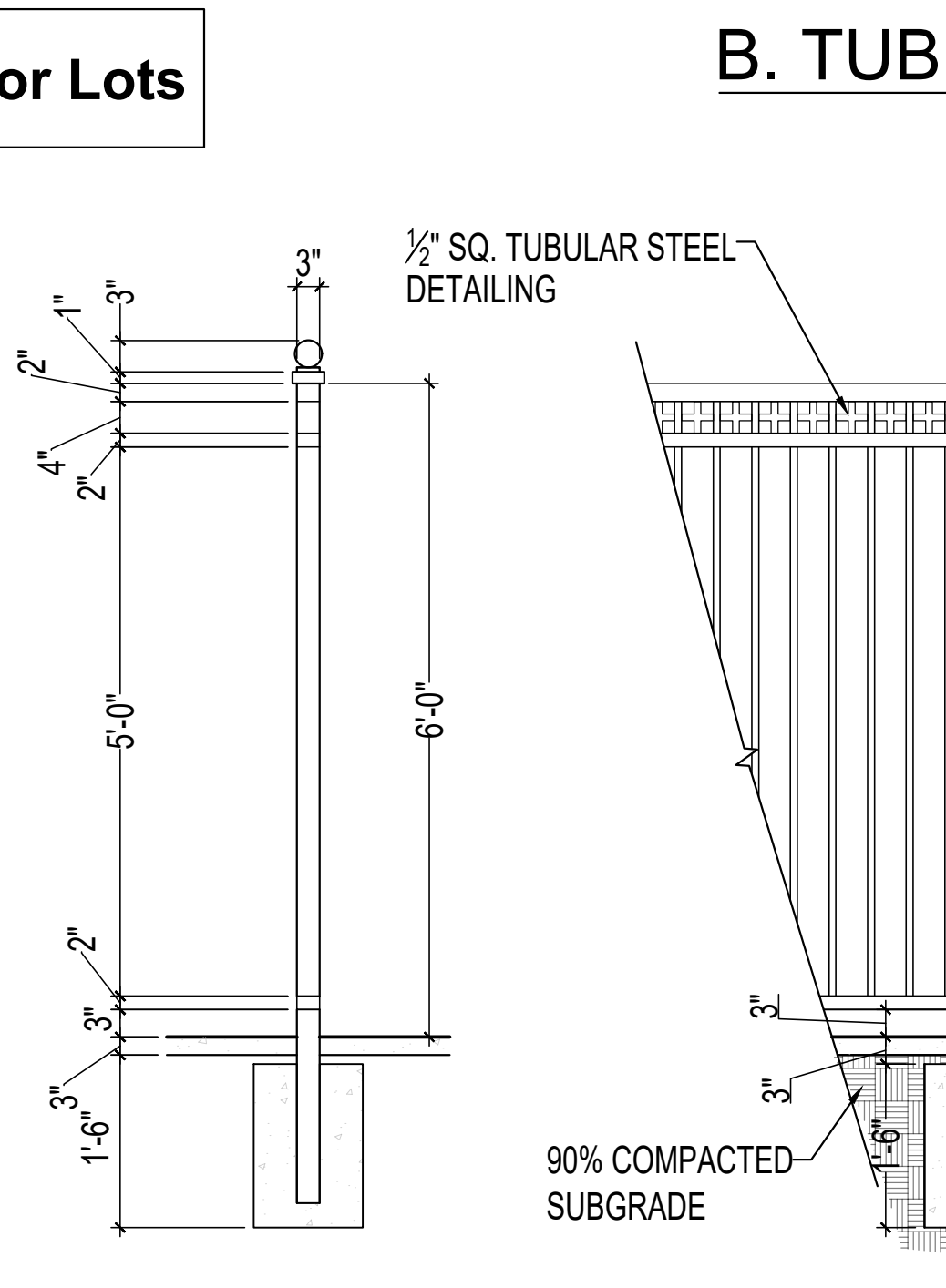
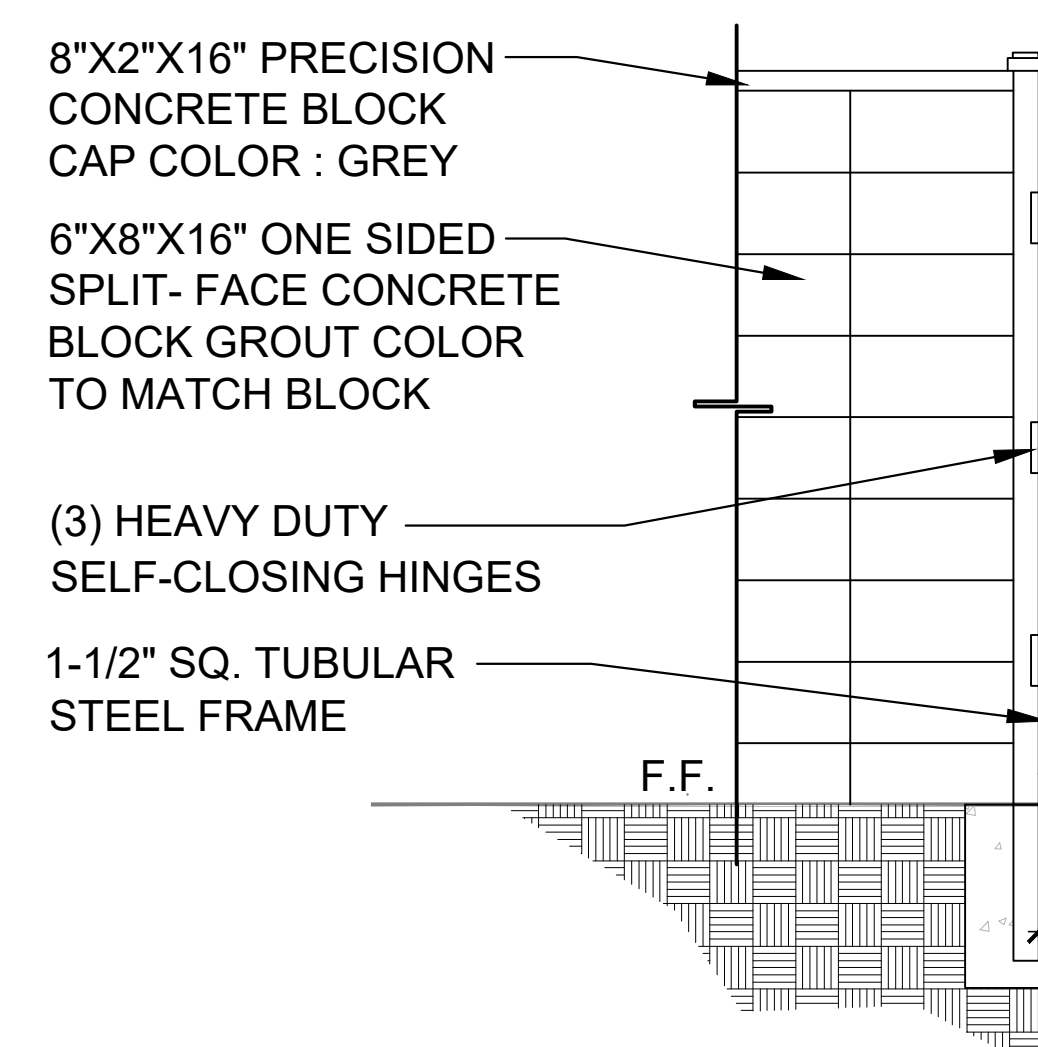
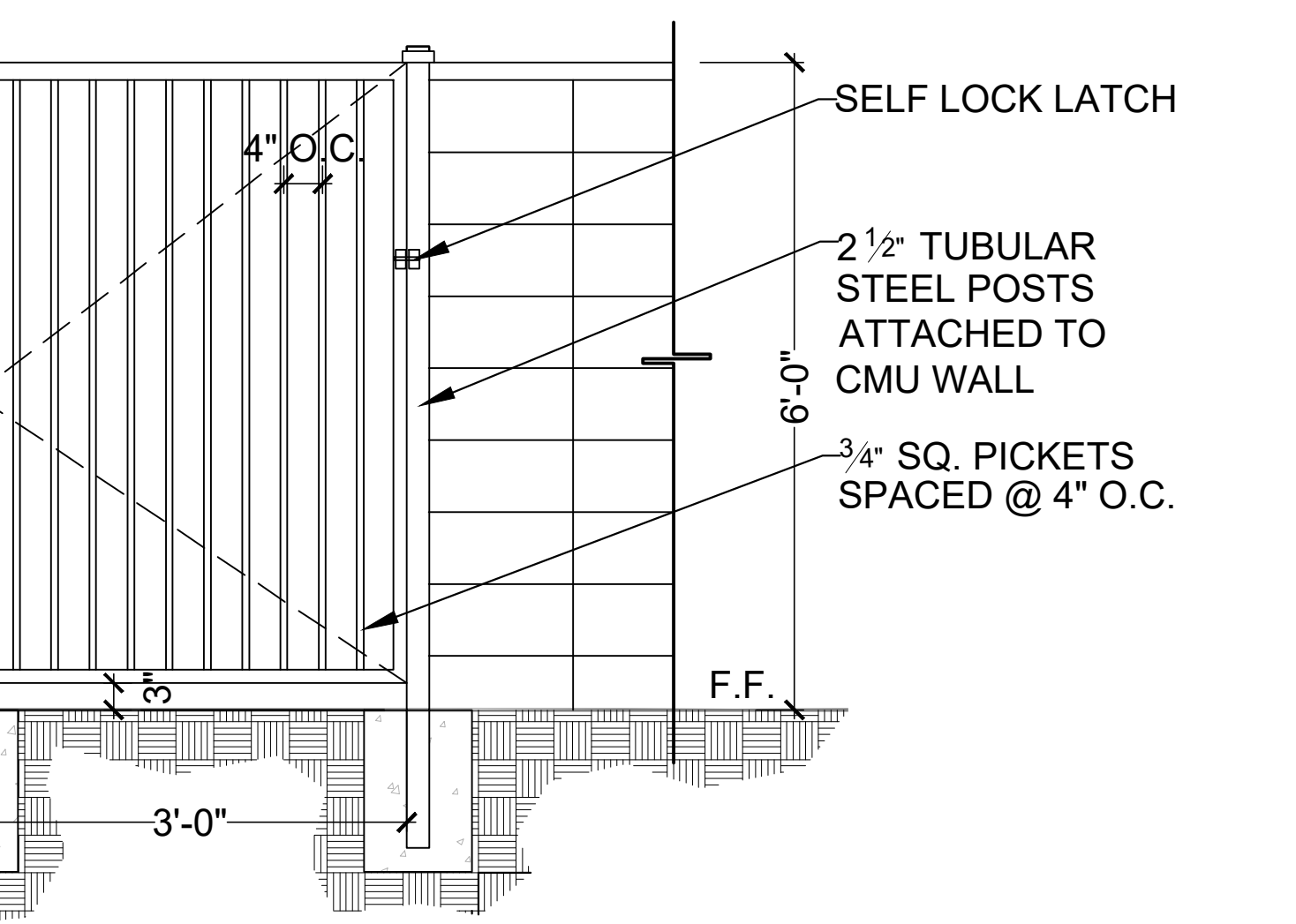
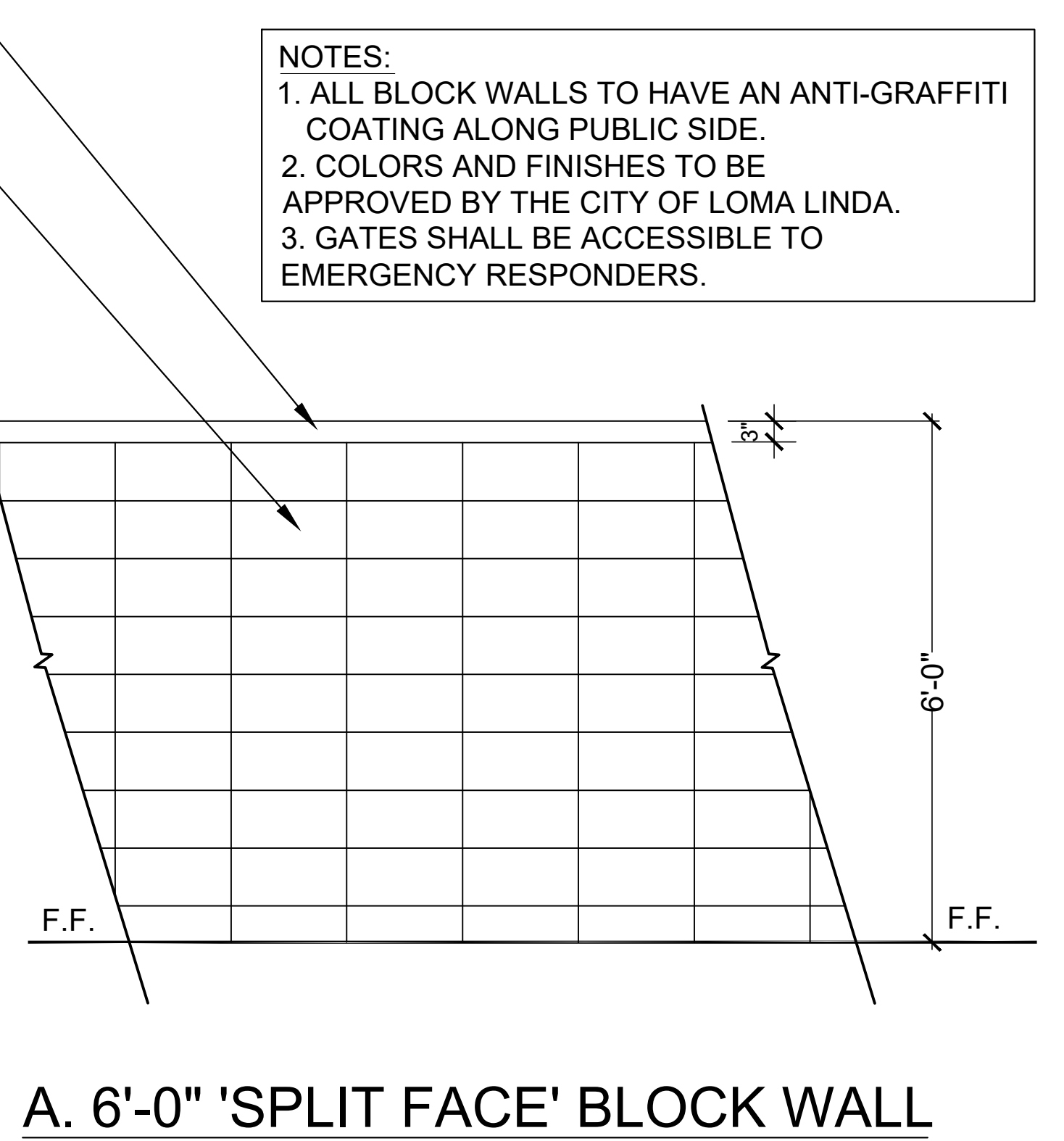
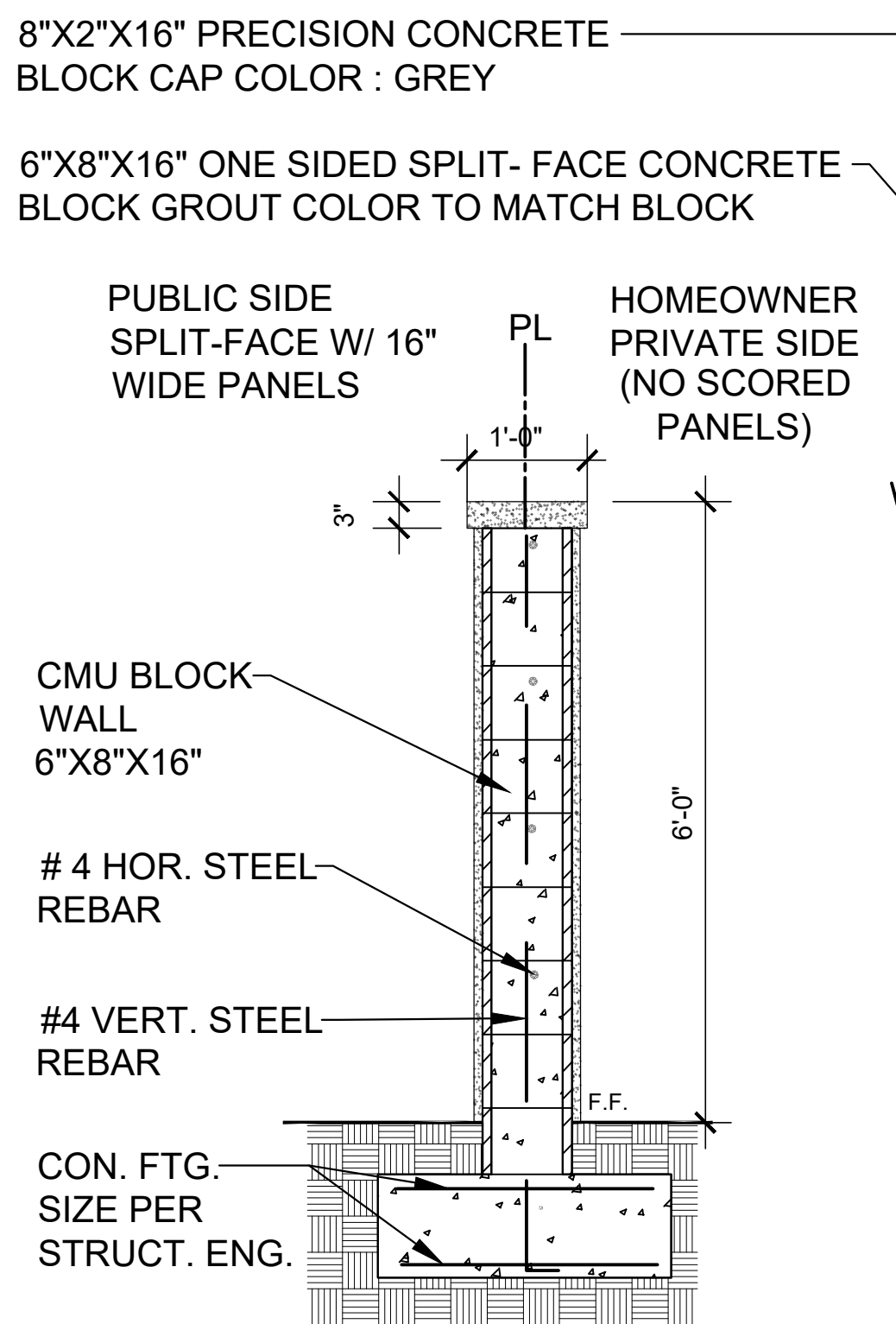
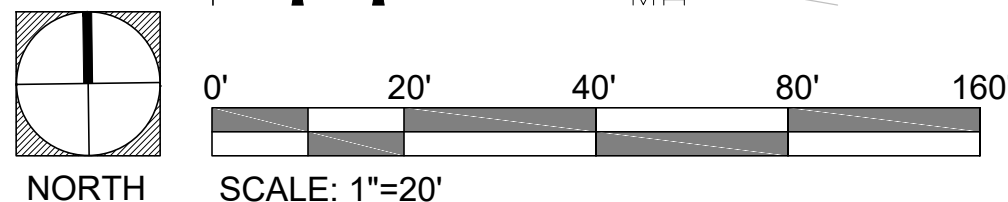
Attachment E



SITE PLAN

WATER CONSERVATION STATEMENT:
THE FOLLOWING DESIGN GUIDELINES ARE TO BE USED IN ORDER TO CONSERVE WATER AND FOR IRRIGATION EFFICIENCY:
1. DRIP IRRIGATION TO MAXIMIZE EFFICIENCY
2. IRRIGATION SYSTEMS TO BE SEPARATED BY HYDROZONES
3. IRRIGATION ZONES TO BE SEPARATED BY SUN EXPOSURE
4. USE OF MASTER VALVE AND FLOW SENSOR
5. USE OF RAIN SHUT-OFF VALVE CONNECTED TO CONTROLLER
6. USE OF SMART CONTROLLER W/ LOCAL ET ACCESS

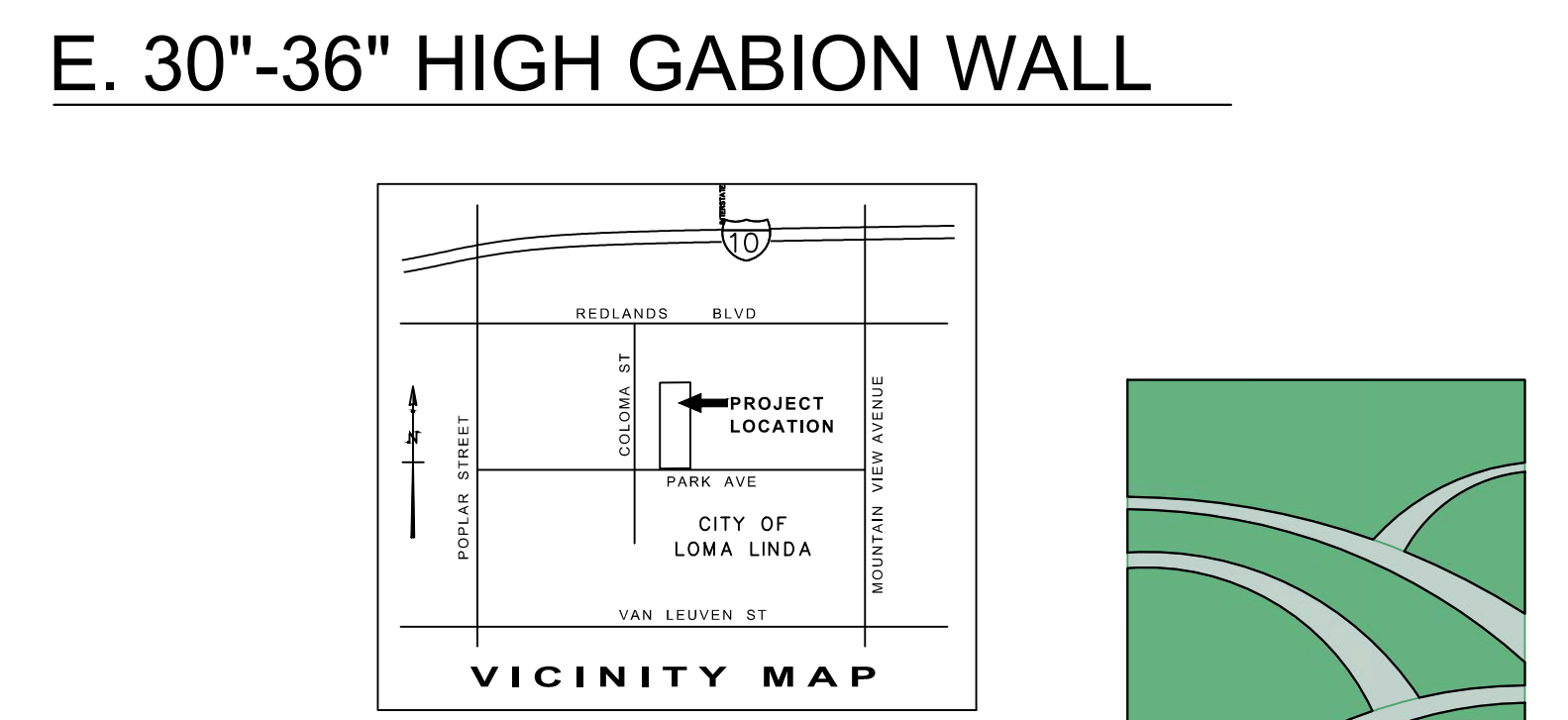
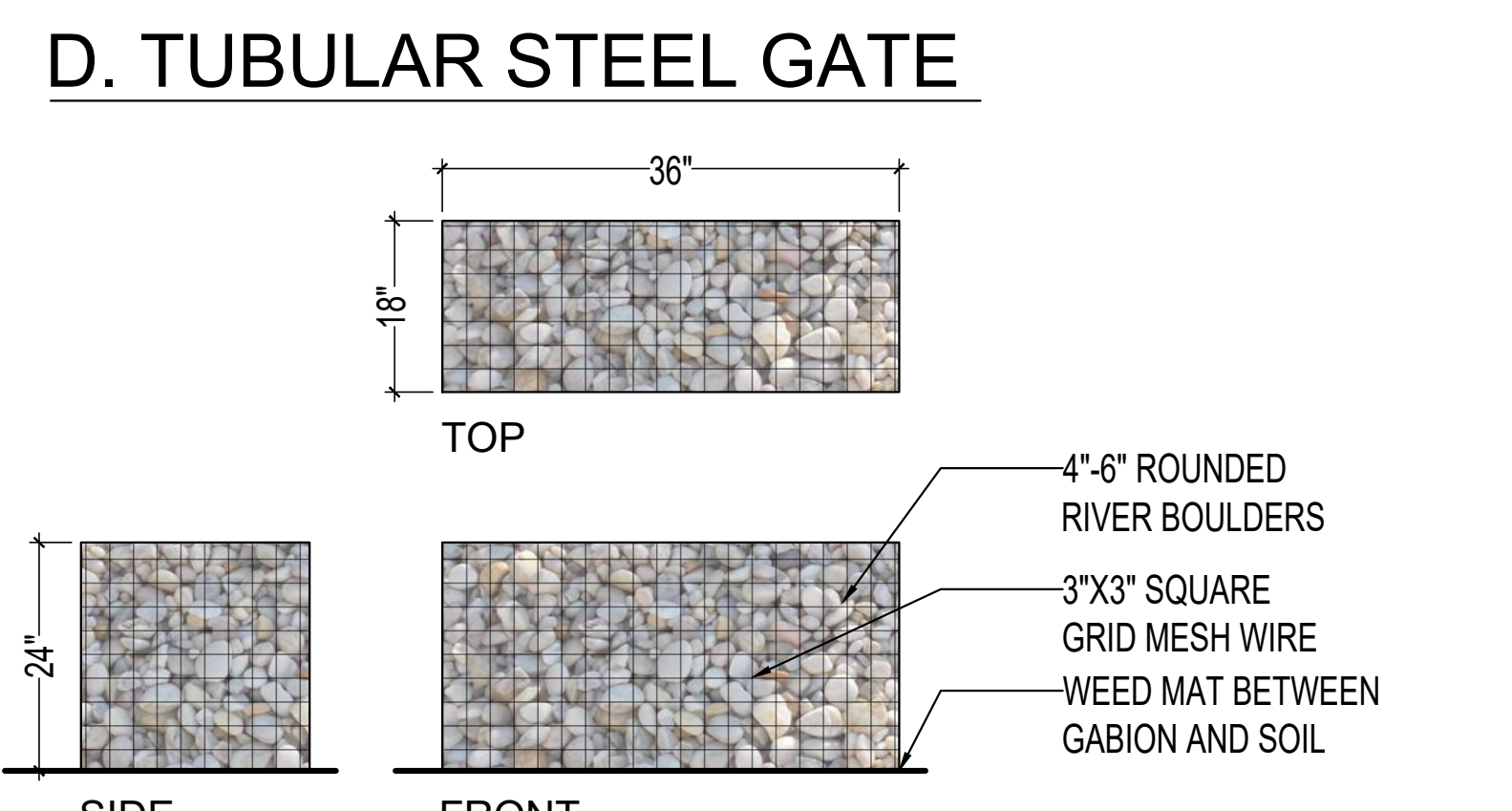
PLANTING NOTES:
1. PROVIDE 3" LAYER OF MULCH (MIN.) IN SHRUB BEDS AND UNPLANTED AREAS; 2" LAYER OF MULCH IN GROUND COVER AREAS; 3" LAYER OF SHREDDED, STABILIZING MULCH FOR SLOPES.
2. TREES SHALL BE STAKED WITH 2-3 STAKES AND 6 TREE TIES PER COUNTY STANDARD DETAILS. USE TRIPLE STAKING WITH 3" DIAMETER STAKES IN HIGH WIND AREAS.
3. ROOT BARRIERS SHALL BE INSTALLED FOR TREES WITHIN 6' (MIN.) OF HARDSCAPE PER COUNTY STANDARD DETAILS. ROOT BARRIER SHALL NOT ENIRCLE THE TREE ROOT BALL BUT SHALL BE LOCATED AT EDGE OF HARDSCAPE AND EXTEND BEYOND CENTER OF TREE A MINIMUM OF 5' IN EACH DIRECTION.
4. TREES SHALL HAVE BREATHERS TUBES PER CITY STANDARD DETAILS.



FRONT YARD MATRIX

NOTE: FRONT YARD TOTAL PERCENTAGE OF LANDSCAPE/OPEN SPACE

LOT	AREA	AREA W/ R.O.W.	R.O.W.	LANDSCAPE OPEN SPACE	TOTAL AREA	OPEN SPACE %
LOT 1	9,583 sq ft	10,834 sq ft	1,240 sq ft	4,300 sq ft	5,540 sq ft	51.13%
LOT 2	9,945 sq ft	10,387 sq ft	442 sq ft	2,576 sq ft	3,018 sq ft	29.05%
LOT 3	9,506 sq ft	9,920 sq ft	413 sq ft	1,833 sq ft	2,246 sq ft	22.72%
LOT 4	9,506 sq ft	9,920 sq ft	413 sq ft	1,772 sq ft	2,185 sq ft	22.10%
LOT 5	9,494 sq ft	9,917 sq ft	423 sq ft	2,330 sq ft	2,753 sq ft	27.76%
LOT 6	8,509 sq ft	8,984 sq ft	475 sq ft	2,665 sq ft	3,140 sq ft	34.95%
LOT 7	8,573 sq ft	8,960 sq ft	386 sq ft	1,913 sq ft	2,300 sq ft	25.73%
LOT 8	10,992 sq ft	11,277 sq ft	284 sq ft	2,333 sq ft	2,617 sq ft	23.20%
LOT 9	8,667 sq ft	8,990 sq ft	314 sq ft	1,909 sq ft	2,223 sq ft	24.72%



Park Subdivision 25450 Park Ave. Loma Linda, CA

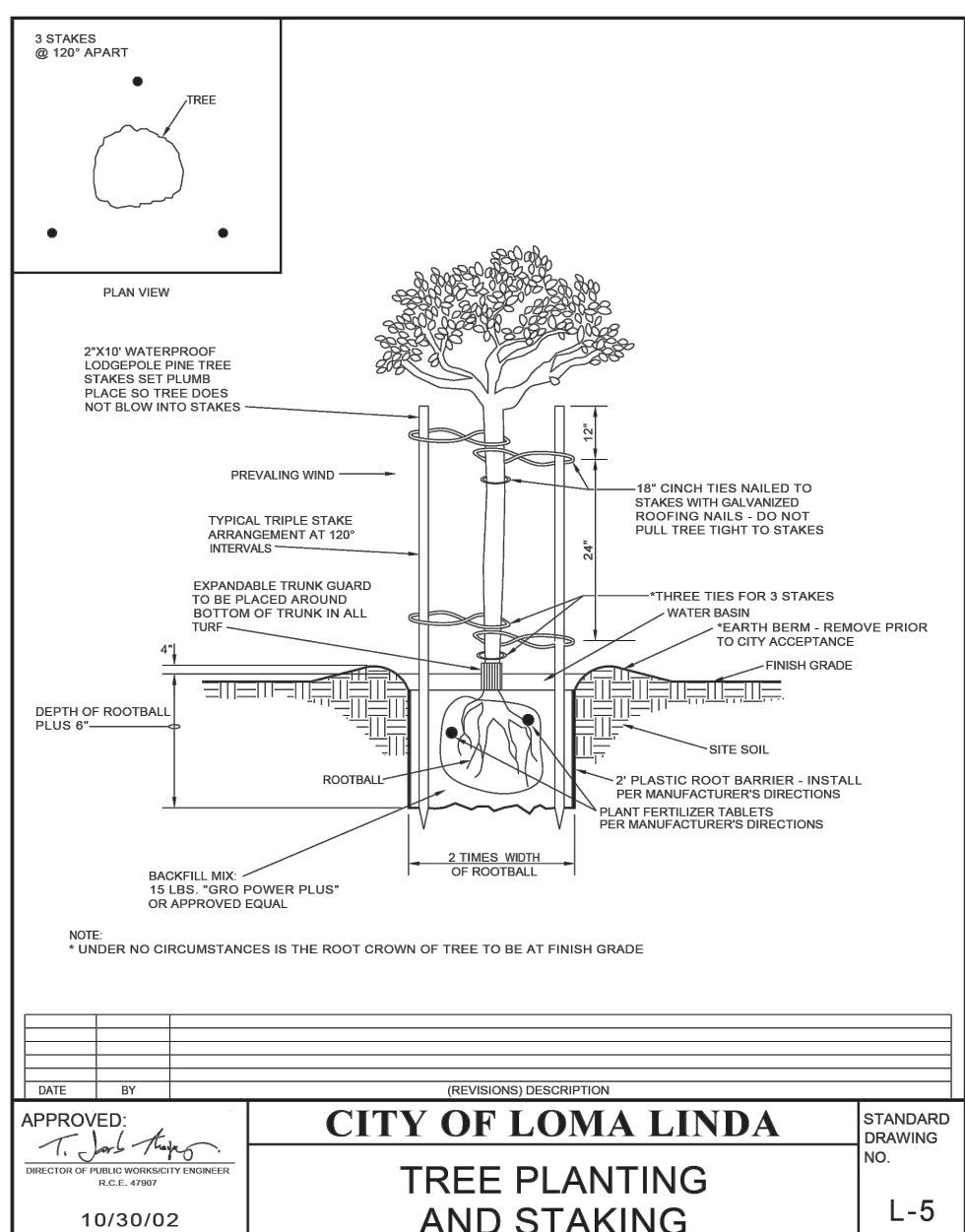
PROJECT INFORMATION
ASSESSOR'S PARCEL NO. 0283-162-20
TOTAL LANDSCAPE AREAS 23,169 SQ. FT.

OWNER/APPLICANT:
AHD LIMITED PARTNERSHIP
CONTACT: ED HADDAD
422 WIER RD
SAN BERNARDINO, CA 92408
909-809-9658

LandArq, Inc.
4345 E. Lowell St. Suite M
Ontario, CA 91761
Phone: 909-259-9428
Email: fausto@landarq.com
Date: 07_27_2023

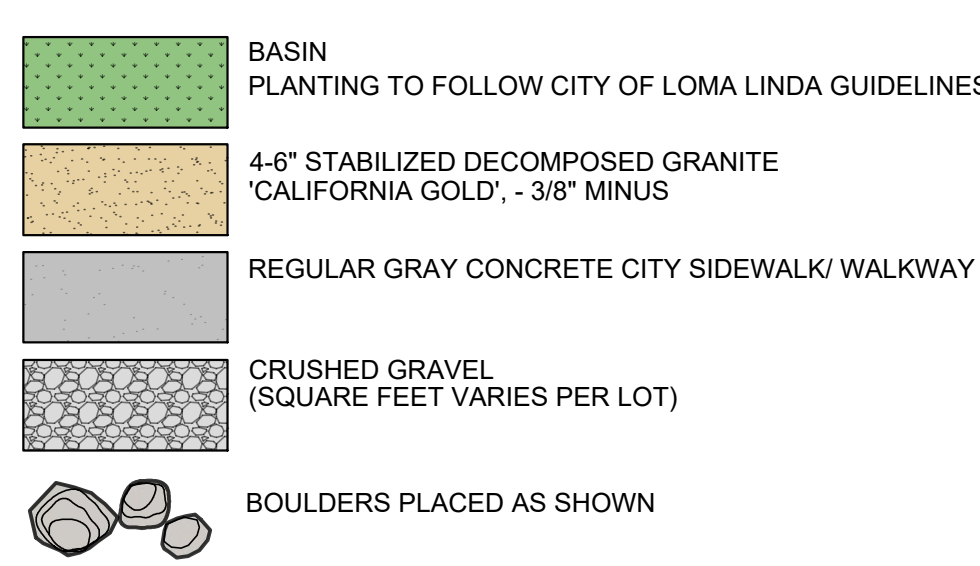


CUL-DE-SAC LOT



PROPOSED PLANT PALETTE

PLANT NAME	SIZE	WUCOLS	QTY
TREE			
EVERGREEN TREE	Olea europaea Fruitless Olive Tree	24" BOX	L 8
DECIDUOUS TREE	Parkinsonia 'Desert Museum' Desert Museum Palo Verde	24" BOX	L 8
R.O.W. TREE	Lagerstroemia indica Craple Myrtle	24" BOX	M 34
EVERGREEN TREE	Quercus suber Cork Oak	24" BOX	L 11
SHRUB			
	Salvia clevelandii Chaparral Sage	5 GAL	L
	Callitriche californica Baja Fairy Duster	5 GAL	L
	Justicia californica Chuparosa	5 GAL	L
	Ceanothus glaucus Desert Bird of Paradise	5 GAL	L
	Achillea tomentosa Woolly Yarrow	1 GAL	L
	Dasyliion whelleri Desert Spoon	5 GAL	L
	Hesperaloe parviflora 'Brakelights' Brakelights Red Yucca	1 GAL	L
	Muhlenbergia capillaris Pink Muhly	5 GAL	L
	Portulacaria afra Elephant's Food	5 GAL	L
	Agave americana Century Plant	5 GAL	VL
	Salvia farinacea Mealy Cup Sage	1 GAL	M
	Euphorbia rigida Gopher Plant	5 GAL	L
	Pyraechania x 'Santa Cruz Prostrata' Prostrate Pyracantha	1 GAL	M
	Rosmarinus officinalis 'Prostratus' Prostrate Rosemary	1 GAL	L
	Myoporum parviflorum Prostrate Myoporum	1 GAL	L



NOTES: LANDSCAPING IS REQUIRED WITHIN THE FRONT SETBACK AREA.

FRONT YARD MATRIX

NOTE: FRONT YARD TOTAL PERCENTAGE OF LANDSCAPE/OPEN SPACE

LOT	AREA	AREA W/ R.O.W.	R.O.W.	LANDSCAPE/ OPEN SPACE	TOTAL AREA	OPEN SPACE %
LOT 1	9,553 ft²	10,834 ft²	1,240 ft²	4,300 ft²	5,540 ft²	51.13%
LOT 2	9,945 ft²	10,387 ft²	442 ft²	2,576 ft²	3,018 ft²	29.05%
LOT 3	9,508 ft²	9,929 ft²	423 ft²	1,833 ft²	2,256 ft²	22.72%
LOT 4	9,508 ft²	9,929 ft²	423 ft²	1,772 ft²	2,195 ft²	22.10%
LOT 5	9,494 ft²	9,917 ft²	423 ft²	2,330 ft²	2,753 ft²	27.76%
LOT 6	8,508 ft²	8,984 ft²	476 ft²	2,665 ft²	3,140 ft²	34.95%
LOT 7	8,573 ft²	8,969 ft²	395 ft²	1,913 ft²	2,308 ft²	25.73%
LOT 8	10,992 ft²	11,277 ft²	284 ft²	2,333 ft²	2,617 ft²	23.20%
LOT 9	8,667 ft²	8,990 ft²	314 ft²	1,909 ft²	2,223 ft²	24.72%

MAWA/ETWU CALCULATIONS

Project Name: TTM 20467 - Park Ave. - 9 LOTS Conceptual Landscape Plan
 Project Address: 24225 Monroe Ave, Murrieta, CA 92562

ETWU= 55.6
 LA= 23,169 sq.ft.
MAWA= (Eto)(0.62)((0.45)xLA)
399341 gal./yr

MAWA=Maximum Applied Water Allowance
 Eto=Reference Evapotranspiration (inch per year)
 0.62=Conversion Factor (to gallons)
 0.45=ET Adjustment Factor for Commercial Project
 LA=Landscape Area (square feet)

Sub ETWU (gal./yr)	Eto	0.62	PF	HA(sq.ft)	IE
ETWU(70% LA)= 138044	55.6	0.62	0.2	16218	0.81
ETWU(15% LA)= 73952	55.6	0.62	0.5	3475	0.81
ETWU(15% LA)= 73952	0.16	55.6	0.62	0.5	3475
Total ETWU= 285948					gal./yr

PF=Plant Factor
 0.0-0.3 for low water use plants
 0.4-0.6 for moderate water use plants
 0.7-1.0 for high water use plants

HA=Hydrozone Area (Low, moderate, high in square feet)
 IE=Irrigation Efficiency (Minimum=0.71)

MAWA 399341 > Total ETWU 285948 gal./yr

17.74.110 Street trees required.

A. Any person who constructs a new building, or increases the floor area of an existing main building by fifty percent (of original size) shall provide a minimum of two twenty-four inch box trees. Applicants with lots having greater than sixty-five lineal feet frontage shall provide one tree per each thirty lineal feet. One thirty-six inch box tree shall be planted for each ten twenty-four-inch box trees required.

B. Tree species shall be selected from the approved master street tree list. If acceptable parkway width does not exist, according to the parkway specifications set forth in master street tree list (Exhibit 'A,' Section 17.74.050 (c)), the applicant shall be required to dedicate additional parkway, which shall be deemed a "tree easement." The easement shall not exceed a total of ten feet in width, to facilitate the planting of said trees. (Ord. 468 § 1, 1992)

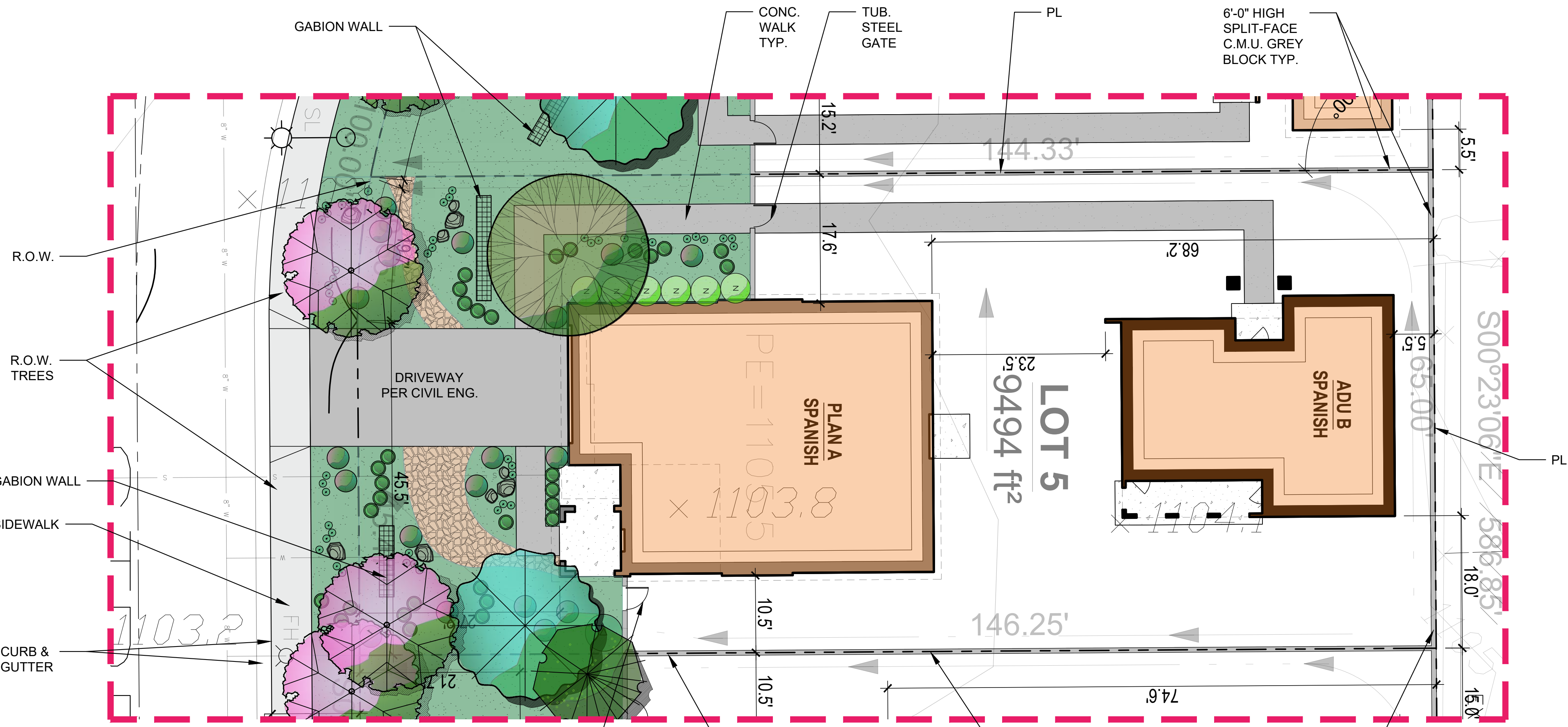
17.74.160 Vision clearance triangles.

All tree and landscape material (hedges, shrubs, etc.) abutting intersecting public or private streets, or occurring along irregularly shaped lots, shall conform to the provisions set forth in Article I, Sections 17.14.010 — 17.14.120. In addition, trees planted in parkways, or street tree easements shall be placed according to the following minimum setbacks:

A. Ten feet from street lamps;
 B. Eight feet from fire hydrants;
 C. Five feet from sidewalks (An alternative to this setback is to place street trees one foot from the property line, where sidewalks abut the curb; and where the curb is separated from the sidewalk by a parkway, in the center of the parkway);
 D. Eight feet from sewer and water mains;
 E. Twenty-five feet from stop signs. (Ord. 468 § 1, 1992)

WALL/FENCE LEGEND

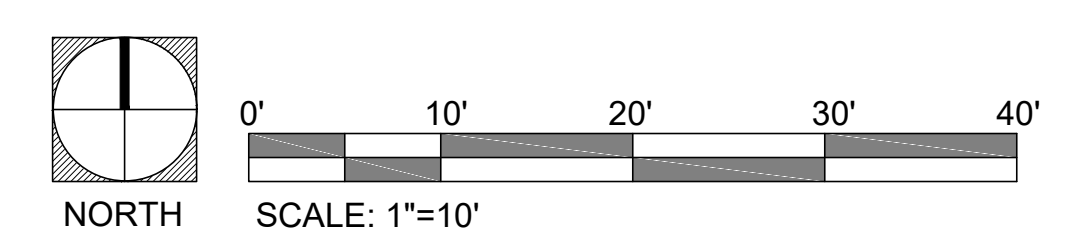
SYMBOLS	DESCRIPTION
	6'-0" HIGH X 3'-0" WIDE TUBULAR STEEL GATE
	ON ALL REAR PERIMETER WALLS CONTRACTOR SHALL CONSTRUCT 6'-0" HIGH SCORED C.M.U. GRAY BLOCK WALL. EXTERIOR SIDE IS TO HAVE A 16" WIDE PANEL EVERY 50'.
	6'-0" HIGH WROUGHT IRON FENCE



INTERIOR LOT



CORNER LOT



Park Subdivision 25450 Park Ave.

Loma Linda, CA

PROJECT INFORMATION

ASSESSOR'S PARCEL NO. 0283-162-20
 TOTAL LANDSCAPE AREAS 23,169 SQ. FT.

LandArq, Inc.
 4345 E. Lowell St. Suite M
 Ontario, CA 91761
 Phone: 909-259-9428
 Email: fausto@landarq.com
 Date: 07_27_2023



City of Loma Linda

25541 Barton Road, Loma Linda, CA 92354 ☎ (909) 799-2830 📠 (909) 799-2894

Community Development Department

CONDITIONS OF APPROVAL

PROJECT DESCRIPTION: Tentative Tract Map No. P22-264 (Map No. 20467) and Precise Plan of Design (PPD) No. P22-266 – a request to demolish a single-family home and develop a single-family residential subdivision, comprised of 9 residential lots, one letter lot, and a new public street. The site is located within the Low Density Residential (R-1) General Land Use designation and Zoning District. (APN: 0283-162-20).

PLANNING DIVISION (909) 799-2827

General

1. The project shall be constructed and operated in accordance with the authorized use as described in the approval application materials and plans provided to the City Council.
2. Within two (2) years of this approval, the project shall be exercised by substantial construction or the permit/approval shall become null and void. In addition, if after commencement of construction, work is discontinued for a period of one year, the permit/approval shall become null and void.

PROJECT CASE NUMBERS

**Tentative Tract Map No. P22-264
Precise Plan of Design No. P22-266**

EXPIRATION DATE

February 7, 2026

3. The review authority may, upon application being filed 30 days prior to the expiration date and for good cause, grant a one-time extension not to exceed 12 months. The review authority shall ensure that the project complies with all current Development Code provisions.
4. The Project Proponent shall indemnify, protect, defend, and hold harmless the City, and any agency or instrumentality thereof, and officers, officials, employees, or agents thereof, from any and all claims, actions, suits, proceedings, or judgments against the City, or any agency or instrumentality thereof, and any officers, officials, employees, or agents thereof to attack, set aside, void, or annul, an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board, or legislative body, including actions approved by the voters of the City, concerning the project and the approvals granted herein, including without limitation the conditions of approval. Furthermore, the Project Proponent shall indemnify, protect, defend, and hold harmless the City, or any agency or instrumentality thereof, against any and all claims, actions, suits, proceedings, or judgments against another governmental entity in which Owner's project is subject to that other governmental

entity's approval and a condition of such approval is that the City indemnify and defend such governmental entity.

5. In the event that this approval is legally challenged, the City will promptly notify the Project Proponent of any claim or action and will cooperate fully in the defense of the matter. Once notified, the Project Proponent agrees to defend, indemnify, and hold harmless the City, their affiliates, officers, agents and employees from any claim, action or proceeding against the City of Loma Linda. The Project Proponent further agrees to reimburse the City of any costs and attorney's fees, which the City may be required by a court to pay as a result of such action, but such participation shall not relieve the Project Proponent of his or her obligation under this condition.
6. During the lifetime of the permit, the Project Proponent must comply with all applicable laws and regulations of every local, state, and federal entity; and all such requirements and enactments will be incorporated by reference as conditions of this permit. The duty of inquiry as to such requirements and any amendments thereto will be upon the Project Proponent and his or her transferees or successor in interest.
7. The Project Proponent and property owner, including successors, shall be responsible for compliance with all the Conditions of Approval, mitigations, and any recommendations contained in any submitted and approved technical report at his/her sole cost and expense, subject to review and approval of the City of Loma Linda.
8. Violation of any term, condition, or project description relating to this approval is unlawful, prohibited, and a violation of the Loma Linda Municipal Code. The City reserves the right to initiate civil and/or criminal enforcement and/or abatement proceedings, or after notice and public hearing, to revoke the approval or alter these conditions if it is found that there is a violation of any of the conditions or provisions in the Municipal Code, or the project operates as or causes a public nuisance. This provision is not intended to, nor does it, limit in any manner whatsoever the ability of the City to take appropriate enforcement actions without regard to whether any public hearings are conducted.
9. A copy of the Action (approval) letter and Conditions shall be signed by the Project Proponent, attached to each set of permit plans submitted to the appropriate City department for the project, and made available at the project job site at all times.
10. Construction shall be in substantial conformance with the plan(s) approved by the Planning Commission and/or City Council. Minor modification to the plan(s) shall be subject to approval by the Director through a minor administrative variation process. Any modification that exceeds 10% of the following allowable measurable design/site considerations shall require the refilling of the original application and a subsequent hearing by the appropriate hearing review authority if applicable. Modifications may include:
 - a. On-site circulation and parking, loading and landscaping;
 - b. Placement and/or height of walls, fences and structures;

- c. Reconfiguration of architectural features, including colors, and/or modification of finished materials that do not alter or compromise the previously approved theme; and,
 - d. A reduction in density or intensity of a development project.
11. No vacant, relocated, altered, repaired or hereafter erected structure shall be occupied or no change of use of land or structure(s) shall be inaugurated, or no new business commenced as authorized by this permit until a Certificate of Occupancy has been issued by the Building Division. A Temporary Certificate of Occupancy may be issued by the Building Division subject to the conditions imposed on the use, provided that a deposit is filed with the Community Development Department prior to the issuance of the Certificate, if necessary. The deposit or security shall guarantee the faithful performance and completion of all terms, conditions and performance standards imposed on the intended use by this permit.
12. The subdivision shall conform to all provisions of Title 16 of the Loma Linda Municipal Code (LLMC) and comply with the Subdivision Map Act.
13. This approval is subject to all the applicable provisions of the Loma Linda Municipal Code, Title 17 in effect at the time of approval, and includes development standards and requirements relating to: dust and dirt control during construction and grading activities; emission control of fumes, vapors, gases and other forms of air pollution; glare control; exterior lighting design and control; noise control; odor control; screening; signs, off-street parking and off-street loading; and, vibration control. Any exterior structural equipment, or utility transformers, boxes, ducts or meter cabinets shall be architecturally screened by wall or structural element, blending with the building design and include landscaping when on the ground.
14. Signs are not approved as a part of this permit. Prior to establishing a community monument sign, or any new signs, the Project Proponent shall submit an application, and receive approval, for a sign permit from the Planning Division (pursuant to LLMC, Chapter 17.18) and a building permit for construction of the signs from the Building Division, as applicable.
15. Any proposed walls, fence, and/or patios, will require a separate review and permit from the Planning and Building and Safety Divisions. Submit during Plan Check.
16. All graffiti and other forms of vandalism shall be promptly removed and/or repaired within forty-eight hours of notification.
17. The Project Proponent shall comply with all existing and future CARB and SCAQMD regulations related to diesel-fueled trucks, which may include among others: (1) meeting more stringent emission standards; (2) retrofitting existing engines with particulate traps; (3) use of low sulfur fuel; and (4) use of alternative fuels or equipment.
18. Prior to the issuance of grading permits, submit proposed street name to the Community Development Department. All street names will be coordinated with and approved by the Street Naming Committee and the Fire Department.

19. Prior to the issuance of grading permits, applicant shall submit funds to cover the cost of mitigation monitoring by City and/or condition compliance fees in effect for the City of Loma Linda as well as any other public agency having jurisdiction over the project in effect at the time.
20. Prior to issuance of building permits, the applicant shall submit to the Community Development Department (Building and Safety Division) proof of payment or waiver from the City of San Bernardino for sewer capacity fees and the Redlands Unified School District for school fees.
21. Prior to the issuance of building permits, the Development Impact Fees shall be paid to the City of Loma Linda. It shall cover 100 percent of the pro rata share of the estimated cost of public infrastructure, facilities, services, park, traffic fair share, etc.
22. All applicable fees shall be paid to the City of Loma Linda prior to the issuance of any building and/or construction permits.

Landscaping

23. During the Plan Check process, the Project Proponent shall submit three sets of any final landscape plan(s) prepared by a state licensed Landscape Architect, subject to the approval of the Community Development Department, and Public Works Department for landscaping in the public right-of-way. Landscape plans for any Landscape Maintenance District shall be on separate plans.
24. The Final Landscape Plans shall confirm to the City's landscape regulation and the State Model Water Efficient Landscape Ordinance, as adopted by the City (LLMC, Ch. 13).
25. Landscape plans shall depict the utility laterals, concrete improvements, and tree locations. Any modifications to the landscape plans shall be reviewed and approved by the Public Works and Community Development Departments prior to issuance of permits.
26. Final landscape and irrigation plans shall be in substantial conformance with the approved preliminary landscape plan and the conditions of approval including areas of public right-of-way. Any and all fencing or walls shall be illustrated on the final landscape plan.
27. The Project Proponent shall maintain the property and landscaping in a clean and orderly manner and all dead and dying plants shall be replaced with similar or equivalent type and size of vegetation.
28. For a lifetime of this permit, the Project Proponent must allow a 14-foot vehicular path clearance at all times.
29. For a lifetime of this permit, the Project Proponent must replace all dead or missing plants and trees as to comply with the approved landscape plan.

BUILDING AND SAFETY DIVISION (909) 799-2836

30. Upon approval, the Project Proponent shall submit four (4) sets of professionally prepared plans to the Building and Safety Division's Plan Check process. Plans must comply with the adopted 2022 California Building and Fire Code. (two for Willdan, one for Fire, one Public Works)
31. Along with those sets, the Project Proponent shall also submit two sets of structural calculations and two sets of Title 24.
32. Obtain a demolition permit for any the residential structure to be demolished. If applicable, any underground structures must be broken in, back-filled and inspected before covering.
33. The Project Proponent shall comply with the LLMC, Chapter 17.24.310 and the California Green Building Standard Code, Section 5.106 to reduce light pollution. A photometric lighting plan will be required to show staff the exact locations of light poles, proposed orientation, and shielding of the fixtures to prevent glare onto adjacent properties. See Condition #83.
34. During construction of the site, the project shall comply with Section 9.20 (Prohibited Noises) which limit construction activities to the hours between 7:00 a.m. to 8:00 p.m. Monday through Friday, with no heavy construction occurring on weekends or national holidays. Additionally, all equipment is required to be properly equipped with standard noise muffling apparatus. Adhering to the City's noise ordinance would ensure impacts from construction noise would be less than significant.
35. The Project Proponent shall implement SCAQMD Rule 403 and standard construction practices during all operations capable of generating fugitive dust, which will include but not be limited to the use of best available control measures and reasonably available control measures such as:
 - a. Water active grading areas and staging areas at least twice daily as needed;
 - b. The Project Proponent shall ensure that all disturbed areas are treated to prevent erosion until the site is constructed upon.
 - c. The Project Proponent shall ensure that landscaped areas are installed as soon as possible to reduce the potential for wind erosion.
 - d. Suspend grading activities when wind gusts exceed 25 mph;
 - e. Sweep public paved roads if visible soil material is carried off-site;
 - f. Enforce on-site speed limits on unpaved surface to 15 mph; and
 - g. Discontinue construction activities during Stage 1 smog episodes.
36. The Project Proponent shall work with the City's franchised solid waste hauler to follow a debris management plan to divert the material from landfills by the use of separate recycling bins (e.g., wood, concrete, steel, aggregate, glass) during demolition and construction to minimize waste and promote recycle and reuse of the materials.

37. To reduce emissions, all equipment used in grading and construction must be tuned and maintained to the manufacturer's specification to maximize efficient burning of vehicle fuel.
38. The operator shall maintain and effectively utilize and schedule on-site equipment in order to minimize exhaust emissions from truck idling.
39. The Project Proponent shall ensure that existing power sources are utilized where feasible via temporary power poles to avoid on-site power generation during construction.
40. The Project Proponent shall ensure that construction personnel are informed of ride sharing and transit opportunities.

INFORMATION SYSTEMS (IT) DEPARTMENT (909) 799-2411

41. The Project Proponent shall provide infrastructure for the Loma Linda Connected Community Program, which includes providing a technologically enabled development that includes coaxial, cable and fiber optic lines to all outlets in each unit of the development. Plans for the location of the infrastructure shall be provided with the submittal, which includes providing a technologically enabled development that includes coaxial, cable, and fiber optic lines to all outlets in each unit of the development. Plans for the location of the infrastructure shall be provided with the precise grading plans and reviewed and approved by the City of Loma Linda prior to issuing grading permits.

FIRE DEPARTMENT (909) 799-2853

42. All construction shall meet the requirements of the 2022 California Building Code (CBC) and the California Fire Code (CFC)/International Fire Code (IFC) as adopted and amended by the City of Loma Linda and legally in effect at the time of issuance of building permit.
43. On-site civil engineering improvement plans shall be submitted to Fire Prevention for review and approval prior to construction.
44. Deferred submittals for a NFPA 13D sprinkler system. Pursuant to CFC Section 903, as amended in Loma Linda Municipal Code (LLMC) Sections 15.28.230-450, the building(s) shall be equipped with automatic fire sprinkler system(s). Pursuant to CFC Section 901.2, plans and specifications for the fire sprinkler system(s) shall be submitted to Fire Prevention for review and approval prior to installation. Fire flow test data for fire sprinkler calculations must be current within the last 6 months. Request flow test data from Loma Linda Fire Prevention.
45. Builder must submit the fire safety and prevention plan to AHJ for authorization prior to starting work.
46. NASFM Construction Fire Safety training for PM and site supervisors.
47. No lumber drops until fire underground is installed and tested, and fire department access points and road have been established.

48. CFC Chapter 33 shall be maintained at all times during construction/demolition.
49. Street names. Prior to recordation of street names, the proposed names will be submitted to Community Development Department the Fire Prevention Division for review and approval.
50. Street name signs must be installed in conjunction with road improvements and the sign must be in accordance with the City's standards.
51. Illuminated address for each structure per LLMC 15.28.190 section 505.1.
52. Comply with Section 503.2.4 Turning Radius. The required turning radius of a fire apparatus access road shall be determined by the fire code official.
53. Provide hydrants for fire flow requirements per CFC Annex B and BB.
54. All fire hydrants shall be installed and tested for review and approval by the Fire Department.
55. Fire lines and signage, as indicated on the approved FD access plan, shall be maintained at all times.
56. Structures under construction shall be provided with not less than one approved portable fire extinguisher in accordance with §906 of the CFC.
57. Combustible waste material shall be removed from buildings at the end of each shift of work.
58. Builder must have an all-weather driving surface, and the fire loop and hydrants must be in installed, inspected, and tested prior to any lumber drop.
59. Builder and employees must take the National Association State Fire Marshals construction fire safety training prior to the start of the project.
60. Project Proponent is required to obtain an approved Fire Department Access Plan before issuance of Building Permits.
61. For all notes, guidelines and FD apparatus specifications for plan submittal:
http://www.lomalindaca.gov/our_city/departments/fire/fire_prevention/fire_plan_check_application

PUBLIC WORKS DEPARTMENT (909) 799-4407

62. Prior to issuance of a grading permit, the Project Proponent must submit improvement plans on 24" x 36" sheets having the City's standard signature blocks. All plans must be drawn in ink and must be signed by a California State Registered Civil Engineer at the time of first submittal. Project Proponent must submit improvement plans for the entire project as one package and must include all project improvements shown on the approved project exhibits and those to be designed per these Conditions. Piecemeal submittal of plans is not acceptable. Plans and studies must be signed by a California State Registered Civil Engineer at the time of first submittal. This package must include all supporting studies.

63. The precise grading plan with hydrology study, hydraulic calculations, and soils report for the project shall be approved by the City of Loma Linda Public Works Department prior to issuance of any building permits.
64. Public improvement plans shall be submitted to Public Works for review and approval.
65. A Final Map, with conditions, is required in compliance with the Loma Linda Municipal Code and the Subdivision Map Act, to be submitted to the Public Works Department (Engineering) for review. Submit two copies of the maps with fee payment.
66. The Project Proponent shall record the approved Final Map within two years of approval with the San Bernardino County Recorder pursuant to the provisions of the State Subdivision Map Act prior to issuance of any permits.
67. The Project Proponent shall install or bond for all off-site improvements prior to recording the Final Map.
68. The Project Proponent shall dedicate the ultimate right-of-way street width to the City by Final Map.
69. Easements of record not shown on the Final Map shall be relinquished or relocated. Lots affected by proposed easements or easement of records, which cannot be relinquished or relocated, shall be redesigned.
70. The Project Proponent must install and maintain the street trees, parkway landscaping, open space paseo, and irrigation system within the development. Once installed, the property owner, must maintain these improvements in perpetuity.
71. Prior to the issuance of Certificate of Occupancy of the first building completed, Project Proponent must have completed installation of Right-of-Way landscape improvements as shown on the City Approved Landscape Plans.
72. The Project Proponent shall comply with all of the Public Works Department requirements for recycling prior to issuance of a Certificate of Occupancy.
73. The Project Proponent shall submit final grade certifications, by the grading engineer, to the Public Works Department prior to issuance of any Certificate of Occupancy.
74. Any damage to existing improvements as a result of this project shall be repaired by the Project Proponent to the satisfaction of the City Engineer.
75. NPDES requirements apply, including SWPPP and WQMP.
76. Prior to issuance of grading permits, the Project Proponent shall submit to the City Engineer a Notice of Intent (NOI) to comply with obtaining coverage under the National Pollutant Discharge Elimination System (NPDES) General Construction Storm Water Permit from the State Water Resources Control Board. Evidence that this has been obtained (i.e., a copy of the Waste Dischargers Identification Number) shall be submitted to the City Engineer for coverage under the NPDES General Construction Permit.

77. All lots shall drain to streets or other approved device. All additional drainage due to development shall be mitigated on-site, no cross lot drainage will be allowed unless suitable easements are provided. A Water Quality Management Plan is required to address on-site drainage construction and operation.
78. All necessary precautions and preventive measures shall be in place in order to prevent material from being washed away by surface waters or blown by wind. These controls shall include at a minimum: regular wetting of surface or other similar wind control method, installation of straw or fiber mats to prevent rain related erosion. Detention basin(s) or other appropriately sized barrier to surface flow must be installed at the discharge point(s) of drainage from the site. Any water collected from these controls shall be appropriately disposed of at a disposal site. These measures shall be added as general notes on the site plan and a statement added that the operator is responsible for ensuring that these measures continue to be effective during the duration of the project construction.
79. The project shall comply with the Low Impact Development (LID) Principles and LID Best Management Practices (BMPs) for Southern California.
80. The Project Proponent shall require that all construction equipment is properly maintained with operating mufflers and air intake silencers and prioritizes the location of equipment staging and storage as far as practical from the existing residential unit south of the site, respectively.
81. The Project Proponent shall comply with City adopted policies and ordinance regarding the reduction of construction and demolition (C&D) materials, including a required solid waste management plan. Coordinate with Public Works.
82. The Project Proponent must complete, if applicable, and submit the following to Public Works:
 - a. Anything greater than 5:1 slope will require fencing.
 - b. Water, sewer, storm drain improvements will be required.
 - c. A minimum 2 street trees will be required per home.
 - d. LMD and Street Light Maintenance District annexation.
83. Prior to issuance of grading permits, the Project Proponent shall submit a photometric plan and final lighting plan to City staff showing the exact locations of light poles and the proposed orientation and shielding of all light fixtures to prevent glare onto existing and potential future development surrounding the Project Site.
84. LED Street light locations shall be approved by the City of Loma Linda. Streetlights shall be installed and energized prior to release for occupancy for any houses.
85. "Record Revisions" or "As-Builts" shall be made to all plans to reflect the changes to the improvements as constructed.
86. The subdivision shall be provided with a covenant establishing an architectural review committee to maintain the architectural integrity of the buildings.

87. Landscape and Irrigation Plan shall be submitted to the Community Development and Public Works Department for review and approval during the Plan Check process.
88. The Project Proponent shall design public improvements including sidewalk, drive approaches and handicap ramps in accordance with all requirements of the State of California Accessibility Standards, Title 24 California Administrative Code.
89. Public utility easements shall be dedicated to cover all utilities either by map or separate document.
90. City of Loma Linda shall be the water and sewer purveyor.
91. The Project Proponent must provide utilities and design improvements such that all existing and proposed utilities are underground and meeting city specifications, including location, distance and separation requirements, and away from driveways and trees.
92. The Project Proponent shall pay for the relocation of any power poles or other existing public utilities as necessary.
93. All fire hydrants and their distribution mains shall be made part of the Public System.
94. Water mains, fire hydrants, services and meters shall be sized and installed to City of Loma Linda standards and as shown on the approved utility plans for the development. These utilities shall be public and constructed within public right-of-way or public utility easements. Submit plans for review and approval.
95. Improvement plans shall include all connections and locations to the City mains for on-site irrigation, including all meter and backflow prevention devices. A non-potable irrigation system shall be installed for all separate right-of-way landscaping.
96. The Project Proponent shall provide a storm drain system prior to issuance of Certificate of Occupancy.
97. No commencement of public street work shall be permitted, except rough grading, until dedication for that street has been recorded. The Project Proponent shall obtain a permit prior to any construction within the City's right-of-way.
98. Any abandoned wells on the property or similar structures shall be destroyed in a manner approved by the Public Works Department in accordance with the State of California Department of Health Services or other appropriate oversight agency.
99. All underground structures, except those desired to be retained, shall be broken in, backfilled, and inspected before covering.
100. Should future/subsequent project construction require soil excavation or filling in certain areas, soil sampling may be required. If soil is contaminated, it must be properly disposed. Land Disposal Restrictions (LDRs) may be applicable to such soils. Soil sampling shall also be conducted on any imported soil.

101. The Project Proponent shall comply with the prevailing City standards and requirements at the time of construction.
102. Construct street improvements (including, but not limited to curb and gutter, asphalt concrete pavement, aggregate base, sidewalk, one drive approach per lot, and street lights) on all interior streets.
103. Provide adequate corner sight distance per Caltrans standards at intersection and submit verification of same to the Public Works Department as required in conjunction with plan checking of the street improvement plans.
104. All street names should be coordinated with the Street Naming Committee, including the Historical Commission.
105. Install street name signs and traffic control signs with locations and types approved by the Public Works Department.
106. Developer shall install improvements (including off-site) to transition traffic and drainage flows from proposed to existing.
107. Stripe and sign for bike lanes for roadway designated by the City for bike lanes.
108. Comply with state law regarding waste management and the City's Refuse Collection, Recycling and Disposal Ordinance.
109. The project shall form and join the Landscape Maintenance District (LMD). The developer develops scope of service and submits to Public Works for approval. The formation of an LMD involves the annexation of the subdivision territories benefiting from the LMD improvements.
110. All areas to be landscaped in front of project boundary walls, within traffic medians, along project street frontages and on major slopes annexed to the City's Landscape Maintenance District in accordance with City policy.
111. Pay appropriate fees for plan check, inspection, GIS map plan update, and microfilming and storage of maps and plans, and other required fees.
112. Submit the City form for the agreement for construction of improvements with the City of Loma Linda.
113. All studies required within these conditions require a deposit to cover the cost of the review of the studies. Additional deposits may be required or a refund issued when the costs do not match the deposits.
114. Prior to requesting a final inspection for release of securities, the Project Proponent must submit record drawings, certifications, final soils report, and a digital file of record drawings to the Department.
115. Prior to occupancy, the Project Proponent must complete all improvements per the accepted plans and approved conditions, and obtain acceptance for the improvements from the City.
116. Prior to the issuance of a certificate of occupancy the Project Proponent must purchase and install all domestic water meters for the entire

project. Meter installations require inspection and approval by the Water Division (Public Works Department).

117. The Project Proponent must install root barriers, adjacent to back side of sidewalk, when planting on-site tree(s) within 10 feet from the public rights-of-way and public sidewalk.

END OF CONDITIONS

Applicant Statement

I have read and accept responsibility for the Conditions of Approval. I agree to abide by and conform to the Conditions of Approval and the provisions of the Loma Linda Municipal Code pertaining to the project.

Printed Name of Project Proponent

Signature of Project Proponent

Date



City of Loma Linda Fire Department

Community Risk Reduction Division

I am writing to update the Planning Commission of the ongoing review conducted by the Fire Department for Tentative Tract Map No. P22-264 Precise Plan of Design No. P22-266 9-Lot Residential Subdivision. After an initial review, it appears that the proposed project is unlikely to require significant design changes to meet fire safety requirements. To expedite the process and alleviate burden on the applicant, I am allowing the project to move forward with entitlement without the Fire Department Access Plan approval. Staff has added a condition that the approval of the Fire Department Access Plan will be required before issuance of building permits. This ensures that the final plans undergo a thorough review to guarantee compliance with all relevant fire safety regulations.

Respectfully,

Tom Ingalls

Fire Marshal

909-799-2853

tingalls@lomalinda-ca.gov



City of Loma Linda

Planning Commission Staff Report

Prepared By: Sara Garcia Barrera

Planning Commission Minutes

Minutes of Planning Commission Regular Meeting of January 3rd, 2024

Meeting	Agenda Group	
Wednesday, March 6, 2024, 7:00 PM	Approval of Minutes	Item: 4A
From		
Sara Garcia Barrera, Administrative Specialist II		

Approved/Continued/Denied by City Council

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Attachments

Planning-Commission-01-3-2024-minutes.pdf

**** The following document is a draft of the minutes and the not the official approved minutes**

Minutes for the Planning Commission

25541 Barton Road, Loma Linda, CA 92354

January 3, 2024, 7:11 PM - January 3, 2024, 7:38 PM

Roll Call:

- **Ryan Gallant**, Vice-Chairman
- **John Nichols**, Chairman
- **Jay Nelson**, Commissioner

Commissioners Absent:

- **Doree Morgan**, Commissioner
- **Larry Karpenko**, Commissioner

1. Call to Order

1A. Call to Order- 7:11 PM

1B. Roll Call- 7:11 PM

1C. Pledge of Allegiance- 7:11 PM

1D. Items to be Added or Deleted- 7:11 PM

1E. Conflict of Interest Disclosure- 7:11 PM

1F. PUBLIC COMMENT ON NON-AGENDA ITEMS (LIMITED TO 30 MINUTES; 3 MINUTES ALLOTTED FOR EACH SPEAKER) - 7:11 PM

2. Public Hearing Items

2. CONTINUED ITEM FROM OCTOBER 4, 2023 Precise Plan of Design No. P20-138 - A request to develop a three-story, 8,997 square-foot motel to include 25 rooms on a vacant lot of .41 acres located at 24850 Redlands Boulevard (APN: 0281-091-41). The site is located within the General Commercial (C-2) General Land Use Designation and Zoning District.-

Chairman Nichols opened the Public Hearing.

Lorena Matarrita, Community Development Director, presented the revised project plans.

Commissioner Nelson inquired about the color board, the roof plan, and the second-level floor plan. Pete Volbeda, architect, shared his color board with the Planning Commission. Staff answered questions, confirming that the project met development standards and requirements.

Chairman Nichols expressed satisfaction with the changes made to the elevations, as previously requested.

Vice Chairman Gallant and the architect discussed the colors shown on the renderings and the elevations.

Chairman Nichols and the architect discussed the maintenance provisions of the neon lighting.

Chairman Nichols invited public to comments on the project.

Gary Miller, a Redlands Resident, spoke in opposition of the project.

Pete Volbeda addressed the concerns raised by the public speaker regarding the elevations and Fire Department requirements.

Planning Commissioners discussed the concerns and requested further modifications.

A motion was made by Chairman Nichols, seconded by Vice-Chairman Gallant, to continue the item to the regularly scheduled meeting of February 7, 2024. The Commission requested that the applicant collaborate with Staff to address concerns related to the elevations, plans, and building requirements.

Chairman Nichols closed the Public Hearing.

2A. Development Code Amendment No. P23-222 and Council Bill #O-2024-01, an ordinance amending Title 17 (Zoning) of the Loma Linda Municipal Code by adding Chapter 120 pertaining to streamlined housing development projects-

Lorena Matarrita, Community Development Director, introduced Laura Stetson, a planning consultant from MIG.

Laura Stenson presented the ordinance via Zoom.

Chairman Nichols asked for clarification on the impacts of the ordinance on the City and future housing developers. Lorena Matarrita confirmed that the ordinance is designed to apply to

developers proposing projects with specific affordable housing criteria on designated sites.

A motion was made by Vice Chairman Gallant and seconded by Commissioner Nelson to approve and forward the ordinance to City Council.

3. Approval of Minutes

Motion by Commissioner null, seconded by null and passing by a vote of 3-0-0-2 null Absent was Larry Karpenko, Doree Morgan

3A. Approval of Minutes 10-05-2023- 8:11 PM

4. Reports

4A. Commissioners' Reports- 8:32 PM

Commissioner Nelson wanted to thank the Public Works Department for changing the City signs.

4B. Director's Reports- 8:33 PM

The Monthly Activity Report for December and the 2023 Annual Permit Summary was presented to the Planning Commission.

5. Adjournment

Chairman Nichols adjourned the meeting. The next Regular Meeting is scheduled for February 7, 2024 at 7:00 pm.