



CITY OF LAWDALE
AGENDA OF THE LAWDALE
PLANNING COMMISSION
REGULAR MEETING

Wednesday, January 22, 2025, 6:30 PM
14717 Burin Ave
Lawndale, CA 90260

Members of the public may provide their comments when the public comment sections of the meeting are opened. Anyone unable to attend the meeting may submit their public comment by email to agutierrez@lawndalecity.org. Submit your written comments to the Community Development Department by 5:30 p.m. the day of the meeting. Electronic, or written, comments must identify the Agenda Item Number in the comment letter or the subject line of the email. The public comment period will close once the public hearing time for the agenda item has concluded. The comments will be entered into the record and provided to the Commission. All comments should be a maximum of 500 words, which corresponds to approximately 3 minutes of speaking time.

Copies of this Agenda Packet may be obtained prior to the meeting by written request or on the [City Website](#). Interested parties may contact the Community Development Department at (310) 973-3230 for clarification regarding individual agenda items.

This Agenda is subject to revision up to 72 hours before the meeting.

A. CALL TO ORDER

B. ROLL CALL

C. PLEDGE OF ALLEGIANCE

D. CONSENT CALENDAR

1. Minutes of the Lawndale Planning Commission Regular Meeting - October 23, 2024
2. Minutes of the Lawndale Planning Commission Regular Meeting - January 8, 2025

E. PUBLIC COMMENTS

Members of the audience may address the Commission on matters of public interest, which pertain to the City and are not otherwise listed on the agenda. If you wish to speak, please step forward to the microphone, but not required, state your name and city of residence, and make your presentation. The maximum time for the presentation is 3 minutes.

F. PUBLIC HEARINGS

1. Case No. 24-26: A Request for Approval of a Design Review Application to Construct Two 2-Story Single-Family Residences for the Property Located at 4030 W. 159th Street

G. REGULAR AGENDA

None

H. ITEMS FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

I. ITEMS FROM THE PLANNING COMMISSION

J. ADJOURNMENT

The next regularly scheduled meeting of the Planning Commission will be held at 6:30 p.m. on Wednesday, February 12, 2025, in the Lawndale City Hall council chamber, 14717 Burin Avenue, Lawndale, California.

It is the intention of the City of Lawndale to comply with the Americans with Disabilities Act (ADA) in all respects. If, as an attendee or a participant at this meeting, you need special assistance beyond what is normally provided, we will attempt to accommodate you in every reasonable manner. Please contact the Community Development Department (310) 973-3230 prior to the meeting to inform us of your particular needs and to determine if accommodation is feasible. Please advise us at that time if you will need accommodation to attend or participate in meetings on a regular basis.

I hereby certify under penalty of perjury under the laws of the State of California that this Agenda for the regular meeting of the Planning Commission was posted not less than 72 hours prior to the meeting.

Adrian Gutierrez,

Administrative Assistant II

Date Posted: January 16, 2025



CITY OF LAWNDAL PLANNING COMMISSION

14717 BURIN AVENUE, LAWNDAL, CALIFORNIA 90260
PHONE (310) 973-3200 ♦ www.lawndalecity.org

DATE: January 22, 2025

TO: Honorable Chairperson and Members of the Planning Commission

FROM:

PREPARED BY:

RE: Minutes of the Lawndale Planning Commission Regular Meeting - October 23, 2024

BACKGROUND:

During the January 8, 2025, regular meeting, Commissioner Sitka requested to postpone the motion until the next regularly scheduled meeting since not all members that were present for the October 23, 2024, meeting were available to vote. Chairperson Price approved to postpone the motion.

RECOMMENDATION:

Recommendation: that the Planning Commission approve the minutes dated October 23, 2024

Attachments

[Attachment 1 - Minutes of the Lawndale Planning Commission Regular Meeting - 10/23/2024](#)

ATTACHMENT 1

Minutes of the Lawndale Planning Commission Regular Meeting – 10/23/2024



**MINUTES OF THE
LAWDALE PLANNING COMMISSION REGULAR MEETING
OCTOBER 23, 2024**

A. CALL TO ORDER

Chairperson Price called the regular meeting to order at 6:47 p.m. in the Lawndale City Hall Council Chamber, 14717 Burin Avenue, Lawndale, California.

B. ROLL CALL

Commissioners Present: Chairperson Ni Kal S. Price, Vice Chairperson John Martinez, Commissioner Madonna Sitka

Commissioners Absent: Commissioner Scott Smith, Commissioner Dr. Daniel Urrutia

Other Participants: Assistant City Solange Z. Fortenbach, Interim Community Development Manager Peter Kann (Michael Baker International Consultant), Associate Planner Jose Hernandez, Associate Planner Jose Martinez, Administrative Assistant II Adrian Gutierrez

C. PLEDGE OF ALLEGIANCE

Chairperson Price led the flag salute.

D. CONSENT CALENDAR

1. Minutes of the Lawndale Planning Commission Regular Meeting – October 9, 2024

A motion was made by Commissioner Sitka and seconded by Vice Chairperson Martinez to approve the minutes. The motion passed 3-0 with commissioners Smith and Urrutia absent.

E. PUBLIC COMMENTS

None

F. PUBLIC HEARINGS

1. Case No. 24-23: A Proposal for a Dog Grooming Facility in the Commercial Manufacturing Zone (C-M) Zone that Requires a Land Use Determination at Property Located at 4613 W. Rosecrans Avenue

Associate Planner Martinez presented the item.

Chairperson Price asked if there were any other exceptions outside of dog grooming in the Commercial Manufacturing (C-M) Zone. Interim Community Development Manager Kann stated that the intent of the Land Use Determination application is to have the Commission determine if the specific use would be allowed in the C-M Zone. He emphasized that dog kenneling would still be prohibited in the C-M Zone, however, dog grooming could be allowed based on the Commission's decision since it is a less intensive use when compared to a veterinary clinic.

Chairperson Price opened the public hearing at 6:59 p.m.

The business owner, Alma De la Torre, spoke to the Commission about the history of the property, the business, and her project proposal. She thanked the Commission for their time and consideration.

Chairperson Price closed the public hearing at 7:01 p.m.

Interim Community Development Manager Kann noticed a typo in the Resolution, clarifying that the correct resolution number is 24-13, not 24-23.

A motion was made by Vice Chairperson Martinez and seconded by Commissioner Sitka to approve Case No. 24-23 and Resolution Number 24-13, and that the project is categorically exempt under Section 15301 of the CEQA Guidelines. The motion passed 3-0 with Commissioners Smith and Urrutia absent.

G. REGULAR AGENDA ITEMS

None

H. ITEMS FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

Interim Community Development Manager Kann formally introduced himself to the Commission and went over his and the Commissions roles within the community.

I. ITEMS FROM THE COMMISSION

Vice Chairperson Martinez notified the Commission that he would not be available to participate in the Santa Sleigh event in December with the Commission.

Chairperson Price inquired about the recently announced Amnesty Program and how it will be communicated to the residents. Interim Community Development Manager Kann responded to her inquiries.

J. ADJOURNMENT

Chairperson Price adjourned the meeting at 7:11 p.m. to the next regularly scheduled meeting to be held on Wednesday, November 13, 2024, at 6:30 p.m. at the City Hall Council Chamber, located at 14717 Burin Avenue, Lawndale, California.

Ni Kal S. Price, Chairperson

ATTEST:

Peter Kann,
Interim Community Development Manager
Michael Baker International Consultant



CITY OF LAWDALE PLANNING COMMISSION

14717 BURIN AVENUE, LAWDALE, CALIFORNIA 90260
PHONE (310) 973-3200 ♦ www.lawndalecity.org

DATE: January 22, 2025

TO: Honorable Chairperson and Members of the Planning Commission

FROM:

PREPARED BY:

RE: Minutes of the Lawndale Planning Commission Regular Meeting - January 8, 2025

RECOMMENDATION:

Recommendation: that the Planning Commission approve the minutes dated January 8, 2025

Attachments

[Attachment 1 - Minutes of the Lawndale Planning Commission Regular Meeting - 1/8/2025](#)

ATTACHMENT 1

Minutes of the Lawndale Planning Commission Regular Meeting – 1/8/2025



**MINUTES OF THE
LAWDALE PLANNING COMMISSION REGULAR MEETING
JANUARY 8, 2025**

A. CALL TO ORDER

Chairperson Price called the regular meeting to order at 6:48 p.m. in the Lawndale City Hall Council Chamber, 14717 Burin Avenue, Lawndale, California.

B. ROLL CALL

Commissioners Present: Chairperson Ni Kal S. Price, Commissioner Madonna Sitka, Commissioner Dr. Daniel Urrutia

Commissioners Absent: Commissioner Scott Smith, Vice Chairperson John Martinez

Other Participants: Assistant City Attorney Solange Z. Fortenbach, Community Development Director Peter Kann, Associate Planner Jose Hernandez, Associate Planner Jose Martinez, Administrative Assistant II Adrian Gutierrez

C. PLEDGE OF ALLEGIANCE

Chairperson Price led the flag salute.

D. CONSENT CALENDAR

1. Minutes of the Lawndale Planning Commission Regular Meeting – October 23, 2024

Commissioner Sitka requested to postpone the motion until the next regularly scheduled meeting since not all members that were present for the October 23, 2024, meeting was available to vote. Chairperson Price approved to postpone the motion.

E. PUBLIC COMMENTS

None

F. PUBLIC HEARINGS

1. Case No. 25-02: Consideration of Amendments to Title 17 of the Lawndale Municipal Code to Update Accessory Dwelling Units and Junior Accessory Dwelling Units to Development Standards to Reflect Recent Changes in State Law and Finding of Exemption from CEQA

Associate Planner Martinez presented the item.

Commissioner Sitka asked for clarification on Senate Bill 1211. Associate Planner Martinez and Community Development Director Kann responded to her inquiry stating that, pursuant to the bill, ADU's are allowed to be built on top of open carports and uncovered parking without needing to replace those parking spaces.

Chairperson Price opened the public hearing at 7:00 p.m.

Realtor Jaime Sutachan asked why the R-2 zone was not included in the scope of the ordinance update if the properties in that zone have more than one unit. Community Development Director Kann clarified that the City's General Plan considers the R-2 zone as single-family, not multi-family.

Chairperson Price closed the public hearing at 7:02 p.m.

A motion was made by Commissioner Sitka and seconded by Commissioner Urrutia to approve Case No. 25-02 and Resolution Number 25-01, and that the project is categorically exempt under Section 15061(b)(3) of the CEQA Guidelines. The motion passed 3-0 with Commissioner Smith and Vice Chairperson Martinez absent.

G. REGULAR AGENDA ITEMS

None

H. ITEMS FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

Community Development Director Kann clarified the process for updating the City's zoning ordinance. He also responded to Chairperson Price's question regarding ordinance readings.

Community Development Director Kann formally introduced himself as the new Director of the Community Development Department.

Community Development Director notified the Commission about submitting applications to be part of the Planning Commission during the 2025-2027 term.

I. ITEMS FROM THE COMMISSION

The Commission congratulated Community Development Director Kann on becoming director.

Commissioner Sitka advertised the next upcoming Neighborhood Watch meeting.

J. ADJOURNMENT

Chairperson Price adjourned the meeting at 7:07 p.m. to the next regularly scheduled meeting to be held on Wednesday, January 22, 2025, at 6:30 p.m. at the City Hall Council Chamber, located at 14717 Burin Avenue, Lawndale, California.

Ni Kal S. Price, Chairperson

ATTEST:

Peter Kann, Community Development Director



CITY OF LAWNDAL PLANNING COMMISSION

14717 BURIN AVENUE, LAWNDAL, CALIFORNIA 90260
PHONE (310) 973-3200 ♦ www.lawndalecity.org

DATE: January 22, 2025

TO: Honorable Chairperson and Members of the Planning Commission

FROM: Peter Kann, Community Development Director

PREPARED BY: Jose Hernandez, Associate Planner

RE: Case No. 24-26: A Request for Approval of a Design Review Application to Construct Two 2-Story Single-Family Residences for the Property Located at 4030 W. 159th Street

PROJECT DESCRIPTION:

The Applicant is seeking approval of a Design Review application construct two (2) 2-story single-family residential units, located on a 5,600 square foot parcel at 4030 W. 159th Street within the R-2 (Two Family Residence) zone (the “Project”).

Applicant:	Russ Barto 4030 W. 159th Street Lawndale, CA 90260
Property Owner:	Russ Barto
Location:	4030 W. 159th Street
APN:	4074-025-009
Zone:	R-2 (Two-Family Residence)

GENERAL PLAN:

The City’s General Plan designates the Subject Property as “Medium Density Residential” which permits a density of 9.0-17.4 dwelling units per acre. The designation permits single-family detached, duplex/double unit, condominiums, town homes, or any combination of the above and ancillary uses.

ZONING CODE:

The Subject Property is zoned R-2 (Two-family Residence). The R-2 Zone allows 2 residential dwelling units subject to compliance with the density standards for the R-2 zone. Two residential units are permitted on a lot or parcel of not less than 5,000 square feet, provided that one additional residential dwelling unit may be constructed per each additional 3,000 square feet of land above the required 5,000 square feet in the R-2 Zone. Hence, 2 units are appropriate on this 5,600 square foot parcel.

ENVIRONMENTAL ASSESSMENT:

The proposed Project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to the following sections of the CEQA Guidelines, due to the Project's in-fill development of condominiums and division of residential property into 4 or fewer parcels and is in conformance with the General Plan of the City:

- Section 15303 "New Construction or Conversion of Small Structures"
- Section 15332 "In-Fill Development Projects"

SURROUNDING LAND USES AND ZONING:

North:	R-2 (Two-Family Residence)
South:	R-2 (Two-Family Residence)
East:	R-2 (Two-Family Residence)
West:	R-2 (Two-Family Residence)

ANALYSIS:

Existing Site Conditions

The Subject Property is currently developed with a single-family residence, which is approximately 1,069 square feet. The existing property has an existing 488 square foot detached garage. As a part of this project's scope of work, the existing single-family residence and garage will be demolished.

Design Review:

Per Lawndale Municipal Code ("LMC") Section 17.30.020, design review by the Planning Commission at a public hearing is required for any project that will result in two or more dwelling units being located on a single parcel of land.

The Project involves the construction of 2 detached dwelling units, as a townhome style development, with attached garages that are accessed from 159th Street. The front unit will have 2,300 square feet ("sq. ft.") and the rear unit will have 816 sq. ft. of living area. Parking for each unit will be provided with an attached two-car garage for the residence located to the front and a three-car garage for the residence located at the rear of the subject site. The three-car garage will be accessible via an alley. Each unit is designed to have a living room, dining room, kitchen, and powder room. The rear unit will be located on the second floor and encompass two bedrooms and two bathrooms. The development will be two stories and have a height of approximately less than 28-feet (front unit) and less than 22-feet (rear unit) from finish grade.

Compliance with Development Standards

The Project is subject to the development standards of the R-2 (Two-family Residence) zoning district as set forth in the LMC. The following matrix identifies the development standards and proposed development

characteristics (refer to the matrix in **Exhibit A**).

The R-2 (Two-family Residence) Zone permits more than one dwelling unit on a lot or parcel of land as long as the property has at least 5,000 sq. ft. of net land area. The subject property is 5,600 sq. ft. in size, which complies with the R-2 zone's minimum lot size for the development of 2 dwelling units on a single parcel. The proposed lot coverage is 54%, which is significantly less than the allowable maximum 60% lot coverage.

Parking

Section 17.48.180 of the LMC, pertaining to residential parking requirements, requires each dwelling unit to have 2 covered parking spaces in an enclosed garage and every dwelling unit containing 4 or more bedrooms to provide 1 additional off-street parking space. Additionally, 0.5 visitor parking spaces must be provided for each unit.

The subject site has vehicle accessibility from 159th street and an existing public alley. The applicant is proposing to have an attached two-car garage for each dwelling unit with access to said garages from 159th Street and public alley. Additionally, the Applicant is proposing 1 guest parking space which will also be enclosed and accessible via the existing public alley. The Applicant is not proposing a dwelling unit with 4 bedrooms or more and therefore is not required to provide additional off-street parking. As proposed, the Project meets the standards set for parking.

Building Design and Site Improvements

The Applicant has incorporated some design features, including a building facade with components of modern contemporary architectural style typical in Southern California. The building design has an overall consistency with the surrounding neighborhood. The Project is designed to have 100% of the front yard landscaped with live vegetation, including a variation of plants, shrubs and trees. Additionally, the proposed driveway will be paved with decorative material such as stamped/colored concrete or inlaid pavers.

The proposed architectural design and site layout is consistent with the City's Residential Design Guidelines that were adopted in 2019. The City of Lawndale Residential Design Guidelines was created to serve as a reference for future residential development within a respective neighborhood. The proposed development encompasses standards that comply with the zoning code and recommendations suggested in the residential guidelines, such as: residential curb appeal, open spaces/landscaped areas, compatibility with the neighborhood, high quality design, softening of mass and bulk design, architecture detail and roof articulation.

PUBLIC REVIEW:

Notices of a public hearing were mailed to property owners within a 500 ft. radius of the site on January 9, 2025. Notices were also posted at City Hall on January 9, 2025, and published in the *Daily Breeze* on January 11, 2025.

LEGAL REVIEW:

The City Attorney's office has reviewed the resolution and approved it as to form.

RECOMMENDATION:

IT IS RECOMMENDED THAT the Planning Commission conduct a public hearing and:

1. Find and determine that the proposed Project is exempt from the California Environmental Quality Act ("CEQA") pursuant to Section 15303 and 15332 of the CEQA Guidelines; and
2. Adopt Resolution No. 24-14 setting forth findings of fact relative to the submitted application which approves the Design Review application..

Attachments

[Exhibit A - Development Standards Matrix](#)

[Exhibit B - Vicinity Map](#)

[Exhibit C - Resolution 24-14](#)

[Exhibit D - Architectural Plans](#)

[Exhibit E - Notice of Exemption](#)

EXHIBIT A

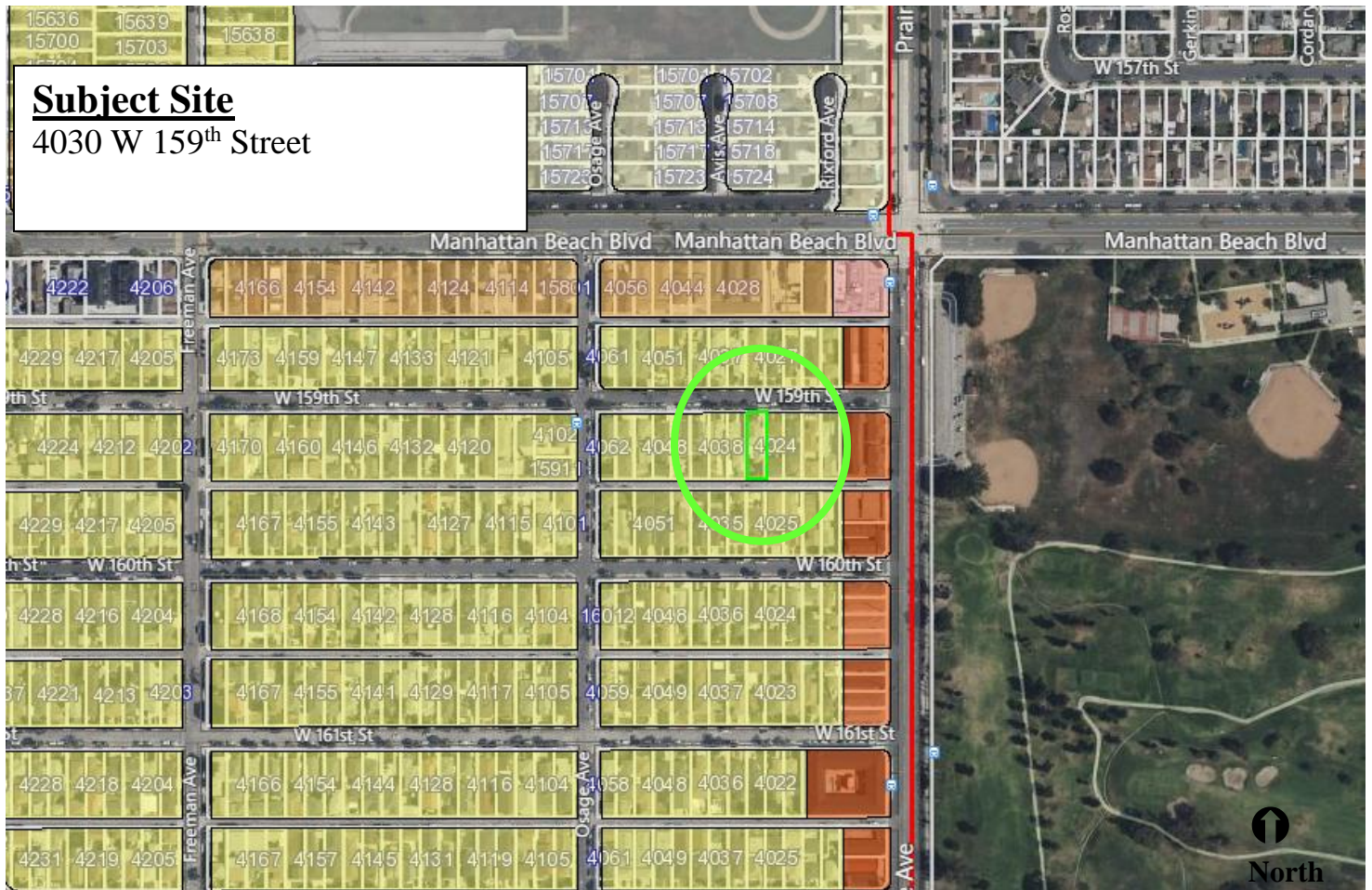
Development Standards Matrix

Compliance with Development Standards

Development Standards	Required	Proposed	Compliance
Density	2,500 sq. ft./ unit	2 units on a 5,600 sq. ft. lot	Yes
	5,000 sq. ft. minimum lot size		
Front Yard Setback	20 feet	22 feet	Yes
Side Yard Setback	3 feet	3 ft. East & 5 ft. West	Yes
Rear Yard Setback	Average of 10 feet (380 sq. ft.)	10 ft setback	Yes
Height	30 feet maximum	28 ft. (front unit) and 22 ft. (rear unit)	Yes
# of Parking Spaces	2 per unit within a garage	2 car and 3 car garage	Yes
Additional Parking for 4th bedroom	1 additional parking for 4 th bedroom	Not applicable	Yes
# of Visitor Spaces	1/2 space per unit	1 space	Yes
Private Open Space			
Front Unit	200 sq. ft. per unit	200 sq. ft. first floor	Yes
Rear Unit	200 sq. ft. per unit	100 sq. ft. first floor 220 second floor	No, a condition will be added to meet the minimum
Common Open Space	200 sq. ft. per unit	400 sq. ft.	Yes
Lot Coverage	60%	43%	Yes

EXHIBIT B
Vicinity Map

Vicinity Map



City of Lawndale Community Development Department

APPLICATION/CASE NO:	P.C. Case No. 24-26
APPLICANT	Russ Barto
SITE ADDRESS:	4030 W 159 th Street
	Lawndale, CA 90260

EXHIBIT C
Resolution No. 24-14

RESOLUTION NO 24-14

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAWDALE, CALIFORNIA SETTING FORTH FINDINGS OF FACT AND DETERMINATIONS RELATIVE TO CASE NO. 24-26 APPROVING A DESIGN REVIEW APPLICATION FOR THE CONSTRUCTION OF TWO NEW SINGLE-FAMILY RESIDENCES AND APPROVAL OF CEQA CATEGORICAL EXEMPTION

CONDITIONALLY APPROVED

WHEREAS, an application has been filed by Russ Barto the property owner, (“Applicant”), for approval of a Design Review application for the construction of two (2) 2-story residential units (“Project”) to be located at 4030 W 159th Street in the City of Lawndale (“Property”); and

WHEREAS, the Property is zoned R-2 (Two-Family Residence); and

WHEREAS, the Property is currently developed with one existing single-family residence, which is approximately 1,069 square feet and a detached 488 square foot garage, all of which are proposed to be demolished as part of the Project; and

WHEREAS, pursuant to Lawndale Municipal Code (“LMC”) §17.30.020(B), design review by the Planning Commission, a public hearing, is required for any project that will result in two or more dwelling units located on a single parcel of land; and

WHEREAS, the Project will be developed in accordance with the standards set forth in the LMC and subject to the conditions deemed appropriate by the Planning Commission as set forth herein; and

WHEREAS, LMC §17.48.120 provides that more than one residential dwelling unit may be constructed on a single lot or parcel of land in the R-2 zone of at least 5,000 square feet, provided that one additional attached or detached dwelling unit may be constructed for each 3,000 square feet of lot area in excess of 5,000; and

WHEREAS, the Project would consist of the construction of two (2) 2-story single-family residential units on the Property, which contains 5,600 square feet of net land area; and

WHEREAS, Case No. 24-26 was properly noticed and set for public hearing before the Planning Commission scheduled on January 22, 2025; and

WHEREAS, evidence was heard and presented from all persons interested in affecting said proposal, from all persons protesting the same and from members of the City staff, and the Planning Commission, having reviewed, analyzed and studied said proposal.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAWDALE, CALIFORNIA DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. The recitals set forth above are true and correct and incorporated herein by this reference.

Section 2. That the Project involves new infill construction of two (2) 2-story single-family residential units in a residential zone and has no potential to substantially impact the environment, such that a Categorical Exemption is hereby approved for the Project in accordance with Section 15303(b) (“New Construction or Conversion of Small Structures”) and Section 15332 (“In-fill Development Projects”) of the CEQA Guidelines. Staff is hereby directed to prepare and file a Notice of Exemption.

Section 3. In connection with the in-fill development Categorical Exemption (CEQA Guidelines §15332), the Planning Commission finds that the Project meets the following conditions:

- A. *The Project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.* The Project consists of the construction of two (2) 2-story single-family residential units. The Project is consistent with the applicable R-2 zoning designation and regulations, which allows for two (2) residential dwelling units on lots that have at least 5,000 square feet of land area (LMC §17.48.110). The proposed plans are in compliance with all of the development standards of the R-2 zoning district. Additionally, the Project is consistent with Policy 6d, multi-family medium density dwellings, of the Land Use Element and Goal 2, to provide adequate residential sites, of the Housing Element of the General Plan. The Project is also consistent with the General Plan's goal to allow the development of Residential Multi-Family units on the subject site. Additionally, the proposed development is in accordance with the design guidelines and the development standards established in Title 17 (Zoning) of the LMC, including those set forth in LMC Section 17.80.070 relating to condominiums.
- B. *The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.* The Project occurs in and is substantially surrounded by an urbanized area within city limits on a site of less than five acres. The property lot size is 5,600 square feet in area.
- C. *The Project site has no value as habitat for endangered, rare or threatened species.* The Project site is located in a highly urbanized and densely populated area and recognized in the most recent Environmental Impact Report conducted in August of 2023. The Project site is surrounded by urban and commercial uses which do not make the site conducive as a habitat for endangered, rare, or threatened species and endangered, rare, or threatened species are not known to reside in the immediate area of the Project site.

- D. *Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality.* The proposed project is recognized as an infill development where the impact will be less than significant. These conditions will ensure that any impacts that could be detrimental to the public health, safety, and welfare of neighboring properties are minimized through public improvements. There are no reasonably identifiable unusual circumstances that would cause significant effects on the environment.
- E. *The site can be adequately served by all required utilities and public services.* All services and access to the proposed parcels meet local standards. Further, any conditions placed by local utilities or public services to adequately serve the Project are included within the conditions of approval.

Section 6. Pursuant to the design review requirements in LMC Section 17.30.030, in conditionally approving this application for design review, the Planning Commission makes the following findings:

- A. *The proposed development site plan and the building design features will integrate harmoniously and enhance the character and design of both the immediate neighborhood and the surrounding area.* The Project is consistent with the development standards of the R-2 zoning district, and the scale and type of development in the vicinity is similar to other developed lots in the neighboring area. The Property is currently developed with one existing single-family residence (1,069 sq. ft) and a detached two-car garage (488 square feet) which will be demolished as part of the Project. The Property will be improved with the proposed Project and will have a beneficial visual impact upon the street. Therefore, the Project's design features will integrate harmoniously and enhance the character of the surrounding area.
- B. *The site plan and building design will improve the community appearance by preventing extremes of building bulk and mass.* The Project covers 54% of the lot, less than the 60% maximum allowed. Therefore, the Project will improve the community's appearance without extreme building bulk. In addition, the proposed second floor of the front unit is consistent with the City's development standards where the second floor will be setback to eliminate the bulky/massing appearance.
- C. *The site plan and design of the buildings, parking areas, landscaping, illumination and other design features demonstrate that proper consideration has been given to both the functional aspects of the site development and the visual effects as seen from public spaces.* The Project is efficiently laid out and allows for easy pedestrian and vehicular circulation on the Property. The structures' design allows for air circulation throughout the site and natural illumination and the front yard will be landscaped, therefore, demonstrating proper consideration to both functional aspects and visual effects as seen from public spaces. The proposed development is designed to provide accessibility via the front yard (159th Street) and the existing public alley.

- D. *The site plan and building design substantially conform to the City's adopted design guidelines.* The Project substantially conforms to the City's adopted residential design guidelines. The proposed architectural design is consistent with the City's Residential Guidelines that will provide visual interest from a street facing view. The site shall be configured with two (2) 2-story (detached) residential buildings that are less than 28 feet in height, which is consistent with the type and scale of homes that are within the surrounding neighborhood.

Section 7. The Planning Commission finds that the Project substantially conforms to LMC Section 17.30.040, Design Criteria, as follows:

- A. *The building height, bulk and other design features shall be proportionate to the site and the surrounding area.* The Project complies with all development standards for the R-2 zoning district and is proportionate with the surrounding area. The proposed dwelling units have a proposed height of less than 28 feet which is less than the 30-foot maximum height limitation. Additionally, the proposed design and lot coverage are appropriate for the site as the Project covers 54% of the lot, less than the 60% maximum allowed. The proposed development is proportionate to other residential dwellings within the surrounding neighborhood.
- B. *The site layout, orientation, and location of structures, and their relationship to one another and to open spaces, parking areas, pedestrian walks, illumination and landscaping should be interrelated and arranged to achieve a safe, efficient and harmonious development.* The site plan and design of the dwelling units, parking areas, landscaping, illumination and other design features demonstrate that proper consideration has been given to both the functional aspects of the site development and the visual effects as seen from public spaces. The Project is efficiently laid out and allows for easy pedestrian and vehicular circulation.
- C. *The grading and development of sites should respect the qualities of the natural terrain and landscape—mature trees and other natural features.* The surrounding area is highly urbanized, relatively flat, and mostly devoid of “natural” features. The Applicant will be required to submit a Grading and Drainage Plan to be reviewed and approved by the Building Division prior to issuance of building permits. Additionally, the Applicant is conditioned to provide a landscape plan that demonstrates how vegetation will be planted throughout the site.
- D. *Building sites should be developed to achieve a harmonious relationship with existing and proposed adjoining developments.* The proposed residential dwelling units will be designed to complement each other in architectural style and the Project will be consistent with the residential character of the neighborhood. The proposed development site plan and the building design features will integrate harmoniously and enhance the character and design of both the immediate neighborhood and the surrounding area. The Project is also consistent with the development standards of the R-2 zoning district and the scale and type of development in the vicinity.

- E. *Each building shall reflect due consideration of a total site design program that reflects quality contemporary design practices.* The proposed architectural style and design is consistent with the City's residential guidelines and includes quality contemporary design practices that will be utilized throughout the development. The building design will be an aesthetic improvement to the existing site and will complement the architectural styles found within the existing neighborhood.
- F. *The proposed project shall substantially comply with the design elements set forth in the city's adopted design guidelines.* The Project substantially conforms to the City's adopted residential design guidelines; the conditions imposed will result in the buildings exhibiting quality modern minimalist architectural style, by having varying façade material types and incorporating projections along the front façade, and by developing a prominent entrance with decorative elements along the entry corridors of the façade and decorative awnings.
- G. *The mechanical equipment or machinery, trash storage areas and other exterior service areas shall be screened from view from all public spaces.* As proposed, the identified mechanical equipment and trash storage areas are screened from public view. Any utility meters or rooftop mechanical equipment will also be required to be screened per the LMC and/or the conditions of approval placed on the Project.

Section 9. The Planning Commission hereby approves this Project, subject to the execution and/or fulfillment of the following conditions:

1. The Applicant shall submit a check to the City within 5 days of approval of this Project, made payable to the Los Angeles County Recorder's Office, in the amount of \$75.00 for the filing of a Categorical Exemption pursuant to the CEQA.
2. Within 30 days of approval of this Project, the Applicant shall certify his/her acceptance of the conditions placed on the approval by signing a notarized Affidavit of Acceptance stating that he/she accepts and shall be bound by all of the conditions.
3. The Applicant shall submit the building construction documents to the City for plan check within one year of approval of this Project. Failure to comply with this condition shall automatically render the Design Review approval null and void. All conditions of approval shall be satisfied within 24 months of the approval of this Project. The Applicant may file for an extension of the Design Review approval provided that such application is properly filed with the City at least 30 days prior to the expiration date.
4. The Project shall be developed in accordance with all applicable City, County, State and Federal regulations.
5. Approval of the Project does not authorize the Applicant or any employee, contractor, subcontractor, etc. to encroach upon adjacent properties.
6. Violation of, or noncompliance with, any of these conditions or other applicable provisions of the LMC shall constitute grounds for a code enforcement action.

7. Construction plans shall be submitted to the Community Development Department (Planning and Building Divisions), Public Works Department, and other agencies as required for review and approval prior to the issuance of any building permits.
8. Any changes made to the approved set of plans shall be reviewed and subject to the approval of the Community Development Director, inclusive of any facade changes.
9. Except as set forth in subsequent conditions, and subject to City department and public agency corrections and conditions, the Property shall be developed substantially in accordance with the application and plans submitted. Any major changes as determined by the Community Development Director must be brought back for review to the Planning Commission at the Applicant's expense.
10. The adjacent property owners shall be notified at least ten (10) days prior to any demolition, grading or construction on the Property.
11. The Applicant shall install a new decorative masonry wall with decorative cap around the periphery of the property. Fences/walls in the rear and side yard setback area shall be 6 feet in height. A fence/wall in the front yard setback is not required but, if installed, must comply with LMC Section 17.48.050, i.e. up to forty eight inches in height provided that any portion over thirty inches is see-through. The Applicant shall submit a fence permit application for all fences that are to be installed as part of this project.
12. All exterior light fixtures shall be directed onto the Property and no direct glare shall be visible from adjoining residentially zoned and/or developed properties. The maximum allowable illumination at the property line shall not exceed 0.5 foot-candles.
13. A landscape plan that complies with the requirements of LMC Chapter 17.88, Water Efficient Landscape, to the satisfaction of the Community Development Director, must be approved prior to the issuance of building permits. Trees planted in the front yard setback shall be a minimum 36" box tree.
14. The Project shall comply with all Los Angeles County Fire Department conditions of approval.
15. The Applicant shall indemnify, defend, and hold harmless the City and its agents, officers and employees from and against any claim, action or proceeding against the City or its agents, officers or employees in connection with the Project including any action to attack, set aside, void or annul any approval by the City concerning the Project or the City's refusal to issue certificates of occupancy for the Applicant's failure to comply with any of these conditions of approval. The City shall promptly notify the Applicant of any filed claim, action or proceeding and shall cooperate fully in the defense of the action.
16. The Project shall comply with all of the provisions of Title 13 of the LMC relating to public services and storm water management. The Project shall also conform to National Pollutant Discharge Elimination System (NPDES) standards and Standard Urban Storm

Water Mitigation Plan (SUSMP) requirements, if applicable, prior to any grading operations.

17. All property drainage shall be directed to the street in a manner acceptable to the Building Official. The Applicant shall not block existing drainage from adjacent properties and must show sufficient elevations outside of the property and contour lines to allow the Building Official to ascertain that existing drainage from adjacent properties is not blocked and adequate retaining systems are installed.
18. The Applicant shall contact Golden State Water Company for review of the existing water main once Los Angeles County Fire Department has issued its fire protection requirements for this Project.
19. The Applicant shall request a cost estimate for water system modifications and project review prior to the start of construction from Golden State Water Company.

Public Works/City Engineer Conditions:

20. The Applicant shall pay all applicable plan check fees with Public Works Department prior to issuance of a building permit.
21. The Applicant shall submit an off-site improvement plan prepared by a registered Civil Engineer to the Public Works Department and pay all applicable fees in connection with the review thereof, prior to the issuance of a building permit.
22. This project is subject to the City of Lawndale's Construction Demolition and Debris program. The Applicant shall submit a demolition plan to the Public Works Department and pay all applicable fees in connection with the review thereof prior to the issuance of a demolition permit.
23. The Applicant shall submit copies of a recent title report (within the last 6 months) and subdivision guarantee to the Building Division prior to issuance of building permits and to the Public Works Department prior to approval of the final map.
24. The Applicant shall pay all applicable parcel map checking fees prior to the issuance of a building permit.
25. The Applicant shall submit a Grading and Drainage Plan prepared and signed by a registered civil engineer to the City's Building Division and pay all applicable fees in connection with the review thereof. The Applicant shall indicate the location of all on-site water mainlines and sewer laterals on the Grading and Drainage Plan. The Project shall comply with the County of Los Angeles City Urban Storm Water Mitigation Plan and Corresponding NPDES permit prior to any grading operations.
26. The Applicant shall submit a copy of the Grading and Drainage Plan for review and approval by the Building Official, City Engineer, and to the Public Works Department prior to the issuance of a building permit.

27. The Applicant shall submit a Final Grading and Drainage Certificate to the Public Works Department prior to obtaining a certificate of occupancy, signed by a registered civil engineer, stating that the Project was constructed according to the approved Grading and Drainage Plan and that the Project drains to the street and does not block the cross-lot drainage from adjacent properties.
28. The Applicant shall submit a copy of the final soils report to the Public Works Engineering Division prior to final approval from the Public Works Department. The report shall be prepared by a licensed geotechnical engineer.
29. The Applicant shall submit a copy of the Los Angeles County Fire Department clearance letter for Fire Department plan review to the Public Works Department prior to final approval from the Public Works Department.
30. The Applicant shall underground all dry utilities (electrical, telephone and cable TV) and install 2 separate conduits for each utility connection. Accordingly, the Applicant shall contact the utility purveyors to arrange for the preparation of the necessary plans to accomplish the under grounding prior to receiving a certificate of occupancy.
31. The Applicant shall construct on-site waterlines with a separate water meter and sewer lateral for each unit unless special maintenance mechanisms for these systems are approved by the City Engineer, in which case provisions are to be made in the CC&Rs for sewer lateral and potable water mainline maintenance. The CC&Rs shall also contain a maintenance agreement holding the City harmless from damages should the common sewer and/or water mainline cause any damage for any reason.
32. Each unit shall be connected to a separate sewer lateral at a minimum size of six inches. When connecting to an existing lateral, a City approved contractor shall verify the size of such lateral and shall provide proof of its integrity by providing a videotape of the lateral to the Public Works/ Engineering Division. Videotaping and verification of sewer lateral size and conditions must be made in the presence of the City Engineer or his/her designee. Any existing sewer laterals that are less than six (6) inches in diameter shall be abandoned at the property line per city instructions.
33. All required water meters, meter service changes and/or fire protection lines shall be installed by the Applicant. Any new water meters shall be installed in parkways.
34. The Applicant shall pay all applicable sewer connection fees to the County Sanitation Districts prior to final approval from the Public Works Department.
35. Prior to the issuance of the certificate of occupancy, the Applicant shall remove and reconstruct any damaged street improvements, such as sidewalks, curbs, gutters, and driveways to the satisfaction of the City Engineer. All street improvements shall be subject to the review and approval of the City Engineer. New sidewalk and driveway approaches need to comply with the Americans with Disabilities Act (ADA).

36. All utility service lines shall be fully operational at the time of issuance of certificate of occupancy.
37. The Applicant shall reconstruct the damaged and substandard sidewalk (if any) and driveway approach along 159th Street fronting the property addressed as 4030 W 159th Street and/or alley located at the rear of the subject site, pursuant to American Public Works Association (APWA) standards.
38. The Applicant shall reconstruct damaged curb and gutter along 159th Street fronting the property addressed as 4030 W 159th Street, pursuant to American Public Works Association (APWA) standards.
39. The proposed driveway approach shall be realigned away from existing street trees.
40. The proposed driveway shall be realigned so that the top "X" is located one foot inside the property line.
41. The Applicant shall establish survey markers and/or monuments at the Property's corners. The Applicant shall replace survey monuments damaged or destroyed during construction. The Applicant's surveyor is responsible for filing Corner Records with the Los Angeles County Surveyor for all monuments disturbed as part of construction.
42. The Applicant shall not install water or utility pull boxes within the new driveway approach area.
43. The Applicant shall design the Project in a manner that prevents surface water from draining across the sidewalk.
44. All work in the public right-of-way shall be completed per APWA standards.
45. The Applicant shall obtain an encroachment permit from the Public Works Department prior to conducting any improvements off-site or in the public right-of-way.
46. Prior to recording the final map, the Applicant shall provide the Public Works Department with a set of 100 or 200 scale duplicate Mylar copies for the City Engineer's signature. Upon recordation, Applicant shall submit a set of 100 or 200 scale duplicate Mylar copies of the recorded final map to the City Engineer.
47. The Applicant shall obtain approval from all applicable utility purveyors prior to the recordation of the final map.
48. The final map shall be prepared by a Licensed Land Surveyor or a Registered Civil Engineer authorized to practice land surveying. The final map must be processed through the City Engineer's office prior to being filed with the County Recorder. The Applicant shall pay all applicable final map processing fees prior to filing with the county recorder.

49. The final map shall be recorded prior to the issuance of a certificate of occupancy. The final map shall be tied to the North American Datum of 1983 (NAD83), California Coordinate System 1983.
50. The Applicant shall ensure that the Homeowners Association is established for the purpose of maintaining all private access and common property with utilities prior to the approval of the final map. The association documents shall be subject to the review and approval of the Community Development Director, City Attorney and City Engineer and shall be recorded concurrently with the final map.
51. Prior to the issuance of the final map approval, the Applicant shall record CC&R's with the Los Angeles County recorder's office providing for ingress and egress access, drainage and utility easements, and maintenance of common drives and landscaping.
52. Prior to the approval of the final map, the Applicant shall construct or guarantee the construction of all required off-site improvements fronting the property. The required street improvements are subject to the review and approval of the City Engineer.
53. The Applicant shall pay all applicable fees for the processing of final map upon submission to the City.
54. The Applicant shall install one 36" box street tree per APWA standards along Sombra Avenue fronting the project site addressed as 15337 Sombra Avenue; tree species and location shall be determined by the Engineering Division at the time the encroachment permit is issued.
55. The Applicant shall place underground all new utilities.
56. The Applicant shall place all Southern California Edison vaults and structures underground.
57. The Applicant shall place underground existing utilities subject to review and approval of the Public Works Department.
58. The Applicant shall submit a copy of the Los Angeles County Fire Department clearance letter to the Public Works Department prior to building permit issuance.
59. Final signoff and approval from the Public Works department shall not be given until all conditions of approval have been completed.
60. No artificial turf shall be installed within the City's parkway.
61. Any curb drain connected to the street curb and gutter should be a minimum of 4-inch diameter pipe.

62. The parcel map shall indicate building footprints and common areas.

Additional Conditions:

63. The Applicant shall provide sufficient decorative outdoor lighting for all units, to the satisfaction of the Community Development Director.
64. The Electrical Panel (Box) may not encroach into any required driveway, parking area or side yard setback.
65. All exterior materials to be used shall be approved by the Community Development Director prior to the issuance of a building permit.
66. All second story scuppers must be directed onto the Property and installed in a manner acceptable to the Community Development Director.
67. All newly planted trees shall require root barriers and be double staked and guy wired.
68. All driveway and parking areas shall be concrete, and the Applicant shall install a decorative stamped and color sealed concrete driveway along the first twenty feet of driveway to the satisfaction of the Community Development Director. The color and pattern shall be approved by the Community Development Director prior to installation.
69. No exterior security bars shall be allowed to be placed along the buildings' facade.
70. Driveway and parking areas shall incorporate center swales. All drainage in common and private use areas shall be underground and shall not incorporate open gutters or underground swales.
71. The location of all backflow devices shall be approved by the City prior to installation. Back flow devices shall be located to the furthest extent possible from the property line.
72. All building drainage shall be directed onto the Property and shall be oriented toward the interior of the Property, with no downspouts or gutters directing drainage away from the Property.
73. A maximum of two (2) single-family condominium dwelling units shall be permitted within the Project. A notation to this effect shall be shown on the Final Map.
74. The location of all electrical panels and meters shall be approved by the City prior to installation. Electrical panels and meters are prohibited in the front yard setback. Electrical panels and meters shall be screened with landscaping as approved by the City. Electrical panels may not encroach into any required driveway, parking area or side yard setback.
75. Except as set forth in the conditions of approval, development shall take place as shown on the approved site plans and elevations. Any deviation must be approved by the Director of Community Development before any construction occurs.

76. The site shall be maintained by the property owners, at property owners' or their successors' or assignees in interest's sole cost and expense. The City shall have the right to enforce proper maintenance.
77. The entire site shall be kept in good, first-class condition, free from trash, debris and litter at all times, and all trash, debris and litter shall be removed as soon as possible but at least within 24 hours.
78. All landscaping and irrigation systems shall be continuously maintained in good repair by the property owners. Irrigation systems shall not produce overspray. All landscaping shall be maintained in a healthy condition and dying and dead landscaping shall be promptly replaced with similar plant materials and of a size similar to the plant being replaced.
79. All planning conditions of approval shall be printed as general notes on the front pages of the approved set of building plans.
80. Tarps are prohibited from use as carports, patio covers, shade covers and covers for outdoor storage in all front and side setback areas, rear yard areas, and over driveways and in parking and circulation areas.
81. The site shall be developed and maintained in accordance with the approved plans which include site plans, landscape plans, building floor plans, architectural elevations, list of approved exterior materials and colors on file in the Community Development Department, the conditions contained herein, and the Zoning Code.
82. Unless otherwise permitted, construction activity may be conducted between the hours of seven a.m. and seven p.m., Monday through Friday (except national holidays), and eight a.m. and five p.m. Saturdays. Construction activity is prohibited at all other hours including Sundays and national holidays.
83. At the completion of the Project, final approval from the Planning Division shall be obtained prior to Building and Safety Division final approval. All conditions of approval shall be met prior to final approval by the Planning Division.
84. The Applicant shall not install a fourth bedroom within either dwelling unit. Should it be determined that a fourth bedroom has been added to any unit, the Community Development Director may request the demolition of any unpermitted bedroom.
85. The Applicant shall ensure the garage floor plans are designed to meet the minimum interior parking area of 20 feet by 20 feet free and clear as required by the LMC.
86. All roof top equipment must be fully screened from public view on all sides of the building elevations.
87. The Project shall be designed and constructed to meet all ADA standards. The Applicant shall submit plans that show that ADA standards are met to the satisfaction of the Community Development Director.

PASSED, APPROVED AND ADOPTED THIS 22nd DAY OF JANUARY 2025.

Ni Kal S. Price, Chairperson
Lawndale Planning Commission

ATTEST

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS
CITY OF LAWNDAL)

I, Jose Hernandez, Associate Planner for the City of Lawndale, California, do hereby certify that the foregoing **Resolution No. 24-14** was duly approved by the Planning Commission of the City of Lawndale at a regular meeting of said Commission held on the **22nd day of January, 2025** by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAINED:

Jose Hernandez,
Associate Planner

EXHIBIT D
Architectural Plans

NEW TWO-STORY RESIDENCE, SECOND UNIT, GARAGE AND A.D.U. 4030 W 159TH STREET, LAWNDALE, CA 90260

SHEET INDEX

A1 SITE PLAN
A2 DEMOLITION AND OPEN SPACE DIAGRAM PLAN
A3 2-STORY RESIDENCE FLOOR PLANS
A4 2-STORY RESIDENCE ROOF PLAN
A5 2-STORY RESIDENCE ELEVATIONS
A6 2ND UNIT, GARAGE, A.D.U. PLANS
A7 2ND UNIT, GARAGE, A.D.U. ROOF PLAN
A8 2ND UNIT, GARAGE, A.D.U. ELEVATIONS

PROJECT INFORMATION

SITE ADDRESS
4030 W 159TH STREET
LAWNDALE, CA 90260

OWNER
SAM SIDHU
4030 W 159TH STREET
LAWNDALE, CA 90260

ARCHITECT
RUSSELL E. BARTO, A.I.A. ARCHITECT
8628 VIA PALOMINO
PALOS VERDES ESTATES, CA 90274
(310) 318-1355

LEGAL DESCRIPTION

TRACT #1422, LOT 162
APN 4074-025-001

ZONE: R-2
HEIGHT LIMIT: 30' MAX

SCOPE OF WORK

DEMOLISH EXISTING ONE-STORY SINGLE-FAMILY RESIDENCE, DETACHED GARAGE, CONCRETE DRIVEWAYS

NEW TWO-STORY RESIDENCE
NEW LIVING-DINING-KITCHEN, NEW POWDER AND PANTRY, NEW KITCHEN LAYOUT, NEW DOORS AND WINDOWS, NEW MASTER BEDROOM, BATH AND CLOSET, NEW BEDROOMS, BATHROOMS AND OFFICE, NEW LAUNDRY, NEW TWO CAR GARAGE NEW ELECTRICAL DUCTING, AND PLUMBING

NEW SECOND UNIT
NEW KITCHEN-DINING-LIVING, NEW TWO BEDROOMS AND NEW 2 BATHROOMS, NEW COVERED PATIO, AND NEW NEW 3-CAR GARAGE

NEW A.D.U.
NEW KITCHEN-DINING-LIVING, NEW TWO BEDROOMS AND NEW 2 BATHROOMS, NEW COVERED PATIO

NEW NEW 3-CAR GARAGE

NOTE:
ALL UTILITIES TO BE UNDERGROUND

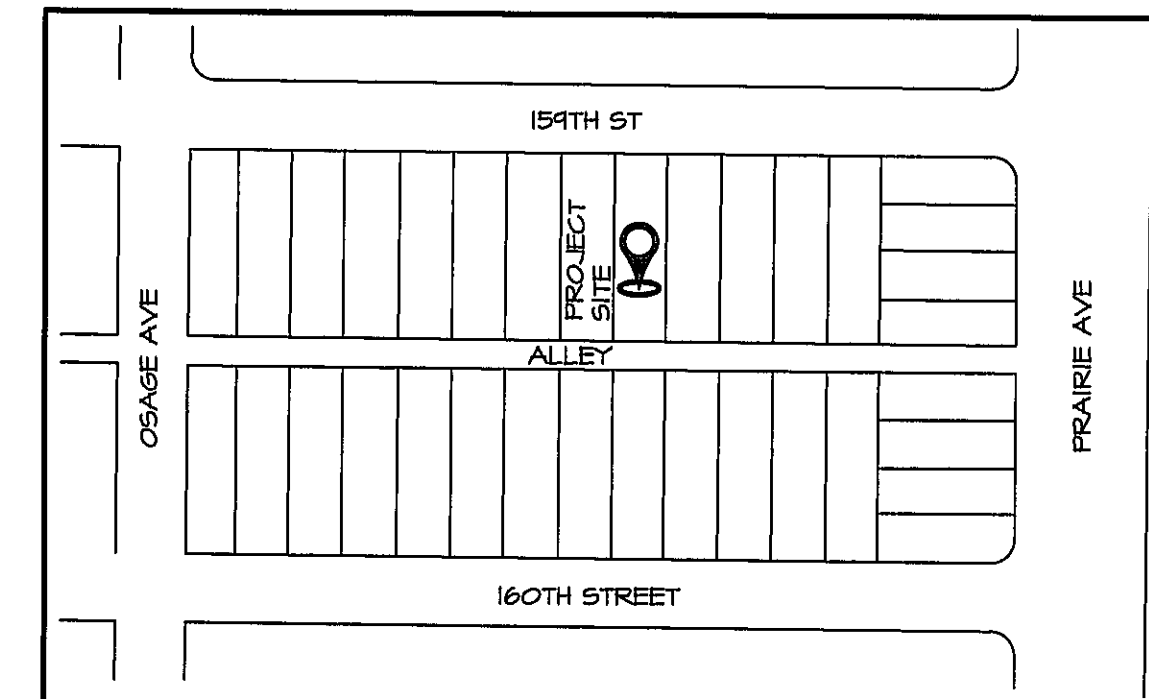
PROJECT CODES

2022 CRC CALIFORNIA RESIDENTIAL CODE
2022 CBC CALIFORNIA BUILDING CODE
2022 CFG CALIFORNIA FIRE CODE
2022 CMG CALIFORNIA MECHANICAL CODE
2022 CPC CALIFORNIA PLUMBING CODE
2022 CEC CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA GREEN BUILDING CODE
2022 TITLE 24 ENERGY CODE
CITY OF LAWNDALE MUNICIPAL CODE

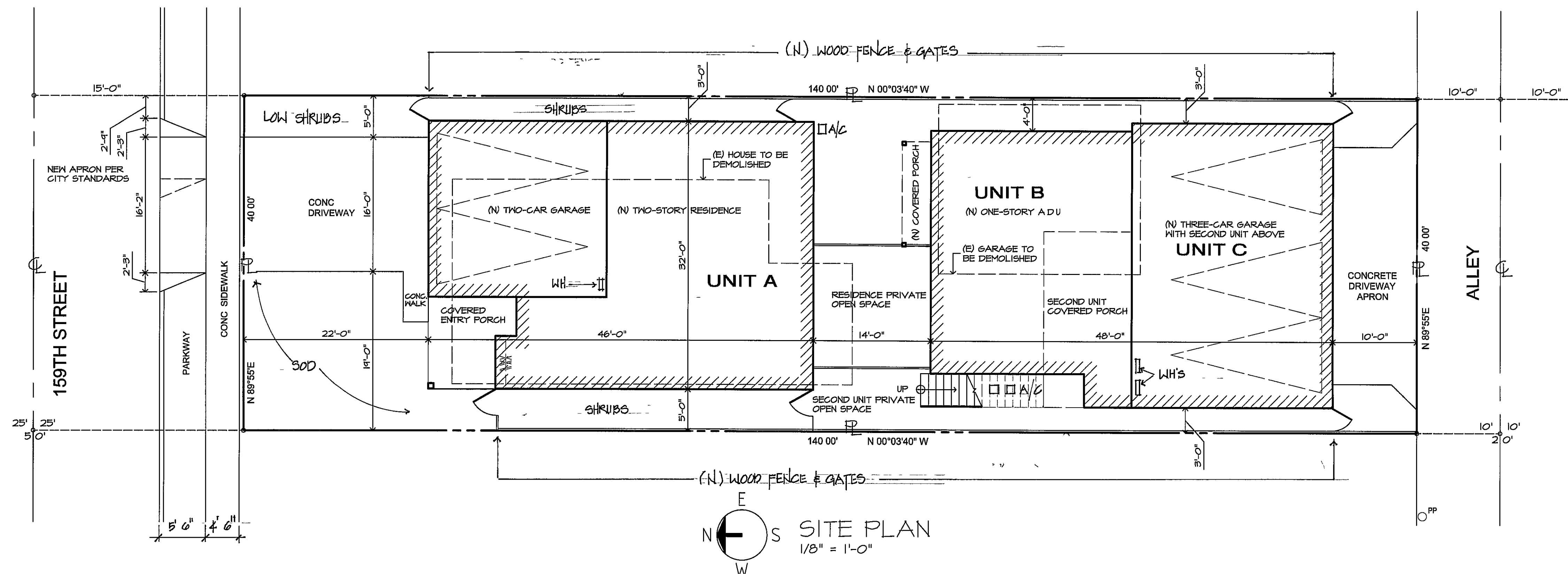
LEGEND

CL	CENTER LINE	BCR	BEGINNING OF CURB RETURN
PL	PROPERTY LINE	E'LY	EASTERLY
FD	FOUND	FD	FOUND
(E)	EXISTING	FF	FINISH FLOOR
NEH	NEH	FL	FLOW LINE
VIF	VERIFY IN FIELD	GFF	GARAGE FINISH FLOOR
TYP	TYPICAL	GW	GUY WIRE
UN	UNLESS OTHERWISE NOTED	L&T	LEAD AND TAG
MC	MEDICINE CABINET	MH	MANHOLE
CLR	CLEAR	N'LY	NORTHERLY
WH	WATER HEATER	PC	PROPERTY CORNER
FC	FINISHED CONCRETE	PL P/L	PROPERTY LINE
FP	FINISHED FLOOR	PP	POWER POLE
FG	FINISHED GRADE	S&W	SPIKE AND WASHER
FW	FINISHED WALL	S'LY	SOUTHERLY
108 76	EXISTING BUILDING	SPK	SPIKE
100	EXISTING ELEVATION	STK	STAKE
---	EXISTING CONTOUR	TC	TOP OF CURB
X	BLOCK WALL	TW	TOP OF WALL
---	EXISTING FENCE	TX	TOP OF DRIVEWAY APRON
		W'LY	WESTERLY
		WM	WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED



VICINITY MAP
NOT TO SCALE



SITE DEVELOPEMENT CALCULATED DATA

LOT AREA: 5600 SQ FT

DEMOLITION/ EXISTING AREAS	AREA	SQ FT
EXISTING GARAGE	488	
EXISTING RESIDENCE	1064	

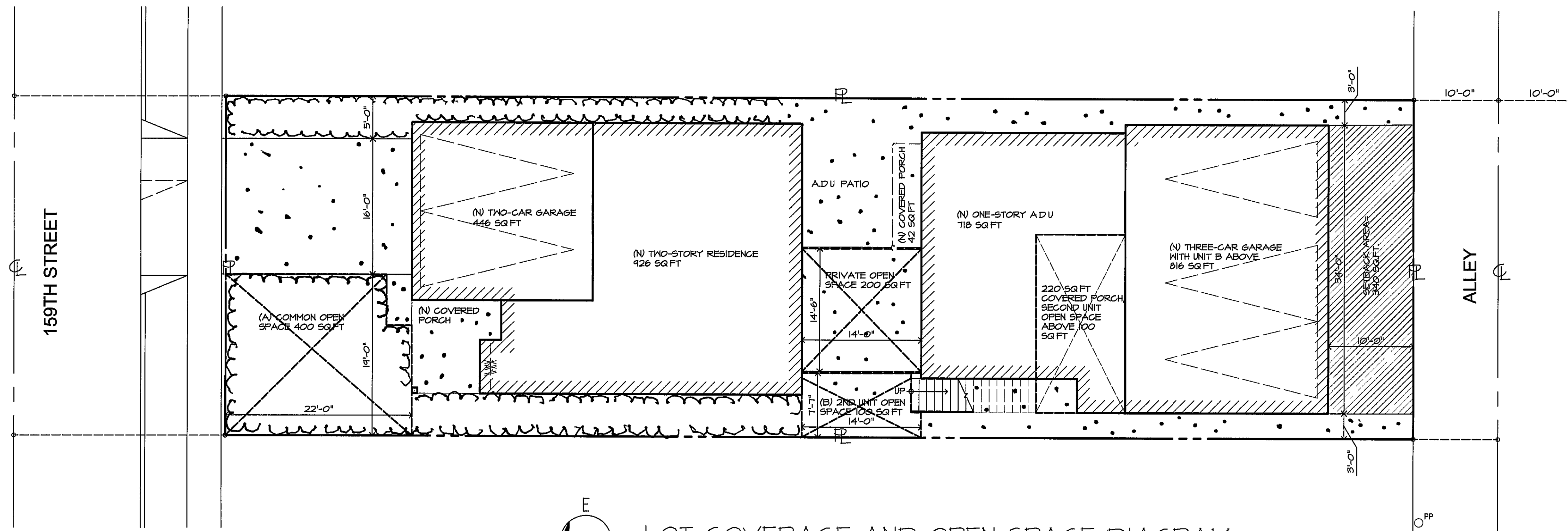
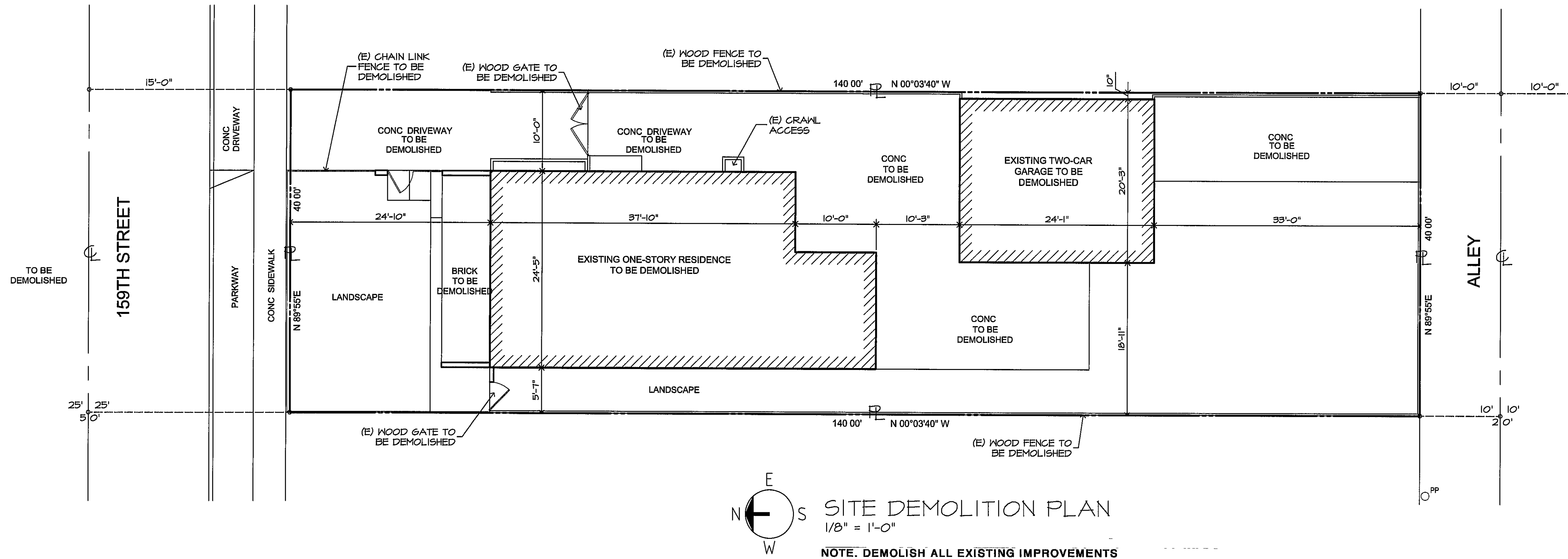
UNIT A	AREA	SQ FT
1ST FLR	426	
2ND FLR	1314	
COVERED PORCH	100	
GARAGE	446	

UNIT C	AREA	SQ FT
2ND UNIT	816	
COVERED PATIO	214	
STAIRS TO SECOND UNIT	54	

UNIT B	AREA	SQ FT
A.D.U. AREAS	714	

GARAGE	AREA	SQ FT
THREE-CAR GARAGE	816	

PARKING	REQUIRED	PROVIDED
UNIT A	2	2
UNIT B	0	0
UNIT C	2	2
QUEST	1	1
TOTAL	5	5



OPEN SPACE CALCULATION

MIN 200 SQ FT OF PRIVATE OPEN SPACE AND 200 SQ FT OF COMMON OPEN SPACE PER DWELLING UNIT SHALL BE PROVIDED = 800 SQ FT REQUIRED A.D.U. OPEN SPACE NOT REQUIRED.

(A) 400 SQ FT + (B) 100 SQ FT + (C) 200 SQ FT + (D) 100 SQ FT = 800 PROVIDED

LEGEND

	LANDSCAPE
	PAVED

LOT COVERAGE AREAS

AREA	SQ FT
2-STORY RESIDENCE COVERED PORCH	100
2-STORY RESIDENCE GARAGE	446
2-STORY RESIDENCE LOT COVERAGE	426
A.D.U.	714
A.D.U. COVERED PORCH	43
STAIRS TO SECOND UNIT	51
THREE-CAR GARAGE	816
A.D.U. PATIO	281

LOT COVERAGE CALCULATION:

LOT AREA: 5,600 SQ FT
3,360 SQ FT = 60% REQUIRED
3,049 SQ FT = 54% PROVIDED

REAR YARD SETBACK REQUIREMENT

LOT WIDTH: 40 FT
SIDE YARD SETBACK: 3 FT
AVERAGE WIDTH: 40'-6" = 34'
AVERAGE SETBACK: 10 FT
REQUIRED SETBACK AREA: 340 SQ FT
PROVIDED SETBACK AREA: 340 SQ FT

SPR24-52

SHEET

A1.2

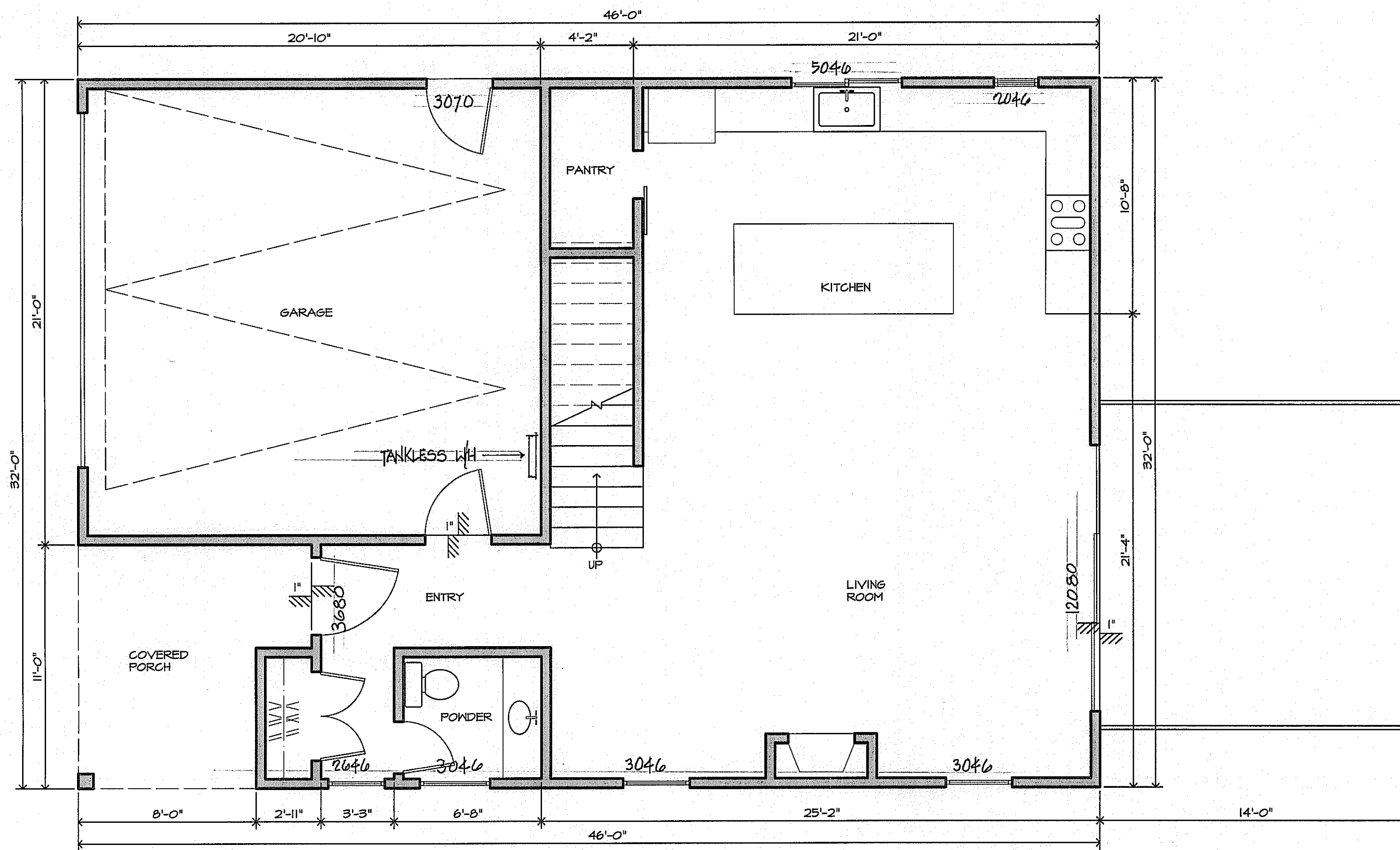
2024-09-13

PROJECT: NEW TWO-STORY RESIDENCE, SECOND UNIT, GARAGE AND A.D.U. ARCHITECT: RUSSELL E. BARTO - A.I.A. - ARCHITECT

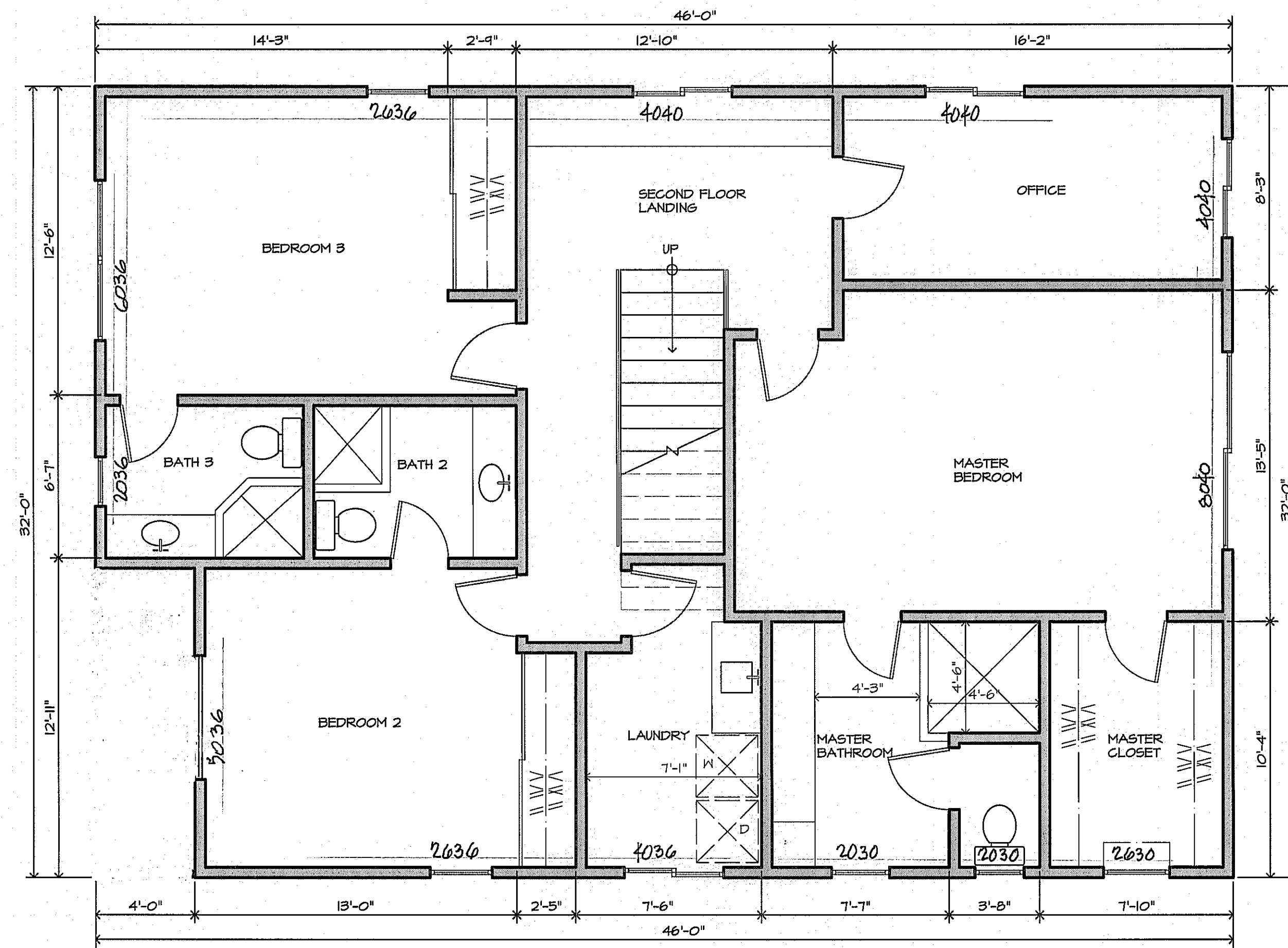
OWNER: SAM SIDHU

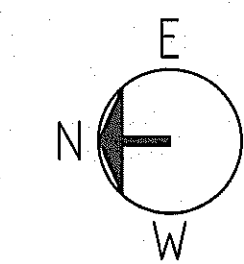
ADDRESS: 4030 W 159TH STREET, LAYNDALE, CA 90260

8428 VIA PALOMINO
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PHONE (310) 729-1355
MOBILE (310) 729-4322
russbarto@earthlink.net




 TWO-STORY RESIDENCE FIRST FLOOR PLAN
 1/4" = 1'-0"




 TWO-STORY RESIDENCE SECOND FLOOR PLAN
 1/4" = 1'-0"

UNIT A FLOOR PLANS
 SPR24-52

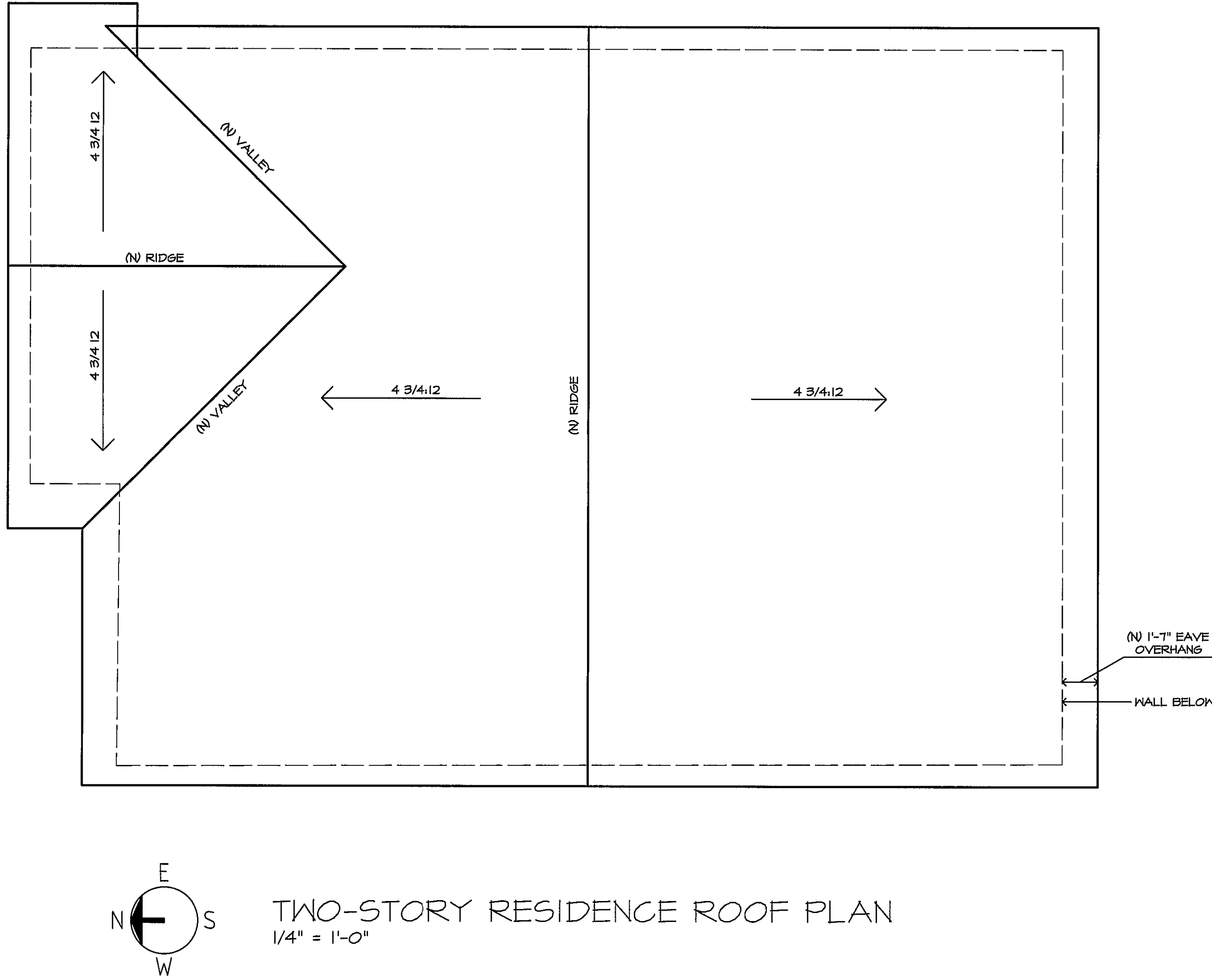
TWO-STORY RESIDENCE FLOOR PLANS

PROJECT: NEW TWO-STORY RESIDENCE, SECOND UNIT, GARAGE AND A.D.U. ARCHITECT: RUSSELL E. BARTO - A.I.A. - ARCHITECT
 OWNER: SAM SIDHU
 ADDRESS: 4030 W 154TH STREET, LAWDALE, CA 90260
 PHONE (818) 378-1355
 MOBILE (818) 729-4342
 russbarto@earthlink.net

SHEET

A2

2024-09-13



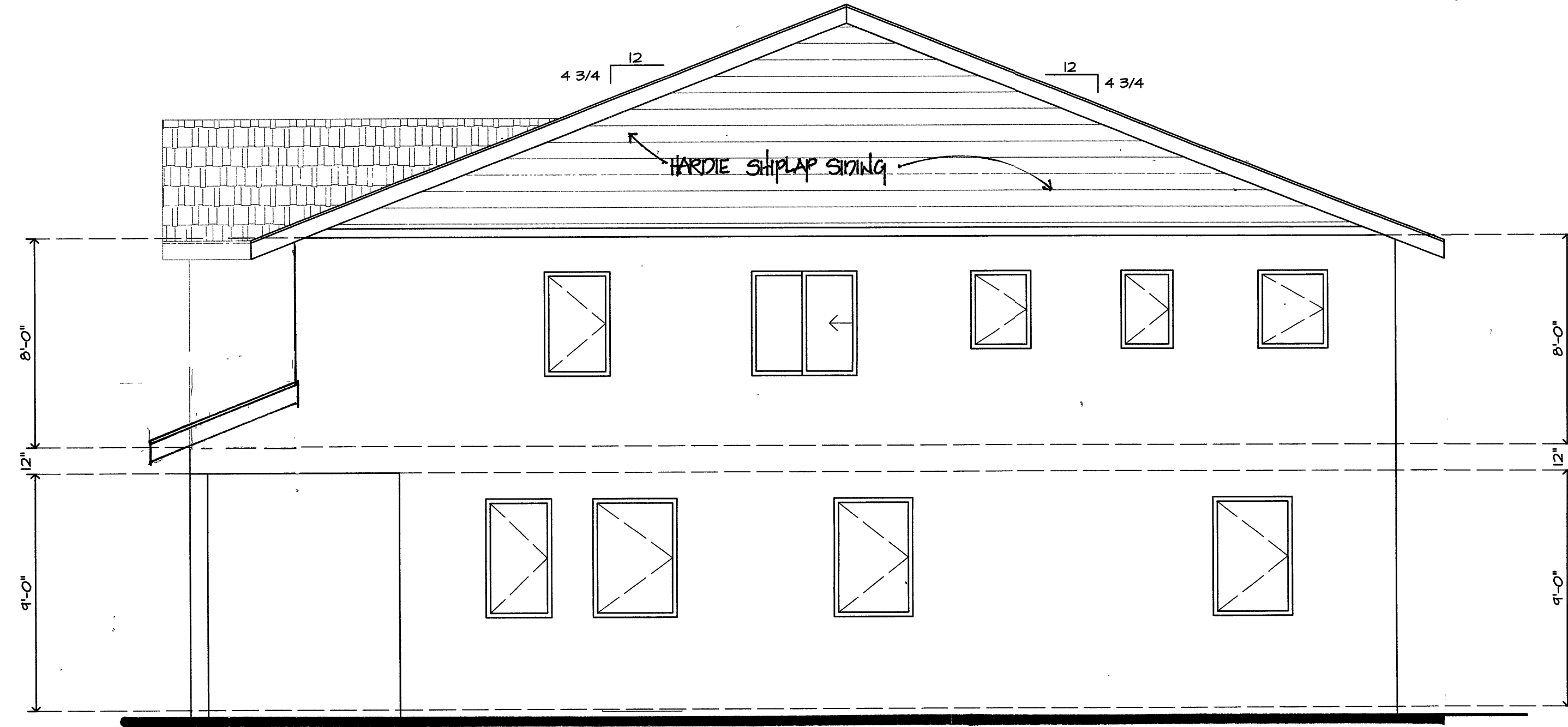
UNIT A ROOF PLAN
SPR24-52

SHEET
A3

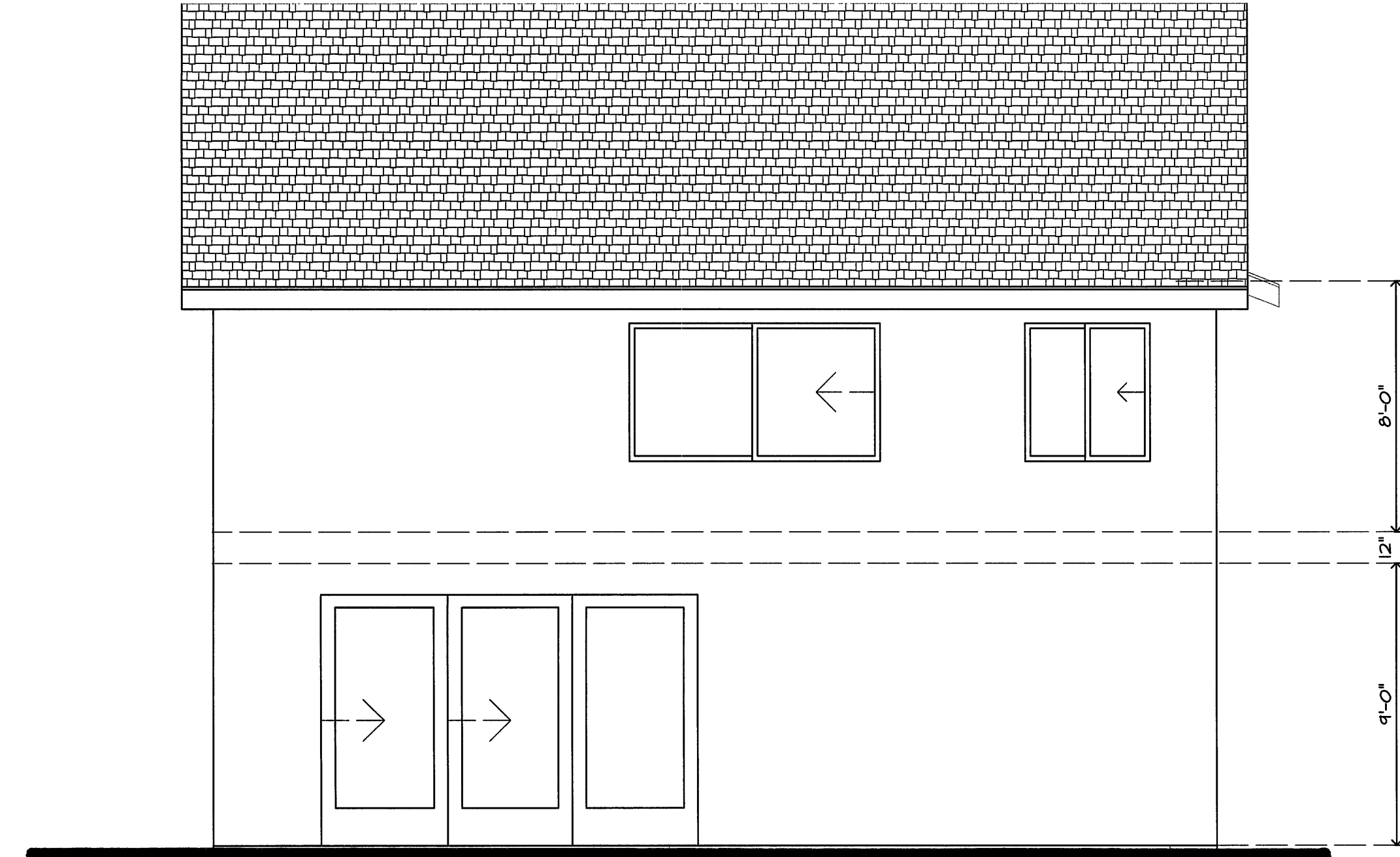
PROJECT NEW TWO-STORY RESIDENCE, SECOND UNIT, GARAGE AND A.D.U.
OWNER SAM SIDHU
ADDRESS 4030 W 154TH STREET, LAWINDALE, CA 90260

RUSSELL E. BARTO - A.I.A. - ARCHITECT
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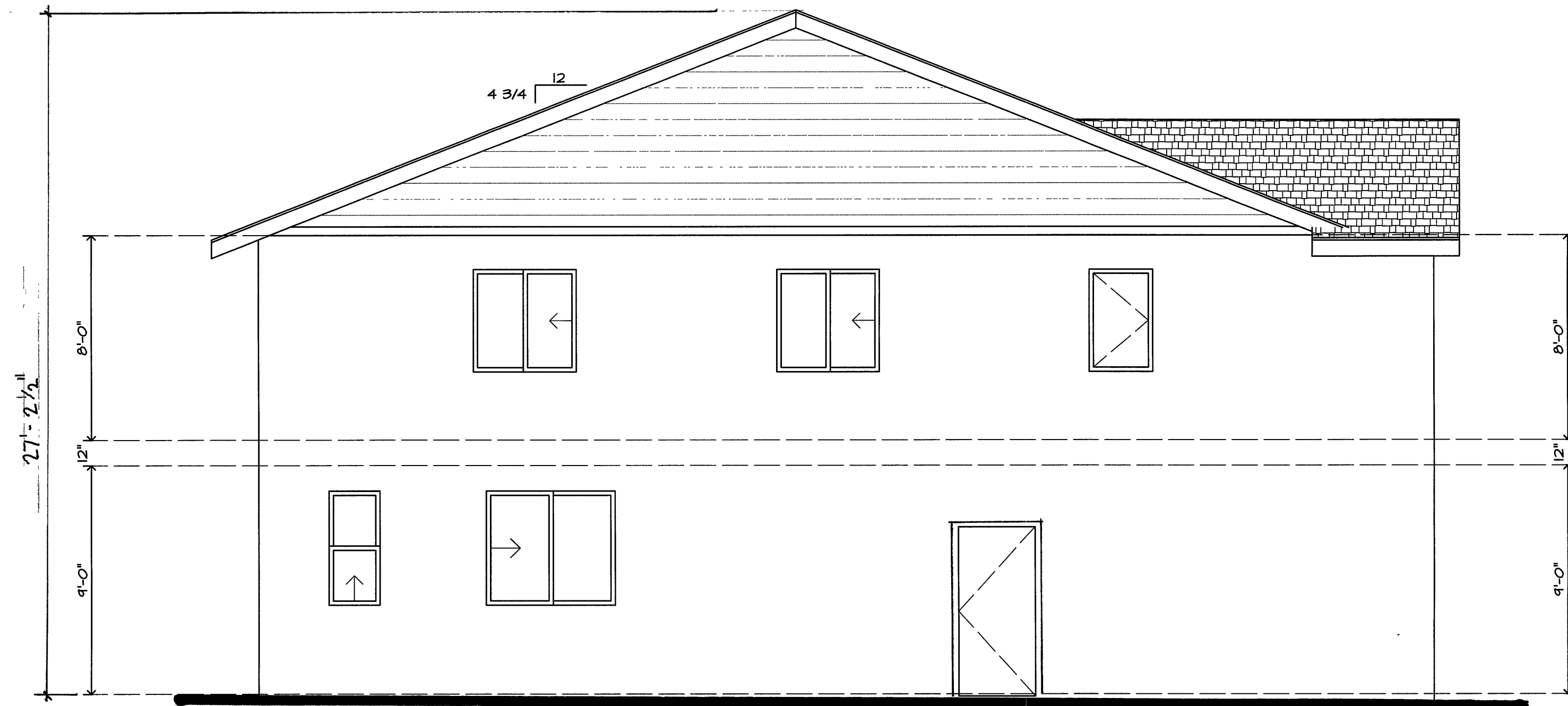
2024-09-13



WEST SIDE ELEVATION
1/4" = 1'-0"



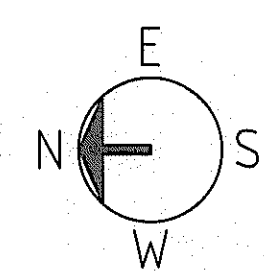
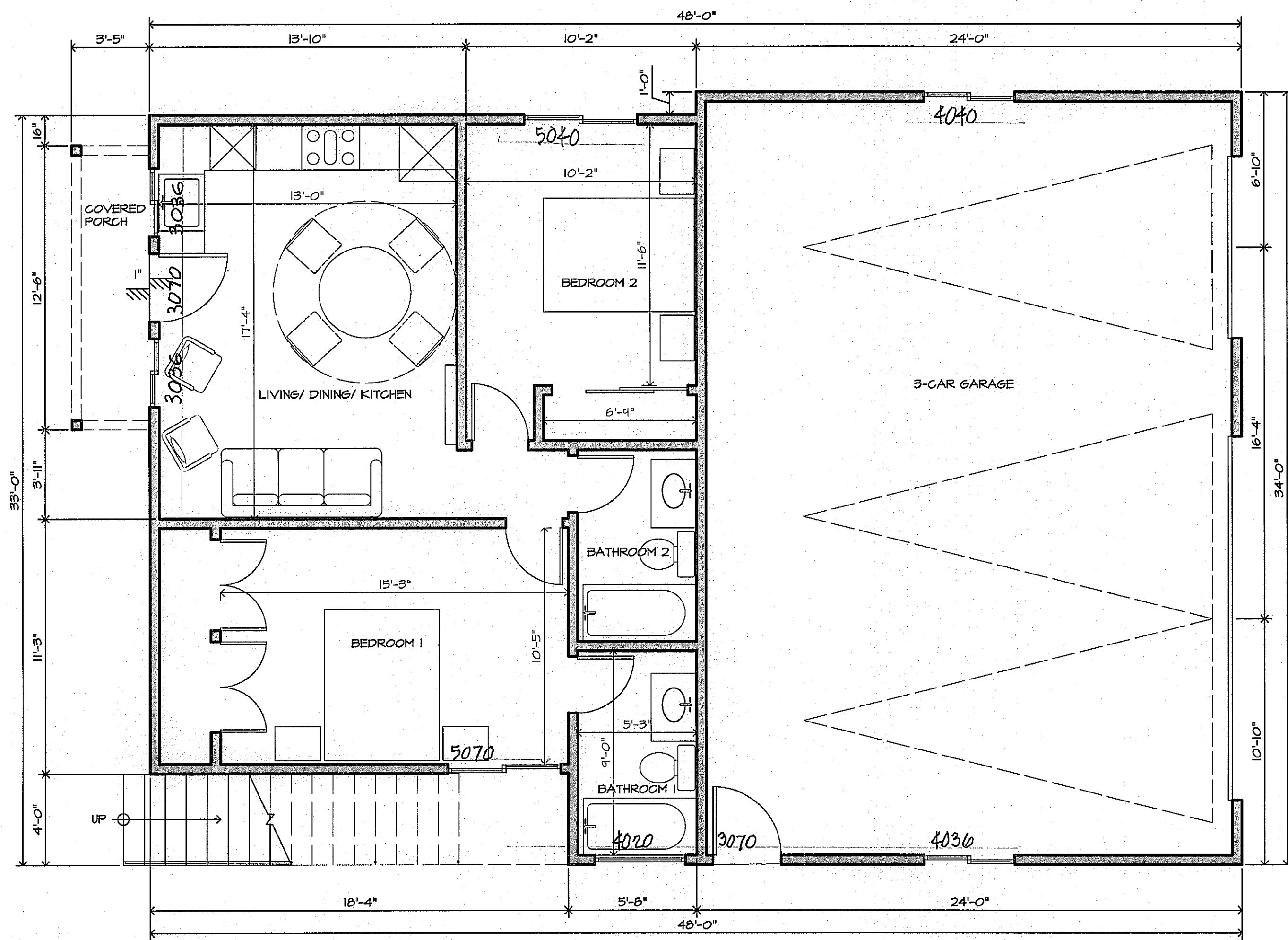
SOUTH REAR ELEVATION
1/4" = 1'-0"



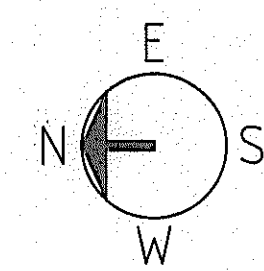
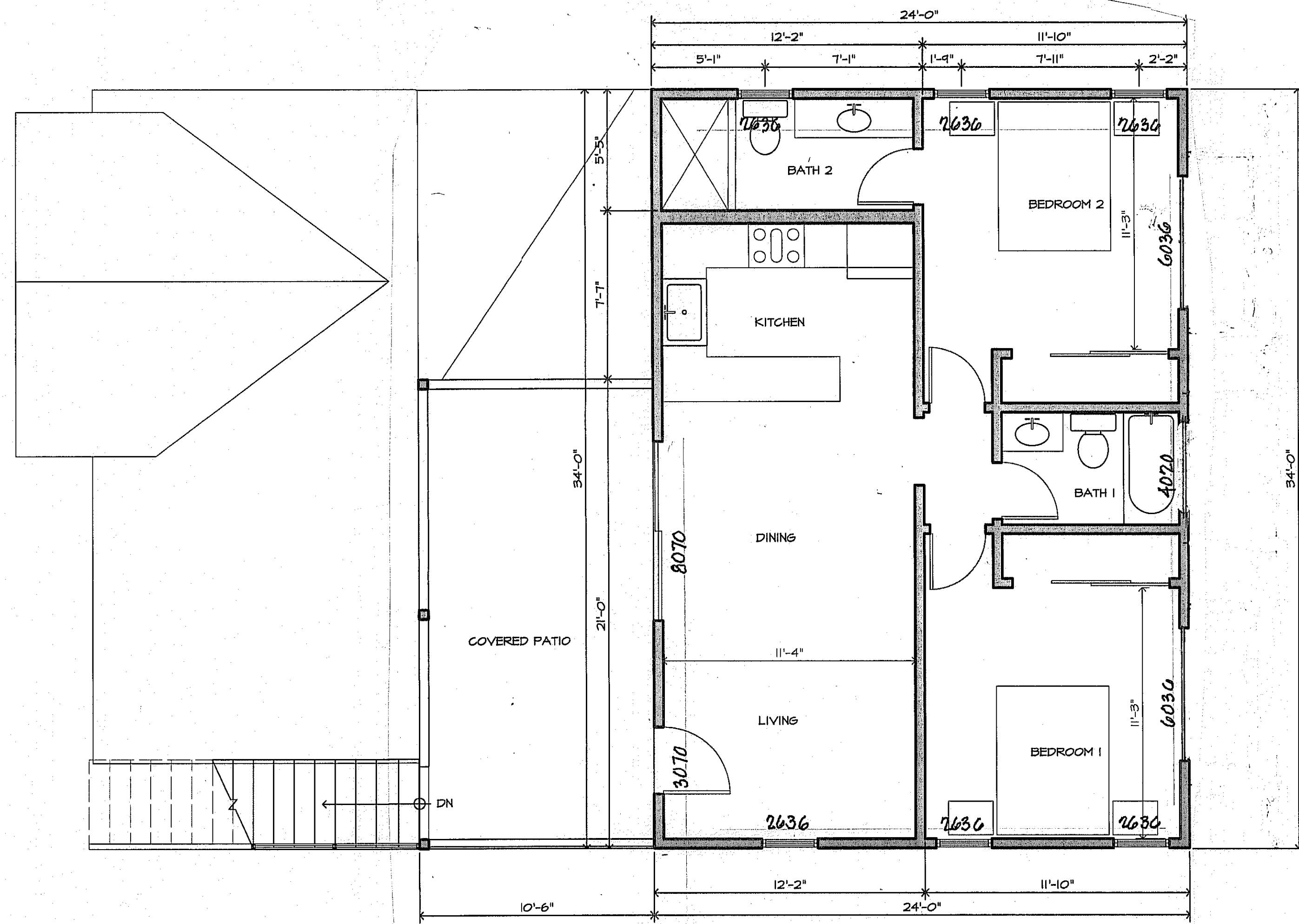
EAST SIDE ELEVATION
1/4" = 1'-0"



NORTH FRONT ELEVATION
1/4" = 1'-0"



A.D.U., 3-CAR GARAGE FLOOR PLAN
1/4" = 1'-0"
UNIT B FLOOR PLAN



SECOND UNIT FLOOR PLAN
1/4" = 1'-0"
UNIT C FLOOR PLAN

UNITS B & C FLOOR PLANS
SPR24-52

SECOND UNIT, GARAGE, AND A.D.U. PLANS

PROJECT: NEW TWO-STORY RESIDENCE, SECOND UNIT, GARAGE AND A.D.U. ARCHITECT: RUSSELL E. BARTO - A.I.A. - ARCHITECT

OWNER: SAM SIDHU

ADDRESS: 4030 W 154TH STREET, LAWNDALE, CA 90260

SHEET

A5

2024-09-13

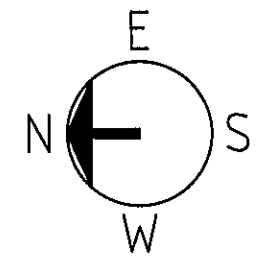
8628 VIA PALOMINO
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PHONE (310) 378-1355
RUSSELL E. BARTO
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PROJECT
OWNER
ADDRESS

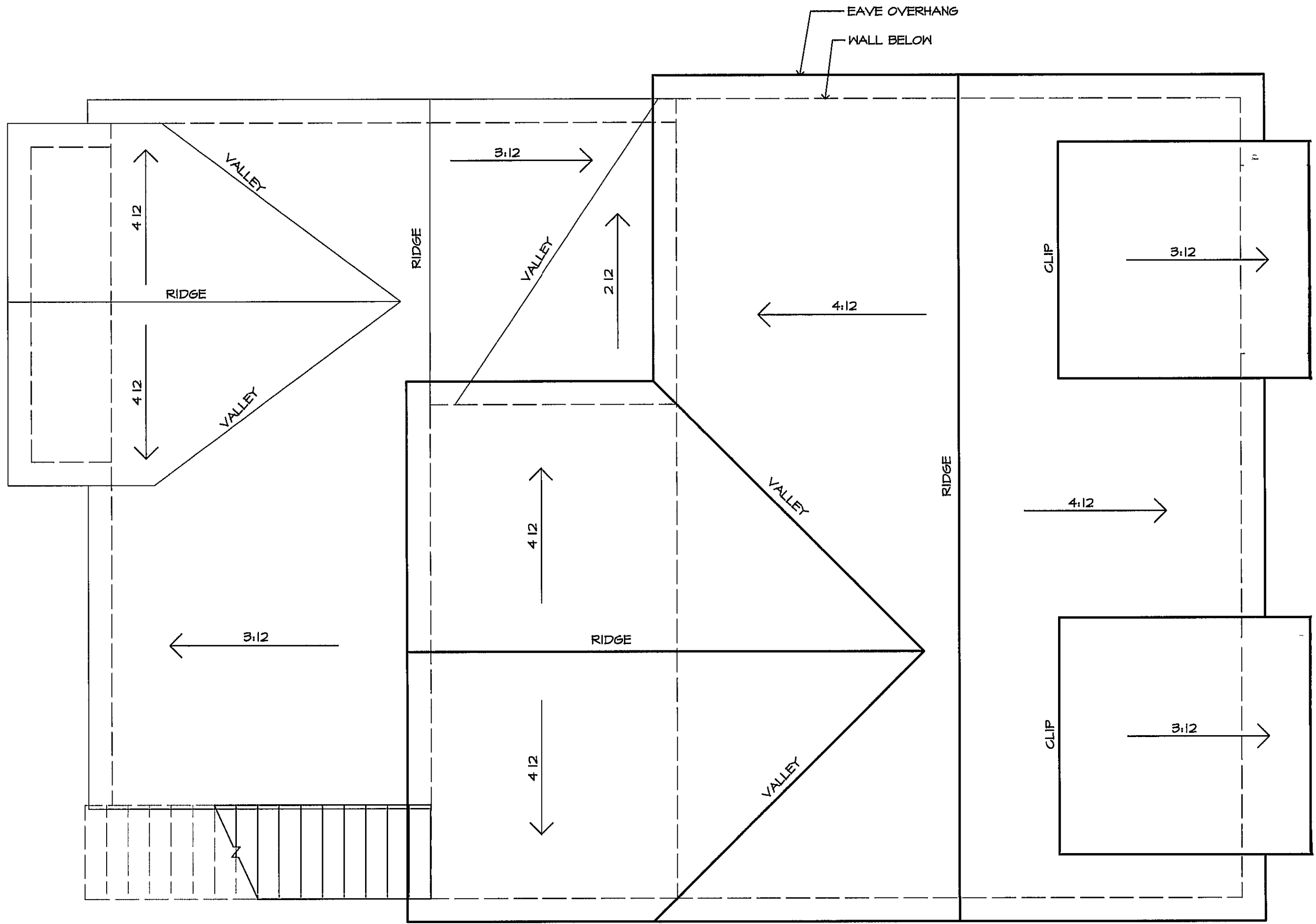
NEW TWO-STORY RESIDENCE, SECOND UNIT, GARAGE AND A D U
SAM SIDHU
4030 W 154TH STREET, LAMINDALE, CA 90260

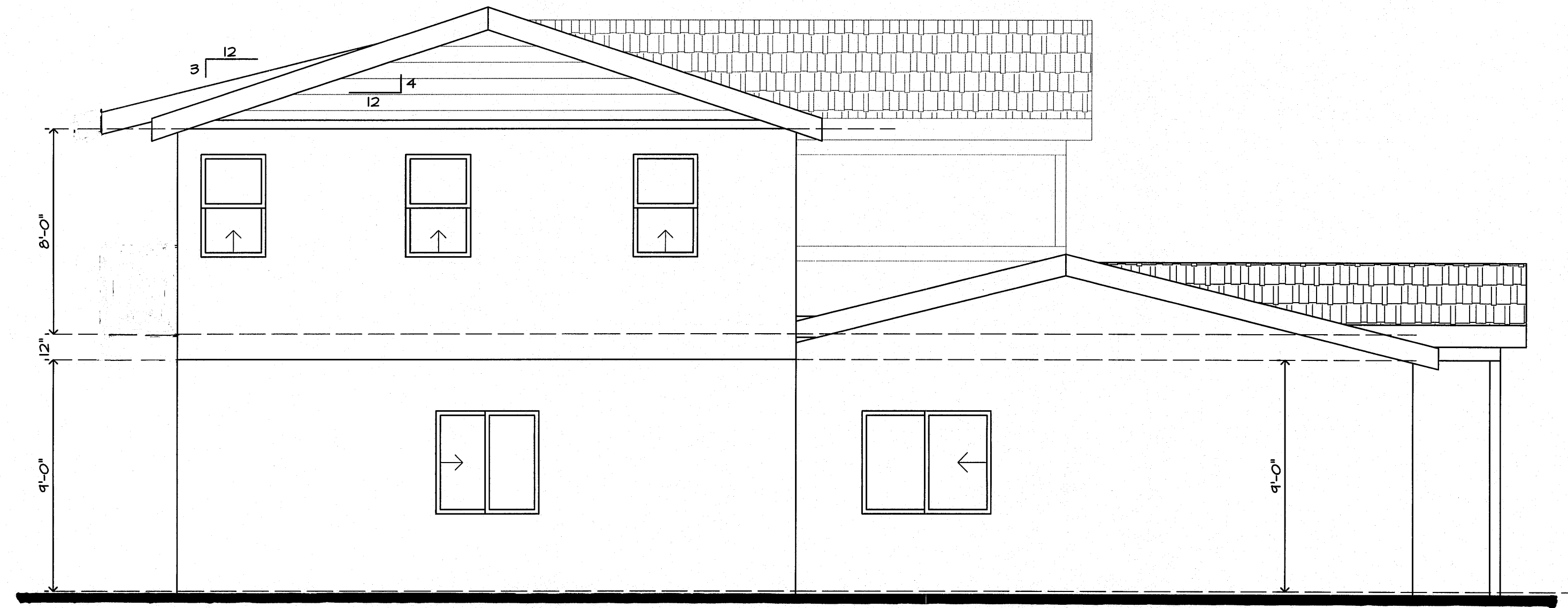
RUSSELL E. BARTO - A.I.A. - ARCHITECT

8608 VIA PALOMINO
PALOS VERDES ESTATES
CALIFORNIA 90274
RUSSELL E. BARTO
PHONE 310.729.4562
FAX 310.729.4562
MOBILE 310.729.4562
rusbarto@earthlink.net

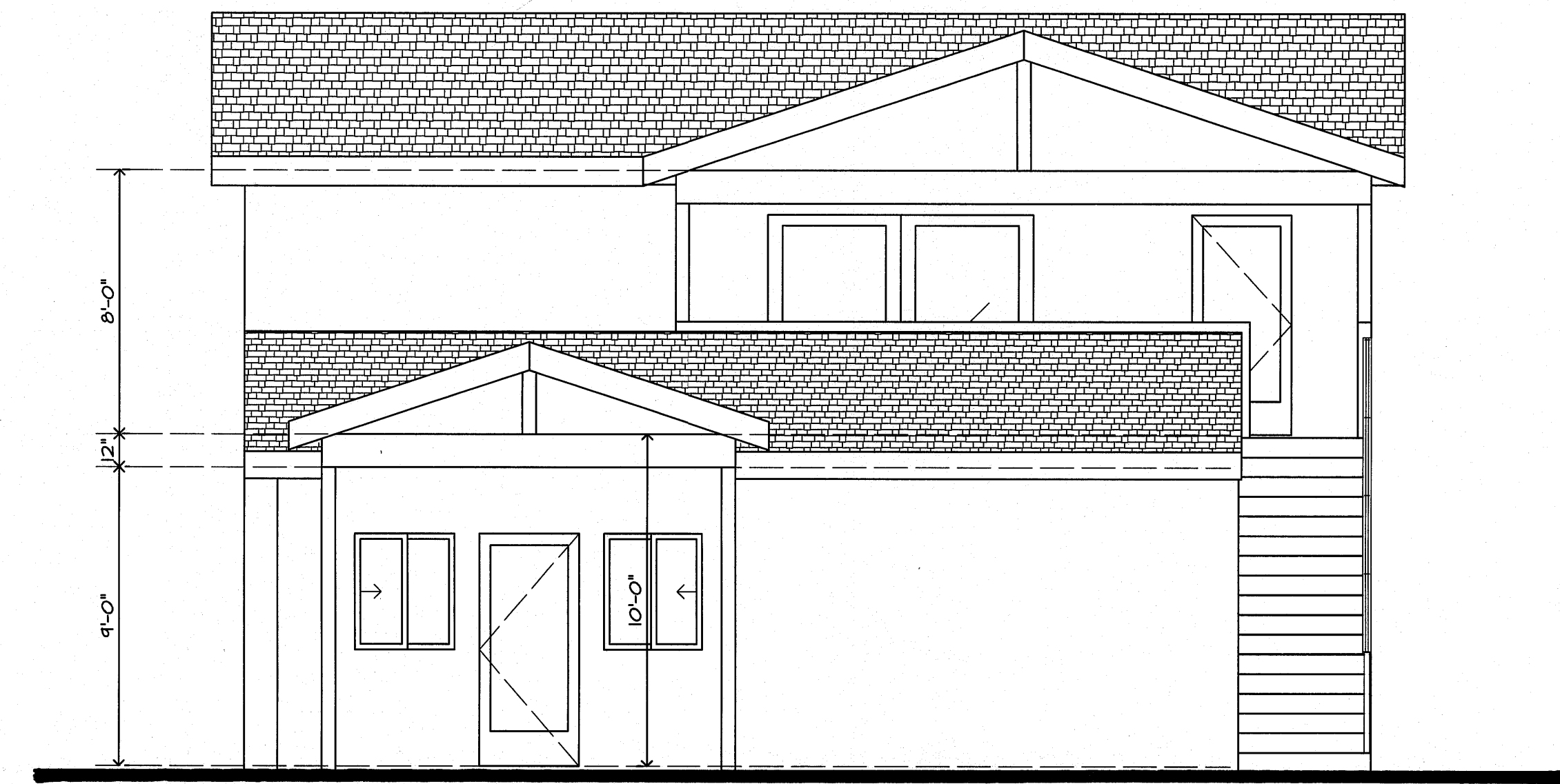


SECOND UNIT, A.D.U. ROOF PLAN
1/4" = 1'-0"

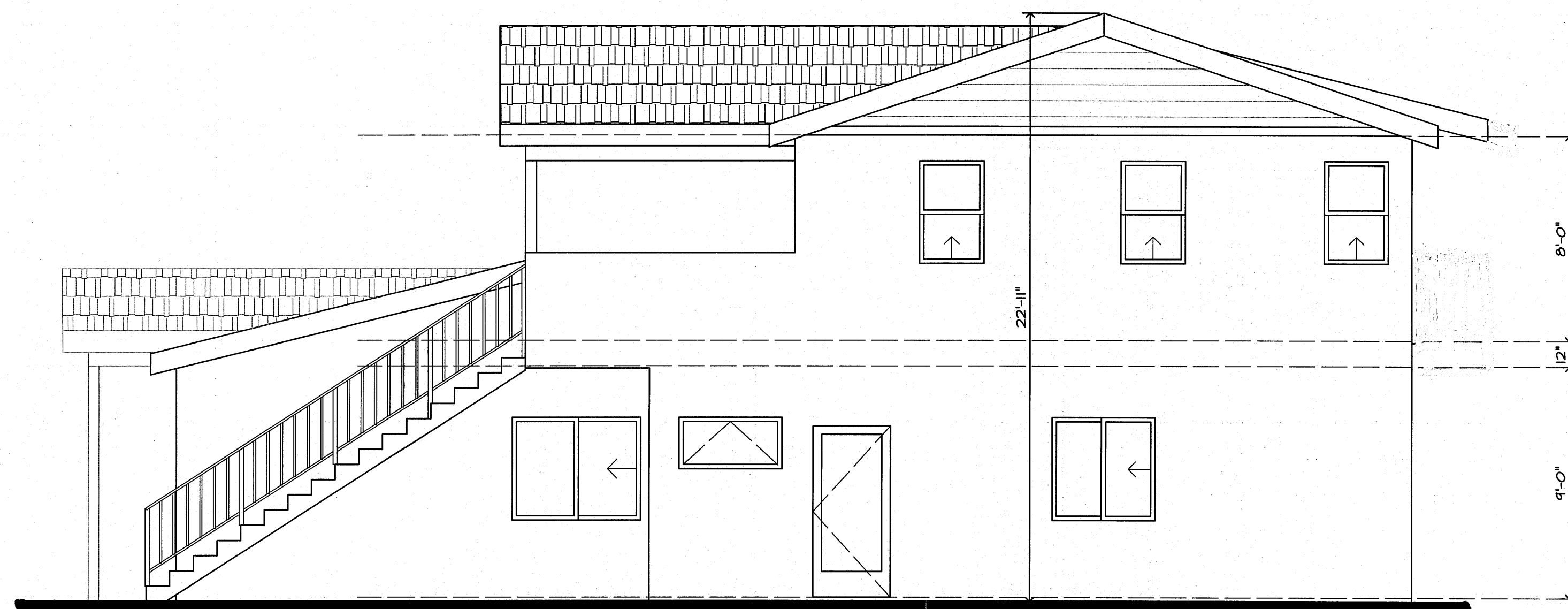




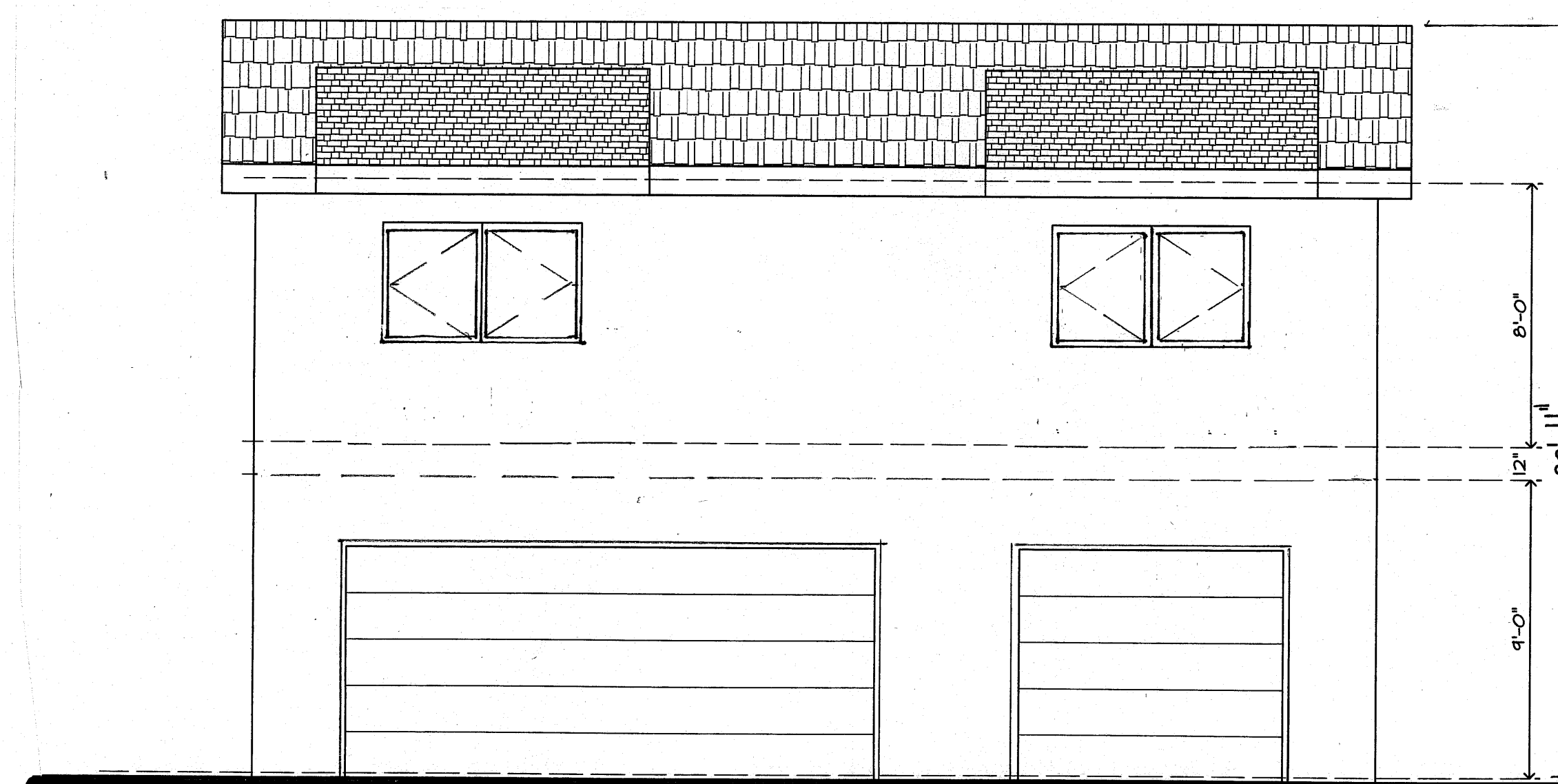
EAST SIDE ELEVATION
1/4" = 1'-0"



NORTH FRONT ELEVATION
1/4" = 1'-0"



WEST SIDE ELEVATION
1/4" = 1'-0"



SOUTH REAR ELEVATION
1/4" = 1'-0"

UNITS B & C ELEVATIONS
SPR24-52

SECOND UNIT, GARAGE, AND A.D.U. ELEVATIONS

PROJECT: NEW TWO-STORY RESIDENCE, SECOND UNIT, GARAGE AND A.D.U. **RUSSELL E. BARTO - A.I.A. - ARCHITECT**
OWNER: **SAM SIDHU**
ADDRESS: 4030 W 154TH STREET, LAWNDALE, CA 90260
PHONE (310) 378-1355
MOBILE (310) 729-4342
russbarto@earthlink.net

SHEET

A7

2024-09-13

EXHIBIT E

Notice of Exemption



Notice of Exemption

To: ☒ Los Angeles County Clerk's Office
Environmental Filing
12400 E. Imperial Highway, Room 1101
Norwalk, California 90650

☐ Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, California 95814

Project Title: Case No. 24-26 and Resolution 24-14

1. City of Lawndale Community Development Department
2. Project Location – Specific: 4030 W 159th Street
3. (a) Project Location - City: City of Lawndale
(b) Project Location - County: Los Angeles
4. Description of nature, purpose, and beneficiaries of Project: Case 24-26: A request for approval of a Design Review application to construct two 2-story single family residences that require a design review application approval.
5. Name of Public Agency approving project: City of Lawndale, California
6. Name of Person or Agency carrying out project: Jose Hernandez, Associate Planner
7. Exempt status: (Check one)
 - (a) ☐ Ministerial project.
 - (b) ☐ Not a project.
 - (c) ☐ Emergency Project.
 - (d) ☒ Categorical Exemption. State type and class number: 15303 (b) for "New Construction or Conversion of Small Structures"; and 15332 "In-fill Development Projects".
 - (e) ☐ Declared Emergency.
 - (f) ☐ Statutory Exemption. State Code section number: _____
 - (g) ☐ Other. Explanation: _____
8. Reason why project is exempt: Construction of 2 new single family residential units on a existing lot.
9. Contact Person: Jose Hernandez, Associate Planner
Telephone: (310) 973-3206
10. **Attach Preliminary Exemption Assessment (Form "A") before filing.**

Date Received for Filing: _____

(Clerk Stamp Here)

Signature (Lead Agency Representative)

Jose Hernandez, Associate Planner
Title