

**CITY OF GLENDORA
PLANNING COMMISSION**

AGENDA

Tuesday, May 6, 2025

7:00 PM

CITY HALL COUNCIL CHAMBER, 116 E. FOOTHILL BOULEVARD, GLENDORA

As a courtesy to others attending this meeting, please turn off or place in silent mode all cell phones and other communication devices while in the Council Chamber. Thank you.



CHAIR

Brian Faber

VICE-CHAIR

Timothy Cremins

COMMISSIONERS

Mark Davis

Paulette Koss

Kurt Norwood



GUIDE TO PUBLIC MEETINGS



**PARTICIPATING IN
PUBLIC MEETING**



MEETING MATERIALS

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

REORDERING OF AND ADDITIONS TO THE AGENDA

PUBLIC COMMENT

Three (3) Minute speaking time limit, speaking once, unless upon motion, such time is extended by the Governing Board.

Any person may request to address a legislative body during a public meeting by submitting to the City Clerk a Speakers Request form and stating the topic to be addressed.

Speakers are limited to three (3) minutes, speaking once, on both on- and off- agenda items, unless, upon motion, such time is extended by the legislative body. Such statements shall only be allowed during the Public Comment portion of the agenda. If there are any public hearings scheduled, individuals will be given an additional opportunity to comment under said items. Speakers are not permitted to yield their time to another speaker. Public comment is limited to 30 minutes at each meeting, with the ability to extend if the legislative body so chooses by majority vote.

To ensure that the public is able to participate, the City may provide a variety of ways in which the public can submit their comment: in person, email, phone call, mail and any other method which may become available. Methods of participation may be subject to change during other such times when a State of Emergency, Health Order or State Executive Order limits in-person participation.

1. Public Comments received

MEMBER STATEMENTS/REPORTS

DIRECTOR/STAFF LIAISON AND ATTORNEY STATEMENTS

PUBLIC HEARINGS

Public hearings shall conform to the protocol established to conduct of public meetings, proceedings, and business in the City of Glendora. Following presentation of the staff report, the applicant/appellant will be allowed ten (10) minutes in which to make a presentation. Following the presentation of the applicant/appellant public testimony share be called, each speaker is limited to three (3) minutes, speaking once. The Presiding Officer may permit a five (5) minute rebuttal/summation by a representative of applicant/appellant. The public hearing will then be closed, and no member of the public shall be allowed to speak further unless, upon motion, and the public hearing is reopened by the governing body. Any person desiring to provide testimony during a Public Hearing item shall make his/her presence known to the Presiding officer. Speakers are entitled to submit written or other graphic evidence. All such evidence presented shall be retained by the City Clerk as part of the Clerk's record.

PLEASE NOTE: If you challenge any of the proposed action(s) in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City Council at, or prior to, the public hearing.

2. A recommendation to the City Council on a Tentative Tract Map and Development Plan Review for 46 townhomes at 631-657 E. Arrow Highway (Project File No. PLN24-0032); Applicant: Melia Homes, Inc.;

Property owner: Vincenza Rago Family Trust

Recommended Action for the Planning Commission:

Open and conduct the Public Hearing, accept evidence and testimony presented, and in the absence of substantial evidence to the contrary recommend that the City Council consider the following related to project file number PLN24-0032:

- 1. Adopt a Categorical Exemption pursuant to the California Environmental Quality Act (CEQA) for the project; and
- 2. Adopt a City Council Resolution entitled, "A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GLENDORA, CALIFORNIA APPROVING TENTATIVE TRACT MAP NO. 84607 FOR SUBDIVISION OF LAND TO CREATE 46 RESIDENTIAL CONDOMINIUM UNITS AND DEVELOPMENT PLAN REVIEW FOR THE CONSTRUCTION OF THE TOWNHOMES ON CERTAIN PROPERTY LOCATED AT 631-657 EAST ARROW HIGHWAY, GLENDORA, CALIFORNIA (PROJECT FILE NO. PLN24-0032; APPLICANT: MELIA HOMES, INC.; PROPERTY OWNER: VINCENZA RAGO FAMILY TRUST)."

3. Conditional Use Permit to allow alcohol sales (On-Sale General) for on-site consumption, in conjunction with a restaurant (Mama Canela Restaurant), located at 147 North Glendora Avenue (Project File No. PLN24-0047)

Recommended Action for the Planning Commission:

Open and conduct public hearing, accept evidence and testimony presented and in the absence of substantial evidence to the contrary, consider the following:

- 1. Adopt a Categorical Exemption for the project pursuant to 15301 of the California Environmental Quality Act (CEQA) Guidelines; and
- 2. Adopt a Planning Commission Resolution entitled, "A RESOLUTION OF THE PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT TO ALLOW ALCOHOL SALES (ON-SALE GENERAL) FOR ON-SITE CONSUMPTION IN CONJUNCTION WITH A RESTAURANT (MAMA CANELA RESTAURANT) (PROJECT FILE NO. PLN24-0047)."

CONSENT CALENDAR

Items on the Consent Calendar will be enacted by one motion without individual discussion. There will be no separate discussion of these items unless a member of the governing body requests specific item(s) be removed from the Consent Calendar for separate action. Items removed from the Consent Calendar will be considered after the regular items. Anyone wishing to address a Consent Calendar item should do so during the Public Comment Period.

4. Affirm minutes from the April 1, 2025 Planning Commission meeting

Recommended Action for the Planning Commission:

- 1. Affirm minutes as presented.

MEMBER/STAFF CLOSING COMMENTS

ADJOURNMENT



STAFF REPORT

TO: Chair and Commissioners

DATE: May 6, 2025

FROM: Community Development

DISTRICT(S): 3

SUBJECT: A recommendation to the City Council on a Tentative Tract Map and Development Plan Review for 46 townhomes at 631-657 E. Arrow Highway (Project File No. PLN24-0032); Applicant: Melia Homes, Inc.; Property owner: Vincenza Rago Family Trust

RECOMMENDATION

That the Planning Commission:

Open and conduct the Public Hearing, accept evidence and testimony presented, and in the absence of substantial evidence to the contrary recommend that the City Council consider the following related to project file number PLN24-0032:

1. Adopt a Categorical Exemption pursuant to the California Environmental Quality Act (CEQA) for the project; and
2. Adopt a City Council Resolution entitled, "A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GLENDORA, CALIFORNIA APPROVING TENTATIVE TRACT MAP NO. 84607 FOR SUBDIVISION OF LAND TO CREATE 46 RESIDENTIAL CONDOMINIUM UNITS AND DEVELOPMENT PLAN REVIEW FOR THE CONSTRUCTION OF THE TOWNHOMES ON CERTAIN PROPERTY LOCATED AT 631-657 EAST ARROW HIGHWAY, GLENDORA, CALIFORNIA (PROJECT FILE NO. PLN24-0032; APPLICANT: MELIA HOMES, INC.; PROPERTY OWNER: VINCENZA RAGO FAMILY TRUST)."

STRATEGIC FOCUS AREAS

Not Applicable

EXECUTIVE SUMMARY

The applicant is requesting approval of a condominium subdivision (Tentative Tract No. 84607) and a Development Plan Review application for a proposed 46-unit, three-story townhome residential development located at 631-657 E. Arrow Highway. All of the proposed townhomes are for sale, with 10% restricted to "moderate" income buyers. Pursuant to State law, the provision of moderate-income housing allows developer to obtain concessions, waivers and incentives.

LEGISLATIVE HISTORY / PREVIOUS ACTIONS

On February 21, 2024, the applicant submitted a Concept Review application and plans (File No. PLN24-0004) for a preliminary project concept of the subject site. The preliminary plans included subdivision of the land into 46 residential condominiums and the construction of associated townhomes. On April 1, 2024, the City provided the applicant with a letter that included an extensive list of items (comments, suggestions, code considerations) for the applicant to review and consider with the next evolution of the development's plans and formal submittals.

On September 18, 2024, the proposed project application (File No. PLN24-0032) was submitted for the 46-unit residential condominium development that includes a Tentative Tract Map and Development Plan Review. This project was reviewed by staff and modified by the applicant over several months.

On April 24, 2025, a Notice of Public Hearing (Attachment E) for the proposed project was published in the *San Gabriel Valley Examiner* and all property owners within 300 feet of the subject property were mailed a notice.

DISCUSSION

Project Location

The subject property is located at 631-657 E. Arrow Highway. The site is located on the north side of Arrow Highway between South Bonnie Cove Avenue and South Sunflower Avenue. The site consists of two lots that are developed with commercial uses. The commercial center would be demolished to allow for the development and subdivision of 46 residential townhomes.

General Plan and Zoning Designation

The subject property has a General Plan Land Use Designation of *Arrow Highway Specific Plan (AHSP)* and a zoning designation *AHSP – Commercial Core Mixed-Use (AHSP MU-CC)*.

Application/Project Request:

The project involves approval for two discretionary permits:

1. Tentative Tract Map No. 84607 to subdivide land to create 46 residential condominium townhomes.
2. Development Plan Review for approval of the project's development plans.

Summary of Recommendation:

Staff recommends the approval of the project as it is consistent with applicable development standards for the AHSP MU-CC zone and the City's General Plan.

FISCAL IMPACT

There is no fiscal impact for this project, and the applicant has paid all fees associated with the proposed review. Beyond the City's review, if the residential homes were approved it would provide one time revenue to the City in the form of building and development impact fees. In the long term, the development of the property would also provide increased property tax revenue.

ENVIRONMENTAL DETERMINATION

The City of Glendora, as lead agency, is responsible for preparing environmental documentation in accordance with the California Environmental Quality Act (CEQA) to determine if approval of the discretionary actions requested and subsequent development would have a significant impact on the environment. An Environmental Impact Report (EIR) was prepared for the Arrow Highway Specific Plan (AHSP) [State Clearinghouse #2017041043] and adopted by the Glendora City Council on September 25, 2018. This EIR included the full analysis for future construction of up to 739 residential units at realistic buildout within Glendora's portion of the Arrow Highway corridor. The AHSP's EIR is applicable to all future residential development plans if they are in conformance with the specific plan, thus requiring no further environmental documentation. Therefore, if the subject proposal for 46 residential homes is approved with a determination that it follows the specific plan's intent than no further environmental review is necessary. As such a CEQA Notice of Exemption (NOE) has been prepared (Attachment B) for this project, which if approved will be submitted as the project's CEQA compliance.

Prepared By	Yalini Siva, Senior Planner
Concurs With	Mark Carnahan, City Planner
Reviewed By	Jeff Kugel, Community Development Director
Certified to Availability of Funds	Not Applicable
Approved By	Moises Lopez, Assistant City Manager
Legal Review	Judy Baladi, Assistant City Attorney
CEQA Review	Jeff Kugel, Community Development Director

ATTACHMENTS:

- A. Draft Resolution
- B. CEQA Notice of Exemption (NOE)
- C. Project Analysis Memo
- D. Project Plans
- E. Public Hearing Notice
- F. Presentation Slides

Attachments

[A. Draft Resolution.pdf](#)

[B. CEQA Notice of Exemption \(NOE\).pdf](#)

[C. Project Analysis Memo.pdf](#)

[D. Project Plans.pdf](#)

[E. Public Hearing Notice.pdf](#)

[F. Presentation Slides.pdf](#)

RESOLUTION NO. CC 2025-__

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GLENDORA, CALIFORNIA APPROVING TENTATIVE TRACT MAP NO. 84607, DEVELOPMENT PLAN REVIEW APPLICATION FOR SUBDIVISION OF LAND TO CREATE 46 RESIDENTIAL CONDOMINIUM UNITS, AND DEVELOPMENT PLAN REVIEW APPLICATION FOR CONSTRUCTION OF TOWNHOMES ON CERTAIN PROPERTY LOCATED AT 631-657 EAST ARROW HIGHWAY, GLENDORA, CALIFORNIA (PROJECT FILE NO. PLN24-0032)

**THE CITY COUNCIL
City of Glendora, California**

THE CITY COUNCIL OF THE CITY OF GLENDORA DOES HEREBY RESOLVE AS FOLLOWS:

WHEREAS, the California Subdivision Map Act (codified at California Government Code, Title 7, Division 2, commencing with §66410) establishes the legal framework regarding the division of land; and

WHEREAS, Glendora Municipal Code (GMC) section 21.02.040 establishes procedures for the review of development applications proposed through a Development Plan Review (DPR) application; and

WHEREAS, the properties at 631-657 East Arrow Highway, Glendora, California, are located in an established neighborhood of commercial and residential type uses; and

WHEREAS, GMC §21.02.040 provides that the purpose of a DPR is to establish procedures “*whereby development plans can be reviewed to ensure orderly development, aesthetic design, safe and harmonious placement and to:*

- 1. Prevent or minimize adverse impacts on property in the vicinity;*
- 2. Implement the general plan and applicable specific plans;*
- 3. Protect the public health, safety and welfare;*
- 4. Site structures and other improvements in a manner that is in harmony with the terrain and existing developments in the vicinity;*
- 5. Encourage and promote energy-efficient design.”; and*

WHEREAS, GMC section 21.02.040(G) provides that the reviewing body (in this case, the City Council) may impose such conditions as it deems necessary to ensure that the project will meet the development standards of the zone and the purpose and intent of the DPR; and

WHEREAS, on September 18, 2024, Melia Homes, Inc. (Applicant), on behalf of Vincenza Rago Family Trust (Owner), filed an application for a Tentative Tract Map (TTM) (No. 84607) and DPR for 46 three-story, residential condominium townhomes on certain property located at 631-657 East Arrow Highway, Glendora, California (Project File No. PLN24-0032); and

WHEREAS, the City of Glendora (City), as the lead agency, is responsible for preparing environmental documentation in accordance with the California Environmental Quality Act (CEQA) to determine if approval of the discretionary actions requested and subsequent development would have a significant impact on the environment; and

WHEREAS, a CEQA Environmental Impact Report (EIR) was prepared for the Arrow Highway Specific Plan (AHSP) [*State Clearinghouse #2017041043*] and adopted by the Glendora City Council on September 25, 2018. This EIR included the full analysis for future construction of up to 739 residential units at realistic buildout within the City's portion of the Arrow Highway corridor. The AHSP's EIR is applicable to all future residential development plans if they are in conformance with the specific plan, thus requiring no further environmental documentation; and

WHEREAS, pursuant to GMC section 21.03.130, "Affordable housing density bonuses and other incentives", and California Government Code Section 65915 "Density Bonusses and Other Incentives", the subject project provides five (5) homes (10% of total homes) to be offered and restricted to moderate income qualified buyers. The project also complies with California Government Code Section 65915(p)(1), "Affordable Project Parking Spaces Required", which allows for a reduced number of parking spaces to be required on-site per the GMC. In addition, one (1) statutory incentive to be utilized is for usable open space and private balcony open space, as the provided usable open space is less than the required 400 square feet per unit and the provided private balcony open space does not comply with dimension standards of the GMC. Although the AHSP requires a 10-foot first floor plate height, the project provides a height of 8-feet and 7-inches to comply with both the AHSP and Los Angeles County Fire requirements. The AHSP also requires window glazing for street-facing projects; however, the project will provide stucco to ensure residential privacy in lieu of meeting the minimum requirements for window glazing and transparency. Moreover, the AHSP requires only one vehicular access point for parcels that are less than 450 feet in length. However, the project provides two driveway access points to ensure minimum density and compliance with fire requirements.

WHEREAS, if the subject proposal for the subdivision and development of 46 residential condominium townhomes is approved with a determination that it follows the AHSP's intent, then no further CEQA review is necessary, and a Notice of Exception (NOE) can be submitted as the project's CEQA compliance; and

WHEREAS, a public hearing was held by the Planning Commission of the City, on April 2, 2024, after due notice was given as required by law, at which time oral and documentary evidence was introduced along with the written recommendation of the Planning Division staff of the City; and

WHEREAS, a public hearing was held by the Planning Commission of the City on May 6, 2025, after due notice was given as required by law, at which time the Planning Commission recommended approval of the TTM (No. 84607) and DPR (Project File No. PLN24-0032) to the City Council; and

WHEREAS, a public hearing was held by the City Council of the City, on June 10, 2025, after due notice was given as required by law, at which time oral and documentary evidence was introduced along with the written recommendation of the Planning Commission of the City.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF GLENDORA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The above recitals are true and correct and are incorporated by reference.

SECTION 2. The City Council hereby makes Findings with Facts, which are hereby incorporated in full as follows:

FINDINGS OF FACT FOR TENTATIVE TRACT MAP

1. The proposed map is consistent with applicable general and specific plans as specified in §65451 of the California Government Code.

FACT: Pursuant to Government Code Section 66473.5, the proposed TTM together with the provisions for its design and improvements are consistent with the City's General Plan Land Use Element Designation of AHSP. The proposed TTM is for a 46-unit, residential condominium townhome development that will provide housing ownership opportunities for the community. The proposed residential is consistent with the allowed uses for the AHSP. Finally, the project location is in general proximity to City employment areas, active and passive recreational opportunities, a variety of commercial areas, and multi-modal transportation routes.

2. The design or improvement of the proposed subdivision is consistent with applicable general and specific plans.

FACT: The proposed development of residential homes is consistent with the General Plan and complies with the applicable goals, objectives and policies of the City's General Plan Elements. The residential development provides a diverse housing choice for future residents (Land Use Element Goal LU-7: A diverse range of housing choices; LU-10: Quality Infill Development; LU-18: Compatibility of Adjacent Uses; & LU-21: Preservation of Neighborhood Character). The subject site is located within a neighborhood with access to commercial areas and multiple transportation options (Housing Element Goal 3: Range of Housing Opportunities). The development project will use the latest energy conservation features to conserve natural resources and lower energy costs. The development project includes mitigation measures to ensure that noise and vibration will not exceed normally accepted levels (Noise Element Goal N-3: Coordinated Land Use Planning and Noise Mitigation). The development project complies with the General Plan Land Use Designation and zoning ordinance standards, with permitted deviations. Finally, the AHSP identifies several areas that specifically relate to the project site's development, which upon review have been determined to be compatible with the General Plan.

3. The site is physically suitable for the type of development and can accommodate the development standards of this title or as is otherwise required.

FACT: The site is designed and graded to be physically suitable for the 46-unit residential condominium townhome development. The project site has frontage on Arrow Highway which provides access and connections to existing public utilities. Private driveways provide adequate vehicular access (including Fire Department equipment access) throughout the site. The Fire Department has reviewed and accepted the site layout.

4. The site is physically suitable for the proposed density of development.

FACT: The proposed site is designed and graded to be physically suitable for the 46-unit, residential condominium townhome development. The project density of 46 units is less than the allowed maximum (30 dwelling units per acre) and consistent with the minimum dwelling units per acre (80 percent of the maximum = 46.56).

5. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially injure fish or wildlife or their habitat.

Fact: The subject site is located within an established urban neighborhood and the 46-unit residential condominium subdivision is considered an infill project. There are no fish or wildlife, or related habitats present on the property, and none would be affected by the project. A previous environmental review was conducted pursuant to CEQA and concluded that the project along Arrow Highway will have no significant environmental impact. The design of the subdivision and proposed improvements will not cause environmental damage.

6. The design of the subdivision or type of improvements is not likely to cause serious public health, safety, or welfare problems.

Fact: The design of the subdivision and the proposed improvements will not result in public health, safety, and welfare problems. The subdivision includes private and common open space for recreational opportunities for residents. The subdivision design complies with Los Angeles County Fire Department emergency vehicle access requirements.

7. The design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision.

FACT: The subdivision will not conflict with any existing public easements and new easements will be recorded as necessary for public utilities, drainage, and other issues.

FINDINGS OF FACT FOR DEVELOPMENT PLAN REVIEW

1. The use is authorized by Development Plan Review pursuant to this title.

FACT: Pursuant to GMC section 21.02.040(B), the construction of multiple-family projects—apartments, condominiums, and cooperatives—is permitted with the approval of a Development Plan Review application; and as 46 units are proposed, Planning Commission review is required.

2. The use is consistent with the general plan and other applicable plans.

FACT: The proposed development of residential homes is consistent with the General Plan and complies with the applicable goals, objectives, and policies of the City's General Elements. The residential development provides a diverse housing choice for future residents (Land Use Element Goal LU-7: A diverse range of housing choices; LU-10: Quality Infill Development; LU-18: Compatibility of Adjacent Uses; & LU-21: Preservation of Neighborhood Character). The subject site is located within a neighborhood with access to commercial areas and multiple transportation options (Housing Element Goal 3: Range of Housing Opportunities). The Resolution CC 2025-____

development project will use the latest energy conservation features to conserve natural resources and lower energy costs. The development project includes mitigation measures to ensure that noise and vibration will not exceed normally accepted levels (Noise Element Goal N-3: Coordinated Land Use Planning and Noise Mitigation). The development project complies with the General Plan Land Use Designation and zoning ordinance standards, with permitted deviations. Finally, the AHSP identifies several areas that specifically relate to the project site's development, which upon review have been determined to be compatible with the General Plan.

3. The site can accommodate the development standards of this title or as is otherwise required.

FACT: The proposed project is located on four existing lots located at 631-657 E. Arrow Highway, is zoned *Commercial Core Mixed-Use (MU-CC)* and is 1.9 acres in size. The proposed residential project is comprised of 46 attached, three-story, residential condominium townhomes with two-car garages; a project density of 46 units is less than the allowed maximum (30 dwelling units per acre) and consistent with the minimum dwelling units per acre (80 percent of the maximum = 46.56). Therefore, the proposed project will conform to the City's current residential density for this zone in place for the Arrow Highway Corridor.

4. The site is adequately served by streets, utilities, and other services, facilities and improvements.

FACT: The subject property has street frontage on Arrow Highway. The site is served by services and utilities provided by Athens Waste Disposal, Los Angeles County Sanitation District, City of Glendora Water Division, Glendora Police Department, Los Angeles County Fire Department, Southern California Edison, Los Angeles County Flood Control District, and all other public and private services that accommodate the operation of an attached residential condominium development. The right-of-way areas (sidewalks and streets) are located within unincorporated Los Angeles County (County) jurisdiction and are fully improved.

5. The use will not adversely affect the character and integrity of the area, the utility and value of properties in the area, and the health, safety and welfare of the public.

FACT: The proposed project will result in the construction of 46 townhouse condominiums in an established urban neighborhood (commercial and residential uses). Therefore, the proposed residential condominium project is compatible with the neighborhood. The development of the lot will not adversely affect the character and integrity of the area or the health, safety, and welfare of the public. The project will not cause any serious health, safety, or welfare problems in that its design and related construction will be performed per the requirements of all applicable codes, including zoning and building.

SECTION 3. The City Council hereby adopts the foregoing findings and approves the filing of a NOE by City staff for CEQA compliance.

SECTION 4. The City Council hereby approves the application for a TTM and DPR (Project File No. PLN23-0015) for the subdivision and development of a 46-unit residential condominium project as described by the report and depicted on project plans attached to the City Council Agenda Report for PLN23-0015, and after determining that the project meets

the requirements of GMC section 21.02.040 and the California Subdivision Map Act, subject to the following Conditions of Approval:

CONDITIONS OF APPROVAL

1. The Applicant shall sign and submit to the Planning Division a statement indicating agreement with and acceptance of the adopted Conditions of Approval prior to the issuance of grading and building permits.
2. The subject property shall be developed in substantial conformance with project plans attached to the City Council Agenda Report for PLN24-0032, as modified by these Conditions of Approval.
3. The City shall have the right of entry to inspect the premises to verify compliance with the Conditions of Approval and the GMC.
4. The City shall retain the right and the jurisdiction to review the TTM and DPR (No. PLN24-0032) in the event the use conducted herein is modified, changed in scope, or the owner or operator seeks to expand, alter, reconfigure, or change the use. This reservation of the right of review is in addition to, and not in lieu of, the right of the City to review and revoke the TTM and DPR (Project File No. PLN24-0032) or to modify the permit for any violation of the Conditions imposed.
5. The Applicant agrees as a condition of issuance of this entitlement to indemnify, protect, defend, and hold harmless, the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents, from and against any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorney's fees and disbursements (collectively, "Claims") arising out of or in any way relating to the issuance of this entitlement, any actions taken by the City related to this entitlement or the environmental review conducted under the California Environmental Quality Act, Public Resources Code §21000 et seq., for this entitlement and related actions.

Planning

6. The Applicant shall maintain consistency with the approved architectural plans including colors and materials submitted to the Planning Division. Modification(s) of the approved building elevations, including but not limited to, changes of finished material(s) or alterations to building articulation are not permitted without prior written approval from the Community Development Director (Director). Requests shall be made in writing and include:
 - a. A written and illustrative description of the proposed revision; and
 - b. The reason and justification for the request.

In approving a revision, the Director shall find that the requested modification is minor and substantially conforms with the approved architectural plans.

7. The delivery of materials and equipment and the outdoor use of equipment, hammers, and power tools shall be limited to the hours between 7:00 a.m. and 6:00 p.m., Monday through

Friday, with no work allowed on Saturdays, Sundays, or Federal holidays, with the exception of interior work. Outdoor yard work is permitted, wherein it does not involve heavy equipment or noise-producing equipment.

8. A final wall and fence plan shall be submitted to the Planning Division for review and approval prior to the issuance of building permits. Approved walls and fences shall be installed prior to final occupancy.
9. Walls and fences shall be installed prior to final occupancy, consistent with the preliminary fence and wall plan.
10. The Applicant shall prepare Covenants, Conditions, and Restrictions (CC&Rs) for the development including articles establishing a condominium association. A copy of the draft CC&Rs shall be submitted to the Planning Division and City Attorney for review and approval prior to Final Map approval. The Applicant will be responsible for payment to cover all City staff and City Attorney time required to review said CC&Rs. A recorded copy of the approved CC&Rs shall be submitted to the Planning Division prior to final occupancy as well as final payment to cover any City costs for review. CC&Rs shall include the following requirements:
 - a. The condominium association shall maintain all common areas including private driveways, sidewalks, lighting, landscaping, irrigation, recreation equipment, fixtures, and other improvements.
 - b. The condominium association shall maintain all landscaped areas, including front yard landscaping.
 - c. The condominium association shall provide all water needed for irrigation of the common landscaped areas and for any landscaping and trees in the public right-of-way fronting the project.
 - d. The condominium association shall maintain landscaping and irrigation in the public right-of-way.
 - e. The CC&Rs shall clearly identify building and site maintenance responsibilities.
 - f. The CC&Rs shall specify that the parking and/or storage of recreational vehicles, boats, trailers (recreational or business-related) equipment, and similar such vehicles, is prohibited everywhere onsite.
 - g. The CC&Rs shall require that residents use the garages provided and private driveways assigned to their respective units to park their vehicles and not for long-term storage.
 - h. The CC&Rs shall include a time limit for guest parking space use.
 - i. The CC&Rs shall not be amended without the written consent of the City of Glendora.
11. The Applicant is responsible for submitting forms and fees associated with the formal assignment of addresses for each residential unit. The process is initiated with the Community Development Department (Planning) and is concluded by the City Clerk's Office.

12. The project is subject to compliance with the City's Community Art Program (CAP) - Ordinance 2083 and Resolution CC 2024-04. As per the requirements outlined in GMC section 21.03.150, applicable projects are required to install approved artwork in conjunction with their project (encouraged) or pay an in-lieu contribution equal to a minimum percentage of the total building permit valuation (BPV). Specifically, this project shall adhere to the following guidelines adopted into the City's Master Fee Schedule: New residential developments consisting of 11 or more units/houses and new mixed-use with residential as the primary component - An artwork installation approved by the City or an in-lieu contribution equal to 0.25% of the BPV is required. To ensure compliance with the CAP, Applicant shall submit a CAP application and coordinate with the City's Planning Division. Approval of CAP application is required prior to building permit issuance.
13. All mechanical equipment, including air conditioning units, for the units along Arrow Highway, shall be screened from street view with landscape and physical screening barriers.
14. All plans submitted for building, grading and landscape plan checks shall show consistency in building and unit numbering.

Landscaping

15. A Water Efficient Landscaping Application and MWELo compliance shall be completed and submitted to both the Planning Division (for landscape) and the Water Division (for irrigation) for review and approval prior to the issuance of building permits. The plan shall be prepared by a licensed landscape architect and shall demonstrate compliance with the Water Efficient Landscape Ordinance (Assembly Bill 1881). Approved landscaping and irrigation shall be installed prior to final occupancy. (GMC §21.03.060)
16. Pedestrian path crossings of the drive aisle (crosswalks) and project entrances shall utilize decorative paving and should be shown on the landscape plan submitted to the Planning Division.
17. All light fixtures, including freestanding and building-mounted, shall be decorative and complementary to the architectural style of the buildings and shall be subject to approval by the Planning Division.
18. All common area landscaping shall be installed by Applicant and maintained by the condominium association.
19. The Applicant shall enter into an Affordable Housing Agreement (AHA) with the City prior to Final Map issuance of the first residential unit(s) Building Permit. The AHA is related to the Project's use of State law for concessions/incentives in exchange for inclusion of moderate-income units (total of 5 or 10% of development). The Applicant is responsible for actual costs incurred by City associated with application, preparation, legal review, and processing of the AHA.

Air Quality

20. The best available control measures to minimize fugitive dust emissions shall be utilized, including but not limited to watering soils as necessary to minimize dust generation.

(SCAQMD Rule No. 403.)

Building & Safety Division

21. Park Development Fees for new development shall be applied.
22. A Certificate of Compliance from the school district is required.
23. A Geotechnical Investigation Report is required.
24. Los Angeles County Fire Department approval is required.
25. An automatic fire sprinkler system is required.
26. An engineered design provided by a State of California Registered Design Professional is required.
27. A demolition permit is required for the demolition of existing structure(s), if any. This requires a separate permit application and plan submittal. This demolition permit shall be issued prior to the building permit.
28. An asbestos survey and abatement report is required.
29. Retaining walls shall be a separate submittal to the Building Division, with the walls accurately shown on a grading plan approved by the City of Glendora Engineering Division.
30. Signs, if any, shall be under a separate permit application and plan submittal.
31. Plans shall show compliance with the Housing Accessibility requirements of Chapter 11A of the California Building Code.
32. Separate water meters or submeters are required for each residential dwelling unit of a multiunit residential or mixed-use residential and commercial structure (California Plumbing Code §601.2.1).
33. Electric Vehicle (EV) charging shall be provided as required by the 2022 CalGreen Code.
34. Additional submittal requirements can be found on the Residential Submittal Checklist available at <https://www.cityofglendora.org/home/showpublisheddocument/21682/637789537719370000>

Water Division

35. Applicant shall submit a public water improvement plan for this project. The plan shall include Resolution CC 2025-____

approved city construction standards and materials for the domestic water, fire water and public hydrant installations in the public right-of-way on E. Arrow Highway. Review by the City's Water and Engineering Divisions will be required for plan check approval.

36. Applicant shall submit separate building plans for both private on-site domestic and fire water installations. The plans shall include approved City and building construction standards including materials for the private domestic and fire water services. Review by City's Water, Engineering and Building Divisions will be required for plan check approval.
37. Applicant shall install backflow prevention device(s) approved on the USC List of Approved Backflow Prevention Devices for both the domestic and fire water connections. Installation of these devices shall be suitable for potable water and conform to the City's construction standards. Annual recertification of these device(s) shall be submitted to the Water Division.
38. Applicant shall submit a water service abandonment plan for this project for two (2) existing services in the public right of way on E. Arrow Highway. Review by the City's Water and Engineering Divisions will be required for plan check approval.
39. Applicant shall be responsible for all fees associated with water utility installation, permitting, plan review and inspection.
40. Applicant will be responsible for following all conditions noted in the issued will serve letter, dated August 19, 2024.

Land Development Division

Final Tract Map/Site Development:

41. All engineering drawings, maps, plans, reports, and studies required for the project shall be prepared by a registered civil engineer licensed in the State of California, and all surveys, maps, legal descriptions, and survey documents shall be prepared by a licensed professional land surveyor in the State of California. At the time of first plan check, Applicant shall provide a list of the Engineer(s) and Surveyor(s) of Record.
42. A final tract map is required, and shall be consistent with the approved TTM. The final map will be reviewed for technical accuracy by the City's contract Land Surveyor. Applicant is responsible for all such costs. A title report/subdivision report that is less than six (6) months old is required at the time of submittal. Copies of all underlying documents/easements of record referenced in the title report shall be included. All easements on the property shall be shown on the grading plan. Applicant shall also label, dimension, and identify any easements.
43. Subdivision Improvement and Indemnification Agreements shall be signed by Applicant prior to final map approval. Applicant shall submit the final map to the City's contract Land Surveyor for technical review. Applicant is responsible for all fees associated with this review. A bond to guarantee installation of survey monuments shown on the final map as "to be set" will be required prior to final map approval. All existing survey monuments (within the limits of construction) in place at the time of construction shall be protected in place. If any of those monuments are disturbed or removed by construction, then Applicant shall secure the services of a licensed professional land surveyor to replace and document those monuments.

44. Driveway widths and radii shall be reviewed and approved by L.A. County Fire Department for accessibility.

Stormwater

45. This project is required to comply with the current Federal National Pollutant Discharge Elimination System (NPDES) and State Municipal Separate Storm Sewer System (MS4 Permit) requirements. Projects subject to the MS4 are to implement post-construction low impact development (LID) storm water runoff water quality control measures as a way to reduce downstream runoff. Applicant shall follow section 21.03.090 of the GMC to determine Applicability and Performance Criteria. An LID Report and plans for the construction of LID improvements is required for the project. Applicant shall follow LA County LID Standards Manual for design and format of LID Report. The soils engineer of record shall review and approve the infiltration system.
46. This project is required to comply with the State Construction NPDES permit. This requires a Storm Water Pollution Prevention Plan (SWPPP) for implementation during the construction phase of the project. The SWPPP shall be prepared by a Qualified SWPPP Developer (QSD) and shall be submitted to Public Works for review and approval. The approved SWPPP shall be implemented by a Qualified SWPPP Practitioner (QSP) during construction. Detailed plans for erosion control shall be included.

Grading and Drainage:

47. Grading and drainage plans and required supporting documents (such as geotechnical, drainage/hydrology/LID reports/plans) shall comply with the recommendations of the geotechnical engineer of record and will be submitted and reviewed together with the project Grading and Drainage Plan by the Land Development Division. A permit from the City of Glendora Public Works Department and a grading bond are required prior to the start of construction. Applicant shall show all existing and proposed easements on the improvement plans. Applicant shall also label, dimension, and identify easement holders.
48. All structural BMP's for the project shall be shown in detail on the grading plans. The grading plan shall be reviewed/approved by the soils engineer. A minimum ½" per hour percolation rate shall be verified by the soils engineer for the project via a percolation test and included in next submittal for any areas where storm water is proposed to be infiltrated.
49. GMC section 20.28.010 requires utilities to be installed underground in new developments. Existing overhead utilities along the project frontage of the public streets may be required to be relocated underground, but this is not required by the City. Applicant shall coordinate with utility agencies as necessary.
50. A final geotechnical report is required with the submittal addressing grading and building construction, including over-excavation. While the City requires reports be prepared following the L.A. County GMED manual, the City has not adopted their building code. First submittal of Grading Plan shall be signed and stamped by the geotechnical engineer stating that the Grading Plan is in conformance to the geotechnical/soil engineer recommendations. After final grading plan approval, the grading plan shall be signed and stamped by the geotechnical engineer. As necessary, Applicant shall provide an update letter if the soils report is greater

than one year old. The geotechnical report for this project may be peer reviewed by the City's contract geotechnical engineer and/or geologist. Applicant is responsible for payment of all costs. A one thousand five hundred dollar (\$1,500.00) deposit is required to cover review of the geotechnical report.

51. The Final Drainage Study Report shall follow the City's Hydrology & Hydraulics report format and discuss the offsite stormwater run-on flows (if any) from properties surrounding the site. The report should analyze both off-site storm water run-on and on-site storm water flow. The report shall be coordinated with the project LID Report.
52. Storm Drain Plans with profiles and details of the proposed drains, inlets, and facilities may be required. For connection to the L.A. County storm drain, reports and plans required by the County shall be submitted to the City and L.A. County for plan check and permitting.
53. When grading plans are submitted for first plan check, a fee is required based on the cubic yards of earth moved. A plan check fee will be collected at the time of first submittal based on the quantity on the submittal. Applicant shall include over excavation and re-compaction quantities in the calculations for cut and fill quantities. At the time of issuing a grading permit, final plan check fees will be adjusted accordingly with additional fees paid or refunded determined by final yardage. A Grading Bond will be required.

Utilities:

54. At time of plan check, Applicant shall submit a Composite Utility Plan showing the proposed water, sewer, drainage, electrical, telecom/internet, cable TV, and natural gas (if any) lines and facilities for the project. Applicant shall include all proposed utilities and all existing utilities on-site and adjacent to the site. The plan will be reviewed and approved by the Land Development Division.
 55. Water is served by the City. Frontage fees may apply to this project. Water improvement plans shall be prepared in accordance with City guidelines. Contact the Water Division at (626) 914-8249 to determine water service requirements.
 56. Applicant may be required to provide water rights to serve the project. Currently water rights fees are approximately fourteen thousand dollars (\$14,000.00) per acre-foot of water. When the final number of units and amount of landscaping is decided, Applicant shall contact the Water Division at (626) 914-8249 for more information regarding the water rights fee.
 57. Exact service locations will be determined after the final site plan is approved, but they shall not be located in drainage features or where water could pond. Easements may be required to access water meters and other water devices.
 58. Backflow prevention shall be provided per City Standard Detail 2.30 for structural fire protection (i.e., sprinklers) and landscape irrigation systems. Plans shall be submitted to the Public Works and Community Development Departments for review and applicable plan check fees shall be paid.
 59. Installation of public and/or private water mains is required to serve the proposed development. A separate plan submittal will be required for any fire hydrants or fire water lines which will
- Resolution CC 2025-____

serve the site. That plan is a separate submittal to the Engineering Division as well as the L.A. County Fire Department for review and approval. The plan will be prepared using the City of Glendora title block and shall show the connection in the public right of way and shall have a signature block for the L.A. County Fire Department. A plan review fee of 5% of the engineer's estimate is due at time of first submittal. For L.A. County Fire Department requirements, Applicant shall contact Fire Staff at (626) 963-5564.

60. If water easements or any other easements are required and not shown on the final subdivision map, Applicant shall follow the Engineering guidelines for preparing legal descriptions and plats. The City uses consultants to perform the review of documents prepared by a professional land surveyor which Applicant is required to pay for. Applicant will be required to deposit one thousand dollars (\$1,000.00) for the initial review of the document. Any unused funds are returned. If additional fees are required, then an additional deposit will be requested.
61. Fire flow tests will be required. Applicant shall contact the Public Works desk at (626) 914-8246 test should Applicant choose to move forward by scheduling the test.
62. The City of Glendora owns the local wastewater (sewage) collection system, but it is operated and maintained for the City as part of the County's Consolidated Sewer Maintenance District. The plan check for any sewer improvement plans will be processed by both the City of Glendora and Los Angeles County Public Works. Plans shall be prepared using County standard format and standards.
63. The treatment system for Glendora's wastewater (sewage) is owned and operated by the Los Angeles County Sanitation District No. 22. Applicant's Civil Engineer shall contact the District to obtain a treatment will serve letter as well as pay the appropriate fees. For further information, Applicant shall contact District Staff at (562) 908-4288, extension 2717.
64. On-site sewer will be public sewer. Off-site sewer may require new or upgraded facilities. All public sewers require a City sewer improvement plan and profile. The plan check will be processed by both both the City of Glendora and Los Angeles County Public Works. Applicant will be responsible for all the plan check fees for the City and the County. The City's plan review fee is 5% of the engineer's estimate and is due at the time of first submittal. Sewer acreage and frontage charges may be applicable.

Street Improvements:

65. Street improvement plans are required. Street improvements for this project will include removing unused driveway approaches, constructing new concrete sidewalk along the project street frontage of Arrow Highway, and constructing new ADA compliant driveway approaches to serve the project site. Street improvement plans are required at the time of plan check to be submitted to the City of Glendora and the County of Los Angeles for review. Permits for improvements in the Arrow Highway public right of way will be required by the City of Glendora and the County of Los Angeles. A dedication of an additional right of way or easement for 2-feet of sidewalk is required. Damaged or non-standard improvements and facilities shall be reconstructed per City Standards. A line of sight study, proposed red curb, and new or modified street signs along the project frontage shall be shown on the street improvement plan.

66. Existing mast-arm streetlights shall be changed to LED luminaires, and additional new streetlights may be required along the project frontage. City and County will review the street lighting during the plan check process.
67. Any and all street improvements, utility, and trench work require a permit from the City of Glendora. All City Standards are available online on the City's website under the Public Works Department.
68. Construction temporary traffic control plans for Arrow Highway and signing and striping plans for the public streets shall be prepared and submitted to the City and County Public Works Departments for review/approval.

Public Works – Landscaping/Irrigation Plan:

69. Landscape/Irrigation Plan will be processed through both the Planning Division (for landscape) and the Water Division (for irrigation). The irrigation and landscape plans shall be Water Efficient.

Waste Management:

70. All construction, demolition, and renovation projects within the City with a total valuation cost for the new or remodeled construction as determined by the City Building Official which are, or projected to be, greater than or equal to one hundred thousand dollars (\$100,000.00) shall submit a Waste Management Plan to the Building Division for review and approval prior to issuance of any permits in compliance with the City's Construction and Demolition Ordinance No. 1811. The approved Waste Management Plan shall be implemented upon start of demolition, grading, and construction and maintained throughout the project until issuance of a Certificate of Occupancy. The City may review and amend the plan as needed. Guidelines are available from the Recycling Coordinator (GMC §6.09).

Public Works – Miscellaneous:

71. Applicant will be required to apply for formal address assignment. For details and fees, contact Public Works at (626) 914-8246.

Los Angeles County Fire Department - Final Map & Water System Requirements

72. The approval of this permit shall be contingent on approval by the Los Angeles County Fire Department (LACDF). Any changes resulting from the requirements of the LACDF shall be submitted to the Planning Division for review and approval prior to the commencement of construction.
73. All fire hydrants shall measure 6"x 4"x 2-1/2" brass or bronze, conforming to current AWWA standard C503 or approved equal, and shall be installed in accordance with the County of Los Angeles Fire Code.
74. All required public fire hydrants shall be installed, tested, and accepted prior to beginning construction.

75. One (1) new public fire hydrant and one (1) private on-site shall be installed. (locations shall be shown on the site plan).
76. The required fire flow for the public fire hydrants for this project is 2,500 gpm at 20psi residual pressure for two (2) hours.
77. The required fire flow for the private on-site for this project is 1,250 gpm at 20 psi residual pressure for two (2) hours.
78. Access as noted on the Tentative and the Exhibit Maps shall comply with Title 21 (County of Los Angeles Subdivision Code) and section 503 of Title 32 (County of Los Angeles Fire Code), which requires an all-weather access surface to be clear to sky.
79. The Private Driveways proposed as private streets for access throughout the development shall be labeled as "Private Driveway" on the Final Map. The portion of the private driveway intended for fire apparatus access shall be identified as "Fire Lane" on the Final Map. All widths and dimensions shall be clearly delineated with a reciprocal access agreement, which is required for all private driveways. Compliance is required prior to Final Map clearance.
80. Fire hydrant improvement plans shall be submitted to the Community Development office for review and approval prior to the clearance of the Final Map.
81. The Final Map shall be submitted to the Community Development office for review and approval prior recordation.

Term

82. The approved use and/or construction work shall commence within 24 months after the effective date of the approval, or such other period specified as a condition of approval and shall be carried on diligently to completion. If the use or construction work has not commenced within the required time period and carried on diligently to completion, the permit shall become void; however, the Director may extend the time limit in the case of unavoidable delay. Applicant shall submit a written request to the reviewing body or Director for a time extension at least thirty days prior to the date on which the original time limit expires. Consideration of a time extension does not require a public hearing even if a hearing was required for the original permit. (GMC §21.02.010 E.)

Enforcement

83. Applicant shall pay the costs of any code enforcement activities, including attorney's fees, resulting from the violation of any conditions of approval or any provision of the GMC. (GMC §1.18.)
84. Any violation of the Zoning Ordinance or any entitlement granted is considered a misdemeanor punishable by a fine not to exceed one thousand dollars (\$1,000.00) and/or by imprisonment in the County jail for a period not to exceed six (6) months. Each day or portion of a day during which any violation of the Zoning Ordinance occurs or continues constitutes a separate offense and shall be punishable as provided. (GMC §21.01.030 H.)

SECTION 5. The Mayor shall sign this Resolution and the City Clerk shall attest and certify to the passage and adoption of this Resolution, and the same shall thereupon take effect on _____, 2025 subject to a 15 calendar-day appeal and be enforced in accordance with the terms and Conditions thereof.

PASSED, APPROVED and ADOPTED by the City Council of the City of Glendora this ____ day of _____, 2025.

BY:

DAVID FREDENDALL
Mayor

APPROVED AS TO FORM:
Aleshire & Wynder, LLP

DANNY ALESHIRE
City Attorney

CERTIFICATION

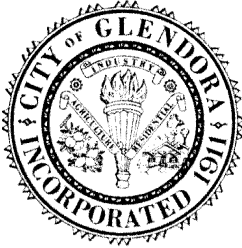
I, do hereby certify that the foregoing Resolution was duly adopted by the City Council of the City of Glendora at a regular meeting held on the ____ day of _____, 2025, by the following vote:

AYES: MEMBERS:
NOES: MEMBERS:
ABSENT: MEMBERS:
ABSTAIN: MEMBERS:

I further certify that said Resolution was published as required by law in a newspaper of general circulation in the City of Glendora, California on the ____ day of _____, 2025.

Dated:

KATHLEEN R. SESSMAN
City Clerk/Communications Director



CITY OF GLENDORA

116 East Foothill Boulevard, Glendora, California 91741

NOTICE OF EXEMPTION

Project Title: PLN24-0032

Project Location: 631-657 E. Arrow Highway, Glendora, CA

Project Applicant: Melia Homes, Inc.

Mailing Address: 9860 Irvine Center Drive, Irvine, CA 92618

General Plan Land Use Designation: *Arrow Highway Specific Plan*

Zoning Designation: *AHSP Commercial Core Mixed-Use (AHSP MU-CC)*

Project Description: The project involves a Tentative Tract Map and Development Plan Review for a three-story multi-family residential development of 46 townhomes.

Surrounding Land Uses and Setting: Properties to the north are zoned *multi-family residential (R-3)*; properties to the west are zoned *AHSP MU-CC*; and properties to the east are zoned *AHSP NC-MU*. Properties to the south are located outside of the City border.

The Planning Commission recommends the following exempt status / findings:

- ☐ Ministerial (Sec. 15073)
- ☐ Declared Emergency (Sec. 15071(a))
- ☐ Emergency Project (Sec. 15071(b) and (c))
- ☒ Categorical Exemption
- Type: Class 32 Section: 15332 (In-fill Development Project)
- ☐ Statutory Exemption. Code Number: _____
- ☒ Other

Reasons why project is exempt: CEQA requires analysis of agency approvals of discretionary "Projects." A "Project," under CEQA, is defined as "the whole of an action, which has a potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment" (State CEQA Guidelines Section 15378). The proposed Project is a project under CEQA.

Staff has reviewed the Project and determined that it is categorically exempt from CEQA review pursuant to the following:

15332 (In-fill Development Project) - Class 32: This categorical exemption applies to projects that are characterized as infill development and meet specified requirements. The Project qualifies as infill development because it satisfies each of the following conditions:

- a. *The project is consistent with the applicable General Plan designation, General Plan policies, and zoning designation and regulations.* The proposed 46-unit condominium townhomes are residential use, which is allowed in the General Plan (*Arrow Highway Specific Plan*) and Zoning (*AHSP MU-CC*) designations.
- b. *The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.* The site is surrounded by existing multi-family residential to the north and south and commercial and office uses to the west and east. The

subject site is located at the southern City border. Therefore, the properties and their uses located to the south of the project site are outside the city limits.

- c. *The project site has no value, as habitat for endangered, rare, or threatened species.* The Project site was previously developed for commercial uses. The surrounding areas are fully developed. Therefore, there is no value as habitat for endangered, rare, or threatened species.
- d. *Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.* The Project would not result in any of the following significant effects:
 - Noise. Noise from the Project would be subject to the noise thresholds established by ordinance, consistent with the General Plan and incorporate automatic volume control levels.
 - Air Quality. Air quality thresholds are established through the South Coast Air Quality Management District. The Project would not exceed these established thresholds.
 - Water Quality. The Project has been conditioned to comply with an applicable Water Quality Management and Best Management Practices to reduce or eliminate potential impacts from water runoff from the site, although all stormwater items are already existing and in place.
- e. *The site can be adequately served by all required utilities and public services.* The Project site was previously developed and had been served by local utilities and services.

Previous Analysis: Relying on previous adopted California Environmental Quality Act (CEQA) analysis. An Environmental Impact Report (EIR) was prepared for the Arrow Highway Specific Plan (AHSP) [State Clearinghouse #2017041043] and adopted by the Glendora City Council on September 25, 2018. This EIR included the full analysis for future construction of up to 739 residential units at realistic buildout within Glendora's portion of the Arrow Highway corridor. The AHSP's EIR is applicable to all future residential development plans if they are in conformance with the specific plan, thus requiring no further environmental documentation. Therefore, if the subject proposal for 46 residential condominiums is approved with a determination that it follows the specific plan's intent, then no further environmental review is necessary.

_____ Jeff Kugel, Director of Community Development	Date: _____
--	-------------

The above recommended exempt status and findings were adopted by the following body:

_____ on _____

_____ Date: _____

Yalini Siva, Senior Planner (626) 914-8213

PROJECT NO. PLN24-0032—PROJECT ANALYSIS MEMORANDUM

PROJECT SUMMARY:

Applications: Various entitlements are needed in order to accomplish the proposed development; the following approvals are required:

1. *Tentative Tract Map* No. 84607 to subdivide land to create 46 residential condominium townhomes.
2. *Development Plan Review* for approval of the project's development plans.
3. *CEQA Notice of Categorical Exemption* of the California Environmental Quality Act Guidelines.

Date of Application: September 18, 2024

Applicant: Melia Homes, Inc.
9860 Irvine Center Drive
Irvine, CA 92618

Property Owner: Vincenza Rago Family Trust

Property Address: 631-657 E. Arrow Highway
Glendora, CA 91740

L.A. County Assessor Parcel/Identification Nos.: 8653-009-030 and 8653-009-031

Description of Property: The subject property is located at 631-657 E. Arrow Highway. The site is located on the north side of Arrow Highway between South Bonnie Cove Avenue and South Sunflower Avenue. The site consists of two lots that are currently developed with commercial uses. The commercial center would be demolished to allow for the development and subdivision of 46 residential townhomes.

All of the proposed townhomes will be for-sale homes, with 10% of the proposed homes to be restricted to "moderate" income qualified buyers under State Density Bonus Law. Pursuant to Government Code Section 65915, this proposed project is able to request for concessions, waivers and incentives.

General Plan Designation: The project site has a General Plan (Community Plan 2025) land use designation of *Arrow Highway Specific Plan*. The General Plan indicates that "*Specific plans grant the City authority to consider and create detailed and precise plans prepared by landowners, developers, and public agencies. It allows the flexibility to create specific zoning for a particular area such as a downtown or an area with environmental constraints, and results in unique and imaginative designs. The specific plan establishes a land use pattern, circulation system, open space and other features, as necessary, to ensure the area is also well integrated into the community.*"

The City's General Plan has several goals and policies that should be considered with the proposal. Staff found the following excerpts from the General Plan Housing and Land Use Elements to be relevant:

- Goal LU-5: *Expanded residential development opportunities.*
- Policy LU-5.2: *Provide for expanded infill residential opportunities in appropriately designated areas in the City.*
- Goal LU-7: *A diverse range of housing choices.*
- Policy LU-7.1: *Provide opportunities for the development of housing at a variety of affordability levels and densities that respond to the various needs of future residents.*
- Goal LU-10: *Quality infill development.*
- Policy LU-10.1: *Ensure the design and development of infill projects compliments existing development in terms of scale, character, and pedestrian quality.*
- Goal LU-18: *Compatibility of adjacent land uses.*
- Policy: LU18.1: *Ensure the preservation of a scale and character of development is sensitive to adjoining uses.*

The City's current Housing Element, includes the following:

- GOAL 3: *Provide suitable sites for housing development which can accommodate a range of housing by type, size, location, price, and tenure to accommodate the City's share of the regional housing need.*
- Policy 3.1: *Implement land use policies that allow for a range of residential densities and products, including low-density single-family uses, moderate-density townhomes, and higher-density apartments, condominiums, and units in mixed-use development.*
- Policy 3.2: *Encourage development of residential uses in strategic proximity to employment, recreational facilities, schools, neighborhood commercial areas, and transportation routes.*
- Policy 3.5 *Ensure that residential development sites have appropriate and adequate services and facilities, including water, wastewater, and neighborhood infrastructure.*
- Policy 3.6 *Support the assembly of small vacant or underutilized parcels to enhance the feasibility of infill development.*

Zoning: The project site is located within the *Commercial Core Mixed-Use (MU-CC)* zone. The *Arrow Highway Specific Plan* defines the MU-CC zone as “*The Commercial Core Mixed-Use*

zone will create a vibrant commercial focus for the “commercial node” with a nearby residential community to support it. The MU-CC zone allows for an intensification of commercial uses within both a mixed-use and stand-alone setting. High density residential is allowed in a mixed-use setting and as a stand-alone use. Development within the zone shall include public amenities such as outdoor seating areas, plazas, and/or public art. The MU-CC zone applies to properties both east and west of the Bonnie Cove Avenue/Arrow Highway intersection.

Surrounding Uses: The site is surrounded by existing multi-family residential to the north and south and commercial and office uses to the west and east. The subject site is located at the southern City border. Therefore, the properties and their uses located to the south of the project site are outside the city limits. *Table A* below further describes the land uses for the surrounding properties:

Table A - Project Surroundings			
	Existing Uses	General Plan	Zoning
North	Multi-Family Residential	<i>High Density</i>	<i>Multi-Family Residential</i>
South	Multi-Family Residential	<i>Unincorporated Los Angeles County</i>	<i>Unincorporated Los Angeles County</i>
East	Commercial/Office	<i>Arrow Highway Specific Plan</i>	<i>Neighborhood Commercial Mixed-Use</i>
West	Commercial/Office	<i>Arrow Highway Specific Plan</i>	<i>Commercial Core Mixed-Use</i>

Arrow Highway Specific Plan

The property is located along Glendora’s southern jurisdictional boundary on Arrow Highway. In April 2014, the Glendora City Council identified the creation of a specific plan for Arrow Highway as part of the City’s Strategic Plan to enhance economic development with community involvement and allocated funding for a community planning effort targeting this corridor.

On September 25, 2018, the City Council adopted the Arrow Highway Specific Plan (AHSP). The goal of the specific plan was to provide policy direction regarding how the Arrow Highway Corridor area can be transformed and revitalized. A primary objective of the plan is to provide for a transition of uses that is responsive to market forces and supports the overall economic development and livability goals of the City.

The vision that the stakeholders and community members had when creating the Arrow Highway Specific Plan included envisioning a thriving, multimodal corridor that provided a range of housing options. Additionally, one of the main objectives include the following:

- *OBJECTIVE 3: Broaden Housing Options – “Redevelop older housing and provide new for sale and for rent housing in ‘stand alone,’ mixed-use, and/or senior housing options, particularly near neighborhood services and close to transit connections.”*

- *OBJECTIVE 7: Enhance Livability and Character – “Improve the area’s aesthetic appeal with the reuse/redevelopment of older buildings and shopping centers, attractive architectural styles, landscaping, public art, welcoming gateway elements, and unified street furniture and signage. Increase police visibility, ‘eyes on the street,’ and upkeep of underutilized lots. Ensure efficient infrastructure to support future growth.”*
- *OBJECTIVE 8: Implement Catalytic Infill Projects – “Pursue development and redevelopment projects to create the greatest level of positive change and stimulate additional public and private investment. Rehabilitate older buildings and support new uses for development on vacant lots. Encourage consolidation of underutilized parcels to create more viable development opportunities.”*

Additionally, the Arrow Highway Specific Plan has the following quote that is relevant to the site and proposed development:

- *“Residential development will be encouraged to support the economic viability of the commercial and entertainment uses.”*

PROJECT ANALYSIS:

Proposed Subdivision

The existing site is 1.9 acres and would be subdivided for residential condominium purposes (*Tentative Tract Map No. 84607*) to create a 46-unit residential townhouse development. The proposed development establishes exclusive private areas and common areas and defines ownerships that can be acquired and sold by future homeowners. The proposed plans are included in Attachment D.

Required findings for approval of a tentative tract map are contained within the California Subdivision Map Act and are outlined within the attached draft resolution (Attachment A).

Development Plan Review (DPR)

The applicant has requested a DPR related to the project’s development plans. Pursuant to GMC §21.02.040 (B), *“Projects requiring development plan review (the reviewing body is in parenthesis):...*

- (2) Multiple-family projects-Apartments, condominiums and cooperatives (commission);*
 - a. 1-10 dwelling units, 1-10 units, allow by-right (Applicants apply directly for building permits);*
 - b. 11-25 dwelling units (director);*
 - c. More than 25 dwelling units (commission);.”*

Pursuant to the GMC, the purpose of the DPR is to, *“provide procedures whereby development plans can be reviewed to ensure orderly development, aesthetic design, safe and harmonious placement and to: 1. Prevent or minimize adverse impacts on property in the vicinity; 2. Implement the general plan and applicable specific plans; 3. Protect the public health, safety and welfare; 4. Site structures and other improvements in a manner that is in harmony with the terrain and existing developments in the vicinity; 5. Encourage and promote energy-efficient design.”*

The proposed residential project is comprised of 46 attached, three-story, residential condominium townhomes with two-car garages. The proposed site is designed and graded to be physically suitable for the development. The project density of 46 units is less than the allowed maximum (30 dwelling units per acre) but consistent with the required minimum dwelling units per acre (80 percent of the maximum = 46.56). Therefore, the proposed project will conform to the City's current residential density for the zone in place for the Arrow Highway Corridor.

The proposed residential development is composed of eight rowhouse buildings (5-7 units each). There will be three different floor plan types that include the following:

Table B	Unit Break Down by Floor Plan Type			
	Plan 1	Plan 1-Alt.	Plan 2	Plan 3
No. of Units	20	4	6	16
Bedroom Count	3	3	2 + Den	4
Bathroom Count	3	3	2.5	3.5
Area of 1st Floor	73 s.f.	91 s.f.	134 s.f.	367 s.f.
Area of 2nd Floor	616 s.f.	616 s.f.	565 s.f.	770 s.f.
Area of 3rd Floor	659 s.f.	659 s.f.	617 s.f.	757 s.f.
Total Living Area	1,348 s.f.	1,366 s.f.	1,316 s.f.	1,894 s.f.
Balcony Area	68 s.f.	68 s.f.	65 s.f.	78 s.f.
Garage Area	556 s.f. (tandem garage)	556 s.f. (tandem garage)	474 s.f.	459 s.f.
Storage Area	200 c.f.	200 c.f.	90 c.f.	50 c.f.

Table C below illustrates that the project complies with the maximum height, floor area ratio (FAR), and related development standards for development within Transformative District 2, as follows:

Table C	Transformative District 2: Design Standards					
	Required			Proposed		
Building Placement						
Ground Floor Front Setback	15 feet minimum, 25 feet maximum; all shall be landscaped			15.1 feet		
Amenity Zone	15-25 feet, including amenities			15.1 feet		
Side and Rear Setback (Minimum)		Existing, Adjacent Use			Existing, Adjacent Use	
	New Use	Non-Residential	Non-Residential	New Use	Non-Residential	Non-Residential/ Multi-Family Residential
	Residential	10 feet	10 feet	Residential	West -12.3 feet	East – 13 to 14.3 feet North – 14.5 feet
Building Form						

Building Length (Maximum)	200 feet	Approximately 120 feet (Maximum, Building C)
Upper Floor Stepbacks (If Adjacent to Residential Use)	Second Story: 15 feet required adjacent to residential use Third Story: 20 feet required adjacent to residential use	Second Story: 15 feet Third Story: 20 feet
Encroachments: Front	Architectural features may project 5 feet (maximum) into front setback	Not applicable
Encroachments: Rear	Not Permitted	Not applicable
<i>Maximum Height and Related Standards</i>		
Building Height	3 stories, not to exceed 45 feet	3 stories, not exceeding 39.5 feet
Interior Height	Ground floor shall provide a minimum of 10 feet in interior (finished floor to ceiling) height	10 feet

The architectural styling for the homes has been referred to by the applicant as Contemporary and the elevations are nicely articulated and carefully detailed with exterior elements that include white and blue color stucco, grey wood horizontal stucco, contrasting color painted window trim (white, dark grey, and crimson), dark grey canopies, dark brown trellises and gates, and brick veneer.

Required findings for approval of a DPR are contained within GMC §21.02.040 (F) and are outlined within the attached draft resolution (Attachment A).

Lower Income Housing Development

As the project is restricting 10% of the for-sale units to “moderate” income qualified buyers, it allows the developer ability to request certain concessions, waivers and incentives, pursuant to State law. The project proposes a concession to allow for reduced parking, pursuant to Government Code Section 65915(p)(1) for Affordable Project Parking Spaces Required. This parking standard is as follows:

- Zero to one bedroom: one onsite parking space.
- Two to three bedrooms: one and one-half onsite parking spaces.
- Four and more bedrooms: two and one-half parking spaces.
- One bedspace in a student housing development: zero parking spaces.

The above standard would require a total of 85 on-site parking spaces. The proposed project would provide a total of 102 parking spaces, of which each unit provides a 2-car attached garage and 10 open spaces provided on the site.

One incentive for Affordable Units is a request for Usable Open Space. In order to meet the minimum required usable open space, the proposed project provides for layouts of large and small recreation areas and nodes that are conducive to community residents in an equally valuable manner. Although not completely compliant, the proposed project provides private and public open space throughout the site with community areas and private balconies.

Additionally, the AHSP requires for a 10-foot first floor plate height and the project provides 8-feet and 7-inches, in order to comply with both the AHSP and Los Angeles County Fire requirements. The AHSP also requires window glazing for street-facing projects. In order to ensure residential privacy, the project will instead provide stucco, instead of meeting the minimum requirements for window glazing and transparency. The AHSP requires only one vehicular access point for parcels that are less than 450 feet in length. The project provides two driveway access points to ensure minimum density and compliance with fire requirements.

Circulation

The proposed site plan for the residential development includes 26-foot-wide private driveways throughout the site. The driveways traverse the entire development where they access all the units and their garages and the guest parking throughout the property. The entrances will not be gated, but will be marked with enhanced paving.

Bike parking

Pursuant to AHSP: “Regardless of land use, onsite, designated, secured bicycle parking shall be provided at a ratio of 0.25 bicycle parking space per required vehicle parking space... Bicycle parking spaces provided for residential use shall be covered, secured, and located separately from bicycle parking spaces provided for nonresidential use”. Based on these standards, 23 bicycle parking spaces are required (based on 0.25 x 92).

The proposed plans indicate each residential unit will have a wall bicycle rack in their garage thereby providing 46 racks total. Additional racks are being proposed within the common areas for additional bicycle spaces.

Pedestrian access

The GMC includes a statement regarding circulation: “The circulation system shall be designed to provide separate vehicular and pedestrian circulation systems”. The proposed project includes four pedestrian access pathways to Arrow Highway. Additionally, there are four units located along Arrow Highway that have walkways that directly connect to Arrow Highway.

Corridor-wide Amenity Zone

As previously stated, the southern city limit is along Arrow Highway. The City does not have jurisdiction over most of the Arrow Highway right-of-way. So that there are good aesthetics and create better street life, the Arrow Highway Specific Plan created the “Amenity Zone” which is a 15 to 25-foot setback from the front property line that includes landscaping and amenities.

The AHSP states:

- *The Amenity Zone is a setback from the front property line, which shall be landscaped and/or programed with pedestrian amenities. Street trees shall be planted within the Amenity Zone at the property line. Possible pedestrian amenities include but are not limited to landscaping amenities (at-grade planting strips, planter boxes), place making amenities (plazas, paseos, kiosks, public art, exterior seating/dining tables, and streetscape amenities (sheltered benches, drinking fountains, bike racks or lockers, refuse receptacles) etc.*

- *The Amenity Zone is a section of private properties that interfaces with the public realm — sidewalks and streets. Landscaping and urban design features that create an inviting and interesting streetscape will be required within Amenity Zone. Through land use regulations, developments within the Arrow Highway street frontage will be required to create programmable pedestrian spaces (i.e. plazas, paseos, courtyards) within the Amenity Zone to improve the interface between the public and private realms. Developments will:*
 - *Maintain a continuous building edge when possible, along Arrow Highway;*
 - *Use front setback area for outdoor dining or some other public space component;*
 - *Limit their building setbacks to concentrate activity near/along the public realm, thus fostering a walkable environment;*
 - *Improve pedestrian safety by including pedestrian oriented lighting, water fountains, benches;*
 - *Widen sidewalks, where feasible; and/or*
 - *Include Green Streets elements such as bioswales, where feasible.*

The proposed conceptual landscape plans include the proposed landscaping throughout the property, including the Amenity Zone. The project includes landscape amenities, such as large street trees within planter boxes and planting strips, and place-making amenities such as a courtyard with benches, within the proposed Amenity Zone. A more detailed review for compliance will be done during future review of landscape plans.

Arrow Highway – Los Angeles County

The jurisdictional boundary between the City of Glendora and Los Angeles County is the property line of the proposed development. All the public right-of-way areas (sidewalk and street) for Arrow Highway are within the jurisdiction of Los Angeles County. Consequently, Los Angeles County Public Works review and approval is required for drainage, sewer, vehicle access, and road and sidewalk area improvements. Los Angeles County Public Works has reviewed the proposal and project plans. Conditions of approval have been incorporated into the draft resolution (Attachment A).

Landscaping

GMC §21.03.020(D)(5) states that: *All land not covered by structures, walkways, driveways and parking shall be landscaped and irrigated with an automatic irrigation system installed in accordance with the Uniform Plumbing Code. The plant material shall be of drought tolerant species and permanently maintained. Berms, walls and/or hedges shall be used in the required setbacks to separate parking facilities from abutting streets.* The final landscaping plan must demonstrate compliance with the California State Model Water Efficiency Ordinance (MWELo). In order to ensure compliance with these landscaping requirements, staff has included a condition of approval requiring that a landscape review application for the final landscape plan and MWELo compliance be submitted for review and approval by City staff prior to the issuance of building permits. A conceptual landscape plan is included with the project plans (Attachment D) and

indicates the planting of approximately 7 species of trees and 2 species of shrubs and vines/ground cover.

Recommendation:

Approval to the City Council for the requested Tentative Tract Map No. 84607 and Development Plan Review for a three-story multi-family residential project of 46 townhomes on certain property located at 631-657 E. Arrow Highway (Project No. PLN24-0032). The project meets necessary requirements (City or State, where applicable) , will provide needed housing units to the City, and help revitalize the Arrow Highway Corridor.



DEVELOPER
MELIA HOMES
9860 IRVINE CENTER DRIVE
IRVINE, CA. 92618
TEL. (949)417-6264
Contact: CHAD BROWN
chad@melia-homes.com

ARCHITECT
SUMMA ARCHITECTURE
5256 SOUTH MISSION RD, # 404
BONSALL, CA 92003
TEL. 760-724-1198
Contact: ERICK VAN WECHEL
erick@summarch.com

CIVIL ENGINEER/SURVEYOR
C&V CONSULTING, INC.
6 ORCHARD, SUITE 200
LAKE FOREST, CA 92630
TEL. 949-445-1749
Contact: MARCO MIDENCE
mmidence@cvc-inc.net

LANDSCAPE ARCHITECT
STUDIO PAD, INC.
23282 MILL CREEK DR, SUITE 200
LAGUNA HILLS, CA 92653
TEL. 949-770-8530
Contact: PETER DUARTE
paduarte@studio-pad.com

SOILS ENGINEER
GEOTEK, INC.
1548 N. MAPLE STREET
CORONA, CA. 92880
TEL. (951)710-1160
Contact: ED LAMONT
elamont@geotekusa.com

PARKING SUMMARY

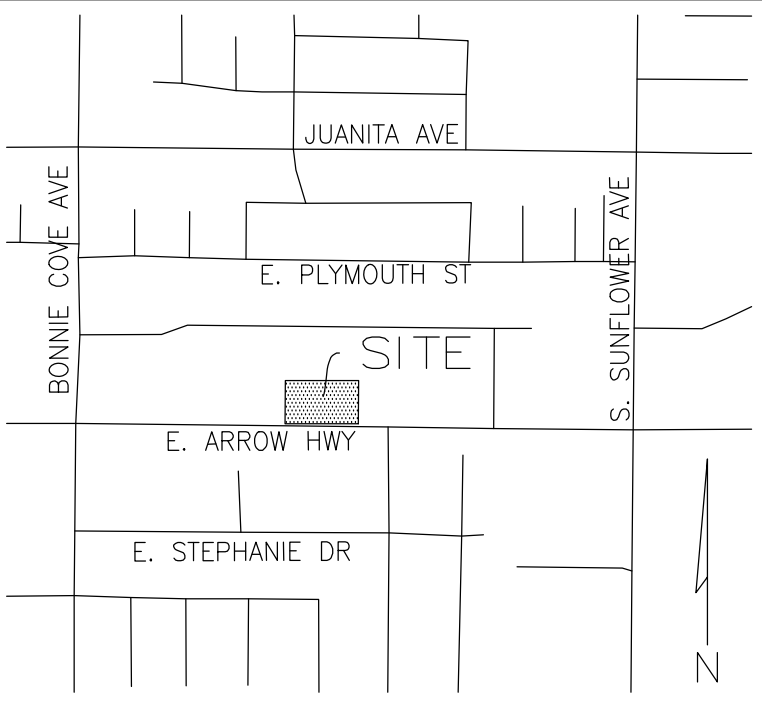
PARKING REQUIRED per Calif. Gov. Code Sec. 65915(p)(1)
2-3 BDRM UNIT 1.5 ST/U X 30U = 45
4 BDRM UNIT 2.5 ST/U X 16 U = 40
TOTAL REQUIRED 85 STALLS
BIKES REQUIRED 0.25 X 85= 22 BIKES

PARKING PROVIDED
STD. GARAGE STALLS 44 (2 CAR, 20' X 20' CLR.)
TANDEM GARAGE STALLS 48 (2 CAR, 10'-4" x 40' CLR.)
GUEST STALLS (P-1 TO P-9) 9 (9' X 20' TYP.)
ADA VAN STALL (P-10) 1 (17' X 20' TYP.)
TOTAL PROVIDED 102 STALLS

BIKES PROVIDED 48 TOTAL
46 (1 RACK @ EACH GARAGE
SEE UNIT PLAN SHEETS)
2 RACKS AT COMMON AREA

EV PARKING EV CAPABLE @ EACH UNIT W/
1" RACEWAY & 40 AMP - 208/240
DEDICATED BRANCH CIRCUIT
PER 2022 CGBSC 406.4.1

GUEST PARKING SHALL BE PROVIDED WITH PERMANENT
SIGNS IDENTIFYING THEM AS GUEST PARKING STALLS AND
SHALL BE MAINTAINED AT ALL TIMES FOR GUEST PARKING
GMC 21.03.020(3)



VICINITY MAP - N.T.S.

PROJECT SUMMARY

PRODUCT TYPE 46 UNITS - ROW TOWNHOMES
A.P.N. 8653-009-030, 031
SITE AREA 1.9 AC
DENSITY 24.2 DU/AC
EXISTING G.P. ARROW HWY SPECIFIC PLAN
EXISTING ZONE MU-CC
AFFORDABLE 10% MODERATE (5 UNITS)

BLDG. STORIES 3 STORY
BLDG HEIGHT 39.5' (45' ALLOWED)
EAVE HEIGHT 30.0'
FRONT SETBACK 15.1' (10' ALLOWED)
WEST SIDE SETBACK 12.3' (10' ALLOWED)
EAST SIDE SETBACK 13.0' (10' ALLOWED)
REAR SETBACK 14.5' (10' ALLOWED)

BUILDING CODE SUMMARY

OCCUP. TYPE R3/U (CRC)
CONST. TYPE TYPE VB (CRC TOWNHOMES)
FIRE SPRINKLER NFPA 13D (CRC R313.1)

2022 CALIFORNIA RESIDENTIAL CODE (CRC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA FIRE CODE (CFC)
2022 CALIFORNIA GREEN BLD'G STDS CODE (CGBSC)
2022 CALIFORNIA ENERGY EFFICIENCY STDS (CEES)

DWELLING UNIT/BUILDING SUMMARY

	QTY	1ST FLR	2ND FLR	3RD FLR	GROSS		AREA	TOTAL	UNIT	OVERALL	BLDG A	BLDG B	BLDG C	BLDG UNITS PER		BLDG AREA PER	TOTAL					
					LIVABLE	BALCONY								AT GRADE	AT GRADE	TYPE		BLDG	QTY	BLDG	AREA	
PL1	20	73	616	659	1,348	68	556	629	12,580	3 BDRM	1,972	2	3	3	A	5	4	43,184				
PL1-ALT	4	91	616	659	1,366	68	556	647	2,588	3 BDRM	1,990	1	0	0	B	6	2	26,418				
PL2	4	134	565	617	1,316	65	474	608	2,432	2 BD+DEN	1,855	0	0	2	C	7	2	27,800				
PL2-ALT	2	122	565	617	1,304	65	474	596	1,192	2BD+DEN	1,843	0	0	1	TOTAL BLDG AREA IN PROJECT			97,402				
PL3	16	367	770	757	1,894	78	459	826	13,216	4 BDRM	2,431	2	3	1								
TOTAL	46	TOTAL LOT COVERAGE						32,008	5										6	7		
SITE AREA								82,515														
LOT COVERAGE%								38.79%														

PROJECT DESCRIPTION:

3 STORY ATTACHED TOWNHOMES
TOTALING 46 UNITS IN 8 BUILDINGS WITH 3
PLAN TYPES ON A 1.9 ACRE SITE LOCATED
IN THE ARROW HIGHWAY SPECIFIC PLAN -
COMMERCIAL CORE MIXED-USE ZONE

VESTED OWNER:
GORDON H. MCDONALD, TRUSTEE OF THE
VICENZA RAGO FAMILY TRUST

LEGAL DESCRIPTION:
REAL PROPERTY IN THE CITY OF GLENDORA,
COUNTY OF LOS ANGELES, STATE OF
CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL A: (APN: 8653-009-030)
PARCEL 1 OF RECORD OF SURVEY, IN THE
CITY OF GLENDORA, COUNTY OF LOS
ANGELES, STATE OF CALIFORNIA, AS SHOWN
ON MAP FILED IN BOOK 79, PAGE 99 OF
RECORD OF SURVEYS, IN THE OFFICE OF THE
COUNTY RECORDER OF SAID COUNTY.

PARCEL B: (APN: 8653-009-031)
PARCEL 2 OF RECORD OF SURVEY, IN THE
CITY OF GLENDORA, COUNTY OF LOS
ANGELES, STATE OF CALIFORNIA, AS SHOWN
ON MAP FILED IN BOOK 79, PAGE 99 OF
RECORD OF SURVEYS, IN THE OFFICE OF THE
COUNTY RECORDER OF SAID COUNTY.

PROJECT SHEET INDEX

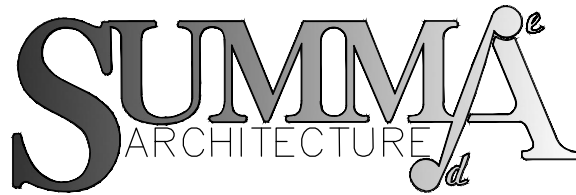
DS	DEVELOPMENT SUMMARY SHEET
PS	PHOTOGRAPHIC SURVEY
EC	EXISTING CONDITIONS SITE PLAN
SP	PROPOSED SITE PLAN
OS	PROPOSED OPEN SPACE
A-1	BUILDING A EXTERIOR ELEVATIONS
A-2	BUILDING B EXTERIOR ELEVATIONS
A-3	BUILDING C EXTERIOR ELEVATIONS
A-4	PROJECT PERSPECTIVES
A-5	COLORS AND MATERIALS SHEET
A-6	UNIT FLOOR PLANS 1 & 1-ALT
A-7	UNIT FLOOR PLANS 2
A-8	UNIT FLOOR PLANS 3
A-9	BUILDING COMPOSITE PLANS - TYPE A & B
A-10	BUILDING COMPOSITE PLANS - TYPE C
A-11	BUILDING ROOF PLANS
PP	PARKING PLAN
L-1	CONCEPTUAL LANDSCAPE PLAN
L-2	CONCEPTUAL ENLARGEMENT PLAN -
L-3	CONCEPTUAL WALL AND FENCE PLAN
L-4	CONCEPTUAL PLANTING PLAN
L-5	SCHEMATIC LIGHTING PLAN
L-6	CONCEPTUAL PERMEABLE AREA PLAN
L-7	CONCEPTUAL TRASH CIRCULATION PLAN
1	VESTING TENTATIVE TRACT MAP
2	EXISTING SITE PLAN
3	PRELIMINARY GRADING PLAN
4	SECTIONS
5	PRELIMINARY UTILITY PLAN
6	PRELIMINARY FIRE ACCESS & HYDRANT PLAN

GLENDORA, CA

631-657 E. ARROW HIGHWAY TOWNHOMES

DEVELOPMENT SUMMARY SHEET

MELIA HOMES
9860 Irvine Center Drive
Irvine, CA 92618
(949) 417-6264

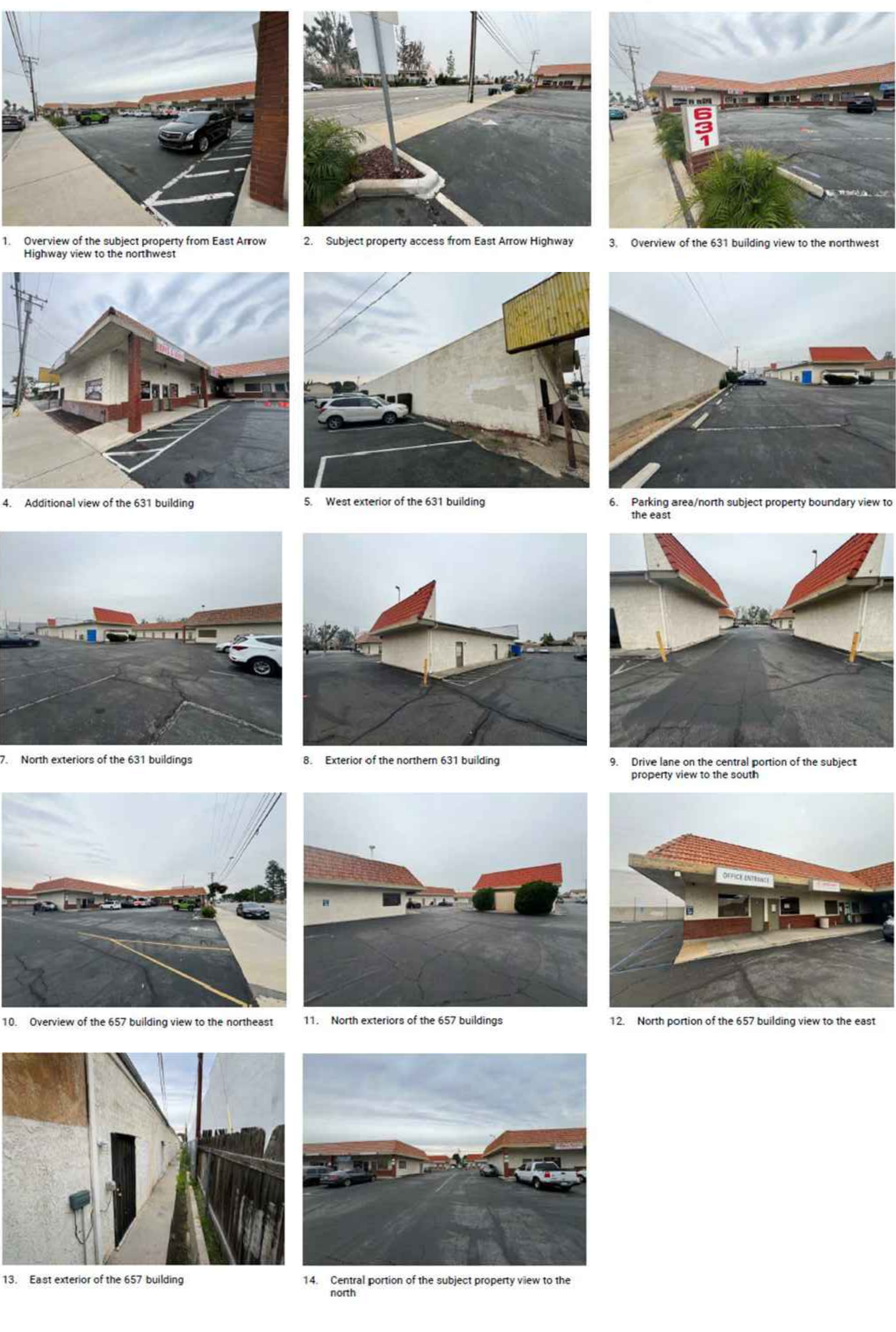
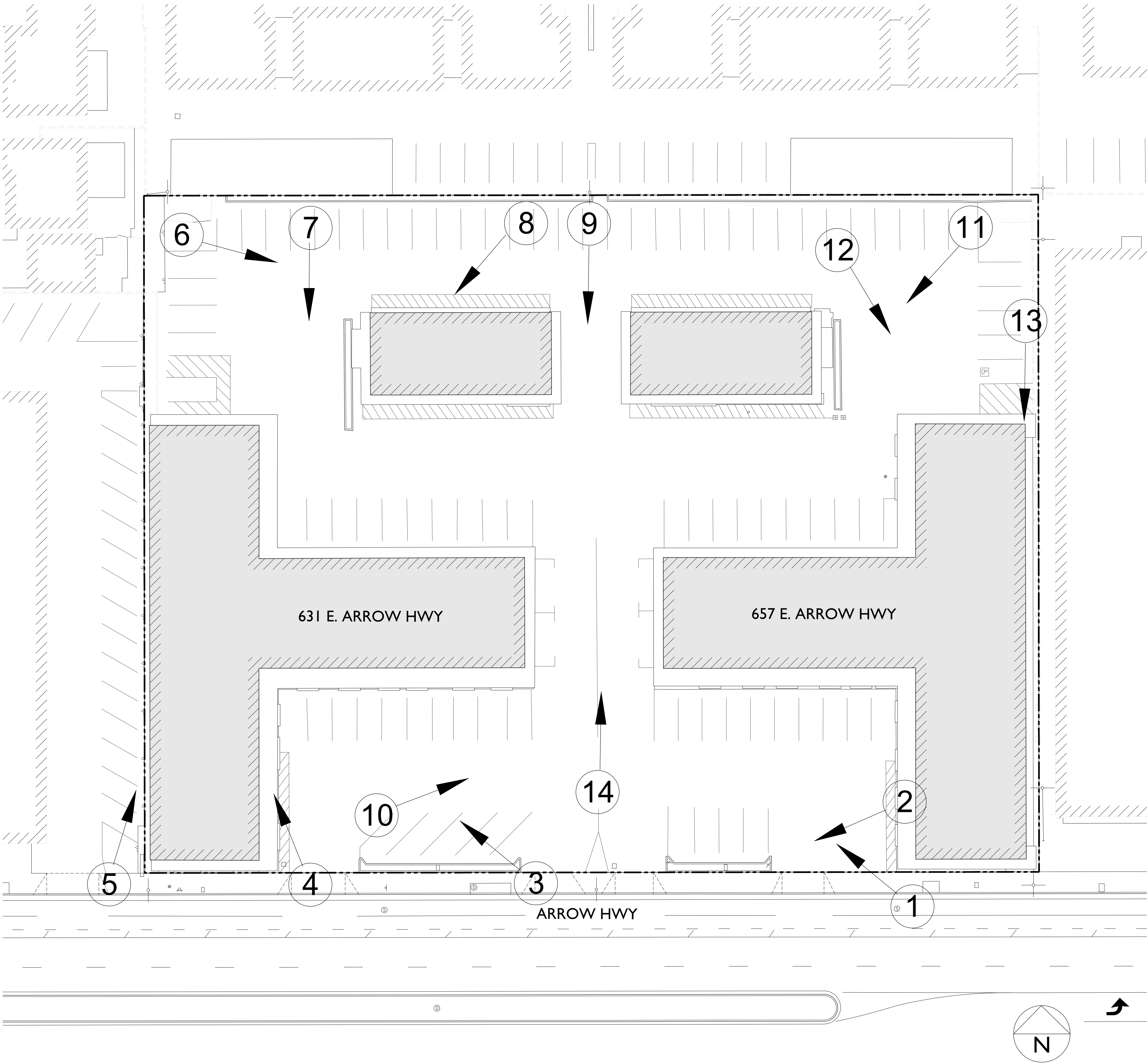


5256 S. MISSION ROAD STE. 404
BONSALL, CA. 92003
760.724.1198

Scale
JANUARY 20, 2024

△	DATE	REVISION

DS
OF 29 SHTS

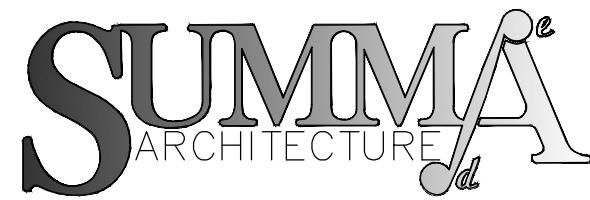


GLENDORA, CA

631-657 E. ARROW HIGHWAY TOWNHOMES

PHOTOGRAPHIC SURVEY

MELIA HOMES
9860 Irvine Center Drive
Irvine, CA 92618
(949) 417-6264

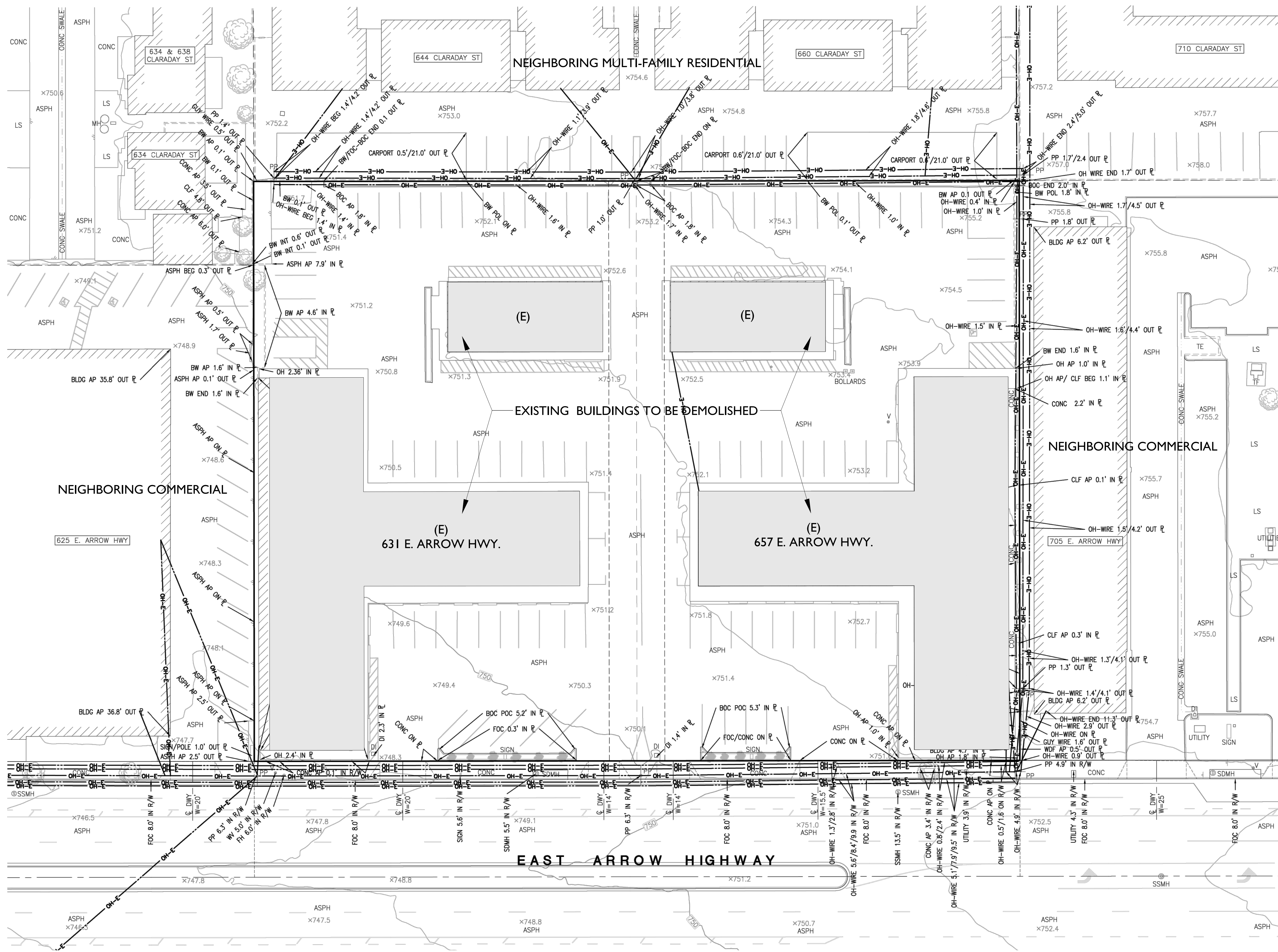


5256 S. MISSION ROAD STE. 404
BONSALL, CA. 92003
760.724.1198

Scale 0 20 40 60
JANUARY 20, 2024

△	DATE	REVISION

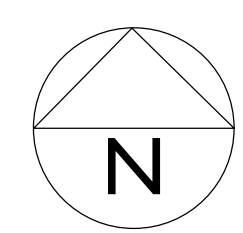
PS
OF 29 SHTS



- LEGEND:**
- AP ANGLE POINT
 - ASPH ASPHALT PAVEMENT
 - BC BUILDING CORNER
 - BEG BEGIN
 - BO BLOW-OFF VALVE
 - BOC BACK OF CURB
 - BLDG BUILDING
 - BW BLOCK WALL
 - CB CATCH BASIN
 - CF CURB FACE
 - CLF CHAIN LINK FENCE
 - CMF CORRUGATED METAL FENCE
 - CONC CONCRETE PAVEMENT
 - DI DRAIN INLET
 - DWY DRIVEWAY
 - (E) EXISTING
 - FH FIRE HYDRANT
 - GM GAS METER
 - LS LANDSCAPING
 - MH MANHOLE
 - PKWY PARKWAY
 - P PROPERTY LINE
 - PP POWER POLE
 - RET RETAINING
 - ROW RIGHT-OF-WAY
 - SFH SINGLE-FAMILY HOME
 - ST LT STREET LIGHT
 - TE TRASH ENCLOSURE
 - TEMP TEMPORARY
 - TF TRANSFORMER
 - WF WOOD FENCE
 - WL WALL
 - WM WATER METER
 - V VALVE
- IN R INSIDE OF PROPERTY LINE
OUT R OUTSIDE OF PROPERTY LINE
IN R/W INSIDE OF ROW (OFF SITE)
OUT R/W OUTSIDE OF ROW (ON SITE)
- N/F NORTH FACE
S/F SOUTH FACE
E/F EAST FACE
W/F WEST FACE

- SYMBOLS:**
- BO BLOW-OFF VALVE
 - DI DRAIN INLET
 - FH FIRE HYDRANT
 - LS LANDSCAPING
 - SMH SANITARY SEWER MANHOLE
 - SP SIGN POST
 - GM GAS METER
 - WM WATER METER
 - V VALVE
 - UP UTILITY/POWER POLE
 - BS BLOCK/RETAINING SCREEN WALL
 - BLW BLOCK/RETAINING LOW WALL
 - PD PLANTER/DECORATIVE WALL
 - OW OVERHEAD WIRE
 - EA EDGE OF ASPHALT PAVEMENT
 - WIF WOOD/WROUGHT IRON FENCE
 - CF CHAIN LINK FENCE
 - DF DIRECTION OF FLOW
 - 93 MINOR CONTOUR (1' INTERVAL)
 - 100 MAJOR CONTOUR (5' INTERVAL)
 - 91.5 SPOT ELEVATION

BUILDING OVERHANG NOTE:
ALL BUILDING LINES SHOWN HEREON ARE REFLECTIVE OF THE BUILDING ROOF LINES AND OVERHANGS AS OBSERVED FROM AERIAL PHOTOGRAMMETRY AND MAY NOT REPRESENT A BUILDING LOCATION AT GROUND LEVEL.

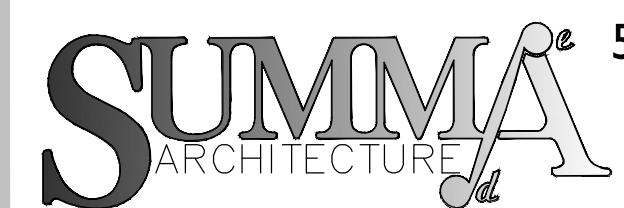


GLENDORA, CA

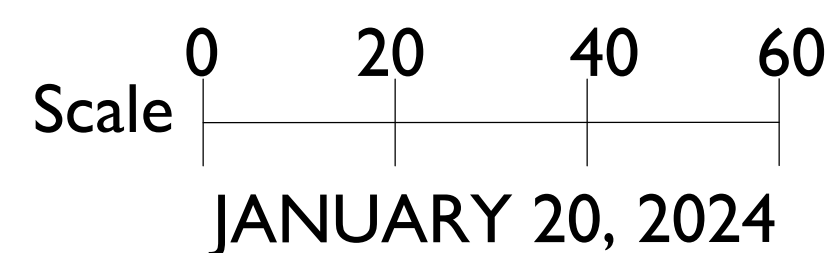
631-657 E. ARROW HIGHWAY TOWNHOMES

EXISTING CONDITIONS SITE PLAN

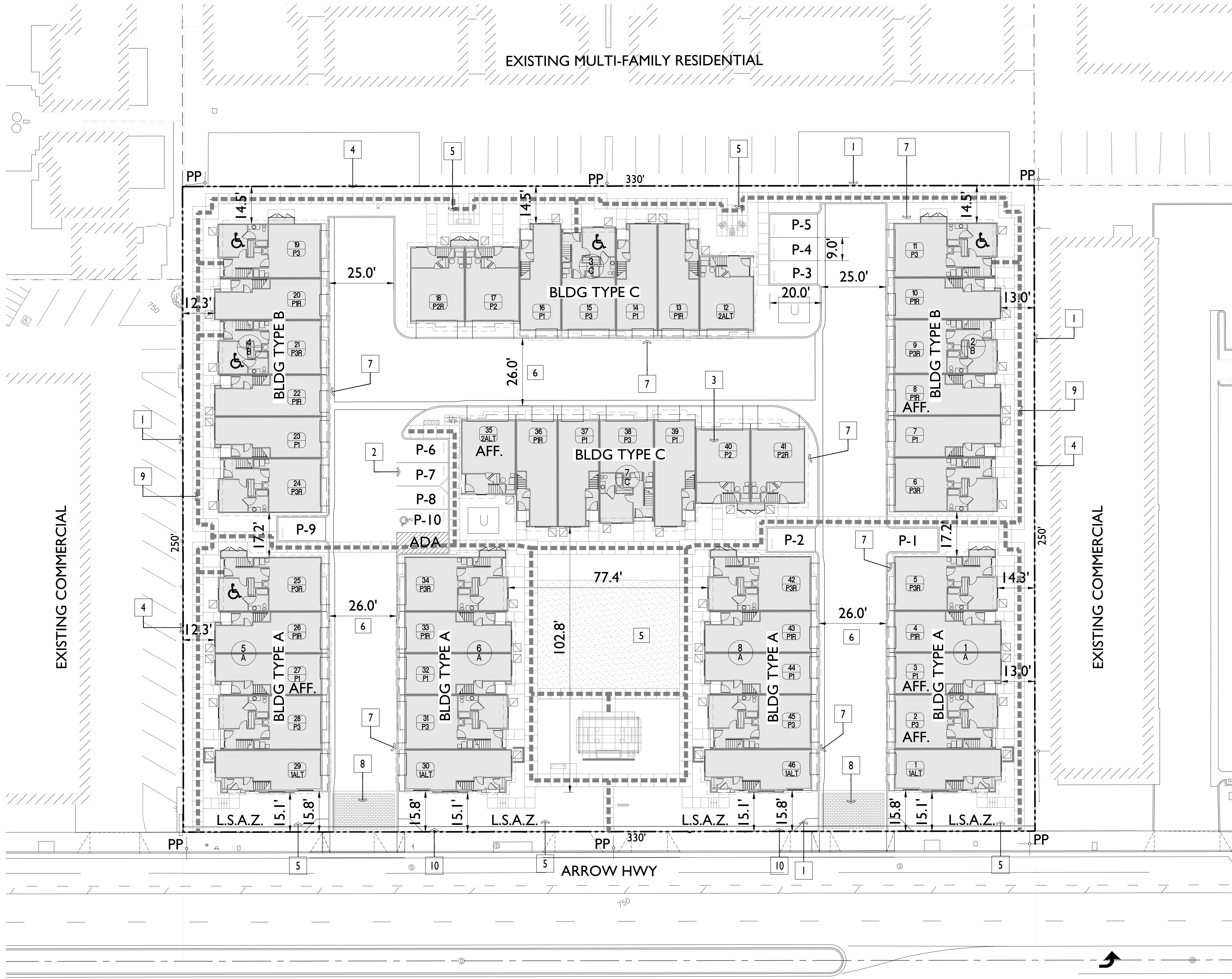
MELIA HOMES
9860 Irvine Center Drive
Irvine, CA 92618
(949) 417-6264



5256 S. MISSION ROAD STE. 404
BONSALL, CA. 92003
760.724.1198



DATE	REVISION



BUILDING CODE SUMMARY
OCCUP. TYPE R3/U (CRC)
CONST. TYPE TYPE VB (CRC TOWNHOMES)
FIRE SPRINKLER NFPA I3D (CRC R313.1)

2022 CALIFORNIA RESIDENTIAL CODE (CRC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA FIRE CODE (CFC)
2022 CALIFORNIA GREEN BLD'G STDS CODE (CGBSC)
2022 CALIFORNIA ENERGY EFFICIENCY STDS (CEES)

DWELLING UNIT/BUILDING SUMMARY				
PL 1	20	1,348 S.F.	3 BDRM (TANDEM GARAGE)	
PL 1-ALT	4	1,366 S.F.	3 BDRM (TANDEM GARAGE)	
PL 2	6	1,316 S.F.	2 BDRM + DEN	
PL 3	16	1,894 S.F.	4 BDRM	
BLDG TYPE A	5 UNITS	4 TOTAL		
BLDG TYPE B	6 UNITS	5 TOTAL		
BLDG TYPE C	7 UNITS	6 TOTAL		

- SITE PLAN LEGEND**
- AC CONDENSER - SEE LANDSCAPE PLANS FOR SCREENING
 - ELECTRIC TRANSFORMER
 - L.S.A.Z. LANDSCAPE AMENITY ZONE AT FRONT SETBACK
 - AFF. DESIGNATED AFFORDABLE HOUSING HOME (MODERATE)
PLAN 1 - 3 UNITS
PLAN 2 - 1 UNIT
PLAN 3 - 1 UNIT
TOTAL - 5 UNITS PROVIDED

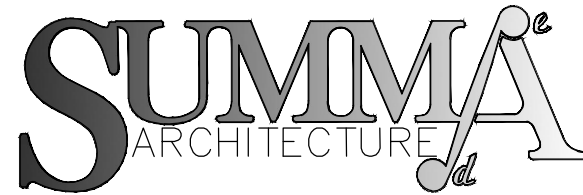
- ADA PATH OF TRAVEL
- BUILDING NUMBER
BUILDING TYPE
- UNIT NUMBER
PLAN TYPE

- SITE PLAN KEYNOTES**
- PROPERTY LINE
 - STANDARD PARKING STALL - 9' X 18'
 - 3-STORY TOWNHOME BUILDING, TYP.
 - C.M.U. PERIMETER WALL (SEE WALL PLAN SHT L-3)
 - AMENITY AREA (SEE LANDSCAPE PLAN SHT L-1)
 - FIRE LANE
 - ROOF EDGE (SEE ROOF PLANS SHT A-11)
 - ENHANCED PAVING (SEE LANDSCAPE PLAN)
 - CONCRETE WALKWAY
 - 2 FOOT DEDICATION FOR FUTURE PUBLIC SIDEWALK

GLENDORA, CA

631-657 E. ARROW HIGHWAY TOWNHOMES

MELIA HOMES
9860 Irvine Center Drive
Irvine, CA 92618
(949) 417-6264



5256 S. MISSION ROAD STE. 404
BONSALL, CA. 92003
760.724.1198

Scale 0 20 40 60
JANUARY 20, 2024

PROPOSED SITE PLAN

DATE	REVISION

SP
OF 29 SHTS



- A CENTRAL COMMUNITY GATHERING AREA WITH LARGE SHADE STRUCTURE, BUFFET COUNTER, PICNIC TABLES, AND LAWN AREA.
- B BENCH SEATING NODE
- C ADIRONDACK SEATING NODE
- D DOG WALKING PATH, BAG DISPENSER

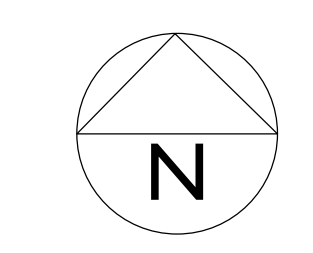
INCENTIVE PER AFFORDABLE HOUSING LAWS:
- USABLE OPEN SPACE - REDUCED TO 314 S.F. PER UNIT
FROM 400 S.F. PER UNIT.

CODE QUALIFYING OPEN SPACE SUMMARY

PRIVATE BALCONIES	3,270 S.F. (60 SF MIN., 6' DIM.)
COMMON OPEN SPACE	11,195 S.F. (15' MIN. DIM.)
TOTAL PROVIDED	14,465 S.F. (314 S.F./UNIT)

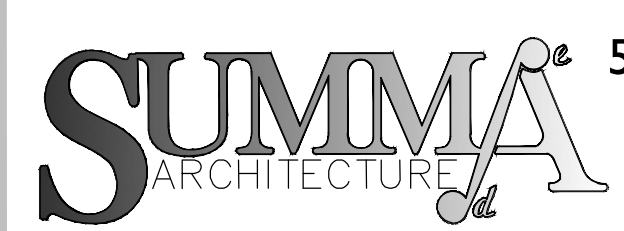
GLENDORA, CA

631-657 E. ARROW HIGHWAY TOWNHOMES

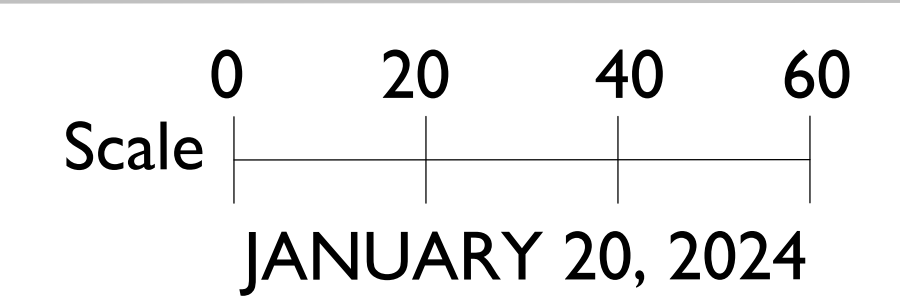


PROPOSED OPEN SPACE

MELIA HOMES
9860 Irvine Center Drive
Irvine, CA 92618
(949) 417-6264



5256 S. MISSION ROAD STE. 404
BONSALL, CA. 92003
760.724.1198



△	DATE	REVISION



FRONT ELEVATION



RIGHT ELEVATION - ARROW HWY



REAR ELEVATION



LEFT ELEVATION

MATERIAL SCHEDULE

1. ROOF - ASPHALT SHINGLES
2. FASCIA - 2X RESAWN WOOD
3. 1/6/20 SAND FINISH STUCCO
4. STONE VENEER
5. HARDIE LAP SIDING - 6" EXPOSURE
6. DECORATIVE METAL RAILING
7. VINYL WINDOW W/ STUCCO TRIM
8. DECORATIVE E.P.S. EAVE BRACE
9. STUCCO CONTROL JOINT
10. EXTERIOR LIGHT FIXTURE
11. DECORATIVE METAL AWNING
12. DECORATIVE STUCCO EYEBROW
13. UTILITY CLOSET
14. SECTIONAL GARAGE DOOR
15. GABLE END VENT
16. DECORATIVE METAL ESPALIER
17. OBSCURE GLAZING AT WINDOW

GLENDORA, CA

631-657 E. ARROW HIGHWAY TOWNHOMES

BLDG TYPE A ELEVATIONS

MELIA HOMES
9860 Irvine Center Drive
Irvine, CA 92618
(949) 417-6264



5256 S. MISSION ROAD STE. 404
BONSALL, CA. 92003
760.724.1198

Scale 0 8 16 24
JANUARY 20, 2024

△	DATE	REVISION

A-1
OF 29 SHTS



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

MATERIAL SCHEDULE

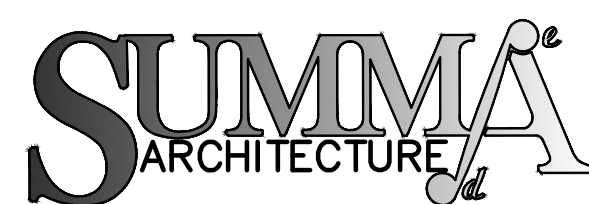
1. ROOF - ASPHALT SHINGLES
2. FASCIA - 2X RESAWN WOOD
3. 16/20 SAND FINISH STUCCO
4. STONE VENEER
5. HARDIE LAP SIDING - 6" EXPOSURE
6. DECORATIVE METAL RAILING
7. VINYL WINDOW W/ STUCCO TRIM
8. DECORATIVE E.P.S. EAVE BRACE
9. STUCCO CONTROL JOINT
10. EXTERIOR LIGHT FIXTURE
11. DECORATIVE METAL AWNING
12. DECORATIVE STUCCO EYEBROW
13. UTILITY CLOSET
14. SECTIONAL GARAGE DOOR
15. GABLE END VENT
16. DECORATIVE METAL ESPALIER
17. OBSCURE GLAZING AT WINDOW

GLENDORA, CA

631-657 E. ARROW HIGHWAY TOWNHOMES

BLDG TYPE B ELEVATIONS

MELIA HOMES
9860 Irvine Center Drive
Irvine, CA 92618
(949) 417-6264



5256 S. MISSION ROAD STE. 404
BONSALL, CA. 92003
760.724.1198

Scale 0 8 16 24
JANUARY 20, 2024

△	DATE	REVISION

A-2
OF 29 SHTS



LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



REAR ELEVATION

MATERIAL SCHEDULE

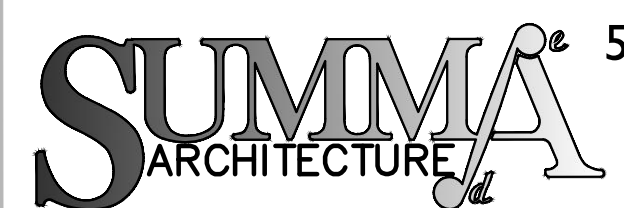
- 1. ROOF - ASPHALT SHINGLES
- 2. FASCIA - 2X RESAWN WOOD
- 3. 16/20 SAND FINISH STUCCO
- 4. STONE VENEER
- 5. HARDIE LAP SIDING - 6" EXPOSURE
- 6. DECORATIVE METAL RAILING
- 7. VINYL WINDOW W/ STUCCO TRIM
- 8. DECORATIVE E.P.S. EAVE BRACE
- 9. STUCCO CONTROL JOINT
- 10. EXTERIOR LIGHT FIXTURE
- 11. DECORATIVE METAL AWNING
- 12. DECORATIVE STUCCO EYEBROW
- 13. UTILITY CLOSET
- 14. SECTIONAL GARAGE DOOR
- 15. GABLE END VENT
- 16. DECORATIVE METAL ESPALIER
- 17. OBSCURE GLAZING AT WINDOW

BLDG TYPE C ELEVATIONS

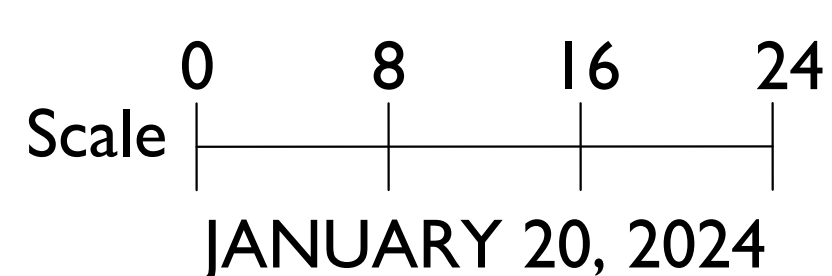
GLENDORA, CA

631-657 E. ARROW HIGHWAY TOWNHOMES

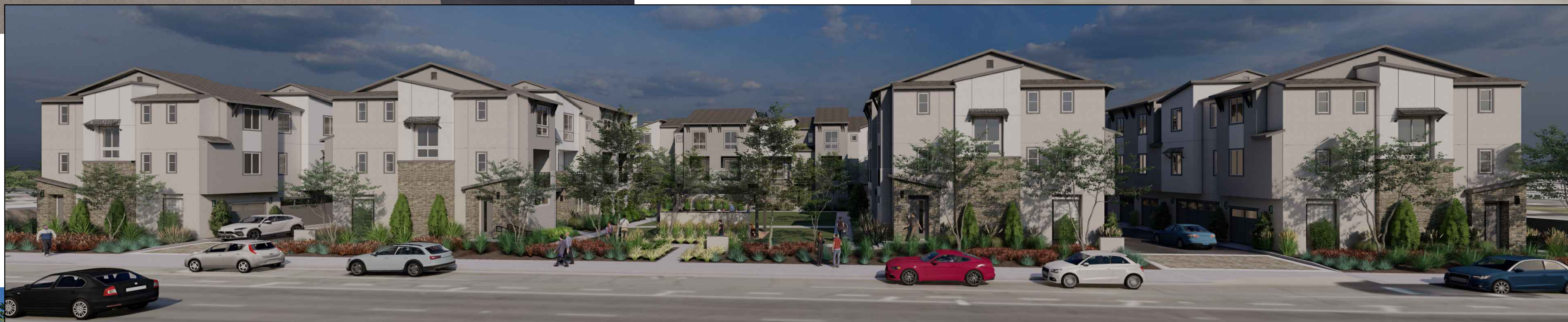
MELIA HOMES
9860 Irvine Center Drive
Irvine, CA 92618
(949) 417-6264



5256 S. MISSION ROAD STE. 404
BONSALL, CA. 92003
760.724.1198



△	DATE	REVISION

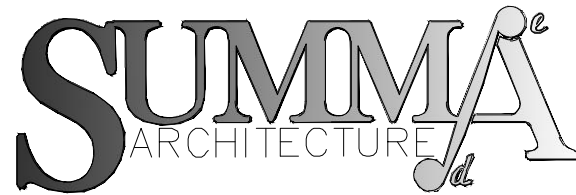


GLENDORA, CA

631-657 E. ARROW HIGHWAY TOWNHOMES

PERSPECTIVE VIEWS

MELIA HOMES
9860 Irvine Center Drive
Irvine, CA 92618
(949) 417-6264



5256 S. MISSION ROAD STE. 404
BONSALL, CA. 92003
760.724.1198

Scale JANUARY 20, 2024

△	DATE	REVISION

EXTERIOR COLOR LEGEND
(BUILDINGS TYPE A, B, C)

- 1

EXTERIOR WALL - STUCCO 1
LA HABRA STUCCO - 16/20 SAND FINISH
VISTA PAINT COLOR - WHITE V000
OR EQUAL
- 2

EXTERIOR WALL - STUCCO 2
LA HABRA STUCCO - 16/20 SAND FINISH
VISTA PAINT COLOR - WHALE BONE 0203
OR EQUAL
- 3

EXTERIOR WALL - STUCCO 3
LA HABRA STUCCO - 16/20 SAND FINISH
VISTA PAINT COLOR - SILVERADO RANCH 0421
OR EQUAL
- 4

EXTERIOR WALL - STONE VENEER
ELDORADO STONE - OR EQUAL
PROFILE - CLIFFSTONE
COLOR - BOARDWALK
- 5

EXTERIOR WALL - HORIZONTAL LAP SIDING
JAMES HARDIE - OR EQUAL
PROFILE - HARDIE PLANK W/ 6" EXPOSURE
TEXTURE - SMOOTH
COLOR - ARCTIC WHITE
- 6

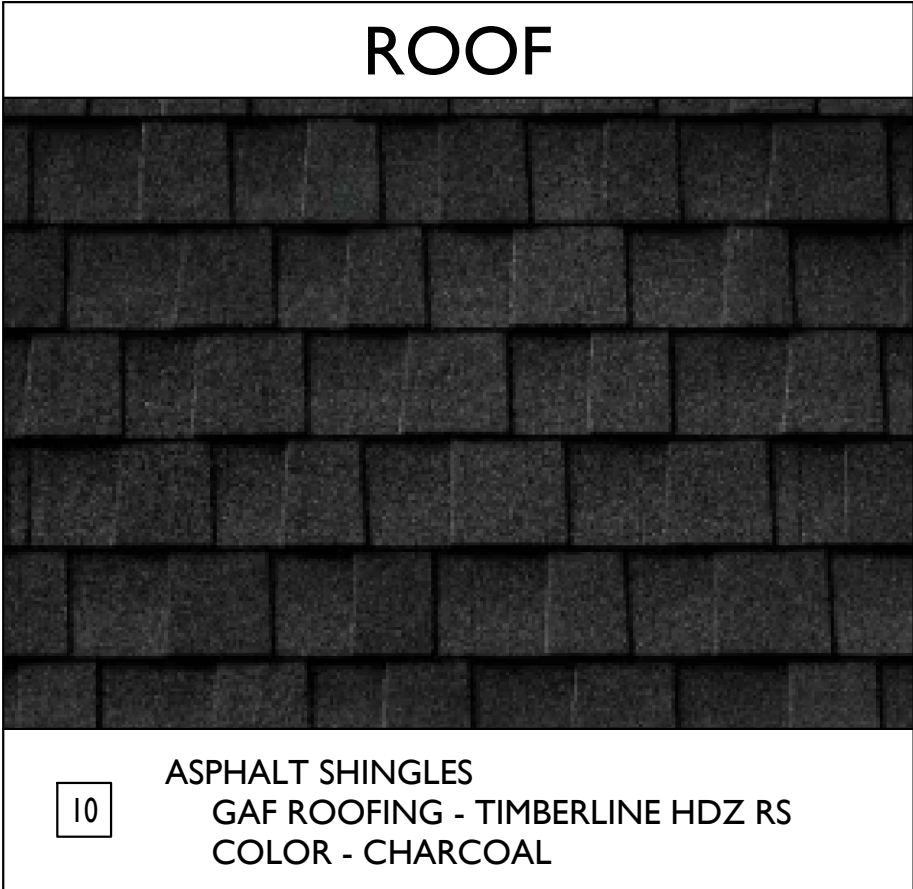
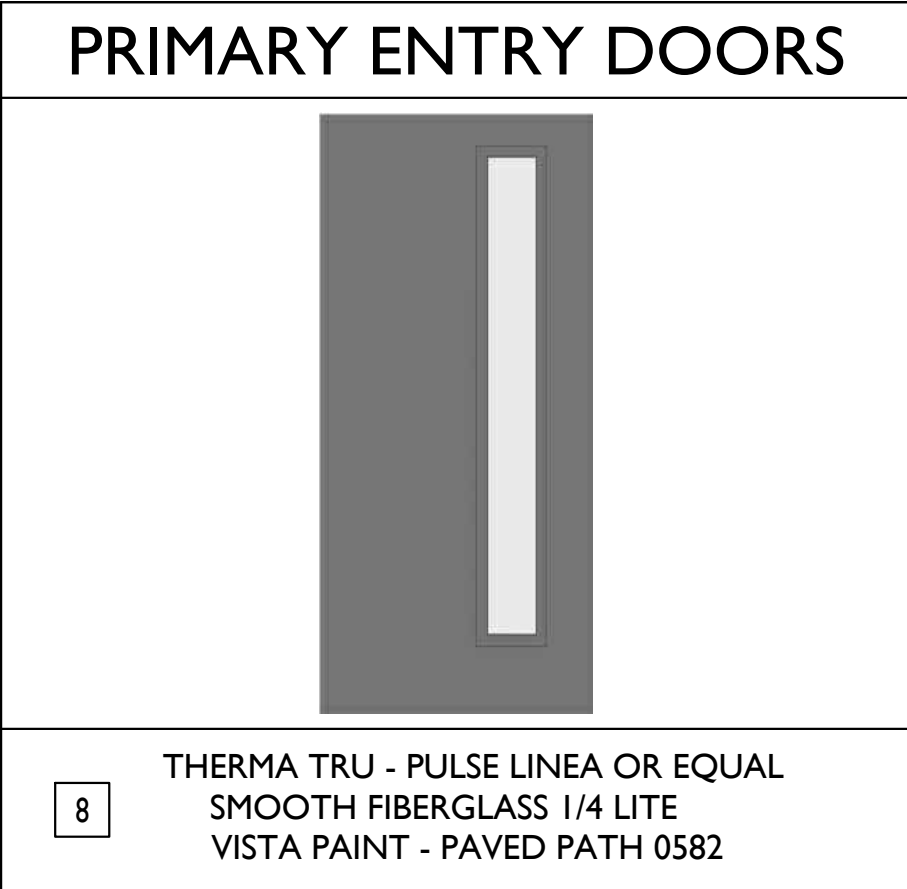
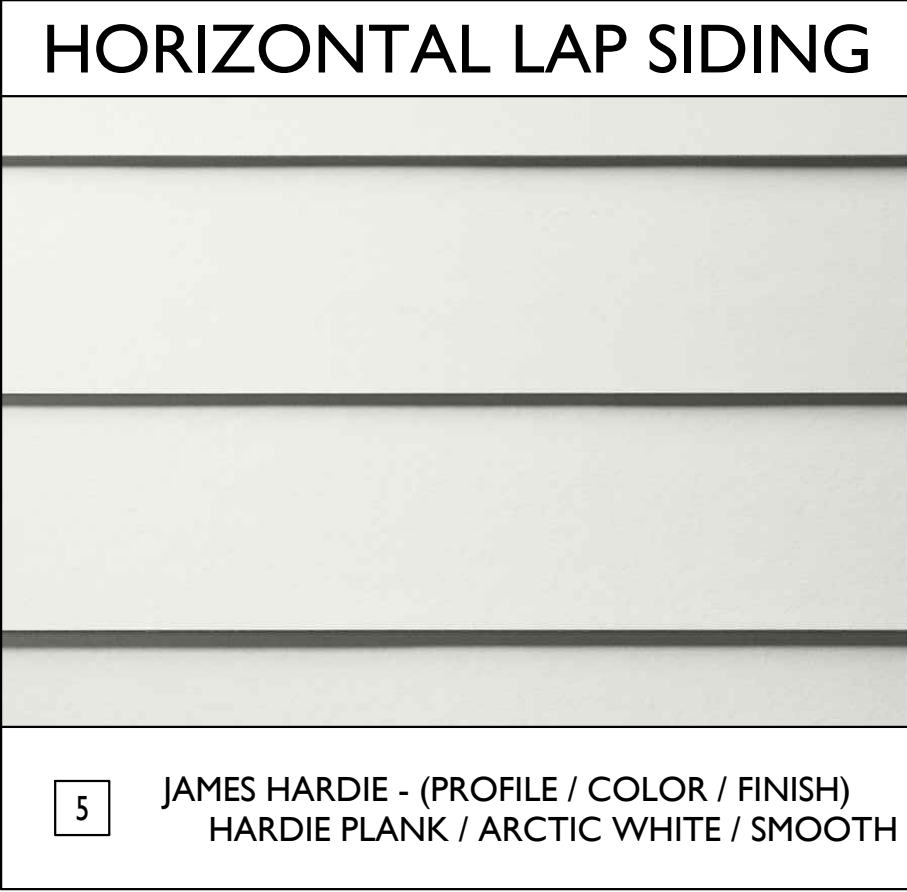
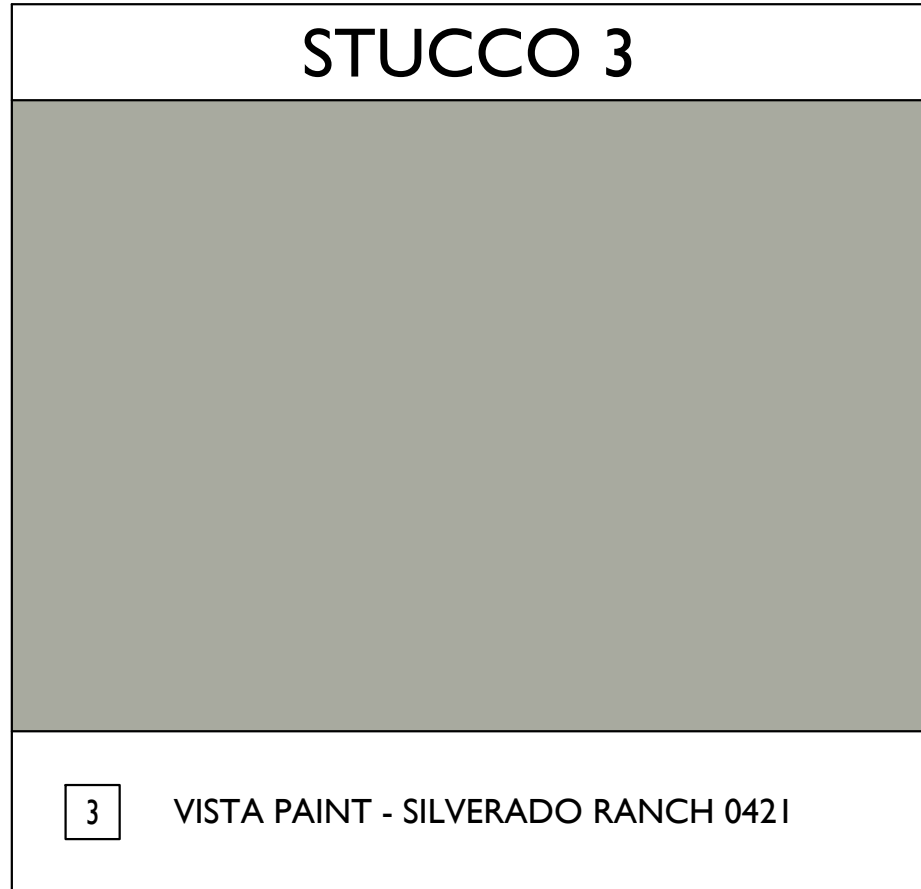
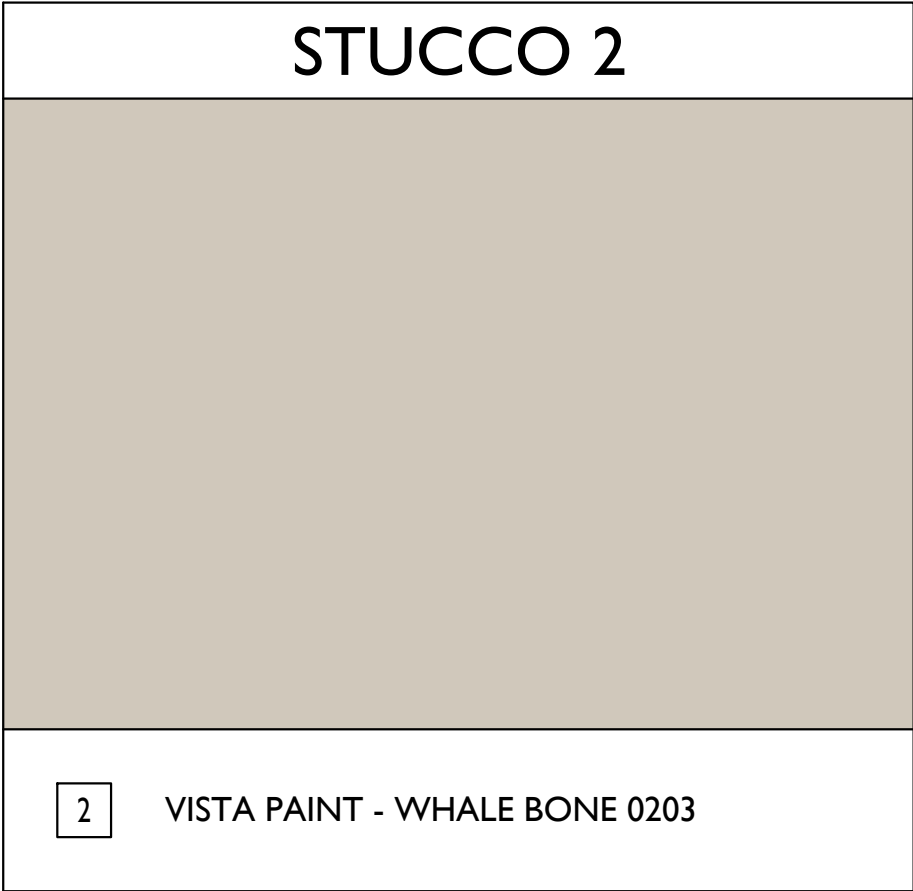
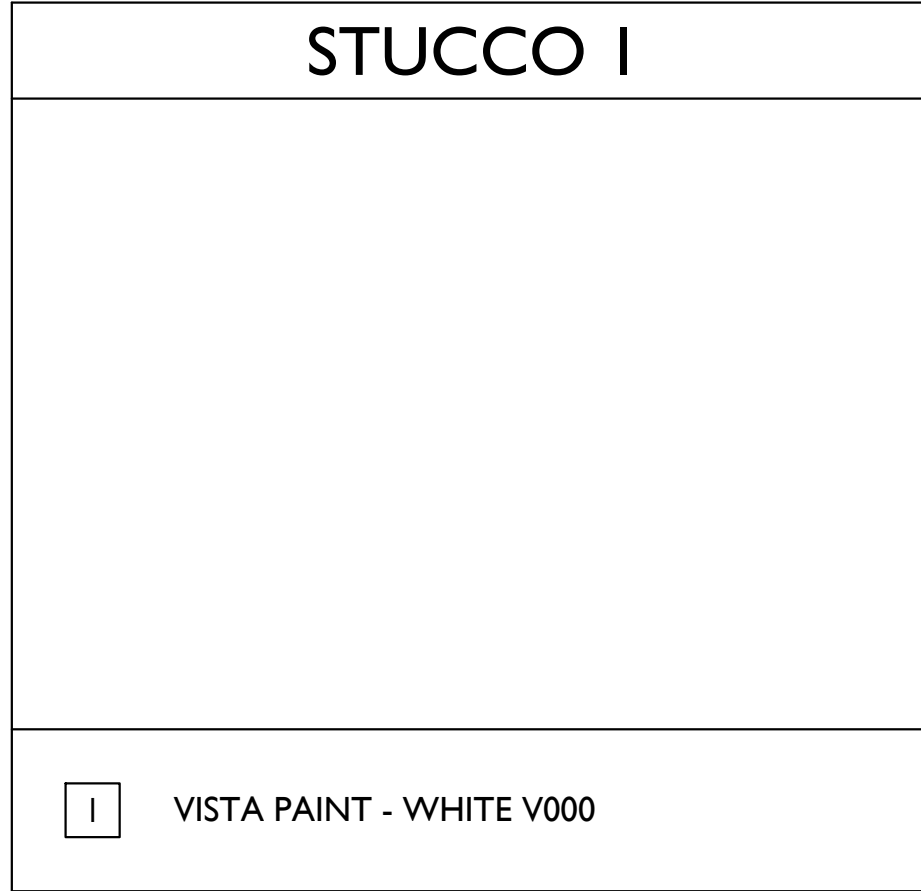
WINDOWS
MILGARD V250 STYLE LINE SERIES OR EQUAL
SINGLE HUNG OR HORIZONTAL SLIDER
COLOR - WHITE VINYL
- 7

EAVE / WINDOW TRIM
VISTA PAINT COLOR - PAVED PATH 0582
OR EQUAL
- 8

PRIMARY ENTRY DOORS
THERMA TRU - PULSE LINEA OR EQUAL
SMOOTH FIBERGLASS
VISTA PAINT COLOR - PAVED PATH 0582
- 9

ACCENT - RAILINGS & OUTLOOKERS
VISTA PAINT COLOR - PAVED PATH 0582
- 10

ROOF - ASPHALT SHINGLES
GAF ROOFING - TIMBERLINE HDZ RS
COLOR - CHARCOAL
OR EQUAL



BUILDING TYPE A FRONT ELEVATION



BUILDING TYPE B FRONT ELEVATION



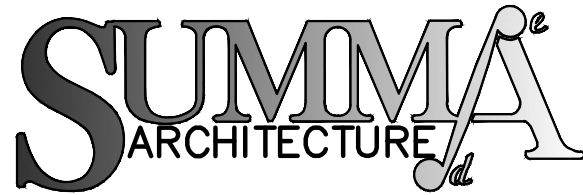
BUILDING TYPE C FRONT ELEVATION

GLENDORA, CA

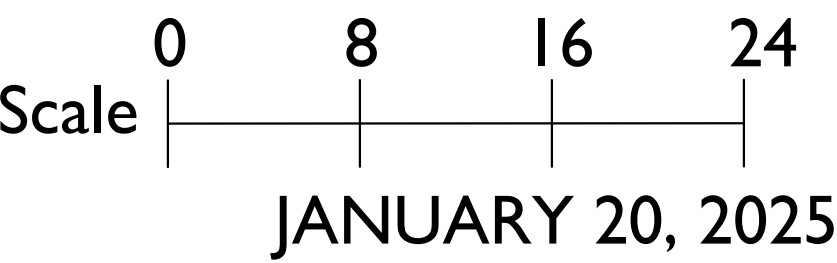
631-657 E. ARROW HIGHWAY TOWNHOMES

COLORS AND MATERIALS

MELIA HOMES
9860 Irvine Center Drive
Irvine, CA 92618
(949) 417-6264

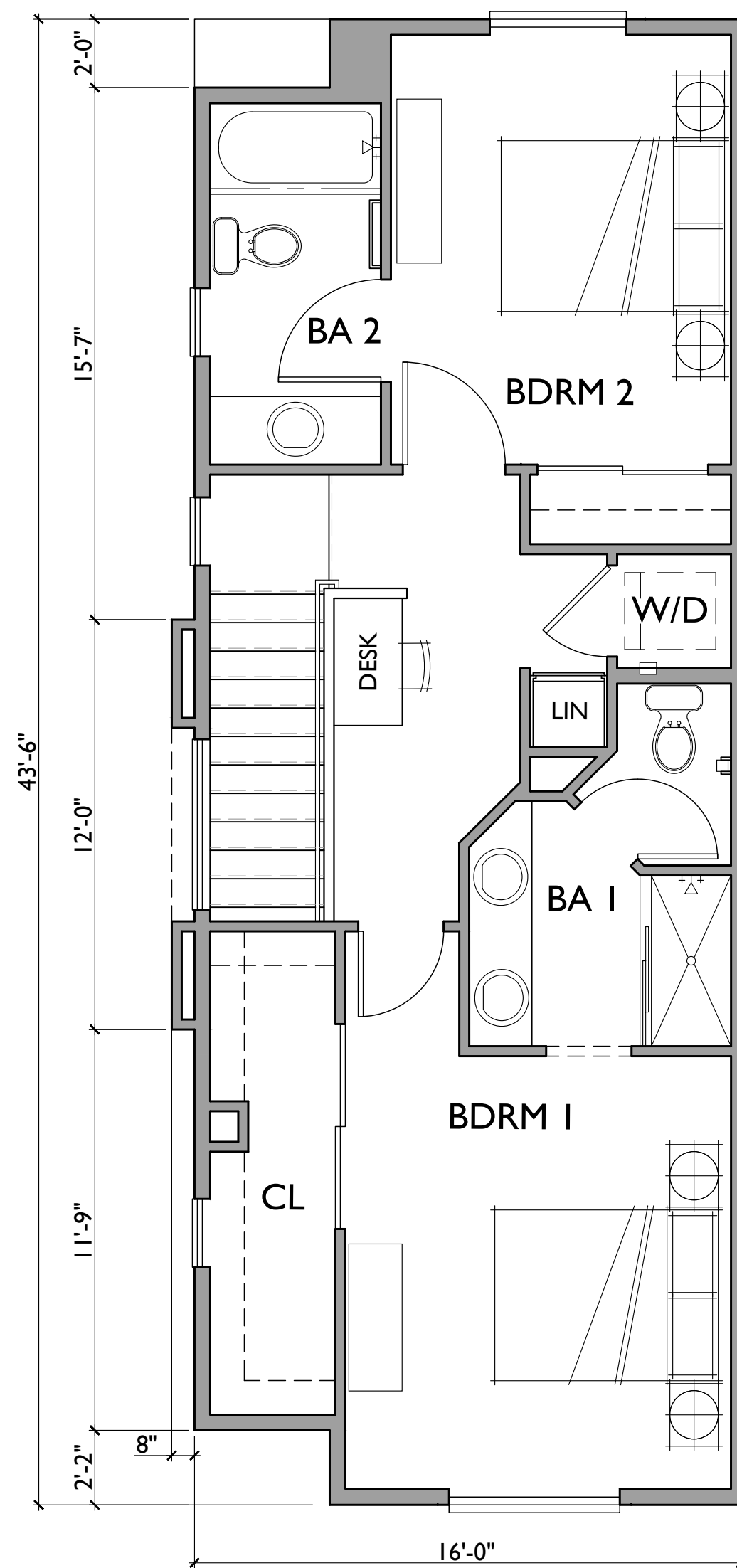


5256 S. MISSION ROAD STE. 404
BONSALL, CA. 92003
760.724.1198

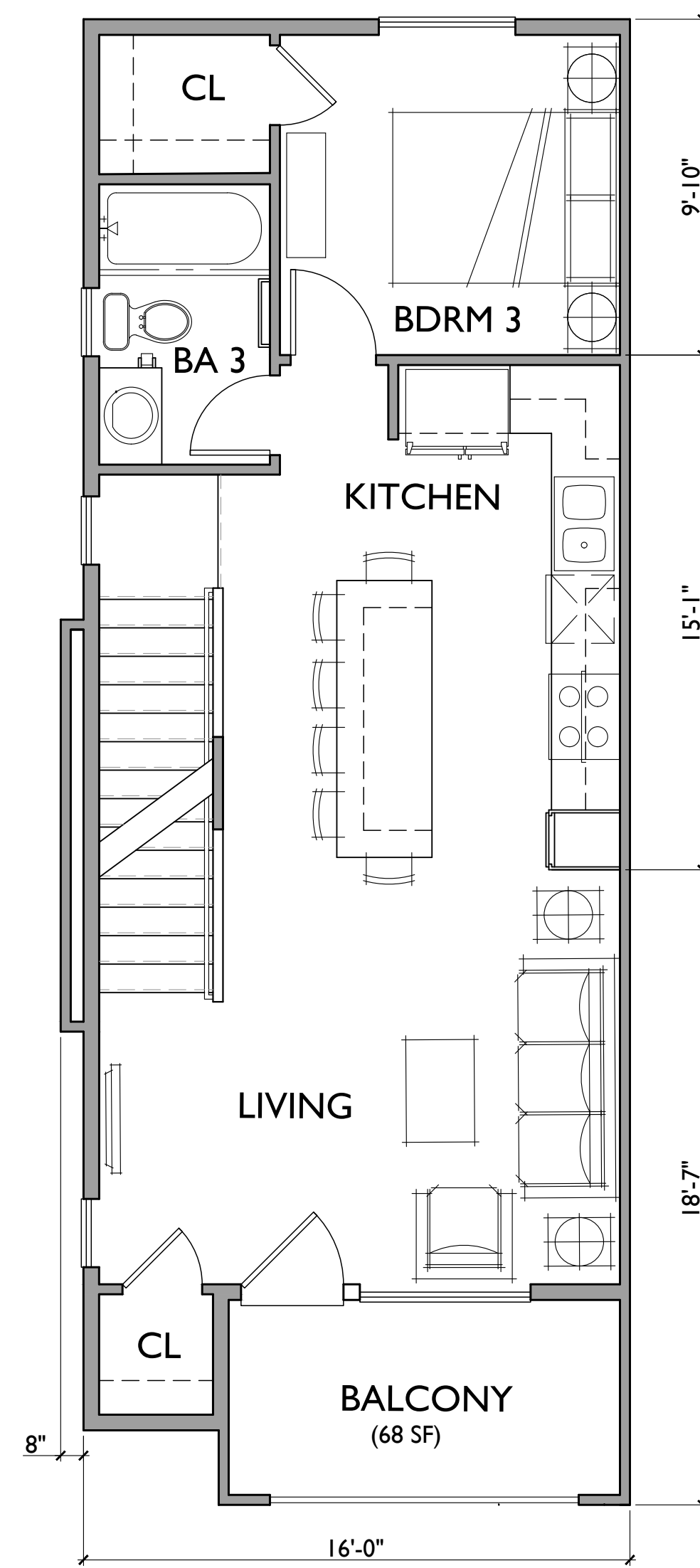


△	DATE	REVISION

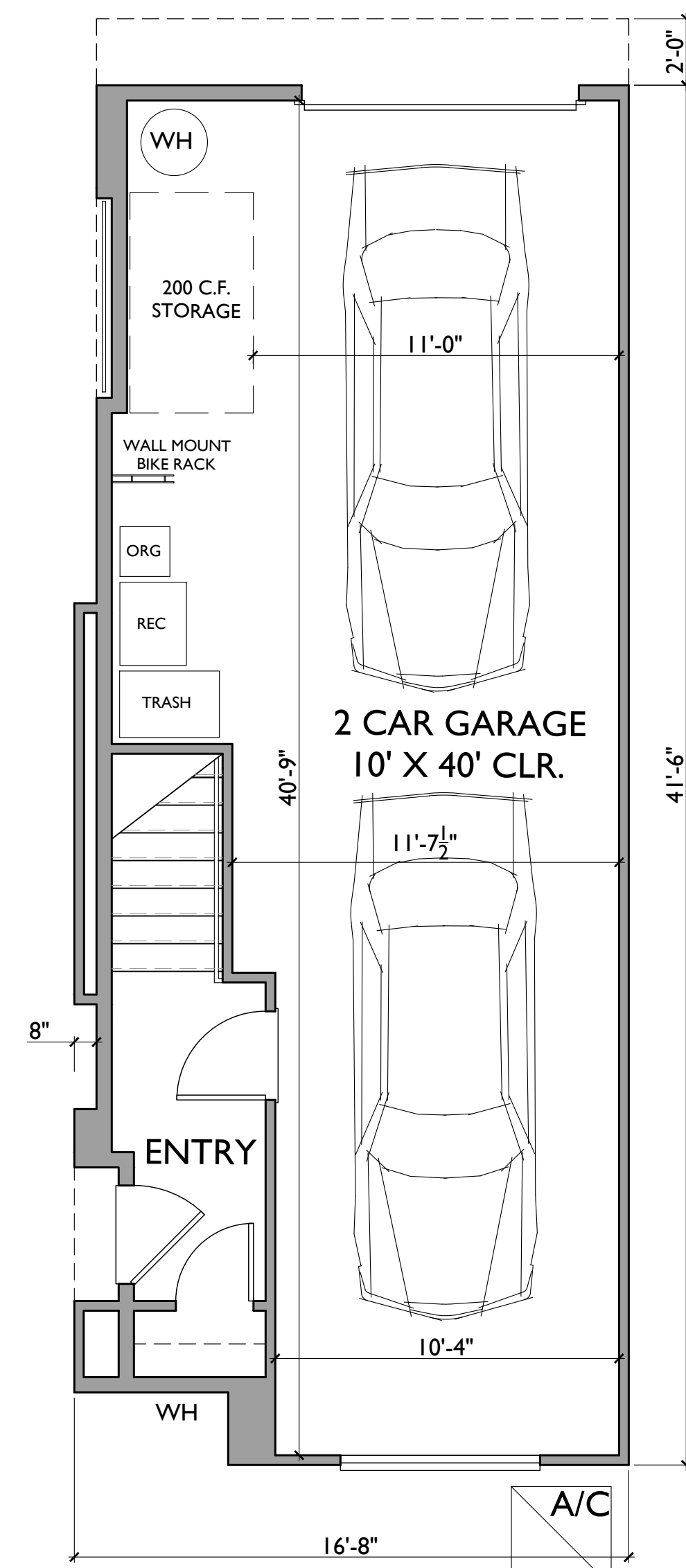
A-5
OF 28 SHTS



3RD FLR - ALT



2ND FLR - ALT



1ST FLR - ALT

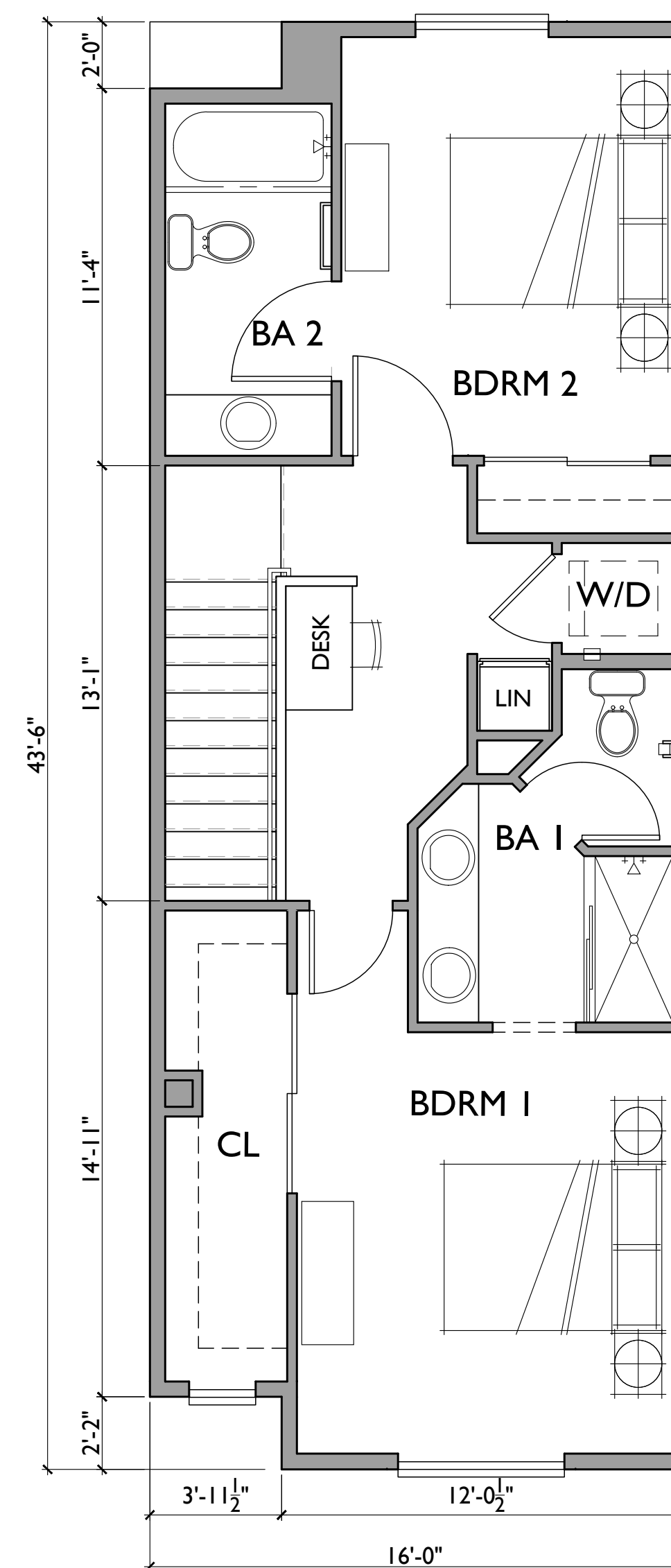
PLAN I-ALT: 3BD/3BA

	GROSS LIV.
1ST FLR -	91 S.F.
2ND FLR-	616 S.F.
3RD FLR-	659 S.F.
TOTAL GROSS	1,366 S.F.
BALCONY-	68 S.F.
GARAGE-	556 S.F.

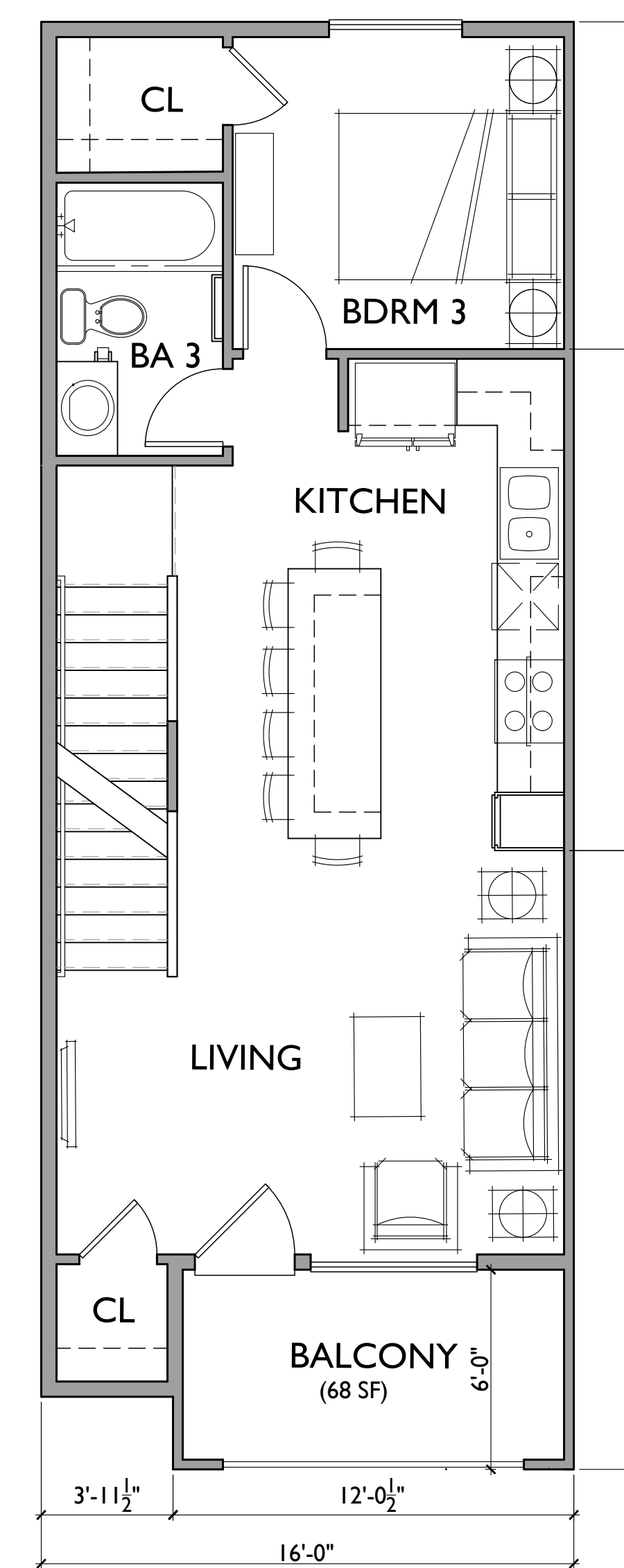
OCCUP. TYPE R3/U (CRC)
 CONST. TYPE TYPE VB (CRC TOWNHOMES)
 FIRE SPRINKLER NFPA 13D (CRC R313.1)
 EV REQ'M'T. EV CAPABLE @ EACH UNIT W/
 1" RACEWAY & 40 AMP-208/240
 DEDICATED BRANCH CIRCUIT
 PER 2022 CGBSC 406.4.1

PLAN I: 3BD/3BA

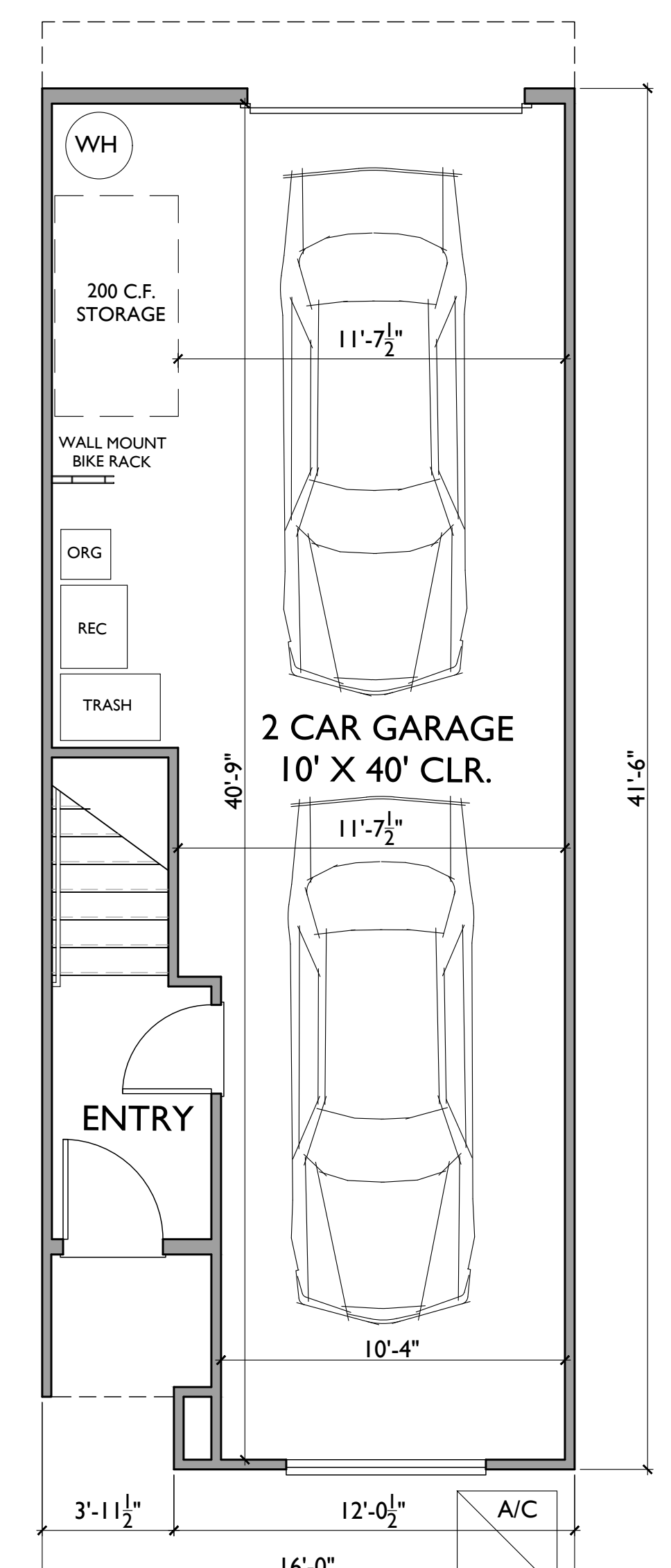
	GROSS LIV.
1ST FLR -	73 S.F.
2ND FLR-	616 S.F.
3RD FLR-	659 S.F.
TOTAL GROSS	1,348 S.F.
BALCONY-	68 S.F.
GARAGE-	556 S.F.



3RD FLR



2ND FLR



1ST FLR

GLENDORA, CA

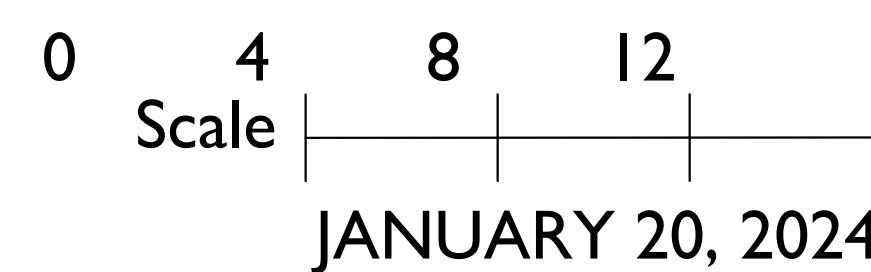
631-657 E. ARROW HIGHWAY TOWNHOMES

UNIT PLAN I

MELIA HOMES
 9860 Irvine Center Drive
 Irvine, CA 92618
 (949) 417-6264

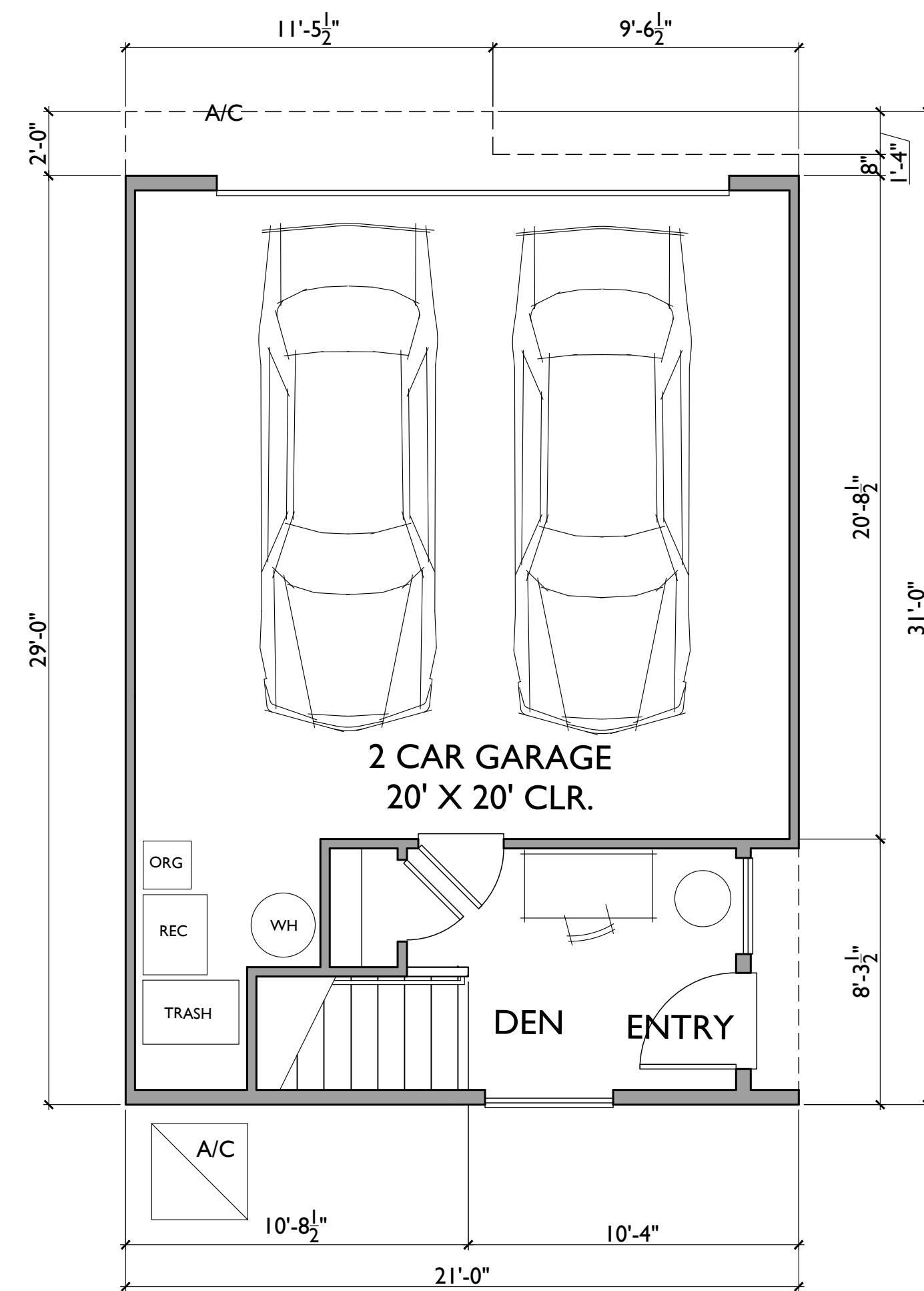


5256 S. MISSION ROAD STE. 404
 BONSALL, CA. 92003
 760.724.1198

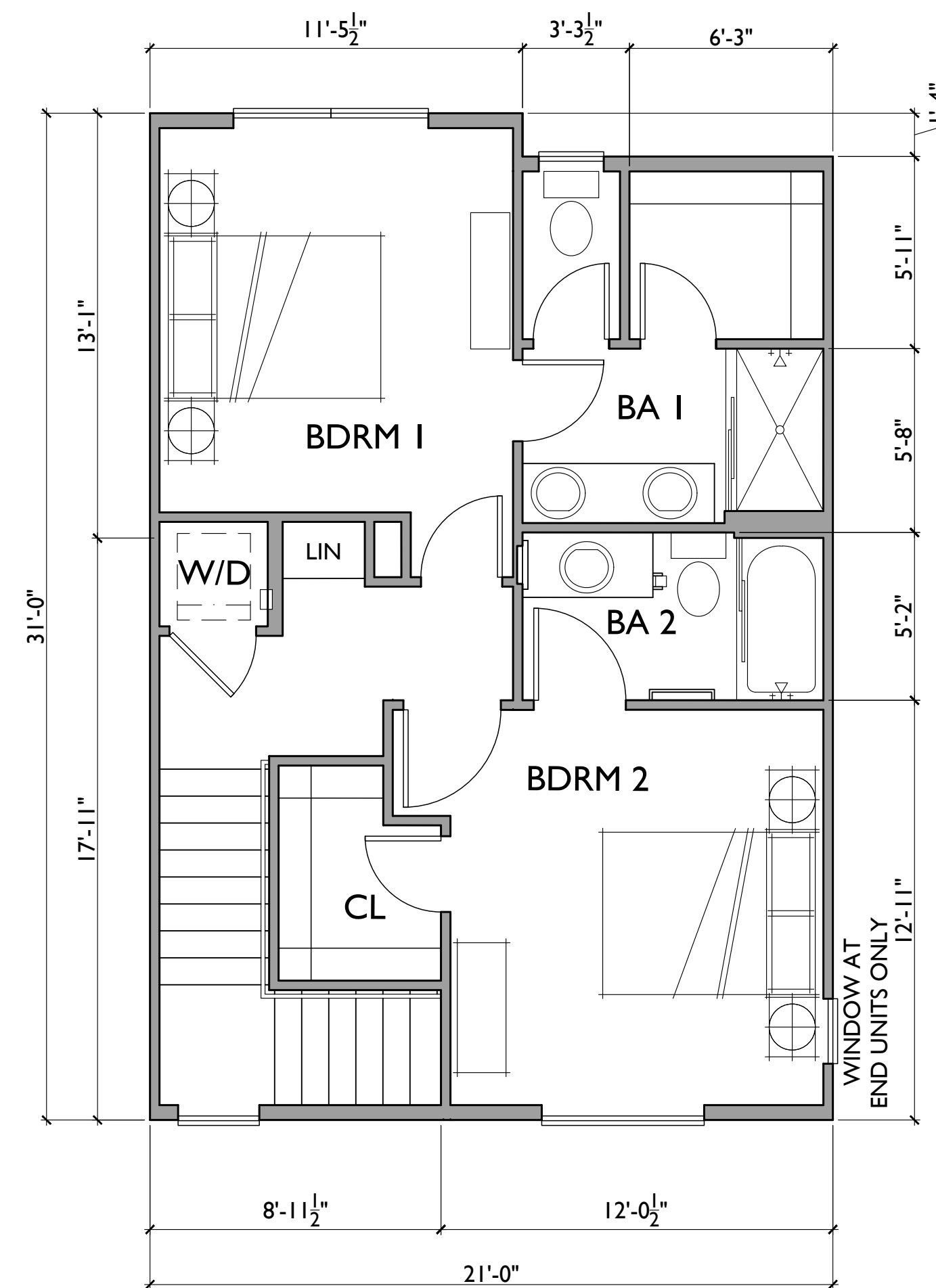


△	DATE	REVISION

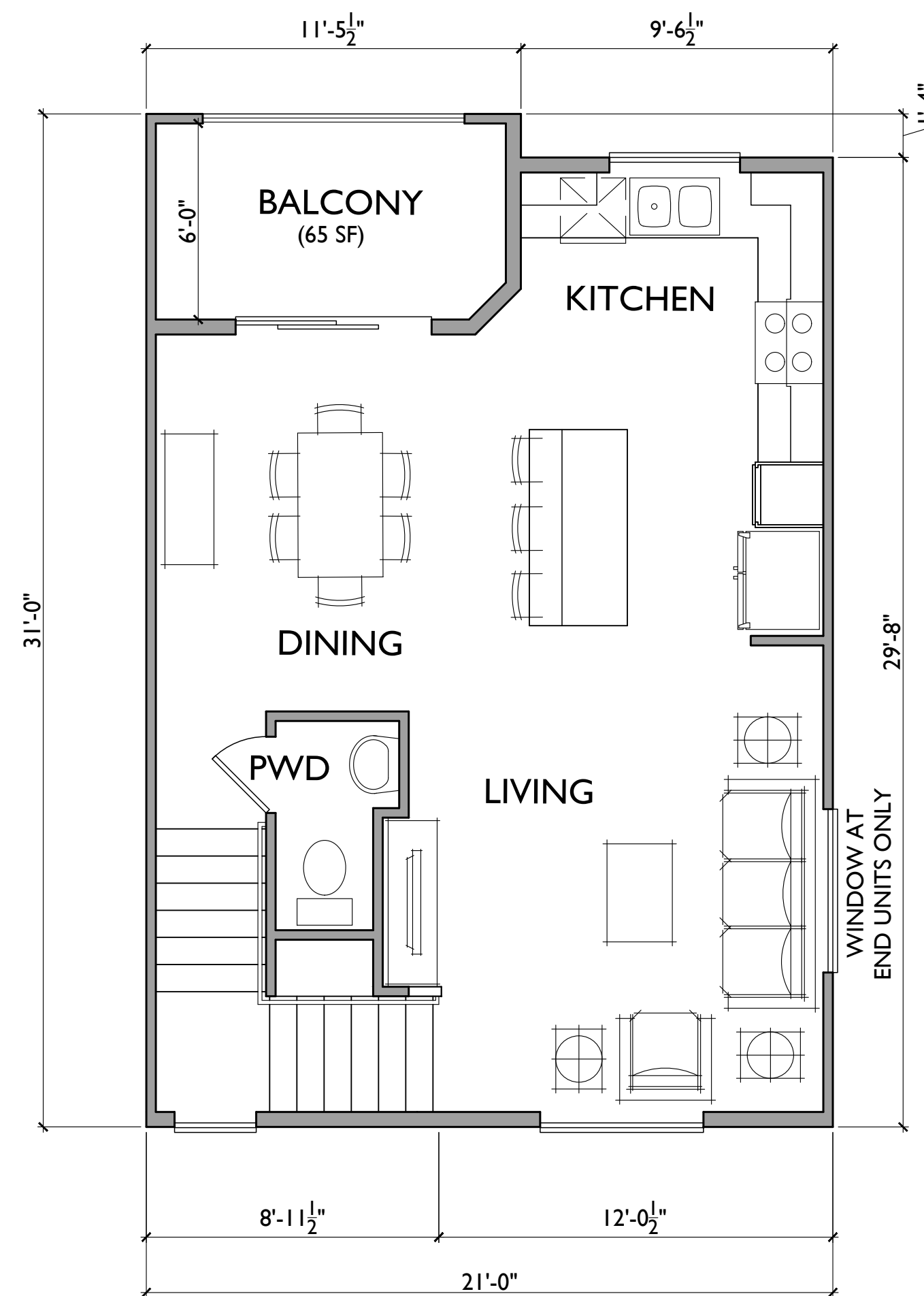
A-6
 OF 29 SHTS



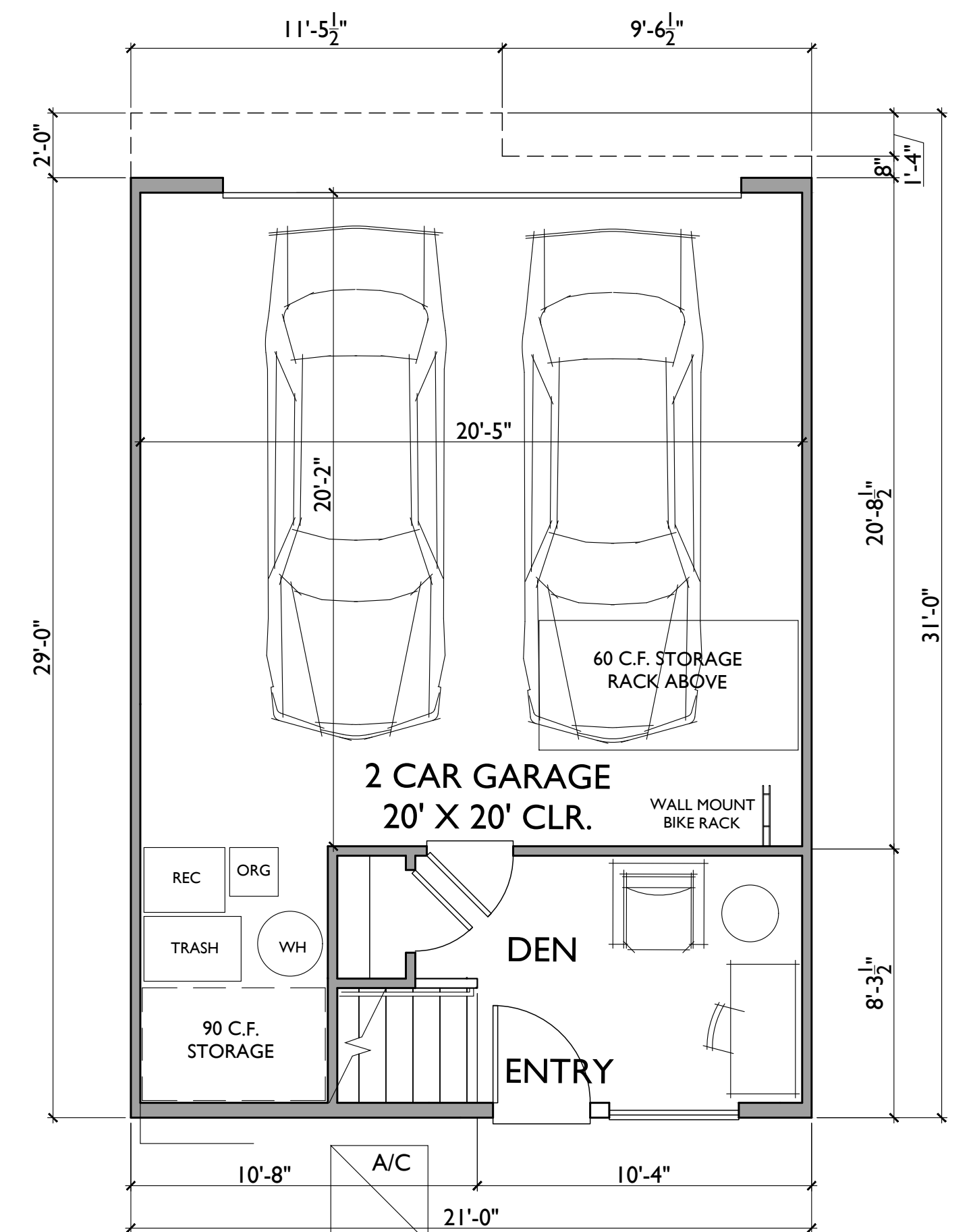
1ST FLOOR - ALT



3RD FLOOR



2ND FLOOR



1ST FLOOR

PLAN 2: 2BD+DEN/2.5BA

	GROSS LIV.
1ST FLR -	134 S.F.
2ND FLR -	565 S.F.
3RD FLR -	617 S.F.
TOTAL GROSS	1,316 S.F.
BALCONY -	65 S.F.
GARAGE -	474 S.F.

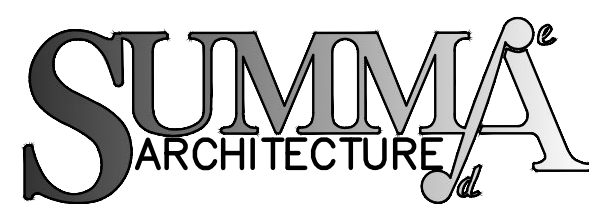
OCCUP. TYPE	R3/U (CRC)
CONST. TYPE	TYPE VB (CRC TOWNHOMES)
FIRE SPRINKLER	NFPA 13D (CRC R313.1)
EV REQ'M'T.	EV CAPABLE @ EACH UNIT W/ 1" RACEWAY & 40 AMP-208/240 DEDICATED BRANCH CIRCUIT PER 2022 CGBSC 406.4.1

GLENDORA, CA

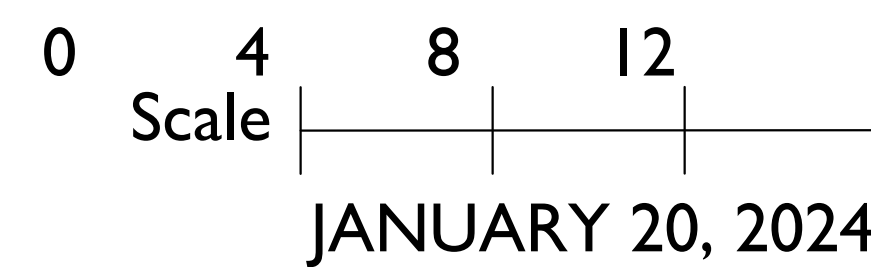
631-657 E. ARROW HIGHWAY TOWNHOMES

UNIT PLAN 2

MELIA HOMES
9860 Irvine Center Drive
Irvine, CA 92618
(949) 417-6264

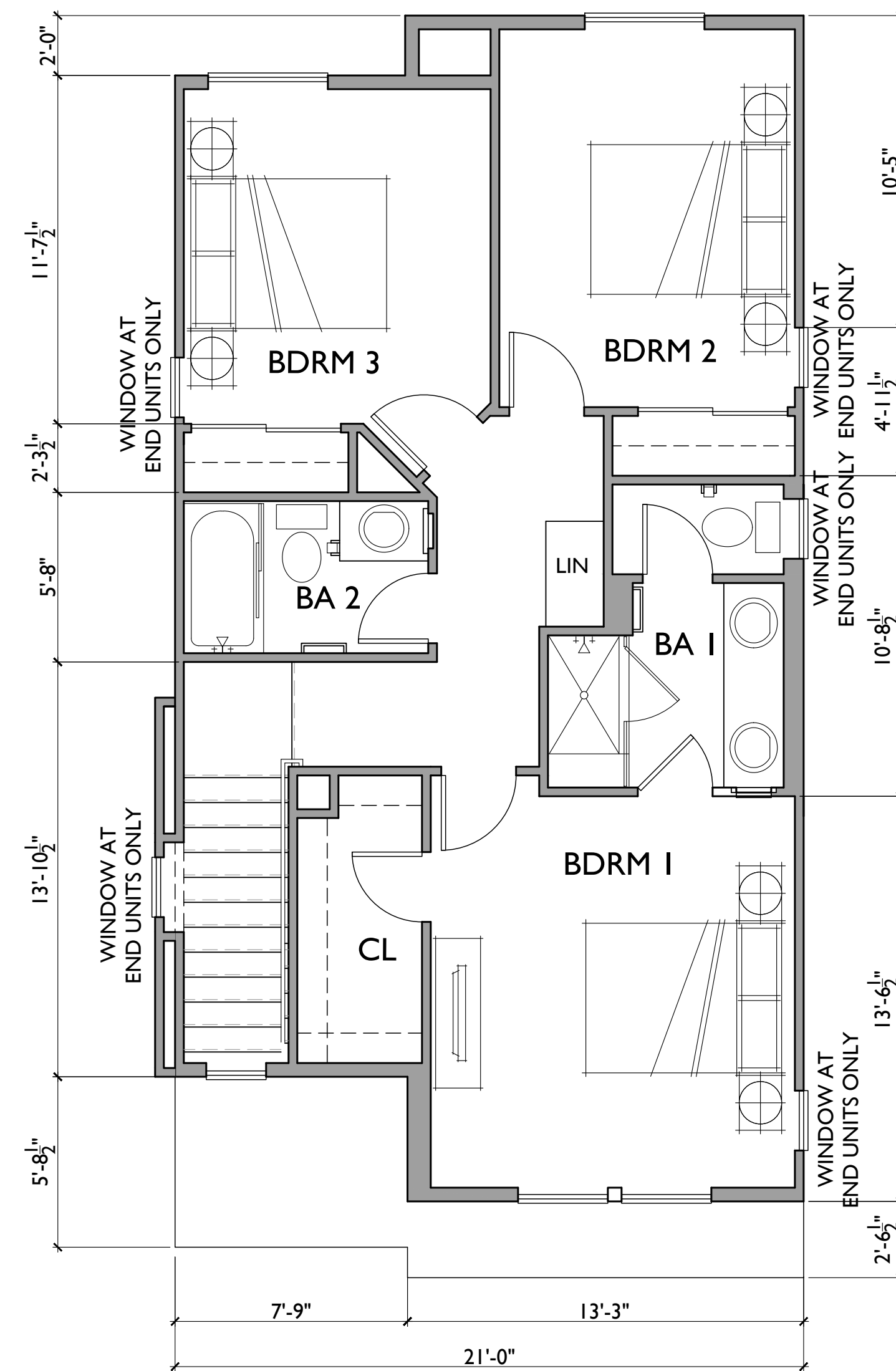


5256 S. MISSION ROAD STE. 404
BONSALL, CA. 92003
760.724.1198

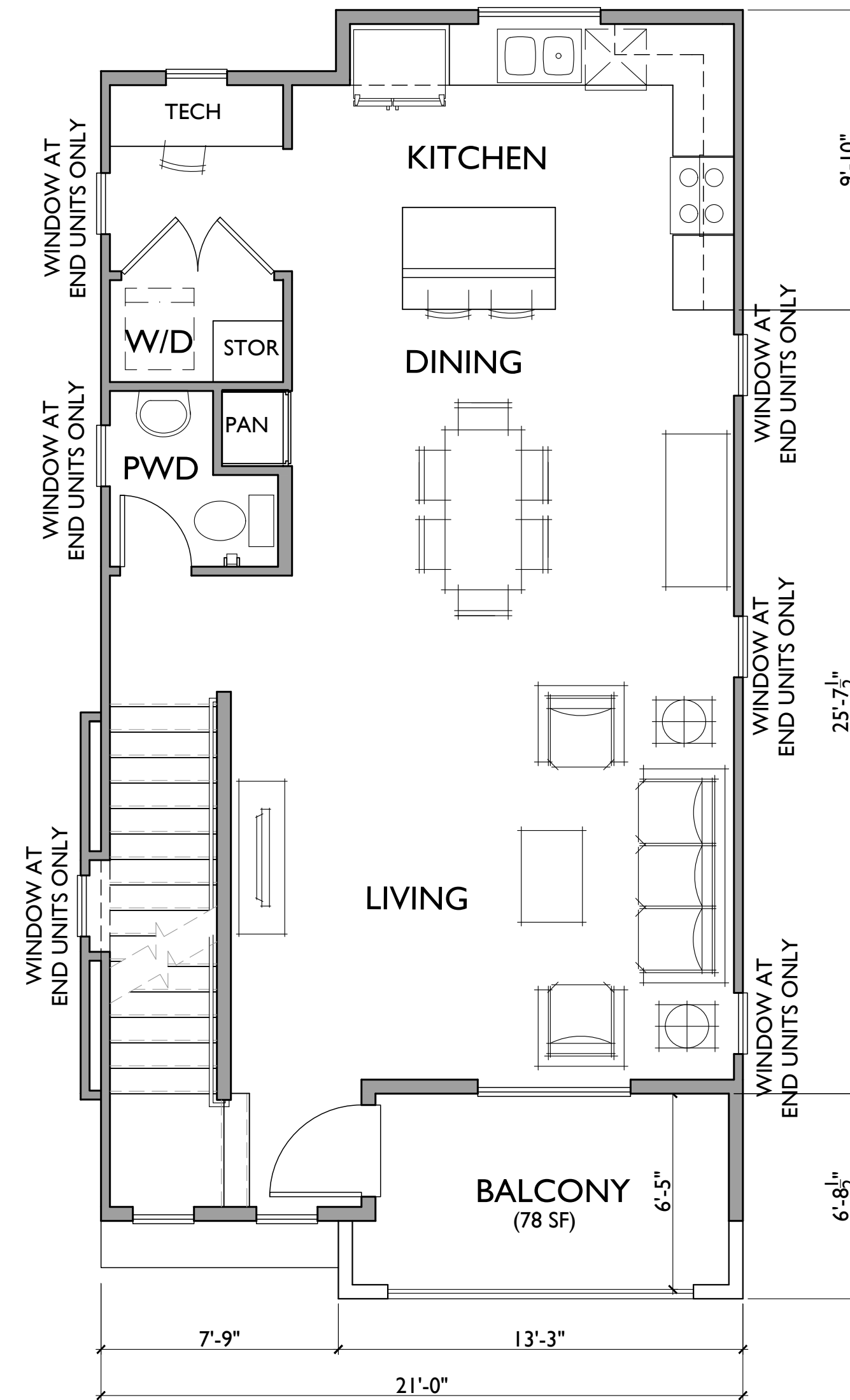


△	DATE	REVISION

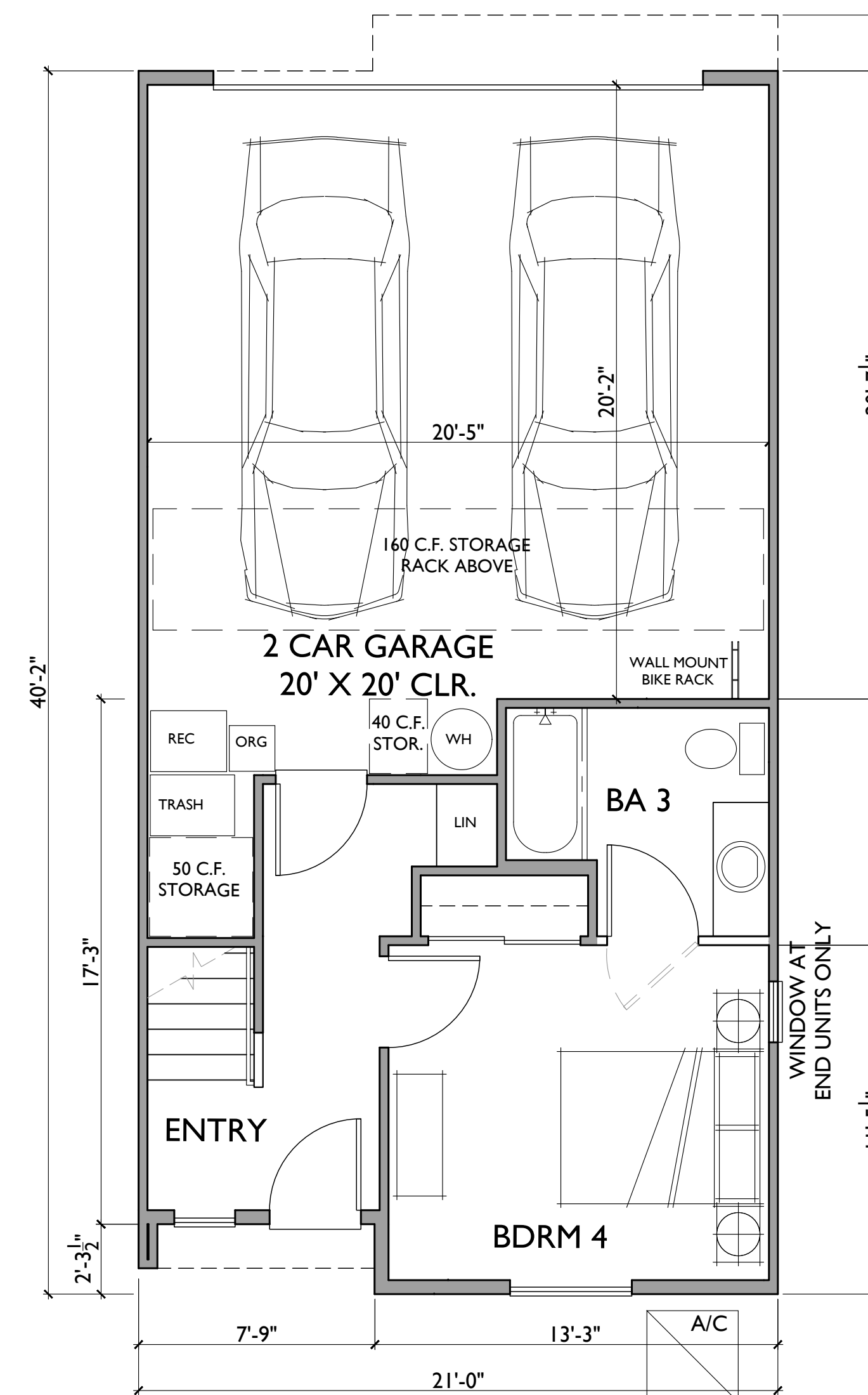
A-7
OF 29 SHTS



3RD FLR



2ND FLR



1ST FLR

PLAN 3	4 BED/3.5BA GROSS LIV.
1ST FL -	367
2ND FL -	770
3RD FL -	757
TOTAL LIVABLE -	1,894 S.F.
BALCONY -	78 S.F.
GARAGE -	459 S.F.

OCCUP. TYPE R3/U (CRC)
 CONST. TYPE TYPE VB (CRC TOWNHOMES)
 FIRE SPRINKLER NFPA 13D (CRC R313.1)
 EV REQMT'. EV CAPABLE @ EACH UNIT W/
 1" RACEWAY & 40 AMP-208/240
 DEDICATED BRANCH CIRCUIT
 PER 2022 CGBSC 406.4.1

GLENDORA, CA

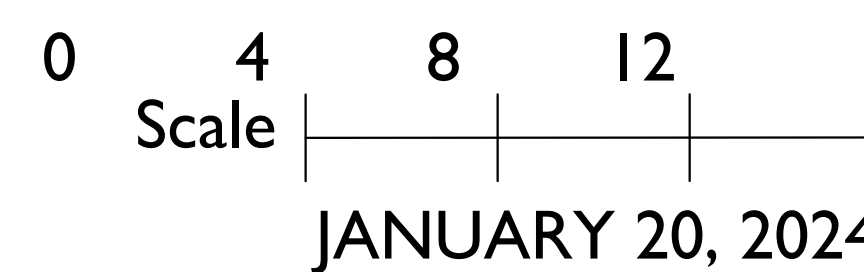
631-657 E. ARROW HIGHWAY TOWNHOMES

UNIT PLAN 3

MELIA HOMES
 9860 Irvine Center Drive
 Irvine, CA 92618
 (949) 417-6264

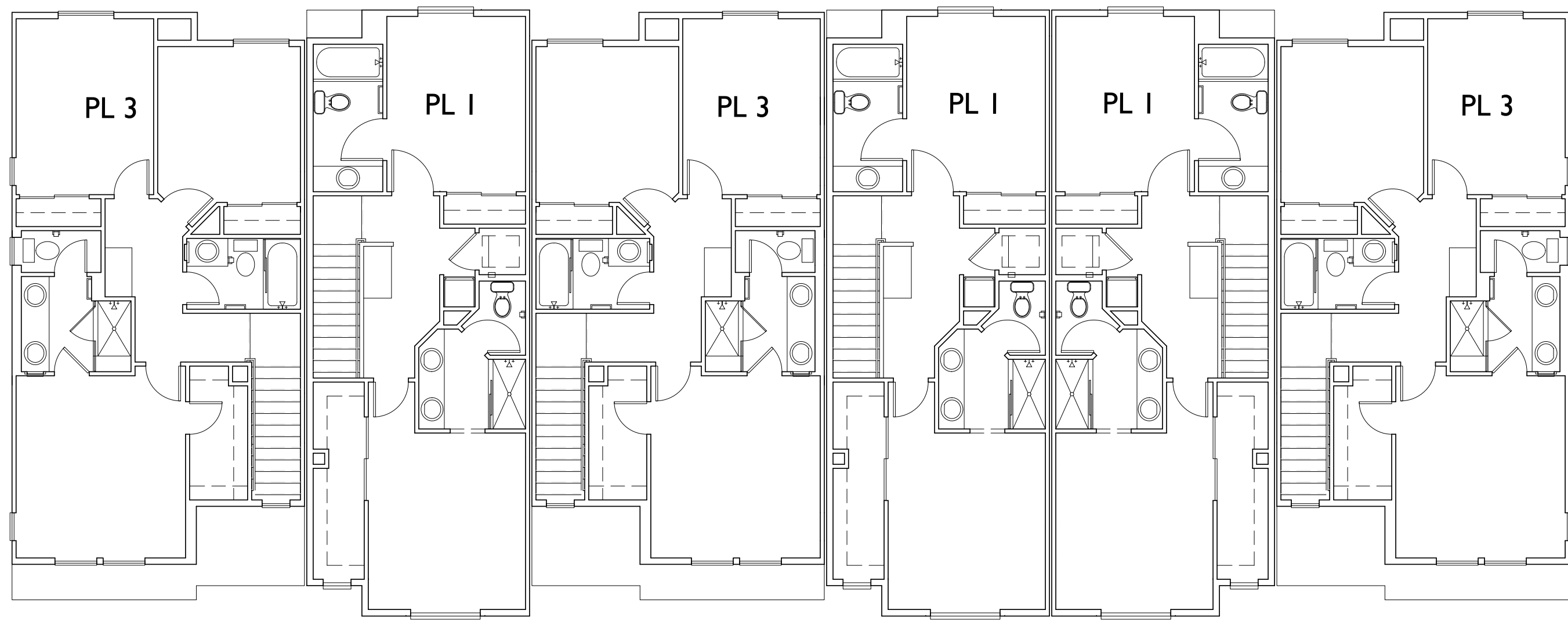


5256 S. MISSION ROAD STE. 404
 BONSALL, CA. 92003
 760.724.1198

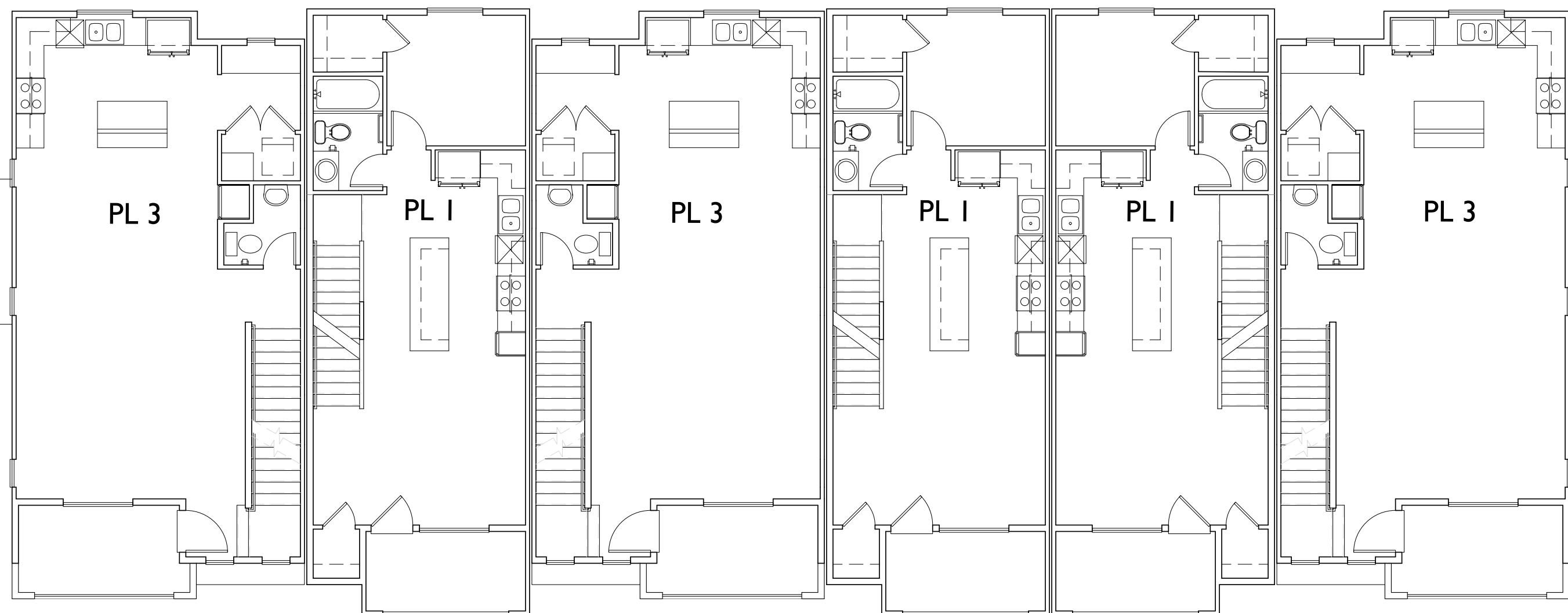
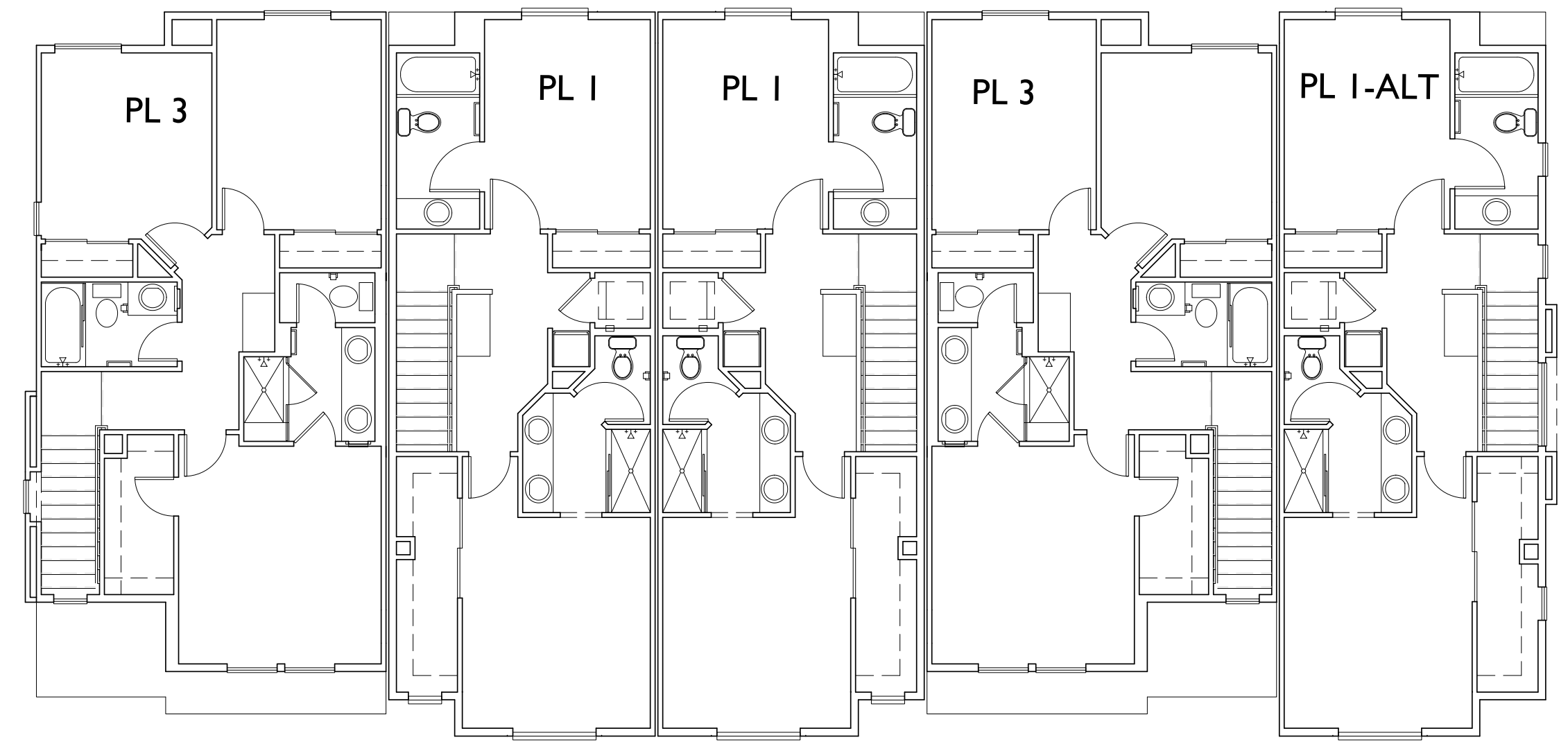


△	DATE	REVISION

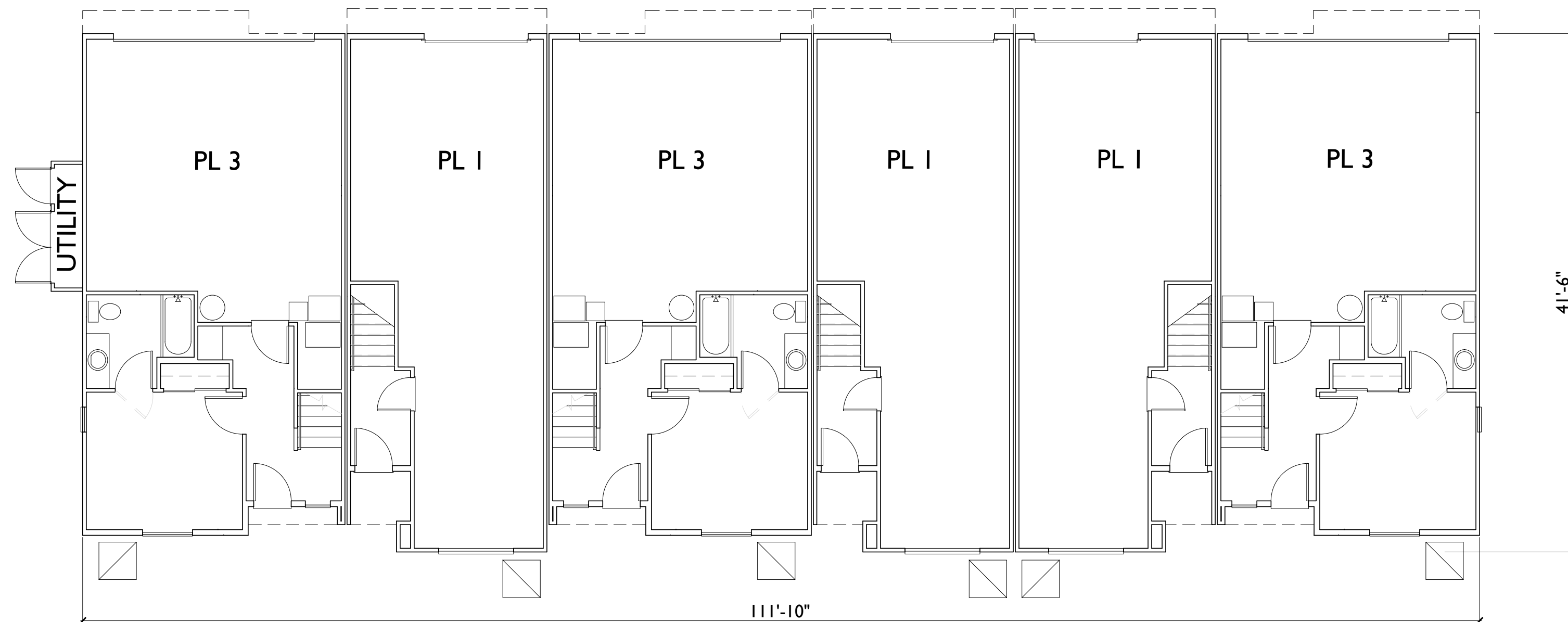
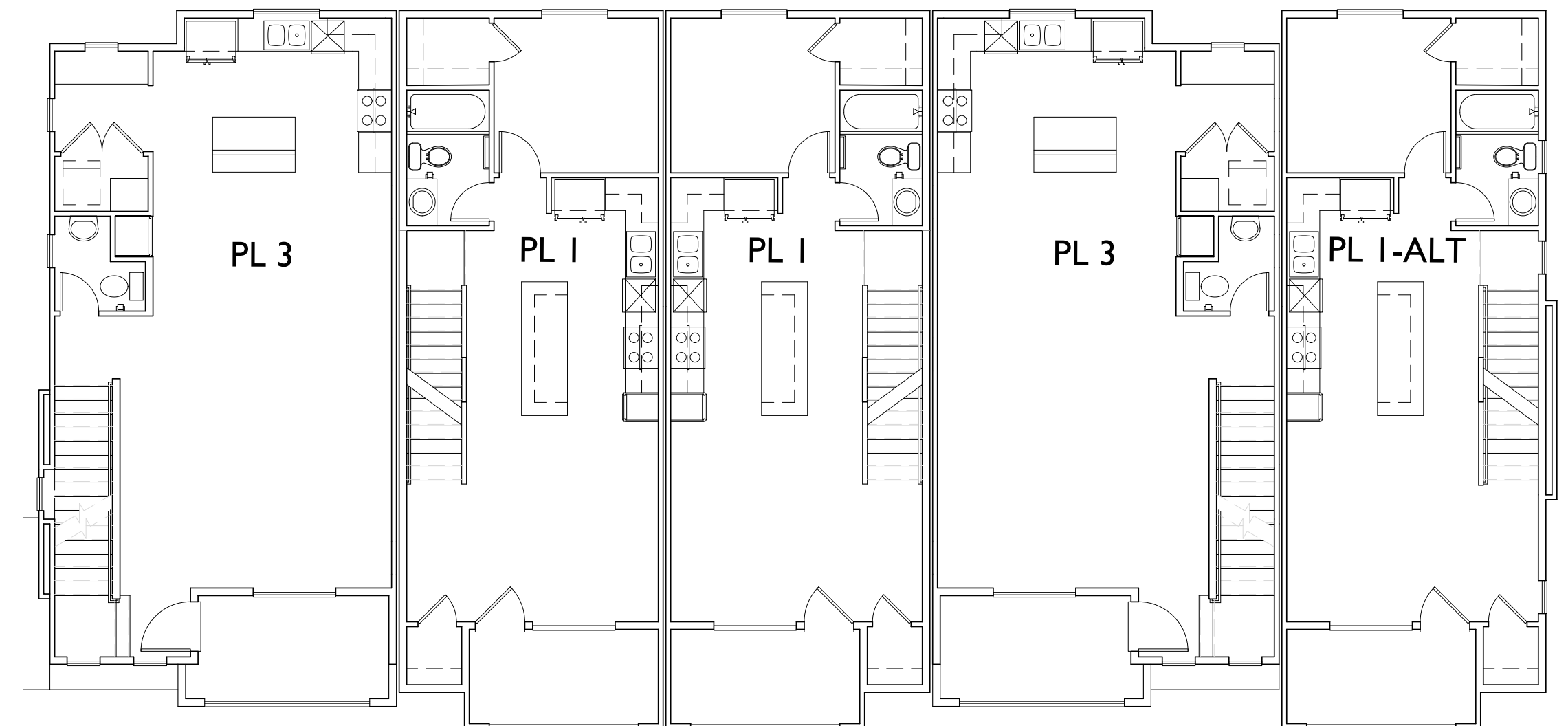
A-8
 OF 29 SHTS



3RD FLOOR PLAN

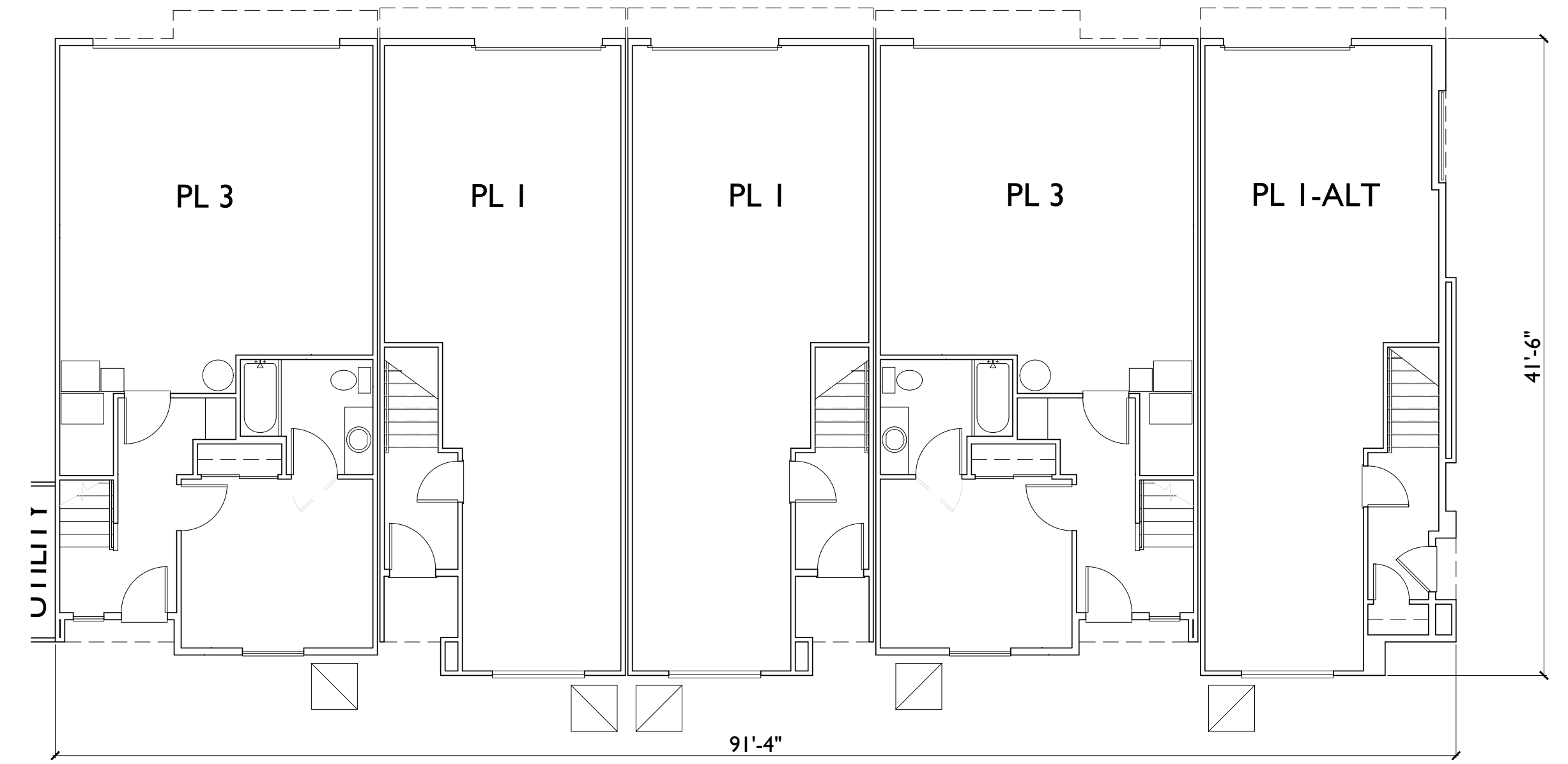


2ND FLOOR PLAN



BUILDING TYPE B

1ST FLOOR PLAN



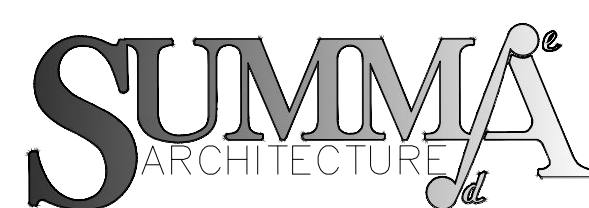
BUILDING TYPE A

GLENDORA, CA

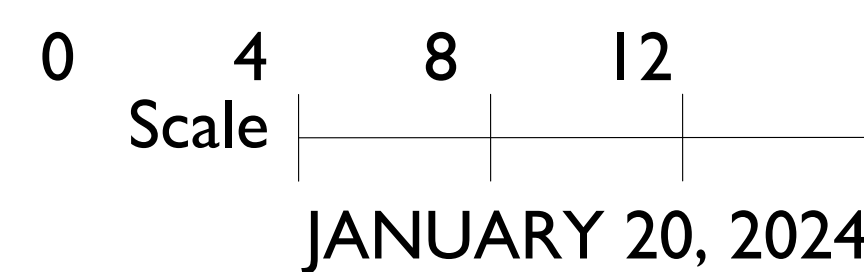
631-657 E. ARROW HIGHWAY TOWNHOMES

BUILDING COMPOSITE PLANS

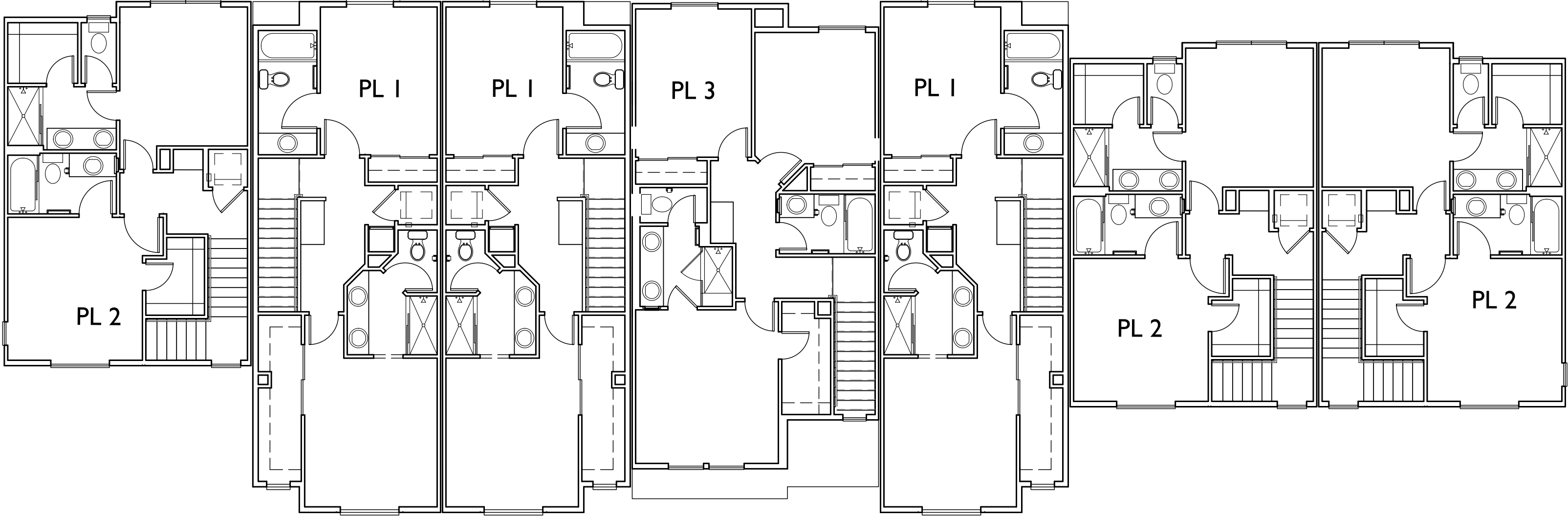
MELIA HOMES
9860 Irvine Center Drive
Irvine, CA 92618
(949) 417-6264



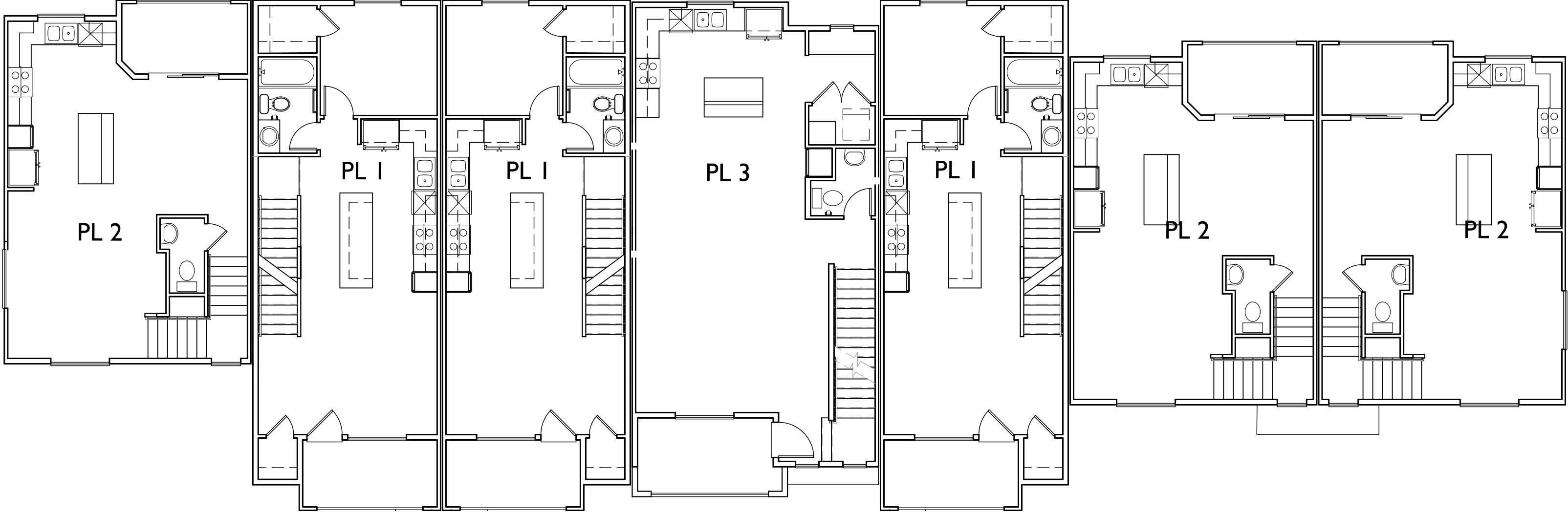
5256 S. MISSION ROAD STE. 404
BONSALL, CA. 92003
760.724.1198



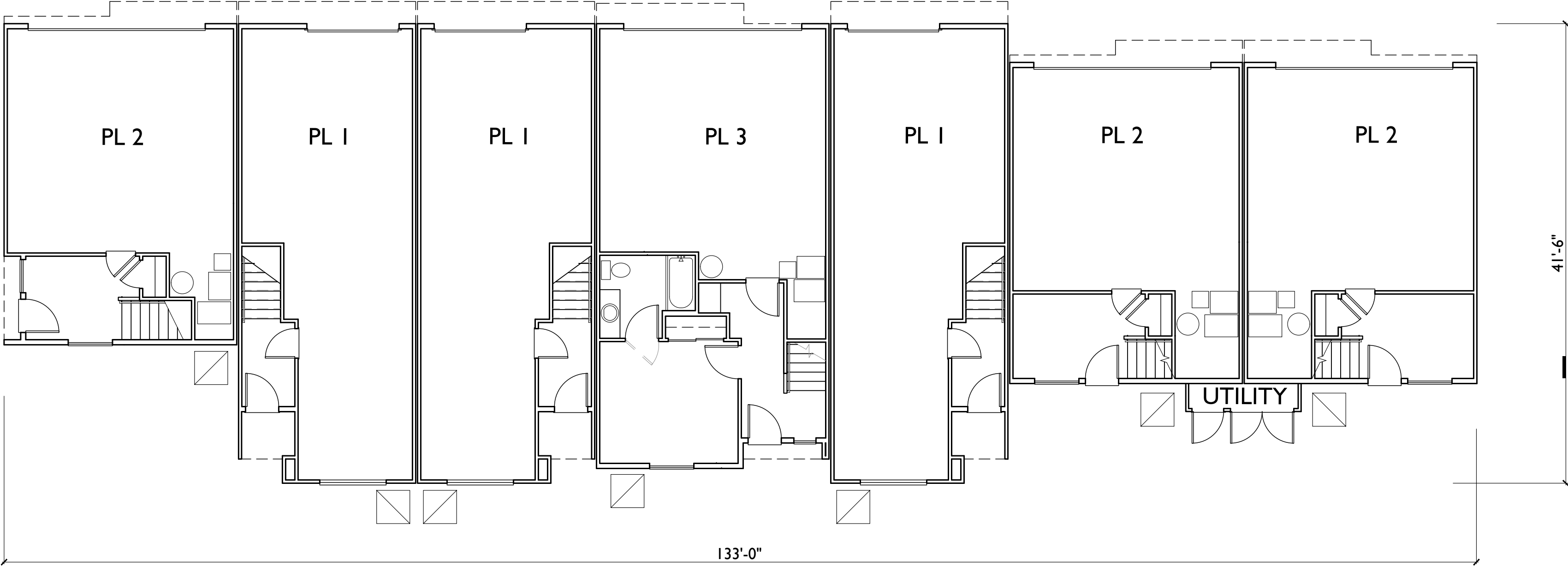
△	DATE	REVISION



3RD FLOOR PLAN



2ND FLOOR PLAN



1ST FLOOR PLAN

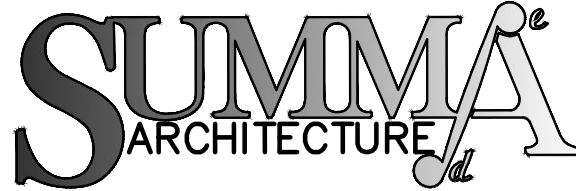
BUILDING TYPE C

GLENDORA, CA

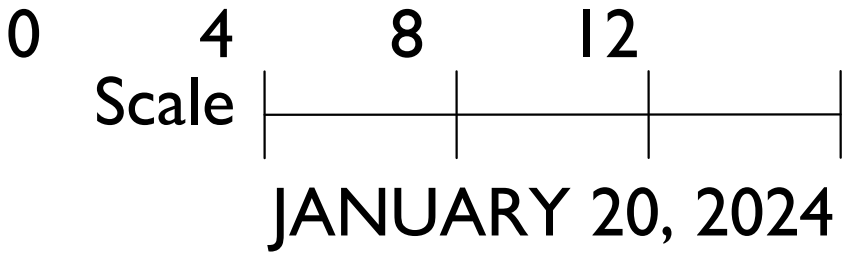
631-657 E. ARROW HIGHWAY TOWNHOMES

BUILDING COMPOSITE PLANS

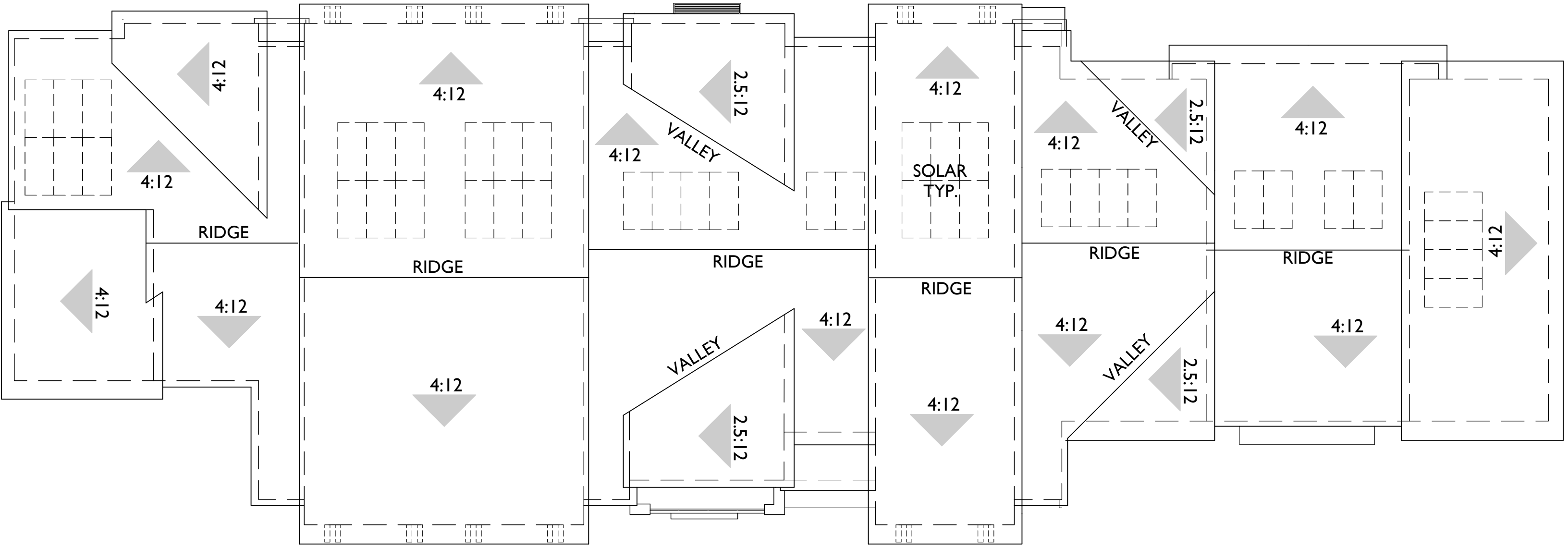
MELIA HOMES
9860 Irvine Center Drive
Irvine, CA 92618
(949) 417-6264



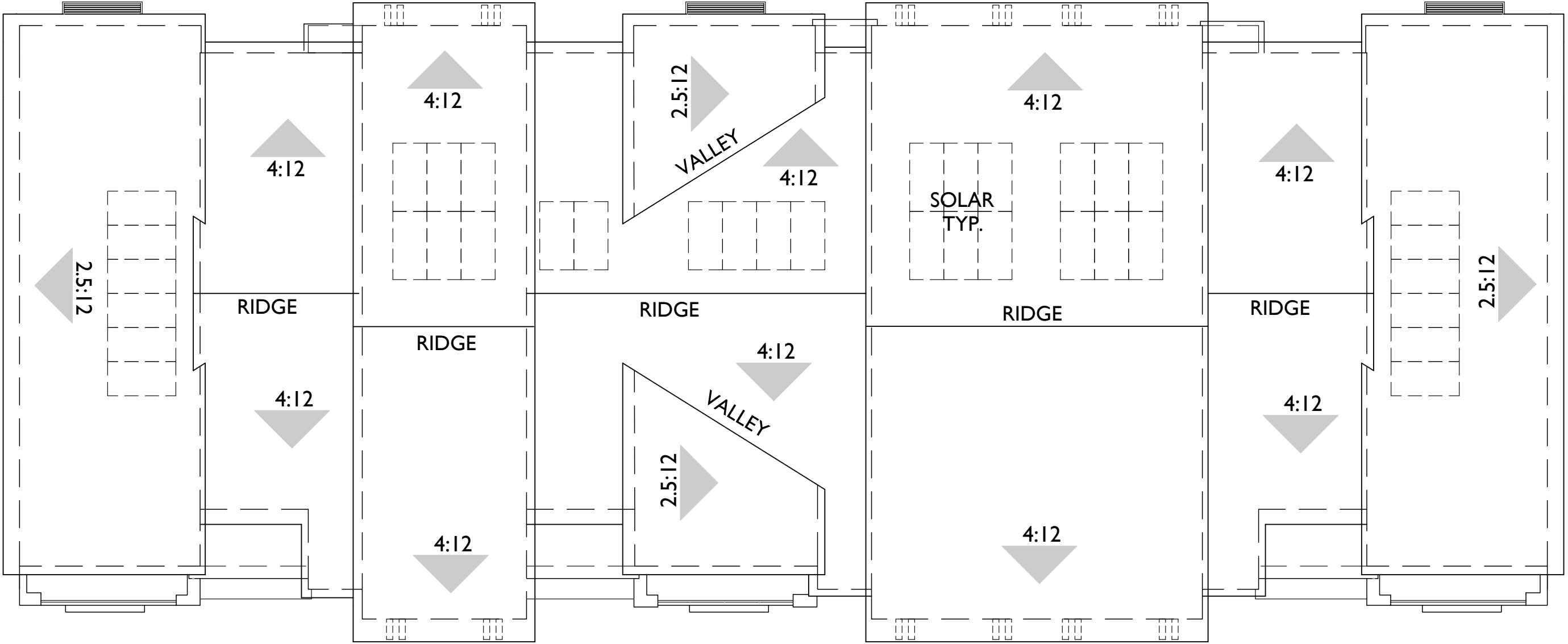
5256 S. MISSION ROAD STE. 404
BONSALL, CA. 92003
760.724.1198



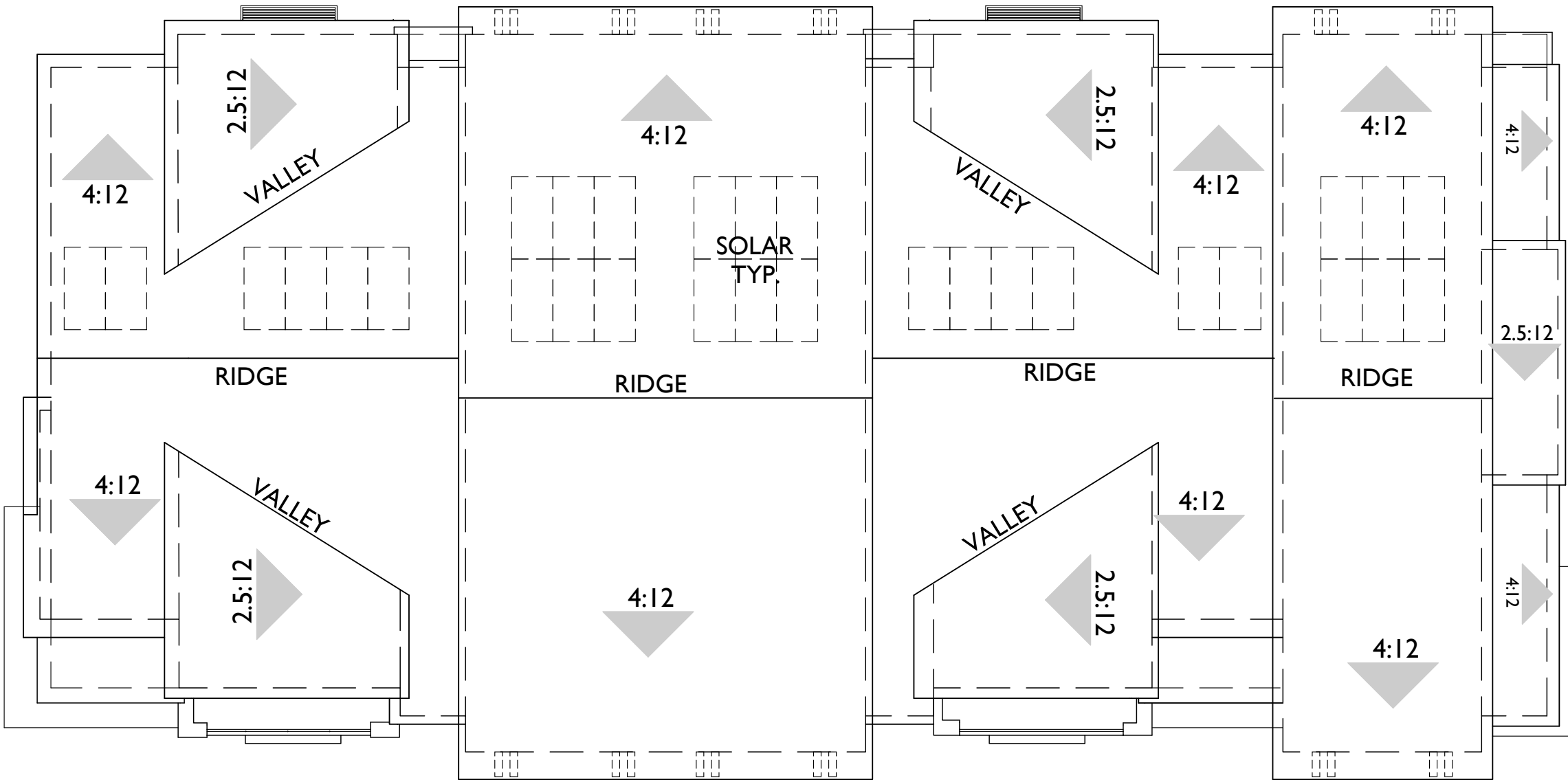
△	DATE	REVISION



ROOF PLAN - BLDG TYPE C



ROOF PLAN - BLDG TYPE B



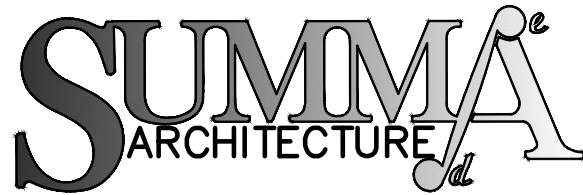
ROOF PLAN - BLDG TYPE A

GLENDORA, CA

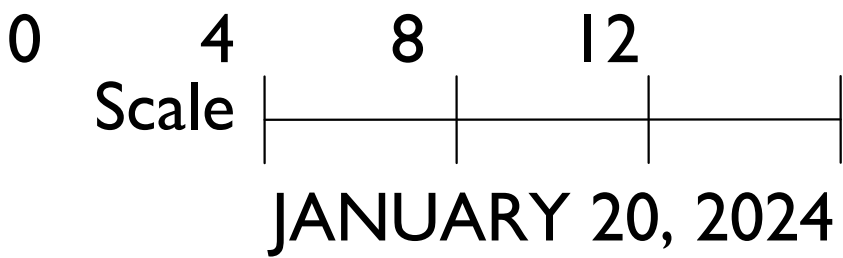
631-657 E. ARROW HIGHWAY TOWNHOMES

ROOF PLANS

MELIA HOMES
9860 Irvine Center Drive
Irvine, CA 92618
(949) 417-6264



5256 S. MISSION ROAD STE. 404
BONSALL, CA. 92003
760.724.1198



△	DATE	REVISION

EXISTING MULTI-FAMILY RESIDENTIAL

COMMON
BIKE RACK

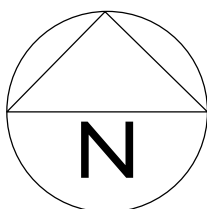
EXISTING COMMERCIAL

EXISTING COMMERCIAL

ARROW HWY

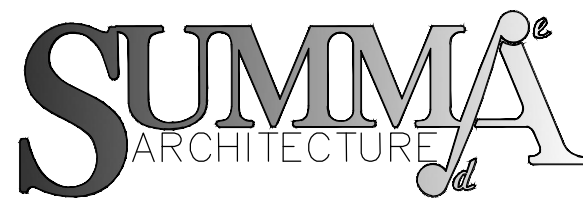
GLENDORA, CA

631-657 E. ARROW HIGHWAY TOWNHOMES



PARKING PLAN

MELIA HOMES
9860 Irvine Center Drive
Irvine, CA 92618
(949) 417-6264



5256 S. MISSION ROAD STE. 404
BONSALL, CA. 92003
760.724.1198

Scale 0 20 40 60
JANUARY 20, 2024

△	DATE	REVISION

PP
OF 29 SHTS

PARKING SUMMARY

PARKING REQUIRED per Calif. Gov. Code Sec. 65915(p)(1)

2-3 BDRM UNIT 1.5 ST/U X 30U = 45

4 BDRM UNIT 2.5 ST/U X 16 U = 40

TOTAL REQUIRED 85 STALLS

BIKES REQUIRED 0.25 X 85= 22 BIKES

PARKING PROVIDED

STD. GARAGE STALLS	44	(2 CAR, 20' X 20' CLR.)
TANDEM GARAGE STALLS	48	(2 CAR, 10'-4" X 40' CLR.)
GUEST STALLS (P-1 TO P-9)	9	(9' X 20' TYP.)
ADA VAN STALL (P-10)	1	(17' X 20' TYP.)
TOTAL PROVIDED	102	STALLS

BIKES PROVIDED 48 TOTAL
46 (1 RACK @ EACH GARAGE
SEE UNIT PLAN SHEETS)
2 RACKS AT COMMON AREA

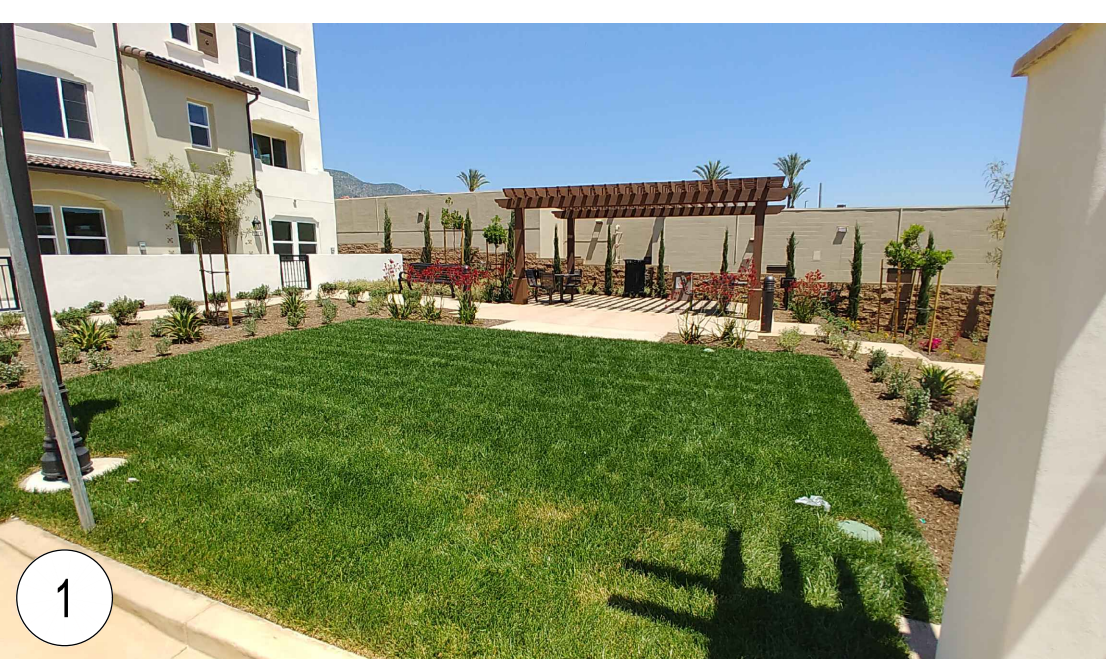
EV PARKING EV CAPABLE @ EACH UNIT W/
1" RACEWAY & 40 AMP - 208/240
DEDICATED BRANCH CIRCUIT
PER 2022 CGBSC 406.4.1

GUEST PARKING SHALL BE PROVIDED WITH PERMANENT
SIGNS IDENTIFYING THEM AS GUEST PARKING STALLS AND
SHALL BE MAINTAINED AT ALL TIMES FOR GUEST PARKING
GMC 21.03.020(3)

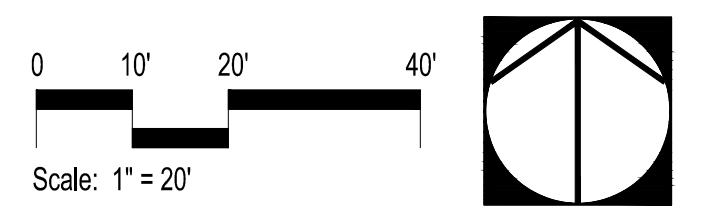


LEGEND

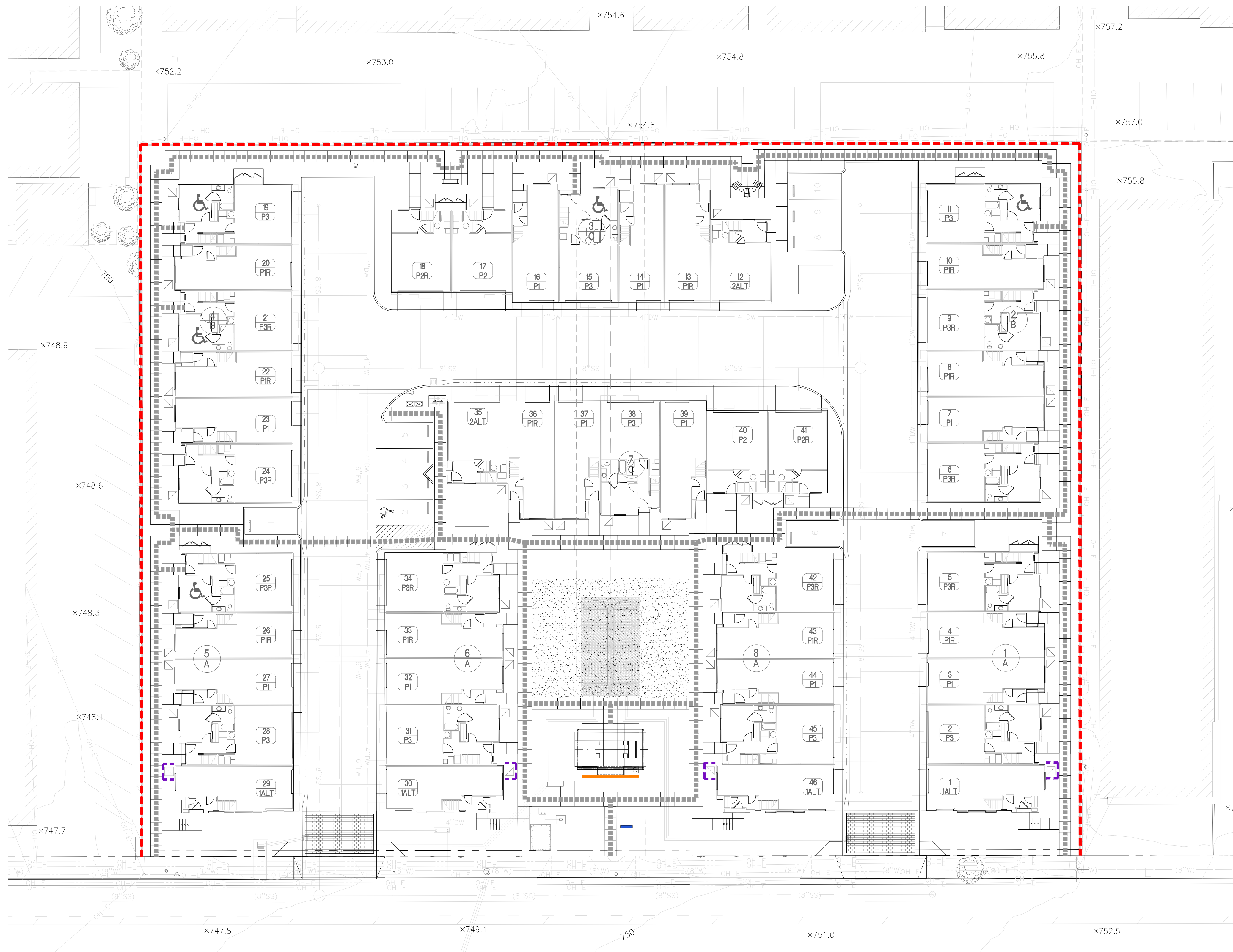
1. Central community gathering area with large shade structure, buffet counter, ADA picnic table seating, privacy wall, and real lawn.
2. Bench seating node.
3. Adirondack seating node.
4. Two community cluster mailboxes, per USPS review and approval.
5. Proposed wall, pilaster, gate or fence, per L-3 Wall & Fence Plan.
6. Decorative enhanced paving at main project entryways.
7. Proposed tree, per L-4 Planting Plan.
8. 4' wide community natural colored concrete sidewalk, with light top-cast finish and saw-cut joints.
9. 4' wide unit entry natural colored concrete walk, with light top-cast finish and saw-cut joints.
10. Stamped concrete ADA crosswalk.
11. Accessible parking stall and striping, per Civil plans.
12. Guest parking stall.
13. Natural colored concrete driveway, with light broom finish and tooled joints.
14. Proposed entry Project monument with potted landscape feature.
15. Proposed AC units, per Architecture plans.
16. Common area landscape, builder installed and HOA maintained.
17. Community dog bag station (black in color), for pet owners.
18. Property line.
19. Transformer to be screened with landscape, quantity and final locations to be determined.
20. Short term bike parking (1 bike rack to accommodate 2 bike stalls).
21. Public street R.O.W.
22. Tree planter diamond.



*Conceptual images (provided herein are conceptual and subject to change)

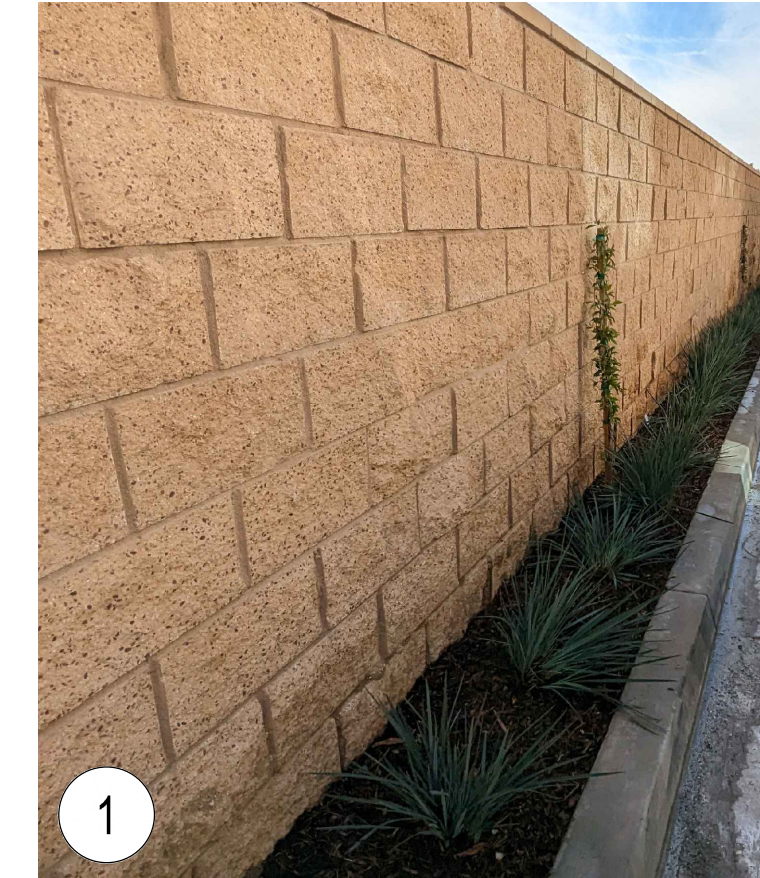


Schematic Landscape Plan



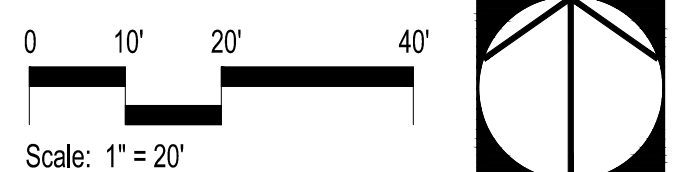
WALL LEGEND

- 1 --- 6'-0" High split-face block wall, with split-face block cap (tan color); (retaining $\pm 2'$, per Civil grading plans).
 - 2 --- 6'-7" High Privacy Wall.
 - 3 --- Project monument / sign feature (light tan stucco with black lettering).
 - 4 --- Vinyl AC Screen (dark brown color).
- ADA Path of Travel.

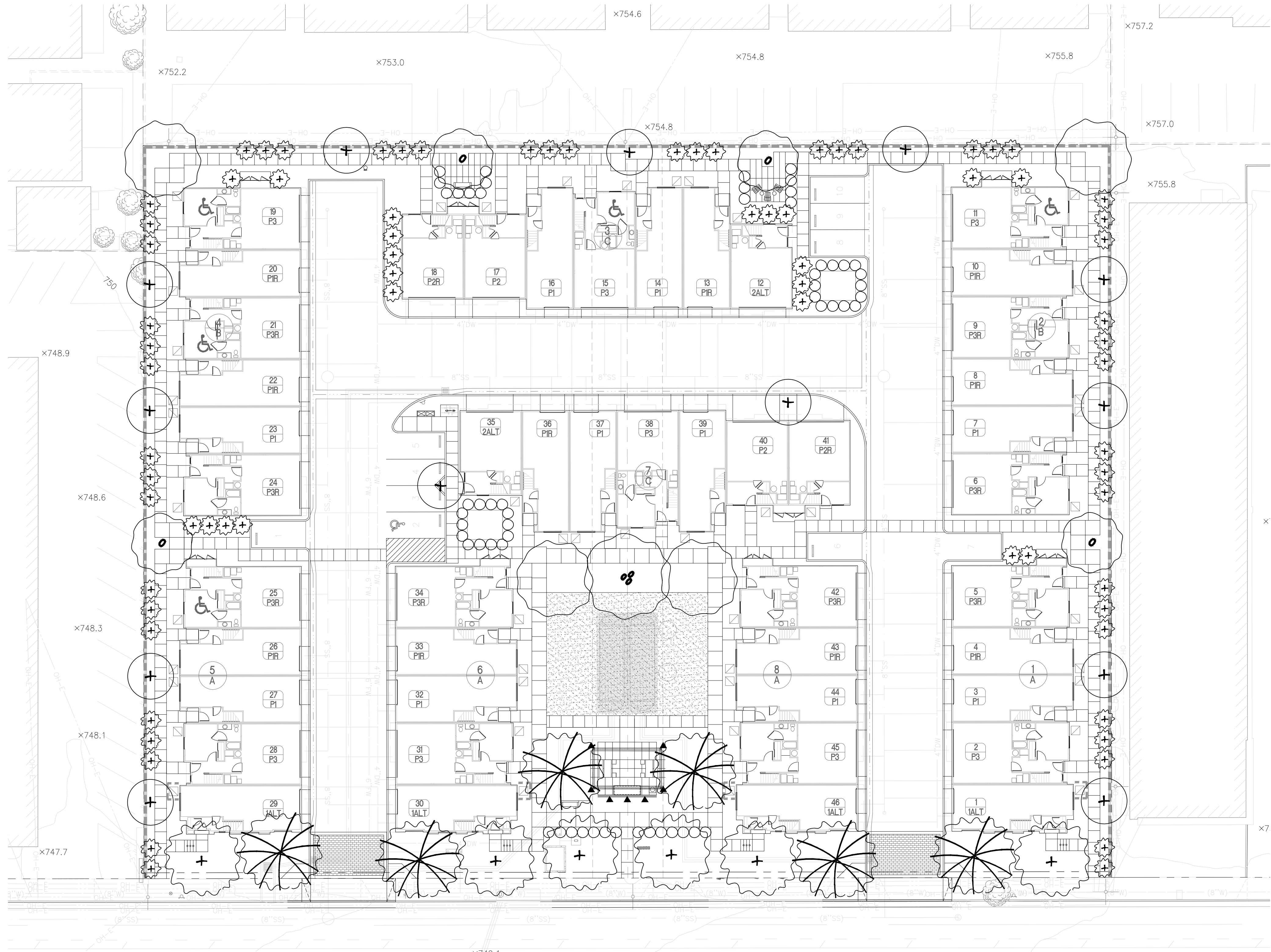


*Conceptual images (provided herein are conceptual and subject to change)

Schematic Wall & Fence Plan



Melia Homes



NOTES:

1. Irrigation (including spray and/or drip) will be provided, in the Construction Document phase, and to be installed per local California water regulations (AB1881).
2. Transformers, back-flow preventers & other above-ground utilities to be screened with landscape as permitted per local codes & regulations.
3. The plant palette listed provides a list of plant material to select from when preparing final landscape construction documents for this project. However, substitutions may be required due to availability, soils tests, or other conditions.
4. All trees within 5' of hardscape to be installed with deep root barriers.
5. 3" mulch depth, to be planted at shrubs and groundcover areas. Mulch Type: Forest Floor (2" minus).
6. All the planting in narrow north facing area will be shade tolerant.
7. Specimen Olive trees, Magnolia, and Crape myrtle 'Muskogee' are required to be tagged at nursery yard by landscape architect.

VINES & ESPALIERS

Antigonon leptopus	Coral Vine
Bougainvillea 'Monka' (Oo-La-La® Bougainvillea)	Bougainvillea
Macfadyena unguis-cati	Cat's Claw Vine

WUCOLS (R4)

Low
Low
Low

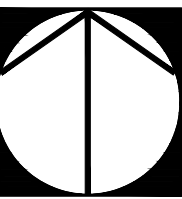
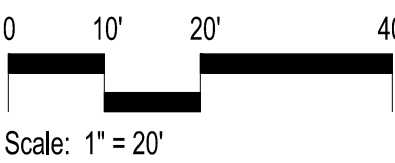
Schematic Planting Plan

PLANTING LEGEND

Symbol	Type/Form	Suggestions Botanical Name (Common Name)	Trunk	Size	WUCOLS (R4)	Qty.
TREES						
	Specimen	Olive sp. (Fruitless Olive)	Single	B&B	Low	6
	Natural			10' Canopy		
	Canopy	Sycamore racemosa (California Sycamore)	Single	36" Box	Mod.	1
	Deciduous	Arbutus u. 'Marina' (Marina Strawberry Tree)	Single	24" Box	Mod.	4
	Evergreen	Eriobotrya deflexa (Bronze Loquat)	Single	24" Box	Mod.	13
	Flowering	Tristania conferta (Brisbane Box)	Single	24" Box	Mod.	6
	Street	Geijera parviflora (Australian Willow)	Single	24" Box	Mod.	4
	Medium	Cupressus sempervirens (Italian Cypress)	Single	24" Box	Mod.	4
	Columnar	Podocarpus gracilior (Fern Pine)	Single	15 Gal	Low	73
						Total = 107
SHRUBS						
	Screening	Westringia fruticosa (Coast Rosemary) Plant leaf to leaf and min. 3' High	Single	15 Gal	Low	57
						Total = 57
VINES						
	Screening	Bougainvillea 'Monka' (Oo-La La Bougainvillea)		5 Gal	Low	7
						Total = 7

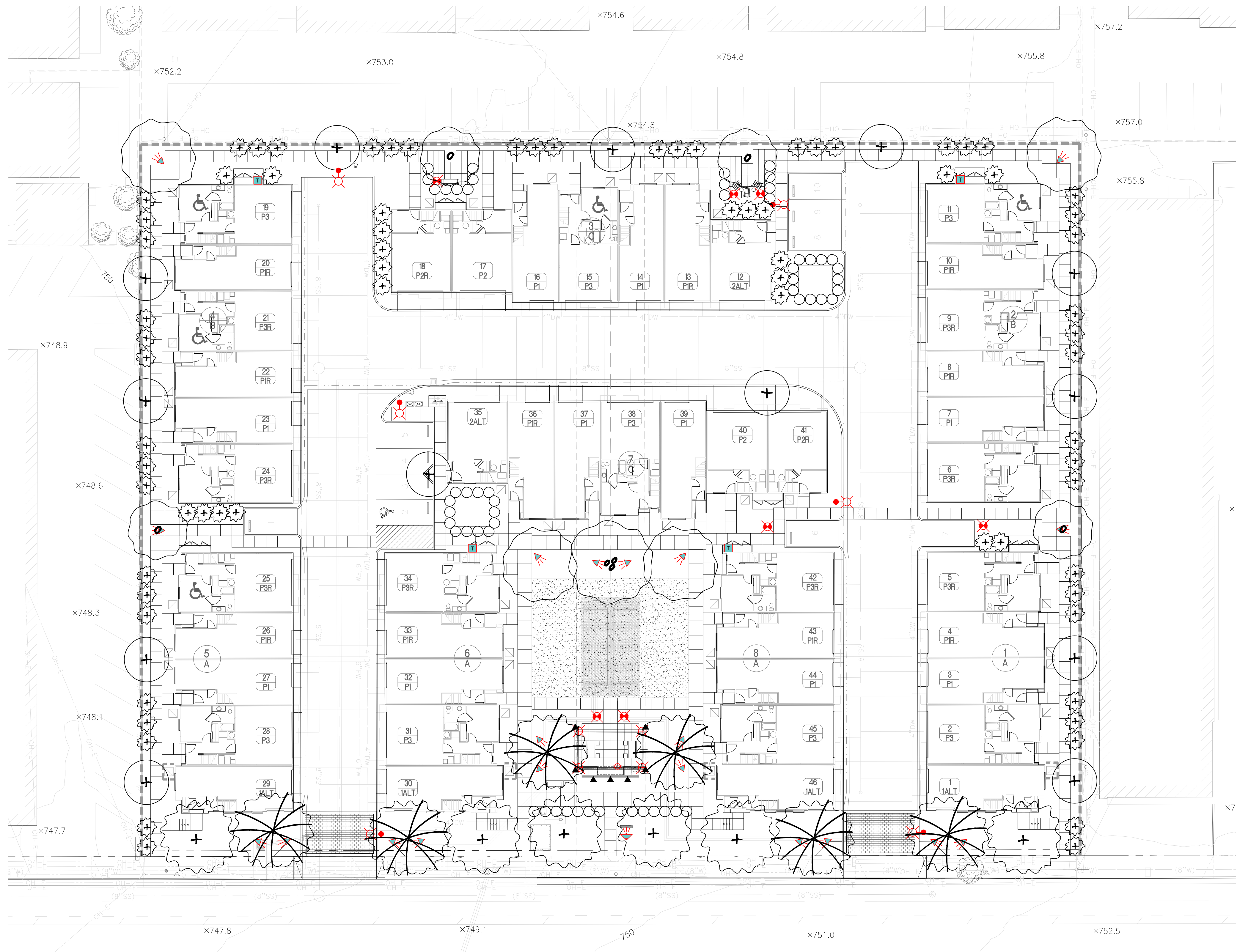
SHRUBS and GROUND COVER

		WUCOLS (R4)
Anigozanthos	Kangaroo Paw	Low
Agave sp.	Agave	Low
Aloe sp.	Aloe	Low
Baccharis 'Centennial'	Centennial baccharis	Low
Bougainvillea sp.	Bougainvillea	Low
Callistemon citrinus 'Little John'	Dwarf Bottlebrush	Low
Carex divulsa	Berkeley Sedges	Low
Chamaerops humilis	Mediterranean Fan Palm	Low
Dasyliirion longissimum	Mexican Grass Tree	Low
Delosperma cooperi	Trailing Ice Plant	Low
Dianella revoluta 'Little Rev'	Little Rev™ Flax Lily	Low
Kalanchoe thyrsiflora	Flapjack Paddle Plant	Low
Lavandula stoechas 'Larkman Hazel'	Hazel™ Spanish Lavender	Low
Lippia nodiflora 'Campagna Verde'	Kurapia	Low
Lonicera hispidula	California honeysuckle	Very low
Nassella pulchra	Purple Needlegrass	Very low
Rosmarinus p. 'Huntington Carpet'	Groundcover Rosemary	Low
Westringia sp.	Westringia	Low
Yucca gloriosa	Spanish Dagger	Very low



Melia Homes

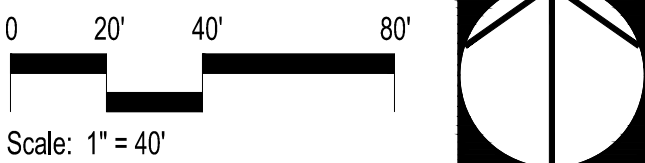
2nd City Submittal | Project No.: MH17-D
Date: Jan. 20, 2025



LIGHTING SCHEDULE

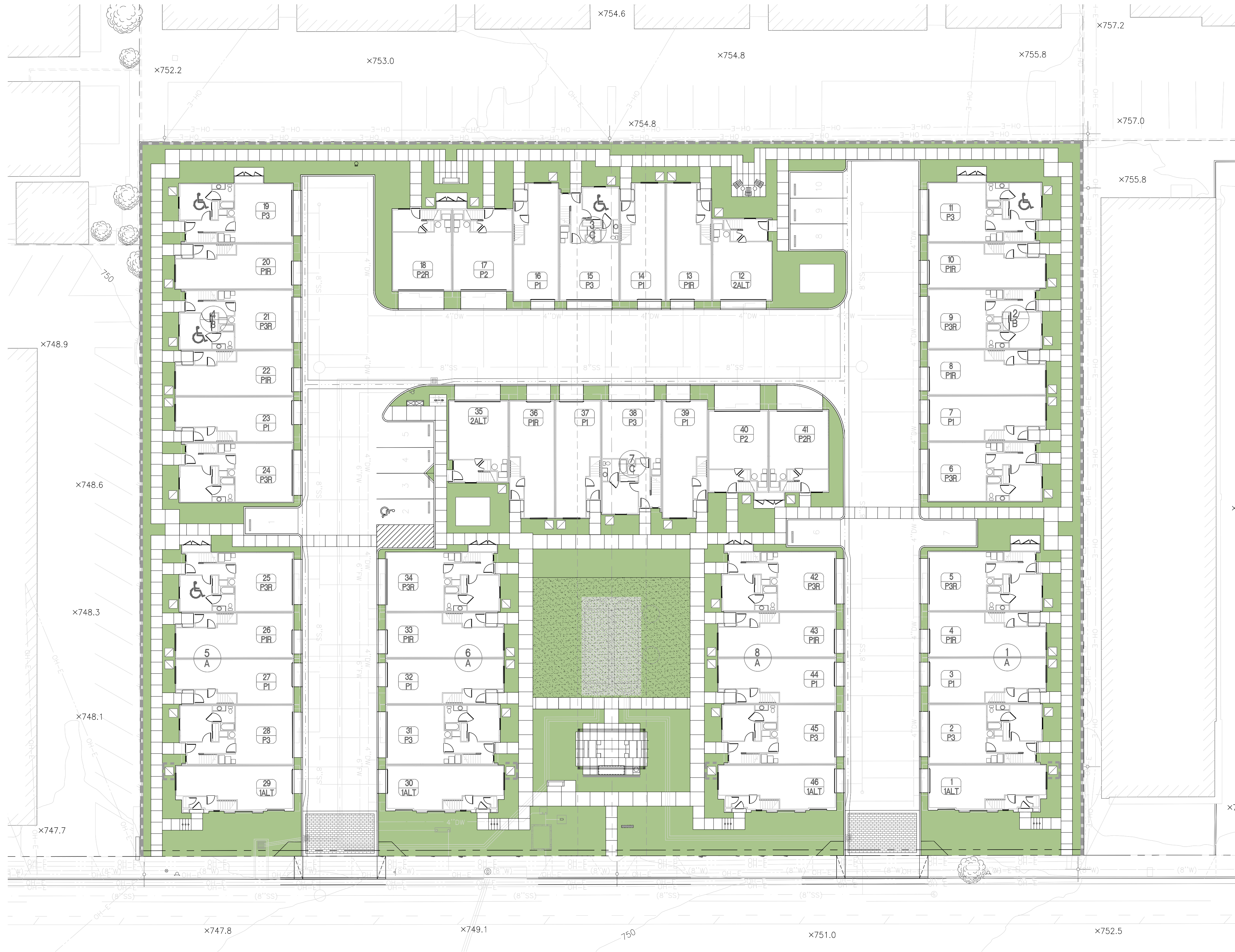
PHOTO	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
		SVE-3 - Pole Light Area Pole Light, HID - Direct Lighting Sales, Model San Vicente #SVE-3 Cast Aluminum, Textured Bronze, RA21 Radius, On DBC-1 Base & 10' round pole. Lamp: Per Elec. Eng., Per Elec. Eng., Per Elec. Eng. Accessories: On DBC-1 Base & 10' round pole.	6
		FX Luminaire LC Large scale up light used for wide scale elements. 6.5in. H x 4.5in. W x 3.0in. D. Order code: LC, Aluminum Alloy, (BZ) Bronze Metallic, Long Slot Spike Lamp: LC-9LED, 11.2W / 13.5VA, 2700K, Beamspread: Very Wide Flood	1
		GFCI - Outlet Exterior Electrical GFI Outlet Cast Aluminum, Textured Architectural Bronze, Wall	1
		FX Luminaire PM Modern path light with powder-coated finish. 2.5" Dia x 14.0" H. PM-XT for Extra Tall 18.5". Order code: PM, Aluminum Alloy, (FB) Flat Black, Deck Mount for PM Lamp: PM-1LED, 2W / 2.4VA, 2700K, Beamspread: Very Wide Flood	7
		FX Luminaire DE Down light ideal for large applications. 9.7in. H x 3.0in. Dia. Order code: DE, Aluminum Alloy, (BZ) Bronze Metallic, Mini J-Box for 1/2in. Thr Lamp: DE-9LED, 10W / 10.7VA, 2700K, Beamspread: Spot	4
		FX Luminaire - PX: Transformer SS, Stainless Steel, Wall 300W	4
		FX Luminaire NP-9LED-BZ Large directional up light ideal for vertical landscape elements. Order code: NP, Aluminum Alloy, (BZ) Bronze Metallic, Ground Mount Lamp: NP-9LED, 10W / 10.7VA, 2700K, Beamspread: Narrow Flood	20

Notes:
Shield for directional controlling to prevent glare offsite.



Schematic Lighting Plan

Melia Homes

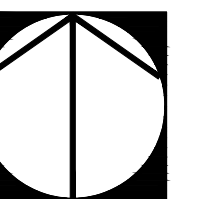
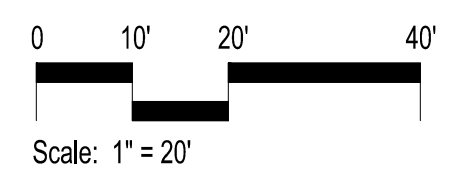


CONCEPT GRAPHICS SCHEDULE

PERMEABLE LANDSCAPE AREAS

Takeoff: 18,357 sf

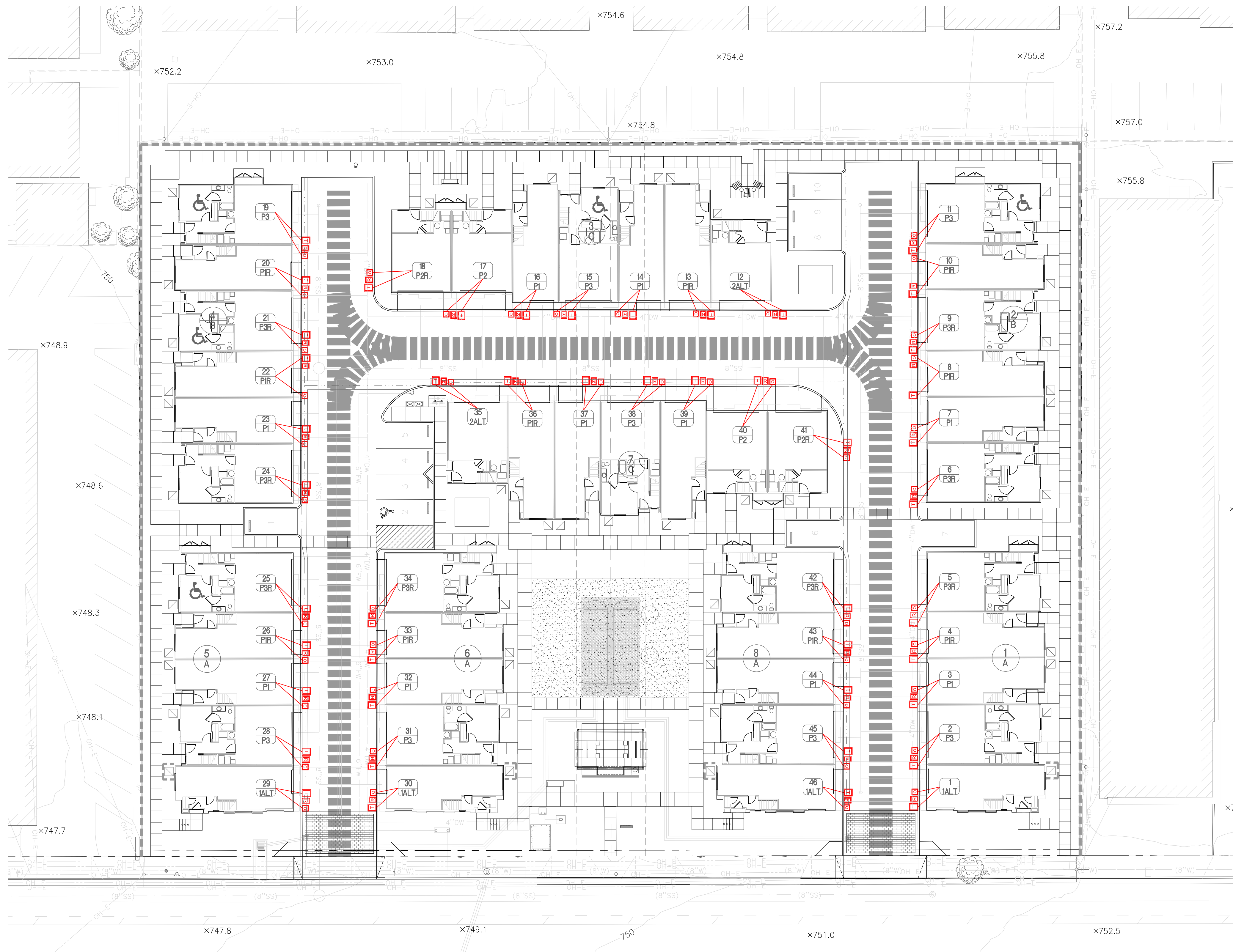
Schematic Permeable Area Plan







Melia Homes

2nd City Submittal | Project No.: MH17-D
Date: Jan. 20, 2025

L-6

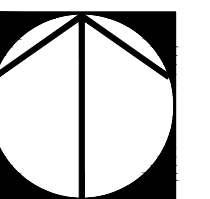
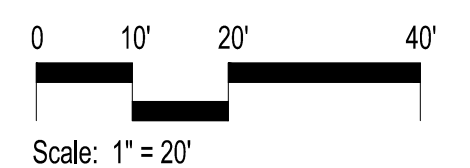


LEGEND

-  Regular trash cart
-  Recycle cart
-  Organic waste cart
-  Trash hauler path of travel.
(Backing up into one small lane would be required)

*Cart sizes subject to local city code

Schematic Trash Circulation & Hauler Route Plan



Melia Homes

2nd City Submittal | Project No.: MH17-D
Date: Jan. 20, 2025

L-7

REAL PROPERTY IN THE CITY OF GLENDORA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCELS 1 AND 2 OF RECORD OF SURVEY, IN THE CITY OF GLENDORA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON MAP FILED IN BOOK 79, PAGE 99 OF RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. PARCEL 2 OF RECORD OF SURVEY, IN THE CITY OF GLENDORA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON MAP FILED IN BOOK 79, PAGE 99 OF RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 8653-009-030 AND 8653-009-031

GORDON H. MCDONALD, TRUSTEE OF THE VICENZA RAGO FAMILY TRUST

631 & 657 E. ARROW HIGHWAY
GLEN DORA, CA 91740

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING N5°35'18.8" BETWEEN CALIFORNIA SPATIAL REFERENCE CENTER, CSRC, CONTINUOUSLY OPERATING REFERENCE STATIONS. CORs. "AZU1" AND "CVHS"

ALL COORDINATES SHOWN HEREON ARE GRID VALUES BASED ON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CCS83, ZONE 5, (2017.50 EPOCH), IN ACCORDANCE WITH THE CALIFORNIA PUBLIC RESOURCE CODE SECTION 8801-8819. ALL DISTANCES SHOWN HEREON ARE GROUND VALUES IN THE U.S. SURVEY FEET UNLESS OTHERWISE NOTED. A COMBINATION SCALE FACTOR OF 0.9999542832 WAS USED FOR THIS PROJECT AT NORTING 1861194.077, EASTING 606801.179 TO OBTAIN GRID DISTANCES, MULTIPLY BY GROUND DISTANCES BY THE COMBINATION SCALE FACTOR.

	NORTHING	EASTING
AZU1	1868258.225	6592997.736
CVHS	6591430.515	1852241.567

LOS ANGELES COUNTY BENCHMARK NO. NG4998
ELEV: 753.416 ((NAVD88))
DESCRIBED AS: PK & L IN S CB 6.5' W/O BCR @SW COR ARROW HWY & LYMAN AVE

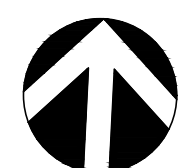
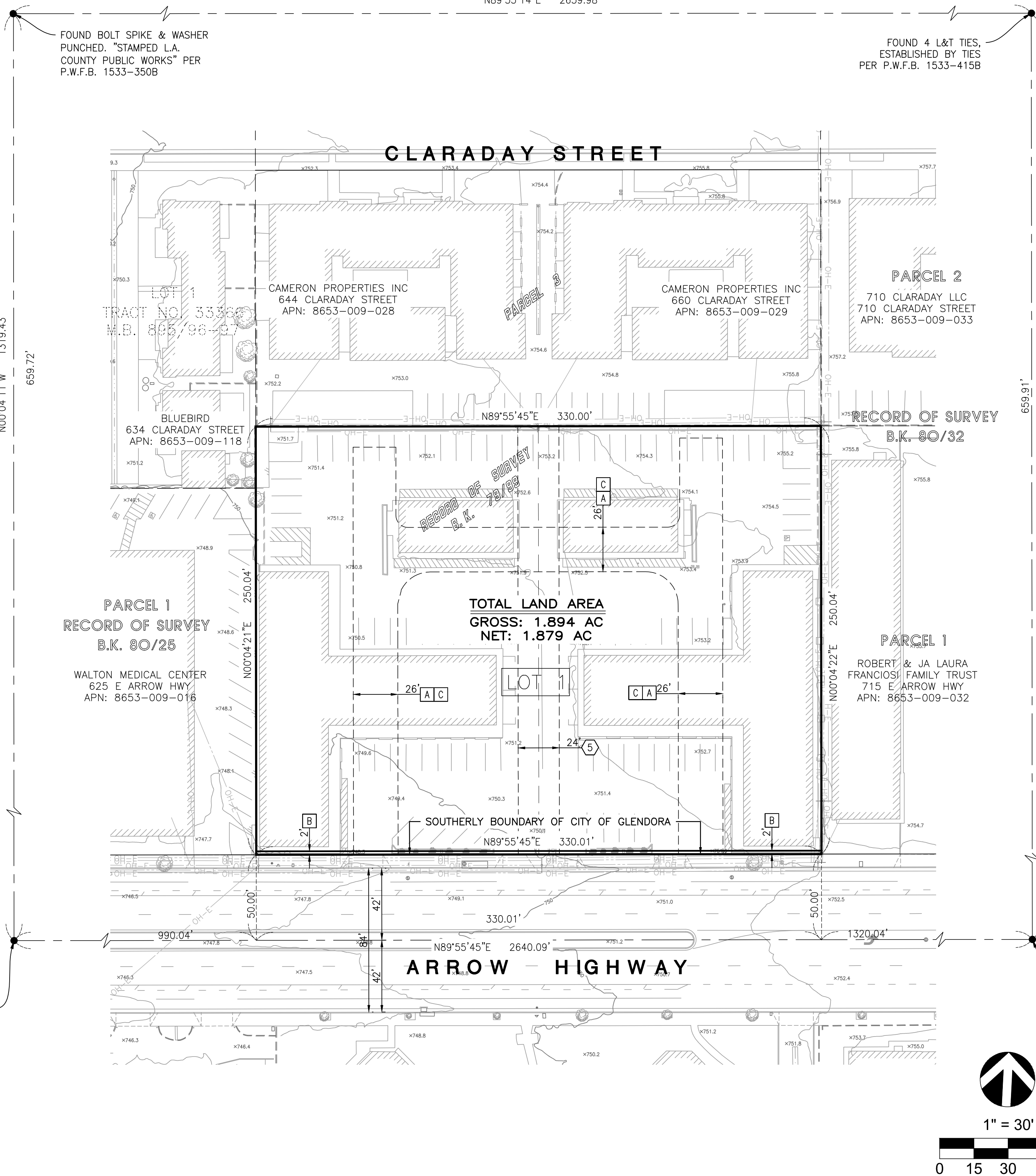
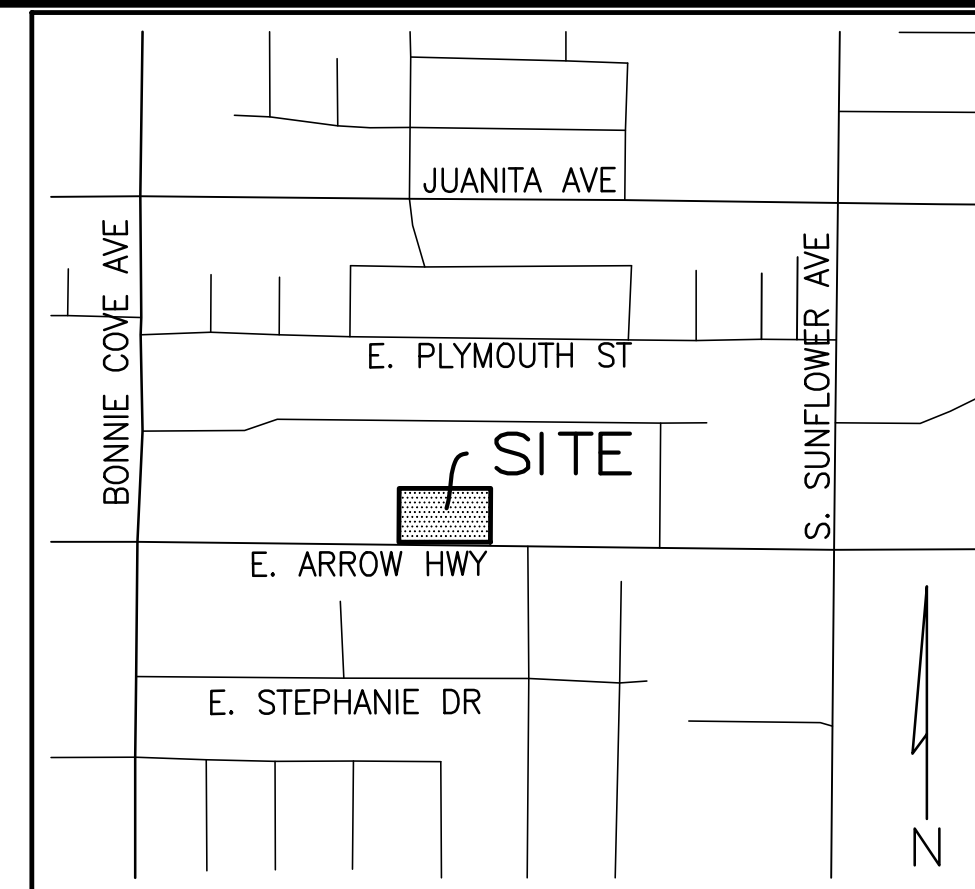
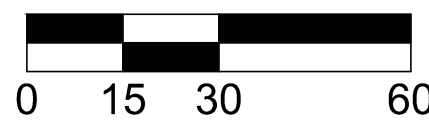
THE SUBJECT PROPERTY FALLS WITHIN "ZONE X, AREA OF MINIMAL FLOOD HAZARD." PER FEMA MAP NO. 06037C1725F, A PRINTED PANEL, EFFECTIVE SEPTEMBER 26, 2008

GROSS AREA: 1.894 AC
NET AREA: 1.879 AC
TOTAL PROPOSED LOTS: 1
TOTAL PROPOSED DWELLING UNITS: 46

WATER:	CITY OF GLENDDRA WATER DIVISION	(626) 852-4838
SEWER:	LOS ANGELES SANITATION DISTRICT	(562) 908-4288
	CITY OF GLENDDRA PUBLIC WORKS	(626) 914- 8252
<u>ELECTRIC:</u>	SOUTHERN CALIFORNIA EDISON	(909) 592-3757
GAS:	THE SOUTHERN CALIFORNIA GAS COMPANY	(800) 427-2200
<u>TELEPHONE:</u>	FRONTIER COMMUNICATIONS	(844) 297-5874
<u>CABLE TV:</u>	TIME WARNER CABLE	(626) 857-1075
<u>SCHOOL DISTRICT:</u>	CHARTER AOK UNIFIED SCHOOL DISTRICT	(626) 966-8331
<u>FIRE PROTECTION:</u>	LOS ANGELES COUNTY FIRE DEPT. STATION 86	(626) 963-5719
WASTE:	ATHENS DISPOSAL SERVICES	(888) 336-6100
POLICE:	GLENDDRA POLICE DEPARTMENT	(626) 914-8250

1) PURSUANT TO SUBDIVISION MAP ACT SECTION 66456.1(a),
MULTIPLE FINAL MAPS MAY BE FILED ON THIS TENTATIVE MAP.

FOUND 2" BRASS DISK
PUNCHED, DOWN 0.6' IN WELL
PER P.W.F.B. 1533-1252


$$1'' = 30'$$


VICINITY MAP
N.T.S.

C&V CONSULTING, INC.
9830 IRVINE CENTER DRIVE
IRVINE, CA 92618
PHONE: (949) 445-1833

MELIA HOMES
9860 IRVINE CENTER DRIVE
IRVINE, CA 92618
PHONE: (949) 417-6264

SHEET NO.	
SHEET 1	VESTING TENTATIVE TRACT MAP
SHEET 2	EXISTING SITE PLAN
SHEET 3	PRELIMINARY GRADING PLAN
SHEET 4	SECTIONS
SHEET 5	PRELIMINARY UTILITY PLAN
SHEET 6	PRELIMINARY FIRE ACCESS & HYDRANT LOCATION PLAN

_____ C - CENTERLINE
 _____ SUBDIVISION BOUNDARY
 ----- EASEMENT
 ----- EX. LOT LINE
 _____ EX. R/W
 _____ PROP. R/W

DENOTES PLOTTED ITEM.

3 AN EASEMENT FOR PIPES OR DITCHES AND INCIDENTAL PURPOSES, RECORDED IN BOOK 959, PAGE 170 AND IN BOOK 1004, PAGE 90, BOTH IN DEEDS. IN FAVOR OF: THE SAN DIMAS IRRIGATION COMPANY
(THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.)

4 AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 3, 1927 IN BOOK 6788, PAGE 357 OF OFFICIAL RECORDS. IN FAVOR OF: F. PIERCE AND NORMA L. PIERCE
(THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.)

5 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "DECLARATION OF GRANT OF RECIPROCAL EASEMENTS" RECORDED NOVEMBER 30, 1995 AS INSTRUMENT NO. 95-1900067 OF OFFICIAL RECORDS.

6 AN EASEMENT FOR PARKING AND INCIDENTAL PURPOSES RECORDED AUGUST 12, 2003 AS INSTRUMENT NO. 03-2326701 OF OFFICIAL RECORDS. IN FAVOR OF: THE OWNER AND/OR OCCUPANT OF PARCEL 2
(THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.)

A INDICATES AN EASEMENT FOR INGRESS AND EGRESS FOR EMERGENCY AND PUBLIC SECURITY VEHICLE PURPOSES DEDICATED TO THE CITY OF GLENDORA

B INDICATES AN EASEMENT (2 FEET WIDE) FOR FUTURE PUBLIC SIDEWALK AND UTILITY PURPOSES

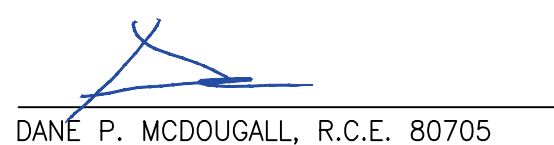
C INDICATES AN EASEMENT FOR PUBLIC SANITARY SEWER PURPOSES DEDICATED TO THE CITY OF GLENDORA

THE SURVEY ON WHICH THIS VESTING TENTATIVE
MAP IS BASED WAS DONE BY ME, OR UNDER
MY DIRECTION. FIELDWORK WAS COMPLETED ON
FEBRUARY 16, 2024.



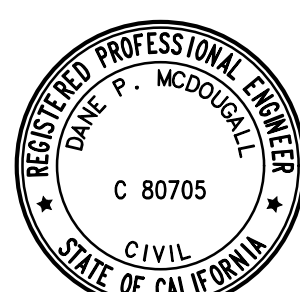
DANE P. MCDOUGALL, L.S. 9297

THIS VESTING TENTATIVE MAP WAS PREPARED BY
ME, OR UNDER MY DIRECTION ON JANUARY 21,
2025.



DANE P. MCDOUGALL, R.C.E. 80705

PREPARED BY:



CONSULTING, INC.
CIVIL ENGINEERING
LAND PLANNING & SURVEYING

**9830 IRVINE CENTER DRIVE
IRVINE, CALIFORNIA 92618**
(949) 916-3800
INFO@CVC-INC.NET
WWW.CVC-INC.NET

PREPARED FOR:



MELIA HOMES
9860 IRVINE CENTER DRIVE
IRVINE, CA 92618
(949) 759-4367

CITY OF GLENDORA
DEPARTMENT OF COMMUNITY DEVELOPMENT

VESTING TENTATIVE TRACT MAP NO. 84607
VESTING TENTATIVE TRACT MAP

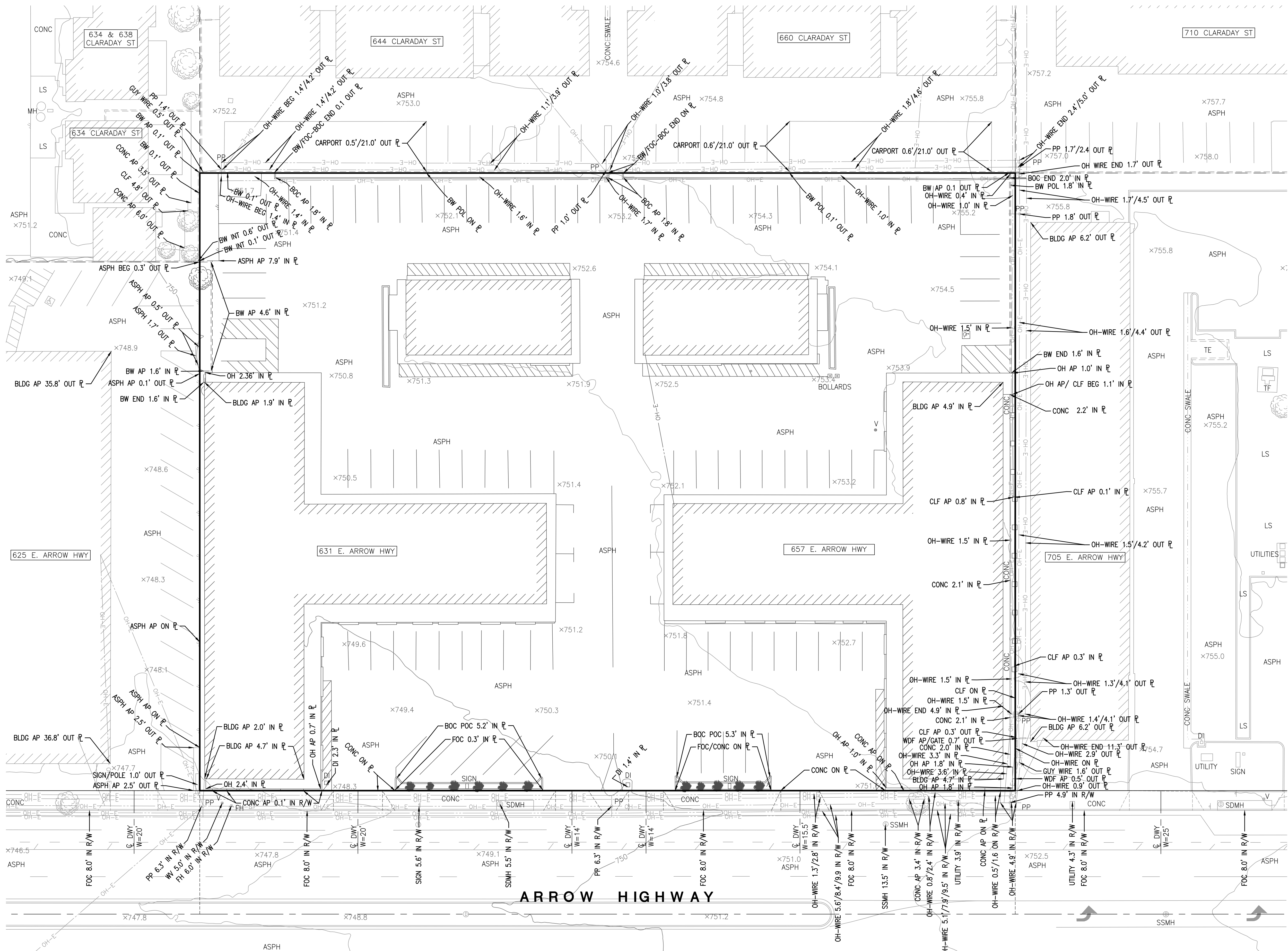
631 & 657 E. ARROW HIGHWAY
GLENDORA, CALIFORNIA 91740

PROJECT NO.

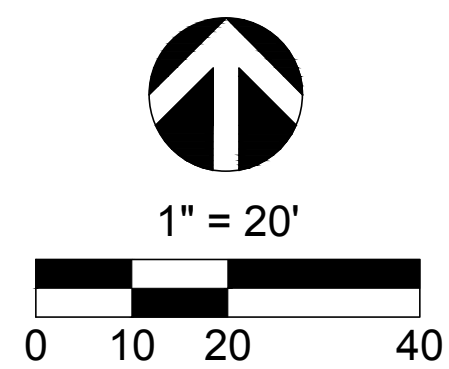
MELA-014

SHEET
1
OF
6

PLAN SET:	PS02	P:\M\WELA-014\DWG\SHEETS\VTM\VTM-P0-Q1-ITM.DWG
-----------	------	--



- LEGEND:**
- AP ANGLE POINT
 - ASPH ASPHALT PAVEMENT
 - BC BUILDING CORNER
 - BEG BEGIN
 - BO BLOW-OFF VALVE
 - BLDG BUILDING
 - BW BLOCK WALL
 - CB CATCH BASIN
 - CF CURB FACE
 - CLF CHAIN LINK FENCE
 - CMF CORRUGATED METAL FENCE
 - CO CLEANOUT
 - CONC CONCRETE PAVEMENT
 - DCDA DOUBLE CHECK DETECTOR ASSEMBLY
 - DI DRAIN INLET
 - DW DOMESTIC WATER
 - DWY DRIVEWAY
 - ELEC ELECTRIC
 - EASMT EASEMENT
 - EX EXISTING
 - FDC FIRE DEPARTMENT CONNECTION
 - FF FINISHED FLOOR
 - FG FINISHED GROUND
 - FH FIRE HYDRANT
 - FL FLOWLINE
 - FS FINISHED SURFACE
 - FW FIRE WATER
 - GB GRADE BREAK
 - GM GAS METER
 - HL HOUSE LATERAL
 - HP HIGH POINT
 - Hr HEIGHT RETAINING
 - INV INVERT ELEVATION
 - IRR IRRIGATION
 - JT JOINT TRENCH
 - LP LOW POINT
 - LS LANDSCAPING
 - MH MANHOLE
 - OH OVERHEAD LINES
 - PAD PAD ELEVATION
 - PB PULL BOX
 - PC PILASTER CORNER
 - PED PEDESTAL
 - PIN POST INDICATOR VALVE
 - PKWY PARKWAY
 - POC POINT OF CONNECTION
 - PP POWER POLE
 - PROP PROPOSED
 - PUB PUBLIC
 - P/L PROPERTY LINE
 - RCP REINFORCED CONCRETE PIPE
 - RET RETAINING
 - RIM RIM ELEVATION
 - ROW RIGHT-OF-WAY
 - RPPA REDUCED PRESSURE PRINCIPAL ASSEMBLY
 - S SLOPE
 - SD STORM DRAIN
 - SFH SINGLE-FAMILY HOME
 - SRV SERVICE
 - SSMH SANITARY SEWER MANHOLE
 - SS SANITARY SEWER
 - STLT STREET LIGHT
 - SWLK SIDEWALK
 - TC TOP OF CURB
 - TE TRASH ENCLOSURE
 - TEMP TEMPORARY
 - TF TRANSFORMER
 - TS TRAFFIC SIGNAL
 - TYP TYPICAL
 - UGCV UNDERGROUND CHECK VALVE
 - V VALVE
 - WF WOOD FENCE
 - WL WALL
 - WM WATER METER
- SYMBOLS:**
- BO BLOW-OFF VALVE
 - DI DRAIN INLET
 - FH FIRE HYDRANT
 - LS LIGHT STANDARD
 - SD STORM DRAIN MANHOLE
 - SSMH SANITARY SEWER MANHOLE
 - SP SIGN POST
 - GM GAS METER
 - WM WATER METER
 - V VALVE
 - UTILITY/POWER POLE
 - BLOCK/RETAINING SCREEN WALL
 - BLOCK/RETAINING LOW WALL
 - PLANTER/DECORATIVE WALL
 - OVERHEAD WIRE
 - EDGE OF ASPHALT PAVEMENT
 - WOOD/WROUGHT IRON FENCE
 - CHAIN LINK FENCE
 - DIRECTION OF FLOW
 - MINOR CONTOUR (1' INTERVAL)
 - MAJOR CONTOUR (5' INTERVAL)
 - SPOT ELEVATION
- BUILDING OVERHANG NOTE:**
ALL BUILDING LINES SHOWN HEREON ARE REFLECTIVE OF THE BUILDING ROOF LINES AND OVERHANGS AS OBSERVED FROM AERIAL PHOTOGRAMMETRY AND MAY NOT REPRESENT A BUILDING LOCATION AT GROUND LEVEL.
- NOTE:** THERE ARE NO EXISTING ONSITE TREES IN THE PROJECT AREA
- IN P/L** INSIDE OF PROPERTY LINE
OUT P/L OUTSIDE OF PROPERTY LINE
IN ROW INSIDE OF ROW (OFF SITE)
OUT ROW OUTSIDE OF ROW (ON SITE)
- N/F** NORTH FACE
S/F SOUTH FACE
E/F EAST FACE
W/F WEST FACE



PREPARED BY:



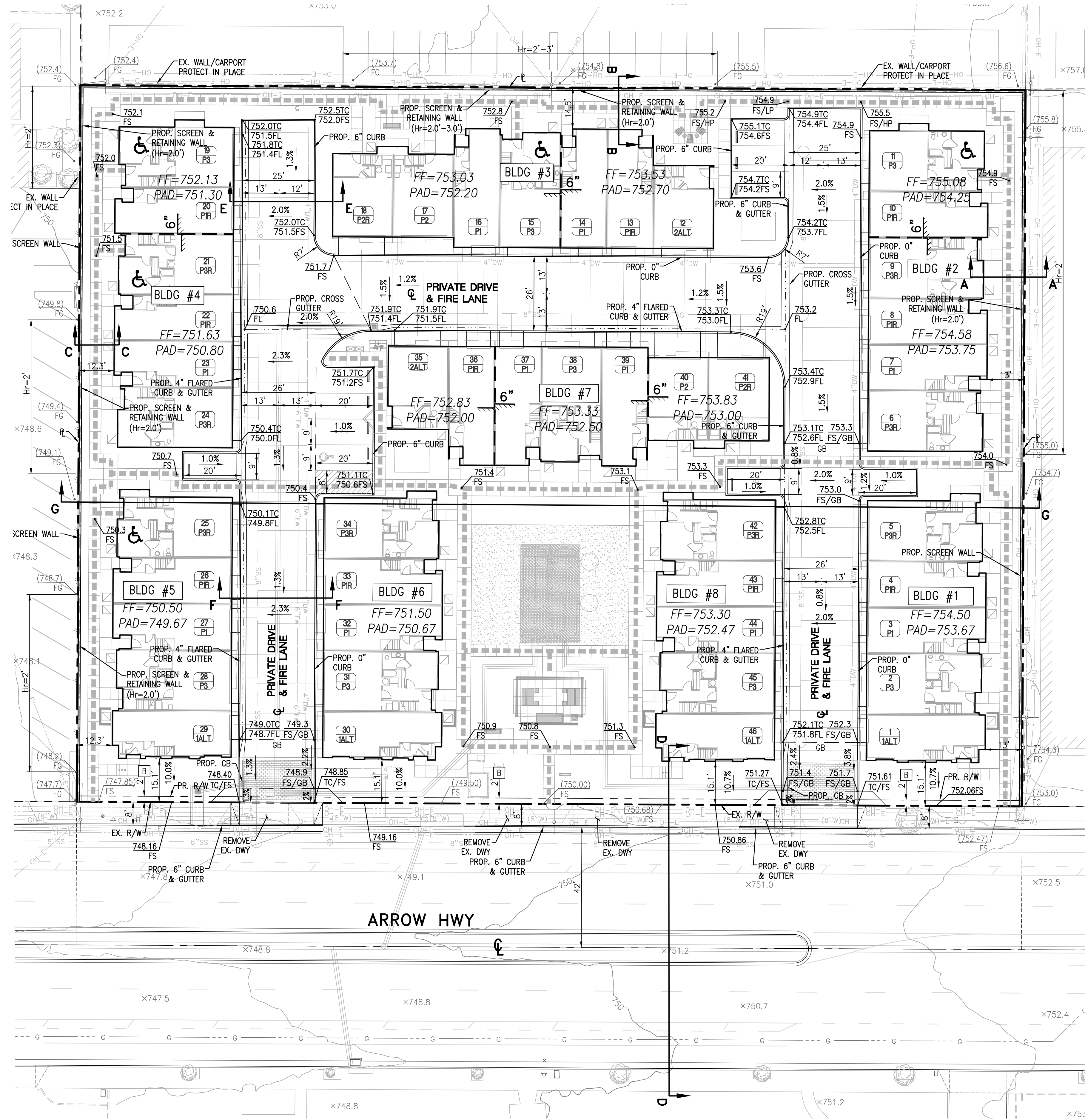
PREPARED FOR:



MELIA HOMES
9860 IRVINE CENTER DRIVE
IRVINE, CA 92618
(949) 759-4367

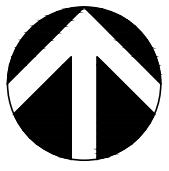
CITY OF GLENDORA
DEPARTMENT OF COMMUNITY DEVELOPMENT
VESTING TENTATIVE TRACT MAP NO. 84607
EXISTING SITE PLAN
631 & 657 E. ARROW HIGHWAY
GLENDORA, CALIFORNIA 91740

PROJECT NO.
MELA-014
SHEET
2
OF
6

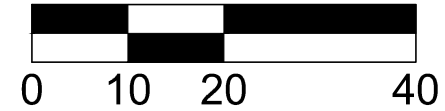


PROPOSED EASEMENTS:

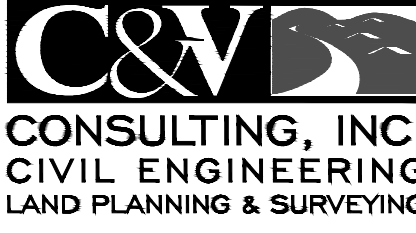
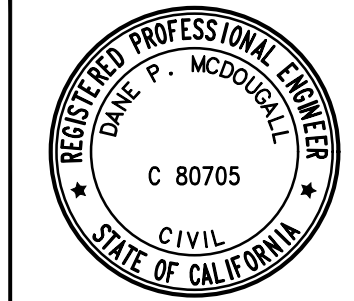
[B] INDICATES AN EASEMENT (2 FEET WIDE) FOR FUTURE PUBLIC SIDEWALK AND UTILITY PURPOSES



1" = 20'



PREPARED BY:



9830 IRVINE CENTER DRIVE
IRVINE, CALIFORNIA 92618
(949) 916-3800
INFO@CVC-INC.NET
WWW.CVC-INC.NET

PREPARED FOR:



MELIA HOMES
9860 IRVINE CENTER DRIVE
IRVINE, CA 92618
(949) 759-4367

CITY OF GLENDORA
DEPARTMENT OF COMMUNITY DEVELOPMENT

VESTING TENTATIVE TRACT MAP NO. 84607

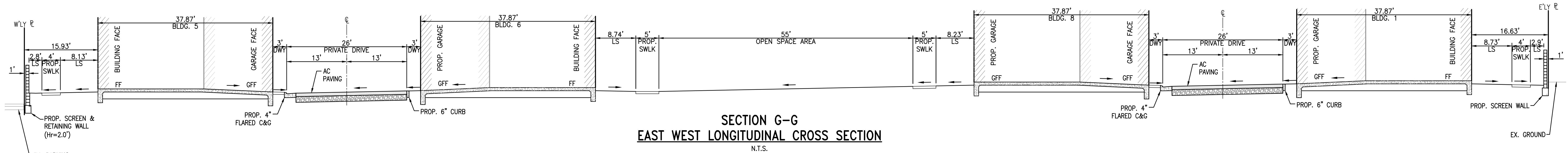
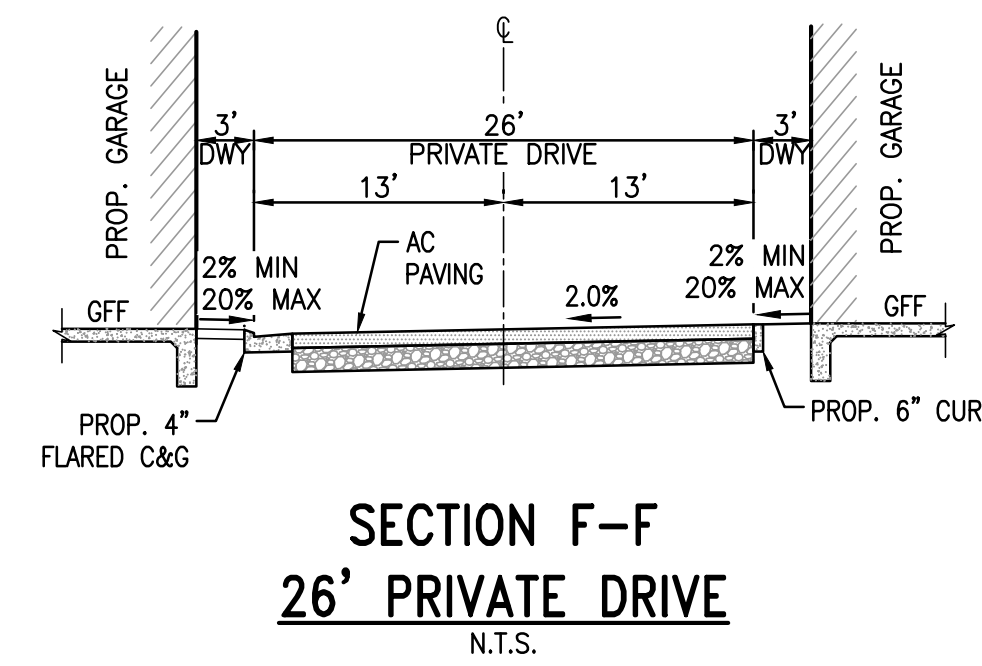
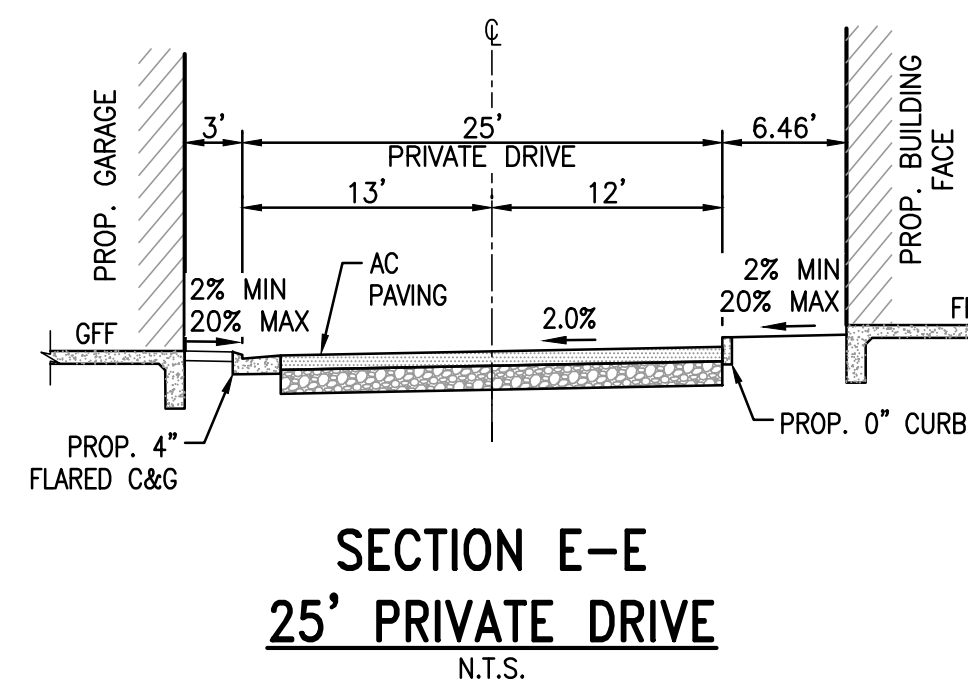
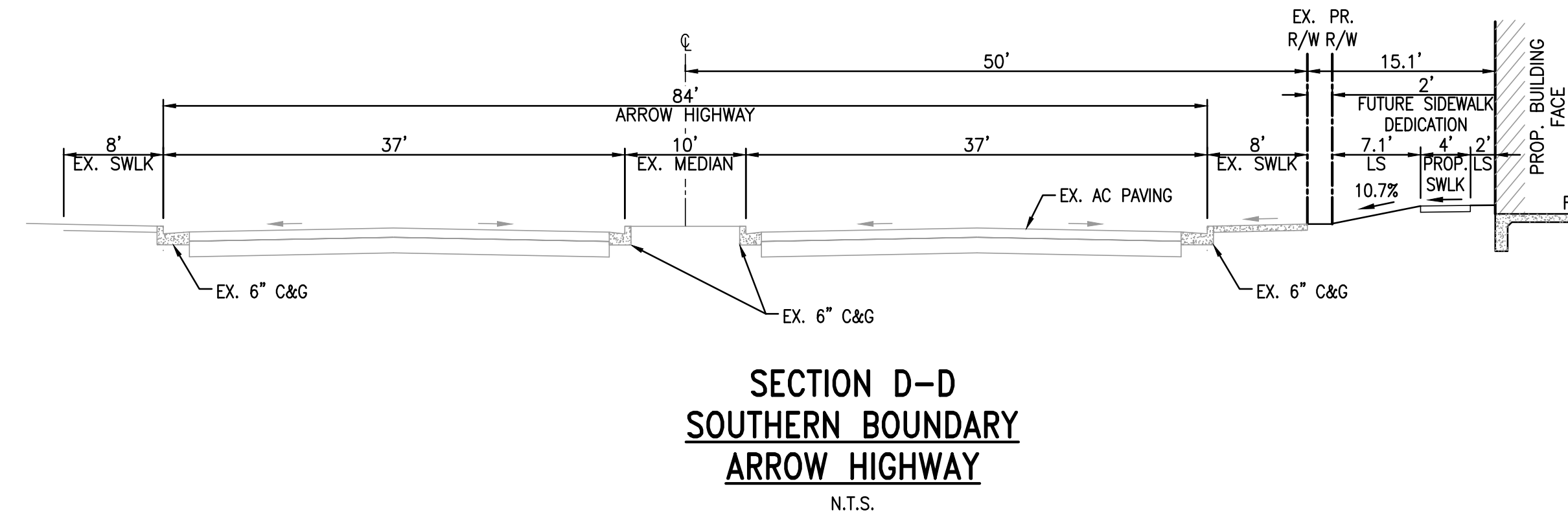
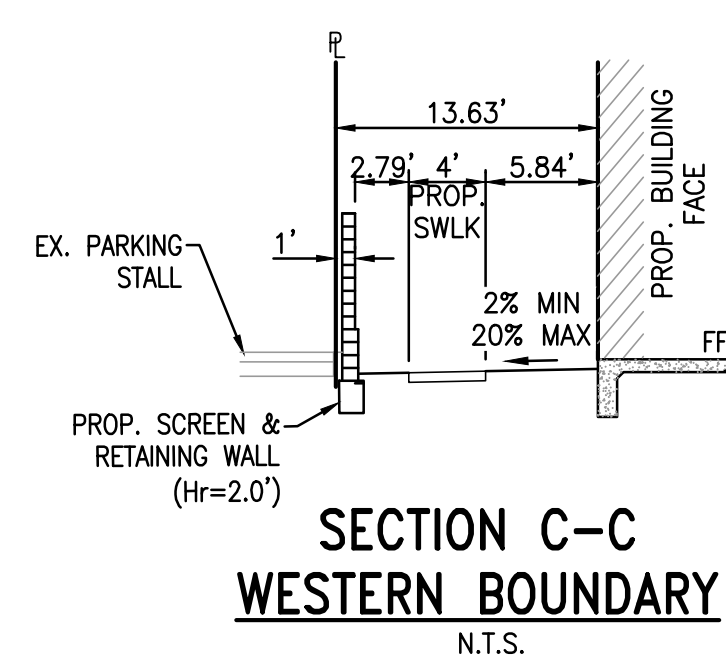
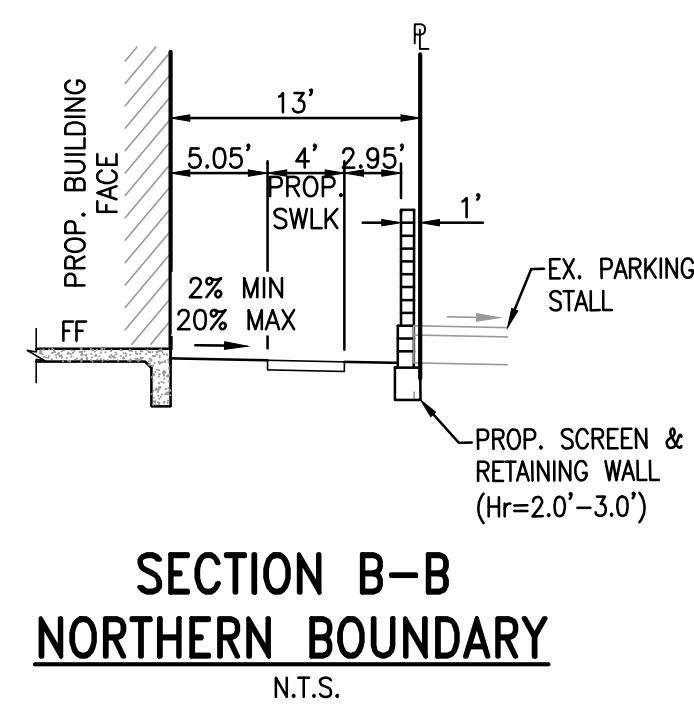
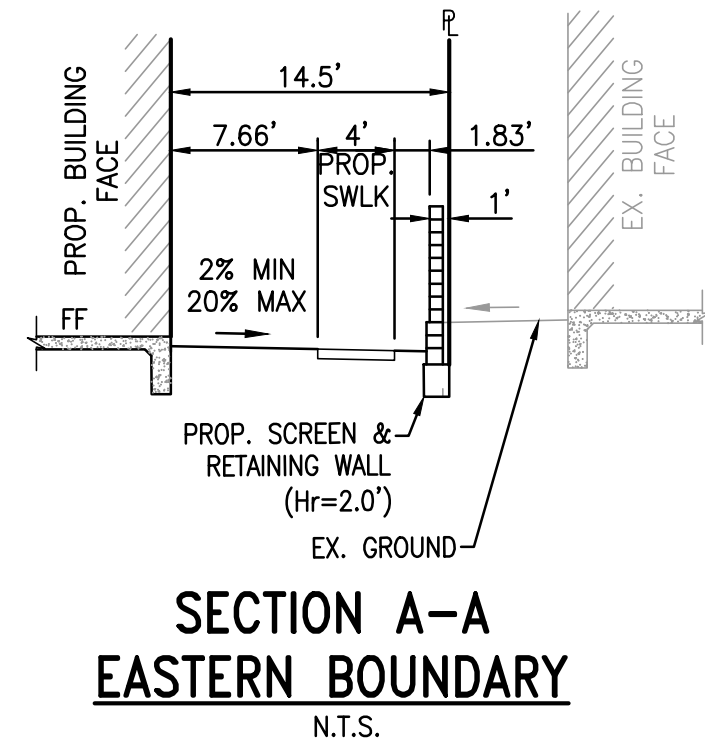
PRELIMINARY GRADING PLAN

631 & 657 E. ARROW HIGHWAY
GLENDORA, CALIFORNIA 91740

PROJECT NO.
MELA-014

SHEET
OF
3
6

PLANS SET: 1/21/2025
DATE: 1/21/2025
BY: MICHAEL REYES



PREPARED BY:



9830 IRVINE CENTER DRIVE
IRVINE, CALIFORNIA 92618
(949) 916-3800
INFO@CVC-INC.NET
WWW.CVC-INC.NET

PREPARED FOR:

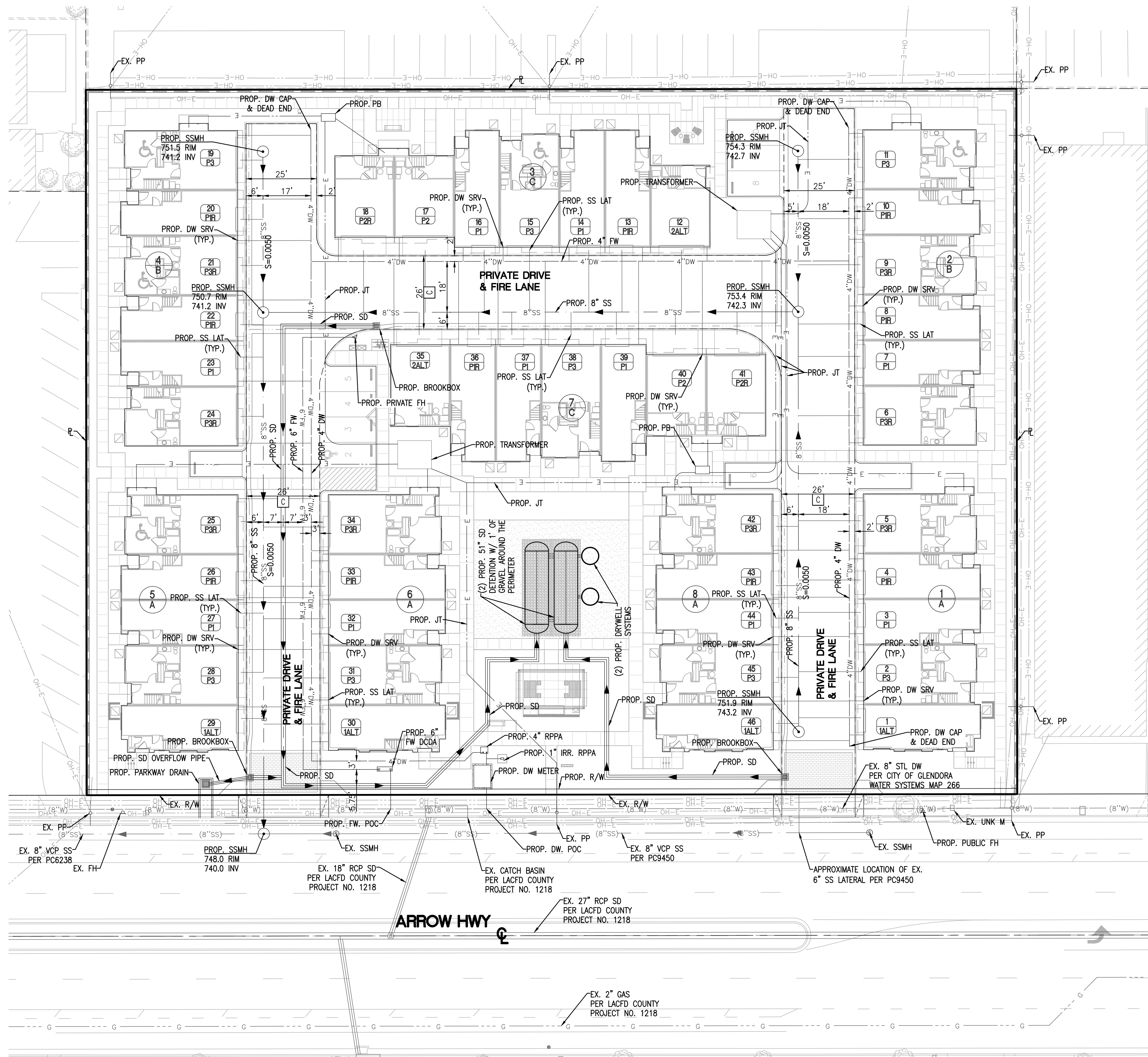


MELIA HOMES
9860 IRVINE CENTER DRIVE
IRVINE, CA 92618
(949) 759-4367

CITY OF GLENDORA
DEPARTMENT OF COMMUNITY DEVELOPMENT
VESTING TENTATIVE TRACT MAP NO. 84607
SECTIONS
631 & 657 E. ARROW HIGHWAY
GLENDORA, CALIFORNIA 91740

PROJECT NO.
MELA-014
SHEET
4
OF
6

DATE: 1/21/2025 BY: MICHAEL REYES



PROPOSED EASEMENTS:

[C] INDICATES AN EASEMENT FOR PUBLIC SEWER PURPOSES DEDICATED TO THE CITY OF GLENDORA

EXISTING UNDERGROUND UTILITIES:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR CONDUITS SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE DRAWINGS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES CONCERNED BEFORE STARTING WORK. CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UNDERGROUND UTILITY PIPES OR CONDUITS SHOWN OR NOT SHOWN ON THESE DRAWINGS.

CONTRACTOR TO IDENTIFY ALL EXISTING UTILITY CONNECTIONS AND LATERALS TO BUILDINGS AND REMOVE THEM BACK TO THE PROPERTY LINE. COORDINATE WITH UTILITY PROVIDERS. CONTRACTOR SHALL MARK THE LOCATIONS OF ALL EXISTING UTILITY STUBS ON THE CURB. ON SEWER STUBS, INDICATE THE DEPTH FROM TOP OF CURB. EXISTING PERIMETER CURBS AND SIDEWALKS ARE TO BE PROTECTED IN PLACE.

PREPARED BY:



C&V
CONSULTING, INC.
CIVIL ENGINEERING
LAND PLANNING & SURVEYING

9830 IRVINE CENTER DRIVE
IRVINE, CALIFORNIA 92618
(949) 916-3800
INFO@CVC-INC.NET
WWW.CVC-INC.NET

PREPARED FOR:



MELJA HOMES
9860 IRVINE CENTER DRIVE
IRVINE, CA 92618
(949) 759-4367

CITY OF GLENDORA
DEPARTMENT OF COMMUNITY DEVELOPMENT

VESTING TENTATIVE TRACT MAP NO. 84607

PRELIMINARY UTILITY PLAN

631 & 657 E. ARROW HIGHWAY
GLENDORA, CALIFORNIA 91740

PROJECT NO.
MELA-014

SHEET
5
OF
6

PLANS, SPECIFICATIONS, AND CONTRACT DOCUMENTS
DATE: 11/21/2025 BY: MICHAEL REYES

PROJECT GENERAL NOTES:

- ALL FIRE ACCESS LANES MEET LACoFD MINIMUM REQUIREMENTS 19' & 45' RADII.
- THIS PROJECT DOES NOT HAVE ANY FUEL MODIFICATION OR WILD LAND EXPOSURES AND IS NOT IN A VERY HIGH FIRE HAZARD ZONE.
- THIS PROJECT IS DESIGNED IN CONFORMANCE WITH THE CBC, 2022 EDITION.
- ALL FIRE ACCESS ROADS SHALL BE ALL WEATHER, MEET THE CRITERIA OF AN ALL WEATHER DRIVING SURFACE AND COMPLY WITH LACoFD GUIDELINE FOR FIRE APPARATUS ROADS.
- THE BUILDING HEIGHTS ARE APPROXIMATELY 39'-6" FEET MAX.
- ALL BUILDINGS ON THE SITE WILL BE SPRINKLERED PER NFPA 13D.
- APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMBERS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH AND A MINIMUM STROKE WIDTH OF 0.5 INCH. FIRE CODE 505.1
- A KEY BOX SHALL BE PROVIDED AT THE MAIN ENTRANCE, IN ACCORDANCE WITH FIRE CODE 902.4, AND AS SET FORTH IN FIRE DEPARTMENT REGULATION 5.
- THE REQUIRED FIRE FLOW FOR THE FIRE HYDRANTS AT THIS LOCATION IS 2,500 GALLONS PER MINUTE, AT 20 PSI RESIDUAL PRESSURE, FOR A DURATION OF 2 HOURS OVER AND ABOVE MAXIMUM DAILY DOMESTIC DEMAND. FIRE CODE 507.3 AND APPENDIX B105.1 APPENDIX B.
- ALL FIRE HYDRANTS SHALL MEASURE 6"x4"x2-1/12", BRASS OR BRONZE, CONFORMING TO AMERICAN WATER WORKS ASSOCIATION STANDARD C503, OR APPROVED EQUAL; AND SHALL BE INSTALLED IN COMPLIANCE WITH FIRE DEPARTMENT REGULATION 8. FIRE CODE 903.2.1
- ALL ON-SITE FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND APPROVED PRIOR TO BUILDING OCCUPANCY. FIRE CODE 1001.4
- THE INSPECTION, HYDROSTATIC TEST AND FLUSHING OF THE UNDERGROUND FIRE PROTECTION PIPING SHALL BE WITNESSED BY AN AUTHORIZED FIRE DEPARTMENT REPRESENTATIVE AND NO UNDERGROUND PIPING OR THRUST BLOCKS SHALL BE COVERED WITH EARTH OR HIDDEN FROM VIEW UNTIL THE FIRE DEPARTMENT REPRESENTATIVE HAS BEEN NOTIFIED AND GIVEN NOT LESS THAN 48 HOURS IN WHICH TO INSPECT SUCH INSTALLATIONS. FIRE CODE 1001.4

FIRE ACCESS PLAN NOTES:

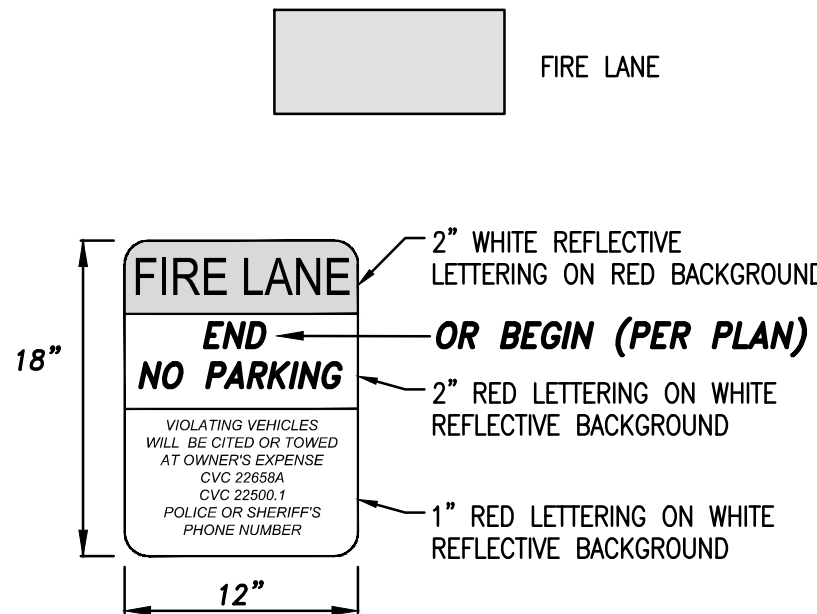
- FIRE DEPARTMENT VEHICULAR ACCESS ROADS MUST BE INSTALLED AND MAINTAINED IN A SERVICEABLE MANNER PRIOR TO AND DURING THE TIME OF CONSTRUCTION. FIRE CODE 501.4.
- PROVIDE APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS "NO PARKING - FIRE LANE". SIGNS SHALL HAVE A MINIMUM DIMENSION OF 12 INCHES WIDE BY 18 INCHES HIGH AND HAVE RED LETTERS ON A WHITE REFLECTIVE BACKGROUND. SIGNS SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS, TO CLEARLY INDICATE THE ENTRANCE TO SUCH ROAD, OR PROHIBIT THE OBSTRUCTION THEREOF AND AT INTERVALS, AS REQUIRED BY THE FIRE INSPECTOR.
- WHEN SECURITY GATES ARE PROVIDED, MAINTAIN A MINIMUM ACCESS WIDTH OF 26 FEET. THE SECURITY GATE SHALL BE PROVIDED WITH AN APPROVED MEANS OF EMERGENCY OPERATION, AND SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES AND REPLACED OR REPAIRED WHEN DEFECTIVE. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F220. GATES SHALL BE SWINGING OR SLIDING TYPE. CONSTRUCTION OF GATES SHALL BE OF MATERIALS THAT ALLOW MANUAL OPERATION BY ONE PERSON. FIRE CODE 503.6. (NO ENTRY GATE PROPOSED ON THIS PROJECT.)
- ALL FIRE HYDRANTS SHALL MEASURE 6"x4"x2-1/12", BRASS OR BRONZE, CONFORMING TO AMERICAN WATER WORKS ASSOCIATION STANDARD C503, OR APPROVED EQUAL; AND SHALL BE INSTALLED IN COMPLIANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION 8. FIRE CODE 903.2.1.
- PROVIDE AN AUTOMATIC FIRE SPRINKLER SYSTEM AS SET FORTH BY BUILDING CODE 903 AND FIRE CODE 903. PLANS SHALL BE SUBMITTED TO THE SPRINKLER PLAN CHECK UNIT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. TYPE OF FIRE SPRINKLER SYSTEM: 903.3.1.3.
- DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVES, UNLESS AREAS CONTAINING DUMPSTERS OR CONTAINERS ARE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM. FIRE CODE 304.3.3.
- FIRE APPARATUS ACCESS ROADS SHALL BE IDENTIFIED WITH APPROVED SIGNS. TEMPORARY SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT AND BE MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS. FIRE CODE 505.2.

CONSTRUCTION NOTES:

- INSTALL "FIRE LANE" SIGN PER DETAIL 1 HEREON.
- FIRE LANE IDENTIFICATION-RED CURBS PER DETAIL 2 HEREON.
- INSTALL "FIRE LANE" SIGN BEGIN OR END PER DETAIL 3 HEREON.
- PROPOSED PRIVATE FIRE HYDRANT LOCATION
- PROPOSED PUBLIC FIRE HYDRANT LOCATION

LEGEND

- EXISTING STREET LIGHT
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- PROPOSED SIGN
- HOSE PULL
- PROPERTY LINE
- FIRE TRUCK
- UNIT NUMBER
- PLAN TYPE
- FH FIRE HYDRANT
- PROP. PROPOSED
- EX. EXISTING
- R. PROPERTY LINE
- R/W RIGHT OF WAY



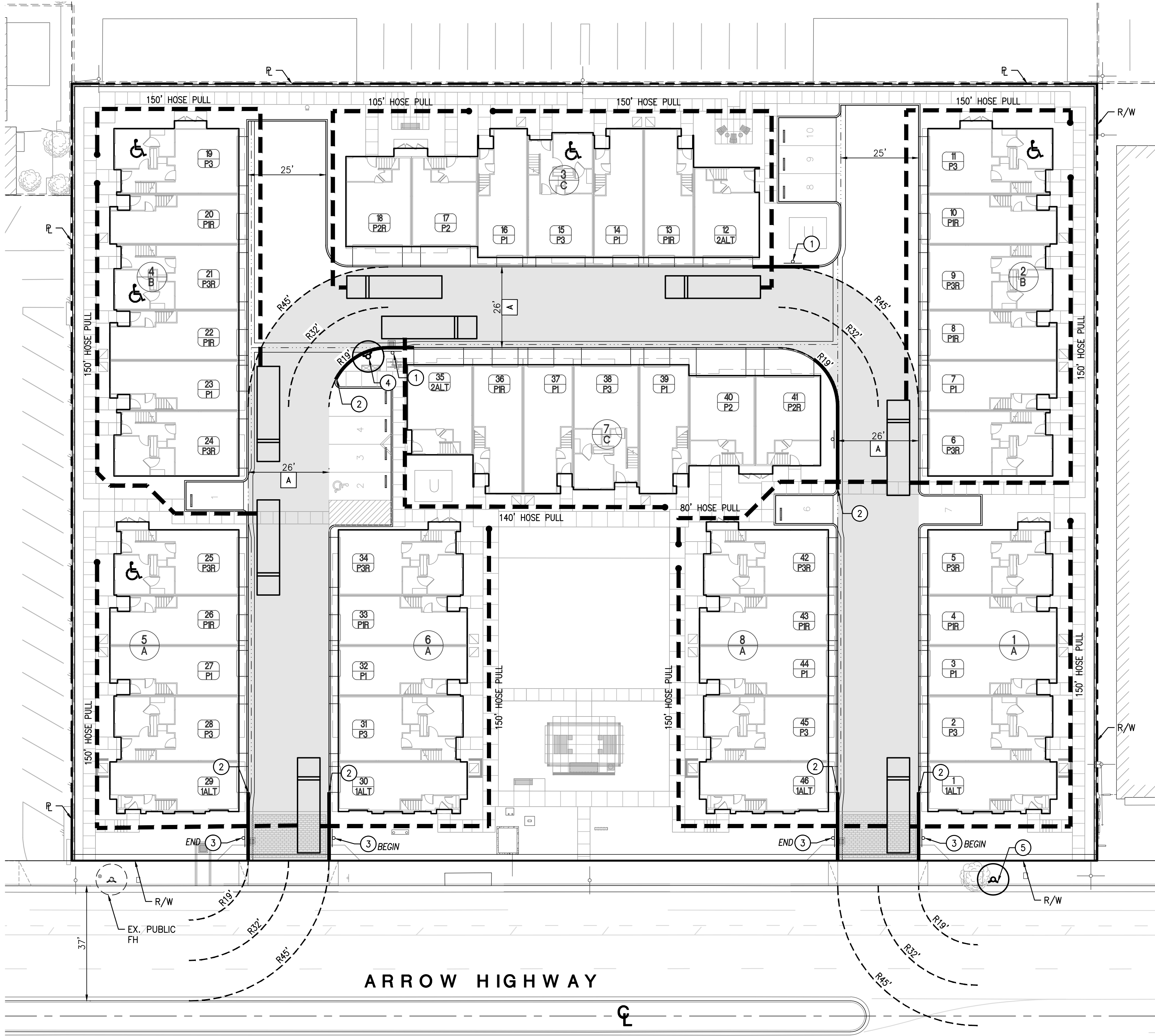
ALL SIGN AND LETTERING DIMENSIONS ARE MINIMUMS.

SIGNS SHALL BE SECURELY MOUNTED FACING THE DIRECTION OF TRAVEL AND CLEARLY VISIBLE TO ONCOMING TRAFFIC ENTERING THE DESIGNATED AREA. SIGNS SHALL BE MADE OF DURABLE MATERIAL.

3 BEGIN & END NO PARKING SIGN

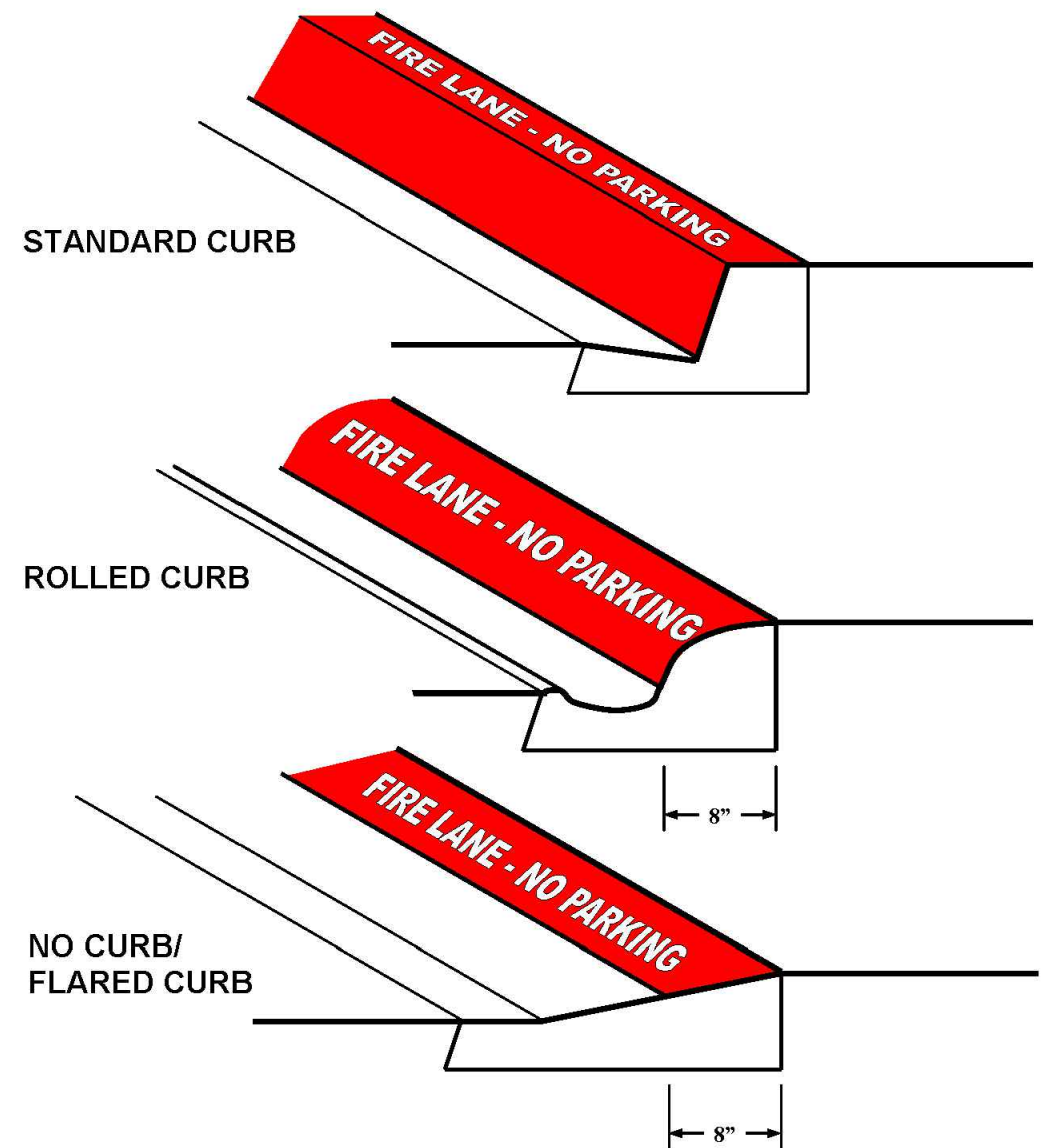
PROPOSED EASEMENTS:

- A INDICATES AN EASEMENT FOR INGRESS AND EGRESS FOR EMERGENCY AND PUBLIC SECURITY VEHICLE PURPOSES DEDICATED TO THE CITY OF GLENDORA



ATTACHMENT 9

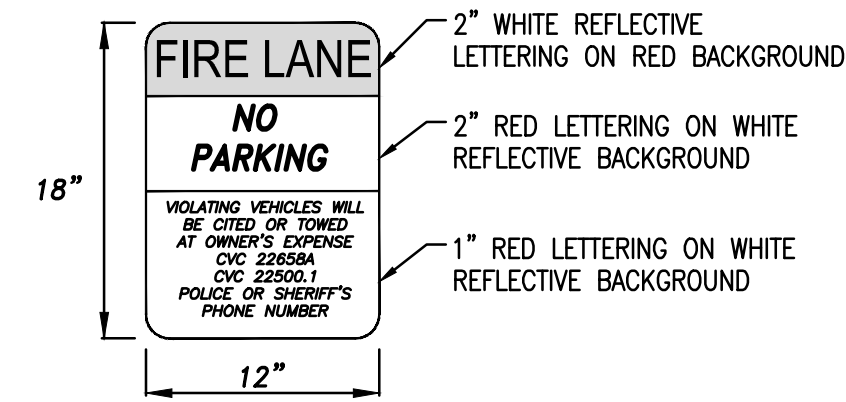
Fire Lane Identification - Red Curbs



- Fire lane entrance sign(s) shall also be provided per Attachment 10 or 11.
- Curbs shall be painted OSHA safety red.
- "FIRE LANE - NO PARKING" shall be painted on top of curb in 3" white lettering at a spacing of 30' on center or portion thereof.

2 RED CURB PAVEMENT MARKING

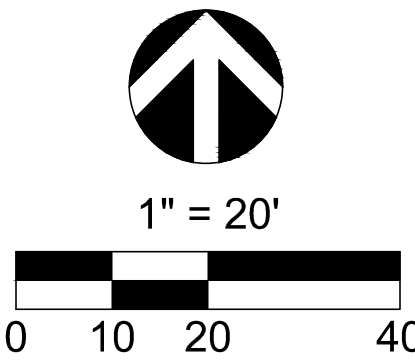
NOT TO SCALE



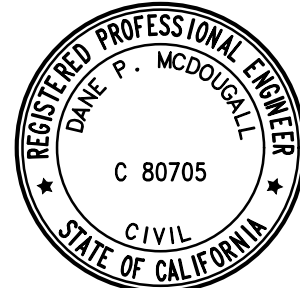
ALL SIGN AND LETTERING DIMENSIONS ARE MINIMUMS.

SIGNS SHALL BE SECURELY MOUNTED FACING THE DIRECTION OF TRAVEL AND CLEARLY VISIBLE TO ONCOMING TRAFFIC ENTERING THE DESIGNATED AREA. SIGNS SHALL BE MADE OF DURABLE MATERIAL.

1 NO PARKING SIGN



PREPARED BY:



9830 IRVINE CENTER DRIVE
IRVINE, CALIFORNIA 92618
(949) 916-3800
INFO@CVC-INC.NET
WWW.CVC-INC.NET

PREPARED FOR:



MELIA HOMES
9860 IRVINE CENTER DRIVE
IRVINE, CA 92618
(949) 759-4367

CITY OF GLENDORA
DEPARTMENT OF COMMUNITY DEVELOPMENT

VESTING TENTATIVE TRACT MAP NO. 84607
PRELIMINARY FIRE ACCESS & HYDRANT PLAN

631 & 657 E. ARROW HIGHWAY
GLENDORA, CALIFORNIA 91740

PROJECT NO.
MELA-014

SHEET
6
OF
6



NOTICE OF PUBLIC HEARING

Planning Commission

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Glendora will hold a public hearing pursuant to §21.01.030 (E) and §21.02.020, of the Glendora Municipal Code in the City Council Chamber of City Hall, 116 E. Foothill Boulevard, Glendora, California, to receive and consider all evidence and reports relating to the following application/project:

Hearing Date: Tuesday, May 6, 2025, at 7:00 p.m.

File Number: PLN24-0032

Subject Property: 631–657 E. Arrow Highway, Glendora, CA 91740

Request: Development Plan Review (DPR) and Vesting Tentative Tract Map (VTTM) to develop 46 three-story residential townhomes.

Applicant: Melia Homes Inc.

General Plan Land Use / Zoning: *Arrow Highway Specific Plan / Arrow Highway Specific Plan – Commercial Core Mixed-Use (AHSP MU-CC)*

Environmental: An Environmental Impact Report (EIR) was prepared for the Arrow Highway Specific Plan (AHSP) [*State Clearinghouse #2017041043*] and adopted by the Glendora City Council on September 25, 2018. This EIR included the full analysis for future construction of up to 739 residential units at realistic buildout within Glendora’s portion of the Arrow Highway corridor. The AHSP’s EIR is applicable to all future residential development plans if they are in conformance with the specific plan, thus requiring no further environmental documentation. Therefore, if the subject proposal for 46 residential townhomes is approved with a determination that it follows the specific plan’s intent, no further environmental review is necessary. As such a CEQA Notice of Exemption (NOE) has been prepared for this project, which if approved will be submitted as the project’s CEQA compliance.

Contact Person: Yalini Siva, Senior Planner
(626) 914-8213 or ysiva@cityofglendora.gov

All interested parties are invited to attend said hearing and express their views on this matter. Should you be unable to attend the public hearing, your testimony must be made in writing and delivered prior to the scheduled hearing date as follows: City Clerk Department, 116 E. Foothill Blvd, Glendora, CA, 91741,

City_Clerk@cityofglendora.gov.

Further information on this item will be posted to the city's website at *CityofGlendora.gov/citymeetings* and will be on file for public inspection and copying for the cost of duplication, at the office of the City Clerk, 116 E. Foothill Blvd, Glendora, CA, between the hours of 8:00 a.m. and 5:00 p.m., Monday through Friday, exclusive of holidays, within those hours for agenda posting and public inspection as required by the Ralph M. Brown Act, California Government Code § 54950 et seq. as applicable to this meeting.

Further Information on the above application may be obtained or viewed at the Community Development Department Planning Division, located at 116 E. Foothill Blvd, Glendora, CA, 91741 or by telephone at (626) 914-8214.

If you challenge this action(s) in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

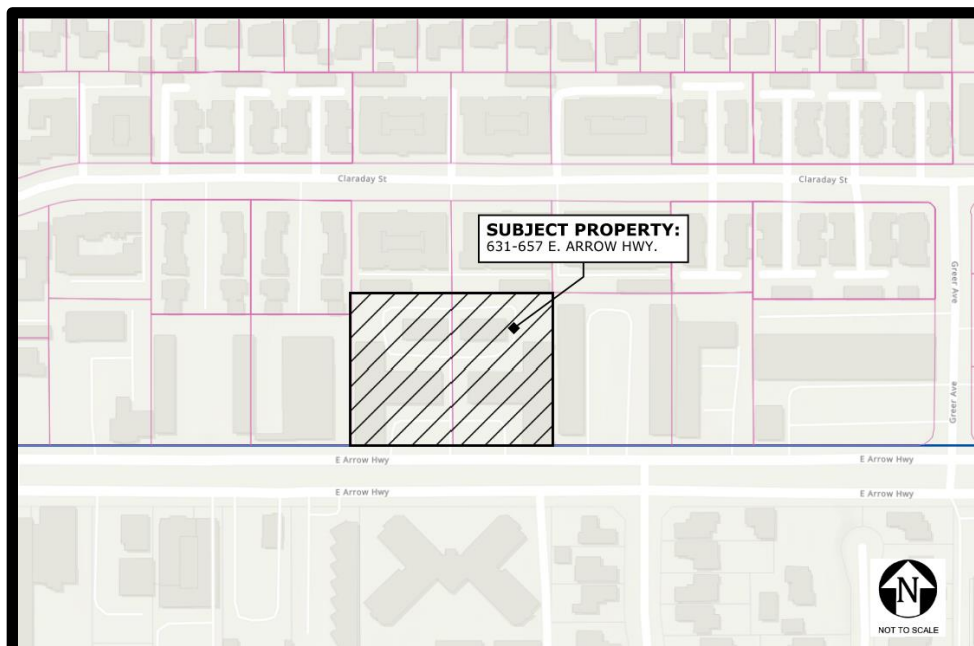
Kathleen R. Sessman, MMC
City Clerk

Mailed: April 24, 2025
Published: April 24, 2025 (*San Gabriel Valley Examiner*)

CERTIFICATION

I, hereby certify that I posted a copy of this Notice on the bulletin board outside the City Hall Council Chamber, 116 E. Foothill Boulevard on April 24, 2025.

Kathleen R. Sessman, MMC
City Clerk





DEVELOPMENT PLAN REVIEW AND TENTATIVE
TRACT MAP

631-657 E. ARROW HIGHWAY

COMMUNITY DEVELOPMENT

PLANNING COMMISSION

MAY 6, 2025

YALINI SIVA, SENIOR PLANNER





PROJECT / REQUEST

- Tentative Tract Map No. 84607 to subdivide land to create 46 residential condominium townhomes.
- Development Plan Review for approval of the project's development plans.
- CEQA Notice of Categorical Exemption.

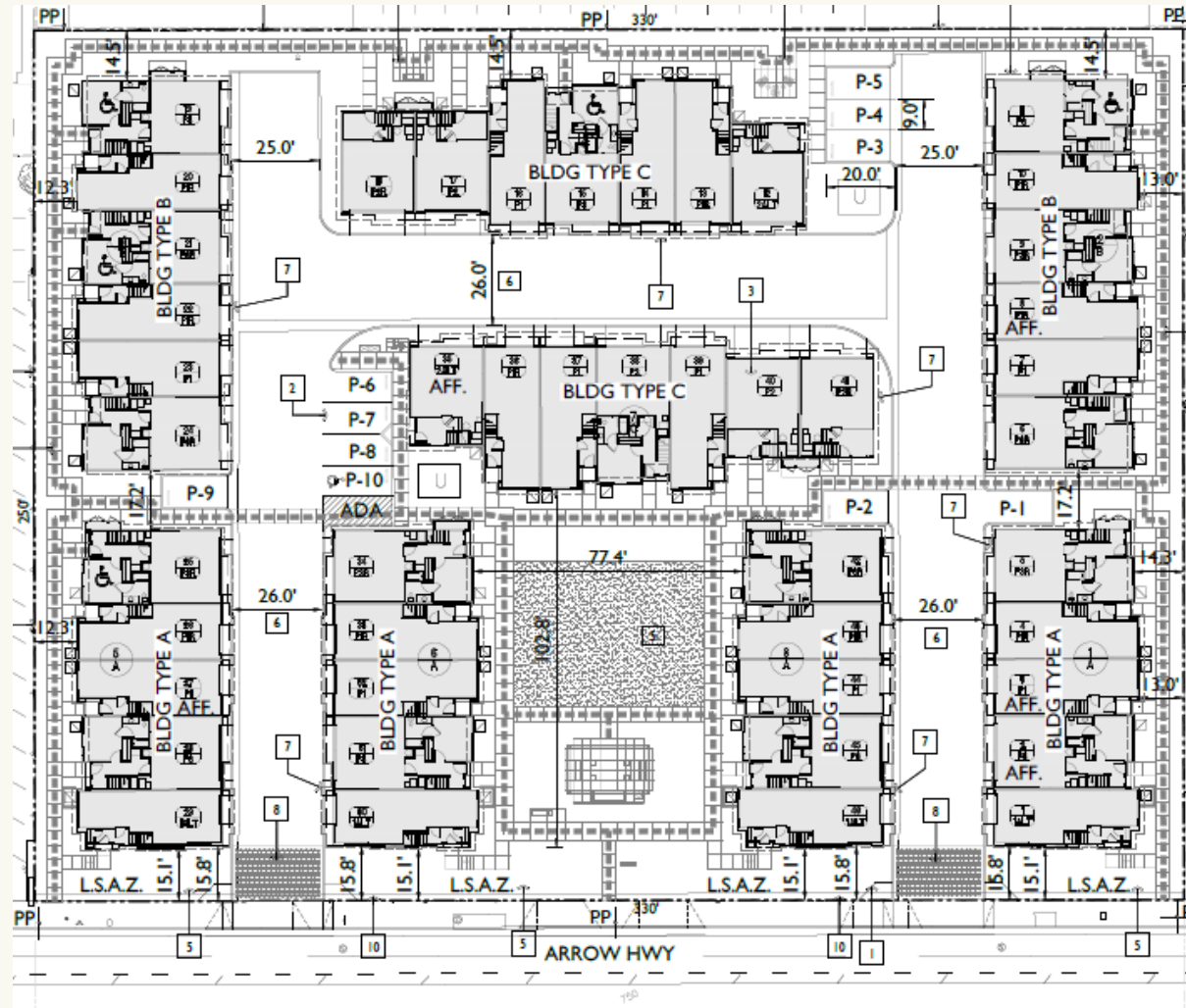
PROJECT LOCATION



LOWER INCOME HOUSING DEVELOPMENT

- Five of the 46 homes will be available for purchase to moderate income qualified buyers. State law allows developers to request concessions, waivers and incentives.
 - Reduced parking, pursuant to Govt State Code 65915(p)(1)
 - Reduced open space
 - Reduced first-floor plate height
 - Stuccoing instead of window glazing
 - Additional vehicular access point

SITE PLAN



LANDSCAPE PLAN



ELEVATIONS



REAR ELEVATION



LEFT ELEVATION

STREET VIEW RENDERING





PUBLIC NOTICE

- April 24, 2025 – Notices were sent out to all property owners within 300 feet of the site per GMC.
- April 24, 2025 – Notice was published in the San Gabriel Valley Examiner.

RECOMMENDATIONS

That the Planning Commission:

1. Recommend approval to the City Council for the requested Tentative Tract Map No. 84607 and Development Plan Review for a three-story multi-family residential project of 46 townhomes on certain property located at 631-657 E. Arrow Highway, Glendora, California (Project No. PLN24-0032). The project meets necessary requirements, will provide needed housing units to the City, and help revitalize the Arrow Highway Corridor.



STAFF REPORT

TO: Chair and Commissioners **DATE:** May 6, 2025

FROM: Community Development **DISTRICT(S):** 3

SUBJECT: Conditional Use Permit to allow alcohol sales (On-Sale General) for on-site consumption, in conjunction with a restaurant (Mama Canela Restaurant), located at 147 North Glendora Avenue (Project File No. PLN24-0047)

RECOMMENDATION

That the Planning Commission:

Open and conduct public hearing, accept evidence and testimony presented and in the absence of substantial evidence to the contrary, consider the following:

1. Adopt a Categorical Exemption for the project pursuant to §15301 of the California Environmental Quality Act (CEQA) Guidelines; and
2. Adopt a Planning Commission Resolution entitled, "A RESOLUTION OF THE PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT TO ALLOW ALCOHOL SALES (ON-SALE GENERAL) FOR ON-SITE CONSUMPTION IN CONJUNCTION WITH A RESTAURANT (MAMA CANELA RESTAURANT) (PROJECT FILE NO. PLN24-0047)."

STRATEGIC FOCUS AREAS

Not Applicable

EXECUTIVE SUMMARY

The applicant, (Wil Nieves, for Mama Canela LLC.) is requesting Planning Commission approval for a Conditional Use Permit (CUP) to allow alcohol sales (On-Sale General), in conjunction with a new fast-casual restaurant (Mama Canela), located at 147 N. Glendora Avenue.

LEGISLATIVE HISTORY / PREVIOUS ACTIONS

Not Applicable.

DISCUSSION

Project Location

The site is in a developed urban area. Properties to the north, south and east are primarily commercial, including a jewelry store, nail salon and physical therapy center. These properties are designated under the General Plan as part of the Civic Center Area Plan – Village Core (CCAP-T-5). A small parking lot is located to the rear of the existing building, to the south. The area also includes several public City-owned parking lots. The City of Glendora has also approved a street-side outdoor patio (parklet) for the proposed restaurant.

General Plan and Zoning

The subject property maintains a General Plan Land Use Designation of Civic Center Area Plan and has an implementing zoning district designation of Village Core (CCAP-T-5).

As outlined in Glendora Municipal Code (GMC) §21.06.070(E) the Village Core subdistrict is the city's oldest commercial district and heart of the community. These buildings contribute to the historic ambiance of the area. The T-5, Village Core standards provide guidance to allow additional development which also preserves and enhances the village as both a destination and a unique place to live, work and shop.

According to *Appendix 21.A.C Table C - Permitted and Conditionally Permitted Uses*, the GMC states that a CUP is required for "Restaurants, dining with entertainment and/or sales of alcoholic beverages" within the CCAP-T-5 zone.

Surrounding Uses:

Property to the north includes a jewelry store. Property to the west includes a small parking lot located to the rear of the existing building. Property to the south includes a nail salon. Properties to the east include a physical therapy center.

Table A below further describes the land uses for the surrounding properties:

	Existing Uses	General Plan	Zoning
North	Commercial	<i>Village Mixed Use</i>	CCAP-T-5
South	Commercial	<i>Village Mixed Use</i>	CCAP-T-5
East	Commercial	<i>Village Mixed Use</i>	CCAP-T-5
West	Commercial	<i>Village Mixed Use</i>	CCAP-T-5

Request:

The applicant has requested a CUP to allow onsite alcohol sales (On-Sale General) in conjunction with a new fast-casual restaurant, which is required for sites within the CCAP-T-5 zoning district, pursuant to GMC §21.06.070. Type 47 alcohol licenses, issued by the Department of Alcoholic Beverage Control, authorize the sale of beer, wine and distilled spirits for consumption on licensed premises, wherein the premises operate and maintain as a bona fide eating place, maintain suitable kitchen facilities and must make actual and substantial sales of meals for consumption on the premises.

The applicant is also processing a request to utilize a new outdoor seating area (parklet), located in the public-right-of-way adjacent to the storefront for use by the new restaurant. The additional parklet was approved by the City Council and is being processed under a separate permit. The parklet will provide additional restaurant seating area for customers, where alcohol may be consumed in the same manner as within the restaurant structure. Outdoor dining for the restaurant's outdoor parklet is subject to city standards (GMC §21.06.070) within the CCAP zone (which includes approval of an outdoor dining use agreement).

The restaurant proposes to operate between 6:00 a.m. and 10:00 p.m. on Sunday to Thursday and until 11:00 p.m. on Friday and Saturday. The restaurant's plans, supplemental business narrative and menu are included as Attachment C of this report.

Impacts on Public Facilities and Utilities:

The subject property fronts Glendora Ave. to the west with the capacity to accommodate all parking demands and traffic generated from the project. The subject property is adequately served with all necessary utilities/services including electric (Southern California Edison), gas (Southern California Gas Company), telephone (Verizon and others), sewer facilities (City and Los Angeles County Sanitation Districts), storm drain facilities (City and Los Angeles County Flood Control District), waste and disposal (Athens Waste Disposal), Glendora Police Department, and the Los Angeles County Fire Department.

SUMMARY OF RECOMMENDATION

Staff recommends approval of the CUP, subject to Conditions of Approval, as the use is compatible with and complimentary to the surrounding commercial areas along Glendora Avenue. The business would further the intent of the City's Civic Center Area Plan and is consistent with the objective of the CCAP-T-5 *Village Core* zone. All findings for a CUP as well as Conditions of Approval have been included within the draft resolution (Attachment A).

Public Hearing Notice

A Notice of Public Hearing was published in the *San Gabriel Valley Examiner* and mailed to all property owners within 500 feet (note only 300 feet is required) of the subject property on April 24, 2025 (Attachment D). As of the writing of this report, staff has not been contacted by nearby property owners or other members of the community.

FISCAL IMPACT

The project has no financial impact on the City as the applicant has paid all application-related fees. Beyond the City's review, the proposed use would generate increased sales tax for the City as well as employment opportunities for the community.

ENVIRONMENTAL DETERMINATION

A Notice of Exemption (NOE) - Categorical Exemption has been prepared (Attachment B) for this project pursuant to §15301 of the CEQA guidelines, which pertains to existing facilities with negligible or no expansion of use.

Prepared By	Earvin Adolfo, Planning Technician
Concurs With	Yalini Siva, Senior Planner Mark Carnahan, City Planner
Reviewed By	Jeff Kugel, Community Development Director
Certified to Availability of Funds	Not applicable
Approved By	Moises Lopez, Assistant City Manager
Legal Review	Judy Baladi, Assistant City Attorney
CEQA Review	Not Applicable

ATTACHMENTS:

- A. Draft Resolution
- B. NOE - CEQA Categorical Exemption
- C. Plans, Project Narrative and Menu
- D. Public Notice
- E. Staff Presentation

Attachments

[A. Draft Resolution.pdf](#)

[B. NOE - CEQA Categorical Exemption.pdf](#)

[C. Project Narrative, Plans and Menu.pdf](#)

[D. Public Notice.pdf](#)

[E. Staff Presentation.pdf](#)

RESOLUTION PC 2025-_____

A RESOLUTION OF THE PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT TO ALLOW ALCOHOL SALES (BEER AND WINE ONLY) FOR ON-SITE CONSUMPTION IN CONJUNCTION WITH A RESTAURANT (MAMA CANELA) LOCATED AT 147 NORTH GLENDDORA AVENUE (PROJECT FILE NO. PLN24-0047)

THE PLANNING COMMISSION City of Glendora, California

WHEREAS, Annette McCormick (Property Owner and Applicant) on behalf of Wil Nieves (Mama Canela), filed an application requesting approval of a Conditional Use Permit (CUP) for onsite alcohol sales in conjunction with a restaurant located at 147 N. Glendora Avenue, Glendora California (Proposed Application); and

WHEREAS, the subject site is located within the *Civic Center Area Plan – Village Core (CCAP-T-5)* zoning designation. Pursuant to the Glendora Municipal Code (GMC) §21.06.070 Appendix 21.A.C Table C – Permitted and Conditionally Permitted Uses states that a CUP is required for “*Restaurants, dining with entertainment and/or sales of alcoholic beverages*”; and

WHEREAS, the applicant and City have entered an agreement to acquire and install a new outdoor seating area (Parklet) in the public right-of-way (existing street parking) adjacent to the storefront for use by the new restaurant. Onsite alcohol sales in conjunction with the restaurant’s outdoor seating are subject to this resolution as well as city regulations for outdoor dining within the CCAP (standards and use agreement); and

WHEREAS, a public hearing was held by the Planning Commission of the City of Glendora (City), on May 6, 2025, after due notice was given as required by law, at which time oral and documentary evidence was introduced along with the written recommendation of the Planning Division staff of the City.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF GLENDDORA DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The above recitals are true and correct and are incorporated by reference.

SECTION 2. The Planning Commission finds, in light of the whole record, that the proposed application will not have a significant effect on the environment and pursuant to the California Environmental Quality Act (CEQA), a Categorical Exemption be adopted pursuant to CEQA Guidelines §15301 which pertains to existing facilities; and City staff is directed to file a Notice of Exemption (NOE).

SECTION 3. The Planning Commission hereby makes the following Findings of Facts, which are hereby incorporated in full:

FINDINGS OF FACT FOR A CONDITIONAL USE PERMIT

1. The use is authorized by a Conditional use permit pursuant to this title.

FACT: Pursuant to GMC §21.06.070, Appendix 21.A.C Table C – Permitted and Conditionally Permitted Uses state that a CUP is required for “*Restaurants, dining with entertainment and/or sales of alcoholic beverages*” within the CCAP-T-5 zone.

2. The use is consistent with the general plan and other applicable plans.

FACT: The subject property maintains a General Plan Land Designation of *Civic Center Area Plan* and has an implementing zoning district designation of Village Core CCAP-T-5. The proposed on-site liquor sales in conjunction with a restaurant will further several General Plan Land Use Element goals and policies, including:

- LU-8 – *Expansion of employment-generating land uses.*
- LU-14.5 – *Encourage the adaptive reuse of existing structures for a variety of commercial and retail uses that respect the existing Village character.*
- LU-15 – *A distinctive Village character.*
- LU-15.4 – *Encourage the development of uses and facilities that promote a distinctive Village character such as artist lofts, restaurants, small-scale retail, and housing.*
- LU-18.3 – *Encourage land uses that are complimentary in form and function with existing development.*

3. The site can accommodate the development standards of this title or as is otherwise required.

FACT: The proposed location is within an existing 4,443 square feet commercial parcel of land. The property is improved with an existing 4,631 square foot, two-story building and the subject tenant lease space consists of 2,200 square feet on the ground floor. Currently this space is undergoing a change of use from retail commercial to a restaurant use, with an extensive renovation. All appropriate permits and construction shall be reviewed separately by the Building and Safety Division.

4. The site is adequately served by streets, utilities, and other services, facilities, and improvements.

FACT: The subject property fronts Glendora Avenue to the west with the capacity to accommodate all parking demands and traffic generated from the project. The subject property is adequately served with all necessary utilities including electric (Southern California Edison), gas (Southern California Gas Company), telephone (Verizon and others), sewer facilities (City and L.A. County Sanitation Districts), storm drain facilities (City and L.A. County Flood Control District), and waste disposal (Athens Waste Disposal). Public safety services are provided by the Glendora Police Department and Los Angeles County Fire Department.

5. The use will not adversely affect the character and integrity of the area, the utility and value of properties in the area, and the health, safety, and welfare of the public.

FACT: The Applicant is requesting approval of a CUP to permit on-site alcohol sales in conjunction with a restaurant. The Applicant's proposal is compatible with the property's zoning and will not adversely affect the character and integrity of the area (*Civic Center Area Plan*); and the health, safety, and welfare of the public as the use is compatible with surrounding uses. With the recommended Conditions of Approval, the ancillary uses will not result in any adverse impacts to the area.

SECTION 4. The Planning Commission hereby adopts the foregoing findings and approves the filing of a NOE by City staff for CEQA compliance.

SECTION 5. The Planning Commission hereby approves the CUP (File No. PLN24-0047) to allow the onsite sale of alcohol in conjunction with a restaurant (Mama Canela), as described and depicted on the proposed application plans and description attached to the Planning Commission Agenda Report, and after determining that the Project meets the requirements of GMC §21.06.070, subject to the following Conditions of Approval:

CONDITIONS OF APPROVAL

1. The Applicant shall sign and submit to the Planning Division a statement indicating agreement with and acceptance of the adopted Conditions of Approval.
2. The subject property shall be developed and used in substantial conformance with the proposed application plans attached to the Planning Commission Agenda Report for PLN24-0047, as modified by these Conditions of Approval.
3. The City shall have the right of entry to inspect the premises to verify compliance with the Conditions of Approval and the GMC.
4. The City shall retain the right and the jurisdiction to review the CUP (No. PLN24-0047) in the event the approved Project is modified, changed in scope, or the Property Owner or operator seeks to expand, alter, reconfigure, or change the use. This reservation of the right of review is in addition to, and not in lieu of, the right of the City to review and revoke the CUP (No. PLN24-0047) or to modify the permit for any violation of these Conditions of Approval.
5. The Applicant agrees as a condition of issuance of this entitlement to indemnify, protect, defend, and hold harmless, the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents, from and against any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorneys' fees and disbursements (collectively, "Claims") arising out of or in any way relating to the issuance of this entitlement, any actions taken by the City related to this entitlement, and/or any Claims arising or related to the Project based on CEQA.

Term

6. The approved use and/or construction work shall commence within 24 months after the effective date of the approval, or such other period specified as a condition of approval and shall be carried on diligently to completion. If the use or construction work does not begin within the required time and carried on diligently to completion, the permit shall become void;

however, the reviewing body or Community Development Director may extend the time limit in the case of unavoidable delay. The Applicant must submit a written request to the reviewing body for a time before the original time limit expires. Consideration of a time extension does not require a public hearing even if a hearing was required for the original permit.

Planning Division

7. Alcohol sales shall be limited for on-site consumption in conjunction with a restaurant establishment; as well as the associated parklet.
8. Onsite alcohol sales in conjunction with the restaurant's outdoors areas are subject to city standards (GMC § 21.06.070) for outdoor dining within the CCAP zone (which includes approval of an outdoor dining use agreement) and compliance with building/safety code (applicable permits maybe necessary).
9. Alcohol sales for on-site consumption is not permitted without a license approved and issued by the State of California Department of Alcoholic Beverage Control (ABC).
10. Any violation of ABC regulations, Conditions of Approval, or City of Glendora Ordinances may result in the revocation of this permit as provided in GMC § 21.02.020(J).
11. The restaurant's dining menu shall be available for service during all hours that alcohol is served.
12. Alcohol sales hours for on-site consumption shall be from 6 a.m. to 10 p.m. Sunday through Thursday and 6 a.m. to 11 p.m. on Friday and Saturday. Alcohol shall not be sold or served within one hour of the business's closing time.
13. All rules and regulations of the ABC shall be observed in the sale and dispensing of alcoholic beverages on the premises. This includes qualifications for "Bona Fide Public Eating Place" and "Meals".
14. All employees shall complete the ABC License Education on Alcohol and Drugs Program (LEAD), as directed by the ABC.
15. The Applicant shall submit the conditions of approval of the CUP to the ABC for incorporation with the conditions of approval of the alcoholic beverage license.

Building

16. CUP approval is limited to alcohol service (in conjunction with a restaurant) only, unless otherwise approved.
17. Approval for a fenced outdoor dining area requires a separate submittal to the Building Division, including permit application, plan submittal, and review.

Enforcement

18. The subject restaurant shall have an alarm system with a hold-up alarm component and Resolution PC 2025-____

applicable City alarm permits.

19. Shades, drapes, signs, or any other treatment that blocks the view into the business interior shall not cover more than 25% of windows.
20. The restaurant shall comply with the intervening period, which means, the sale and consumption of alcohol shall be halted one hour before the closure of the business.
21. The property owner shall pay the costs of any code enforcement activities, including attorney's fees, resulting from the violation of any conditions of approval or any provision of the GMC (see Chapter 1.18).
22. Any violation of the Zoning Ordinance or any entitlement granted is considered a misdemeanor punishable by a fine not to exceed one thousand dollars (\$1,000.00) and/or by imprisonment in the County jail for a period not exceeding six months. Each day or portion of a day during which any violation of the Zoning Ordinance occurs or continues constitutes a separate offense and shall be punishable as provided by GMC §21.01.030 (H).

SECTION 6. The City Clerk shall certify the passage and adoption of this Resolution and shall enter the same in the Book of Original Resolutions.

SECTION 7. The Chair of the Planning Commission shall sign this Resolution and the Secretary shall attest and certify to the passage and adoption of this Resolution, and the same shall thereupon take effect on May 6, 2025, subject to a 15 calendar-day appeal and be enforced in accordance with the terms and conditions thereof.

PASSED, APPROVED AND ADOPTED by the Planning Commission of the City of Glendora this ____ day of _____, 2025.

BY: _____
BRIAN FABER
Chair

APPROVED AS TO FORM:
Aleshire & Wynder, LLP

JUDY BALADI
Assistant City Attorney

CERTIFICATION

I, do hereby certify that the foregoing Resolution was duly adopted by the Planning Commission of the City of Glendora at a regular meeting held on the ____ day of _____ 2025, by the following vote:

AYES:	MEMBERS:
NOES:	MEMBERS:
ABSENT:	MEMBERS:
ABSTAIN:	MEMBERS:

Dated:

LORENA CORDOVA
City Clerk Specialist



CITY OF GLENDORA

116 East Foothill Boulevard, Glendora, California 91741

CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

Project Title: PLN24-0047

Project Location: 147 N. Glendora Ave, Glendora, CA 91741 (Mama Canela Restaurant)

Project Sponsor: Wil Nieves (Applicant) / Annette McCormick-Witkofsky (Property Owner)

Mailing Address: 21250 Hawthorne Blvd #500, Torrance, CA 90503

General Plan Land Use Designation: Village Mixed Use - Commercial

Zoning Designation: Civic Center Area Plan – Village Core (CCAP-T-5)

Project Description: The project involves permitting the onsite sale of alcohol under a Type 47 On-Sale General license for on-site consumption, as an accessory use in conjunction with a restaurant.

Surrounding Land Uses and Setting: The site is in a developed urban area. Properties to the north, south and east are primarily commercial, including a jewelry store, nail salon and physical therapy center. These properties are designated under the General Plan as part of the Civic Center Area Plan – Village Core (CCAP-T-5). A small parking lot is located to the rear of the existing building, to the south. The area also includes several public City-owned parking lots. The City of Glendora has also approved a street-side outdoor patio (parklet) for the proposed restaurant.

The Planning Commission recommends the following exempt status / findings:

- ☐ Ministerial (Sec. 15073)
- ☐ Declared Emergency (Sec. 15071(a))
- ☐ Emergency Project (Sec. 15071(b) and (c))
- ☒ Categorical Exemption
Type: Class 1 - Section: 15301(a) - Existing Facilities, interior and exterior alterations
- ☐ Statutory Exemption. Code Number: _____

Reasons why project is exempt: The requested Conditional Use Permit (CUP) for on-site alcohol sales is limited to an existing restaurant and does not result in a significant expansion of use. The scope of the project accordingly falls within the parameters of the identified categorical exemption, and no exceptions under CEQA Guidelines § 15300.2 apply.

Jeff Kugel, Director of Community Development Department

Date: _____

The above recommended exempt status and findings were adopted by the following body:

_____ on _____

Mark Carnahan, City Planner (626) 914-8253

NARRATIVE DESCRIPTION OF THE PROPOSED ALCOHOL USE

PROJECT DESCRIPTION

Conditional Use Permit to allow the sale and dispensing for consideration of a Type 47 full line alcohol license for on-site consumption, as an accessory use, in conjunction with a 2,200 square foot restaurant with hours of operation from 6:00 AM until 10:00 PM Sunday through Thursday and until 11:00 pm on Friday and Saturday within the CCAP-TS Village Core Zone District. The City of Glendora has also approved a Street-side Outdoor Patio in conjunction with the proposed restaurant. See attached Street-side Outdoor Patio Plan.

The proposed use (Mama Canela Restaurant) can best be described as a mid-sized specialty Mexican restaurant serving Tex-Mex cuisine. All food service as advertised on the menu will be provided at all times of the day while the restaurant is open for business. There will be no live entertainment.

PROPOSED OPERATIONAL PLAN

The proposed project at 147 N Glendora Avenue is located within a 0.102 acre commercial parcel of land. The property is improved with an existing 4,631 square feet two-story building. The subject tenant lease space consists of 2,200 square feet on the ground floor. It's presently undergoing a change of use from retail commercial to a restaurant use with an extensive aesthetic renovation. Construction will be completed in December 2024.

PARKING

There is a small parking area to the rear of the existing building to the south. In addition, within the immediate area are several City owned municipal surface parking lots for public use.

HOURS OF OPERATION

The proposed restaurant will be open from 6:00 AM until 10:00 PM Sunday through Thursday and until 11:00 pm on Friday and Saturday. Management will employ a total of five to ten persons. Management will have two shift crews per day.

ALCOHOL STORED/DISPLAYED LOCATIONS

The proposed restaurant is not yet open for business. Interior photos are not yet available since the restaurant is currently being built. We have identified the location of the stored and displayed alcohol. See attached floor plan that depicts in red the proposed stored and displayed alcohol locations.

SECURITY

To ensure the safe sales of alcohol, surveillance cameras will be installed throughout the interior of the restaurant as well as exterior surveillance cameras that cover the entrances and exits, loading zone, parking lot, trash area and the front outdoor patio area. The camera surveillance system will be located in the main office and monitored by staff. Management and staff will supervise all activities.

ALCOHOL SERVICE, TRAINING AND OVERSIGHT

All staff involved in any alcohol service activities will be required to read and initial the attached Company Alcohol Training Manual and complete the State of CA on-line Responsible Beverage Service (RBS) Training Program.

At least one on-duty manager with authority over the activities within the facility shall be on the premise at all times that the facility is open for business. The on-duty manager's responsibilities shall include the monitoring of the premises to ensure compliance with all applicable State, County and City laws and with conditions imposed by the Department of Alcoholic Beverage Control (ABC).

Every effort shall be undertaken in managing the facility to discourage illegal and criminal activity on the subject premise and any exterior area over which the building owner exercises control, in effort to ensure that no activities associated with such problems as narcotics sales, use or possession, gambling, prostitution, loitering, theft, vandalism or truancy occur. No Loitering or Public Drinking signs have been posted to deter these activities.

MANAGEMENT QUALIFICATIONS/EXPERIENCE

This is the first restaurant operation for the owners. They have retained design professionals, legal experts and other consultants to help get the project started. Experienced managers, servers and kitchen staff will be hired to run the facility.



SCALE: 1/4" = 1'-0"

SYMBOLS / DEFINITIONS

WALL MOUNTED SINGLE RECEPTACLE	=	Ⓢ	FLOOR MOUNTED SINGLE RECEPTACLE	=	Ⓢ	PITGAL STUB-OUT, W/2" LONG LEAD	=	Ⓢ	WALL MOUNTED PHONE	=	Ⓢ	WALL MOUNTED DISCONNECT SWITCH	=	Ⓢ	VAPOR PROOF LIGHT	=	Ⓢ	K4 SERIES SHELVE'S (UNLESS OTHERWISE NOTED) ALL VERTICAL DIMENSIONS ARE FROM FINISHED FLOOR TO CENTERLINE OF ROUGH-IN ALL HORIZONTAL DIMENSIONS ARE FROM CENTERLINE OF PREFFERED DOOR HEADING
WALL MOUNTED DOUBLE RECEPTACLE	=	Ⓢ	FLOOR MOUNTED DOUBLE RECEPTACLE	=	Ⓢ	EXHAUST HOOD FIRE SYSTEM PULL	=	Ⓢ	DATA/COMMUNICATION SYSTEM	=	Ⓢ	FIXTURE MOUNTED SINGLE RECEPTACLE	=	Ⓢ	SQUARE VAPOR PROOF LIGHT	=	Ⓢ	
STUB-UP OR STUB-DN JUNCTION BOX	=	Ⓢ	PITGAL STUB-UP OR STUB-DN JUNCTION BOX	=	Ⓢ	WALL MOUNTED EMPTY CONDUIT	=	Ⓢ	WALL MOUNTED ALARM	=	Ⓢ	FIXTURE MOUNTED DOUBLE RECEPTACLE	=	Ⓢ	SOLINOLED VALVE	=	Ⓢ	
SINGLE DROP CORD	=	Ⓢ	STUB-OUT OF WALL W/2" LEAD	=	Ⓢ	WALL MOUNTED SWITCH	=	Ⓢ	PLUG MOUNTED	=	Ⓢ	FIXT. MTD. J-BOX/ EQUIP. TERMINAL BLOCK	=	Ⓢ				
DOUBLE DROP CORD	=	Ⓢ	PITGAL STUB-UP OR STUB-DN JUNCTION BOX	=	Ⓢ	WALL MOUNTED SWITCH	=	Ⓢ	WALL MOUNTED ALARM	=	Ⓢ	FIXT. MTD. J-BOX/ EQUIP. TERMINAL BLOCK	=	Ⓢ				

ALL VERTICAL DIMENSIONS ARE FROM FINISHED FLOOR
TO CENTERLINE OF ROUGH-IN

ALL HORIZONTAL DIMENSIONS ARE FROM CENTERLINE OF COLUMN OR FINISHED SURFACES TO CENTERLINE OF ROUGH-IN.

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
—	—	—	—	—	—
—	—	—	—	—	—
—	—	—	—	—	—

SCALE: 1/4" = 1'-0"

A0

INTERIOR FINISH SCHEDULE

ROOM NAME	FLOOR		WALLS		CEILING		SOFFIT CEILING	
	BASE	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH
DINING AREA	FB1	FF1	WM1/2	WF1	CM7	-	-	-
BAR AREA	FB1	FF1	WM1/2	WF1	CM7	-	-	-
KITCHEN AREA	FB3	FF3	WM1/2	WF2	CM5	CF3	-	-
KITCHEN AREA COOKLINE	FB3	FF3	WM1/2	WF3	CM5	CF3	-	-
WALK-IN COOLER/FREEZER	FB3	FF3	WM1/2	WF3	CM5	CF3	-	-
SCULLERY/DRY STORAGE	FB3	FF3	WM1/2	WF2	CM5	CF3	-	-
LAVATORY RR#1/2	FB3	FF3	WM1/2	WF1	CM5	CF2	-	-
TRANS. RR#1	FB3	FF3	WM1/2	WF2	CM2	CF1	-	-
TRANS. RR#1	FB3	FF3	WM1/2	WF2	CM2	CF1	-	-

FLOOR BASE:
 FB1 CERAMIC COVE TILE BASE W/ 3/8" RADIUS W/ BLACK EPOXY ACID RESISTANT GROUT
 FB2 QUARRY TILE COVE BASE W/ 3/8" RADIUS W/ BLACK EPOXY ACID RESISTANT GROUT
 FB3 4" CERAMIC SLIM FOOT 3/8" COVE BASE TILE - B & W TILE CO., INC.
 B & W/2419T (4" HGT)
 FB4 14600 S. WESTERN AVENUE, GARDENA, CA 90249-3306 (310) 536-9579
 EMBOSSED ALUMINUM

FLOOR FINISH:
 FF1 CERAMIC TILE - 6X6
 FF2 QUARRY TILE - 6X6
 FF3 APPLIED CLEAR SEALED CONCRETE W/ CLEAR CONCRETE SEALER (LOS ANGELES COUNTY HEALTH DEPT. APPROVED) SEALER SHALL BE CLEAR, PENETRATING, SMOOTH & NON-ABSORBANT. *

WALL MATERIAL:
 WM1 5/8" GYPSUM BOARD
 WM2 5/8" WATER RESISTANT GYPSUM BOARD
 (UP TO +5'-0" A.F.F.)
 WM3 (2) TWO LAYERS OF 5/8" TYPE "X" FIRE RATED GYPSUM BOARD ON BOTH SIDES OF WALL
 WM4 EMBOSSED ALUMINUM

WALL FINISH:
 WF1 PAINTED - WHITE, SMOOTH SEMI GLOSS
 WF2 FRP - WHITE
 WF3 18 GA. STAINLESS STEEL PANELING TO 6" ABOVE TOP OF HOOD
 WF4 WAINSCOT UP TO +46" AFF, PAINTED CYP. BD. ABOVE
 WF5 CERAMIC TILE - 6X6
 WF6 EMBOSSED ALUMINUM

CEILING MATERIAL:
 CM1 24X24 T-BAR CEILING TILE - ARNSTRONG
 OR EQUAL
 CM2 5/8" GYPSUM BOARD
 CM3 5/8" TYPE "X" FIRE RATED GYPSUM BOARD
 CM4 EXISTING 24X48 T-BAR CEILING TILE (WHITE)
 REPLACE AS REQUIRED
 CM5 24X48 T-BAR CEILING TILE - ARNSTRONG
 OR EQUAL; WHITE SMOOTH VINYL OVER FOOD PREP AREAS
 CM6 EMBOSSED ALUMINUM
 CM7 OPEN EXPOSED CEILING

CEILING FINISH:
 CF1 PAINTED CYP. BD. - WHITE, SMOOTH
 CF2 ACOUSTICAL TILE
 CF3 ACOUSTICAL TILE (WHITE VINYL COATED)
 CF4 EMBOSSED ALUMINUM

* NOTE: CONCRETE SEALER - ABC CONSTRUCTION SPECIALTIES
 PEGA-COAT 9200
 1777 W. ARROW HIGHWAY SUITE #404 (800) 201-0022; www.abcconstructionspecialties.com

INTERIOR FINISH SCHEDULE

BUILDING GENERAL NOTES:

1. ALL COMBUSTIBLE BLOCKING AND/OR BACKING SHALL BE REMOVED FROM ANY PORTION OF THE BACK WALL ADJACENT TO OR WITHIN 2 FEET MEASURED HORIZONTALLY FROM ANY INTENDED GAS BURNING APPLIANCE

WALL LEGEND/SYMBOLS

	EXISTING BUILDING WALLS, TYP. AS SHOWN
	FULL HEIGHT WALL, TYP. AS SHOWN 8002162-43 STUDS @ 16" O.C., TYP. 5/8" CYP. BOARD BOTH SIDES FINISH AS PER INTERIOR FINISH SCHEDULE, SHT. ##
	FULL HEIGHT WALL, TYP. AS SHOWN 2X4 WOOD STUDS @ 16" O.C., TYP. 5/8" CYP. BOARD BOTH SIDES FINISH AS PER INTERIOR FINISH SCHEDULE, SHT. ##
	LOW HEIGHT WALL WITH GLASS SCREEN ON TOP, TYP. AS SHOWN 2X4 WOOD STUDS @ 16" O.C., TYP. 5/8" CYP. BOARD BOTH SIDES FINISH AS PER INTERIOR FINISH SCHEDULE, SHT. ##
	EXISTING WALL TO BE REMOVED (DASHED LINE)

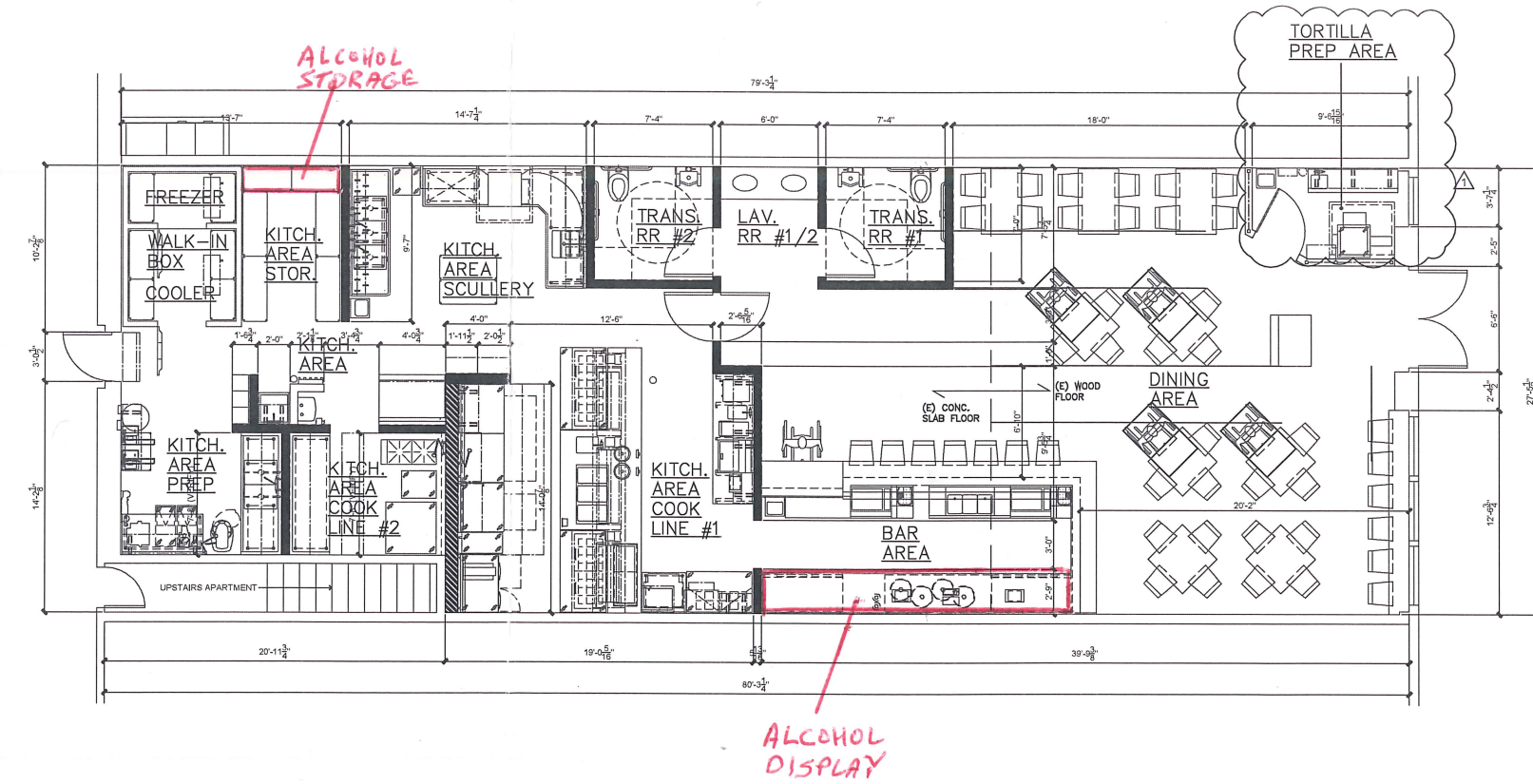
4 WALL LEGEND

SYMBOLS/DEFINITIONS

WALL MOUNTED SINGLE RECEPTACLE	FLOOR MOUNTED SINGLE RECEPTACLE	PICTAL STUB-UP W/72" LONG LEAD	WALL MOUNTED PHONE	WALL MOUNTED DISCONNECT SWITCH	VAPOR PROOF LIGHT
WALL MOUNTED DOUBLE RECEPTACLE	FLOOR MOUNTED DOUBLE RECEPTACLE	EXHAUST HOOD FIRE SYSTEM PULL	DATA/COMMUNICATION SYSTEM	FIXTURE MOUNTED SINGLE RECEPTACLE	SQUARE VAPOR PROOF LIGHT
WALL MOUNTED JUNCTION BOX	STUB-UP OR STUB-DN JUNCTION BOX	WALL MOUNTED EMPTY CONDUIT	WALL MOUNTED ALARM	FIXT. MTD. J-BOX / EQUIP. TERMINAL BLOCK	SOLENOID VALVE
SINGLE DROP CORD	PICTAL STUB-OUT OF WALL W/72" LEAD	WALL MOUNTED SWITCH	PLUGMOLD	FREEZER DOOR HEATER	T-STAT VALVE
DOUBLE DROP CORD	PICTAL STUB-UP W/72" LONG LEAD	INTERCONNECTING 3 WIRE DEFROST	WALL MOUNTED PULL-BOX		

3 PROPOSED FLOOR PLAN

1 INTERIOR FLOOR/WALL/CEILING FINISH/MATERIALS PLAN



SCALE: 1/4" = 1'-0"

TEX / MEX RESTAURANT
 147 N. GLENDORA AVENUE
 GLENDORA, CALIFORNIA 91741
 FLOOR PLAN

NOTE TO ALL BIDDERS:
 ELECTRICAL CONTRACTOR SHALL ACKNOWLEDGE HIS THOROUGH REVIEW OF ALL DOCUMENTS, LISTED NOTED ON THE SPECIFICATIONS. ACKNOWLEDGEMENT MUST BE RECEIVED WITH ORIGINAL BID OTHERWISE SUCH BID WILL BE IGNORED AND WILL NOT BE CONSIDERED.

THIS DRAWING HAS BEEN GENERATED FROM AVAILABLE INFORMATION & IS SUBJECT TO PHYSICAL JOBSITE VERIFICATION. ANY DEVIATION MUST BE DIRECTED TO THE ATT. OF ELEVEN POINT DESIGN GROUP.

THIS DRAWING IS & SHALL REMAIN THE SOLE PROPERTY OF ELEVEN POINT DESIGN GROUP. THEREFORE REPRODUCTION OF THIS DRAWING BY ANY MEANS IS AND WILL BE STRICTLY PROHIBITED.

DATE: 9/2/2024
 DRAWN: RMC
 SCALE: 1/4" = 1'-0"

A1
 SHT. NO. ### OF: ###

e2 design
 199 W. HILLCREST AVE.
 THOUSAND OAKS, CA 91362
 PHONE: 805.719.2223
 WWW.E2DSGN.COM

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT THE ARCHITECT'S PERMISSION AND UNLESS THE REPRODUCTION CARRIES THE NAME OF THE ARCHITECT. ALL RIGHTS AND OTHER INFORMATION SHOWN ON THE DRAWING ARE FOR USE ON THE SPECIFIC PROJECT ONLY AND SHALL NOT BE USED OTHERWISE WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. PROJECT DOCUMENTS DESCRIBE DESIGN INTENT OF WORK AND ARE NOT A REPRESENTATION OF AS-BUILT OR EXISTING CONDITIONS. ARCHITECT AND ITS CONSULTANTS MAKE NO REPRESENTATIONS CONCERNING THE ACCURACY OF DOCUMENTS AND ARE NOT RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND THE EXISTING CONDITIONS.

BREAD

GARLIC BREAD.....	8
CHEESE BREAD.....	10
CHEESE & BACON BREAD.....	11
CHEESE, BACON & JALAPENO BREAD.....	12

TO SHARE

BLACKENED RIB EYE & CHORIZO SPRING ROLLS (4).....	16
Served with chipotle aioli	
SOUTHERN FRIED CHICKEN WINGS (16).....	16
Sticky chicken wings tossed with our own special Jack Daniels BBQ sauce	
CHEESE & BACON FRIES.....	14
Streak fries topped with bacon pieces, egmont cheese & ranch dressing	
THE 3 AMIGO'S (V).....	14
Guacamole, tomato salsa & cheese sauce with corn chips	

SIDES

STEAMED SEASONAL VEGETABLES.....	7
CHIPOTLE SLAW.....	7
EXTRA CHEESE SAUCE, SOUR CREAM, GUACAMOLE OR AIOLI...3	

DESSERTS

CINNAMON SUGAR TOSSED CHURROS.....	16
Served with vanilla ice cream, berries and salted caramel dipping sauce	
TRIO OF GELATOS.....	14
Choose three flavours from our gelato range. Please ask our friendly wait staff for today's available flavours	

TEX-MEX

LOADED SCHNITZELS

	M	G
LOADED SCHNITZEL.....	29	35
DOUBLE 2 X LOADED SCHNITZELS.....	49	55
TRIPLE 3 X LOADED SCHNITZEL CHALLENGE.....	69	75
COMPLETE THE TRIPLE LOADED SCHNITZEL CHALLENGE IN UNDER 1 HOUR TO WIN A PANTHEAD T-SHIRT (RRP \$40) and join our TRIPLE LOADED SCHNITZEL CHALLENGE Wall of Fame		

BBQ RIBS

All BBQ ribs come served with fries & salad or mash & vegetables

BBQ PORK RIBS - HALF RACK (500G).....	40
- FULL RACK (1KG).....	60

Succulent fall-off-the-bone tenderness & served with our homemade Jack Daniels BBQ sauce

RIBS 'N' RIB EYE COMBO.....	52
-----------------------------	----

200g of slow cooked blackened rib eye, served with a half rack of succulent pork ribs with our homemade Jack Daniels BBQ sauce

RIBS 'N' CHICKEN COMBO.....	43
-----------------------------	----

Sticky chicken wings, served with a half rack of succulent pork ribs & homemade Jack Daniels BBQ sauce

RIBS & BURRITO COMBO.....	43
---------------------------	----

Chicken or beef burrito topped with salsa and cheese sauce, served with a half rack of succulent pork ribs & homemade Jack Daniels BBQ sauce

RIB 'N' RATTLE COMBO.....	52
---------------------------	----

200g blackened rib eye coated in our own blend of spices, chilli and breadcrumbs, served with a half rack of succulent pork ribs & chipotle hollandaise

EL CABALLERO COMBO.....	52
-------------------------	----

Chargrilled 200g blackened rib eye with five sticky chicken wings, one chicken or beef burrito, & a quarter serve of our BBQ pork ribs



JOHNNY OCTANE - Slow cooked beef strips, Jack Daniels BBQ sauce, topped with cheese sauce & fries

TYRE FRYER - Southern fried wings tossed in Jack Daniels BBQ sauce, onion rings, fries & sriracha aioli

MOTOR MOUTH - 200g pork ribs, bacon, fries & smoked chilli hollandaise

HARDTAIL HENRY* - Guacamole, jalapeños, corn chips, fries, cheese sauce & Mexican salsa

*HARDTAIL HENRY also available with plant-based schnitzel (V)

STEAKS

All steaks come served with fries & salad or mash & vegetables

*All steaks sizes are approximate and based on pre-cooked weight

SLOW COOKED RIB EYE - 300G.....	36
- 600G.....	56

We baste the whole rib eye roll with special herbs and blackened smoke marinade prior to 18 hours of slow roasting. Your steak will be hand cut from the whole roasted rib eye and grilled. Due to the slow cooking process this steak will come out 'medium' unless requested to be cooked longer.

GRASS FED T-BONE - 500G.....	42
BLACK ANGUS RUMP - 300G.....	36
GRASS FED SIRLOIN - 300G.....	36

SAUCES

Jack Daniels BBQ, Diane, peppercorn, mushroom.....	4
chipotle aioli, chipotle hollandaise.....	4
Garlic prawn sauce.....	9

TIJUANA SLOW COOKED RIB EYE - 300G.....	40
- 600G.....	60

Blackened slow cooked rib eye served 'medium' topped with grilled bacon, guacamole & cheese sauce

ACAPULCO SLOW COOKED RIB EYE - 300G.....	40
- 600G.....	60

Blackened slow cooked rib eye served 'medium' topped with grilled prawns & creamy garlic sauce

THE RATTLE STEAK - THE STEAK WITH A BITE.....	38
---	----

300g blackened rib eye steak coated in our blend of spices, chilli and breadcrumbs then fried 'til golden & served with chipotle hollandaise

HOUSE SPECIALS

LONE RANGER BURGER.....	32
Double flame grilled Angus beef patties topped with double bacon, double American cheese, sriracha aioli & caramelised onion, served on a milk bun with fries & salad	

18 HOUR SLOW ROAST STEAK BURGER.....	32
200g of cooked blackened rib eye topped with bacon, chorizo, caramelised onion & cheese with lettuce, tomato, cucumber, beetroot & sriracha aioli on Turkish bread with fries & salad	

SOUTHERN FRIED CHICKEN STEAK.....	35
Southern spiced crispy chicken breast fillet, cooked 'til golden, topped with bacon & cheese sauce, served with fries & salad	

VEGETARIAN SCHNITZEL (V).....	30
Two plant-based schnitzels, topped with neapolitan sauce & cheese, served with fries & salad	

CHICKEN SCHNITZEL.....	30
320g golden fried chicken schnitzel served with gravy, fries & salad	

GRILLED CHICKEN BREAST.....	32
Char grilled chicken breasts, brushed with olive oil & Mexican spices, served with grilled bacon, lime rice, steamed broccolini, corn salsa, and ranch dressing	

MEXICAN

BURRITO (2) (GF AVAILABLE).....	25
---------------------------------	----

Soft flour tortillas rolled with your choice of beef, chicken or vegetarian, with salsa & cheese sauce, served with lime rice, fries & salad

CHIMICHANGA (2).....	27
----------------------	----

2 soft flour tortillas rolled with your choice of chicken or beef, deep fried, topped with salsa & cheese sauce, served with lime rice, fries & salad

FAJITAS (3) (GF AVAILABLE).....	28
---------------------------------	----

Flour tortillas for you to fill, with your choice of chicken, beef or vegetarian, which have been pan fried with capsicum, onion & salsa, served with sour cream, guacamole, lime rice & salad

NACHOS (GF AVAILABLE).....	28
----------------------------	----

Corn chips topped with your choice of beef, chicken or vegetarian, topped with cheese served with guacamole & sour cream

BIG ASS BURRITO (GF AVAILABLE).....	35
-------------------------------------	----

Huge flour tortillas with your choice of beef, chicken or vegetarian, with lettuce, rice, cheese and salsa served with guacamole & sour cream



NOTICE OF PUBLIC HEARING

Planning Commission

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Glendora will hold a public hearing pursuant to §21.01.030 (E) and §21.02.020, of the Glendora Municipal Code in the City Council Chamber of City Hall, 116 E. Foothill Boulevard, Glendora, California, to receive and consider all evidence and reports relating to the following application/project:

Hearing Date: Tuesday, May 6, 2025, at 7:00 p.m.

File Number: PLN24-0047

Subject Property: 147 N. Glendora Ave, Glendora, CA 91741

Request: Conditional Use Permit (CUP) to allow beer and wine sales (on-site consumption) within a restaurant (Mama Canela Restaurant).

Applicant: Annette McCormick-Witkofsky (Property Owner) on behalf of Wil Nieves (Mama Canela LLC)

General Plan Land Use / Zoning: Civic Center Area Plan – Village Core (CCAP-T-5)

Environmental: To comply with the California Environmental Quality Act (CEQA) a Categorical Exemption is being recommended for this project pursuant to §15301(a) of CEQA guidelines.

Contact Person: Earvin Adolfo, Planning Technician
(626) 852-4834 or eadolfo@cityofglendora.gov

All interested parties are invited to attend said hearing and express their views on this matter. Should you be unable to attend the public hearing, your testimony must be made in writing and delivered prior to the scheduled hearing date as follows: City Clerk Department, 116 E. Foothill Blvd, Glendora, CA, 91741, City_Clerk@cityofglendora.gov.

Further information on this item will be posted to the city's website at CityofGlendora.gov/citymeetings and will be on file for public inspection and copying for the cost of duplication, at the office of the City Clerk, 116 E. Foothill Blvd, Glendora, CA, between the hours of 8:00 a.m. and 5:00 p.m., Monday through Friday, exclusive of holidays, within those hours for agenda posting and public inspection as required by the Ralph M. Brown Act, California Government Code § 54950 et seq. as applicable to this meeting.

Staff has determined that the original project is Categorically Exempt from the provisions of CEQA under §15303(c) and §15332.

Further Information on the above application may be obtained or viewed at the Community Development Department Planning Division, located at 116 E. Foothill Blvd, Glendora, CA, 91741 or by telephone at (626) 914-8214.

If you challenge this action(s) in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

Kathleen R. Sessman, MMC
City Clerk

Mailed: April 24, 2025
Published: April 24, 2025 (*San Gabriel Valley Examiner*)

CERTIFICATION

I, hereby certify that I posted a copy of this Notice on the bulletin board outside the City Hall Council Chamber, 116 E. Foothill Boulevard on April 24, 2025.

Kathleen R. Sessman, MMC
City Clerk





CONDITIONAL USE PERMIT 147 N. GLENDORA AVE.

COMMUNITY DEVELOPMENT

PLANNING COMMISSION

MAY 6, 2025

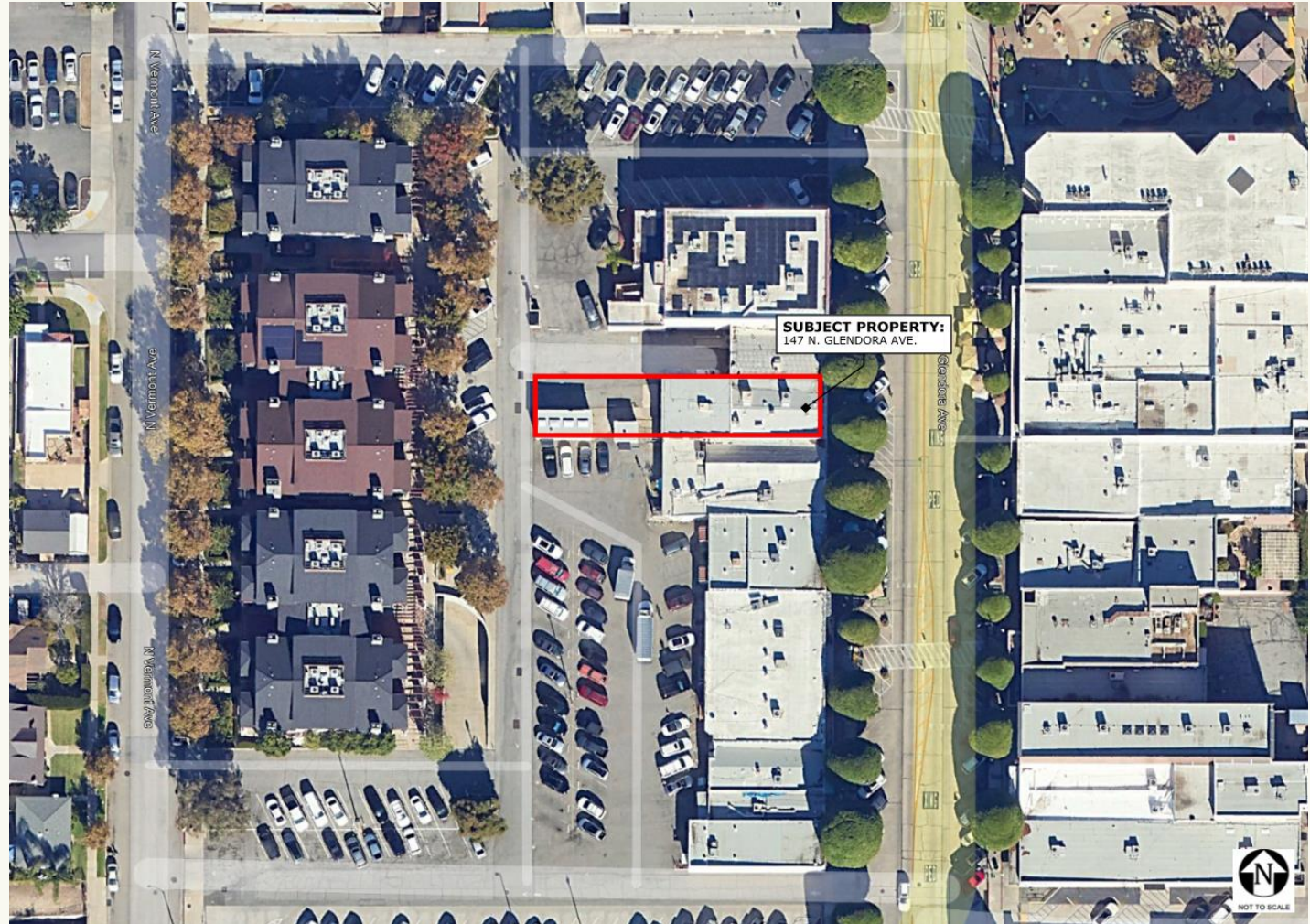
EARVIN ADOLFO, PLANNING TECHNICIAN



RECOMMENDATIONS

1. Adopt a Categorical Exemption pursuant to §15303 of the California Environmental Quality Act Guidelines; and
2. Adopt a Planning Commission Resolution entitled, “A RESOLUTION OF THE PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT TO ALLOW ALCOHOL SALES (ON-SALE GENERAL) FOR ON-SITE CONSUMPTION IN CONJUNCTION WITH A RESTAURANT (MAMA CANELA RESTAURANT) (PROJECT FILE NO. PLN24-0047).”

PROJECT LOCATION

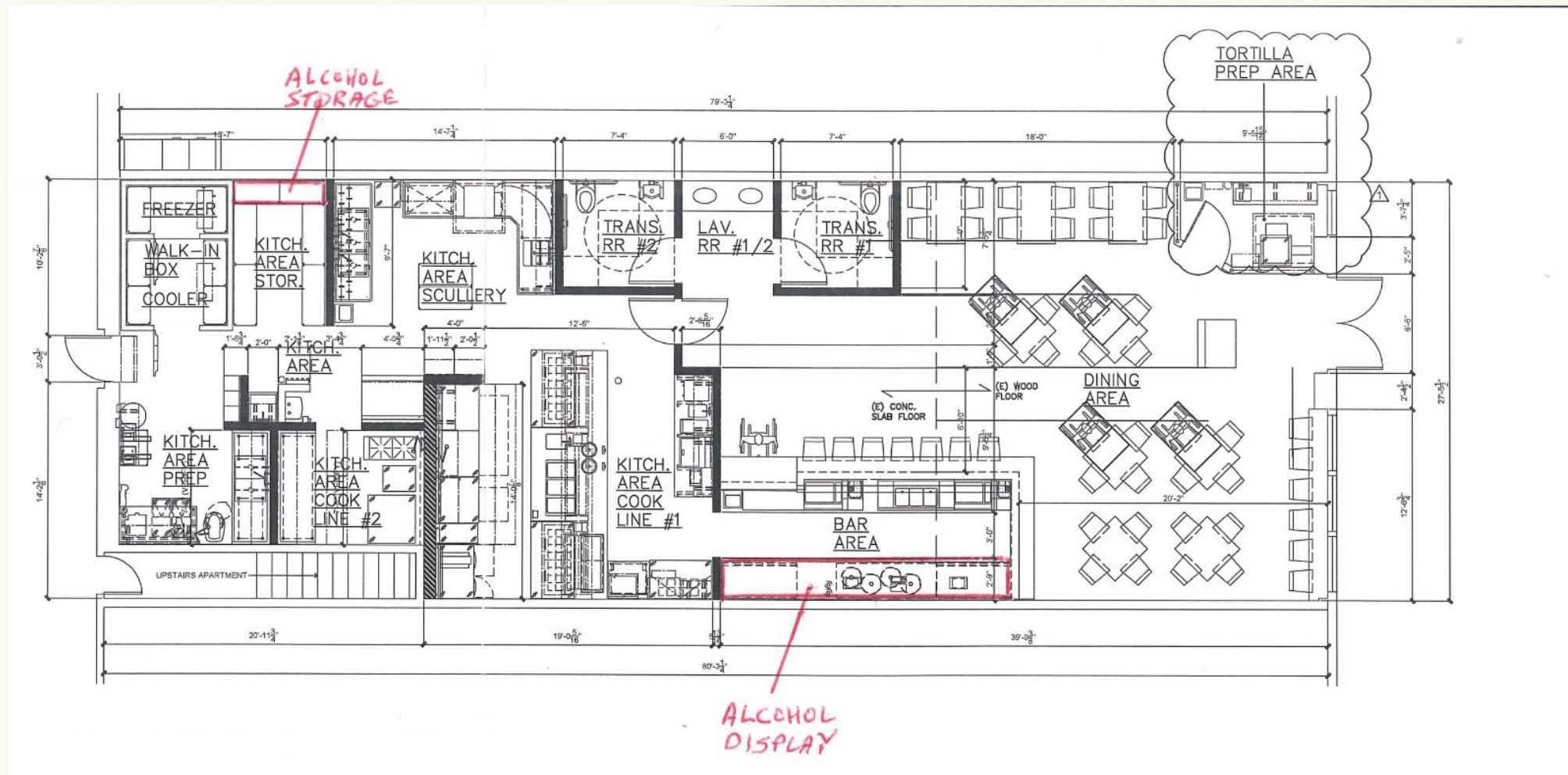


BUSINESS DESCRIPTION

- Hours of operation:
- Sunday through Thursday 6:00 AM to 10:00 PM
- Friday and Saturday 6:00 AM to 11:00 PM
- Described as a mid-sized specialty serving Tex-Mex cuisine.
- Alcohol will only be sold for consumption inside and outside on a street-side outdoor patio.



SITE PLAN



PARKLET – OUTDOOR DINING





REQUEST

- The applicant has requested a CUP to allow alcohol sales (On-Sale General) for a new fast-casual restaurant, which is required for sites within the CCAP-T-5 zoning district, pursuant to GMC §21.06.070.



PUBLIC NOTICE

- A Notice of Public Hearing was published in the *San Gabriel Valley Examiner* and mailed to all property owners within 300 feet of the subject property on April 24, 2025.

RECOMMENDATIONS

That the Planning Commission:

1. Adopt a Categorical Exemption for the project pursuant to §15301 of the California Environmental Quality Act (CEQA) Guidelines; and
2. Adopt a Planning Commission Resolution entitled, "A RESOLUTION OF THE PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT TO ALLOW ALCOHOL SALES (ON-SALE GENERAL) FOR ON-SITE CONSUMPTION IN CONJUNCTION WITH A RESTAURANT (MAMA CANELA) (PROJECT FILE NO. PLN24-0047)."



STAFF REPORT

TO: Chair and Commissioners

DATE: May 6, 2025

FROM: City Clerk

DISTRICT(S): Not Applicable

SUBJECT: Affirm minutes from the April 1, 2025 Planning Commission meeting

RECOMMENDATION

That the Planning Commission:

1. Affirm minutes as presented.

STRATEGIC FOCUS AREAS

Not Applicable

EXECUTIVE SUMMARY

This staff report requests affirmation of the minutes from previous meetings. The minutes have been prepared and reviewed in accordance with city procedures and transparency requirements. Affirming these minutes ensures the accuracy and integrity of the official record. Staff recommends approval to maintain proper documentation and compliance with meeting protocols.

LEGISLATIVE HISTORY / PREVIOUS ACTIONS

Not Applicable.

DISCUSSION

Pursuant to City's standard practices and the Brown Act, meeting action minutes are reviewed and affirmed by the legislative body to ensure transparency and accuracy in government proceedings. The action minutes for the April 1, 2025 meeting were compiled based on staff notes and official recordings. No requests for revisions or amendments have been received to date.

By affirming minutes, legislative body acknowledge their accuracy and preserve them as an official record of the meeting. If any corrections or amendments are desired, they can be addressed before final affirmation.

FISCAL IMPACT

There is no fiscal impact associated with this action.

ENVIRONMENTAL DETERMINATION

There are no environmental impacts with this action.

Prepared By

Lorena Cordova, City Clerk Specialist

Concurs With

Not Applicable

Reviewed By

Kathleen Sessman, City
Clerk/Communications Director
Mark Carnahan, City Planner

Certified to Availability of Funds

Not Applicable

Approved By

Not Applicable

Legal Review

Not Applicable

CEQA Review

Not Applicable

ATTACHMENTS:

A. April 1, 2025 Meeting Minutes

Attachments

[A. April 1, 2025 - Meeting Minutes.pdf](#)



CALL TO ORDER

The Planning Commission meeting was called to order at 7:00 PM.

ROLL CALL

Members Present: Mark Davis, Paulette Koss, Vice-Chair Timothy Cremins, Chair Brian Faber

Members Absent: Kurt Norwood

Staff Present: Assistant City Attorney Judy Baladi, City Planner Mark Carnahan, Senior Planner Yalini Siva, Associate Planner Donovan Colon, Digital Media Specialist Craig Gill, Senior Digital Media Specialist Greg Morton, City Clerk Specialist Lorena Cordova

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Chair Faber.

REORDERING OF AND ADDITIONS TO THE AGENDA

There were no requests received.

PUBLIC COMMENT

1. Public Comments received
There was no one wishing to provide comment.

COMMISSIONER STATEMENTS/REPORTS

There were no statements or reports given.

DIRECTOR/STAFF LIAISON AND ATTORNEY STATEMENTS

There were no statements or reports given.

PUBLIC HEARINGS

2. Nonconforming Lot Development Plan Review for new single-family residential house at 1050 Coronet Street (Project File No. PLN24-0024)

Item title was read into the record, and the Public Hearing was declared open. There was no one wishing to provide testimony. Public Hearing was declared closed.

A motion was made by Commissioner Koss, seconded by Vice-Chair Cremins, that the Planning Commission 1. Adopt a Categorical Exemption pursuant to 15332 of the California Environmental Quality Act Guidelines (CEQA); and 2. Adopt Planning Commission **Resolution PC 2025-07** entitled, "A RESOLUTION OF THE PLANNING COMMISSION APPROVING A NONCONFORMING LOT DEVELOPMENT PLAN REVIEW FOR DEVELOPMENT OF A NEW TWO-STORY SINGLE-FAMILY RESIDENTIAL HOUSE AT 1050 CORONET STREET (PROJECT FILE NO. PLN24-0024)." Motion carried 4 - 0 as follows: AYES: Davis, Koss, Cremins, Faber; NOES: None; ABSENT: Norwood; ABSTAIN: None.

3. Development Plan Review for hillside grading associated with the development of a single-family dwelling at 945 N. Silent Ranch Drive (Project File No. PLN24-0020)

Item title was read into the record, and the Public Hearing was declared open. There was no one wishing to provide testimony. Public Hearing was declared closed.

A motion was made by Commissioner Koss, seconded by Commissioner Davis, that the Planning Commission 1. Adopt a Categorical Exemption pursuant to 15332 of the California Environmental Quality Act Guidelines (CEQA); and 2. Adopt Planning Commission **Resolution PC 2025-08** entitled, A RESOLUTION OF THE PLANNING COMMISSION APPROVING A DEVELOPMENT PLAN REVIEW FOR A NEW TWO-STORY FAMILY RESIDENTIAL HOUSE AND ASSOCIATED GRADING AT 945 N. SILENT RANCH DRIVE. (PROJECT FILE NO. PLN24-0020).” Motion carried 4 - 0 as follows: AYES: Davis, Koss, Cremins, Faber; NOES: None; ABSENT: Norwood; ABSTAIN: None.

CONSENT CALENDAR

A motion was made by Commissioner Koss, seconded by Vice-Chair Cremins, to approve Consent Calendar Item #4 as presented. Motion carried 4 - 0 as follows: AYES: Davis, Koss, Cremins, Faber; NOES: None; ABSENT: Norwood; ABSTAIN: None.

4. Affirm minutes from the March 4, 2025 Regular Meeting

The Planning Commission affirmed the minutes as presented.

COMMISSION/STAFF CLOSING COMMENTS

Commissioner Koss thanked staff for all the information provided.

Chair Faber thanked staff.

City Planner Carnahan commented on April 26, 2025 Earth Day Festival and confirmed that a May 2025 Planning Commission meeting will be held and outlined upcoming items.

ADJOURNMENT

Meeting adjourned at 7:30 PM.

Lorena Cordova
City Clerk Specialist

Kathleen R. Sessman, MMC
City Clerk/Communications Director

Minutes were affirmed on _____.