

Planning and Zoning Commission
6:30PM - 9:30PM

Wednesday, April 10, 2024, 6:30 PM
Council Chambers
200 S. Main St.
Cibolo, Texas 78108

Est. Duration: 2 hr 10 min

1: Call to Order

2: Roll call and Excused Absences

2A. Excused Absence

3: Invocation/Moment of Silence

4: Pledge of Allegiance

5: Public Hearings

5A. Public Hearing regarding a Conditional Use Permit for a Fitness Studio/Health Spa use for property located at 2251 FM 1103, Suite #106, legally described as CIBOLO VALLEY SQUARE LOT #1 BLK #1 3.21 ACS.

5B. Public Hearing regarding a proposed amendment to Ordinance 1437 concerning the Conditional Use Permit for a Concrete Asphalt Batching Plant (Temporary) use for property located at 10833 IH-10, legally described as ABS: 134 SUR: JOSE FLORES 7.5100 AC.

5C. Public Hearing regarding a Conditional Use Permit (CUP) request to allow Hotel/Motel (Bed and Breakfast) use for certain real property located at 102 Short Street, legally described as ABS: 216 SUR: A S LEWIS 0.210 ACRES; ABS: 216 SUR: A S LEWIS 0.0600 ACRES.

6: Citizens to be Heard

This is the only time during the Meeting that a citizen can address the Commission. It is the opportunity for visitors and guests to address the Commission on any issue to include agenda items. All visitors wishing to speak must fill out the Sign-In Roster prior to the start of the meeting. The Commission may not deliberate any non-agenda issue, nor may any action be taken on any non-agenda issue at this time; however, the Commission may present any factual response to items brought up by citizens. (Attorney General Opinion - JC-0169) (Limit of three minutes each.) All remarks shall be addressed to the Commission as a body. Remarks may also be addressed to any individual member of the Commission so long as the remarks are (i) about matters of local public concern and (ii) not disruptive to the meeting or threatening to the member or any attendee. Any person violating this policy may be requested to leave the meeting, but no person may be requested to leave or forced to leave the meeting because of the viewpoint expressed. This meeting is livestreamed. If anyone would like to make comments on any matter regarding the City of Cibolo or on an agenda item and have this item read at this meeting, please email pcimics@cibolotx.gov or telephone 210-566-6111 before 5:00 pm the date of the meeting.

7: Consent Agenda

(All items listed below are considered to be routine and non-controversial by the commission and will be approved by one motion. There will be no separate discussion of these items unless a commission member requests, in which case the item will be removed from the consent agenda.)

7A. Approval of the minutes from the March 13, 2024, Planning & Zoning Commission Meeting.

8: Executive Session

The Planning & Zoning Commission will convene in Executive Session as authorized by the Texas Gov't Code Chapter 551, Section 551.071, Consultation with Attorney, to deliberate and seek legal advice.

8A. Disannexation of properties in the City's ETJ.

9: Open Session

The Commission will reconvene into Regular Session and take/or give direction or action, if necessary, on items discussed in the Executive Session.

10: Discussion/Action Items

- 10A. Discussion/Action and Recommendation to the Mayor and City Council regarding the Preliminary Plat of Lance Crossing.
- 10B. Discussion/Action and Recommendation to the Mayor and City Council regarding a Conditional Use Permit for a Fitness Studio/Health Spa use for property located at 2251 FM 1103, Suite #106, legally described as CIBOLO VALLEY SQUARE LOT #1 BLK #1 3.21 ACS.
- 10C. Discussion/Action and Recommendation to the Mayor and City Council regarding a proposed amendment to Ordinance 1437 concerning the Conditional Use Permit for a Concrete Asphalt Batching Plant (Temporary) use for property located at 10833 IH-10, legally described as ABS: 134 SUR: JOSE FLORES 7.5100 AC.
- 10D. Discussion/Action and Recommendation to the Mayor and City Council regarding a Conditional Use Permit (CUP) request to allow Hotel/Motel (Bed and Breakfast) use for certain real property located at 102 Short Street, legally described as ABS: 216 SUR: A S LEWIS 0.210 ACRES; ABS: 216 SUR: A S LEWIS 0.0600 ACRES.
- 10E. Discussion/Action and Recommendation to the Mayor and City Council on the Petition from Barbara Nehr and Joy Striegl related to the Property legally described as ABS: 141 SUR: F GARCIA 38.5854 AC. TR pursuant to Legislative Authority as authorized by Texas Local Government Code Section 42.023.
- 10F. GVEC Update on Partnership with the City of Cibolo Presentation

11: UDC, CIP, Master Plan and Staff Updates and Items for Future Agendas

- 11A. Planning Department - Staff Update
- 11B. Update from Commission Members who Attended Training
- 11C. Items for Future Agendas

12: Adjournment

- 12A. Adjourn Meeting

This Notice of Meeting is posted and pursuant to the Texas Government Code 551.041 - .043 on the front bulletin board of the Cibolo Municipal Building, 200 South Main Street, Cibolo, Texas which is a place readily accessible to the public at all times and that said notice was posted on

Peggy Cimics, TRMC

City Secretary

Pursuant to Section 551.071, 551.072, 551.073, 551.074, 551.076, 551.077, 551.084 and 551.087 of the Texas Government Code, the City of Cibolo reserves the right to consult in closed session with the City Attorney regarding any item listed on this agenda. This agenda has been approved by the city's legal counsel and subject in any Executive Session portion of the agenda constitutes a written interpretation of Texas Government Code Chapter 551.

This has been added to the agenda with the intent to meet all elements necessary to satisfy Texas Government Code Chapter 551.144.

A possible quorum of committees, commissions, boards and corporations may attend this meeting.

This facility is wheelchair accessible and accessible parking space is available. Request for accommodation or interpretive services must be made 48 hours prior to the meeting. Please contact the City Secretary at (210) 566-6111. All cell phones must be turned off before entering the meeting.

I certify that the attached notice and agenda of items to be considered by the Planning and Zoning Commission was removed by me from the City Hall bulletin board on the ____ day of _____ 2024.

Name and Title

Date Posted: April 5, 2024



Planning and Zoning Commission Staff Report

Public Hearing regarding a Conditional Use Permit for a Fitness Studio/Health Spa use for property located at 2251 FM 1103, Suite #106, legally described as CIBOLO VALLEY SQUARE LOT #1 BLK #1 3.21 ACS.

Table with 2 columns: Meeting, Agenda Group, From, Staff Contact(s). Meeting: Wednesday, April 10, 2024, 6:30 PM. Agenda Group: Public Hearings, Item: 5A. From: Lindsey Walker, Planner I. Staff Contact(s): Lindsey Walker.

PLANNING & ZONING COMMISSION ACTION: Conduct 1st Public Hearing

PROPERTY INFORMATION:

Project Name: CUP-24-03

Owners: 2251 FM 1103, Ltd.

Representative: Edgar Gamboa, JCG Management Holdings, LLC

Location/Area: 2251 FM 1103, Suite #106, 3.21 acres

Location: FM 1103, south of Green Valley Road

Council District: 5

Future Land Use: Neighborhood Commercial

Existing Zoning: Neighborhood Commercial (C-1)

Requested Zoning: Conditional Use Permit (CUP)

Proposed Use: Jiu Jitsu Studio

FINDINGS:

A zoning request is specifically about land use, not the future engineering of the land itself, and should meet criteria per UDC Article 4.3.1.5. Decisions regarding future engineering of the land occur with the platting process, where the property's design is known. The applicant lot is in the Cibolo Valley Square shopping center, south of Green Valley Road. Across from FM 1103 is the Heights of Cibolo residential subdivision, which is within the High Density Singly-Family (SF-6) residential zoning district. Two undeveloped properties, also within the Neighborhood Commercial (C-1) zoning district, are directly north and south of the property. To the west is undeveloped land within the Low Density Single-Family (SF-2) residential zoning district. The Cibolo Valley Square shopping center currently contains a dental office, an optometrist, a salon, and one vacant suite. The applicant is requesting a Conditional Use Permit to allow Fitness Studio/Health Spa use, which includes martial arts studios such as the proposed Jiu Jitsu studio.

PUBLIC NOTICE:

Notice was published within the local newspaper (Seguin Gazette) on March 24, 2024, and the City Website. Individual letters were sent by mail to 19 property owners within 200' of the site. To date, Staff has received zero (0) in favor of and zero (0) in opposition. Public Hearings were scheduled for April 10, 2024, (Planning and Zoning Commission) and on April 23, 2024, (City Council). Approval/Disapproval of the zoning ordinance is tentatively scheduled for the May 14, 2024, City Council meeting.

STAFF CONCLUSIONS:

Staff recommends, should Council approve the CUP for a Fitness Studio/Health Spa use for property located at 2251 FM 1103, Suite #106, that it be subject to the following conditions:

- 1. Building & Fire Codes - Applicant must comply with all Building and Fire Code requirements.

2. Permits & Inspections – All required building permits and Certificate of Occupancy must be obtained. All permit applications submitted for this property are subject to the requirements of the Code.
3. Additional Uses – No other conditional uses are allowed under this conditional use permit.
4. C-1 Regulations – All regulations of the Neighborhood Commercial (C-1) Zoning District, other than those amended by the Conditional Use Permit, apply to the Property.

PLANNING & ZONING COMMISSION ACTION:

1. Recommend **Approval** of the requested Conditional Use Permit for a Fitness Studio/Health Spa use for property located at 2251 FM 1103, Suite #106, legally described as CIBOLO VALLEY SQUARE LOT #1 BLK #1 3.21 ACS.
2. Recommend **Approval** of the requested Conditional Use Permit for a Fitness Studio/Health Spa use for property located at 2251 FM 1103, Suite #106, legally described as CIBOLO VALLEY SQUARE LOT #1 BLK #1 3.21 ACS, *and any additional conditions Commission may require.*
3. Recommend **Denial** of the requested Conditional Use Permit for a Fitness Studio/Health Spa use, *with findings.*

STAFF ANALYSIS:

Unified Development Code (UDC) Section 4.3.2 – Conditional Use Permit Approval Considerations

A CUP is intended to provide some flexibility to traditional zoning by offering a mechanism to balance specific site constraints and development plans with the larger interest of the community and the integrity of the UDC. An application for a CUP follows the same process as a Zoning Map Amendment Process (rezoning). The Permit, if granted, may include conditions placed upon the development of the property. The Planning & Zoning Commission and City Council shall consider the following, at a minimum, in conjunction with its deliberations for approval or denial of the application and the establishment of conditions: *(for reference, UDC and Comprehensive/Master Plan)*

A. Consistency with the Comprehensive Master Plan;

Comprehensive/Master Plan – Future Land Use Categories – Neighborhood Commercial

Appropriate Land Use Types: The appropriate primary and secondary uses allowed in areas designated as Neighborhood Commercial include all of the commercial and civic uses set out in Neighborhood Commercial (C-1) district in the City's Code of Ordinances. Primary uses allowed in the Neighborhood or Transitional Residential future land use categories could be considered as long as they were part of a larger planned unit development and comprise no more than 25 percent of the land area devoted to the entire development.

Compatible Zoning Districts (P.43 from Comp Plan):

Neighborhood Commercial (C-1) | Planned Unit Development (PUD)

STAFF FINDING: The request for Fitness Studio/Health Spa complies with the Comprehensive Master Plan as it is an allowable use within the Neighborhood Commercial land use type and C-1 zoning district per UDC Sec. 13.2 with an approved CUP.

B. Conformance with applicable regulation in this UDC and standards established by the UDC;

STAFF FINDING: The Cibolo Valley Square commercial center was platted in 2017. A site plan for the center was subsequently approved in 2018. The applicant meets off-street parking requirements according to Sec. 10.2, which requires one parking stall per two persons for martial art studios, without affecting the neighboring businesses sharing the same parking lot. Like the maximum number of required parking spaces, UDC regulations were addressed during site plan review. Therefore, the request conforms with all applicable regulations and standards of the UDC.

C. Compatibility with existing or permitted uses on abutting sites, in terms of building height, bulk, scale, setbacks and open spaces, landscaping and site development, and access/circulation.

UDC Section 14.O.11 Neighborhood Commercial

a. Intent – The Neighborhood Commercial district is established to provide for a limited variety of commercial uses and services associated with neighborhood storefront retail, service, financial, and office activities which are compatible and designed in scale with surrounding residential areas. The intent of this District is to provide convenient neighborhood access to commercial services, and minimize undesirable impacts such as noise, traffic and odors through performance standards.

b. Permitted uses – limited office and retail uses and services which are compatible and designed in scale with surrounding residential areas.

c. Specific uses – subject to Site Plan approval, limited office, retail and service uses which are compatible and designed in scale with surrounding residential areas.

Lot Area	Lot Width	Front Setback	Rear Setback	Side Setback	Max Impervious Coverage	Maximum Height
None	50'	20'	20'	10'	70%	35'

STAFF FINDING: The UDC provides lot design guidelines within the C-1 Zoning District that are designed in scale for compatibility with surrounding mix of commercial and residential areas. The applicant is leasing a suite within the Cibolo Valley Square commercial center, which already complies with UDC lot design requirements.

D. Potential unfavorable impacts on existing or permitted uses on abutting sites, the extent that such impacts exceed those which reasonably may result from use of the site by a permitted use;

UDC Section 13.2 Uses allowed by right and with a Conditional Use Permit (CUP).

C-1 uses allowed by right	C-1 allowed with CUP
Administrative and Business Offices	Administrative Services
Artisan Sales	Business or Trade School
Artisan/ Culinary Classes (Specialty Classes)	Business Services
Assembly	Community Treatment Facility *
Business Support Services	Concrete/Asphalt Batching Plant (Temporary)
Clinic	Convalescent Services
Club or Lodge	Farmers Market
Consumer Repair Services	Fitness Studio/ Health Spa
Cultural Services	Local Convenience Store (With Fuel Sales)
Day Care Services (General Commercial)	Local Convenience Store (Without Fuel Sales)
Day Care Services (Group)	Nursery School
Financial Services	Pet Services
Food Sales; Grocery	Primary Educational Facilities
General Retail Sales, Neighborhood Scale	Restaurant, Fast Food
Health Care Offices	Secondary Educational Facilities
Laundry Services: Dry Cleaning	Veterinary Services
Life Care Services *	
Local Convenience Store (With Fuel Sales)	
Local Utility Services	
Personal Services	
Postal Facilities	
Professional office	
Restaurant, Convenience	
Restaurant, Neighborhood	
Safety Services	

*Subject to supplemental use regulations of UDC Article 6.

STAFF FINDING: This use is suitable for the district provided the CUP is approved. Staff does not foresee any unfavorable impacts as this is a low-intensity, low-traffic use.

E. Modifications to the site plan which would result in increased compatibility or would mitigate potentially unfavorable impacts or would be necessary to conform to applicable regulations and standards and to protect the public health, safety, morals and general welfare.

Comprehensive/Master Plan - Future Land Use Categories - Neighborhood Commercial

Moving Forward - New neighborhood commercial development should be located and take access from a collector roadway or greater in functional classification. The gross floor area of nonresidential uses (excluding Institutional) should

be as follows: local street (5,000 sf); collector street (10,000 sf); and arterial street (25,000 sf). Residential mixed use should be allowed, provided that it is part of a planned unit development and does not constitute more than 25 percent of the development. No drive-throughs should be allowed, bay doors should be placed perpendicular to the public right-of-way, and signage should be appropriately scaled to reflect neighborhood-serving uses.

STAFF FINDING: The proposed martial arts studio is compatible with the surrounding residential and commercial uses as it is a low-intensity business that encourages health and wellness of the community. Therefore, the request conforms with all applicable regulations as well as the intent of the Comprehensive Master Plan.

F. Safety and convenience of vehicular and pedestrian circulation in the vicinity, including traffic reasonably expected to be generated by the proposed use.

STAFF FINDING: Fitness Studio/Health Spa use does not typically generate high levels of traffic. Therefore, staff do not foresee major impacts to traffic as a result of granting the CUP.

ATTACHMENTS:

The attachments for this item are with the Discussion/Action staff report which is later in the agenda.



Planning and Zoning Commission Staff Report

Public Hearing regarding a proposed amendment to Ordinance 1437 concerning the Conditional Use Permit for a Concrete Asphalt Batching Plant (Temporary) use for property located at 10833 IH-10, legally described as ABS: 134 SUR: JOSE FLORES 7.5100 AC.

Table with 2 columns: Meeting (Wednesday, April 10, 2024, 6:30 PM) and Agenda Group (Public Hearings, Item: 5B). Second table with 2 columns: From (Lindsey Walker, Planner I) and Staff Contact(s) (Lindsey Walker).

PLANNING & ZONING COMMISSION ACTION: Conduct 1st Public Hearing

PROPERTY INFORMATION:

Project Name: CUP-23-03
Owners: MLM Trust
Representative: Miya Janes-Green, Webber LLC
Location/Area: 10833 IH-10, 7.51 acres
Council District: 7
Future Land Use: Business Center & Industrial
Existing Zoning: Mixed Use Regional Employment Center (MURE)
Requested Zoning: Conditional Use Permit (CUP)
Proposed Use: Concrete Asphalt Batching Plant (Temporary) on 6.676 acres out of total acreage

FINDINGS:

The applicant was granted a Conditional Use Permit (CUP) to allow Concrete Asphalt Batching Plant (Temporary) use on January 23, 2024. As stipulated by Ordinance No. 1437, the CUP was subject to the following conditions:

- 1. Time Restriction - This CUP shall effectively expire on December 31, 2026, and shall not be valid thereafter; however, the applicant may apply for an extension of this CUP prior to December 31, 2026, if more time is needed to complete the applicant's contractual work for the Texas Department of Transportation and/or its affiliates. Any extension of this CUP shall be limited to a period of time not to exceed twelve (12) months.
2. Plat - Within 30 days of the date on which this CUP is approved, the owner/applicant shall submit a valid and completed plat application as required by the UDC or, alternatively, initiate the process to obtain a variance or other waiver from any applicable platting requirements. This CUP amendment extends the time period for submittal by another 30 days.
3. Site Plan - An official site plan submittal, in accordance with the UDC, shall be submitted within 30 days of the date on which this CUP was granted. The concrete batching plant use and related activities permitted by this CUP may not substantially deviate from the submitted conceptual/preliminary site plan attached in Ordinance No. 1435, nor any final site plan that may subsequently be approved by the City. This CUP amendment extends the time period for submittal by another 30 days.
4. Permits & Inspections - Any and all required building permits and a valid Certificate of Occupancy must be obtained by the owner/applicant. All permit applications submitted for this property are subject to the requirements of the City Code, and the City reserves the right to inspect the premises at least once per quarter, i.e. at least once per three-month period, to ensure compliance with the terms of this CUP and other applicable laws and regulations.
5. Perimeter Fence - Within 90 days of the date on which this CUP was granted, a perimeter fence must be installed per UDC Sec. 4.4.7.4.3.E.2 and Sec. 9.3.2. TxDOT, as owner of the IH-10 frontage road abutting the property, has expressed that a perimeter fence is not needed along their property, and such fencing shall not be required between the subject property and the IH-10 frontage road owned by TxDOT. Perimeter fencing shall be

required along all other boundaries of the subject property. This CUP amendment extends the time period to 30 days from the date of site plan approval.

6. **Landscape Buffer** – Within 30 days of the date on which this CUP was granted, an approved Landscape Buffer must be installed per UDC Sec. 17.1.L and Sec. 4.4.7.4.3.J. This CUP amendment extends the time period for submittal by another 30 days. This CUP amendment extends the time period to 30 days from the date of site plan approval.
7. **Hours of Operation** – Subject to authorized letter from TxDOT. Concrete batching operations shall be allowed to occur outside of the permitted timeframe(s) listed within the Cibolo Code of Ordinances in order to accommodate the logistical requirements of the TxDOT highway expansion project.
8. **Dust Mitigation** – The RA-200, or equivalent, dust controller shall be in operation at all times during which the silo is operating.
9. **Cessation of the Concrete Batch Plant** – Upon the cessation of the concrete batching operations associated with this conditional use permit, the site shall be restored to the approved permit grading plan. The site shall be restored to previously approved grading no later than December 31, 2026, unless an extension of this CUP has been granted prior to such date.
10. **Additional Uses** – No other conditional uses are allowed under this conditional use permit.

Conditions 2-6 were not met within the 30-day deadline, of February 22, 2024. A Stop Work Order was issued to the applicant to cease all operations on February 23, 2024. Since receiving the Stop Work Order, the applicant requested and was denied a Plat Waiver at the March 12, 2024, City Council meeting. Staff met with the applicant on February 27, 2024, to go over the conditions of the CUP and next steps.

An amendment to the CUP of Ordinance No. 1437 is necessary for the applicant to resume operations legally. This proposed amendment will go before Council for consideration.

PUBLIC NOTICE:

Notice was published within the local newspaper (Seguin Gazette) on March 24, 2024, and the [City Website](#). Individual letters were sent by mail to 4 property owners within 200' of the site. To date, Staff has received zero (0) in favor of and zero (0) in opposition. Public Hearings were scheduled for April 10, 2024, (Planning & Zoning Commission) and on April 23, 2024, (City Council). Approval/Disapproval of the ordinance amendment is tentatively scheduled for the May 14, 2024, City Council meeting.

PLANNING & ZONING COMMISSION ACTION:

1. Recommend **Approval** of the proposed amendment to Ordinance 1437 concerning the Conditional Use Permit for a Concrete Asphalt Batching Plant (Temporary) use for property located at 10833 IH-10, legally described as ABS: 134 SUR: JOSE FLORES 7.5100 AC.
2. Recommend **Approval** of the proposed amendment to Ordinance 1437 concerning the Conditional Use Permit for a Concrete Asphalt Batching Plant (Temporary) use for property located at 10833 IH-10, legally described as ABS: 134 SUR: JOSE FLORES 7.5100 AC, *and any additional conditions the Commission may require.*
3. Recommend **Denial** of the proposed amendment to Ordinance 1437 concerning the Conditional Use Permit for a Concrete Asphalt Batching Plant (Temporary) use for property located at 10833 IH-10, legally described as ABS: 134 SUR: JOSE FLORES 7.5100 AC, *with findings.*

STAFF ANALYSIS:

Unified Development Code (UDC) Section 4.3.2 – Conditional Use Permit Approval Considerations

A CUP is intended to provide some flexibility to traditional zoning by offering a mechanism to balance specific site constraints and development plans with the larger interest of the community and the integrity of the UDC. An application for a CUP follows the same process as a Zoning Map Amendment Process (rezoning). The Permit, if granted, may include conditions placed upon the development of the property. The Planning & Zoning Commission and City Council shall consider the following, at a minimum, in conjunction with its deliberations for approval or denial of the application and the establishment of conditions: *(for reference, [UDC](#) and [Comprehensive/Master Plan](#))*

A. Consistency with the Comprehensive Master Plan;

Comprehensive/Master Plan – Future Land Use Categories – [Business Park & Industrial](#)

Appropriate Land Use Types: The appropriate primary and secondary uses allowed in areas designated as

Business Park & Industrial include all of the commercial, industrial, and civic uses set out in Light Industrial (I-1) or Heavy Industrial (I-2) districts in the City's Code of Ordinances.

Compatible Zoning Districts (P.47 from Comp Plan):

Light Industrial (I-1) | Heavy Industrial (I-2) | Planned Unit Developments (PUDs)

STAFF FINDING: The Comprehensive Plan identifies the properties as Industrial land use category with allowed uses per the I-1 and I-2 (2013 UDC) Zoning Districts. The Temporary concrete batch plant use is consistent with the Comprehensive Plan. The request is tied to a specific project and not intended to remain on site after October 2026. This facility's primary purpose is for the efficiency and to expedite the delivery of construction materials of the IH-10 corridor expansion and improvement.

B. Conformance with applicable regulation in this UDC and standards established by the UDC;

UDC Article 20 Subdivision Regulations. Platting requirements per Section 20.1.8. (A) division of land into 2 or more lots or (D.1.b.) when a building permit is required to move a primary structure/main building onto a piece of property.

STAFF FINDING: The applicant property is not platted. As a condition of the CUP, the applicant was required to complete and submit a plat application or receive an approved waiver from the City Council. The applicant submitted a request for a waiver on February 27, 2024, however, the request was denied by City Council on March 13, 2024.

C. Compatibility with existing or permitted uses on abutting sites, in terms of building height, bulk, scale, setbacks and open spaces, landscaping and site development, and access/circulation.

UDC Section 4.7.4.3 Mixed Use Regional Employment Center (MURE) District Regulations

In the "MURE" Mixed Use Regional Employment district, no buildings or land shall be used, and no buildings shall be hereafter erected, reconstructed, altered, or enlarged, unless otherwise provided in these regulations, as described below:

1. Permitted Uses

Uses permitted by right in the MF-1, MF-2, C-1, and C-3 Districts shall be permitted, except as may be expressly prohibited below. Institutional uses such as technical schools, hospitals and utilities are also permitted by right.

2. Permitted Uses Subject to Supplemental Use Requirements

Heavy commercial uses in the C-4 district and clean light industrial uses and research and development uses, as are permitted in the I-1 district shall also be permitted subject to adherence to the Environmental Performance Standards of the UDC and Performance standards described in this district. For terms of enforcing these regulations, clean light industrial shall be defined as an industrial use that has little to no environmental impact related to noise, heat, vibration, odor, and the other environmental performance standards described in this UDC, with aspects of industrial processes being contained within an industrial building and/or structure. Semi-truck docks and related loading, storage and distribution functions of permitted clean light industrial uses would be focused toward site locations that are not visible to surrounding rights-of-way and that are hidden by principal buildings or other screening techniques. Any outdoor operations or outdoor storage shall be completely screened and buffered from public rights-of-way and any adjoining residential zoning districts and be placed on a surface that will not create dust or non-compliance with any Environmental Performance Standard of this UDC.

3. Conditional Use Permit (CUP) Required

Any use permitted in the I-1 and I-2 district that may fall outside the definition of clean light industrial may be considered subject to the issuance of a Conditional Use Permit (CUP) by the City Council, after Planning and Zoning Commission review and recommendation. The criteria for the approval of any CUP for an I-2 will be the suitability of such a use in the context of the surrounding uses and the ability of the I-2 use to contain all industrial processes to the interior of buildings and not pose a significant risk to any residential uses that may be in the MURE development. Any outdoor

storage or other outdoor uses shall be completely screened and buffered from public rights-of-way and any adjoining residential zoning districts and shall be limited to an incidental percentage of the total operations. Any prospective I-2 use shall demonstrate the measures proposed to be implemented to comply with all Environmental Performance Standards of this UDC, including, but not limited to the prevention of dust. The City reserves the right to deny any CUP request for an I-1 or I-2 for a non-clean light industrial use on the basis that such requested use would be detrimental to overall development of the highway corridor or adversely affect any adjoining or nearby properties.

4. Prohibited Uses

The following uses are expressly prohibited: sexually oriented businesses, mini-warehouse storage, general outdoor storage, auto impound yards, kennels, pawn shops, surplus sales, or outdoor advertising signs (billboards) or any other use that is not consistent with creating a positive image for the City. Any use that is not expressly listed as a prohibited use that is denied by staff may be appealed to the Planning and Zoning Commission and City Council in accordance procedural requirements of this UDC and the Fee Schedule for Administrative Appeals.

STAFF FINDING: The formal site plan review process, which the applicant will need to follow as a condition of being granted a CUP, will bring the property into compliance with the above-listed criterion. The applicant was required as a condition of the CUP to provide an official site plan submittal demonstrating compliance with the Unified Development Code (UDC) section as listed above for the initial purpose of requesting a CUP. To date, staff have not received an official site plan submittal since the establishment of Ordinance No. 1435 granting the CUP on January 23, 2024, or the meeting with staff on February 27, 2024. Staff offered to meet with the applicant to discuss which sections of UDC Sec. 12.3.2 would apply to their site plan but have not received a request to do so from the applicant.

D. Potential unfavorable impacts on existing or permitted uses on abutting sites, to the extent that such impacts exceed those which reasonably may result from use of the site by a permitted use.

STAFF FINDING: The UDC allows a Temporary Concrete Batch Plant by CUP in all zoning districts, which is to be reviewed on a case-by-case scenario. The Cibolo Police Department and Code Enforcement have visited the site to ensure compliance with the City's light and noise ordinances. The use of a concrete washout captures and collects any contaminated water and slurry from the operations. The approved conceptual site plan was intended to ensure compliance and compatibility with the surrounding uses until an official site plan was submitted by the applicant as a condition of the CUP. To date, staff have not received an official site plan submittal since the establishment of Ordinance #1435 granting the CUP on January 23, 2024.

E. Modifications to the site plan which would result in increased compatibility or would mitigate potentially unfavorable impacts or would be necessary to conform to applicable regulations and standards and to protect the public health, safety, morals and general welfare.

Comprehensive/Master Plan – Future Land Use Categories – Business Park & Industrial

Moving Forward - New Business Park & Industrial development should be located and take access from an arterial roadway. New Business Park & Industrial development should be designed in a manner which orients loading docks and bays away from the front property line or public right-of-way. New Business Park & Industrial development should include a landscape buffer between any property that is zoned to a non-industrial classification. The required level of screening should be based upon the difference in intensity of development of the abutting district. In other words, new developments located abutting residential areas should have a larger or more opaque landscape screen than what would be required against abutting commercial development. New developments which include outdoor operations should be designed to minimize the amount of nuisance (e.g., light, sound, dust, etc.) that leaves the site. New outdoor storage areas should be designed in a manner that screens materials and equipment from the public rights-of-way and abutting uses.

STAFF FINDING: UDC Sec. 4.7.4.3 allows “clean light manufacturing” within the MURE zoning district. The City does not consider concrete batch plants to be clean light manufacturing. The MURE regulations allow for a CUP to be granted for any use not considered to be clean, light manufacturing. The applicant has provided documentation for how they mitigate dust and noise pollution so as not to adversely impact the surrounding properties. To date, staff have not received any complaints or issued code violations due to noise or dust produced by the applicant.

Compliance with UDC Sec. 17.1.L will be required to further mitigate adverse impacts on the surrounding properties. As a condition of receiving the CUP, the applicant was required to install a landscape buffer or request a variance to landscape buffer requirements within 30 days of being granted the CUP. A landscape buffer was not installed by the deadline of February 22, 2024, nor has staff received a variance application since their meeting with the applicant on February 27, 2024.

17.1.L. Non-residential and Multi-family Landscape Buffer Requirements

1. A non-residential or multi-family use adjacent to, or directly facing, a single-family zoning district shall provide a minimum twenty (20') foot landscape buffer adjacent to the property line of the residential use or residentially zoned property.

Landscape buffer trees:

A minimum of one (1) large tree shall be planted for each forty linear feet (40'), one (1) medium tree every thirty linear feet (30'), one (1) small tree every twenty (20') linear feet, or any combination thereof, within landscape buffer.

Landscape buffer shrubs:

A minimum of ten (10) shrubs shall be planted for each forty (40') linear feet of landscape buffer. Buffer shrubs shall be evergreen or similar, a minimum of eighteen (18") inches in height at time of planting and of a variety that can be expected to reach four to five (4-5) feet in height within three (3) to five (5) years of initial planting.

All other areas within the landscape buffer shall be covered with grass or another solid vegetative cover approved at the time of Site Plan approval. The buffer wall standards below shall also be applicable.

F. Safety and convenience of vehicular and pedestrian circulation in the vicinity, including traffic reasonably expected to be generated by the proposed use.

STAFF FINDING: A Traffic Impact Analysis (TIA) worksheet was reviewed and approved by the City Engineer. The TIA was also reviewed and approved by TXDOT as the property driveway is on the highway frontage. As the property directly fronts the highway, adjacent lots are not expected to be substantially impacted by the traffic from this use.

ATTACHMENTS:

The attachments for this item are with the Discussion/Action staff report which is later in the agenda.



Planning and Zoning Commission Staff Report

Public Hearing regarding a Conditional Use Permit (CUP) request to allow Hotel/Motel (Bed and Breakfast) use for certain real property located at 102 Short Street, legally described as ABS: 216 SUR: A S LEWIS 0.210 ACRES; ABS: 216 SUR: A S LEWIS 0.0600 ACRES.

Table with 2 columns: Meeting, Agenda Group, From, Staff Contact(s). Meeting: Wednesday, April 10, 2024, 6:30 PM. Agenda Group: Public Hearings, Item: 5C. From: Grant Fore, Planner II. Staff Contact(s): Grant Fore,

PLANNING & ZONING COMMISSION ACTION: Conduct 1st Public Hearing

PROPERTY INFORMATION:

Project Name: CUP-24-01
Owners: R.H.S. Aquatic Construction, Inc.
Representative: Richard H. Shepherd
Location/Area: 102 Short Street, 0.210, 0.0600 acres
Location: Short Street in Old Town
Council District: 2
Future Land Use: Neighborhood Residential
Existing Zoning: High Density Single-Family Residential (SF-6)
Overlay: Old Town Mixed Use Overlay
Requested Zoning: Conditional Use Permit (CUP)
Proposed Use: Hotel/Motel (Bed and Breakfast)

FINDINGS:

A zoning request is specifically about land use, not the future engineering of the land itself, and should meet criteria per UDC Article 4.3.1.5. Decisions regarding future engineering of the land occur with the platting process, where the property's design is known. The subject property is zoned High Density Single-Family Residential (SF-6) zoning district. The subject property is directly adjacent to properties zoned (SF-6) High Density Single-Family Residential to the North, East and West and properties zoned Community Retail/Service (C-2) to the South. The subject property falls within the Old Town Mixed Use Overlay district.

The subject property is 0.21 and 0.06 acres in size. Though they are deeded as separate, they are part of one tract and will be considered one property, addressed 102 Short Street once platted. The property presently has one (1) single-family residential structure on the property. The applicant/owner, Richard Shepherd, is proposing to develop a 480 square foot "tiny home" on the property for use of Hotel/Motel (Bed and Breakfast) Air BNB.

Upon receiving an inquiry about on-going construction on the property in January of 2024, current staff found that a building permit was erroneously issued for construction of the "tiny home" on February 2, 2023. Construction of the "tiny home" structure has since halted. A Stop Work Order was issued on January 31, 2024. The proposed Hotel/Motel (Bed and Breakfast) Air BNB component requires a Conditional Use Permit (CUP) for properties located in the Old Town mixed use overlay district.

Additionally, the subject property is not platted. Staff met with the owner/applicant and advised them of the Conditional Use Permit (CUP) and platting process.

PUBLIC NOTICE:

Notice was published within the local newspaper (Seguin Gazette) on March 24, 2024, and the [City Website](#). Individual letters were sent by mail to 20 property owners within 200' of the site. To date, Staff has received two (2) in favor of and zero (0) in opposition. Public Hearings are scheduled on April 10, 2024 (Planning & Zoning Commission) and on April 23, 2024 (City Council). Approval/Disapproval of the zoning ordinance is tentatively scheduled for the May 14, 2024, City Council meeting.

STAFF CONCLUSIONS:

Staff recommends, should Council approve the CUP for Hotel/Motel (Bed and Breakfast) located at 102 Short Street, that it be subject to the following conditions:

1. Off-Street Parking – One (1) additional parking space is required to comply with UDC Sec. 10.2 off-street parking requirements.
2. Building & Fire Codes – Applicant must comply with all Building and Fire Code requirements.
3. Permits & Inspections – All required building permits and Certificate of Occupancy must be obtained. All permit applications submitted for this property are subject to the requirements of the Code.
4. Additional Uses – No other conditional uses are allowed under this conditional use permit.
5. Hotel Occupancy Tax – Applicant must comply with all Hotel Occupancy Tax requirements applicable in the City of Cibolo.
6. Plat – Applicant must submit a Subdivision Plat for review and approval to the City and record Plat upon completion.

PLANNING & ZONING RECOMMENDATION:

1. Recommend **Approval** to City Council for the requested CUP for Hotel/Motel (Bed and Breakfast) located at 102 Short Street, legally described as ABS: 216 SUR: A S LEWIS 0.210 ACRES; ABS: 216 SUR: A S LEWIS 0.0600 ACRES.
2. Recommend **Approval** to the City Council of the requested CUP for Hotel/Motel (Bed and Breakfast) located at 102 Short Street, legally described as ABS: 216 SUR: A S LEWIS 0.210 ACRES; ABS: 216 SUR: A S LEWIS 0.0600 ACRES., *and any additional conditions Planning & Zoning may require.*
3. Recommend **Denial** to City Council for the requested CUP for Hotel/Motel (Bed and Breakfast) located at 102 Short Street, legally described as ABS: 216 SUR: A S LEWIS 0.210 ACRES; ABS: 216 SUR: A S LEWIS 0.0600 ACRES., *with findings.*

STAFF ANALYSIS:

Unified Development Code (UDC) Section 4.3.2 – Conditional Use Permit Approval Considerations

A CUP is intended to provide some flexibility to traditional zoning by offering a mechanism to balance specific site constraints and development plans with the larger interest of the community and the integrity of the UDC. An application for a CUP follows the same process as a Zoning Map Amendment Process (rezoning). The Permit, if granted, may include conditions placed upon the development of the property. The Planning & Zoning Commission and City Council shall consider the following, at a minimum, in conjunction with its deliberations for approval or denial of the application and the establishment of conditions: *(for reference, [UDC](#) and [Comprehensive/Master Plan](#))*

A. Consistency with the Comprehensive Master Plan;

Comprehensive/Master Plan – Future Land Use Categories – [Neighborhood Residential](#)

Appropriate Land Use Types: The appropriate primary uses allowed in areas designated as neighborhood residential include single-family residential, accessory residential units, home professions, large scale assembly, community recreation, local utility services, park and recreation services, primary and secondary education facilities, and safety services. Appropriate secondary uses include such things as accessory living quarters and residential units, greenhouses, life care services, day-care services, and nursery schools

Compatible Zoning Districts (P.43 from Comp Plan):

STAFF FINDING: The Comprehensive Master Plan calls out this parcel as Neighborhood Residential, with compatible zoning districts such as SF-4, which more closely aligns with the 2013 classification of SF-2 used in the Comprehensive Plan.

The hotel/motel (bed and breakfast) use is not listed as an appropriate use type per the comprehensive plan.

**B. Conformance with applicable regulation in this UDC and standards established by the UDC;
Comprehensive/Master Plan – Future Land Use Categories – Neighborhood Residential**

Intent & Character – The neighborhood residential future land use category is intended for areas that will be primarily developed with new single-family detached residential subdivisions. Development reflects a suburban to auto-oriented character; meaning that these areas are predominantly dominated by streets, driveways, and garages. Lot sizes and architectural styles are fairly uniform; but generally, new development density is between two and six units per acre.

STAFF FINDING: Although the hotel/motel (bed and breakfast) use is not listed as an appropriate use type per the Comprehensive Plan, staff finds it is consistent with the intent of Old Town Mixed Use Overlay (OT) because of the primarily residential nature and character of the use since it will function very similarly to a residential rental property other than it will be with short-term tenants.

The Old Town Overlay District (OT) is intended to provide a cohesive set of design and use standards for properties within its boundaries. The OT District recognizes the historical fabric of Old Town Cibola and seeks to preserve the character, pedestrian scale, and architecture of the area surrounding Main Street. Additionally, it seeks to provide a pedestrian-oriented environment and flexibility for harmonious residential, civic, and commercial uses, as well as context-sensitive design standards to integrate new development with the City’s original core.

C. Compatibility with existing or permitted uses on abutting sites, in terms of building height, bulk, scale, setbacks and open spaces, landscaping and site development, and access/circulation.

(2018) UDC Section 14.2.N.7. High Density Residential District (SF-6)

- a. Intent – The high-density residential district enables higher density (up to 5.5 units per acre) housing types, such as townhomes, garden homes, or duplex/triplex to be developed in closer proximity to collector streets. The district is intended to complement the suburban district and in infill areas of the Town Center, serving as a transitional use between commercial and single family uses. Mobile/ manufactured/modular homes are not permitted.
- b. Permitted uses –one (1) dwelling unit per lot, and community recreational facilities.
- c. Specific uses – subject to Site Plan approval, private recreational amenities, places of worship, schools.

Lot Area	Lot Width	Front Setback	Rear Setback	Side Setback	Max Impervious Coverage	Maximum Height
6,600 sq ft	60'	25'	10'	10'	60%	35'

STAFF FINDING: The UDC provides lot design guidelines within the High Density Single-Family Residential (SF-6) Zoning District that are designed in scale for compatibility with surrounding mix of residential areas. The applicant property exceeds the lot size requirement for SF-6 properties. The property is required to be platted. The proposed “tiny home” structure will be reviewed for compliance with building setbacks during building permit review.

D. Potential unfavorable impacts on existing or permitted uses on abutting sites, the extent that such impacts exceed those which reasonably may result from use of the site by a permitted use;

(2018) UDC Section 13.1 Residential Uses allowed by right and with a Conditional Use Permit (CUP).

SF-6 uses allowed by right	SF-6 allowed with CUP
Greenhouse*	Accessory Living Quarters
Home Occupation*	Accessory Residential Units, Residential District
Manufactured Modular Housing	Condominium Residential
Single-family Residential	Group Residential
Assembly	Patio Home
Community Recreation	Day Care Services (Family)*
Local Utility Services	Day Care Services (Group)*
Park and Recreation Services	Day Care Services (General Commercial)*
Primary Educational Facilities	Life Care Services*
Safety Services	Nursery School*
Secondary Educational Facilities	Concrete/Asphalt Batching Plant (Temporary)

*Subject to supplemental use regulations of UDC Article 6.

Section 4.7.4.4.1 Old Town Mixed Use Overlay

4.7.4.4.1 Permitted Uses

The uses of the underlying zoning district from the official City zoning map, as amended, are permitted, to the extent that all applicable performance standards of this section are met. In addition to the permitted uses of the underlying district, the following uses are permitted within the OT district boundary:

1. Single-family residential, provided that this use takes access from a local public street.
2. Attached residential uses (Upper-story or behind primary structure) are permitted, provided that the residential use is clearly secondary to the primary commercial (C-2) use, the attached residential is not visible from right-of-way and the gross floor area of the entire structure does not include more than fifty (50%) percent residential uses.
3. Institutional uses such as, but not limited to parks, government offices, churches, schools, technical schools, hospitals shall be permitted.
4. Townhouse residential, condominium residential and duplex residential to 12 units per acre development density is permitted subject to the granting of a Conditional Use Permit, per the CUP requirements of Article 3 and 4.3.2 of this UDC.
5. Hotel/Motel (Bed and Breakfast) are permitted subject to the granting of a CUP.

STAFF FINDING: This zoning district is suitable for uses permitted by the overlay provided the CUP is approved.

E. Modifications to the site plan which would result in increased compatibility or would mitigate potentially unfavorable impacts or would be necessary to conform to applicable regulations and standards and to protect the public health, safety, morals and general welfare.

Moving Forward - The following recommendations should be considered as part of rezonings, development approvals, or improvements to existing regulations: New neighborhood residential developments with a planned large number of lots (e.g., 250 lots or greater) should be required to have at least two points of access to a collector roadway or greater in functional classification. Development approvals for new residential or nonresidential development should include dedication of thoroughfares and trails as within the adopted thoroughfare plan and trail plan maps. New neighborhoods should be served by roads with urban cross-sections and should serve vehicular, bicycle, and pedestrian users.

STAFF FINDING: The requested CUP would be compatible with the intent of the Old Town District which is a component of the Comprehensive Plan because the proposed short-term rental use functions very much like a standard residential rental property in that it will maintain a residential character and will be limited in the number of occupants.

F. Safety and convenience of vehicular and pedestrian circulation in the vicinity, including traffic reasonably expected to be generated by the proposed use.

STAFF FINDING: Staff does not foresee this use will generate traffic issues as it will have a similar occupancy use to other single-family residential uses.

ATTACHMENTS:

The attachments for this item are with the Discussion/Action staff report which is later in the agenda.



City of Cibolo

Planning and Zoning Commission Staff Report

Approval of the minutes from the March 13, 2024, Planning & Zoning Commission Meeting.

Meeting	Agenda Group
Wednesday, April 10, 2024, 6:30 PM	Consent Agenda Item: 7A
From	
Peggy Cimics, City Secretary	

PRIOR CITY COUNCIL ACTION:

N/A

BACKGROUND:

N/A

STAFF RECOMMENDATION:

N/A

FINANCIAL IMPACT:

N/A

MOTION(S):

N/A

Attachments

03132024 P&Z Minutes.pdf



PLANNING AND ZONING MEETING

City of Cibolo City Hall

200 S. Main Street

March 13, 2024

6:30 PM - 9:30 PM

MINUTES

1. **Call to Order** – Meeting was called to order at 6:41 p.m. by the Chairman Ms. Greve.
2. **Roll call and Excused Absences** – Members Present: Ms. Greve, Ms. Zimmermann, Ms. Dodd, Ms. Garcia, Ms. Fishback, Mr. Thompson, Mr. Hinze, and Ms. Hubbard; Members Absent: Ms. Beaver. Ms. Fishback made the motion to excuse the absence of Ms. Beaver. The motion was seconded by Ms. Zimmermann. For: All; Against: None. The motion carried 7 to 0. Alternate – Ms. Hubbard participated in the meeting in place of Ms. Beaver who was absent.
3. **Invocation/Moment of Silence** – Ms. Greve called for a Moment of Silence.
4. **Pledge of Allegiance** – All in attendance recited the Pledge of Allegiance.
5. **Public Hearing**
 - A. Conduct a public hearing regarding a Conditional Use Permit (CUP) request to allow Accessory Residential Units, Residential District us for certain real property located at 165 Elaine Schlather Parkway, legally described as ABS: 194 SUR: JAMES JONES TRACT #6, 5.01 AC.

Ms. Greve opened the public hearing at 6:46 p.m. Ms. Weimer spoke on this item. She stated that the CUP should be amended and show where the house would be. Mr. Alves the owner of the property stated that he was only trying to put a Mother-In Law suite which would be 1100 sq ft behind his home. Ms. Greve closed the public hearing at 6:55 p.m.
 - B. Conduct a public hearing regarding a variance request to Code of Ordinances Sec. 58-5 to allow a wall sign that does not face a right-of-way at 778 Cibolo Valley Drive, Suite 111.

Ms. Greve opened the public hearing at 6:58 p.m. No one wish to speak on this item. The public hearing was closed at 6:58 p.m.
 - C. Conduct a public hearing regarding a Unified Development Code (UDC) amendment to Article 18, to eliminate the sidewalk requirements in the Old Town District.

Ms. Greve opened the public hearing at 7:03 p.m. No one spoke on this item. The public hearing was closed at 7:03 p.m.

- D. Conduct a public hearing regarding the repeal of Ordinance No. 1417 granting a variance for 504 Pfeil Road to eliminate the requirement for sidewalks per Sec. 18.17.A of the UDC with conditions.

Ms. Greve opened the public hearing at 7:07 p.m. No one spoke on this item. Ms. Greve closed the public hearing at 7:07 p.m.

6. **Citizens to be Heard**

This is the only time during the Meeting that a citizen can address the Commission. It is an opportunity for visitors and guests to address the Commission on any issue to include agenda items. All visitors wishing to speak must fill out the Sign-In Roster prior to the start of the meeting. The Commission may not debate any non-agenda issue, nor may any action be taken on any non-agenda issue at this time; however, the Commission may present any factual response to items brought up by citizens. (Attorney General Opinion - JC-0169) (Limit of three minutes each.) All remarks shall be addressed to the Commission as a body. Remarks may also be addressed to any individual member of the Commission so long as the remarks are (i) about matters of local public concern and (ii) not disruptive to the meeting or threatening to the member or any attendee. Any person violating this policy may be requested to leave the meeting, but no person may be requested to leave or forced to leave the meeting because of the viewpoint expressed. **This meeting is livestreamed. If anyone would like to make comments on any matter regarding the City of Cibolo or on an agenda item and have this item read at this meeting, please email pcimics@cibolotx.gov or telephone 210-566-6111 before 5:00 pm the date of the meeting.**

Ms. Weimer spoke during this item. Ms. Weimer stated she was not opposed to a Granny Suite she just wants the CUP to only for that home.

7. **Consent Agenda**

- A. Approval of the minutes from the February 14, 2024, Planning & Zoning Commission Meeting.

Ms. Greve made the motion to approve the consent agenda. The motion was seconded by Ms. Garcia. For: All; Against: None. Motion carried 7 to 0.

8. **Discussion/Action Items**

- A. Discussion/Action and Recommendation regarding the Final Plat of Cibolo Creek Center.

Ms. Zimmermann made the motion to recommend to the City Council denial due to pending comments. The motion was seconded by Ms. Hubbard. For: All; Against: None. The motion carried 7 to 0.

- B. Discussion/Action regarding a Conditional Use Permit (CUP) request to allow Accessory Residential Units, Residential District use for certain real property located at 165 Elaine Schlather Parkway, legally described as ABS: 194 SUR JAMES JONES TRACT #6, 5.01 AC.

Ms. Garcia made the motion to recommend to the City Council approval regarding a Conditional Use Permit (CUP) request to allow Accessory Residential Units, Residential

District use for certain real property located at 165 Elaine Schlather Parkway, legally described as ABS: 194 SUR JAMES JONES TRACT #6, 5.01 AC. The motion was seconded by Ms. Fishback. For: All; Against: None. The motion carried 7 to 0.

Ms. Zimmermann left the meeting at 7:18 and alternate Mr. Hinze took her seat at the dais.

- C. Discussion/Action regarding a variance request to Code of Ordinances Sec. 58-5 to allow a wall sign that does not face a right-of-way at 778 Cibolo Valley Drive, Suite 111.

Ms. Greve made the motion to recommend to the City Council denial as they do not face the right-of-way regarding a variance request to Code of Ordinances Sec. 58-5 to allow a wall sign that does not face a right-of-way at 778 Cibolo Valley Drive, Suite 111. The motion was seconded by Ms. Garcia. For: Ms. Greve, Ms. Garcia, Ms. Fishback, and Mr. Thompson; Against: Ms. Dodd, Ms. Hubbard, and Mr. Hinze. The motion carried 4 to 3.

- D. Discussion/Action regarding a Unified Development Code (UDC) amendment to Article 18, to eliminate the sidewalk requirements in the Old Town District.

Ms. Greve made the motion to recommend to the City Council approval regarding a Unified Development Code (UDC) amendment to Article 18, to eliminate the sidewalk requirements in the Old Town District. The motion was seconded by Ms. Fishback. For: All; Against: None. The motion carried 7 to 0.

- E. Discussion/Action regarding the repeal of Ordinance No. 1417 granting a variance for 504 Pfeil Road to eliminate the requirement for sidewalks per Sec. 18.17.A of the UDC with conditions.

Ms. Fishback made the motion to recommend to the City Council approval regarding the repeal of Ordinance No. 1417 granting a variance for 504 Pfeil Road to eliminate the requirement for sidewalks per Sec. 18.17.A of the UDC with conditions. The motion was seconded by Ms. Garcia. For: All; Against: None. The motion carried 7 to 0.

- F. Discussion/Presentation regarding plan elements of the 2024 Cibolo Tomorrow Comprehensive Plan and IH-10 Corridor Plan.

Mr. Spencer from the Planning Department went over the plan elements of the 2024 Cibolo Tomorrow Comprehensive Plan and IH-10 Corridor Plan with the commission. Mr. Spencer covered the following items: Vision Statement, Guiding Principles, Place Types, Future Land Use Map (FLUM), Master Throughfare Plan (MTP), and Implementation and Action Items. The commission had the opportunity to ask questions of Mr. Spencer and the presentation. Ms. Greve thanked Mr. Spencer for the presentation.

9. **UDC, CIP, Master Plan and Staff Updates**

Ms. Huerta went over the Site Plans currently in review, Site Plans recently approved, Plans currently in review and P&Z Recommendations/City Council Action.

10. **Items for future agendas** – Next meeting is scheduled for April 10, 2024.

11. **Adjournment** – Ms. Greve made the motion to adjourn the meeting at 9:01 p.m. The motion was seconded by Ms. Garcia. For: All; Against: None. The motion carried 7 to 0.

PASSED AND APPROVED THIS 10TH DAY OF APRIL 2024.

Jennifer Greve
Chairman
Planning & Zoning Commission



Discussion/Action and Recommendation to the Mayor and City Council regarding the Preliminary Plat of Lance Crossing.

Meeting	Agenda Group	
Wednesday, April 10, 2024, 6:30 PM	Discussion/Action Items	Item: 10A
From		
Grant Fore, Planner II		

PLANNING & ZONING COMMISSION ACTION: Discussion/Action and Recommendation of the above referenced petition

PROPERTY INFORMATION:

- Project Name:** PC-24-11-PP
- Owner:** Continental Homes of Texas, L.P.
- Representative:** Becky Carroll, Pape-Dawson Engineers
- Area:** 2.515 acres
- Location:** East of intersection of Lance Crossing and Overlook Ridge
- Council District:** 7
- Zoning (map):** High-Density Single Family Residential (SF-6)
- Proposed Use:** 699 LF of roadway, one (1) drainage lot
- Utility Providers:** Sewer/Water City - Cibolo and Electricity - Guadalupe Valley Electric Coop

FINDINGS/CURRENT ACTIVITY:

Per Unified Development Code (UDC) Article 20.3.3., 'Preliminary Plat', property is required to be platted prior to development of a site within or outside the City Limits. The plat or subdivision of land must comply with the Land Study, if applicable, and meet all requirements of the Unified Development Code and the Design and Construction Manual.

A land study/master plan was approved for the Steele Creek development in 2018. A Public Improvements Agreement (PIA) was executed between the City of Cibolo, Schertz-Cibolo-Universal City Independent School District (SCUCISD), and the developer in 2021. Of note, the PIA stipulates that public improvements including a collector street are to be constructed during development of Unit 6.

This Preliminary Plat, concurrent with the Plat of Unit 6, establishes approximately 699 square feet of the above-mentioned collector street, Lance Crossing, that is required by the PIA. This proposed Preliminary Plat also establishes one (1) open space drainage lot, designated as Lot 906 on the Plat, to serve as the necessary drainage improvements for this area of the subdivision.

STREETS/FUTURE THOROUGHFARE PLAN (FTPX):

This Plat includes approximately 699 linear feet of roadway, including planned intersections of Lance Crossing and Steele Harbor and Lance Crossing and Waterfall Point. 80' of right-of-way is required for the planned collector street.

UTILITIES:

This Plat only encompasses roadway and drainage infrastructure. Utilities to serve neighboring Unit 6 of the subdivision were reviewed and are to be constructed with that Unit.

DRAINAGE:

Drainage was reviewed and approved in May of 2018 during review of the master drainage plan submitted with the land study. Compliance with the approved master drainage plan was verified as part of review of this plat. Stormwater detention is proposed for this project to mitigate the impacts of development, including a detention pond for areas draining to the Town Creek Tributary 3.

A portion of the collector street is in the Floodplain. A Certified Letter of Map Revision (CLOMR) for the subdivision was submitted for review and approved by the City Engineer/Floodplain Administrator in March of 2024.

PARKLAND:

The required Parkland was previously dedicated in other Units of this development.

STAFF RECOMMENDATION:

Staff and the City Engineer reviewed the Plat and associated documents. Per the attached memo, there are comments pending. Therefore, Staff recommends DENIAL of this Preliminary Plat.

ATTACHMENTS:

- Application
- Application Letter
- Plat
- City Engineer Letter
- Staff Maps

Attachments

Application.pdf

Application Letter.pdf

Plat.pdf

City Engineer Letter.pdf

Staff Map 1.pdf

Staff Map 2.pdf



City of Cibolo
 Planning Department
 201 Loop 539 W/P.O. Box 826
 Cibolo, TX 78108
 Phone: (210) 658 - 9900

UNIVERSAL APPLICATION - PRELIMINARY PLAT

Please fill out this form completely, supplying all necessary information and documentation to support your request. *Please use a separate application for each submittal.* Your application will not be accepted until the application is completed and required information provided.

Project Name: Steele Creek-Lance Crossing
 Total Acres: 2.515 Survey Name: Jeronimo Leal No. 85 Abstract No.: 210
 Project Location (address): East of the intersection of Lance Crossing and Overlook Ridge

Current Zoning: SF-3 Low-Medium Residential Overlay: None Old Town FM 78
 Proposed Zoning: SF-3 Low-Medium Residential # of Lots: 0 # of Units: 1
 Please Choose One: Single-Family Multi-Family Commercial Industrial
 Other _____
 Current Use: Undeveloped Total Proposed Square Footage: _____
 Proposed Use: Platting Roadway (Commercial/Industrial only)

Applicant Information:

Property Owner Name: Continental Homes of Texas, L.P.
 Address: 5419 North Loop 1604 East City: San Antonio
 State: Texas Zip Code: 78247 Phone: (210) 496-2668
 Email: LKOstrander@drhorton.com Fax: _____

*Applicant (if different than Owner): Becky Carroll
 * Letter of Authorization required
 Address: 2000 NW Loop 410 City: San Antonio
 State: Texas Zip Code: 78213 Phone: (210) 375-9000
 Email: bcarroll@pape-dawson.com Fax: (210) 375-9010

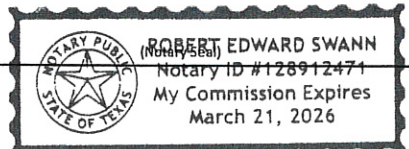
Representative: Becky Carroll
 Address: 2000 NW Loop 410 City: San Antonio
 State: Texas Zip Code: 78213 Phone: (210) 375-9000
 Email: bcarroll@pape-dawson.com Fax: (210) 375-9010

Authorization: By signing this application, you hereby grant Staff access to your property to perform work related to your application. Also, you waive the statutory time limits in accordance with Section 211, and 245 of the Texas Local Government Code.

Leslie Ostrander
 Owner or Representative's Signature
Leslie Ostrander
 Typed / Printed Name

State of Texas
 County of BEXAR
 Before me, ROBERT E SWANN, on this day personally appeared
 Name of Notary Public
LESLIE OSTRANDER, to be the person(s) who is/are subscribed to the
 Name of signer(s)
 foregoing instrument and acknowledge to me that he/she/they executed the same for the purposes and consideration therein expressed.
 Given under my hand and seal of office this 4 day of MARCH, 2024
Robert E Swann
 Notary Public Signature

<i>City of Cibolo Use Only</i>
Total Fees
Payment Method
Submittal Date
Accepted by
Case Number



March 11, 2024

City of Cibolo
Planning Department
200 S. Main Street
Cibolo, TX 78108

Re: Steele Creek-Lance Crossing
Engineer's Summary Letter

To whom it may concern:

Steele Creek-Lance Crossing is a ±2-acre single-family residential project located within the larger ±411-acre Steele Creek Subdivision. This project is located south of FM 1103, north of FM 78, and west of Tolle Road. This phase of the development will consist of street and drainage improvements for the proposed Lance Crossing collector road. Drainage runoff from the development of this phase of the subdivision was analyzed as part of the previously approved Stormwater Management Plan for Steele Creek Subdivision Land Study dated May 2018. As a result of development, the peak stormwater runoff is expected to increase and result in adverse impacts to habitable structures within Town Creek Tributary 3. Stormwater detention is proposed for this project to mitigate the impacts of development and keep peak stormwater runoff values at or below pre-development conditions.

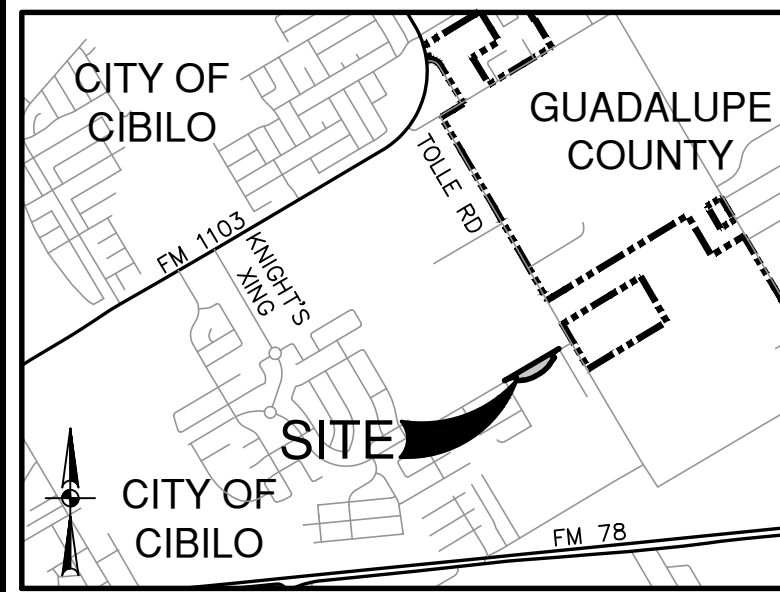
If you have any questions or require additional information, please do not hesitate to contact me at your earliest convenience.

Sincerely,
Pape-Dawson Engineers

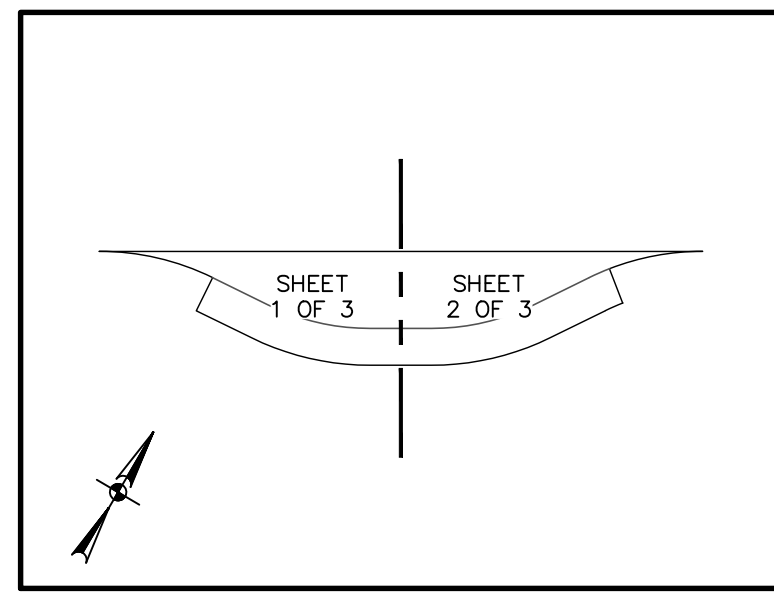


Becky Carroll, P.E.
Vice President

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LOCATION MAP
NOT-TO-SCALE



INDEX MAP
NOT-TO-SCALE

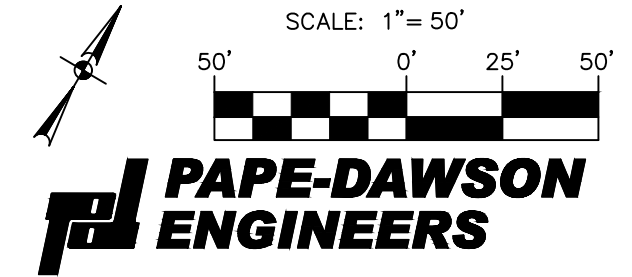
PRELIMINARY PLAT
OF
LANCE CROSSING

BEING A TOTAL OF 2.515 ACRE TRACT OF LAND LOCATED IN THE JERONIMO LEAL SURVEY NO. 85, ABSTRACT NO. 210, IN THE CITY OF CIBOLO, GUADALUPE COUNTY, TEXAS, BEING OUT OF THAT CERTAIN 85.592 ACRES OF LAND CONVEYED TO STEELE CREEK INVESTMENTS, LLC, AS DESCRIBED IN DOCUMENT NO. 201899019519, OF THE OFFICIAL PUBLIC RECORDS OF GUADALUPE COUNTY, TEXAS.

(1 OPEN SPACE LOTS IN 1 BLOCKS)

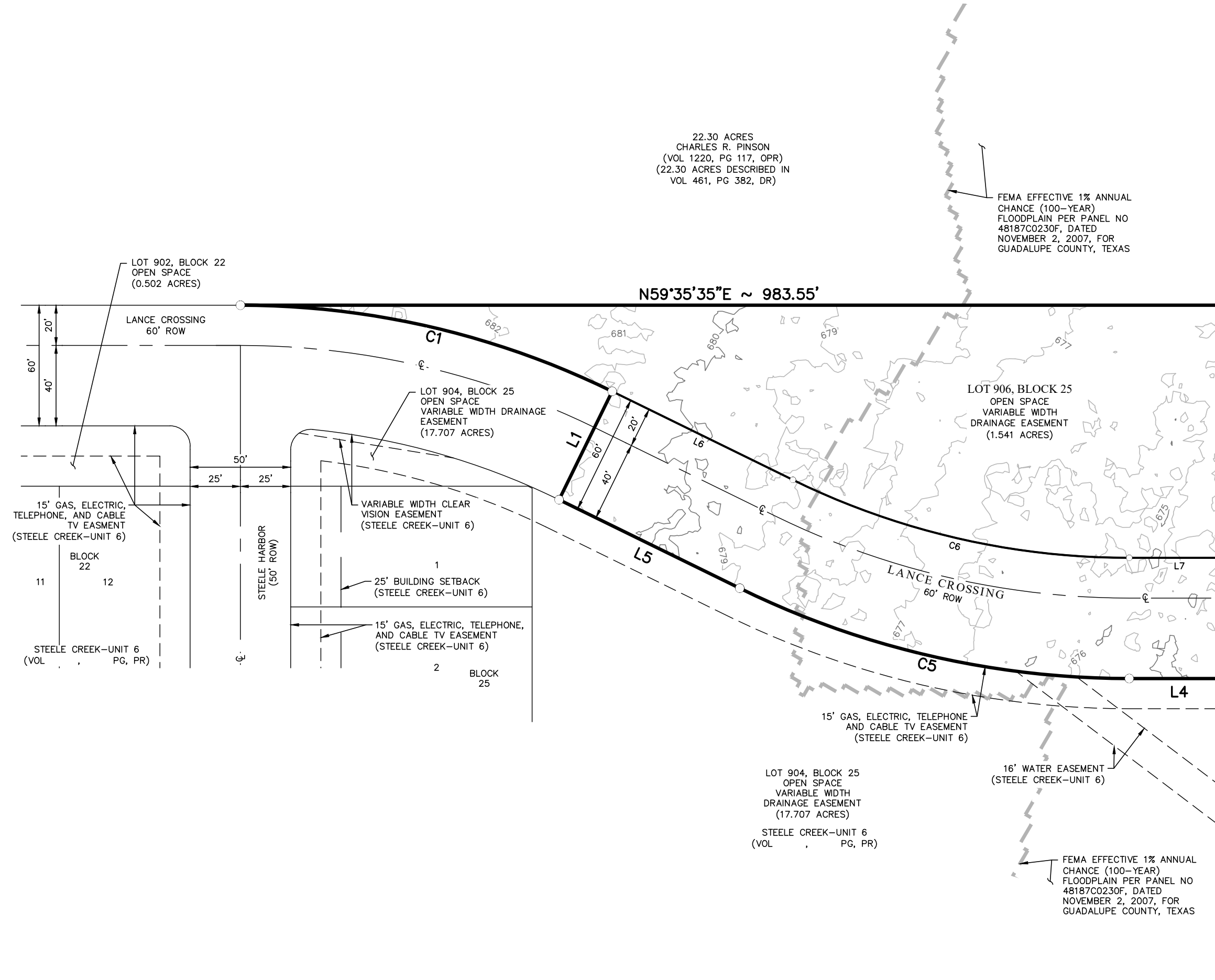
OWNER: CONTINENTAL HOMES OF TEXAS, LP
A TEXAS LIMITED PARTNERSHIP
BY: CHTEX OF TEXAS, INC
A DELAWARE CORPORATION, ITS SOLE GENERAL PARTNER
BY: LESLIE OSTRANDER, ASSISTANT SECRETARY
5419 N LOOP 1604 E, SAN ANTONIO, TX 78247

DATE OF PRINT: March 11, 2024



2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

- LEGEND**
- | | | | |
|-----|---|---------|---|
| DR | DEED RECORDS OF GUADALUPE COUNTY, TEXAS | ROW VOL | RIGHT-OF-WAY VOLUME (SURVEYOR) |
| OPR | OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF GUADALUPE COUNTY, TEXAS | ● | FOUND 1/2" IRON ROD (PD UNLESS NOTED OTHERWISE) |
| PG | PAGE(S) | ○ | SET 1/2" IRON ROD (PD) |
| | | ○ | SET 1/2" IRON ROD (PD)-ROW |
-
- | | |
|-----|---|
| --- | CENTERLINE |
| --- | EXISTING CONTOURS |
| --- | FEMA EFFECTIVE 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN PER PANEL NO 48187C0230F, DATED NOVEMBER 2, 2007, FOR GUADALUPE COUNTY, TEXAS |

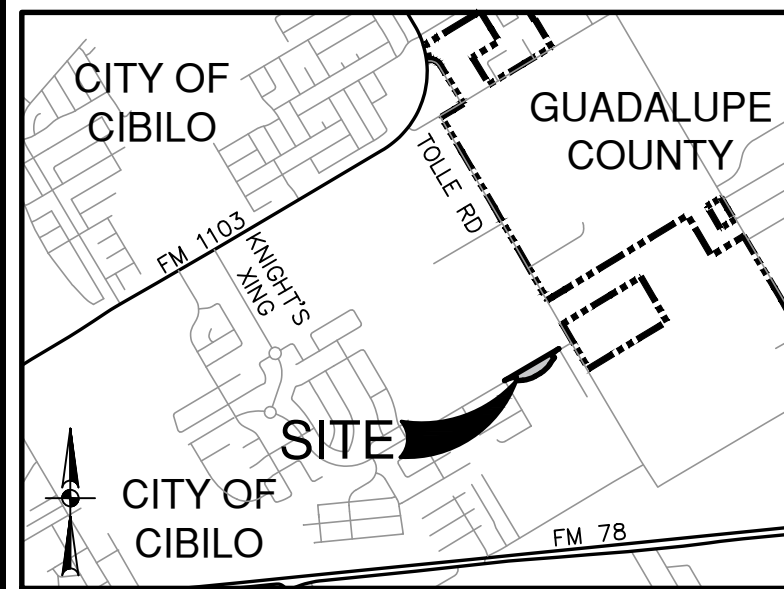


LINE #	BEARING	LENGTH
L1	N4°18'18"W	60.00'
L2	S51°33'53"E	60.00'
L3	S33°29'28"W	100.00'
L4	S59°35'35"W	100.00'
L5	S85°41'42"W	100.00'
L6	N85°41'42"E	100.00'
L7	N59°35'35"E	100.00'
L8	N33°29'28"E	100.00'

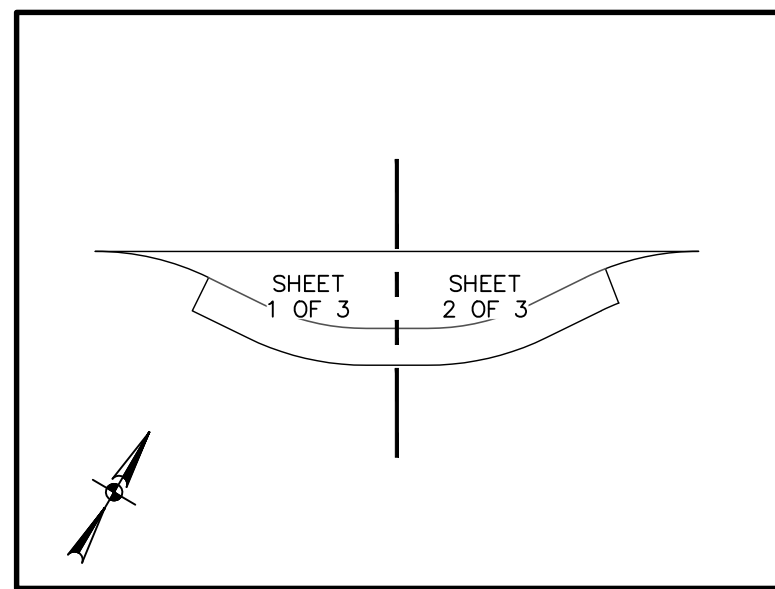
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C1	420.00'	26°06'07"	S72°38'38"W	189.69'	191.34'
C2	420.00'	21°09'28"	S49°00'51"W	154.22'	155.10'
C3	360.00'	4°56'39"	S35°57'47"W	31.06'	31.06'
C4	440.00'	26°06'07"	N46°32'31"E	198.72'	200.45'
C5	440.00'	26°06'07"	N72°38'38"E	198.72'	200.45'
C6	380.00'	26°06'07"	N72°38'38"E	171.62'	173.11'
C7	380.00'	26°06'07"	N46°32'31"E	171.62'	173.11'
C8	420.00'	4°56'39"	S35°57'47"W	36.23'	36.24'

SEE THIS SHEET FOR LINE AND CURVE TABLES

PLAT NOTES APPLY TO EVERY PAGE OF THIS MULTIPLE PAGE PLAT



LOCATION MAP
NOT-TO-SCALE



INDEX MAP
NOT-TO-SCALE

LEGEND

DR	DEED RECORDS OF GUADALUPE COUNTY, TEXAS	ROW VOL	RIGHT-OF-WAY VOLUME (SURVEYOR)
OPR	OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF GUADALUPE COUNTY, TEXAS	●	FOUND 1/2" IRON ROD (PD UNLESS NOTED OTHERWISE)
PG	PAGE(S)	○	SET 1/2" IRON ROD (PD)
---	CENTERLINE	○	SET 1/2" IRON ROD (PD)-ROW
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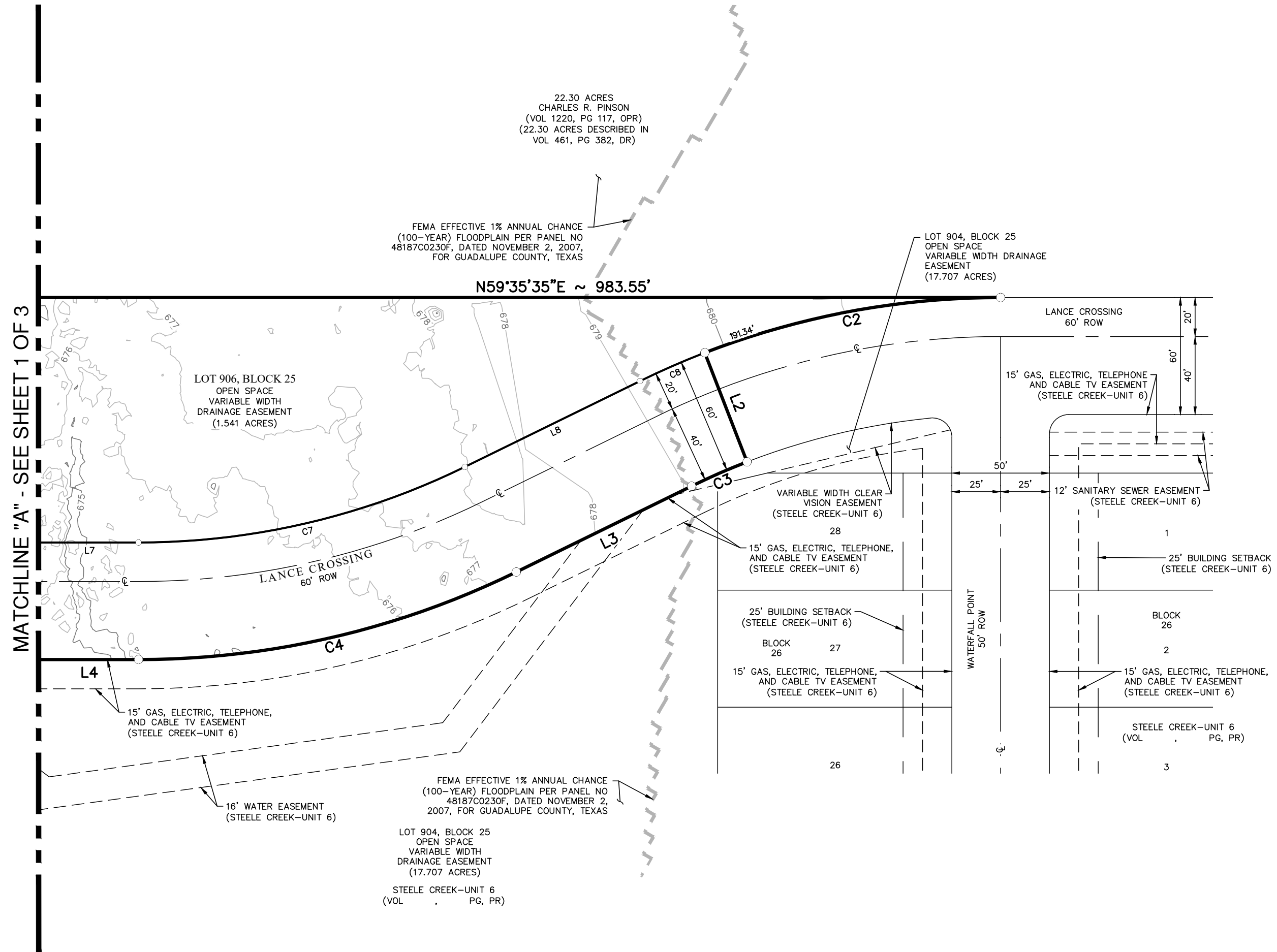
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PAPE-DAWSON ENGINEERS

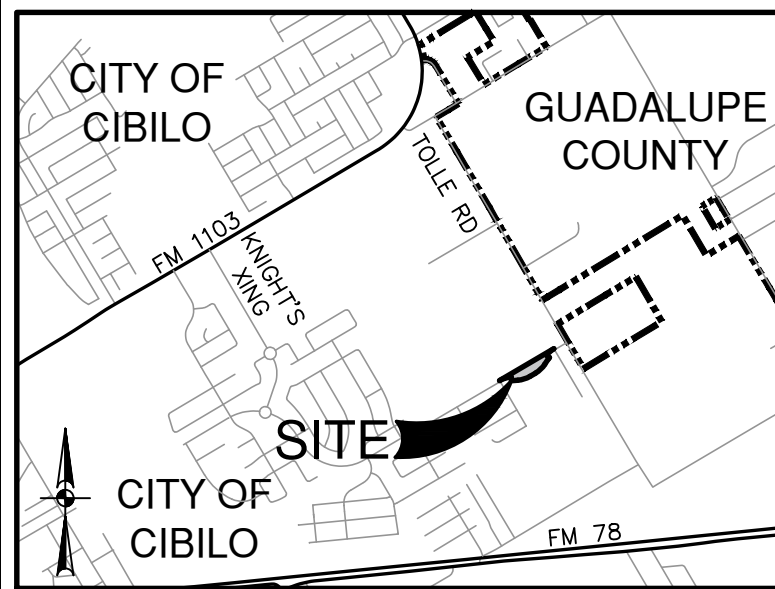
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SEE SHEET 1 OF 3
FOR LINE AND CURVE TABLES

PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLAT

LANCE CROSSING
Civil Job No. 12629-09; Survey Job No. 12629-06
Date: Mar 11, 2024, 8:39am User: ID: rnebert
File: C:\Users\LOCAL_... \Temp\AsPublish_952\FI1262906 (Lance Xing).dwg



LOCATION MAP
NOT-TO-SCALE

GENERAL NOTES:

- IN ACCORDANCE WITH THE CIBOLO UDC, APPROXIMATELY 21.20 ACRES OF PARKLAND DEDICATION IS REQUIRED FOR THE OVERALL STEELE CREEK DEVELOPMENT. THIS UNIT CONTAINS 0.000 ACRES.
- SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CIBOLO AND STATE PLATTING STATUTES, AND IS SUBJECT TO FINES AND WITHHOLDINGS OF UTILITIES AND BUILDING PERMITS.
- PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
- THE CITY OF CIBOLO RESERVES THE RIGHT TO RENAME STREETS AND/OR CHANGE HOUSE NUMBERS DUE TO INCOMPATIBILITY WITH EXISTING NAME LAYOUT, EMERGENCY VEHICLE RESPONSE, AND MAIL DELIVERY.
- THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF CIBOLO IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
- APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT, THE ENGINEER OF RECORD OR REGISTERED PROFESSIONAL LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEERS.
- ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM, IN APPROVING THESE PLANS, THE CITY OF CIBOLO MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
- ROUTINE MAINTENANCE OF WEEDS AND GRASS IN ALL EASEMENTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER, HOME OWNERS ASSOCIATION, OR PROPERTY OWNER ASSOCIATION, ON WHICH THE EASEMENT IS LOCATED IN ACCORDANCE WITH CITY OF CIBOLO CODE OF ORDINANCE PROVISIONS FOR HIGH WEEDS AND GRASS.
- A GEOTECHNICAL REPORT DEMONSTRATING COMPLIANCE WITH ALL RECOMMENDED PRACTICE FOR THE DESIGN OF RESIDENTIAL FOUNDATION, VERSION 1 STANDARDS OF THE TEXAS SECTION OF THE AMERICAN SOCIETY OF CIVIL ENGINEERS, THE GEOTECHNICAL STANDARDS OF THE CITY OF CIBOLO UDC, AND THE CITY OF CIBOLO BUILDING CODE, EACH OF WHICH AS MAY BE AMENDED, PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- ACCORDING TO FIRM MAP NO. 48187C0230F DATED NOVEMBER, 2, 2007, ALL RESIDENTIAL LOTS WITHIN THE SUBJECT PROJECT SHOWN HEREON APPEARS TO LIE OUTSIDE ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).
- THE ELEVATIONS SHOWN ARE BASED ON NAVD88 DATUM.
- THE PROPERTY SHOWN HEREON IS NOT LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE ZONE.
- THE PROPERTY SHOWN HEREON IS LOCATED WITHIN THE CITY OF CIBOLO.
- THE PROPERTY SHOWN HEREON IS LOCATED INSIDE THE SHERTZ-CIBOLO-UNIVERSAL CITY SCHOOL DISTRICT.
- THE PROPERTY SHOWN HEREON WILL HAVE UTILITIES PROVIDED BY THE FOLLOWING:
WATER: CITY OF CIBOLO
SEWER: CITY OF CIBOLO
ELECTRICITY: GVEC
- GUADALUPE VALLEY ELECTRIC COOPERATIVE TO HAVE A 5' WIDE ELECTRIC EASEMENT ON ALL ROAD CROSSINGS IN WHICH ELECTRIC OR COMMUNICATION LINES ARE LOCATED.
- ALL UTILITY EASEMENTS ARE FOR THE CONSTRUCTION, MAINTENANCE (INCLUDING BUT NOT LIMITED TO REMOVAL OF TREES AND OTHER OBSTRUCTIONS), READING OF METERS, AND REPAIR OF ALL OVERHEAD AND UNDERGROUND UTILITIES.
- ALL RESIDENTIAL LOTS WITHIN THIS PLAT ARE WITHIN THE CITY OF CIBOLO, AND ARE ZONED SF-6, PER CITY ORDINANCE # 1230.
- ANY EASEMENT DESIGNATED AS A GVEC 20' X 20' UTILITY EASEMENT SHALL REMAIN OPEN FOR ACCESS AT ALL TIMES AND SHALL NOT BE WITHIN A FENCED AREA.
- NO STRUCTURE, FENCES, WALLS, OR OTHER OBSTRUCTIONS THAT IMPEDE DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPE OF MODIFICATIONS WHICH ALTER THE CROSS-SECTIONS OF THE DRAINAGE EASEMENTS, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF PUBLIC WORKS. THE CITY OF CIBOLO SHALL HAVE THE RIGHT TO INGRESS AND EGRESS OVER THE GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY IMPEDING OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENTS AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.
- APPROXIMATELY ±699 LF OF PUBLIC ROAD IS PROVIDED WITHIN THIS PLAT.
- ALL PROPOSED STREETS WILL BE DEDICATED TO THE PUBLIC AND MAINTAINED BY THE CITY OF CIBOLO, UNLESS OTHERWISE NOTED.

SURVEYOR'S NOTES:

- PROPERTY CORNERS ARE MONUMENTED WITH CAP OR DISK MARKED "PAPE-DAWSON" UNLESS NOTED OTHERWISE.
- COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORRS NETWORK.
- DIMENSIONS SHOWN ARE SURFACE.
- BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

DRAINAGE AND OPEN SPACE EASEMENT NOTE:

THIS PLAT IS HEREBY ADOPTED BY THE OWNERS (CALLED "OWNERS") AND APPROVED BY THE CITY OF CIBOLO, (CALLED "CITY") SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE OWNERS, THEIR HEIRS, GRANTEEES, SUCCESSOR, AND ASSIGNS: LOT 906, BLOCK 25, AS SHOWN ON THE PLAT IS CALLED "DRAINAGE AND OPEN SPACE EASEMENT." THE DRAINAGE AND OPEN SPACE EASEMENT IS HEREBY RESERVED FOR THE PUBLICS USE FOREVER, BUT INCLUDING THE FOLLOWING COVENANTS WITH REGARD TO MAINTENANCE RESPONSIBILITY. THE EXISTING CREEK OR CREEKS TRAVERSING THE DRAINAGE AND OPEN SPACE EASEMENT SHALL REMAIN AS OPEN CHANNELS AT ALL TIMES AND SHALL BE MAINTAINED BY ALL OF THE OWNERS OF LOTS IN THE SUBDIVISION BY AND THROUGH A LAWFULLY CREATED HOMEOWNERS ASSOCIATION TO BE CREATED BY THE OWNERS. THE OWNERS COVENANT AND AGREE THAT SUCH A HOMEOWNERS ASSOCIATION (CALLED "ASSOCIATION") SHALL BE CREATED PRIOR TO THE FINAL ACCEPTANCE BY THE CITY. ASSOCIATION DOCUMENTS SHALL BE SUBJECT TO THE APPROVAL OF THE CITY AND SHALL SPECIFICALLY CONTAIN COVENANTS BINDING THE ASSOCIATION TO CONTINUOUSLY MAINTAIN THE DRAINAGE AND OPEN SPACE EASEMENT. SUCH COVENANTS SHALL NOT RELIEVE THE INDIVIDUAL LOT OWNERS OF THE RESPONSIBILITY TO MAINTAIN THE DRAINAGE AND OPEN SPACE EASEMENT SHOULD THE ASSOCIATION DEFAULT IN THE PERFORMANCE OF ITS MAINTENANCE RESPONSIBILITY. THE ASSOCIATION DOCUMENTS SHALL ALSO CONTAIN PROVISIONS THAT THEY MAY NOT BE AMENDED WITH REGARD TO THE DRAINAGE AND OPEN SPACE EASEMENT SHALL ALWAYS REMAIN IN THE ASSOCIATION. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID CREEK OR CREEKS OR FOR ANY DAMAGE OR INJURY TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM THE FLOW OF WATER ALONG SAID CREEK, OR FOR THE CONTROL OF EROSION. NO OBSTRUCTION TO THE NATURAL FLOW OF STORM WATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND OPEN SPACE EASEMENT, PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO CONSIDER CHANNELIZING OR ERECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE, THEN IN SUCH EVENT, THE CITY SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER UPON THE DRAINAGE AND OPEN SPACE EASEMENT AT ANY POINT, OR POINTS, WITH ALL RIGHTS OF INGRESS AND EGRESS TO INVESTIGATE, SURVEY, OR TO ERECT, CONSTRUCT, AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. THE OWNERS AND ASSOCIATION SHALL KEEP THE NATURAL DRAINAGE CHANNELS WITHIN THE DRAINAGE AND OPEN SPACE EASEMENT FREE OF DEBRIS, SILT, OR ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE OWNERS AND THE ASSOCIATION TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE CREEKS AND NATURAL DRAINAGE CHANNELS THROUGH THE DRAINAGE AND OPEN SPACE EASEMENT, AS IN THE CASE OF ALL NATURAL CHANNELS, ARE SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE LIABLE FOR ANY DAMAGES AND INJURIES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, NOR RESULTING FROM THE FAILURE OF ANY STRUCTURE OR STRUCTURES, WITHIN THE DRAINAGE AND OPEN SPACE EASEMENT, AND THE OWNERS HEREBY AGREE TO INDEMNIFY AND HOLD HARMLESS THE CITY FROM ANY SUCH DAMAGES AND INJURIES. BUILDING AREAS OUTSIDE THE DRAINAGE AND OPEN SPACE EASEMENT SHALL BE FILLED TO A MINIMUM ELEVATION AS SHOWN ON THE PLAT.

PRELIMINARY PLAT
OF
LANCE CROSSING

BEING A TOTAL OF 2.515 ACRE TRACT OF LAND LOCATED IN THE JERONIMO LEAL SURVEY NO. 85, ABSTRACT NO. 210, IN THE CITY OF CIBOLO, GUADALUPE COUNTY, TEXAS, BEING OUT OF THAT CERTAIN 85.592 ACRES OF LAND CONVEYED TO STEELE CREEK INVESTMENTS, L.L.C, AS DESCRIBED IN DOCUMENT NO. 201899019519, OF THE OFFICIAL PUBLIC RECORDS OF GUADALUPE COUNTY, TEXAS.

(1 OPEN SPACE LOTS IN 1 BLOCKS)

OWNER: CONTINENTAL HOMES OF TEXAS, LP
A TEXAS LIMITED PARTNERSHIP
BY: CHTEX OF TEXAS, INC
A DELAWARE CORPORATION, ITS SOLE GENERAL PARTNER
BY: LESLIE OSTRANDER, ASSISTANT SECRETARY
5419 N LOOP 1604 E, SAN ANTONIO, TX 78247

DATE OF PRINT: March 11, 2024



2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: LESLIE OSTRANDER, ASSISTANT SECRETARY
BY: CHTEX OF TEXAS, INC.
A DELAWARE CORPORATION,
ITS SOLE GENERAL PARTNER OF
CONTINENTAL HOMES OF TEXAS, L.P.
5419 N. LOOP 1604 E
SAN ANTONIO, TX 78247
(210) 496-2668

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED LESLIE OSTRANDER KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS DAY OF _____, A.D. 20____.

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN IN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE CITY COUNCIL OF THE CITY OF CIBOLO.

LICENSED PROFESSIONAL ENGINEER

SWORN TO AND SUBSCRIBED BEFORE ME THIS THE ____ DAY OF _____, ____.

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE ON THE GROUND UNDER MY SUPERVISION.

REGISTERED PROFESSIONAL LAND SURVEYOR

THIS SUBDIVISION PLAT OF LANCE CROSSING, SUBMITTED AND APPROVED BY GUADALUPE VALLEY ELECTRIC COOPERATIVE, INC. FOR EASEMENTS.

AGENT FOR GUADALUPE VALLEY ELECTRIC COOP., INC.

THIS PROPOSED DEVELOPMENT HAS BEEN REVIEWED AND APPROVED BY THE CIBOLO CREEK MUNICIPAL AUTHORITY (C.CMA) FOR WASTEWATER TREATMENT PLANT CAPACITY AND EASEMENTS. ALL FEES DUE FOR IMPACT TO THE SYSTEM AT TIME OF CONNECTION WILL BE CALCULATED AT SUBMITTAL OF BUILDING PERMIT APPLICATION.

AGENT FOR CIBOLO CREEK MUNICIPAL AUTHORITY

APPROVED ON THIS THE ____ DAY OF _____, A.D., 20____, BY THE CITY ENGINEER, CITY OF CIBOLO, TEXAS.

CITY ENGINEER, CITY OF CIBOLO

THIS PLAT OF LANCE CROSSING, HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF CIBOLO, TEXAS, AND IS HEREBY APPROVED BY SUCH COMMISSION.

DATED THIS ____ DAY OF _____, ____.

BY: _____
CHAIR

BY: _____
VICE CHAIR

THIS PLAT OF LANCE CROSSING, HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY COUNCIL OF THE CITY OF CIBOLO, TEXAS AND IS HEREBY APPROVED BY SUCH CITY COUNCIL.

DATED THIS ____ DAY OF _____, A.D., 20____.

BY: _____ CITY SECRETARY BY: _____ MAYOR

SEE SHEET 1 OF 3
FOR LINE AND CURVE TABLES

PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLAT

SHEET 3 OF 3

On behalf of the:

March 28, 2024



City of Cibolo
Attn: Grant Fore
200 S. Main Street
Cibolo, Texas 78108

Re: Preliminary Plat Review
Lance Crossing (PC-24-11-PP)

Mr. Fore,

Colliers Engineering & Design has completed its review of the referenced project and has the following comments:

General Note –

1. Please include as part of your resubmittal a comment response letter addressing all comments.

Sheet 1 of 3 –

1. For Lot 906 use a new block number that has not been used previously in Steele Creek since the Lot is across Lance Crossing right of way from the rest of Block 25. Applicable for both sheet 1 & 2 of plat.
2. Acreage quantity for Lot 904 Block 25 differs from the last version of Steel Creek Unit 6 submitted, update as needed. Applicable for both sheet 1 & 2 of plat.
3. It appears L4 is repeated in the Line Table, update as needed.
4. Provide full 80' ROW dedication where ROW is not adjacent to neighboring property. Applicable to sheets 1 & 2 of plat.
5. Add 15' GETCV easement on Norrthern side of Lance Crossing ROW. Applicable to both sheet 1 & 2 of plat.

Sheet 3 of 3 –

1. Update Universal Development Application to reflect SF-6 zoning to match Note 18 and current Cibolo zoning map.

Our review of the subdivision does not relieve or release the Engineer of Record or Surveyor of Record from complying with any and all the requirements of the local, state, and federal rules and regulations or guidelines impacting this project. If you require additional information, please contact our office.

Sincerely,

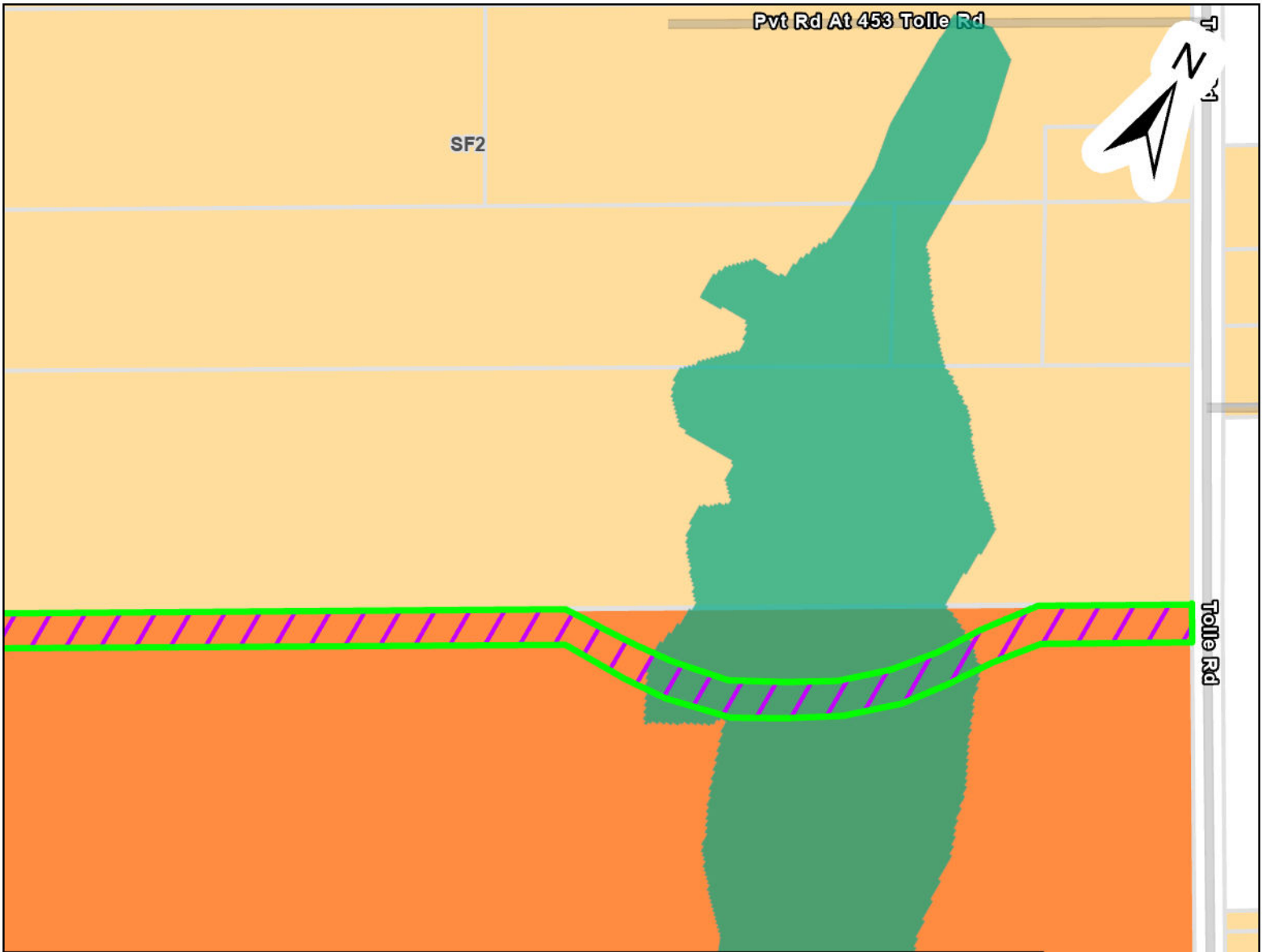


Andy Carruth, P.E.

Plan Reviewer for the City of Cibolo

Pvt Rd At 453 Tolle Rd

SF2



Property Information Map for Lance Crossing

-  Property of Interest
-  Manufactured Home Residential (MH1)
-  Low Density Single-Family Residential (SF2)
-  High Density Single-Family Residential (SF6)





Council District: 7

Water Service: City of Cibolo

Sewer Service: City of Cibolo



FEMA Hazard

-  0.2% Annual Chance Flood Hazard
-  1% Annual Chance Flood Hazard (Contained in Channel)
-  AREA OF MINIMAL FLOOD HAZARD
-  1% Annual Chance Flood Hazard

Tolle Rd

Tolle Rd

Pvt Rd At 453 Tolle Rd

SF2



Tolle Rd

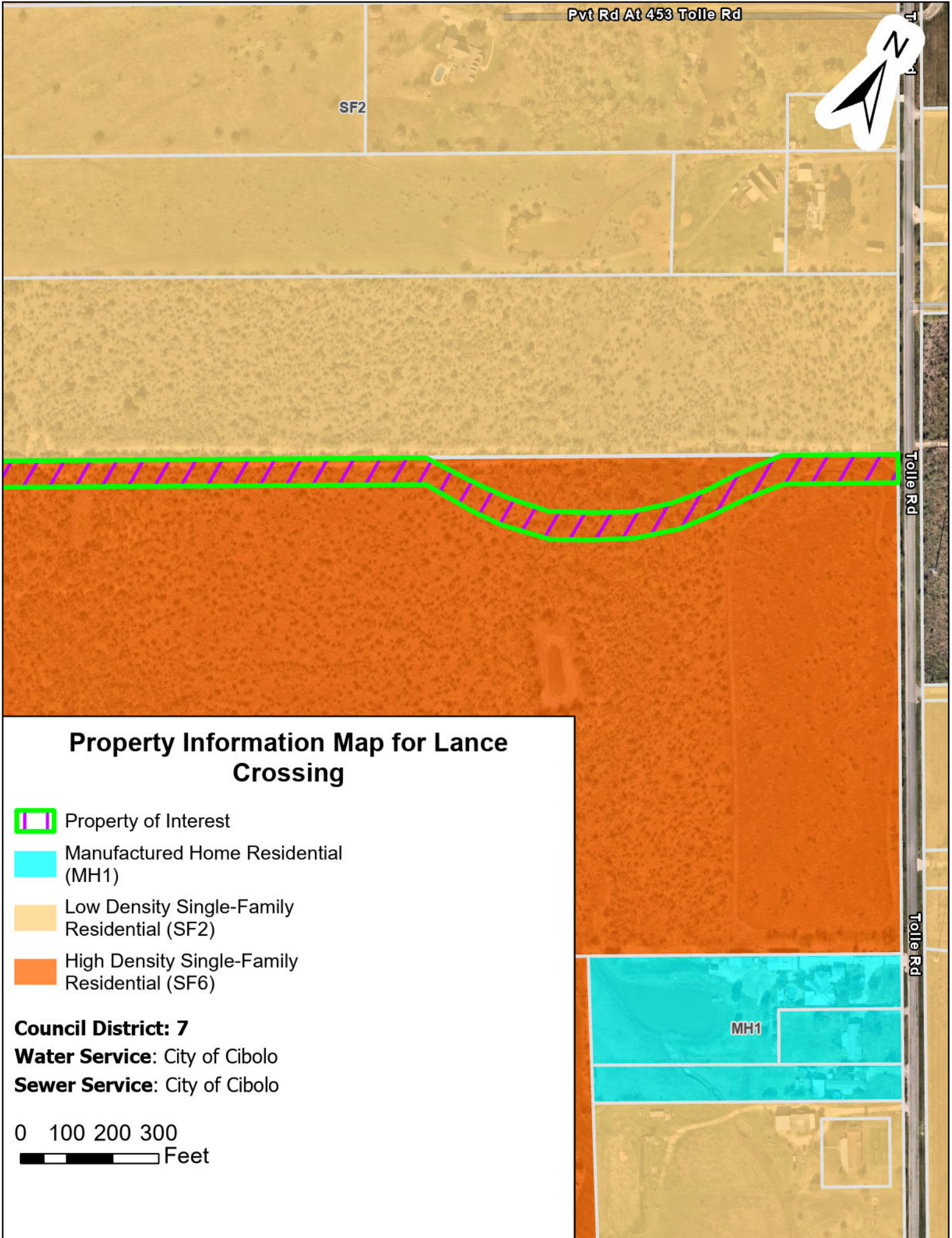
Tolle Rd

Property Information Map for Lance Crossing

-  Property of Interest
-  Manufactured Home Residential (MH1)
-  Low Density Single-Family Residential (SF2)
-  High Density Single-Family Residential (SF6)

Council District: 7
Water Service: City of Cibolo
Sewer Service: City of Cibolo

0 100 200 300
 Feet





Discussion/Action and Recommendation to the Mayor and City Council regarding a Conditional Use Permit for a Fitness Studio/Health Spa use for property located at 2251 FM 1103, Suite #106, legally described as CIBOLO VALLEY SQUARE LOT #1 BLK #1 3.21 ACS.

Meeting	Agenda Group	
Wednesday, April 10, 2024, 6:30 PM	Discussion/Action Items	Item: 10B
From	Staff Contact(s)	
Lindsey Walker, Planner I	Lindsey Walker,	

PLANNING & ZONING COMMISSION ACTION:

Discussion/Action and Recommendation regarding the above referenced petition

PROPERTY INFORMATION:

Project Name: **CUP-24-03**
 Owners: 2251 FM 1103, Ltd.
 Representative: Edgar Gamboa, JCG Management Holdings, LLC
 Location/Area: 2251 FM 1103, Suite #106, 3.21 acres
 Location: FM 1103, south of Green Valley Road
 Council District: 5
 Future Land Use: Neighborhood Commercial
 Existing Zoning: Neighborhood Commercial (C-1)
 Requested Zoning: Conditional Use Permit (CUP)
 Proposed Use: Jiu Jitsu Studio

FINDINGS:

A zoning request is specifically about land use, not the future engineering of the land itself, and should meet criteria per [UDC Article 4.3.1.5](#). Decisions regarding future engineering of the land occur with the platting process, where the property's design is known. The applicant lot is in the Cibolo Valley Square shopping center, south of Green Valley Road. Across from FM 1103 is the Heights of Cibolo residential subdivision, which is within the High Density Single-Family (SF-6) residential zoning district. Two undeveloped properties, also within the Neighborhood Commercial (C-1) zoning district, are directly north and south of the property. To the west is undeveloped land within the Low Density Single-Family (SF-2) residential zoning district. The Cibolo Valley Square shopping center currently contains a dental office, an optometrist, a salon, and one vacant suite. The applicant is requesting a Conditional Use Permit to allow Fitness Studio/Health Spa use, which includes martial arts studios such as the proposed Jiu Jitsu studio.

PUBLIC NOTICE:

Notice was published within the local newspaper (Seguin Gazette) on March 24, 2024, and the [City Website](#). Individual letters were sent by mail to 19 property owners within 200' of the site. To date, Staff has received zero (0) in favor of and zero (0) in opposition. Public Hearings were scheduled for April 10, 2024, (Planning and Zoning Commission) and on April 23, 2024, (City Council). Approval/Disapproval of the zoning ordinance is tentatively scheduled for the May 14, 2024, City Council meeting.

STAFF CONCLUSIONS:

Staff recommends, should Council approve the CUP for a Fitness Studio/Health Spa use for property located at 2251 FM 1103, Suite #106, that it be subject to the following conditions:

1. Building & Fire Codes – Applicant must comply with all Building and Fire Code requirements.

2. Permits & Inspections – All required building permits and Certificate of Occupancy must be obtained. All permit applications submitted for this property are subject to the requirements of the Code.
3. Additional Uses – No other conditional uses are allowed under this conditional use permit.
4. C-1 Regulations – All regulations of the Neighborhood Commercial (C-1) Zoning District, other than those amended by the Conditional Use Permit, apply to the Property.

PLANNING & ZONING COMMISSION ACTION:

1. Recommend **Approval** of the requested Conditional Use Permit for a Fitness Studio/Health Spa use for property located at 2251 FM 1103, Suite #106, legally described as CIBOLO VALLEY SQUARE LOT #1 BLK #1 3.21 ACS.
2. Recommend **Approval** of the requested Conditional Use Permit for a Fitness Studio/Health Spa use for property located at 2251 FM 1103, Suite #106, legally described as CIBOLO VALLEY SQUARE LOT #1 BLK #1 3.21 ACS, *and any additional conditions Commission may require.*
3. Recommend **Denial** of the requested Conditional Use Permit for a Fitness Studio/Health Spa use, *with findings.*

STAFF ANALYSIS:

Unified Development Code (UDC) Section 4.3.2 – Conditional Use Permit Approval Considerations

A CUP is intended to provide some flexibility to traditional zoning by offering a mechanism to balance specific site constraints and development plans with the larger interest of the community and the integrity of the UDC. An application for a CUP follows the same process as a Zoning Map Amendment Process (rezoning). The Permit, if granted, may include conditions placed upon the development of the property. The Planning & Zoning Commission and City Council shall consider the following, at a minimum, in conjunction with its deliberations for approval or denial of the application and the establishment of conditions: *(for reference, UDC and Comprehensive/Master Plan)*

A. Consistency with the Comprehensive Master Plan;

Comprehensive/Master Plan – Future Land Use Categories – Neighborhood Commercial

Appropriate Land Use Types: The appropriate primary and secondary uses allowed in areas designated as Neighborhood Commercial include all of the commercial and civic uses set out in Neighborhood Commercial (C-1) district in the City's Code of Ordinances. Primary uses allowed in the Neighborhood or Transitional Residential future land use categories could be considered as long as they were part of a larger planned unit development and comprise no more than 25 percent of the land area devoted to the entire development.

Compatible Zoning Districts (P.43 from Comp Plan):

Neighborhood Commercial (C-1) | Planned Unit Development (PUD)

STAFF FINDING: The request for Fitness Studio/Health Spa complies with the Comprehensive Master Plan as it is an allowable use within the Neighborhood Commercial land use type and C-1 zoning district per UDC Sec. 13.2 with an approved CUP.

B. Conformance with applicable regulation in this UDC and standards established by the UDC;

STAFF FINDING: The Cibolo Valley Square commercial center was platted in 2017. A site plan for the center was subsequently approved in 2018. The applicant meets off-street parking requirements according to Sec. 10.2, which requires one parking stall per two persons for martial art studios, without affecting the neighboring businesses sharing the same parking lot. Like the maximum number of required parking spaces, UDC regulations were addressed during site plan review. Therefore, the request conforms with all applicable regulations and standards of the UDC.

C. Compatibility with existing or permitted uses on abutting sites, in terms of building height, bulk, scale, setbacks and open spaces, landscaping and site development, and access/circulation.

UDC Section 14.O.11 Neighborhood Commercial

a. Intent – The Neighborhood Commercial district is established to provide for a limited variety of commercial uses and services associated with neighborhood storefront retail, service, financial, and office activities which are compatible and designed in scale with surrounding residential areas. The intent of this District is to provide convenient neighborhood access to commercial services, and minimize undesirable impacts such as noise, traffic and odors through performance standards.

b. Permitted uses – limited office and retail uses and services which are compatible and designed in scale with surrounding residential areas.

c. Specific uses – subject to Site Plan approval, limited office, retail and service uses which are compatible and designed in scale with surrounding residential areas.

Lot Area	Lot Width	Front Setback	Rear Setback	Side Setback	Max Impervious Coverage	Maximum Height
None	50'	20'	20'	10'	70%	35'

STAFF FINDING: The UDC provides lot design guidelines within the C-1 Zoning District that are designed in scale for compatibility with surrounding mix of commercial and residential areas. The applicant is leasing a suite within the Cibolo Valley Square commercial center, which already complies with UDC lot design requirements.

D. Potential unfavorable impacts on existing or permitted uses on abutting sites, the extent that such impacts exceed those which reasonably may result from use of the site by a permitted use;

UDC Section 13.2 Uses allowed by right and with a Conditional Use Permit (CUP).

C-1 uses allowed by right	C-1 allowed with CUP
Administrative and Business Offices	Administrative Services
Artisan Sales	Business or Trade School
Artisan/ Culinary Classes (Specialty Classes)	Business Services
Assembly	Community Treatment Facility *
Business Support Services	Concrete/Asphalt Batching Plant (Temporary)
Clinic	Convalescent Services
Club or Lodge	Farmers Market
Consumer Repair Services	Fitness Studio/ Health Spa
Cultural Services	Local Convenience Store (With Fuel Sales)
Day Care Services (General Commercial)	Local Convenience Store (Without Fuel Sales)
Day Care Services (Group)	Nursery School
Financial Services	Pet Services
Food Sales; Grocery	Primary Educational Facilities
General Retail Sales, Neighborhood Scale	Restaurant, Fast Food
Health Care Offices	Secondary Educational Facilities
Laundry Services: Dry Cleaning	Veterinary Services
Life Care Services *	
Local Convenience Store (With Fuel Sales)	
Local Utility Services	
Personal Services	
Postal Facilities	
Professional office	
Restaurant, Convenience	
Restaurant, Neighborhood	
Safety Services	

*Subject to supplemental use regulations of UDC Article 6.

STAFF FINDING: This use is suitable for the district provided the CUP is approved. Staff does not foresee any unfavorable impacts as this is a low-intensity, low-traffic use.

E. Modifications to the site plan which would result in increased compatibility or would mitigate potentially unfavorable impacts or would be necessary to conform to applicable regulations and standards and to protect the public health, safety, morals and general welfare.

Comprehensive/Master Plan - Future Land Use Categories - Neighborhood Commercial

Moving Forward - New neighborhood commercial development should be located and take access from a collector roadway or greater in functional classification. The gross floor area of nonresidential uses (excluding Institutional) should

be as follows: local street (5,000 sf); collector street (10,000 sf); and arterial street (25,000 sf). Residential mixed use should be allowed, provided that it is part of a planned unit development and does not constitute more than 25 percent of the development. No drive-throughs should be allowed, bay doors should be placed perpendicular to the public right-of-way, and signage should be appropriately scaled to reflect neighborhood-serving uses.

STAFF FINDING: The proposed martial arts studio is compatible with the surrounding residential and commercial uses as it is a low-intensity business that encourages health and wellness of the community. Therefore, the request conforms with all applicable regulations as well as the intent of the Comprehensive Master Plan.

F. Safety and convenience of vehicular and pedestrian circulation in the vicinity, including traffic reasonably expected to be generated by the proposed use.

STAFF FINDING: Fitness Studio/Health Spa use does not typically generate high levels of traffic. Therefore, staff do not foresee major impacts to traffic as a result of granting the CUP.

ATTACHMENTS:

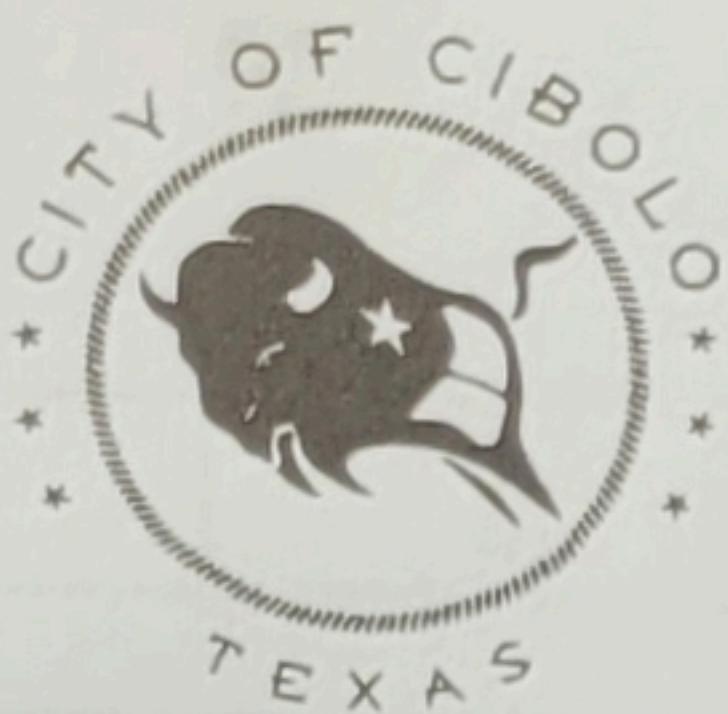
- Application
- Site Plan
- Staff Map

Attachments

Application

Site Plan

Staff Map



City of Cibolo

Planning Department
201 Loop 539 W/P.O. Box 826
Cibolo, TX 78108
Phone: (210) 658 - 9900

UNIVERSAL APPLICATION - CONDITIONAL USE PERMIT

Please fill out this form completely, supplying all necessary information and documentation to support your request. *Please use a separate application for each submittal.* Your application will not be accepted until the application is completed and required information provided.

Project Name: Cibolo Valley Square
Total Acres: 3.21 Survey Name: Cibolo Valley Square LOT #1 BLK #1 Abstract No.: _____
Project Location (address): 2251 FM 1103, Cibolo, Texas 3.21 ACS


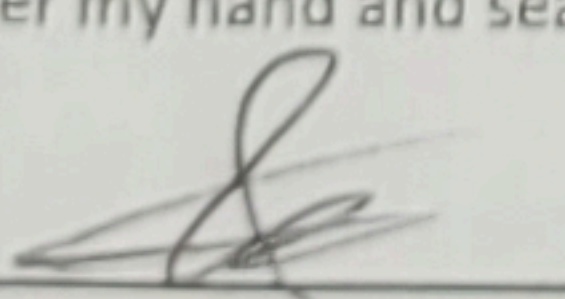
Current Zoning: C-1 Overlay: None Old Town FM 78
Proposed Zoning: C-1 W/CUP # of Lots: 1 # of Units: 6
Please Choose One: Single-Family Multi-Family Commercial Industrial
 Other
Current Use: Retail Office Total Proposed Square Footage: 2431 SF
Proposed Use: Jiu Jitsu Studio (Commercial/Industrial only)

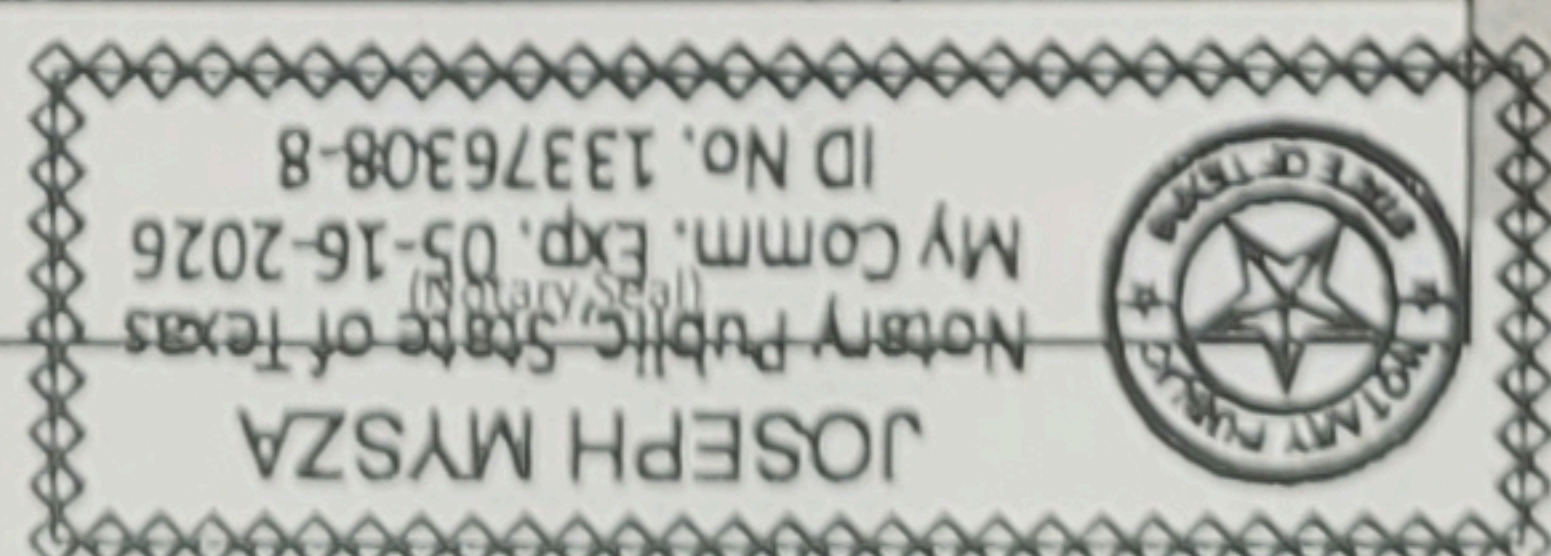
Applicant Information:

Property Owner Name: 2251 FM 1103, Ltd.
Address: c/o Oldham Goodwin Group 2800 South Texas Avenue. Ste 401 City: Bryan
State: Texas Zip Code: 77802 Phone: 210-404-4600
Email: barbara.scheel@oldhamgoodwin.com Fax: _____

*Applicant (if different than Owner): Jcg Management Holdings LLC / Edgar Gamboa
* Letter of Authorization required
Address: 9514 Millers Rdg City: San Antonio
State: TEXAS Zip Code: 78239 Phone: 9152530223
Email: jcgholdings@outlook.com Fax: _____

Representative: Med-Tech Construction Inc. / Joseph Mendoza
Address: 6714 N New Braunfels Ave #204 City: San Antonio
State: TEXAS Zip Code: 78209 Phone: 2107212990
Email: jmendoza@medtechconstruction.com Fax: _____

Authorization: By signing this application, you hereby grant Staff access to your property to perform work related to your application.	City of Cibolo Use Only
 Owner or Representative's Signature <u>Yu-Sien Jin</u> Typed / Printed Name	Total Fees
State of <u>TX</u>	Payment Method
County of <u>Guadalupe</u>	Submittal Date
Before me, <u>Joseph Mysza</u> , on this day personally appeared Name of Notary Public	Accepted by
<u>Yu-Sien Jin</u> , to be the person(s) who is/are subscribed to the Name of signer(s)	Case Number
foregoing instrument and acknowledge to me that he/she/they executed the same for the purposes and consideration therein expressed.	
Given under my hand and seal of office this <u>11</u> day of <u>March</u> , <u>2024</u>	
 Notary Public Signature	





Jcg Management Holdings LLC
dba Gracie Barra Cibolo
2251 FM 1103 Suite 106
Cibolo TX, 78108
915-253-0223

To whom it may concern,

My name is Edgar Gamboa and I'm the owner of Jcg Management Holdings LLC dba Gracie Barra Cibolo. My business, Gracie Barra Cibolo, is a Jiu-Jitsu martial arts studio. We have over 700 locations worldwide, where we serve the community by promoting physical and mental wellness through the training programs we offer. We offer Jiu-Jitsu classes for children and adults, Jiu-Jitsu inspired fitness classes, including self-defense classes for both men and women of all ages. I'm leasing a space, within an existing shell building, at Cibolo Valley Square located at 2251 FM 1103 Suite 106, Cibolo TX 78108. Our hours of operation will be Mon - Friday 10am - 12pm / 4pm - 8pm, Sat-Sun 9am - 12pm with 2 full time employees available in those times.

Upon submission of plans to the City of Cibolo for permitting to build out our studio, we were notified that an additional Conditional Use Permit would be required.

I appreciate your cooperation and assistance in helping us move through this process of obtaining the Conditional Use Permit, so we can continue with our mission of opening our studio in Cibolo.

Thank you,

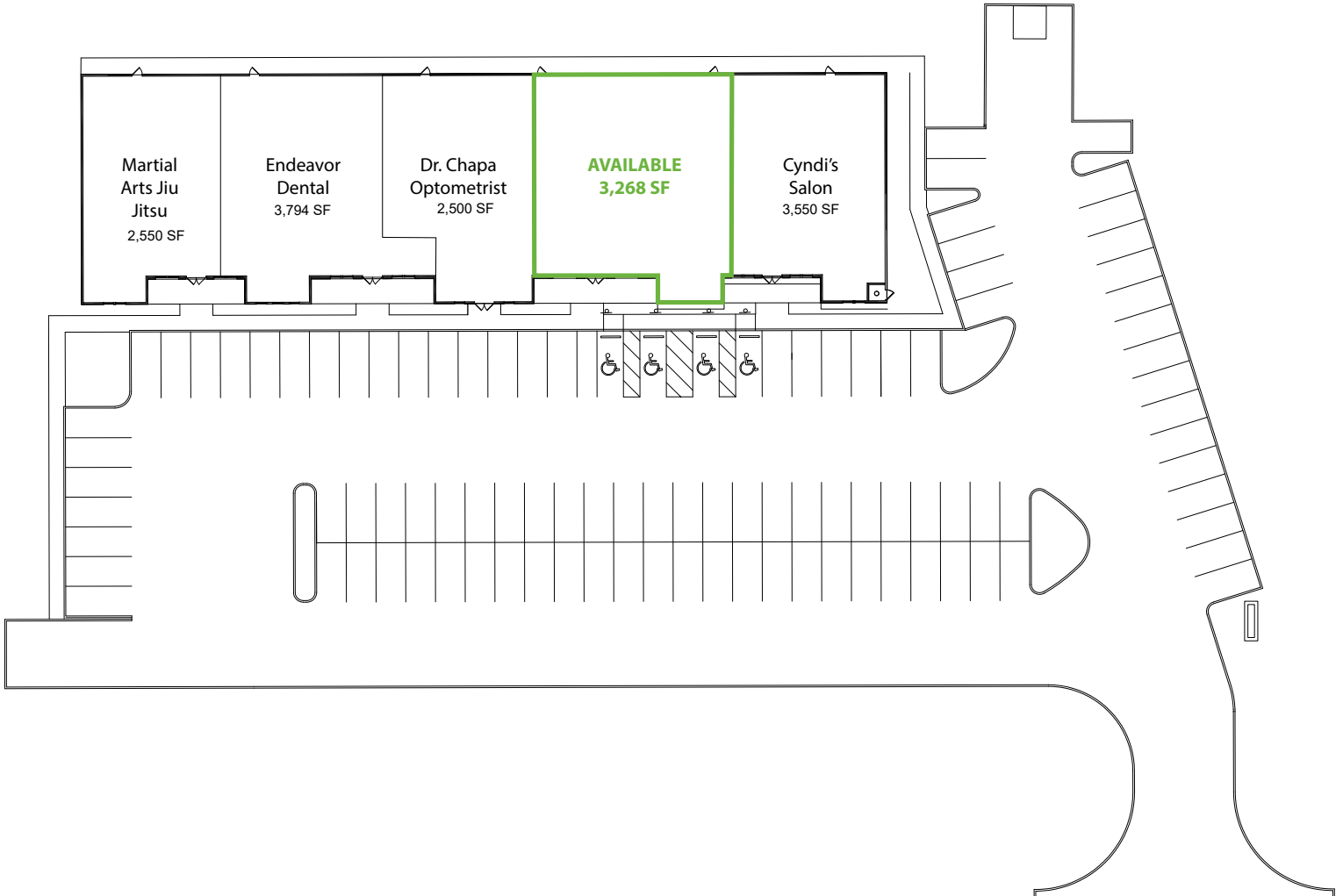
Edgar Gamboa

FOR LEASE

CIBOLO VALLEY SQUARE

2251 FM 1103
CIBOLO, TEXAS 78108

98 parking spaces with 4 additional handicap spaces



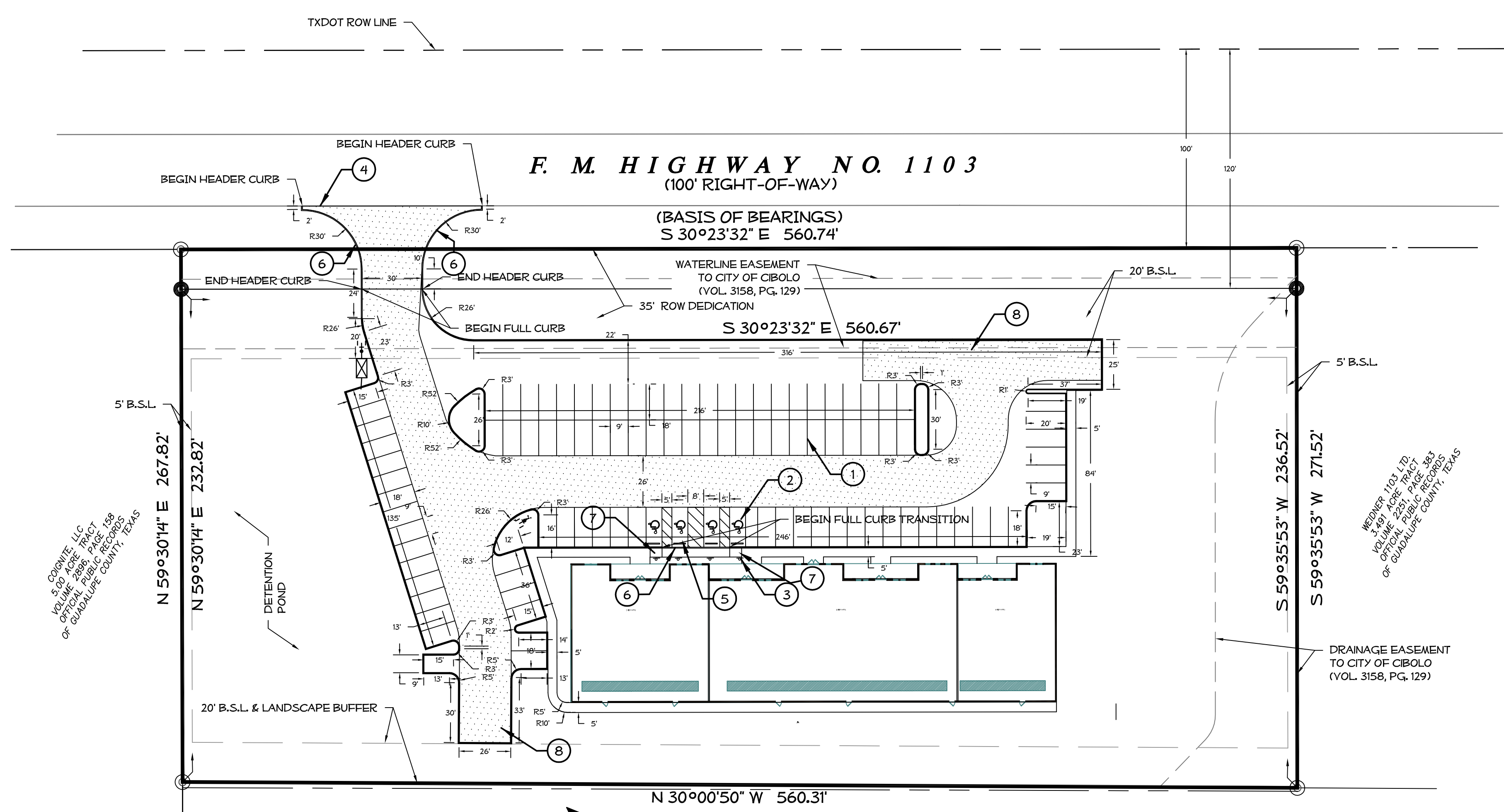
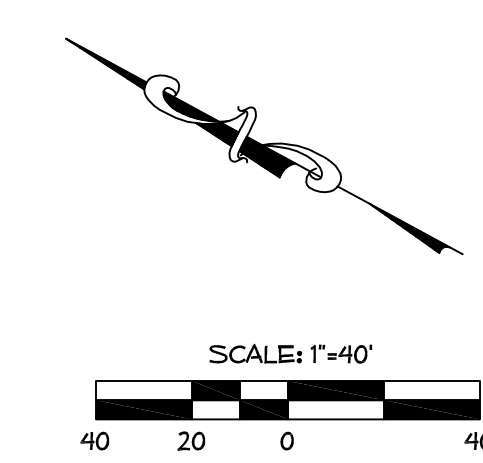
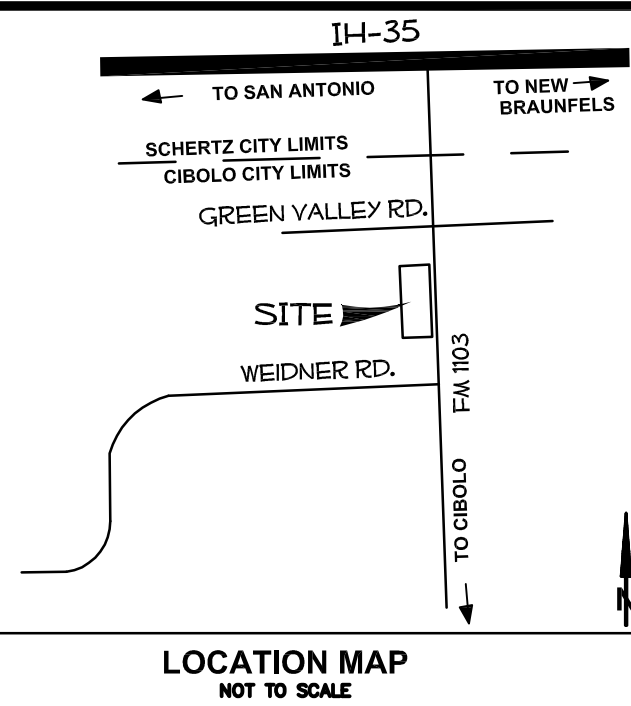
SUITE

AVAILABILITY

RSF

106	Martial Arts Jiu Jitsu	2,550
116	Endeavor Dental	3,730
126	Dr. Chapa - Optometrist	2,500
TBD	Available	1,200 - 3,268
146	Cyndi's Salon	3,500





CONWITE, LLC
 5300 ROSE HURST PLACE
 HOUSTON, TEXAS 77056
 ORIGINAL PUBLIC RECORDS
 OF GRADUATE COUNTY, TEXAS

WEICHER 1103 LTD
 10000 MOORE TRACT
 OFFICE: PUBLIC RECORDS
 & GRADUATE COUNTY, TEXAS

DRAINAGE EASEMENT
 TO CITY OF CIBOLO
 (VOL. 3158, PG. 129)

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		PROPERTY (R.O.W.) LINE/ SUBDIVISION BOUNDARY
		PROPERTY CORNER
		FLOW ARROW
		LIGHT POLE
		POWER POLE
		DOWN GUY
		TRANSFORMER (SIZE VARIES)
		FIRE HYDRANT
		WATER VALVE
		WATER METER
		WATER METER VAULT
		WATER MANHOLE
		TELEPHONE RISER
		CABLE TV RISER
		ELECTRIC BOX
		ELECTRIC METER
		GAS METER
		GAS VALVE
		TRAFFIC CONTROL BOX
		TRAFFIC SIGNAL POST
		TELEPHONE RISER
		GRATE INLET
		CURB INLET (SIZE VARIES)
		GREASE TRAP (SIZE VARIES)
		STORM DRAIN LINE
		WATER LINE
		FIRE LINE
		WASTEWATER LINE
		WASTEWATER LATERAL LINE
		GAS LINE
		ELECTRIC LINE
		OVER-HEAD ELECTRIC
		UNDERGROUND TELEPHONE
		UNDERGROUND CABLE AND INTERNET
		TELECOMMUNICATIONS LINE
		ELECTRIC MANHOLE (SIZE VARIES)
		WASTEWATER MANHOLE (SIZE VARIES)
		STORM DRAIN JUNCTION BOX
		TELEPHONE MANHOLE (SIZE VARIES)
		WASTEWATER CLEANOUT
		CURB
		TOP OF PAINT/FINISHED GROUND ELEV.
		TOP OF CURB SPOT ELEV.
		TOP OF GRATE ELEV.

KEY NOTES

- PROPOSED 4" WHITE PARKING STRIPE (TYPICAL).
- PROPOSED PAINTED HANDICAP PARKING SYMBOL. REF. DETAIL C5.0.7.
- PROPOSED HANDICAP SIGN. REF. DETAIL C5.0.8.
- MATCH EXISTING PAVEMENT AS REQUIRED.
- HANDICAP PARKING STALL. REF. DETAIL C5.0.2 AND C5.0.7.
- HEADER CURB REF. DETAIL C6.0.6.
- HANDICAP RAMPS REF. DETAIL C6.0.7.
- HEAVY DUTY ASPHALT PAVING, REF. DETAIL C5.0.3.

GENERAL NOTES

- BOUNDARY AND TOPOGRAPHICAL SURVEY PROVIDED BY BERGER LAND SURVEYING, JKS ENGINEERING CO., P.L.L.C. SHALL NOT BE RESPONSIBLE FOR ITS CONTENT AND/OR ACCURACY. FOR QUESTIONS REGARDING THE SURVEY, CONTACT JEFFREY BERGER R.P.L.S. 5558, AT (210) 215-7256.
- ACTUAL FLOOR PLAN OF BUILDING(S) MAY VARY FROM THESE PLANS. LAYOUT OF THESE STRUCTURES ARE INTENDED FOR GRAPHICAL REPRESENTATION ONLY. CONTRACTOR SHOULD VERIFY BUILDING ENVELOPE FROM ARCHITECTURAL PLANS BEFORE COMMENCING CONSTRUCTION.
- ALL DIMENSIONS SHOWN ARE APPROXIMATE AND ARE SHOWN FOR GRAPHICAL REPRESENTATION ONLY. IF A DISCREPANCY IS FOUND, CONTRACTOR SHALL NOTIFY ENGINEER BEFORE COMMENCING CONSTRUCTION.
- REFER TO GRADING PLAN FOR ELEVATIONS OF SITE PARKING IMPROVEMENTS, DRIVES, STORM WATER DETENTION POND, GENERAL SITE GRADING, ETC.
- ALL DIMENSIONS SHOWN ARE ROUNDED TO THE NEAREST 0.1.
- ALL PAVING IS TO BE CONSTRUCTED WITH REINFORCED CONCRETE, OR ASPHALT PAVEMENT, OR BARE FLEXIBLE BASE AS PER THE PAVEMENT DETAILS, REF. SHEET C5.0.
- FIRE LANE PAINT STRIP SHALL BE 6" WIDE RED COLORED WITH THE 4" TALL WORDS "NO PARKING - FIRE LANE TOW AWAY ZONE" COLORED IN WHITE, SPACED AT 45' INTERVALS.
- ALL AREAS REQUIRE LIGHT DUTY ASPHALT PAVING EXCEPT FOR AREAS WITH "DOT HATCHING" SIGNIFIED BY KEY NOTE 8 AND THE DUMPSTER PAD LOCATION.
- THE DUMPSTER PAD AND TURN OUT LOCATION SHALL BE COMPOSED OF HEAVY DUTY CONCRETE PAVING. CONTACT JKS FOR FURTHER DETAILS ON TRASH TRUCK TURN OUT SIZING.

FIRE APPARATUS NOTE:

- EMERGENCY ACCESS EASEMENT SHOWN HEREON, A HARD ALL-WEATHER SURFACE SHALL BE MAINTAINED IN A STATE OF GOOD REPAIR AT ALL TIMES AND KEPT CLEAR OF ANY STRUCTURES, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR OBSTRUCTIONS, INCLUDING BUT NOT LIMITED TO THE PARKING OF MOTOR VEHICLES, TRAILERS, BOATS, OR OTHER IMPEDIMENTS TO THE ACCESS OF FIRE APPARATUS.
- THE MAINTENANCE OF THE EMERGENCY ACCESS LANE IS THE RESPONSIBILITY OF THE OWNER(S), AND THE OWNER(S) SHALL POST SIGNS WHERE REQUIRED AND MAINTAIN APPROPRIATE SIGNS IN A CONSPICUOUS PLACE ALONG SUCH EMERGENCY LANES STATING "FIRE LANE, NO PARKING, TOW-AWAY-ZONE". THE FIRE MARSHAL, POLICE, OR DULY AUTHORIZED REPRESENTATIVE IS HERBY AUTHORIZED TO CAUSE SUCH FIRE LANES TO BE MAINTAINED FREE AND UNOBSTRUCTED AT ALL TIMES FOR FIRE DEPARTMENT AND EMERGENCY USE.

ENGINEERING CO., P.L.L.C.
 CIVIL CONSULTANTS - LAND PLANNERS
 FIRM NO. 13240
 (210) 422-8529
 PO BOX 1161
 LA VERNA, TX. 78121

STATE OF TEXAS
 JEFFREY S. SMITH
 107748
 LICENSED PROFESSIONAL ENGINEER
 JANUARY 8, 2018

NO.	DATE	REVISIONS

CIBOLO VALLEY SQUARE
 2251 FM 1103
 CIBOLO, TEXAS
 SITE & DIMENSION CONTROL PLAN
 DESIGNED BY: JSS
 DRAWN BY: JSS
 SCALE: ---
 DATE: 11/22/16
 SHEET NO.
C2.0

Property Information Map for 2251 FM 1103

-  Property of Interest
-  Neighborhood Commercial (C1)
-  Multi-Family Residential (MF1)
-  Low Density Single-Family Residential (SF2)
-  High Density Single-Family Residential (SF6)

Council District: 5

Water Service: City of Cibolo

Sewer Service: City of Cibolo

0 100 200 300 Feet



C1

FM 1103

FM 1103

Cibolo Valley
Square

Saddle C



Discussion/Action and Recommendation to the Mayor and City Council regarding a proposed amendment to Ordinance 1437 concerning the Conditional Use Permit for a Concrete Asphalt Batching Plant (Temporary) use for property located at 10833 IH-10, legally described as ABS: 134 SUR: JOSE FLORES 7.5100 AC.

Meeting	Agenda Group	
Wednesday, April 10, 2024, 6:30 PM	Discussion/Action Items	Item: 10C
From	Staff Contact(s)	
Lindsey Walker	Lindsey Walker,	

PLANNING & ZONING COMMISSION ACTION:

Discussion/Action and Recommendation regarding the above referenced petition

PROPERTY INFORMATION:

Project Name: **CUP-23-03**

Owners: MLM Trust

Representative: Miya Janes-Green, Webber LLC

Location/Area: **10833 IH-10, 7.51 acres**

Council District: 7

Future Land Use: Business Center & Industrial

Existing Zoning: Mixed Use Regional Employment Center (MURE)

Requested Zoning: Conditional Use Permit (CUP)

Proposed Use: Concrete Asphalt Batching Plant (Temporary) on 6.676 acres out of total acreage

FINDINGS:

The applicant was granted a Conditional Use Permit (CUP) to allow Concrete Asphalt Batching Plant (Temporary) use on January 23, 2024. As stipulated by Ordinance No. 1437, the CUP was subject to the following conditions:

- 1. Time Restriction** – This CUP shall effectively expire on December 31, 2026, and shall not be valid thereafter; however, the applicant may apply for an extension of this CUP prior to December 31, 2026, if more time is needed to complete the applicant’s contractual work for the Texas Department of Transportation and/or its affiliates. Any extension of this CUP shall be limited to a period of time not to exceed twelve (12) months.
- 2. Plat** – Within 30 days of the date on which this CUP is approved, the owner/applicant shall submit a valid and completed plat application as required by the UDC or, alternatively, initiate the process to obtain a variance or other waiver from any applicable platting requirements. This CUP amendment extends the time period for submittal by another 30 days.
- 3. Site Plan** – An official site plan submittal, in accordance with the UDC, shall be submitted within 30 days of the date on which this CUP was granted. The concrete batching plant use and related activities permitted by this CUP may not substantially deviate from the submitted conceptual/preliminary site plan attached in Ordinance No. 1435, nor any final site plan that may subsequently be approved by the City. This CUP amendment extends the time period for submittal by another 30 days.
- 4. Permits & Inspections** – Any and all required building permits and a valid Certificate of Occupancy must be obtained by the owner/applicant. All permit applications submitted for this property are subject to the requirements of the City Code, and the City reserves the right to inspect the premises at least once per quarter, i.e. at least once per three-month period, to ensure compliance with the terms of this CUP and other applicable laws and regulations.
- 5. Perimeter Fence** – Within 90 days of the date on which this CUP was granted, a perimeter fence must be installed per UDC Sec. 4.4.7.4.3.E.2 and Sec. 9.3.2. TxDOT, as owner of the IH-10 frontage road abutting the property, has expressed that a perimeter fence is not needed along their property,

and such fencing shall not be required between the subject property and the IH-10 frontage road owned by TxDOT. Perimeter fencing shall be required along all other boundaries of the subject property. This CUP amendment extends the time period to 30 days from the date of site plan approval.

6. **Landscape Buffer** – Within 30 days of the date on which this CUP was granted, an approved Landscape Buffer must be installed per UDC Sec. 17.1.L and Sec. 4.4.7.4.3.J. This CUP amendment extends the time period for submittal by another 30 days. This CUP amendment extends the time period to 30 days from the date of site plan approval.
7. **Hours of Operation** – Subject to authorized letter from TxDOT. Concrete batching operations shall be allowed to occur outside of the permitted timeframe(s) listed within the Cibolo Code of Ordinances in order to accommodate the logistical requirements of the TxDOT highway expansion project.
8. **Dust Mitigation** – The RA-200, or equivalent, dust controller shall be in operation at all times during which the silo is operating.
9. **Cessation of the Concrete Batch Plant** – Upon the cessation of the concrete batching operations associated with this conditional use permit, the site shall be restored to the approved permit grading plan. The site shall be restored to previously approved grading no later than December 31, 2026, unless an extension of this CUP has been granted prior to such date.
10. **Additional Uses** – No other conditional uses are allowed under this conditional use permit.

Conditions 2-6 were not met within the 30-day deadline, or February 22, 2024. A Stop Work Order was issued to the applicant to cease all operations on February 23, 2024. Since receiving the Stop Work Order, the applicant requested and was denied a Plat Waiver at the March 12, 2024, City Council meeting. Staff met with the applicant on February 27, 2024, to go over the conditions of the CUP and next steps.

An amendment to the CUP of Ordinance No. 1437 is necessary for the applicant to resume operations legally. This proposed amendment will go before Council for consideration.

PUBLIC NOTICE:

Notice was published within the local newspaper (Seguin Gazette) on March 24, 2024, and the [City Website](#). Individual letters were sent by mail to 4 property owners within 200' of the site. To date, Staff has received zero (0) in favor of and zero (0) in opposition. Public Hearings were scheduled for April 10, 2024, (Planning & Zoning Commission) and on April 23, 2024, (City Council). Approval/Disapproval of the ordinance amendment is tentatively scheduled for the May 14, 2024, City Council meeting.

PLANNING & ZONING COMMISSION ACTION:

1. Recommend **Approval** of the proposed amendment to Ordinance 1437 concerning the Conditional Use Permit for a Concrete Asphalt Batching Plant (Temporary) use for property located at 10833 IH-10, legally described as ABS: 134 SUR: JOSE FLORES 7.5100 AC.
2. Recommend **Approval** of the proposed amendment to Ordinance 1437 concerning the Conditional Use Permit for a Concrete Asphalt Batching Plant (Temporary) use for property located at 10833 IH-10, legally described as ABS: 134 SUR: JOSE FLORES 7.5100 AC, *and any additional conditions the Commission may require.*
3. Recommend **Denial** of the proposed amendment to Ordinance 1437 concerning the Conditional Use Permit for a Concrete Asphalt Batching Plant (Temporary) use for property located at 10833 IH-10, legally described as ABS: 134 SUR: JOSE FLORES 7.5100 AC, *with findings.*

STAFF ANALYSIS:

Unified Development Code (UDC) Section 4.3.2 – Conditional Use Permit Approval Considerations

A CUP is intended to provide some flexibility to traditional zoning by offering a mechanism to balance specific site constraints and development plans with the larger interest of the community and the integrity of the UDC. An application for a CUP follows the same process as a Zoning Map Amendment Process (rezoning). The Permit, if granted, may include conditions placed upon the development of the property. The Planning & Zoning Commission and City Council shall consider the following, at a minimum, in conjunction with its deliberations for approval or denial of the application and the establishment of conditions: (*for reference, UDC and Comprehensive/Master Plan*)

A. Consistency with the Comprehensive Master Plan;

Appropriate Land Use Types: The appropriate primary and secondary uses allowed in areas designated as

Business Park & Industrial include all of the commercial, industrial, and civic uses set out in Light Industrial (I-1) or Heavy Industrial (I-2) districts in the City's Code of Ordinances.

Compatible Zoning Districts (P.47 from Comp Plan):

Light Industrial (I-1) | Heavy Industrial (I-2) | Planned Unit Developments (PUDs)

STAFF FINDING: The Comprehensive Plan identifies the properties as Industrial land use category with allowed uses per the I-1 and I-2 (2013 UDC) Zoning Districts. The Temporary concrete batch plant use is consistent with the Comprehensive Plan. The request is tied to a specific project and not intended to remain on site after October 2026. This facility's primary purpose is for the efficiency and to expedite the delivery of construction materials of the IH-10 corridor expansion and improvement.

B. Conformance with applicable regulation in this UDC and standards established by the UDC;

UDC Article 20 Subdivision Regulations. Platting requirements per Section 20.1.8. (A) division of land into 2 or more lots or (D.1.b.) when a building permit is required to move a primary structure/main building onto a piece of property.

STAFF FINDING: The applicant property is not platted. As a condition of the CUP, the applicant was required to complete and submit a plat application or receive an approved waiver from the City Council. The applicant submitted a request for a waiver on February 27, 2024, however, the request was denied by City Council on March 13, 2024.

C. Compatibility with existing or permitted uses on abutting sites, in terms of building height, bulk, scale, setbacks and open spaces, landscaping and site development, and access/circulation.

UDC Section 4.7.4.3 Mixed Use Regional Employment Center (MURE) District Regulations

In the "MURE" Mixed Use Regional Employment district, no buildings or land shall be used, and no buildings shall be hereafter erected, reconstructed, altered, or enlarged, unless otherwise provided in these regulations, as described below:

1. Permitted Uses

Uses permitted by right in the MF-1, MF-2, C-1, and C-3 Districts shall be permitted, except as may be expressly prohibited below. Institutional uses such as technical schools, hospitals and utilities are also permitted by right.

2. Permitted Uses Subject to Supplemental Use Requirements

Heavy commercial uses in the C-4 district and clean light industrial uses and research and development uses, as are permitted in the I-1 district shall also be permitted subject to adherence to the Environmental Performance Standards of the UDC and Performance standards described in this district. For terms of enforcing these regulations, clean light industrial shall be defined as an industrial use that has little to no environmental impact related to noise, heat, vibration, odor, and the other environmental performance standards described in this UDC, with aspects of industrial processes being contained within an industrial building and/or structure. Semi-truck docks and related loading, storage and distribution functions of permitted clean light industrial uses would be focused toward site locations that are not visible to surrounding rights-of-way and that are hidden by principal buildings or other screening techniques. Any outdoor operations or outdoor storage shall be completely screened and buffered from public rights-of-way and any adjoining residential zoning districts and be placed on a surface that will not create dust or non-compliance with any Environmental Performance Standard of this UDC.

3. Conditional Use Permit (CUP) Required

Any use permitted in the I-1 and I-2 district that may fall outside the definition of clean light industrial may be considered subject to the issuance of a Conditional Use Permit (CUP) by the City Council, after Planning and Zoning Commission review and recommendation. The criteria for the approval of

any CUP for an I-2 will be the suitability of such a use in the context of the surrounding uses and the ability of the I-2 use to contain all industrial processes to the interior of buildings and not pose a significant risk to any residential uses that may be in the MURE development. Any outdoor storage or other outdoor uses shall be completely screened and buffered from public rights-of-way and any adjoining residential zoning districts and shall be limited to an incidental percentage of the total operations. Any prospective I-2 use shall demonstrate the measures proposed to be implemented to comply with all Environmental Performance Standards of this UDC, including, but not limited to the prevention of dust. The City reserves the right to deny any CUP request for an I-1 or I-2 for a non-clean light industrial use on the basis that such requested use would be detrimental to overall development of the highway corridor or adversely affect any adjoining or nearby properties.

4. Prohibited Uses

The following uses are expressly prohibited: sexually oriented businesses, mini-warehouse storage, general outdoor storage, auto impound yards, kennels, pawn shops, surplus sales, or outdoor advertising signs (billboards) or any other use that is not consistent with creating a positive image for the City. Any use that is not expressly listed as a prohibited use that is denied by staff may be appealed to the Planning and Zoning Commission and City Council in accordance procedural requirements of this UDC and the Fee Schedule for Administrative Appeals.

STAFF FINDING: The formal site plan review process, which the applicant will need to follow as a condition of being granted a CUP, will bring the property into compliance with the above-listed criterion. The applicant was required as a condition of the CUP to provide an official site plan submittal demonstrating compliance with the Unified Development Code (UDC) section as listed above for the initial purpose of requesting a CUP. To date, staff have not received an official site plan submittal since the establishment of Ordinance No. 1435 granting the CUP on January 23, 2024, or the meeting with staff on February 27, 2024. Staff offered to meet with the applicant to discuss which sections of UDC Sec. 12.3.2 would apply to their site plan but have not received a request to do so from the applicant.

D. Potential unfavorable impacts on existing or permitted uses on abutting sites, to the extent that such impacts exceed those which reasonably may result from use of the site by a permitted use.

STAFF FINDING: The UDC allows a Temporary Concrete Batch Plant by CUP in all zoning districts, which is to be reviewed on a case-by-case scenario. The Cibolo Police Department and Code Enforcement have visited the site to ensure compliance with the City's light and noise ordinances. The use of a concrete washout captures and collects any contaminated water and slurry from the operations. The approved conceptual site plan was intended to ensure compliance and compatibility with the surrounding uses until an official site plan was submitted by the applicant as a condition of the CUP. To date, staff have not received an official site plan submittal since the establishment of Ordinance #1435 granting the CUP on January 23, 2024.

E. Modifications to the site plan which would result in increased compatibility or would mitigate potentially unfavorable impacts or would be necessary to conform to applicable regulations and standards and to protect the public health, safety, morals and general welfare.

Comprehensive/Master Plan – Future Land Use Categories – Business Park & Industrial

Moving Forward - New Business Park & Industrial development should be located and take access from an arterial roadway. New Business Park & Industrial development should be designed in a manner which orients loading docks and bays away from the front property line or public right-of-way. New Business Park & Industrial development should include a landscape buffer between any property that is zoned to a non-industrial classification. The required level of screening should be based upon the difference in intensity of development of the abutting district. In other words, new developments located abutting residential areas should have a larger or more opaque landscape screen than what would be required against abutting commercial development. New developments which include outdoor operations should be designed to minimize the amount of nuisance (e.g., light, sound, dust, etc.) that leaves the site. New outdoor storage areas should be designed in a manner that screens materials and equipment from the public rights-of-way and abutting uses.

STAFF FINDING: UDC Sec. 4.7.4.3 allows “clean light manufacturing” within the MURE zoning district. The City does not consider concrete batch plants to be clean light manufacturing. The MURE regulations allow for a CUP to be granted for any use not considered to be clean, light manufacturing. The

applicant has provided documentation for how they mitigate dust and noise pollution so as not to adversely impact the surrounding properties. To date, staff have not received any complaints or issued code violations due to noise or dust produced by the applicant.

Compliance with UDC Sec. 17.1.L will be required to further mitigate adverse impacts on the surrounding properties. As a condition of receiving the CUP, the applicant was required to install a landscape buffer or request a variance to landscape buffer requirements within 30 days of being granted the CUP. A landscape buffer was not installed by the deadline of February 22, 2024, nor has staff received a variance application since their meeting with the applicant on February 27, 2024.

17.1.L. Non-residential and Multi-family Landscape Buffer Requirements

1. A non-residential or multi-family use adjacent to, or directly facing, a single-family zoning district shall provide a minimum twenty (20') foot landscape buffer adjacent to the property line of the residential use or residentially zoned property.

Landscape buffer trees:

A minimum of one (1) large tree shall be planted for each forty linear feet (40'), one (1) medium tree every thirty linear feet (30'), one (1) small tree every twenty (20') linear feet, or any combination thereof, within landscape buffer.

Landscape buffer shrubs:

A minimum of ten (10) shrubs shall be planted for each forty (40') linear feet of landscape buffer. Buffer shrubs shall be evergreen or similar, a minimum of eighteen (18") inches in height at time of planting and of a variety that can be expected to reach four to five (4-5) feet in height within three (3) to five (5) years of initial planting.

All other areas within the landscape buffer shall be covered with grass or another solid vegetative cover approved at the time of Site Plan approval. The buffer wall standards below shall also be applicable.

F. Safety and convenience of vehicular and pedestrian circulation in the vicinity, including traffic reasonably expected to be generated by the proposed use.

STAFF FINDING: A Traffic Impact Analysis (TIA) worksheet was reviewed and approved by the City Engineer. The TIA was also reviewed and approved by TXDOT as the property driveway is on the highway frontage. As the property directly fronts the highway, adjacent lots are not expected to be substantially impacted by the traffic from this use.

ATTACHMENTS:

- Ordinance No. 1435
- Application
- Letter of Intent
- Staff Map
- Conceptual Site Plan
- Top Soil Permit
- Excavation Permit
- Grading Plan Set
- TXDOT Letter - Cibolo Fence
- TXDOT Letter - Construction Timeline
- IH-10 Contract Time Estimate
- Pour Days and Hours

- Army Corps of Engineers Letter
 - SWPPP Renewal CBP Authorization Letter
 - SWPPP Renewal CBP Certificate
 - Dust Collector
-

Attachments

Ordinance No. 1435

Application

Letter of Intent

Staff Map

Conceptual Site Plan

Top Soil Permit

Excavation Permit

Grading Plan Set

TXDOT Letter - Cibolo Fence

TXDOT Letter - Construction Timeline

IH-10 Contract Time Estimate

Pour Days and Hours

Army Corps of Engineers Letter

SWPPP Renewal CBP Authorization Letter

SWPPP Renewal CBP Certificate

SWPPP Renewal CBP NOI

Dust Collector



ORDINANCE NO: 1435

AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT FOR 7.51 ACRES OF REAL PROPERTY LOCATED 10833 IH-10 TO ALLOW FOR CONCRETE ASPHALT BATCHING PLANT (TEMPORARY); DECLARING COMPLIANCE WITH APPLICABLE STATE AND LOCAL LAWS; INCORPORATING RECITALS; REPEALING ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT; PROVIDING FOR SEVERABILITY; AND DECLARING AN EFFECTIVE DATE.

WHEREAS, Texas Local Government Code Section 211.004 provides that zoning regulations and district boundaries must be adopted in accordance with a duly adopted Comprehensive Plan; and

WHEREAS, Texas Local Government Code Section 211.002 authorizes the City of Cibolo (“City”), as a home-rule municipality, to adopt, repeal or amend zoning district boundaries in order to promote the public health, safety and general welfare of the City; and

WHEREAS, the subject property of this Conditional Use Permit (“CUP”) is located within a Mixed Use Regional Employment Center (MURE); and

WHEREAS, the Commercial Uses Table set forth in Section 13.2 of Appendix A of the Code of Ordinances for the City of Cibolo, also known as the Unified Development Code (“UDC”), permits a Concrete/Asphalt Batching Plant as a temporary, short-term use within any zoning district, including the MURE zoning district, upon approval of a CUP for same, provided that such conditional use may occur until completion of a specific construction project or projects supplied by the concrete batching plant unless City Council renews the CUP for a specific, additional period of time; and

WHEREAS, the City of Cibolo has received a valid and completed application from Owner MLM Trust, through its representative Miya Janes-Green of Webber LLC, to request a CUP to allow for a temporary, short-term Concrete/Asphalt Batching Plant to operate on the subject property, located at 10833 IH-10 and legally described as ABS: 134 SUR: JOSE FLORES, 7.51 AC; and

WHEREAS, the City Council has duly considered the requested CUP and finds that the proposed concrete batching operation will provide concrete exclusively to the Texas Department of Transportation (TxDOT) and/or its affiliates, operating under a TCEQ permit as a “registered portable facility” to be located contiguous to the right-of-way to provide concrete batching services for use on a single infrastructure project within the right-of-way of IH-10 at 10833 E. IH-10, and therefore any concrete batching operations permitted by the requested CUP will be temporary and

will not be permitted to continue once said TxDOT project is completed, and finds further that the applicant has agreed to the terms and conditions set forth in this ordinance, including requirements relating to dust prevention and other potential nuisances such as light, noise, and traffic; and

WHEREAS, two public hearings were held to discuss the rezoning to the real property described herein; with the first public hearing being conducted by the Planning & Zoning Commission on December 13, 2023, and the second public hearing being conducted by City Council on January 9, 2024; each being conducted for the purpose of providing all interested persons the opportunity to be heard concerning the proposed CUP to allow for Concrete/Asphalt Batching Plant on the subject property, comprised of 7.51 acres located at 10833 IH-10, as described herein and further depicted in **Exhibit “A”** hereto; and

WHEREAS, legal notice notifying the public of both public hearings on the property proposed to be rezoned, was posted on the City’s official website and published in the *Seguin Gazette*, a newspaper of general circulation in the City of Cibolo, on November 26, 2023; and

WHEREAS, written notice of the aforementioned public hearings before the Planning & Zoning Commission and the City Council were sent to each owner of real property within 200 feet of the subject property of this CUP, as indicated on the most recently approved municipal tax roll of the City of Cibolo, in accordance with applicable state and local law; and

WHEREAS, on December 13, 2023, the Planning and Zoning Commission, after due consideration of the requested CUP, including all matters listed in Section 4.3.2 of the UDC, voted to recommend that the City Council approve the requested CUP; and

WHEREAS, on January 23, 2024, the City Council, having duly considered the request for CUP, determined that the CUP should be approved as requested by adoption of this Ordinance; and

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CIBOLO, TEXAS:

SECTION 1. CUP GRANTED.

A. The zoning district for 7.51 acres of land in Guadalupe County, Texas, located 10833 IH-10, Cibolo, Texas, and being legally described as ABS: 134 SUR: JOSE FLORES, 7.51 AC, and as depicted in **EXHIBIT “A”** hereto (the “Property”), and incorporated herein by reference, is hereby amended by Conditional Use Permit (“CUP”) for the use of Concrete/Asphalt Batching Plant, subject to all applicable federal, state or local laws or regulations, including supplemental use regulations set forth in the City’s UDC, and the following conditions:

1. **Time Restriction** – This CUP shall effectively expire on December 31, 2026, and shall not be valid thereafter; however, the applicant may apply for an extension of this CUP prior to December 31, 2026, if more time is needed to complete the applicant’s contractual work for the Texas Department of Transportation and/or its affiliates. Any extension of this CUP shall be limited to a period of time not to exceed twelve (12) months.

2. **Plat** – Within 30 days of the date on which this CUP is approved, the owner/applicant shall submit a valid and completed plat application as required by the UDC or, alternatively, initiate the process to obtain a variance or other waiver from any applicable platting requirements.
3. **Site Plan** – An official site plan submittal, in accordance with the UDC, shall be submitted within 30 days of the date on which this CUP was granted. The concrete batching plant use and related activities permitted by this CUP may not substantially deviate from the submitted conceptual/preliminary site plan attached hereto as **Exhibit “B,”** nor any final site plan that may subsequently be approved by the City.
4. **Permits & Inspections** – Any and all required building permits and a valid Certificate of Occupancy must be obtained by the owner/applicant. All permit applications submitted for this property are subject to the requirements of the City Code, and the City reserves the right to inspect the premises at least once per quarter, i.e. at least once per three-month period, to ensure compliance with the terms of this CUP and other applicable laws and regulations.
5. **Perimeter Fence** – Within 90 days of the date on which this CUP was granted, a perimeter fence must be installed per UDC Sec. 4.4.7.4.3.E.2 and Sec. 9.3.2. TxDOT, as owner of the IH-10 frontage road abutting the property, has expressed that a perimeter fence is not needed along their property, and such fencing shall not be required between the subject property and the IH-10 frontage road owned by TxDOT. Perimeter fencing shall be required along all other boundaries of the subject property.
6. **Landscape Buffer** – Within 30 days of the date on which this CUP was granted, an approved Landscape Buffer must be installed per UDC Sec. 17.1.L and Sec. 4.4.7.4.3.J.
7. **Hours of Operation** – Subject to authorized letter from TxDOT. Concrete batching operations shall be allowed to occur outside of the permitted timeframe(s) listed within the Cibolo Code of Ordinances in order to accommodate the logistical requirements of the TxDOT highway expansion project.
8. **Dust Mitigation** – The RA-200, or equivalent, dust controller shall be in operation at all times during which the silo is operating.
9. **Cessation of the Concrete Batch Plant** – Upon the cessation of the concrete batching operations associated with this conditional use permit, the site shall be restored to the approved permit grading plan. The site shall be restored to previously approved grading no later than December 31, 2026, unless an extension of this CUP has been granted prior to such date.

10. **Additional Uses** – No other conditional uses are allowed under this conditional use permit.

B. The zoning map of the City of Cibola is hereby amended to reflect the CUP as created by this Ordinance, being more specifically defined on **EXHIBIT “C”**.

SECTION 2. DECLARATION OF COMPLIANCE. The City Council finds that all required public notices for a Conditional Use Permit for the Property described in **Exhibit “A”** have been properly issued and all required public hearings have been properly conducted.

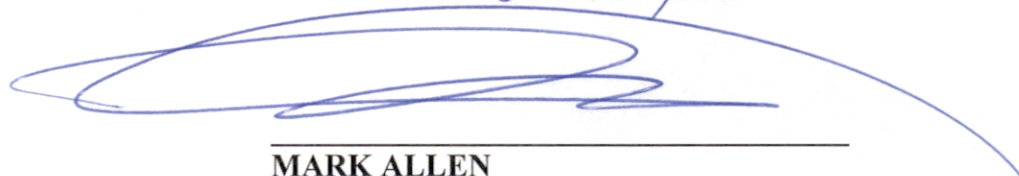
SECTION 3. INCORPORATION OF RECITALS. The City Council finds the recitals in the preamble of this Ordinance are true and correct and incorporates them as findings of fact.

SECTION 4. REPEALED. All ordinances, parts of ordinances, or resolutions in conflict herewith are expressly repealed.

SECTION 5. SEVERABILITY. If any section, subsection, sentence, clause or phrase of this Ordinance is for any reason held to be unconstitutional or illegal, such decision shall not affect the validity of the remaining sections of this Ordinance. The City Council hereby declares that it would have passed this Ordinance, and each section, subsection, clause, or phrase thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases be declared void; and that in lieu of each clause or provision of this Ordinance that is invalid, illegal, or unenforceable there be added by the Mayor as necessary with the approval of the City Attorney as to form, and as a part of the Ordinance a clause or provision as similar in terms to such invalid, illegal or unenforceable clause or provision as may be possible, legal, valid and enforceable.

SECTION 6. EFFECTIVE DATE. This ordinance shall become effective upon the adoption of this ordinance.

PASSED, APPROVED, AND ADOPTED THIS 23 **DAY OF** January **2024.**



MARK ALLEN
Mayor

ATTEST:



PEGGY CIMICS, TRMC
City Secretary



EXHIBIT "A": SUBJECT PROPERTY FOR CONDITIONAL USE PERMIT

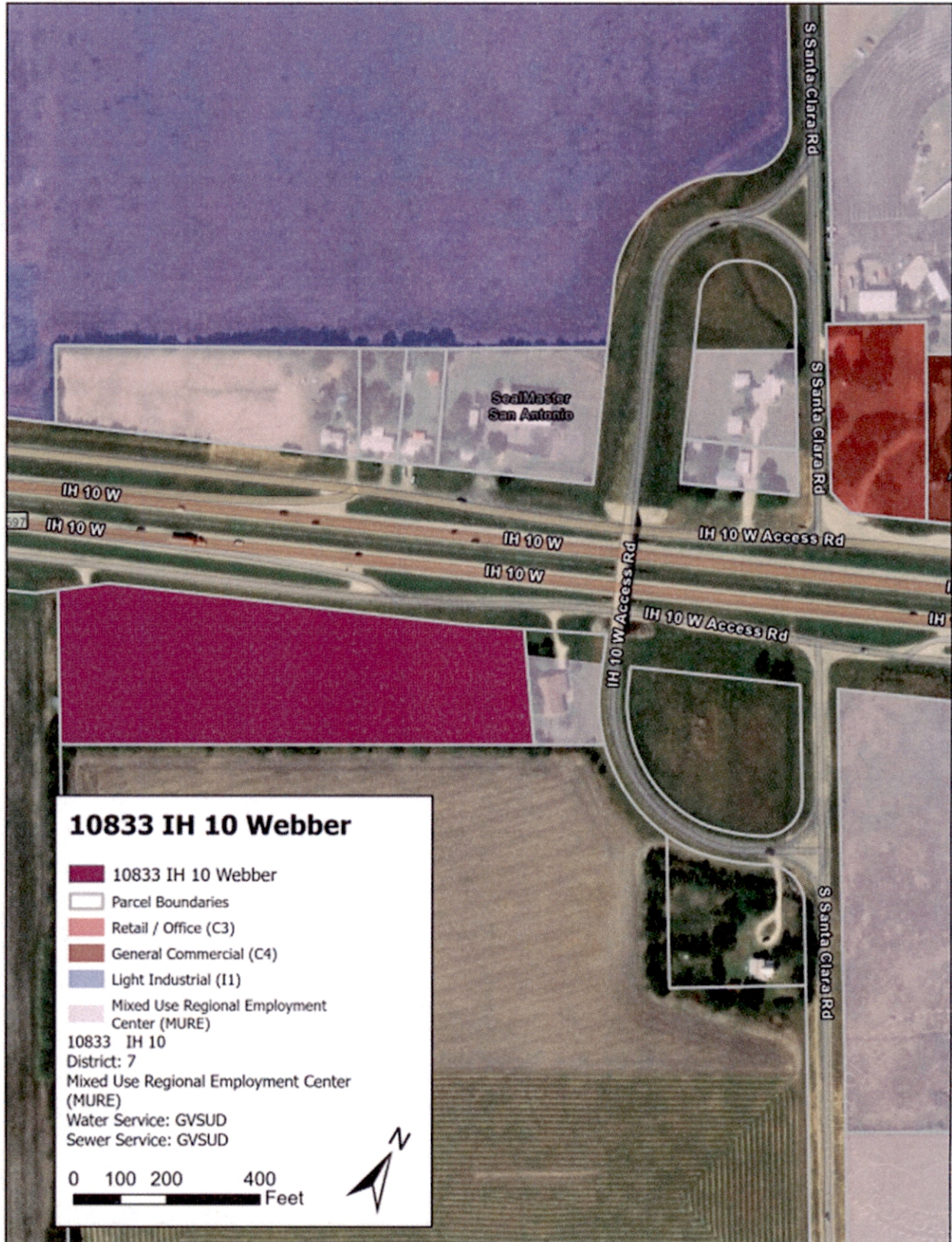
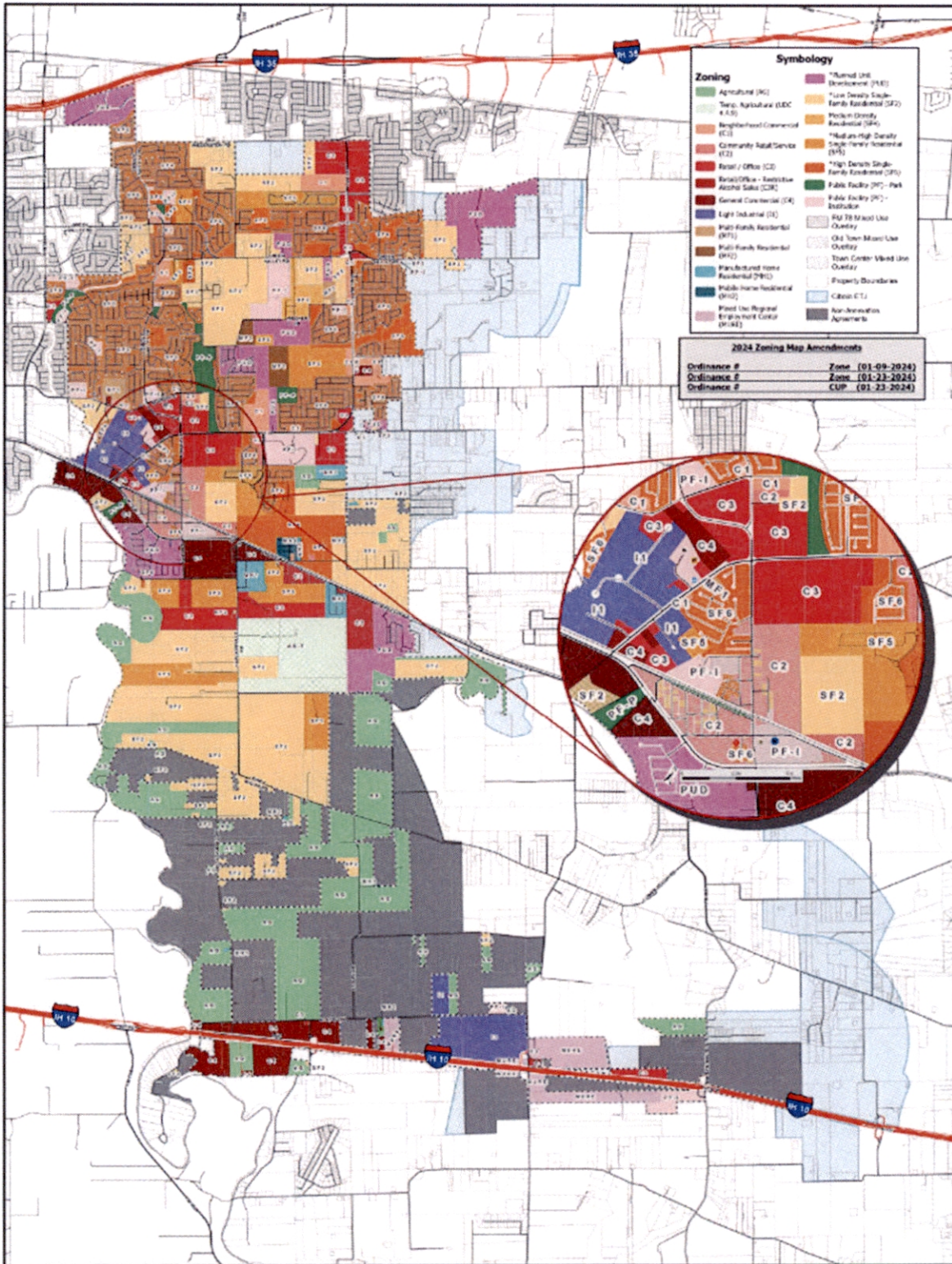


EXHIBIT "C": UPDATED OFFICIAL ZONING MAP - CITY OF CIBOLO, TEXAS



1:24,000

OFFICIAL ZONING MAP

City of Cibolo

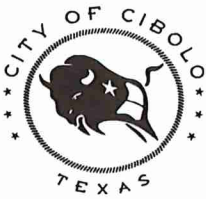
Tuesday, January 23rd 2024



This is to certify that this is the Official Zoning Map referred to in the City of Cibolo Code of Ordinances, Appendix A, currently referred to as the Official Development Code (ODC), Adopted by Ordinance Number _____ on January 23rd, 2024 by the City Council of the City of Cibolo, Texas.

SIGNED: _____ (City Seal)

ATTEST: _____ (City Secretary)



City of Cibolo
 Planning Department
 201 Loop 539 W/P.O. Box 826
 Cibolo, TX 78108
 Phone: (210) 658 - 9900

UNIVERSAL APPLICATION - CONDITIONAL USE PERMIT

Please fill out this form completely, supplying all necessary information and documentation to support your request. *Please use a separate application for each submittal.* Your application will not be accepted until the application is completed and required information provided.

Project Name: Guadalupe County IH 10

Total Acres: 6.67 Survey Name: _____ Abstract No.: _____

Project Location (address): 10833 IH-10 Frontage Road, Marion, TX 78124

Current Zoning: MURE Overlay: None Old Town FM 78

Proposed Zoning: CUP # of Lots: 1 # of Units: 1

Please Choose One: Single-Family Multi-Family Commercial Industrial
 Other

Current Use: N/A Total Proposed Square Footage: 13,138

Proposed Use: Temporary Concrete Batch Plant (Commercial/Industrial only)

Applicant Information:

Property Owner Name: MLM Trust

Address: 7951 Linne Road City: New Berlin

State: TX Zip Code: 78155 Phone: 210-834-4815

Email: marklmott@gmail.com Fax: _____

*Applicant (if different than Owner): Miya Janes-Green

* Letter of Authorization required

Address: 790 Generations Drive, Suite 310 City: New Braunfels

State: TX Zip Code: 78130 Phone: 281-706-6136

Email: mjanesgreen@webber.com Fax: _____

Representative: _____

Address: _____ City: _____

State: _____ Zip Code: _____ Phone: _____

Email: _____ Fax: _____

Authorization: By signing this application, you hereby grant Staff access to your property to perform work related to your application. Also, you waive the statutory time limits in accordance with Section 211, and 245 of the Texas Local Government Code.
Mark L. Mott

Owner or Representative's Signature

MARK L. MOTT

Typed / Printed Name

State of Texas

County of Comal

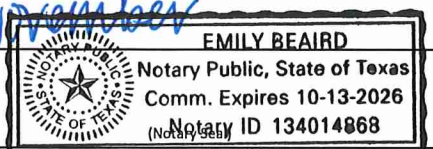
Before me, Emily Beard, on this day personally appeared
 Name of Notary Public

MARK L. MOTT, to be the person(s) who is/are subscribed to the
 Name of signer(s)

foregoing instrument and acknowledge to me that he/she/they executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this 9 day of November

Emily Beard
 Notary Public Signature



City of Cibolo
 Use Only

1417.60

Total Fees
check

Payment Method
11/3/23

Submittal Date
GF

Accepted by
CUP-23-02

Case Number

November 29th, 2023

Attention: City of Cibolo

Re: Letter of Intent – Conditional Use Permit

To whom it may concern,

The IH-10 Guadalupe County project consists of the redevelopment of the interstate 10 corridor between FM 465 and Cibolo Creek. This redevelopment includes permanent and temporary construction of the main lanes, frontage roads and bridges located within the limits. The project began in May 2022 and the anticipated finish is October 2025.

The office trailers were mobilized in March 2022 and the concrete batch plant was erected in November 2022. We began batching in February 2023 and will continue to batch until the end of the project in October 2025. The hours of operation are Monday-Saturday 24 hours, closed Sundays 8am-8pm.

There is a dust duct assembly, water tank and an RA 200 dust collector built into the concrete plant to eliminate any dust created during the batching process, see attached drawings for more details. For noise mitigation, we are weighing materials accurately before entering the drum and cleaning the drum after each operation to decrease any additional noise. We also perform regular maintenance on the plant, including suction hoses and air circuit systems. The concrete plant is surrounded by landscaping and material stockpiles, to decrease the noise. There are no residential dwellings surrounding the location of the concrete batching plant, except for one house 500' to the east. The owners have confirmed that the noise levels are acceptable.

The concrete washout is located at the yard and is maintained regularly. It is inspected weekly by TXDOT's environmental inspector and daily by Webber's certified person for environmental. BMP's such as silt fence are put in place to protect nearby vegetation and the washout pit is lined with concrete to prevent infiltration into the soil. There are berms surrounding the area so excess water is contained. The water is then recycled.

If you have any questions or concerns, please contact me anytime at (281) 706-6136

Respectfully submitted,



Miya Janes-Green
Project Manager



Central Texas Region
790 Generations Dr. Suite 310
New Braunfels, Texas 78130

March 5th, 2024

Subject: Request for Extension and Waiver of Fines for Submission of Documents

City of Cibolo
200 S Main St,
Cibolo, TX 78108

Dear City Council Members,

I am writing to request an extension and waiver of fines regarding the submission of the plat, site plan, and other required documents as outlined in the relevant regulations and ordinances. Specifically, I am seeking a 60-day extension to allow sufficient time for the preparation and submission of these essential documents.

As per the existing guidelines, Webber has the provision to submit a written request to the City Council for the consideration of waiving fines and extending the submission deadline. In light of this, I am formally requesting the City Council to grant an extension of 60 days to ensure the thorough and accurate preparation of the required documents.

I would like to bring to your attention that we have already submitted the plat waiver request and paid the required fees in good faith. Despite our proactive approach, unforeseen circumstances have arisen, affecting our ability to meet the initial deadline. We are making every effort to fulfill our obligations in a timely manner and in compliance with the city's regulations. The additional time will enable us to compile comprehensive and high-quality documentation that aligns with the city's standards and requirements.

I believe that the extension and waiver will not only facilitate a smoother submission process but also uphold the collaborative spirit between Webber and the City Council. We are committed to ensuring that our development aligns seamlessly with the city's vision and contributes positively to the community.

I kindly request the City Council's favorable consideration of this extension and waiver request. Your understanding and support in this matter are greatly appreciated.

Thank you for your time and consideration. I am available to provide any additional information or clarification as needed.

Sincerely,

Eloi Ferran Marques
CTX Area Manager
Webber LLC
790 Generation Dr. Suite 310
New Braunfels, Texas 78130
832-472-1550



10833 IH 10 Webber

- 10833 IH 10 Webber
- Parcel Boundaries
- Retail / Office (C3)
- General Commercial (C4)
- Light Industrial (I1)
- Mixed Use Regional Employment Center (MURE)

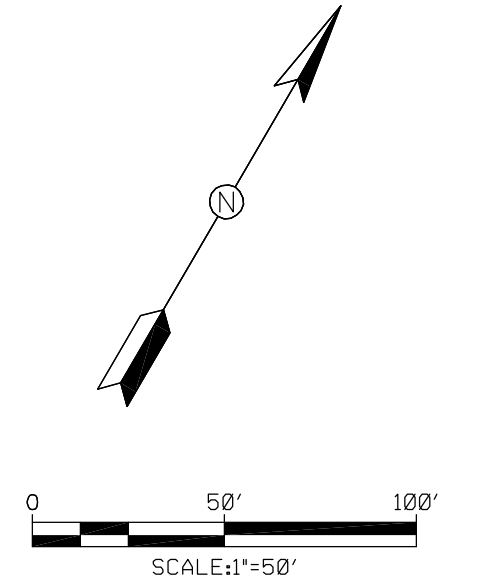
10833 IH 10
 District: 7
 Mixed Use Regional Employment Center (MURE)
 Water Service: GVSUD
 Sewer Service: GVSUD



10833 IH-10 Webber Temporary Concrete Batch Plant Conceptual Site Plan

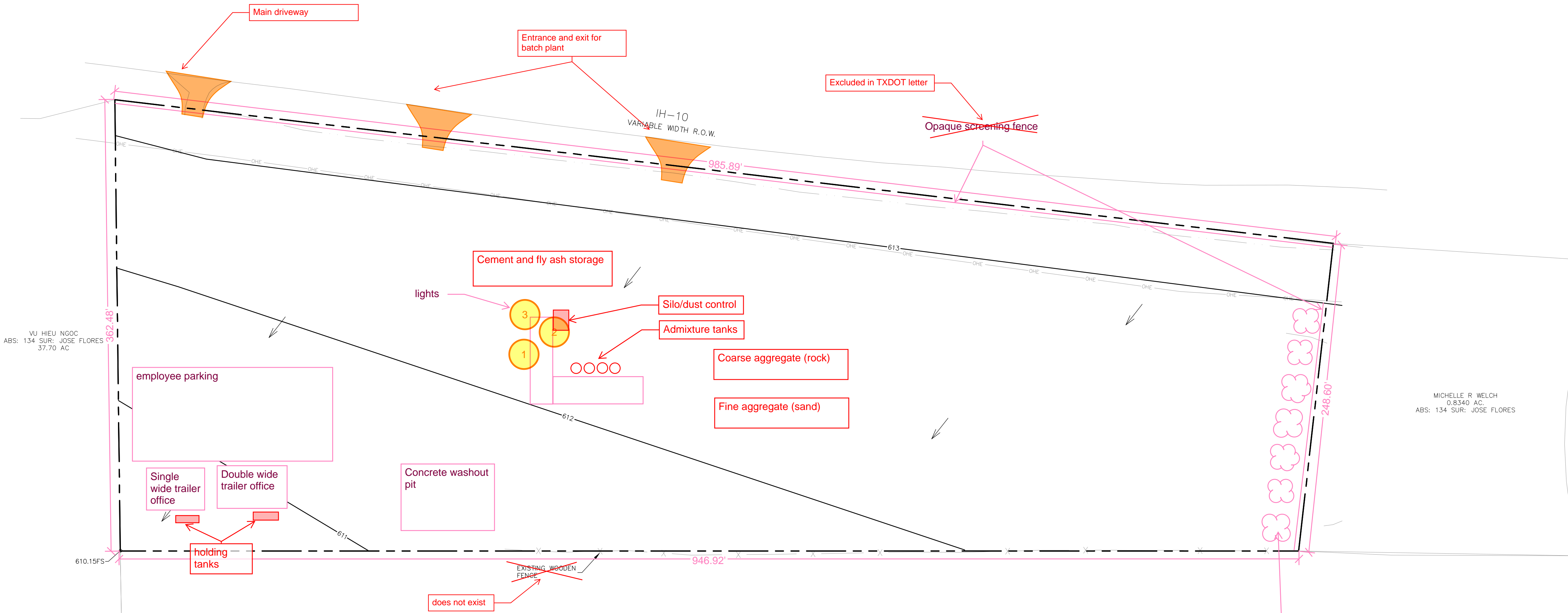
EARTHWORK VOLUME TOTALS	
NET CUT & FILL	20,269 CUBIC YARDS OF FILL

NOTE:
 - VOLUME REPRESENTS THE FILL TO WATER SURFACE. DEPTH OF POND IS NOT INCLUDED.
 - APPROXIMATE VOLUME OF LOOSE FILL



LEGEND

	EXISTING CONTOUR
	PROPOSED CONTOUR
	GRADE BREAK/SWALE
	BOUNDARY LINE
	EXISTING GUY WIRE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING TRAFFIC LIGHT/SIGNAL POLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING SIGN
	EXISTING WATER METER
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING TREE
	GRASS
	PROPOSED CLEANOUT
	PROPOSED WATER METER
	EXISTING FINISHED SURFACE SPOT ELEVATION
	PROPOSED FINISHED SURFACE SPOT ELEVATION
	PROPOSED TOP ELEVATION
	PROPOSED TOP OF CURB & GUTTER SPOT ELEVATION
	DRAINAGE FLOW ARROW



Neighboring property will sign letter stating no issues with landscape or screening. Also stating no objection to the concrete plant.

A minimum of one (1) large tree shall be planted for each forty linear feet (40'), one (1) medium tree every thirty linear feet (30'), one (1) small tree every twenty (20') linear feet, or any combination thereof, within landscape buffer.

A minimum of ten (10) shrubs shall be planted for each forty (40') linear feet of landscape buffer.

20' wide landscape buffer required along property line that abuts residential use

- GRADING NOTES:
1. ALL MATERIALS AND CONSTRUCTION PROCEDURES THAT ARE NOT SPECIFICALLY COVERED IN THE SPECIFICATIONS OR GEOTECHNICAL REPORT SHALL CONFORM TO ALL APPLICABLE CITY, COUNTY AND TXDOT STANDARD SPECIFICATIONS FOR PUBLIC WORKS AND CONSTRUCTION (LATEST EDITION).
 2. SITE PREPARATION, GRADING, EXCAVATION AND FILL SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT AND SPECIFICATIONS.
 3. ALL SELECT FILL MATERIAL PROVIDED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING AND COMPACTING.
 4. ALL ELEVATIONS AND PROPOSED CONTOURS SHOWN ON THIS GRADING PLAN REFLECT FINISHED GRADES. THE THICKNESS OF PAVING, BASE, GRASS, TOPSOIL, AND MULCH MUST BE SUBTRACTED TO OBTAIN SUBGRADE ELEVATIONS.
 5. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF GRADES OR DIMENSIONS NECESSARY FOR THE CONSTRUCTION OF THE PROJECT.
 6. THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
 8. THE CONTRACTOR SHALL REMOVE TOP SOIL, GRASS, ROOTS, DEBRIS, ETC., AND DISPOSE OFFSITE THOSE MATERIALS NOT SUITABLE FOR EMBANKMENT AND TOPSOIL. CLEAN STRIPING AND TOPSOIL MAY BE STOCKPILED ON SITE FOR REUSE IN A LOCATION SPECIFIED BY THE OWNER.
 9. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE STABILIZATION. ALL DISTURBED AREAS SHALL BE REVEGETATED IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND TPDES/SWPPP REQUIREMENTS.
 10. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS (USE OF SILT FENCES, ETC.) TO KEEP DEBRIS AND SILT FROM WASHING ONTO ADJACENT PROPERTY, STREETS, OR DRAINAGE WAYS. CONTRACTOR SHALL IMMEDIATELY REMOVE SILT/DEBRIS WHICH WASHES OFFSITE OR INTO EXISTING STORM DRAIN SYSTEMS. (SEE SWPPP PLANS & TPDES BOOK).
 11. THE CONTRACTOR SHALL OBTAIN FINISHED NATURAL GROUND GRADES SHOWN HEREON WITHIN +/- ONE-TENTH (0.10) FOOT.
 12. IN PROPOSED PAVING AREAS, IT IS INTENDED THAT THE MINIMUM GRADE IS 1%. ALL EARTHEN SLOPES SHALL BE A MAXIMUM OF 3:1 AND A MINIMUM GRADE OF 2% UNLESS OTHERWISE SHOWN.
 13. THE CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING SITE AND PROPOSED IMPROVEMENTS.
 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL, OR BETTER, CONDITION ANY DAMAGE DONE TO EXISTING TREES, BUILDINGS, UTILITIES, FENCES, PAVEMENT, CURBS OR DRIVEWAYS (NO SEPARATE PAY ITEMS).
 15. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN WORKING NEAR UTILITIES, GAS LINES, SEWER, OR EXISTING APPURTENANCES.
 16. UTILITIES SHOWN ON THE PLANS ARE FROM INFORMATION SOURCES AVAILABLE AT THE TIME OF DESIGN BUT MAY NOT REPRESENT ALL EXISTING UTILITIES ON SITE. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES AND SHALL UNCOVER EXISTING UTILITIES TO VERIFY SIZE, GRADE AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM PLANS PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR, AT HIS OWN EXPENSE.
 17. POSITIVE DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE SCOPE OF THE PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW ANY PONDING OF WATER.
 18. FOR FILL PLACEMENT ON HILL SIDES OR STEEP SLOPE AREAS, THE CONTRACTOR SHALL REFERENCE THE PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT FOR SPECIAL INSTRUCTIONS REGARDING BENCHING.
 19. NO WORK SHALL BE PERFORMED IN A PUBLIC RIGHT-OF-WAY WITHOUT A PERMIT.

CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES 48 HOURS PRIOR TO EXCAVATION:

New Braunfels Utilities	830-629-8400
Spectrum Cable	830-625-3408
Centerpoint Gas	830-643-6434
Robert Sanders	830-643-6903
Damaged Line	888-876-5786
AT&T Telephone	830-303-1333
Erick White PM	210-283-1706
Scott McBrearty (Construction)	210-658-4886
Texas One Call	830-545-6005

C.P.E. LOCATOR
 CONTRACTOR SHALL NOTIFY ENERGY LOCATOR AT 1-800-545-6005, 48HRS BEFORE BEGINNING ANY EXCAVATION. DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, CENTER POINT ENERGY MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND SUPPORT TELEPHONE COMPANY DURING CONSTRUCTION.

TELEPHONE LOCATOR
 THE EXISTENCE AND LOCATION OF UNDERGROUND CABLE INDICATED ON THE PLANS ARE TAKEN FROM THE BEST RECORDS AVAILABLE AND ARE NOT GUARANTEED TO BE ACCURATE. CONTRACTOR TO CONTACT THE TELEPHONE COMPANY CABLE LOCATOR 48HRS PRIOR TO EXCAVATION AT 1-800-545-6005. CONTRACTOR HAS THE RESPONSIBILITY TO PROTECT AND SUPPORT TELEPHONE COMPANY DURING CONSTRUCTION.

TRENCH EXCAVATION SAFETY PROTECTION
 CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATIONS.

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF SHANE KLAR, PE, #115810 OR, December 5, 2023. IT IS TO BE USED FOR BIDDING AND PERMITTING PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.

NO	DATE	ISSUES AND REVISIONS

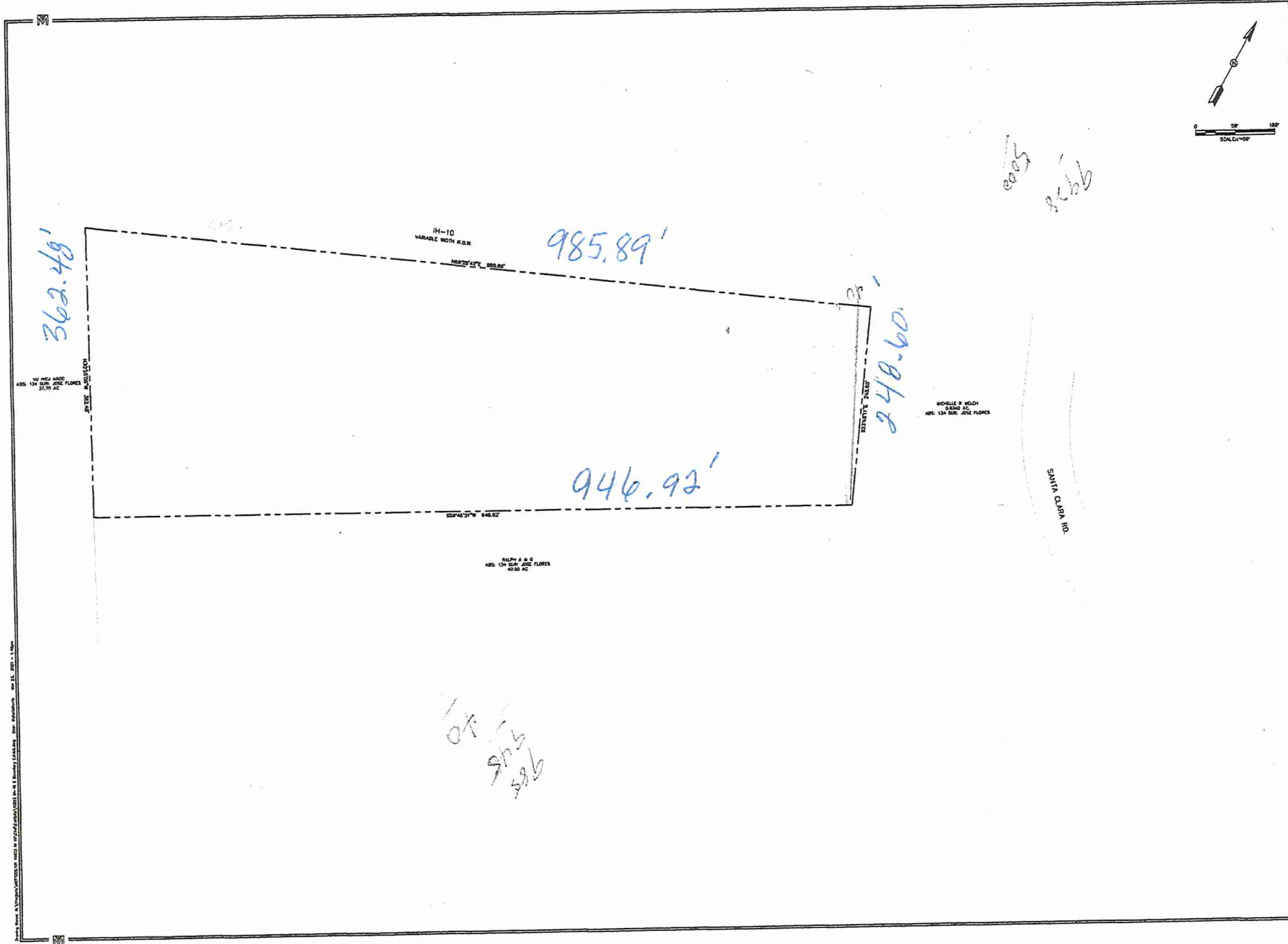
MOELLER & ASSOCIATES
 Engineering Solutions
 2021 W SH46, STE 105, NEW BRAUNFELS, TX, 78132
 PH: 830-358-7127 www.mo-tx.com
 TP&E FIRM F-13351

#####

MOTT COMMERCIAL LOT 5

SHEET # OF 4

Drawing Name: N:\Projects\MOTT005.101\10833 IH-10\Civil\Construction\Drawings\2 GRADING PLAN.dwg User: jamaradgolis Dec 05, 2023 - 1:46pm



Know what's below
Call before you dig

THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF REVIEW ONLY AND IS THE PROPERTY OF STATE ALABAMA, INC. #11810. IT IS TO BE USED FOR REVIEW ONLY AND NOT TO BE USED FOR CONSTRUCTION.

NO.	DATE	ISSUES AND REVISIONS

MOELLER & ASSOCIATES
Engineering Solutions
2021 B.S. #11810, 11811, 11812, 11813, 11814, 11815, 11816, 11817, 11818, 11819, 11820, 11821, 11822, 11823, 11824, 11825, 11826, 11827, 11828, 11829, 11830, 11831, 11832, 11833, 11834, 11835, 11836, 11837, 11838, 11839, 11840, 11841, 11842, 11843, 11844, 11845, 11846, 11847, 11848, 11849, 11850, 11851, 11852, 11853, 11854, 11855, 11856, 11857, 11858, 11859, 11860, 11861, 11862, 11863, 11864, 11865, 11866, 11867, 11868, 11869, 11870, 11871, 11872, 11873, 11874, 11875, 11876, 11877, 11878, 11879, 11880, 11881, 11882, 11883, 11884, 11885, 11886, 11887, 11888, 11889, 11890, 11891, 11892, 11893, 11894, 11895, 11896, 11897, 11898, 11899, 11900, 11901, 11902, 11903, 11904, 11905, 11906, 11907, 11908, 11909, 11910, 11911, 11912, 11913, 11914, 11915, 11916, 11917, 11918, 11919, 11920, 11921, 11922, 11923, 11924, 11925, 11926, 11927, 11928, 11929, 11930, 11931, 11932, 11933, 11934, 11935, 11936, 11937, 11938, 11939, 11940, 11941, 11942, 11943, 11944, 11945, 11946, 11947, 11948, 11949, 11950, 11951, 11952, 11953, 11954, 11955, 11956, 11957, 11958, 11959, 11960, 11961, 11962, 11963, 11964, 11965, 11966, 11967, 11968, 11969, 11970, 11971, 11972, 11973, 11974, 11975, 11976, 11977, 11978, 11979, 11980, 11981, 11982, 11983, 11984, 11985, 11986, 11987, 11988, 11989, 11990, 11991, 11992, 11993, 11994, 11995, 11996, 11997, 11998, 11999, 12000

BOUNDARY EXHIBIT

10833 IH-10 E

SHEET
EX
OF E

© COPYRIGHT 2021



City of Cibolo

P.O. Box 826
Cibolo, TX 78108
(210) 658-4175 Voice
(210) 658-8065 Fax

SITE DEVELOPMENT - TOP SOIL

Issue Date: June 8, 2021

PROJECT DESCRIPTION: Restore the original drainage conditions of the site to before there was a borrow pit.

PROJECT #
SOIL-21-1083

(210) 658-4175
Inspections

www.mygov.us
Permits

LOCATION
10833 IH 10
Cibolo, TX 78108

CONTRACTOR

(Business Owner as Contractor)
Business Owner as Contractor
Cibolo, TX 78108
(210) 999-9999 Phone
permits@cibolo.gov

OWNER

Mark L Mott, MLM Trust
6770 Linne
Seguin, TX 78155
ph. (210) 834-4815

AVAILABLE INSPECTIONS

▶ Final Inspection (required)

NOTICES

- A) All work must be done in compliance with the current adopted codes and city ordinances.
- B) A copy of the permit must be displayed until all permitted work has been completed and approved.
- C) The project address must be clearly posted at the job site.
- D) A permit becomes null & void if work or construction authorized is not commenced within six (6) months or if construction or work is suspended or abandoned for a period of six (6) months at any time after work is started.

NOTES

▸ **Dumpster Requirements**

The City of Cibolo has a Franchise Agreement with Republic Services. Please see the Utilities Department to set up Container Service.

▸ **Inspector Review Notes**

If paying online, refer to permit documents for any Inspector notes.

Office Use Only:	
Reviewed by:	
Initials	Date
<i>Rm^z</i>	<i>6/8/2021</i>

CITY OF CIBOLO
SITE DEVELOPMENT
TOP SOIL, GRAVEL,
EXCAVATION
PERMIT APPLICATION
Phone: (210) 658 - 4175
Fax: (210) 658 - 8065

Official Use Only:
RECEIVED MAY 06 2021 <i>21-1083</i> CITY OF CIBOLO
Updated 12/8/14

Please fill out this form completely, supplying all necessary information and documentation to support your request.
Your application will not be accepted until the application is completed and required information provided.

Name of Project:	<u>10833 IH-10 E</u>
Project Address:	<u>10833 IH-10E Access Rd.</u>

Permit Conditions:

1. The earthwork on the permitted land shall be such that positive drainage is assured and that such drainage is by gravity to a natural watercourse or a public drainage facility adequate for the purpose. This clause shall not be constructed to prevent the operator from establishing a settling pool;
2. All damage to municipal or privately owned drainage facilities, roads, utilities, or other municipally or privately owned property or natural watercourse, resulting from the excavation or the removal of soils shall be repaired;
3. All drainage facilities and natural watercourses shall be kept free of silt, clay, sand, rubble, debris, gravel and any other matter or thing originating from any excavation of any lands and which are causing obstruction to such drainage facility or natural watercourse per NPDES - EPA regulations.
4. Drainage facilities or natural watercourses shall not be impacted per NPDES - EPA regulations.
5. Stockpiles shall be confined to the site and the same shall be maintained so they do not adversely affect or damage adjacent properties or sight lines.
6. The earthwork shall not encroach upon, undermine or physically damage any property, or any property / works whether or not located within a statutory right of way, or make impractical the future subdivision or development of the site for which a permit has been issued on neighboring land.
7. Storm water may not drain onto City owned or private property unless into a drainage facility approved by the Director.
8. No earthwork may occur next to adjoining site that would result in a vertical cut of more than 2 feet to the land on which the earthwork is to take place.
9. No natural watercourse shall be altered or diverted, except with the approval of the Director.
10. No earthwork shall occur on environmental protection areas or riparian areas as determined by the City.
11. All excavation and stockpiling on site and all other hazards shall, if required, by the Director, have adequate fencing and be provided with suitable buffer zones or landscaping screens suitable weather proof signs shall be mounted and maintained on the fence at a linear distance not to exceed three hundred (300) feet with wording to indicate the danger, the nature of the earthwork, the presence of excavation and prohibiting the presence of the public.
12. All earthwork undertaken shall be done according to the terms of approval of the Director and may require a Professional Engineer to supervise the work.
13. All earthwork shall be subject to a continuous program of dust control.

MS by initialing here, I acknowledge that I have read and understand the Permit Conditions.

CONTRACTOR INFORMATION:

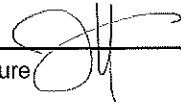
Applicant Name: Madison Simon, EIT
Company Name: Moeller & Associates
Mailing Address: 2021 W SH 46, New Braunfels TX 78132
Phone: 830-358-7127 Mobile: _____
Contact Name: Shane Klar, P.E. Phone: _____

ARCHITECT / ENGINEER INFORMATION:

Architect: _____
Address: _____
Phone: _____
Engineer: Shane Klar (Moeller & Associates Engineering)
Address: 2021 W SH 46, New Braunfels TX 78132
Phone: 830-358-7127

OWNER INFORMATION:

Owner Name(s): MLM Trust attn: Jason Mott
Company: _____
Mailing Address: 6770 Linne Rd
City, State, Zip: New Berlin, TX 78155
Telephone: _____

Signature  _____ Date: _____
Signature _____ Date: _____
Signature _____ Date: _____
Signature _____ Date: _____

I / We, the above-signed, do hereby affirm and certify, under penalty of perjury, that I / We am / are one (or more) of the owner(s) of the property.

PROPERTY INFORMATION:

Located: Inside City Limits
Subdivision: _____ Lot No. _____ Unit: _____
Block: _____ Total Acreage in site: 7.51
Section: _____ Township: _____ Range: _____
Assessor's Parcel Number: _____
Direction: East side of IH-10
(road name)
between Santa Clara Rd. and Zuehl Rd.
(road name)

Full legal description of subject property (attach separate sheet if necessary):

ABS: 134 SUR: JOSE FLOREZ 5.5100 AC MH= 14 X 67

Use of Building: NA

Total Square Footage in Paved or Covered Surfaces: NA

UTILITIES:

Water Supplier: NA

Name of Utility Company

Existing: _____

Proposed: _____

Sewage Disposal: _____

Name of Utility Company

Existing: _____

Proposed: _____

Access (name of road or street from which access is or will be gained): _____

Existing: _____

Proposed: _____

Proposed Start Date: _____

Proposed Completion Date: _____

Application has been submitted with plans: **Yes**

Describe Work: The proposed plans will restore the original drainage conditions of the site to before there was a borrow pit.

Valuation: \$ 48,950

All APPLICANTS MUST SUBMIT THE FOLLOWING:

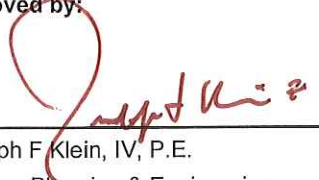
Note: The site plan must be at a scale of not less than 20 feet to an inch and not more than 100 feet to an inch.

1. Five (5) copies of the site plan drawing and application shall be submitted which **must** include all of the following:
 - a. The boundaries of the property proposed for top soil removal.
 - b. All means of vehicular ingress and egress to and from the site and the size and location of access points.
 - c. An illustration of the areas of said property where top soil is proposed to be removed and the soil berm, fence or landscape screening to be used to screen the soil removal operation from adjoining properties or public facilities.
 - d. The location of all existing and proposed structures, including, but not limited to buildings, fences, culverts, bridges, roads and streets. Include setbacks from property lines.
2. An engineering study showing the grade of the top soil both prior to and after the proposed removal, and engineering documentation and explanation of the effect of said top soil removal upon the future installation of sewage or septic tank facilities, the effect upon future drainage, and the effect upon the water table located under said property.
3. Drawing and descriptive narrative showing the removal sequence and the means proposed to be taken to ensure the continuity of natural site drainage flow without undue or uncontrolled ponding in retention areas.

4. Proposed actions to control dust and noise during the removal operation.
5. A proposed plan, including time sequence, for restoration of the land area after the removal of top soil.
6. A listing of names and addresses of all adjoining land owners.
7. As required by NPDES - EPA all SWP3 plans & documents.

*NOTE: Inspection of permitted work may reveal code violations not discovered during plan review.

Approved by:



Rudolph F. Klein, IV, P.E.
Director, Planning & Engineering



Date

CDS 019



RECEIVED

MAY 06 2021

CITY OF CIBOLO

March 19, 2021
City of Cibolo
200 S Main St.
Cibolo TX 78108

Drainage Explantation & Background

The intent of this letter is to provide background information on the attached plans for the proposed grading of 10833 IH 10.

The property originally surface-drained to the existing low at the south-west corner of the boundary. When IH-10 E was under construction the site was used as a soil borrow pit. The existing conditions shown on the grading plan (*see sheet 2*) represent the current conditions of the property.

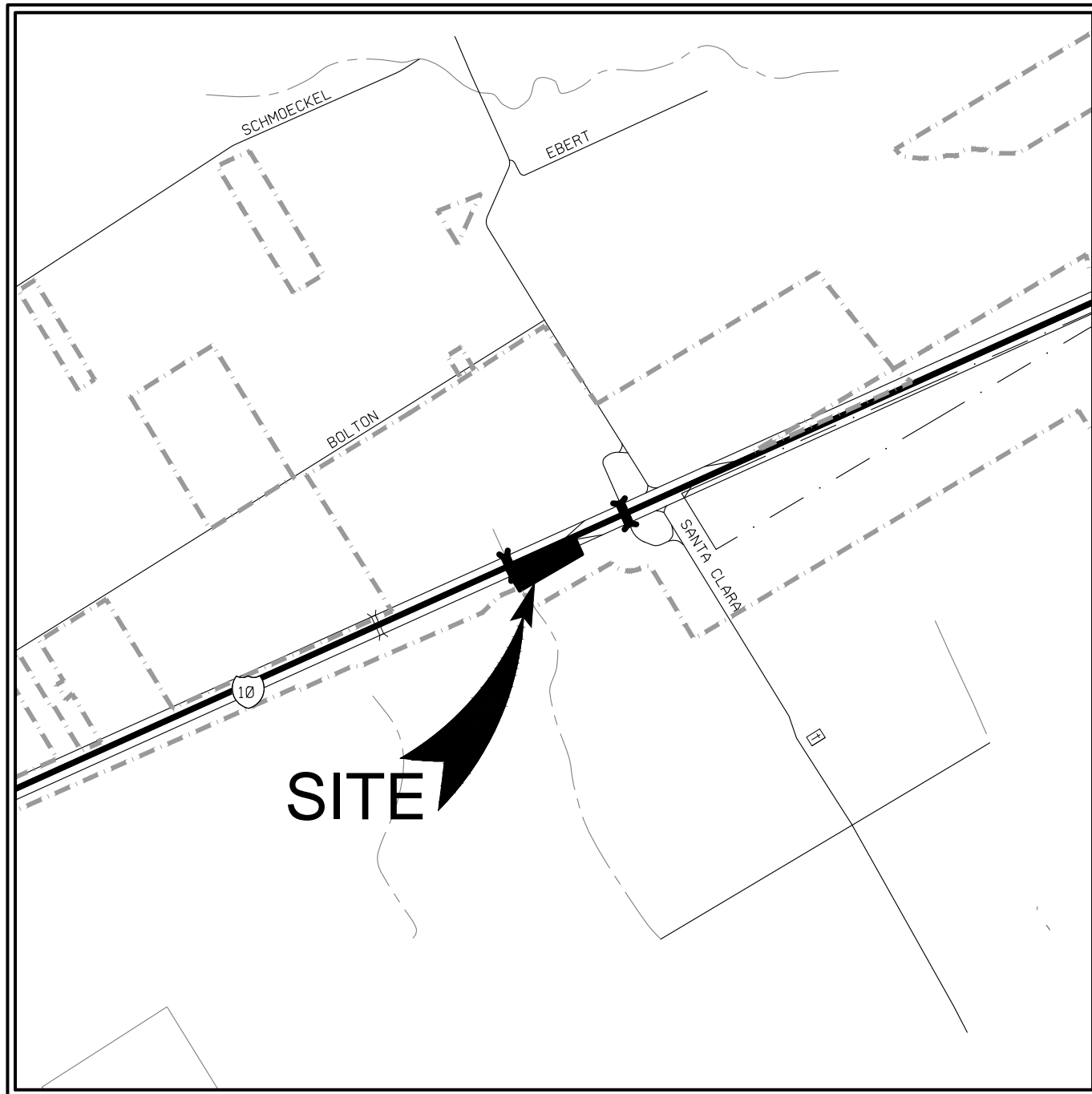
The proposed plans will restore the original drainage conditions of the site before the borrow pit was dug.

It is our professional engineering opinion that there will be no negative impact to any down-stream properties as the flow will not be greater than the original discharge of the site.

Sincerely,

A handwritten signature in black ink, appearing to read 'Shane Klar'.

Shane Klar, P.E.



LOCATION MAP
SCALE: 1" = 2,000'

10833 IH-10 E

CIBOLO, TEXAS

MOTT PROPERTIES

6770 LINNE, SEGUIN, TEXAS, 78155

SUBMITTAL DATE: 03-18-2021

Sheet List Table

Sheet Number	Sheet Title
1	GENERAL NOTES
2	GRADING PLAN
3	EROSION CONTROL
4	EROSION CONTROL DETAILS

GENERAL INFORMATION:

LOT ADDRESS: 10833 IH-10 E, CIBOLO TX

AREA OF PROPOSED BUILDING: 0 SF

THE PROPOSED USE AND CALCULATED TRIPS DO NOT REQUIRE A TIA REPORT.

THIS PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA ZONE "A", THE 100-YEAR FLOOD ZONE, AS DEFINED BY THE FLOOD INSURANCE RATE MAP FOR GUADALUPE COUNTY, TEXAS ON COMMUNITY PANEL NO. 481870024SF, EFFECTIVE DATE NOVEMBER 2, 2007 AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

ENVIRONMENTAL PERFORMANCE STANDARDS: REFERENCE ARCHITECT'S PLANS

DEVELOPMENT IS SUBJECT TO THE FOLLOWING CODES:

- 2016 CIBOLO UNIFIED DEVELOPMENT CODE AND DESIGN AND CONSTRUCTION MANUAL
- 2012 INTERNATIONAL PROPERTY MAINTENANCE CODE*
- 2012 UPC PLUMBING CODE*
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE*
- 2012 UNIFORM MECHANICAL CODE*
- 2012 INTERNATIONAL BUILDING CODE*
- 2012 INTERNATIONAL EXISTING BUILDING CODE*
- 2012 INTERNATIONAL FIRE CODE*
- 2014 NEC*
- *SUBJECT TO LOCAL AMENDMENTS

GENERAL NOTES

1. RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
2. ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF CIBOLO MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.
3. IF CONSTRUCTION HAS NOT COMMENCED WITHIN ONE-YEAR OF CITY OF CIBOLO, COREEN VALLEY SPECIAL UTILITY DISTRICT (CVSUD-WATER), AND GUADALUPE VALLEY ELECTRIC COOPERATIVE (GVEC) APPROVAL FOR CONSTRUCTION INSPECTION, THAT APPROVAL IS NO LONGER VALID.
4. NO PORTION OF THE PROJECT IS LOCATED WITHIN THE EXISTING SPECIAL FLOOD HAZARD ZONE A, 100-YEAR FLOOD BOUNDARY, AS DEFINED BY THE GUADALUPE COUNTY, TEXAS COMMUNITY PANEL NUMBER 4818700230F, AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, EFFECTIVE DATE NOVEMBER 2, 2007.

ACCEPTED FOR CONSTRUCTION:

CITY ENGINEER, CITY OF CIBOLO _____ DATE _____

NOTE: THE CITY ENGINEER'S SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE CITY ENGINEER AND CITY STAFF HAS REVIEWED THIS DOCUMENT AND HAS FOUND IT TO BE IN GENERAL CONFORMANCE WITH THE CITY OF CIBOLO SUBDIVISION ORDINANCE(S) OR APPROVED VARIANCES TO THOSE REGULATIONS. THE CITY ENGINEER, THROUGH THE ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY, OTHER THAN STATED ABOVE, FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS. RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE REGISTERED/LICENSED PROFESSIONAL ENGINEER WHOSE SEAL AND SIGNATURE IS AFFIXED TO THIS DOCUMENT.

PREPARED BY:



2021 W SH46, STE 105, NEW BRAUNFELS, TX. 78132
PH: 830-358-7127 www.ma-tx.com
TBPE FIRM F-13351

SUBMITTED BY:

SHANE KLAR, P.E. #115810
MOELLER & ASSOCIATES
TBPE FIRM #F-13351
2021 W SH46, STE 105,
NEW BRAUNFELS, TX 78132



MOTT COMMERCIAL LOT 5
REVIEW SET

NO	DATE	ISSUES AND REVISIONS

Drawing Name: C:\Users\MADISON\1\AppData\Local\Temp\1\Map-Jahash-2824\CV COVER SHEET.dwg User: MadisonSimon Mar 19, 2021 10:43am



GENERAL CONSTRUCTION NOTES – CITY OF CIBOLO

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CIBOLO DESIGN AND CONSTRUCTION MANUAL AND THE UNIFIED DEVELOPMENT CODE, HERE AFTER REFERRED TO THE UDC.
- APPROVAL OF THESE CONSTRUCTION PLANS BY THE CITY OF CIBOLO DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
- ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF CIBOLO MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER.
- DESIGN PROCEDURES ARE IN COMPLETE COMPLIANCE WITH THE CITY OF CIBOLO DESIGN AND CONSTRUCTION MANUAL. IT IS THE RESPONSIBILITY OF THE ENGINEER TO REQUEST A WAIVER FROM ANY ASPECT OF THESE PLANS THAT DO NOT COMPLY WITH THE UDC.
- A MINIMUM OF TWO EXISTING BENCH MARKS TIED TO CITY OF CIBOLO GRID SHOULD BE SHOWN ON THE PLANS. IN ADDITION TWO PERMANENT BENCHMARKS PER SUBDIVISION SHALL BE INSTALLED IN EACH SUBDIVISION TO INCLUDE DESCRIPTION, LOCATION, AND ELEVATION AND TIE TO CITY OF CIBOLO STANDARDS WHEN POSSIBLE.
- CAST BRONZE SURVEY MARKERS SHALL BE PLACED IN CONCRETE IN PERMANENT, ACCESSIBLE LOCATIONS AT THE TIME OF CONSTRUCTION. THE LOCATIONS OF THE MARKERS SHALL BE INDICATED ON THE CONSTRUCTION PLANS. A MINIMUM OF ONE MARKER SHALL BE PLACED FOR EACH 20 ACRES OF THE PROJECT.
- PRIOR TO BEGINNING CONSTRUCTION, THE OWNER OR HIS AUTHORIZED REPRESENTATIVE SHALL CONVENE A PRECONSTRUCTION CONFERENCE BETWEEN THE CITY OF CIBOLO CONSULTING ENGINEER, CONTRACTOR, AND ANY OTHER AFFECTED PARTIES. NOTIFY THE CITY OF CIBOLO AT LEAST 48 HOURS PRIOR TO THE TIME OF THE CONFERENCE AND 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- THE CONTRACTOR SHALL GIVE THE CITY A MINIMUM OF 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
- BARRICADES, BUILT TO CITY OF CIBOLO SPECIFICATIONS, SHALL BE CONSTRUCTED ON ALL DEAD-END STREETS AND AS NECESSARY DURING CONSTRUCTION TO MAINTAIN JOB SAFETY. (STREETS, ETC. MAY BE LISTED IN ADDITION TO OR INSTEAD OF NOTE.)
- IF BLASTING IS PLANNED BY THE CONTRACTOR, A BLASTING PERMIT MUST BE SECURED PRIOR TO COMMENCEMENT OF ANY BLASTING. ANY EXISTING PAVEMENT, CURBS, AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE BEFORE ACCEPTANCE OF THE SUBDIVISION.
- THE LOCATION OF ANY WATER AND /OR WASTEWATER LINES SHOWN ON THE PLANS MUST BE VERIFIED BY THE PUBLIC WORKS DEPARTMENT.
- USE ONE CALL UTILITY SYSTEM: DIAL 1-800-344-8377, 48 HOURS BEFORE YOU DIG.
- ALL STORM SEWER PIPES TO BE CLASS III RCP UNLESS NOTED OTHERWISE.
- THE SUBGRADE MATERIAL IN MOTT COMMERCIAL SUBDIVISION WAS TESTED BY ROCK ENGINEERING AND TESTING LABORATORY IN JULY 2019, AND THE STREET SECTION FOR MOTTS DESIGNED ACCORDING TO CITY OF CIBOLO DESIGN AND CONSTRUCTION MANUAL.

CONSTRUCTION SEQUENCING – CITY OF CIBOLO

- CALL THE PLANNING AND ENGINEERING DEPARTMENT 48 HOURS PRIOR TO BEGINNING ANY WORK AND SCHEDULE A PRECONSTRUCTION MEETING WITH THE CITY AND ALL AFFECTED UTILITY PROVIDERS, THE GENERAL CONTRACTOR, THE DEVELOPER AND THE DEVELOPER'S ENGINEER.
- OBTAIN A SITE DEVELOPMENT PERMIT FROM THE PLANNING AND ENGINEERING DEPARTMENT.
- PROVIDE THE PLANNING AND ENGINEERING DEPARTMENT WITH EVIDENCE ALL TCED LICENSES AND REQUIREMENTS ARE UP TO DATE.
- INSTALL TEMPORARY EROSION CONTROLS AND TREE PROTECTION FENCING PRIOR TO ANY CLEARING AND GRUBBING. NOTIFY THE CITY WHEN INSTALLED.
- ROUGH-OUT ALL REQUIRED OR NECESSARY PONDS, EITHER THE PERMANENT OUTLET STRUCTURE OR A TEMPORARY OUTLET MUST BE CONSTRUCTED PRIOR TO DEVELOPMENT OF ANY EMBANKMENT OR EXCAVATION THAT LEADS TO FLOODING CONDITIONS. THE OUTLET SYSTEM MUST CONSIST OF A LOW-LEVEL OUTLET AND AN EMERGENCY OVERTFLOW MEETING THE REQUIREMENTS OF THE UDC. THE OUTLET SYSTEM SHALL BE PROTECTED FROM EROSION AND SHALL BE MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION UNTIL FINAL RESTORATION IS ACHIEVED. DELIVER APPROVED ROUGH OUT SHEETS TO THE CITY ENGINEER PRIOR TO CLEARING AND GRUBBING.
- ROUGH GRADE STREETS. NO DEVELOPMENT OF EMBANKMENT WILL BE PERMITTED AT THIS TIME.
- INSTALL ALL UTILITIES TO BE LOCATED UNDER THE PROPOSED PAVEMENT OR WITHIN THE ROAD RIGHT-OF-WAY.
- DELIVER STORM SEWER OUT SHEETS TO THE CITY ENGINEER.
- BEFORE INSTALLATION OF STREET SEWER LINES. UPON COMPLETION, RESTORE AS MUCH DISTURBED AREA AS POSSIBLE, PARTICULARLY CHANNELS AND LARGE OPEN AREAS.
- DELIVER FINAL GRADE CUT SHEETS TO THE CITY ENGINEER.
- RE-GRADE STREETS TO SUB-GRADE.
- ENSURE THAT UNDERGROUND UTILITY CROSSINGS ARE COMPLETED. LAY 1ST COURSE BASE MATERIAL ON STREET.
- INSTALL CURB AND GUTTER.
- LAY FINAL BASE COURSE ON ALL STREETS.
- LAY ASPHALT.
- COMPLETE FINAL GRADING AND RESTORATION OF DETENTION, SEDIMENTATION / FILTRATION PONDS.
- COMPLETE PERMANENT EROSION CONTROL AND RESTORATION OF SITE VEGETATION.
- REMOVE AND DISPOSE OF TEMPORARY EROSION CONTROLS.
- COMPLETE ANY NECESSARY FINAL DRESS UP OF AREAS DISTURBED.

EROSION / SEDIMENTATION CONTROL

- AT A MINIMUM, THESE CONTROLS SHALL CONSIST OF ROCK BERMS AND/OR SILT FENCES CONSTRUCTED PARALLEL TO AND DOWN GRADIENT FROM THE TRENCHES. THE ROCK BERM OR SILT FENCE SHALL BE INSTALLED IN A MANNER SUCH THAT ANY RAINFALL RUNOFF SHALL BE FILTERED. HAY BALES SHALL NOT BE USED FOR TEMPORARY EROSION AND SEDIMENTATION CONTROLS.
- ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE MAINTAINED DURING CONSTRUCTION BY THE CONTRACTOR. THE CONTRACTOR SHALL REMOVE THE CONTROLS WHEN VEGETATION IS ESTABLISHED AND THE CONSTRUCTION AREA IS STABILIZED. ADDITIONAL PROTECTION MAY BE REQUIRED IF EXCESSIVE SOLIDS ARE BEING DISCHARGED FROM THE SITE.
- ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS SHALL BE REMOVED BY THE CONTRACTOR AT FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER/ENGINEER.
- PLACEMENT OF TEMPORARY EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION PLANS. ACTUAL LOCATIONS MAY VARY SLIGHTLY FROM THE PLANS. THE CONTRACTOR SHALL INSPECT THE CONTROLS AT WEEKLY INTERVALS AND AFTER EVERY SIGNIFICANT RAINFALL TO INSURE DISTURBANCE OF THE STRUCTURES HAS NOT OCCURRED. SEDIMENT DEPOSITED AFTER A RAINFALL SHALL BE REMOVED FROM THE SITE OR PLACED IN AN ENGINEER APPROVED DESIGNATED DISPOSAL AREA.
- ADDITIONAL CONTROLS MAY BE REQUIRED FOR PROJECTS OVER THE EDWARDS AQUIFER RECHARGE ZONE. REFERENCE 30 TAC 213 CHAPTER A.
- CONTRACTOR OR CONTRACTOR'S CONSULTANT SHALL HAVE A STORM WATER POLLUTION PREVENTION PLAN PREPARED AND ON-SITE AT ALL TIMES.

WATER NOTES

- ALL WORKMANSHIP AND MATERIALS OF THE WATER SYSTEM SHALL CONFORM TO THE CONSTRUCTION MANUAL OF GREEN VALLEY SUBD. AND CITY OF CIBOLO.
- SIX INCH, 8", 12", AND 16" WATER PIPE SHALL BE PVC AWMA APPROVED C-905/C-905, PRESSURE CLASS 2500 SERVICES SHALL BE TYPE "K" SOFT COPPER. ALL FITTINGS SHALL BE DOMESTIC DUCTILE IRON MECHANICAL JOINT. VALVES THAT ARE ATTACHED TO TEES BY FOSTER ADAPTER OR ANCHOR NIPPLE. FOSTER ADAPTER, ANCHOR NIPPLE OR FORD UNO-FLANGE RETAINER GLANDS AND THROUST BLOCKS SHALL BE USED ON ALL FITTINGS AND VALVES. WATER MAINS SHALL HAVE AN ABSOLUTE MINIMUM 36" DEPTH UNDER STREET UNDER 42" IN ALL OTHER AREAS. ALL WATERLINES MUST BE BEDDED: ALL BEDDING MATERIAL SHALL BE A FINE RUN OR SCREEN FIELD SAND. SUBMITTAL APPROVAL BY GREEN VALLEY. A TRACER WIRE SHALL BE INSTALLED ON THE PIPE LINE AND BROUGHT UP INTO VALVE BOXES FOR LOCATE PURPOSES AND 12" WIDE TRACER TAPE 1 FT. ABOVE THE PIPE.
- THE ANGULAR DEFLECTION AT JOINTS SHOULD NOT EXCEED ONE (1) DEGREE. THIS WILL PRODUCE A OFFSET IN A 20-FOOT SECTION OF APPROXIMATELY FOUR (4) INCHES. JOINT DEFLECTION IS ACHIEVED AFTER THE JOINT IS ASSEMBLED IN STRAIGHT ALIGNMENT AND TO THE REFERENCE MARK. THE BELL SHOULD BE BRACED IN ORDER TO ALLOW THE FREE END TO MOVE LATERALLY UNDER STEADY PRESSURE. USE A PTRY BAR OR OTHER SUITABLE MEANS. CARE SHOULD BE TAKEN NOT TO EXCEED THE MAXIMUM DEFLECTION ALLOWED OR DAMAGE THE PIPE WITH MACHINERY USED. ABRUPT CHANGES IN DEFLECTION SHALL BE ACCOMPLISHED WITH FITTINGS. AVOID OVER-STRESSING THE BELL (OR OVER-INSERTING THE JOINTS, OR EXCEEDING MAXIMUM DEFLECTION ALLOWED) IN ORDER TO PREVENT POSSIBLE BREAKAGE AND/OR LEAKS.
- STREETS WILL BE EXCAVATED DOWN TO SUB-GRADE AND THE STREET CONTRACTOR PRIOR TO CONSTRUCTION OF THE SEWER AND WATER MAINS WILL CUT DOWN THE PARKWAYS TO THE TOP OF THE CURB.
- ALL SEWER PIPES CROSSING THE WATER DISTRIBUTION SYSTEM WILL BE HELD IN STRICT ACCORDANCE WITH TNRC RULES AND REGULATIONS. PROPOSED SUBGRADE LIMITS AND DIMENSIONS MUST BE SHOWN ON THE PLANS AND CONSTRUCTION PROCEDURES WILL BE INSPECTED TO VERIFY THAT TNRC SECTION 290.44(E)(5)(B) ARE MET.
- CONTRACTOR SHALL PROVIDE "AS-BUILT" WATER LINE PLANS BEFORE FINAL INSPECTION. THE PLANS SHALL LIST MATERIAL, MANUFACTURER, LINE LENGTH FROM FITTING TO FITTING AND TAP LOCATIONS, AND GS/GPS LOCATIONS.
- THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES INDICATED ARE TAKEN FROM RECORDS AVAILABLE AND ARE NOT GUARANTEED, BUT SHALL BE INVESTIGATED AND VERIFIED BY THE CONTRACTOR BEFORE STARTING WORK. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO AND FOR MAINTENANCE PROTECTION OF THE EXISTING UTILITIES WHICH ARE SHOWN ON THE PLANS OR NOT.
- A PRE-CONSTRUCTION MEETING SHALL BE HELD BEFORE CONSTRUCTION BEGINS. THE GREEN VALLEY INSPECTOR SHALL BE NOTIFIED AT LEAST FORTY-EIGHT HOURS PRIOR TO BACK FILLING OR TESTING.
- NO VALVES IN THE GREEN VALLEY SUD WATER DISTRIBUTION SYSTEM SHALL BE OPERATED BY THE CONTRACTOR WITHOUT PRIOR PERMISSION OF THE DISTRICT. THE CONTRACTOR SHALL NOTIFY GREEN VALLEY SUD WHEN VALVE IS TO BE OPERATED AND SHALL ONLY OPERATE THE VALVE IN THE PRESENCE OF THE GREEN VALLEY SUD REPRESENTATIVE.
- ALL WATER PIPE, FITTINGS, AND VALVES SHALL BE LAID IN SAND EMBEDMENT THE SAND SHALL FULLY ENCASE ALL PIPES INCLUDING FITTINGS AND VALVES A MINIMUM OF TWELVE (12) INCHES. ALL FITTINGS AND VALVES ARE TO RECEIVE THROUST BLOCKING AND FOSTER ADAPTER, ANCHOR NIPPLE, FORD UNO-FLAN RETAINER GLAND JOINT RESTRAINTS. BELL JOINT RESTRAINTS SPECIFIED BY GREEN VALLEY STAFF OR THE DISTRICTS ENGINEER.
- NEW WATER MAINS SHALL PASS THE PRESSURE TESTING AND THE MINIMUM PUBLIC HEALTH STANDARDS FOR BACTERIOLOGICAL QUALITY PRIOR TO ANY TIE IN TO EXISTING WATER MAINS AND SERVICE LINE TRANSFERS. THE CONTRACTOR SHALL MAKE ALL TIES TO EXISTING MAINS REQUIREMENTS OF THE PLANS AS SOON AS PIPELAYING REACHES THE DESIGNATED LOCATIONS. THE CONTRACTOR SHALL PREPARE FOR A TIE IN TO BE MADE AFTER NEW MAINS HAVE BEEN APPROVED AND ACCEPTED FOR SERVICE BY THE OWNER.
- NO OTHER UTILITY CLOSER THAN 3 FEET TO WATER MAIN.
- TAPPING MACHINES UTILIZED FOR THE PURPOSE OF INSTALLING TAPPING VALVES UP TO 2", CORPORATION STOPS, AND AIR RELEASE VALVES WILL BE OF THE PURGE TYPE, WHICH AT THE TIME OF TAPPING SHALL EXPELL ALL CHIPS AND RESIDUE TO ATMOSPHERE THROUGH AN APPROPRIATE OUTLET.
- PRESSURE TESTING SHALL BE VERY 200 LF (MAX) OF LINE OR AS APPROVED BY THE ENGINEER. ALL RECORDS WORKMANSHIP SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION. PIPELINE SHALL BE BACKFILLED AND BRACED SUFFICIENTLY TO PREVENT MOVEMENT UNDER PRESSURE.
- CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.
- SERVICE TAPS TO BE MADE WITH SINGLE BRASS STRAP TAPPING SADDLE WITH IRON PIPE THREADS. ALL SHOULD BE 1" EVEN SINGLE SERVICES. SERVICE TAPS TO BE MADE WITH DOUBLE STAINLESS STRAP TAPPING SADDLES WITH IRON PIPE THREADS.
- STANDARD FIRE HYDRANT SHALL INCLUDE HYDRANT, 6" RESILIENT GATE VALVE AND BOX, ANCHOR FITTINGS, PIPE AND ALL APPURTENANCES. HYDRANTS SHALL BE LIMITED TO THOSE MANUFACTURED BY MUELLER AND THE BARREL TO BE SILVER, WITH A STORTZ CONNECTION ON STREAMER NOZZLE. FITTINGS FOR PLUG TO BE TIED TO VALVE.
- VALVES SHALL BE AWMA APPROVED RESILIENT SEATED GATE VALVE OPEN LEFT AND LIMITED TO THOSE MANUFACTURED BY MUELLER OR CONTRACTOR SHALL INSTALL VALVES AS TO NOT TO INTERFERE WITH CURB OR WHEELCHAIR RAMPS. NO WATER METER SERVICES MAY BE SET IN WHEEL CHAIR RAMPS.
- CONTRACTOR SHALL CHLORINATE NEW MAINS WITH HTH; THE CONTRACTOR SHALL COORDINATE WITH THE DISTRICT INSPECTOR TO CONDUCT TESTING OF NEW MAINS AND PRESSURE TEST. ACCEPTABLE TEST RESULTS MUST BE PROVIDED TO THE DISTRICT.
- ALL SERVICE CROSSINGS TO BE ENCASED WITH NO LESS THAN 3" PVC PLUED TYPE PIPE. 2" CROSSINGS TO BE 2" YELLOW MINE CERTA LOCK WITH HARCO FITTINGS THROUGH A 4" PVC PLUED TYPE PIPE.
- NO TREES MAY BE PLANTED IN THE AREAS DESIGNATED AS WATER OR UTILITY EASEMENTS, OR AREAS WHERE WATER MAINS AND WATER SERVICE CROSSINGS EXIST OR PLANNED TO BE CONSTRUCTED.
- THE CONTRACTOR SHALL FURNISH THE ENGINEER WITH ALL THE AS-BUILT DRAWINGS WITH FINAL MEASUREMENTS.
- THE LOCATIONS AND DEPTHS OF ANY EXISTING UTILITIES, INCLUDING SERVICE LATERALS, AND DRAINAGE STRUCTURES ARE SHOWN ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE SPECIFIC LOCATION OF THE EXACT LOCATION AND DEPTHS OF THE UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. WHETHER SHOWN ON THE PLANS OR NOT, AND TO PROTECT THE SAME DURING CONSTRUCTION.
- ALL GARBAGE OR SPILL MATERIAL FROM THIS WORK SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR, AT HIS EXPENSE.
- METER BOX SINGLE – DFW360 16X11" PLASTIC METER BOX WITH REBAR, AMR AND KNOCK OUT. METER BOX DOUBLE – DFW38C 17X15" DUAL PLASTIC METER BOX WITH REBAR, AMR AND KNOCK OUT. 1" METER BOX DFW850-14-1A 15 1/4 X 30 3/8" PLASTIC METER BOX WITH REBAR, AMR KNOCK OUT.
- THE FORD U BRANCH TO BE USED ON ALL DUAL SERVICES (U48-8430) WITH THE 5/8X3/4 FEMALE THREAD ANGLE HEAD. ALL OTHER ANGLE HEADS WILL BE THE FORD Q NUT. ALL CORP. STOPS WILL BE 9" X 9" NUT. NO CO THREADED CORPS WILL BE USED.
- GREEN VALLEY SPECIAL UTILITY DISTRICT 830-914-2330.

FIRE SITE PLAN NOTES

- DURING CONSTRUCTION BUILDING ADDRESS SHALL BE POSTED. ADDRESS NUMERALS SHALL BE A COLOR CONTRASTING TO THE BACKGROUND. ADDRESS SHALL BE LOCATED SO THEY ARE CLEARLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- ALL MANUAL AND ELECTRONIC GATES ON REQUIRED FIRE DEPARTMENT ACCESS ROADS OR GATES OBSTRUCTING FIRE DEPARTMENT ACCESS SHALL BE PROVIDED WITH THE KNOX RAPID ENTRY SYSTEM FOR EMERGENCY ACCESS BY FIREFIGHTING PERSONNEL. BUILDING ACCESS AND/OR GATE ACCESS IS REQUIRED. PROVIDE DETAILS AND LOCATION OF ALL KNOX BOX(S) AND/OR KNOX PAD LOCK(S).
- THE CONTRACTOR SHALL DESIGNATE A PERSON TO BE THE FIRE PREVENTION PROGRAM SUPERINTENDENT WHO SHALL BE RESPONSIBLE FOR THE FIRE PREVENTION PROGRAM AND ENSURE THAT IT IS CARRIED OUT THROUGH COMPLETION OF THE PROJECT. THE FIRE PREVENTION PROGRAM SUPERINTENDENT SHALL HAVE THE AUTHORITY TO ENFORCE THE PROVISIONS OF THE FIRE CODE AND OTHER PROVISIONS AS NECESSARY TO SECURE THE INTENT OF THE FIRE CODE. WHERE GUARD SERVICE IS PROVIDED, THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE GUARD SERVICE.
- DURING THE ENTIRE CONSTRUCTION PERIOD THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR PROVIDING AND MAINTAINING UNOBSTRUCTED ACCESS TO THE PROJECT SITE, BUILDINGS, AND BUILDINGS UNDER CONSTRUCTION 24 HOURS A DAY.
- GRADE TRANSITIONS SHALL NOT EXCEED THE CITY OF CIBOLO'S FIRE DEPARTMENT AND MUTUAL AID DEPARTMENTS APPARATUS MAXIMUM APPROACH AND DEPARTURE ANGLES MAXIMUM 8 PERCENT (FOR AERIAL APPARATUS 8 PERCENT) OR AS DETERMINED BY THE FIRE CHIEF.
- ALL FIRE HYDRANTS SHALL HAVE A "BLUE REFLECTIVE PAVEMENT MARKER" INDICATING THE LOCATION PER THE CIBOLO FIRE DEPARTMENT. ON PRIVATE PROPERTY, MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER. ALL NEW PUBLIC HYDRANT BARRELS ARE TO BE RED IN COLOR AND BE OF A REFLECTIVE-TYPE PAINT AND ALL NEW PRIVATE HYDRANTS THE HYDRANT BARRELS SHOULD BE PAINTED CHROME YELLOW, TO DISTINGUISH THEM FROM PUBLIC HYDRANTS AND BE OF A REFLECTIVE-TYPE PAINT.
- FREESTANDING FIRE DEPARTMENT CONNECTION PIPING AND FIRE LINE SHALL NOT BE SMALLER THAN SYSTEM RISER PIPING. UNDERGROUND FIRE LINE PIPING IS TO TERMINATE ONE FOOT ABOVE FINISH FLOOR.
- AUTOMATIC BALL DRIP VALVE IS TO BE LOCATED IN LOWEST POINT OF FIRE DEPARTMENT CONNECTION PIPING. FIRE DEPARTMENT CONNECTION PIPING IS TO SLOPE BACK TO FREESTANDING FIRE DEPARTMENT CONNECTION.
- FIRE DEPARTMENT CONNECTION PIPING IS TO RUN FROM THE FIRE DEPARTMENT CONNECTION TO THE ROOM AND CONNECT DIRECTLY TO THE FIRE SPRINKLER SYSTEM USING RISER ABOVE THE ALARM CHECK VALVE.
- FREESTANDING FIRE DEPARTMENT CONNECTION TO INCLUDE LOCKING FDC CAPS.
- BOLLARDS PROTECTING HYDRANTS AND FIRE DEPARTMENT CONNECTIONS ARE TO INCLUDE A 6 INCH BLUE REFLECTIVE STRIPE ON TOP OF THE BOLLARDS.
- ALL WEATHER ACCESS ROADS AND HYDRANT LOCATIONS SHALL BE APPROVED BY THE FIRE MARSHAL AND SHALL BE IN PLACE AND OPERATIONAL BEFORE ANY COMBUSTIBLE MATERIALS ARE PLACED ON SITE. ACCESS ROADS AND HYDRANTS SHALL BE MAINTAINED CLEAR OF OBSTRUCTIONS AT ALL TIMES.
- NO LANDSCAPING OR OTHER OBSTRUCTIONS ARE TO BE WITHIN A THREE FOOT RADIUS OF A HYDRANT OR FIRE DEPARTMENT CONNECTION.

GENERAL CONSTRUCTION NOTES

- THE MOST CURRENT EDITIONS OF THE CITY OF CIBOLO STANDARD SPECIFICATIONS AND THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES SHALL FOLLOWED FOR ALL CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL DEVICES ARE PROPERLY INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PLANS AND LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. IF THE NEED ARISES, ADDITIONAL TEMPORARY TRAFFIC CONTROL DEVICES MAY BE ORDERED BY THE ENGINEER REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, SUBCONTRACTORS, BUILDERS, GEO-TECHNICAL ENGINEER TO IMMEDIATELY NOTIFY THE OWNER PROJECT ENGINEER AND OWNER IF THE PRESENCE OF GROUNDWATER WITHIN THE SITE IS EVIDENT.
- NOTED: WHEN ALL OF THE IMPROVEMENTS ARE FOUND TO BE CONSTRUCTED AND COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND WITH THE STANDARDS, AND UPON RECEIPT OF ONE SET OF RECORD DRAWINGS/PLANS, AND A DIGITAL COPY OF ALL PLANS (AUTOCAD 2000 MINIMUM AND PDF) THE CITY ENGINEER SHALL ACCEPT SUCH IMPROVEMENTS FOR THE CITY, SUBJECT TO THE GUARANTY OF MATERIAL AND WORKMANSHIP PROVISIONS IN THIS SECTION.
- CONTRACTOR OF RECORD IS RESPONSIBLE TO INSURE THAT EROSION CONTROL MEASURES AND STORMWATER CONTROL SUFFICIENT TO MITIGATE OFF SITE IMPACTS ARE IN PLACE AT ALL STAGES OF CONSTRUCTION.
- DRAINAGE IMPROVEMENTS SUFFICIENT TO MITIGATE THE IMPACT OF CONSTRUCTION SHALL BE INSTALLED PRIOR TO ADDING IMPERVIOUS COVER.
- THE ELEVATION OF THE LOWEST FLOOR SHALL BE AT LEAST 10 INCHES ABOVE THE FINISHED GRADE OF THE SURROUNDING GROUND, WHICH SHALL BE SLOPED IN A FASHION SO AS TO DIRECT STORMWATER AWAY FROM THE STRUCTURE. PROPERTIES ADJACENT TO STORMWATER CONVEYANCE STRUCTURES MUST HAVE FLOOR SLAB ELEVATION OR BOTTOM OF FLOOR JOISTS A MINIMUM OF ONE FOOT ABOVE THE TOP OF THE WATER MAINS. ELEVATION OF THE STRUCTURE DRIVEWAYS SERVING HOUSES ON THE DOWNHILL SIDE OF THE STREET SHALL HAVE A PROPERLY SIZED CROSS SLOPE PREVENTING RUNOFF FROM ENTERING THE GARAGE.
- ALL COMPACTION TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR'S GEO-TECHNICAL ENGINEER. FLEXIBLE BASE OR FILL MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED SIX-INCHES (6") COMPACTED. EACH LAYER OF MATERIAL, INCLUSIVE OF SUBGRADE, SHALL BE COMPACTED AS SPECIFIED AND TESTED FOR DENSITY AND MOISTURE IN ACCORDANCE WITH TEST METHODS TEX-113-E, TEX-114-E, TEX-115-E, THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE GEO-TECHNICAL ENGINEER. AT A MINIMUM, TESTS SHALL BE TAKEN EVERY 100LF FOR EACH LIFT. PROVIDE COMPLETION OF TESTING THE GEO-TECHNICAL ENGINEER WILL PROVIDE THE OWNER WITH ALL TESTING DOCUMENTATION AND A CERTIFICATION STATING THAT THE PLACEMENT OF FLEXIBLE BASE, AND FILL MATERIAL, AND SUBGRADE, HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- ASPHALTIC CONCRETE PAVEMENT SHALL BE TYPE "D" HOT MIX ASPHALT AS DEFINED IN TXDOTS STANDARD SPECIFICATIONS FOR TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREET AND BRIDGES, 2004.
- THE ASPHALTIC CONCRETE SURFACE COURSE SHALL BE PLANT MIXED, HOT LAID TYPE "D" MEETING THE SPECIFICATION REQUIREMENTS OF 2004 TXDOT ITEM 340. THE MIX SHALL BE DESIGNED FOR A STABILITY OF AT LEAST 95 AND SHALL BE COMPACTED TO BETWEEN 91 AND 95 PERCENT OF THE MAXIMUM THEORETICAL DENSITY AS DETERMINED BY TXDOT TEST METHOD TEX-227-F. THE ASPHALT CEMENT CONTENT BY PERCENT OF TOTAL MIXTURE WEIGHT SHALL FALL WITHIN A TOLERANCE OF +0.5 PERCENT FROM SPECIFIC MIX DESIGN.
- ALL UTILITY TRENCH COMPACTION TESTS WITHIN THE LIMITS OF THE PAVEMENT SECTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR'S GEO-TECHNICAL ENGINEER. FILL MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED TWELVE INCHES (12") LOOSE. EACH LAYER OF MATERIAL SHALL BE COMPACTED TO A MINIMUM 90% DENSITY AND TESTED FOR DENSITY AND MOISTURE IN ACCORDANCE WITH TEST METHODS TEX-113-E, TEX-114-E, TEX-115-E, THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE GEO-TECHNICAL ENGINEER. AT A MINIMUM, TESTS SHALL BE TAKEN EVERY 100 LF FOR EACH LIFT. PROVIDE COMPLETION OF TESTING THE GEO-TECHNICAL ENGINEER SHALL PROVIDE THE OWNER WITH ALL TESTING DOCUMENTATION AND A CERTIFICATION STATING THAT THE PLACEMENT OF FILL MATERIAL HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
- CURB CUTS SHALL BE OF THE FOLLOWING METHODS AND INDICATED ON THE PLANS IN DETAIL WHERE APPLICABLE:
12.1. SAWCUT EXISTING CURB AND MATCH TO NEW CONSTRUCTION.
12.2. SAWCUT EXISTING STREET TO THE INTO EXISTING CONSTRUCTION.
- SAWCUT CURB FOR CONSTRUCTION ENTRANCE.
- STABILIZED CONSTRUCTION AREA SHALL BE CONSTRUCTED OF 3"x5" ROCK TO BE PLACED A MINIMUM LENGTH OF 50-FT. AND MAINTAINED SO THAT CONSTRUCTION DEBRIS DOES NOT FALL WITHIN THE TxDOT RIGHT-OF-WAY. RIGHT-OF-WAY MUST BE CLEARED FROM MUD, ROCKS, ETC. AT ALL TIMES.
- ALL UTILITIES TO BE CONSTRUCTED PRIOR TO PAVING CONSTRUCTION.
- ENSURE ALL DRIVEWAY APPROACHES ARE BUILT IN GENERAL ACCORDANCE WITH A.D.A. SPECIFICATIONS.
- NO VALVES, HYDRANTS, ETC. SHALL BE CONSTRUCTED WITHIN CURBS, SIDEWALKS, OR DRIVEWAYS.
- THE ENGINEER AND THE OWNER MAKE NO REPRESENTATIONS OF THE PRESENCE OF ROCK OTHER THAN THE WORKER CAN SEE. THE GEO-TECHNICAL INVESTIGATOR IDENTIFYING THE SPECIFIC LOCATION OF THE BORINGS. THE CONTRACTORS SHOULD BE AWARE THAT THIS SITE IS IN AN AREA WHERE ROCK IS PRESENT AND IS ANTICIPATED TO BE ENCOUNTERED DURING THE CIVIL-SITE CONSTRUCTION. ROCK EXCAVATION REQUIRED FOR UTILITY TRENCH, MASS GRADING, OR OTHER CIVIL-SITE CONSTRUCTION SHOULD NOT BE AN EXTRA PAY ITEM.
- THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAS BEEN BASED UPON RECORD INFORMATION ONLY AND MAY NOT MATCH LOCATIONS AND/OR DEPTHS AS CONSTRUCTED.
- THE CONTRACTOR SHALL CONTACT EACH OF THE INDIVIDUAL UTILITIES FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS AND DEPTHS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL UTILITY CROSSINGS PRIOR TO BEGINNING ANY CONSTRUCTION.
- ANY EXISTING UTILITIES, ON OR OFF THE SITE, THAT ARE DAMAGED OR UNDERCUT BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER AND APPROVED BY THE RESPECTIVE UTILITY COMPANY AT THE CONTRACTOR'S EXPENSE.
- DUE TO FEDERAL REGULATIONS TITLE 49, PART 192(b), GAS COMPANIES MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT THE WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.

CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY COMPANIES AND GOVERNMENTAL AGENCIES AT LEAST 48 HOURS PRIOR TO EXCAVATION AT:

GREEN VALLEY SPECIAL UTILITY DISTRICT (GVSD) (WATER)	(830) 914-2330
CITY OF CIBOLO UTILITY SERVICE	(210) 658-9900
QUADALUPE VALLEY ELECTRIC COOPERATIVE (QVEC) (ELECTRIC)	(830) 379-2114
TIME WARNER CABLE	(210) 244-0500
CENTERPOINT GAS	(800) 427-7142
AT&T	(830) 303-1333
TEXAS ONE CALL SYSTEM	811

CITY OF CIBOLO GENERAL SITE PLAN NOTES:

- FIRE LINES SHALL BE DESIGNED AND PROVIDED PER CITY STANDARDS.
- HANDICAPPED PARKING AREAS SHALL BE DESIGNED AND PROVIDED PER CITY STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF CURRENTLY ADOPTED CIBOLO BUILDING CODES (AS AMENDED).
- SIX-FOOT WIDE SIDEWALKS SHALL BE PROVIDED 2.0 FEET OFF OF THE PROPERTY LINE WITHIN THE RIGHTS-OF-WAY, UNLESS A SIDEWALK EASEMENT IS PROVIDED FOR A MEANDERING SIDEWALK OR AN ALTERNATIVE DESIGN IS APPROVED BY THE CITY. BARRIER-FREE RAMPS, PER CITY STANDARDS, SHALL BE PROVIDED ON SIDEWALKS AT ALL CURB CROSSINGS.
- MECHANICAL UNITS, DUMPSTERS, & TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE UDC.
- THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY SIGNAGE. ALL SIGNAGE IS CONTINGENT UPON APPROVAL BY BUILDING INSPECTION DEPARTMENT AND THE ISSUE OF A SIGN PERMIT.
- APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE UDC.
- BUILDING FACADES SHALL BE COMPATIBLE WITH SURROUNDING DEVELOPMENT, AS PROVIDED IN THE UDC.
- OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATION STANDARDS OF THE UDC.
- CONTACT THE BUILDING INSPECTION DEPARTMENT TO DETERMINE THE TYPE OF CONSTRUCTION AND OCCUPANCY GROUP.
- ALL ELECTRICAL TRANSMISSION, DISTRIBUTION AND SERVICE LINES MUST BE UNDERGROUND WHERE REQUIRED.
- USES SHALL CONFORM IN OPERATION, LOCATION AND CONSTRUCTION TO ALL ENVIRONMENTAL PERFORMANCE STANDARDS SPECIFIED IN THIS UDC, INCLUDING, BUT NOT LIMITED TO NOISE, SMOKE AND PARTICULATE MATTER, ODOROUS MATTER, FIRE OR EXPLOSIVE MATERIAL, TOXIC AND NOXIOUS MATTER, VIBRATION AND/OR OTHER PERFORMANCE STANDARDS.

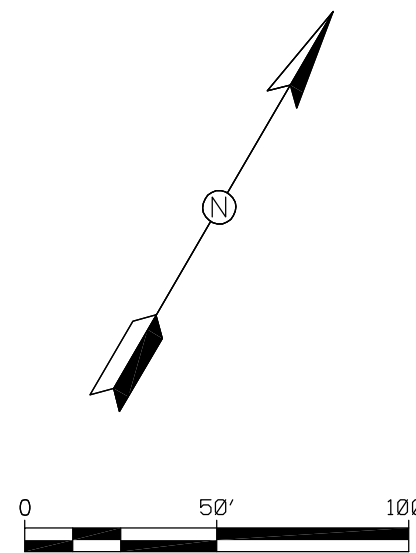
TXDOT CONSTRUCTION GENERAL NOTES

- THE DESIGN AND CONSTRUCTION WILL PROVIDE FOR PRESERVING ALL EXISTING FEATURES IN OR NEAR THE STATE RIGHT OF WAY BEING AFFECTED BY THE WIDENING. THIS INCLUDES BUT IS NOT LIMITED TO, EXISTING DRIVEWAY GATE SET-BACKS, RELOCATION OF ELECTRONIC PRIVATE PROPERTY GATES, MAILBOX TURNOUTS, MAIL BOXES AND SUPPORTS, CATTLE GUARDS, ROADWAY SIGNING, EXISTING RIP-RAP OR OTHER PERMANENT EROSION CONTROL FEATURES, DIVERSIONARY BERMS, SWALES, DITCHES, AMOUNT AND CONFIGURATION OF DRIVEWAY FLANGES AND DRIVEWAY CENTERLINE PROFILE, METAL BEAM GUARD FENCE AND END TREATMENTS, ETC. EXISTING DRIVEWAY CULVERTS AND SAFETY END TREATMENTS IF EFFECTED BY ROADWAY WIDENING WILL BE RECONSTRUCTED TO PRESERVE EXISTING SLOPE RATIOS. THE COORDINATION OF ITEMS THAT EFFECT EXISTING PRIVATE PROPERTY ACCESS, MAIL DELIVERY, ETC. IS THE RESPONSIBILITY OF THE DEVELOPER. THE WRITTEN CONFORMANCE OF ANY EFFECTED PROPERTY OWNERS FOR CONSTRUCTION EFFECTING THEIR DRIVEWAYS OR MAILBOX TURNOUTS MUST BE OBTAINED AND PROVIDED TXDOT PRIOR TO TXDOT DRIVEWAY PERMITS BEING ISSUED.
- FOR WORK IN STATE RIGHT OF WAY, THE DEVELOPER IS RESPONSIBLE FOR COORDINATION OF, OBTAINING PERMITS FOR, AND COMPLYING WITH ANY AND ALL STATE AND FEDERAL REGULATORY AGENCIES AND ALL APPLICABLE LAWS, RULES AND REGULATIONS PERTAINING TO THE REGULATION OF DRAINAGE, PRESERVATION OF CULTURAL RESOURCES, NATURAL RESOURCES AND THE ENVIRONMENT. THE DEVELOPER IS RESPONSIBLE FOR DETERMINING IF THE PROJECT IS IN AN ENVIRONMENTALLY SENSITIVE AREA SUCH AS WITHIN THE REHABILITATING AND CONTRIBUTING ZONES AND ACT IN ACCORDANCE WITH ALL RESOURCE AGENCY REGULATIONS. "IF TXDOT HAS A C2P OR WPAP ON FILE WITH TCED, THE DEVELOPER IS RESPONSIBLE FOR AMENDING TXDOT'S PERMIT, OBTAINING TCED APPROVAL AND PROVIDING TXDOT WITH THE APPROVED AMENDED PERMIT. THE AMENDED PERMIT WILL ADDRESS THE RELOCATION OF ANY TXDOT PERMANENT BMP'S INCLUDING VEGETATIVE FILTER STRIPS THAT MAY BE IMPACTED BY WORK DONE WITHIN TXDOT ROW. "IF TXDOT DOES NOT HAVE A C2P OR WPAP ON FILE WITH TCED, ANY PERMANENT BMP'S INCLUDING VEGETATIVE FILTER STRIPS, THAT MAY BE REQUIRED IN ORDER TO TREAT ADDITIONAL IMPERVIOUS COVER PLACED IN TXDOT ROW WILL BE LOCATED IN PRIVATE PROPERTY AND THE DEVELOPER WILL PROVIDE TXDOT WITH EVIDENCE OF TCED APPROVAL OF THE ADDITIONAL IMPERVIOUS COVER. THE DEVELOPER MAY NOT OPERATE UNDER RESOURCE AGENCY ENVIRONMENTAL CLEARANCE OF A PREVIOUS OR ONGOING TXDOT PROJECT, BUT WILL BE REQUIRED TO OBTAIN SEPARATE RESOURCE/ENVIRONMENTAL AGENCY CLEARANCE."
- "IF WASTE AREAS OR MATERIAL SOURCE AREAS RESULT FROM THIS PROJECT, THE CONTRACTOR IS REMINDED TO FOLLOW THE REQUIREMENTS OF THE TEXAS AGRICULTURE QUARRY AND PIT SAFETY ACT. IN ADDITION, IT IS REQUESTED THAT THESE AREAS NOT BE VISIBLE FROM ANY HIGHWAY ON THE STATE SYSTEM."
- "ANY TREES EXISTING WITHIN STATE RIGHT OF WAY ARE THE NATURAL RESOURCES OF THE STATE AND WILL BE PROTECTED, IN THE EVENT THAT TREES MUST BE REMOVED, TXDOT WRITTEN PERMISSION WILL BE RECEIVED IN ADVANCE AND WILL IDENTIFY THE SPECIFIC TREES BY SPECIES, DBH, HEIGHT, AND LOCATION TO BE REMOVED. THE DEVELOPER WILL BE FINED FOR ANY UNPERMITTED REMOVAL OF TREES."
- "THE DEVELOPER WILL MAINTAIN AT THE PROJECT SITE, AND MAKE AVAILABLE UPON REQUEST, COPIES OF ALL APPROVED ENVIRONMENTAL PLANS AND PERMITS RELATING TO WORK IN STATE RIGHT OF WAY."
- "PRIOR TO BEGINNING GRADING ACTIVITY THE CONTRACTOR WILL SET AND MAINTAIN ROADWAY STATIONING, CONTROL POINTS, MARKS, STAKES TO ESTABLISH LINES, SLOPES, GRADES AND CENTERLINES."
- "ANY SLOPES IN STATE RIGHT OF WAY WHICH BECOME STEEPER THAN 3:1 AS A RESULT OF THE WORK WILL BE TREATED WITH 4" THICK REINFORCED CONCRETE RIPRAP AND BE TREATED WITH METAL BEAM GUARD FENCE. THIS MAY ENTAIL ADDITIONAL RIP-RAP BEYOND THAT SHOWN IN THE PLANS."
- "TRENCH ANCHORS (830) 303-0130 SEGGIN. TxDOT MAINTENANCE OFFICE WILL BE CONTACTED BY THE CONTRACTOR 48 HOURS PRIOR TO WORK OCCURRING IN STATE RIGHT OF WAY."
- "STATE RIGHT OF WAY WILL NOT BE USED AS AN AREA FOR CONTRACTOR PARKING OR FOR STAGING THE RECEIPT OF MATERIALS OR EQUIPMENT."
- "TRAFFIC CONTROL AND CONSTRUCTION BARRICADES WILL MEET THE REQUIREMENTS OF THE TEXAS MUTCD"
- "AT NO TIME WILL THE ROADWAY TRAVEL BE BLOCKED"
- "LANE CLOSURES WILL ONLY BE PERMITTED WITH 48 HOUR PRIOR APPROVAL OF THE TXDOT MAINTENANCE SUPERVISOR. LANE CLOSURES WILL BE PERMITTED ONLY BETWEEN 9:00 A.M. AND 2:30 P.M. MONDAY THROUGH FRIDAY."
- "A MINIMUM 3.1 (4-V) TEMPORARY SAFETY SLOPE OF STABLE COMPACTED MATERIAL WILL BE REQUIRED ADJACENT TO THE STATE HIGHWAY EDGE OF PAVEMENT AT ALL TIMES DURING NON WORKING HOURS."
- "ONLY ONE SIDE OF THE ROADWAY WILL BE OPEN TO CONSTRUCTION AT A TIME. WORK WILL BE COMPLETED AND PAVEMENT EDGES BACKFILLED ON ONE SIDE OF THE ROAD BEFORE WORK WILL BEGIN ON THE OPPOSITE SIDE OF THE ROADWAY."
- "ANY PAVEMENT EDGE DROP-OFFS BETWEEN 1 AND 2 INCHES IN HEIGHT WILL HAVE 8-11" WARNING SIGNS. ANY PAVEMENT EDGE DROP-OFF 2 INCHES OR GREATER WILL HAVE A 3:1 COMPACTED SAFETY SLOPE AND 8-9-9A OR 8-11 SIGNS PLUS CHANNELIZING DEVICES. PAVEMENT EDGES WILL BE SHOULDERED UP WITH COMPACTED EMBANKMENT MATERIAL AND 4 INCHES OF TOPSOIL AS SOON AS POSSIBLE AFTER PAVING IS COMPLETED ON THE SIDE OF THE ROAD BEING WIDENED."
- "PROOF ROLLING OF SUBGRADE IS REQUIRED AND SHALL BE WITNESSED BY TXDOT PRIOR TO PLACEMENT OF PAVEMENT STRUCTURE UNLESS OTHERWISE APPROVED BY THE TXDOT MAINTENANCE SUPERVISOR."
- "ALL FLEXIBLE BASE WILL HAVE A MINIMUM PLASTICITY INDEX OF 4."
- "ALL COURSES OF ASPHALTIC CONCRETE PAVEMENT (REGARDLESS OF TYPE) WILL BE PLACED WITH AN ASPHALT PAVING EQUIPMENT MEETING THE REQUIREMENTS OF TXDOT ITEM 352. EQUIPMENT FOR ASPHALT CONCRETE PAVEMENT - UNLESS OTHERWISE APPROVED BY THE MAINTENANCE SUPERVISOR."
- "ALL SURFACE AGGREGATES WILL MEET THE REQUIREMENTS OF TXDOT FRICTION CLASSIFICATION "B" AND WILL MEET PG BINDER GRADE 70-22."
- "ALL SURFACE ASPHALT CONCRETE PAVEMENT WILL BE UNDER-SEALED WITH A ONE COURSE SURFACE TREATMENT."
- "ALL ASPHALTIC CONCRETE PAVEMENT USED IN BASE COURSES WILL BE TYPE "A" OR "B" AND WILL MEET PG BINDER GRADE 64-22."
- "ALL PAVEMENT WIDENING INCLUDING SHOULDERS WILL MATCH THE EXISTING PAVEMENT CROSS SLOPE."
- "ALL PAVEMENT MARKINGS WILL BE TYPE I THERMOPLASTIC (100 MIL) WITH UNDER-SEAL MEETING THE REQUIREMENTS OF TXDOT ITEM 666. REFLECTORIZED PAVEMENT MARKINGS: THE CONTRACTOR WILL PLACE GUIDE MARKS IN ACCORDANCE WITH ITEM 666 AND WILL MAKE ARRANGEMENTS FOR TXDOT INSPECTION OF THE PAVEMENT MARKING LAYOUT PRIOR TO PLACEMENT OF STRIPING. EQUIPMENT USED FOR THE PLACEMENT OF STRIPING WILL MEET THE PRODUCTION REQUIREMENTS OF ITEM 666 UNLESS OTHERWISE APPROVED IN ADVANCE BY THE TXDOT MAINTENANCE SUPERVISOR." 23.1. EXISTING PAVEMENT

- MARKINGS THAT CONFLICT WITH PROPOSED PAVEMENT MARKINGS WILL BE LIGHTLY GROUND IN A MANNER THAT DOES NOT DAMAGE THE PAVEMENT SURFACE, TO REMOVE ANY PAVEMENT MARKING ACCUMULATION, AND WILL BE COVERED WITH A STRIP SEAL OF 18" MINIMUM WIDTH, CONSISTING OF PRECASTED GRADE 5, FRICTION CLASS B AGGREGATE.
- "ALL MATERIALS AND CONSTRUCTION METHODS USED IN STATE RIGHT OF WAY WILL MEET TXDOT SPECIFICATIONS. THIS SUPERSEDES ALL OTHER SPECIFICATIONS IN THE PLANS."
- "ALL TURN LANE CONCRETE PAVEMENT IN STATE ROW WILL MEET THE REQUIREMENTS OF TXDOT ITEM 360 CLASS P CONCRETE AND WILL BE BATCHED AT CONCRETE PLANTS HAVING A CURRENT APPROVED MIX DESIGN. CLASS P CONCRETE SHALL HAVE 7 AND 28 DAY COMPRESSIVE STRENGTH OF 3200 PSI AND 4400 PSI RESPECTIVELY."
- "WHEN WIDENING EXISTING CONCRETE PAVEMENTS, JOINTS IN THE NEW PAVEMENT WILL MATCH JOINTS IN EXISTING PAVEMENT AND CURB."
- "THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT TXDOT APPROVED MATERIALS, MIX DESIGNS, APPROVED SOURCES AND PRODUCTS ARE USED FOR ALL WORK IN STATE ROW. THE CONTRACTOR WILL ARRANGE FOR THE SERVICES OF A QUALIFIED TESTING LABORATORY FOR ALL ITEMS REQUIRING TESTING AND WILL NOTIFY TXDOT OF ANY DISCREPANCY BETWEEN TEST RESULTS AND TXDOT SPECIFICATIONS IN ANY MANNER. THE CONTRACTOR WILL PROVIDE TO TXDOT INVOICES AND TESTING RESULTS AS SOON THEY ARE AVAILABLE. FAILURE TO DO THIS WILL RESULT IN REJECTION OF THE WORK."
- "SAWING OF CONSTRUCTION/CONSTRUCTION JOINTS IN CONCRETE PAVEMENT WILL BE ACCOMPLISHED AS SOON AS PERSONNEL CAN WALK ON THE CONCRETE WITHOUT DAMAGING THE SURFACE REGARDLESS OF TIME OF DAY OR WEATHER CONDITIONS. STANDBY POWER DRIVEN CONCRETE SAWS WILL BE PROVIDED DURING THE SAWING OPERATION. CURING COMPOUND WILL BE APPLIED TO THE SAWED JOINT IMMEDIATELY UPON SAWING THE JOINT."
- "ANY CONCRETE CURB TO BE REMOVED WILL BE SAW-CUT AT THE LIMITS OF REMOVAL AND BE REMOVED ENTIRELY SLONG THE TOP PORTION OF THE CURB OFF AND LEAVING REMAINING PORTION OF CURB IN PLACE IS UNACCEPTABLE."
- "CONCRETE TO TXDOT FACILITIES WILL BE REPAIRED AT NO EXPENSE TO THE STATE, TO TXDOT'S SATISFACTION."
- "SIDEWALKS PLACED IN THE HIGHWAY RIGHT-OF-WAY WILL BE A MINIMUM WIDTH OF FIVE FEET OR COMPLY WITH THE MORE STRINGENT WIDTH AS REQUIRED BY CITY ORDINANCE AND WILL MEET ALL OTHER REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT. PEDESTRIAN RAMPS WILL BE PROVIDED AT ALL STREET AND DRIVEWAY INTERSECTIONS AS SHOWN ON THE CURRENT STATE STANDARD FOR PEDESTRIAN FACILITIES. CONTRAST AND TEXTURING OF PEDESTRIAN RAMPS WILL BE PLACED AT STREET INTERSECTION RAMPS ONLY AS SHOWN ON THE CURRENT STATE STANDARD FOR PEDESTRIAN FACILITIES. PEDESTRIAN RAMPS AT DRIVEWAY INTERSECTIONS WILL NOT RECEIVE ANY COLOR CONTRAST OR TEXTURING."
- "THE CONTRACTOR WILL USE BEST MANAGEMENT PRACTICES (BMP'S) TO MINIMIZE EROSION AND SEDIMENTATION IN THE STATE RIGHT OF WAY RESULTING FROM THE PROPOSED CONSTRUCTION. RE-VEGETATION OF DISTURBED AREAS WILL BE COMPLETED IN ACCORDANCE WITH TXDOT STANDARD SPECIFICATIONS. PERMANENT VEGETATIVE COVER MUST ACHIEVE 70% COVER PRIOR TO PROJECT ACCEPTANCE. SOIL RETENTION BLANKETS MAY BE REQUIRED TO PREVENT EROSION OF TOPSOIL PRIOR TO VEGETATION RE-ESTABLISHMENT"
- "PRIOR TO SEEDING OR RE-VEGETATION THE FRONT SLOPES WILL BE SHOULDERED UP WITH TOPSOIL TO ELIMINATE ANY PAVEMENT EDGE DROP-OFF."
- "MUD TRACKED ONTO THE ROADWAY FROM THE SITE WILL BE IMMEDIATELY REMOVED TO THE SATISFACTION OF TXDOT."
- "IT WILL BE THE DEVELOPER/OWNER'S RESPONSIBILITY TO CLEAN OUT, TO THE STATE'S SATISFACTION, ANY STRUCTURE OR STORM SEWER SYSTEM THAT BECOMES SILED AS A RESULT OF THEIR OPERATIONS."
- "THE ADJUSTMENT OF ANY UTILITIES IN STATE RIGHT OF WAY OR ADJACENT PRIVATE EASEMENT WILL BE THE RESPONSIBILITY OF THE DEVELOPER/OWNER."
- "THE CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING EXISTING SIGNS ON TXDOT APPROVED TEMPORARY MOUNTS UNTIL PERMANENT SIGNS ARE PLACED."
- "THE FINAL PLACEMENT OF PERMANENT SIGNS WILL BE COORDINATED PRIOR TO PLACEMENT WITH THE LOCAL TXDOT MAINTENANCE SUPERVISOR." 39 "FOR WORK WITHIN THE STATE RIGHT OF WAY WHERE REMOVAL OF MATERIALS OR DEBRIS WITHIN THE CONSTRUCTION LIMITS AND NOT INCORPORATED IN THE FINISHED ROADWAY SECTION OF RIGHT OF WAY, WILL BE DISPOSED OF IN A MANNER ACCEPTABLE TO THE MAINTENANCE SUPERVISOR AT NO EXPENSE TO THE STATE. MATERIALS THAT ARE NOT DETERMINED TO BE SALVAGEABLE BY THE MAINTENANCE SUPERVISOR BECOME THE PROPERTY OF THE CONTRACTOR FOR PROPER DISPOSAL AT THEIR EXPENSE. MATERIALS DETERMINED TO BE SALVAGEABLE WILL BE RETURNED TO THE STATE AND DELIVERED TO THE LOCATION AS DETERMINED BY THE MAINTENANCE SUPERVISOR."
- "REGARDLESS OF ERRORS AND OMISSIONS IN INFORMATION PROVIDED IN THE PLANS OR CROSS-SECTIONS THE PERMITTEE IS RESPONSIBLE FOR PROVIDING FOR POSITIVE DRAINAGE OUTFALLS WITHIN AND OFF THE LIMITS OF THE PROJECT."
- "FOR WORK IN CITY OF NEW BRAUNFELS" "ALL TRAFFIC SIGNALS ON THE STATE HIGHWAY SYSTEM WITHIN THE NEW BRAUNFELS CITY LIMITS, WITH THE EXCEPTION OF SIGNALS ON IH 35, ARE THE RESPONSIBILITY OF THE CITY OF NEW BRAUNFELS AND THE CITY OF NEW BRAUNFELS WILL PERFORM CONSTRUCTION INSPECTION. CONTACT GARRY FORD, P.E. AT (830) 221-4645, 48 HOURS PRIOR TO THE NEED FOR ANY INSPECTIONS. ALSO WHEN NON-TRAFFIC SIGNAL WORK IS BEING PERFORMED WITHIN 400 FEET OF AN EXISTING SIGNALIZED INTERSECTION, FLASHING BEACON OR SCHOOL ZONE FLASHER OR OTHER TYPE OF SIGNAL, WITHIN THE CITY OF NEW BRAUNFELS AREA OF RESPONSIBILITY CONTACT GARRY FORD, P.E. TO DETERMINE/VERIFY THE LOCATION OF LOOP DETECTORS, CONDUIT, GROUND-BOXES, ETC. FOR ALL OTHER LOCATIONS, CONTACT TXDOT REPRESENTATIVE, CRAIG WILLIAMS, AT (210) 615-6213, E-MAIL IS CRAIG.WILLIAMS@TXDOT.GOV. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY SIGNAL EQUIPMENT DAMAGED BY CONSTRUCTION OPERATIONS. THE METHOD OF REPAIR OR REPLACEMENT SHALL BE PRE-APPROVED AND INSPECTED. DEPENDING ON THE TYPE AND EXTENT OF THE DAMAGE, THE ENGINEER RESERVES THE RIGHT TO PERFORM THE REPAIR OR REPLACEMENT WORK AND THE CONTRACTOR WILL BE BILLED FOR THIS WORK. WHEN WORKING NEAR AERIAL ELECTRICAL LINES OR UTILITY POLES, COMPLY WITH FEDERAL, STATE AND LOCAL REGULATIONS."
- "FOR AREAS OTHER THAN CITY OF NEW BRAUNFELS" "WHEN NON-TRAFFIC SIGNAL WORK IS BEING PERFORMED WITHIN 400 FEET OF AN EXISTING SIGNALIZED INTERSECTION, FLASHING BEACON OR SCHOOL ZONE FLASHER OR OTHER TYPE OF SIGNAL, CONTACT TXDOT REPRESENTATIVE, CRAIG WILLIAMS, AT (2

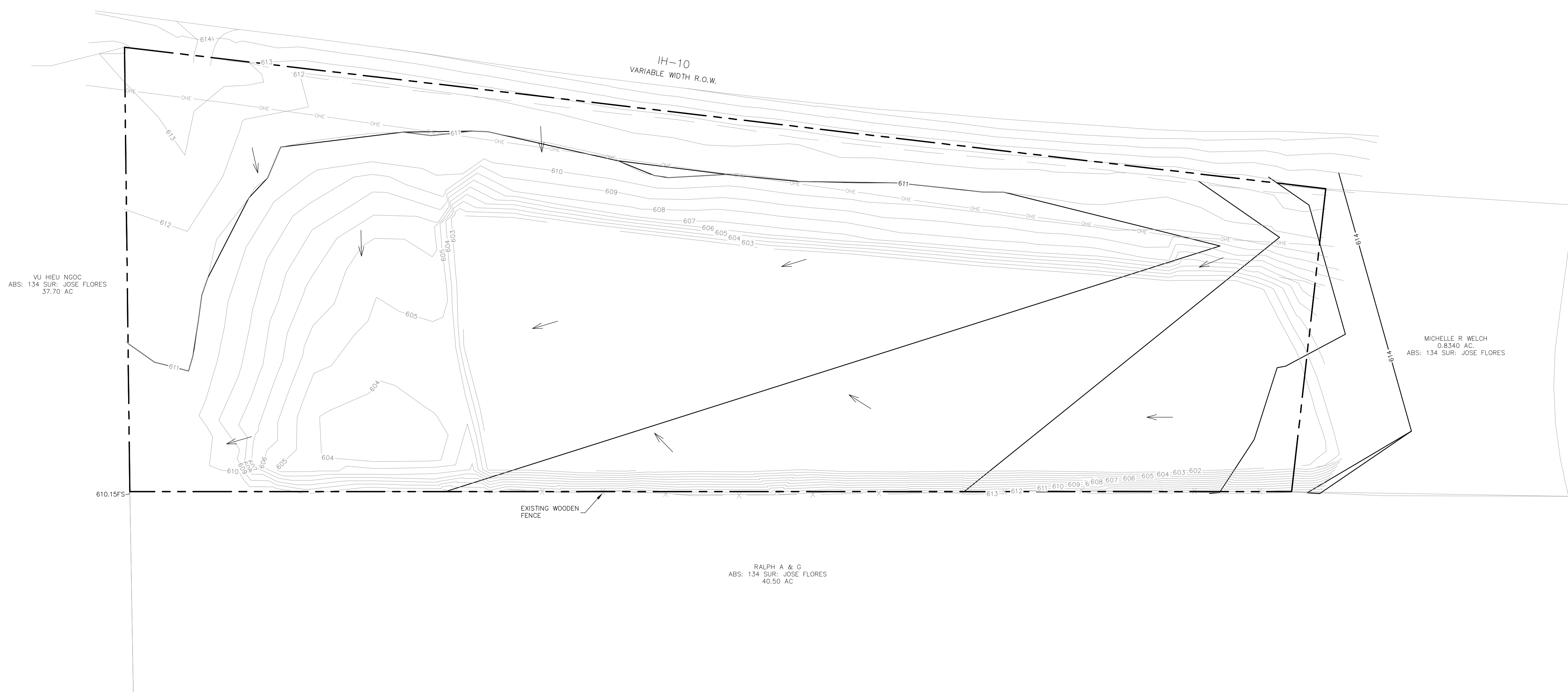
EARTHWORK VOLUME TOTALS	
NET CUT & FILL	16,554 CUBIC YARDS OF FILL

NOTE:
 - VOLUME REPRESENTS THE FILL TO WATER SURFACE. DEPTH OF POND IS NOT INCLUDED.
 - APPROXIMATE VOLUME OF LOOSE FILL.



LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- GRADE BREAK/SWALE
- BOUNDARY LINE
- EXISTING GUY WIRE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING TRAFFIC LIGHT/SIGNAL POLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING SIGN
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING TREE
- GRASS
- PROPOSED CLEANOUT
- PROPOSED WATER METER
- EXISTING FINISHED SURFACE SPOT ELEVATION
- PROPOSED FINISHED SURFACE SPOT ELEVATION
- PROPOSED TOP ELEVATION
- PROPOSED TOP OF CURB & GUTTER SPOT ELEVATION
- DRAINAGE FLOW ARROW



- GRADING NOTES:**
- ALL MATERIALS AND CONSTRUCTION PROCEDURES THAT ARE NOT SPECIFICALLY COVERED IN THE SPECIFICATIONS OR GEOTECHNICAL REPORT SHALL CONFORM TO ALL APPLICABLE CITY, COUNTY AND TxDOT STANDARD SPECIFICATIONS FOR PUBLIC WORKS AND CONSTRUCTION (LATEST EDITION).
 - SITE PREPARATION, GRADING, EXCAVATION AND FILL SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT AND SPECIFICATIONS.
 - ALL SELECT FILL MATERIAL PROVIDED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING AND COMPACTING.
 - ALL ELEVATIONS AND PROPOSED CONTOURS SHOWN ON THIS GRADING PLAN REFLECT FINISHED GRADES. THE THICKNESS OF PAVING, BASE, GRASS, TOPSOIL, AND MULCH MUST BE SUBTRACTED TO OBTAIN SUBGRADE ELEVATIONS.
 - THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF GRADES OR DIMENSIONS NECESSARY FOR THE CONSTRUCTION OF THE PROJECT.
 - THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
 - THE CONTRACTOR SHALL REMOVE TOP SOIL, GRASS, ROOTS, DEBRIS, ETC., AND DISPOSE OFFSITE THOSE MATERIALS NOT SUITABLE FOR EMBANKMENT AND TOPSOIL. CLEAN STRIPING AND TOPSOIL MAY BE STOCKPILED ON SITE FOR REUSE IN A LOCATION SPECIFIED BY THE OWNER.
 - THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE STABILIZATION. ALL DISTURBED AREAS SHALL BE REVEGETATED IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND TPDES/SWPPP REQUIREMENTS.
 - THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS (USE OF SILT FENCES, ETC.) TO KEEP DEBRIS AND SILT FROM WASHING ONTO ADJACENT PROPERTY, STREETS, OR DRAINAGE WAYS. CONTRACTOR SHALL IMMEDIATELY REMOVE SILT/DEBRIS WHICH WASHES OFFSITE OR INTO EXISTING STORM DRAIN SYSTEMS. (SEE SWPPP PLANS & TPDES BOOK).

- THE CONTRACTOR SHALL OBTAIN FINISHED NATURAL GROUND GRADES SHOWN HEREON WITHIN +/- ONE-TENTH (0.10) FOOT.
- IN PROPOSED PAVING AREAS, IT IS INTENDED THAT THE MINIMUM GRADE IS 1% ALL EARTHEN SLOPES SHALL BE A MAXIMUM OF 3:1 AND A MINIMUM GRADE OF 2% UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING SITE AND PROPOSED IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL, OR BETTER, CONDITION ANY DAMAGE DONE TO EXISTING TREES, BUILDINGS, UTILITIES, FENCES, PAVEMENT, CURBS OR DRIVEWAYS (NO SEPARATE PAY ITEMS).
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN WORKING NEAR UTILITIES, GAS LINES, SEWER, OR EXISTING APPURTENANCES.
- UTILITIES SHOWN ON THE PLANS ARE FROM INFORMATION SOURCES AVAILABLE AT THE TIME OF DESIGN BUT MAY NOT REPRESENT ALL EXISTING UTILITIES ON SITE. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES AND SHALL UNCOVER EXISTING UTILITIES TO VERIFY SIZE, GRADE AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM PLANS PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR, AT HIS OWN EXPENSE.
- POSITIVE DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE SCOPE OF THE PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW ANY PONDING OF WATER.
- FOR FILL PLACEMENT ON HILL SIDES OR STEEP SLOPE AREAS, THE CONTRACTOR SHALL REFERENCE THE PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT FOR SPECIAL INSTRUCTIONS REGARDING BENCHING.
- NO WORK SHALL BE PERFORMED IN A PUBLIC RIGHT-OF-WAY WITHOUT A PERMIT.

CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES 48 HOURS PRIOR TO EXCAVATION:

New Brauntfels Utilities	830-629-8400
Spectrum Cable	830-625-3408
Centerpoint Gas	830-643-6434
Robert Sonders	830-643-6903
Domoged Line	888-876-5766
AT&T Telephone	830-303-1333
Erick White PM	210-283-1706
Scott McBrearty (Construction)	210-658-4886
Texas One Call	830-545-6005

C.P.E. LOCATOR
 CALL CENTER POINT ENERGY LOCATOR AT 1-800-545-6005, 48HRS BEFORE BEGINNING ANY EXCAVATION. DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.101, CENTER POINT ENERGY MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.

TELEPHONE LOCATOR
 THE EXISTENCE AND LOCATION OF UNDERGROUND CABLE INDICATED ON THE PLANS ARE TAKEN FROM THE BEST RECORDS AVAILABLE AND ARE NOT GUARANTEED TO BE ACCURATE. CONTRACTOR TO CONTACT THE TELEPHONE COMPANY CABLE LOCATOR 48HRS PRIOR TO EXCAVATION AT 1-800-545-6005. CONTRACTOR HAS THE RESPONSIBILITY TO PROTECT AND SUPPORT TELEPHONE COMPANY DURING CONSTRUCTION.

TRENCH EXCAVATION SAFETY PROTECTION
 CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGNER/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATIONS.

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

811
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NO.	DATE	ISSUES AND REVISIONS

MOELLER & ASSOCIATES
 Engineering Solutions

2021 W SH46, STE 105, NEW BRAUNFELS, TX 78132
 PH: 830-358-7127 www.mo-a.com
 TBPE FIRM F-13951

GRADING PLAN

MOTT COMMERCIAL LOT 5

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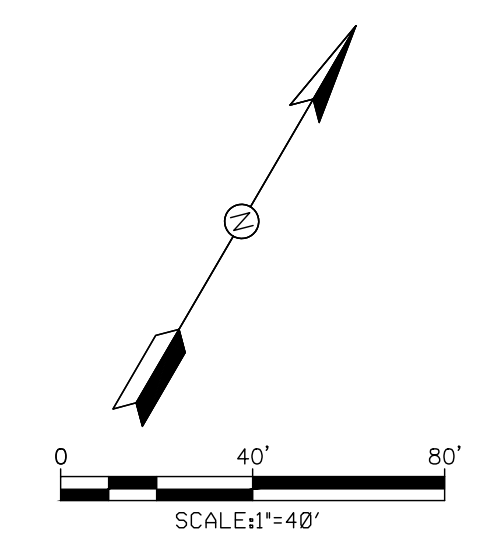
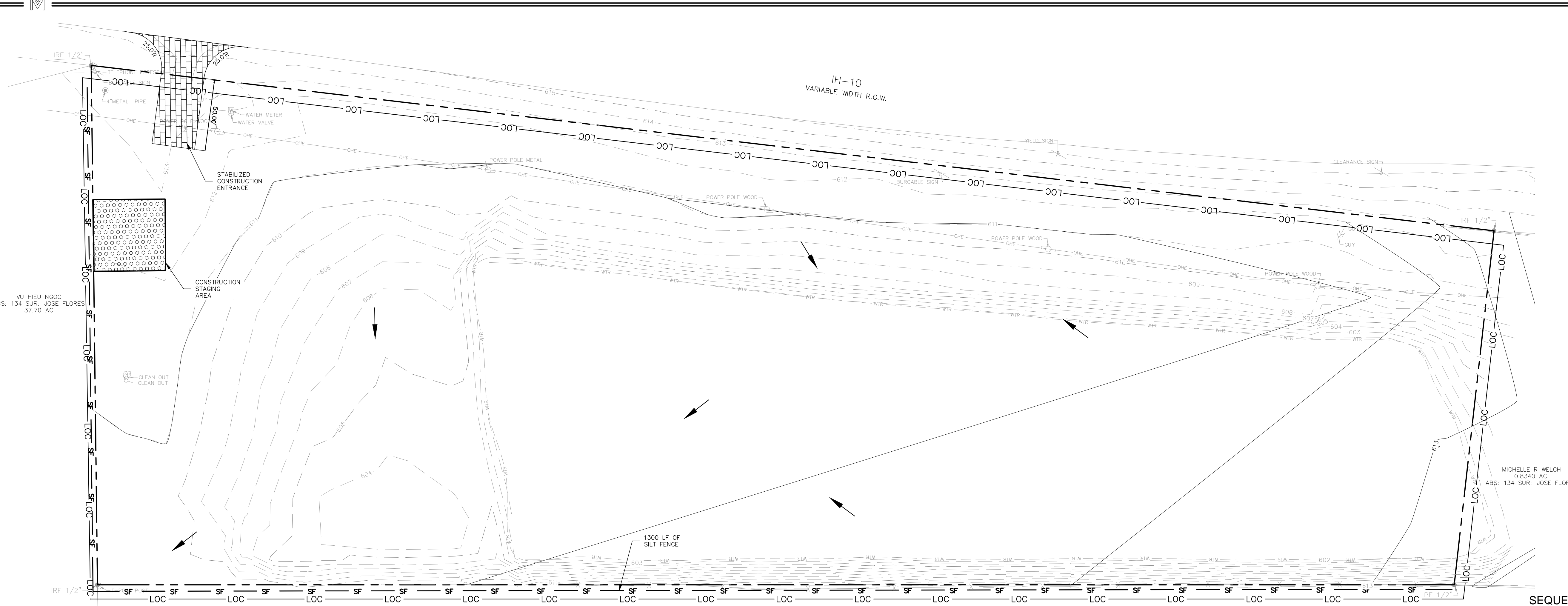
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EROSION CONTROL

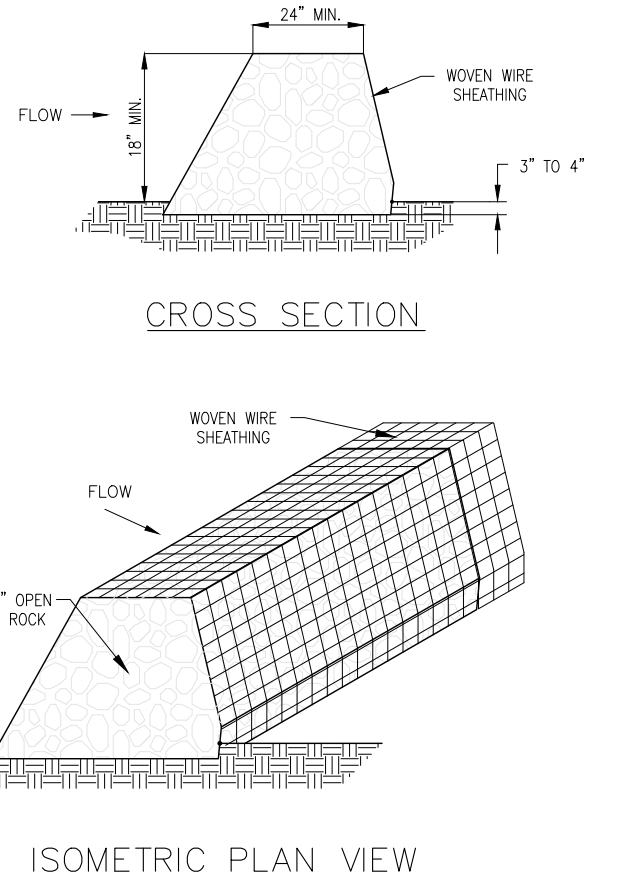
MOTT COMMERCIAL LOT 5



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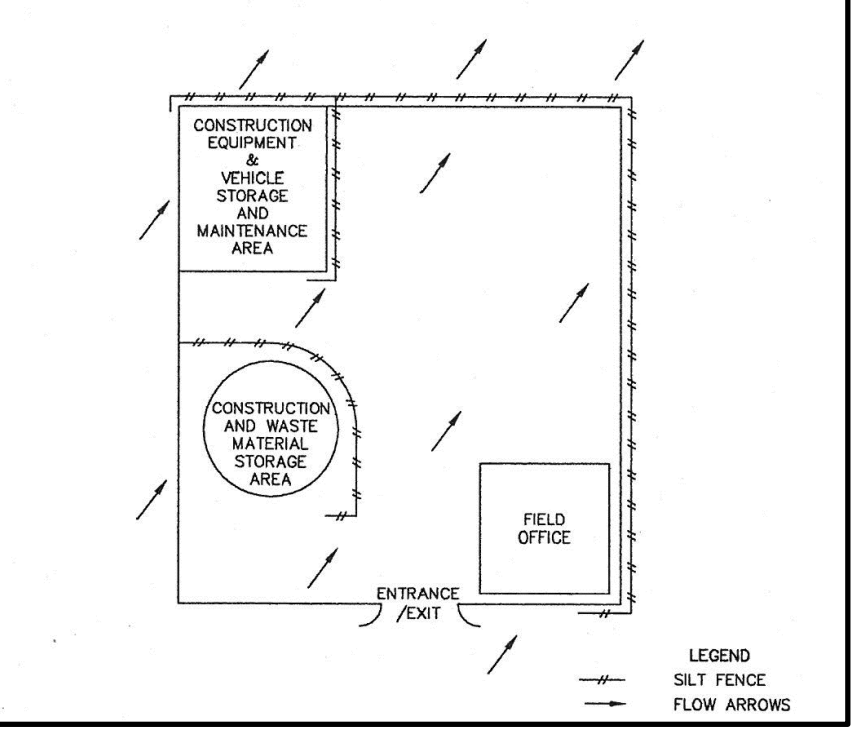
SF	SILT FENCE
---	BOUNDARY OF DISTURBED AREA
-900	EXISTING CONTOURS
-900	PROPOSED CONTOURS
→	FLOW ARROWS
[Pattern]	STABILIZED CONSTRUCTION ENTRANCE/EXIT
[Pattern]	TRUCK WASH OUT PIT
[Pattern]	CONSTRUCTION STAGING AREA
[Pattern]	ROCK BERM
[Pattern]	GRAVEL FILTER BAGS
LOC	LIMITS OF CONSTRUCTION

- SEQUENCE OF CONSTRUCTION:**
- OBTAIN CITY APPROVED SITE PREPARATION PLANS, AND TPDES PERMIT (NOT A COPY OF THE TPDES APPLICATION TO TCEQ), IF APPLICABLE.
 - INSTALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS.
 - BEGIN DEMOLITION ACTIVITIES, IF APPLICABLE.
 - BEGIN SITE CLEARING AND GRADING.
 - RESTORE AND REVEGETATE ALL DISTURBED AREAS NOT UNDER IMPERMEABLE IMPROVEMENTS.
 - COMPLETE ANY REMAINING "PUNCH LIST" ITEMS.
 - CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROLS AFTER PERMANENT STABILIZATION IS AT LEAST 70% EVENLY ESTABLISHED. RYE IS NOT ACCEPTED. THE SITE WILL BE PERMANENTLY STABILIZED WHEN ALL IMPROVEMENTS ARE CONSTRUCTED PER THE DESIGN PLANS WHICH INCLUDES PAVEMENT, BUILDING, AND OTHER LANDSCAPE IMPROVEMENTS PER LANDSCAPE PLANS. ALL PREVIOUS SURFACES TO BE SOD OR OTHER PERVIOUS IMPROVEMENTS PER LANDSCAPE PLAN.



ROCK BERM

- MATERIALS:**
- THE BERM STRUCTURE SHOULD BE SECURED WITH A WOVEN WIRE SHEATHING HAVING MAXIMUM OPENING OF 1 1/2 INCH AND A MINIMUM WIRE DIAMETER OF 20 GAUGE GALVANIZED AND SHOULD BE SECURED WITH SHOOT RINGS.
 - CLEAN, OPEN GRADED 3 - 5 INCH DIAMETER ROCK SHOULD BE USED, EXCEPT IN AREAS WHERE HIGH VELOCITIES OR LARGE VOLUMES OF FLOW ARE EXPECTED, WHERE 5 - 8 INCH DIAMETER ROCKS MAY BE USED.
- INSTALLATION:**
- LAY OUT THE WOVEN WIRE SHEATHING PERPENDICULAR TO THE FLOW LINE. THE SHEATHING SHOULD BE 20 GAUGE WOVEN WIRE MESH WITH 1 INCH OPENINGS.
 - BERM SHOULD HAVE A TOP WIDTH OF 2 FEET WITH SIDE SLOPES BEING 2:1 (H:V) OR FLATTER.
 - PLACE THE ROCK ALONG THE SHEATHING AS SHOWN IN THE DIAGRAM, TO A HEIGHT OF NOT LESS THAN 18 INCHES.
 - WRAP THE WIRE SHEATHING AROUND THE ROCK AND SECURE WITH TIE WIRE SO THAT THE ENDS OF THE SHEATHING OVERLAPS AT LEAST 2 INCHES, AND THE BERM RETAINS ITS SHAPE WHEN WALKED UPON.
 - BERM SHOULD BE BUILT ALONG THE CONTOUR AT ZERO PERCENT GRADE OR AS NEAR AS POSSIBLE.
 - THE ENDS OF THE BERM SHOULD BE TIED INTO EXISTING UPSLOPE GRADE AND THE BERM SHOULD BE BUILT IN A TRENCH APPROXIMATELY 3 TO 4 INCHES DEEP TO PREVENT FAILURE OF THE CONTROL.
- INSPECTION AND MAINTENANCE GUIDELINES:**
- INSPECTION SHOULD BE MADE WEEKLY AND AFTER EACH RAINFALL. REPAIR OR REPLACEMENT SHOULD BE MADE PROMPTLY AS NEEDED BY CONTRACTOR.
 - REMOVE SEDIMENT AND OTHER DEBRIS WHEN BUILDUP REACHES 6" AND DISPOSE OF THE ACCUMULATED SILT IN AN APPROVED MANNER THAT WILL NOT CAUSE ANY ADDITIONAL SILTATION.
 - REPAIR ANY LOOSE WIRE SHEATHING.
 - THE BERM SHOULD BE RESHAPED AS NEEDED DURING INSPECTION.
 - THE BERM SHOULD BE REPLACED WHEN STRUCTURE CEASES TO FUNCTION AS INTENDED DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
 - THE ROCK BERM SHOULD BE LEFT IN PLACE UNTIL ALL UPSTREAM AREAS ARE STABILIZED AND ACCUMULATED SILT REMOVED.



TYPICAL CONSTRUCTION STAGING AREA

- EROSION CONTROL NOTES:**
- DO NOT DISTURB VEGETATED AREAS (TREES, GRASS, WEEDS, BRUSH, ETC.) ANY MORE THAN NECESSARY FOR CONSTRUCTION.
 - CONSTRUCTION ENTRANCE/EXIT LOCATION, CONCRETE WASH-OUT PIT, AND CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE YARD TO BE DETERMINED IN THE FIELD.
 - STORM WATER POLLUTION PREVENTION CONTROLS MAY NEED TO BE MODIFIED IN THE FIELD TO ACCOMPLISH THE DESIRED EFFECT. ALL MODIFICATIONS ARE TO BE NOTED IN THE SWPPP DOCUMENTS AND SIGNED AND DATED BY THE RESPONSIBLE PARTY.
 - RESTRICT ENTRY/EXIT TO THE PROJECT SITE TO DESIGNATED LOCATIONS BY USE OF ADEQUATE FENCING, IF NECESSARY.
 - ALL STORM WATER POLLUTION PREVENTION CONTROLS ARE TO BE MAINTAINED AND IN WORKING CONDITIONS AT ALL TIMES.
 - STORM WATER POLLUTION PREVENTION STRUCTURES SHOULD BE CONSTRUCTED WITHIN THE SITE BOUNDARIES. SOME OF THESE FEATURES MAY BE SHOWN OUTSIDE THE SITE BOUNDARIES ON THIS PLAN FOR VISUAL CLARITY.
 - AS SOON AS PRACTICAL, ALL DISTURBED SOIL THAT WILL NOT BE COVERED BY IMPERVIOUS COVER SUCH AS PARKWAY AREAS, EASEMENT AREAS, EMBANKMENT SLOPES, ETC. WILL BE STABILIZED PER APPLICABLE PROJECT SPECIFICATIONS.
 - BEST MANAGEMENT PRACTICES MAY BE INSTALLED IN STAGES TO COINCIDE WITH THE DISTURBANCE OF UP-GRADE AREAS.
 - BEST MANAGEMENT PRACTICES MAY BE REMOVED IN STAGES ONCE THE WATERSHED FOR THAT PORTION CONTROLLED BY THE BEST MANAGEMENT PRACTICES HAS BEEN STABILIZED IN ACCORDANCE WITH TPDES REQUIREMENTS.
 - UPON COMPLETION OF THE PROJECT, INCLUDING SITE STABILIZATION, AND BEFORE FINAL PAYMENT IS ISSUED, CONTRACTOR SHALL REMOVE ALL SEDIMENT AND EROSION CONTROL MEASURES, PAYING SPECIAL ATTENTION TO ROCK BERMS IN DRAINAGE FEATURES.

SOIL STABILIZATION NOTE

PER TPDES REQUIREMENTS, DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENTLY) SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY RESUMES WITHIN 21 DAYS. SEEDING DOES NOT CONSTITUTE AS STABILIZATION.

SUBSTANTIAL GRADING IS PROPOSED WITH THIS UNIT. PER THE NEW BRAUNFELS DRAINAGE AND EROSION CONTROL DESIGN MANUAL SEC. 13.2(N), STRIPPING OF VEGETATION FROM PROJECT SITES SHALL BE PHASED SO AS TO EXPOSE THE MINIMUM AMOUNT OF AREA TO SOIL EROSION FOR THE SHORTEST POSSIBLE TIME.

GRAVEL FILTER BAGS

MATERIALS:

INLET GRAVEL FILTER BAGS TO BE 3/4" GRAVEL CONTAINED IN PERVIOUS BURLAP BAGS OR SYNTHETIC NET BAGS (1/8" MESH) APPROX. 24" LONG, 12" WIDE AND 6" HIGH.

HYDRAULIC MULCH

MATERIALS:

HYDRAULIC MULCHES: WOOD FIBER MULCH CAN BE APPLIED ALONE OR AS A COMPONENT OF HYDRAULIC MATRICES. WOOD FIBER APPLIED ALONE IS TYPICALLY APPLIED AT THE RATE OF 2,000 TO 4,000 LB/ACRE. WOOD FIBER MULCH IS MANUFACTURED FROM WOOD OR WOOD WASTE FROM LUMBER MILLS OR FROM URBAN SOURCES.

HYDRAULIC MATRICES: HYDRAULIC MATRICES INCLUDE A MIXTURE OF WOOD FIBER AND ACRYLIC POLYMER OR OTHER TACKIFIER AS BINDER. APPLY AS A LIQUID SLURRY USING A HYDRAULIC APPLICATION MACHINE (I.E., HYDRO SEEDER) AT THE FOLLOWING MINIMUM RATES, OR AS SPECIFIED BY THE MANUFACTURER TO ACHIEVE COMPLETE COVERAGE OF THE TARGET AREA: 2,000 TO 4,000 LB/ACRE WOOD FIBER MULCH, AND 5 TO 10% (BY WEIGHT) OF TACKIFIER (ACRYLIC COPOLYMER, GUAR, PSLYLLUM, ETC.).

BONDED FIBER MATRIX: BONDED FIBER MATRIX (BFM) IS A HYDRAULICALLY APPLIED SYSTEM OF FIBERS AND ADHESIVES THAT UPON DRYING FORMS AN EROSION RESISTANT BLANKET THAT PROMOTES VEGETATION, AND PREVENTS SOIL EROSION. BFMS ARE TYPICALLY APPLIED AT RATES FROM 3,000 LB/ACRE TO 4,000 LB/ACRE BASED ON THE MANUFACTURER'S RECOMMENDATION. A BIODEGRADABLE BFM IS COMPOSED OF MATERIALS THAT ARE 100% BIODEGRADABLE. THE BINDER IN THE BFM SHOULD ALSO BE BIODEGRADABLE AND SHOULD NOT DISSOLVE OR DISPERSE UPON RE-WETTING. TYPICALLY, BIODEGRADABLE BFMS SHOULD NOT BE APPLIED IMMEDIATELY BEFORE, DURING OR IMMEDIATELY AFTER RAINFALL IF THE SOIL IS SATURATED. DEPENDING ON THE PRODUCT, BFMS TYPICALLY REQUIRE 12 TO 24 HOURS TO DRY AND BECOME EFFECTIVE.

- INSTALLATION:**
- PRIOR TO APPLICATION, ROUGHEN EMBANKMENT AND FILL AREAS BY ROLLING WITH A CRIMPING OR PUNCHING TYPE ROLLER OR BY TRACK WALKING. TRACK WALKING SHALL ONLY BE USED WHERE OTHER METHODS ARE IMPRACTICAL.
 - TO BE EFFECTIVE, HYDRAULIC MATRICES REQUIRE 24 HOURS TO DRY BEFORE RAINFALL OCCURS.
 - AVOID MULCH OVER SPRAY ONTO ROADS, SIDEWALKS, DRAINAGE CHANNELS, EXISTING VEGETATION, ETC.
 - 4" OF TOP SOIL SHALL BE PLACED.
- INSPECTION AND MAINTENANCE GUIDELINES:**
- MULCHED AREAS SHOULD BE INSPECTED WEEKLY AND AFTER EACH RAIN EVENT TO LOCATE AND REPAIR ANY DAMAGE.
 - AREAS DAMAGED BY STORMS OR NORMAL CONSTRUCTION ACTIVITIES SHOULD BE REGRADED AND HYDRAULIC MULCH REAPPLIED AS SOON AS PRACTICAL.



NO.	DATE	ISSUES AND REVISIONS

MOELLER & ASSOCIATES
Engineering Solutions
2021 W SH46, STE 105, NEW BRAUNFELS, TX, 78132
PH: 830-358-7127 www.ma-tx.com
TBE FIRM # 13951

EROSION CONTROL DETAILS

MOTT COMMERCIAL LOT 5

CONSTRUCTION EXIT - TYPE 1
SCALE: 1" = 8'

CONSTRUCTION EXIT - TYPE 2
SCALE: 1" = 8'

CURB INLET GRAVEL FILTER
SCALE: 1" = 8'

GRAVEL FILTER BAGS
SCALE: 1" = 8'

TEMPORARY SEDIMENT CONTROL FENCE
SCALE: 1" = 8'

GENERAL NOTES:

- THE LENGTH OF THE TYPE 1 CONSTRUCTION EXIT SHALL BE AS INDICATED ON THE PLANS BUT NOT LESS THAN 30'.
- THE CORNER APPROXIMATE SHOULD BE OPEN GRADED WITH A SLOPE OF 4" TO 8" AS DIRECTED BY THE ENGINEER.
- THE APPROACH TRANSITIONS SHOULD BE NO STEEPER THAN 6:1 AND CONSTRUCTED AS DIRECTED BY THE ENGINEER.
- THE CONSTRUCTION EXIT FOUNDATION COURSE SHALL BE FLEXIBLE BASE, BITUMINOUS CONCRETE, PORTLAND CEMENT CONCRETE OR OTHER MATERIAL AS APPROVED BY THE ENGINEER.
- THE CONSTRUCTION EXIT SHALL BE GRADED TO ALLOW DRAINAGE TO A SEWAGE TREATMENT DEVICE.
- THE GUIDELINES SHOWN HEREIN ARE SUGGESTIONS ONLY AND MAY BE MODIFIED BY THE ENGINEER.

GENERAL NOTES:

- THE LENGTH OF THE TYPE 2 CONSTRUCTION EXIT SHALL BE AS INDICATED ON THE PLANS BUT NOT LESS THAN 30'.
- THE TREATED TIMBER PLANKS SHALL BE ATTACHED TO THE RAISED TIES WITH 1/2" X 4" WELLS BOLTS. THE FREQUENCIES MAY BE AS APPROVED BY THE ENGINEER.
- THE TREATED TIMBERS SHALL BE #2 GRADE MIN. AND SHOULD BE FREE FROM LARGE AND LOOSE KNOTS.
- THE APPROACH TRANSITIONS SHOULD BE NO STEEPER THAN 6:1 AND CONSTRUCTED AS DIRECTED BY THE ENGINEER.
- THE CONSTRUCTION EXIT FOUNDATION COURSE SHALL BE FLEXIBLE BASE, BITUMINOUS CONCRETE, PORTLAND CEMENT CONCRETE OR OTHER MATERIAL AS APPROVED BY THE ENGINEER.
- THE CONSTRUCTION EXIT SHALL BE GRADED TO ALLOW DRAINAGE TO A SEWAGE TREATMENT DEVICE.
- THE GUIDELINES SHOWN HEREIN ARE SUGGESTIONS ONLY AND MAY BE MODIFIED BY THE ENGINEER.

GENERAL NOTES:

- THE LENGTH OF THE TYPE 3 CONSTRUCTION EXIT SHALL BE AS INDICATED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- THE TYPE 3 CONSTRUCTION EXIT MAY BE CONSTRUCTED WITH OPEN GRADED CURBED STONE WITH A SIZE OF 3/4" TO 4" INCHES THICK TO THE LIMITS SHOWN ON THE PLANS.
- THE APPROACH TRANSITIONS SHOULD BE NO STEEPER THAN 6:1 AND SHOULD BE FREE FROM LARGE AND LOOSE KNOTS.
- THE GUIDELINES SHOWN HEREIN ARE SUGGESTIONS ONLY AND MAY BE MODIFIED BY THE ENGINEER.

GENERAL NOTES:

- THE GUIDELINES SHOWN HEREIN ARE SUGGESTIONS ONLY AND MAY BE MODIFIED BY THE ENGINEER.

JANUARY 2005
CITY OF SAN ANTONIO
CAPITAL IMPROVEMENTS MANAGEMENT SERVICES DEPARTMENT
TEMPORARY EROSION, SEDIMENT & WATER POLLUTION CONTROL MEASURES STANDARDS 1
DRAWN BY: J. VAZQUEZ (DSN: 084) DATE: 1/15/05
CHECKED BY: SHEET NO. 1 OF 4

TYPE 1 FILTER DAM AT TOE OF SLOPE
SCALE: 1" = 10'

PROFILE OF TYPE 1 & 2 FILTER DAM AT SEDIMENT TRAP
SCALE: 1" = 10'

TYPE 1, 2 & 3 FILTER DAM AT CHANNEL SECTIONS
SCALE: 1" = 8'

TYPE 4 SACK GABION DETAIL
SCALE: 1" = 8'

TYPE 4 FILTER DAM AT DITCHES & SMALLER CHANNELS PLAN VIEW
SCALE: 1" = 8'

ROCK FILTER DAMS

BALED HAY FOR EROSION CONTROL

GENERAL NOTES:

- IF SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, FILTER DAMS SHOULD BE PLACED ABOVE THE TOE OF SLOPES WHERE EROSION IS ANTICIPATED UPSTREAM AND / OR DOWNSTREAM AT DRAINAGE STRUCTURES AND IN ROADWAY DITCHES AND CHANNELS TO COLLECT SEDIMENT.
- MATERIALS (SUSPENSIVE WIRE MESH, SANDBAGS, ETC.) SHALL BE AS INDICATED BY THE SPECIFICATIONS FOR ROCK FILTER DAMS FOR EROSION AND SEDIMENTATION CONTROL.
- THE ROCK FILTER DAM DIMENSIONS SHALL BE AS INDICATED ON THE STORM WATER POLLUTION PREVENTION PLANS.
- SEE SLOPES SHOULD BE 3:1 OR FLATTER DAMS WITHIN THE SAFETY ZONE SHALL HAVE SIDE SLOPES OF 1:1 OR FLATTER.
- MAINTAIN A MINIMUM OF 1' BETWEEN TOP OF ROCK FILTER DAM WEIR AND TOP OF EMBANKMENT FOR FILTER DAMS AT SEDIMENT TRAPS.
- FILTER DAMS SHOULD BE EMBEDDED A MINIMUM OF 4" INTO THE EXISTING GROUND.
- THE SEDIMENT TRAP FOR HOLDING OF SEDIMENT LAKE RUNOFF SHALL BE OF THE DIMENSIONS SHOWN ON THE PLANS.
- ROCK FILTER DAM TYPES 2 & 3 SHALL BE SECURED WITH 30 GAUGE GALVANIZED BROWN WIRE MESH WITH 1/2" SPACING. REMOVAL OF THE SEDIMENT SHALL BE PLACED ON THE MESH TO THE HEIGHT AND SLOPES SPECIFIED. THE MESH SHALL BE PLACED ON THE MESH TO THE HEIGHT AND SLOPES SPECIFIED. THE MESH SHALL BE PLACED ON THE MESH TO THE HEIGHT AND SLOPES SPECIFIED. THE MESH SHALL BE PLACED ON THE MESH TO THE HEIGHT AND SLOPES SPECIFIED.
- ROCK GABIONS SHOULD BE STAKED DOWN WITH 3/4" DIA. REBAR STAKES.
- FLOW OUTLET SHOULD BE ON TO STABILIZED AREA (VEGETATION, ROCK, ETC.).
- THE GUIDELINES SHOWN HEREIN ARE SUGGESTIONS ONLY AND MAY BE MODIFIED BY THE ENGINEER.

JANUARY 2005
CITY OF SAN ANTONIO
CAPITAL IMPROVEMENTS MANAGEMENT SERVICES DEPARTMENT
TEMPORARY EROSION, SEDIMENT & WATER POLLUTION CONTROL MEASURES STANDARDS 2
DRAWN BY: J. VAZQUEZ (DSN: 084) DATE: 1/15/05
CHECKED BY: SHEET NO. 2 OF 4

Drawn: Shane, R. V. Projects MOTT COMMERCIAL LOT 5, 10/23/21 IN 10/23/21 CONSTRUCTION DRAWING V. EROSION CONTROL DETAILS.dwg User: Madsen/Simon Mar 19, 2021 - 10:45am

12/8/2023

Project: F 2022(097)
Control: 0025-03-097
Highway: IH 10

County: Guadalupe
Contractor: Webber, LLC
Subject: Construction Contract

RE: Acceptance of Waiver Request for Opaque Screening Installation

To Whom it May Concern:

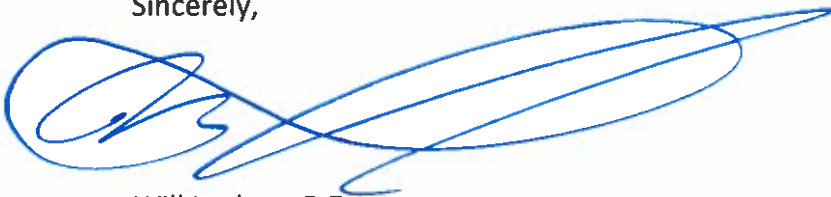
This letter is to acknowledge and support a waiver request regarding the installation of an opaque screening perimeter fence at Webber, LLC. concrete batch plant / project yard that faces Texas Department of Transportation (TxDOT) Right-of-Way (ROW), as required per the City of Cibolo UDC Sec.4.4.7.4.3.E.2 and 9.3.2.

We acknowledge your commitment to ensuring a visually appealing and harmonious environment while maintaining the necessary functionality and safety of your operations.

Please consider this letter as official confirmation of TxDOT's acceptance of the waiver request.

Thank you for your understanding and cooperation in this matter.

Sincerely,



Will Lockett, P.E.
New Braunfels Area Engineer
San Antonio District

12/8/2023

Project: F 2022(097)
Control: 0025-03-097
Highway: IH 10

County: Guadalupe
Contractor: Webber, LLC
Subject: Construction Contract

RE: IH 10 Highway Improvements

Dear Miya Janes-Green:

This letter is to certify:

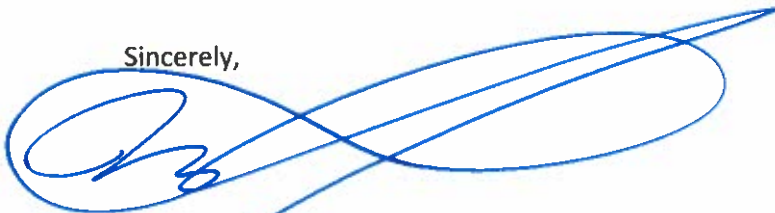
Webber, LLC Has been awarded the contract on Decemober 1, 2021 for the above referenced project with limits from the Bexar/Guadalupe County line to FM 465.

The project Time Determination Schedule assumes construction activities beginning in February of 2022 and concluding in March of 2026. Based on Webbers actual stating time of May 2022, this project's estimated completion date is June of 2026.

The time determination schedule is based on TxDOT's 6-Day work week, thus construction operations may proceed from Monday-Saturday during normal business hours. Operations outside of normal business hours and on Sunday maybe permitted with the approval of the Engineer.

Please let me know if you have any questions.

Sincerely,



Will Lockett, P.E.
New Braunfels Area Engineer
San Antonio District

Date	Crew	Depth (in)	Start Time	End Time	Hours of Pour
3/23/2023	Wilmer	11	8:00 AM	5:00 PM	9.00
3/25/2023	Wilmer	11	8:00 AM	5:00 PM	9.00
3/28/2023	Wilmer	11	8:00 AM	5:00 PM	9.00
3/30/2023	Wilmer	11	12:00 PM	5:00 PM	5.00
4/1/2023	Wilmer	11	8:00 AM	5:00 PM	9.00
4/3/2023	Wilmer	11	8:00 AM	5:00 PM	9.00
4/5/2023	Wilmer	11	8:00 AM	5:00 PM	9.00
6/2/2023	Justin	11	8:00 AM	5:00 PM	9.00
6/7/2023	Justin	11	8:00 AM	5:00 PM	9.00
6/12/2023	Justin	11	8:00 AM	5:00 PM	9.00
9/12/2023	Angel	13	3:00 AM	2:00 PM	11.00
9/13/2023	Angel	13	3:00 AM	2:00 PM	11.00
9/14/2023	Angel	13	3:00 AM	2:00 PM	11.00
9/15/2023	Angel	13	3:00 AM	2:00 PM	11.00
9/18/2023	Angel	13	3:00 AM	2:00 PM	11.00
9/19/2023	Angel	13	3:00 AM	2:00 PM	11.00
9/21/2023	Angel	13	3:00 AM	2:00 PM	11.00
9/22/2023	Angel	13	3:00 AM	2:00 PM	11.00
9/25/2023	Angel	13	3:00 AM	2:00 PM	11.00
9/26/2023	Angel	13	3:00 AM	2:00 PM	11.00
9/27/2023	Angel	11	6:00 AM	3:00 PM	9.00
9/28/2023	Angel	11	3:00 AM	2:00 PM	11.00
9/29/2023	Angel	13	3:00 AM	2:00 PM	11.00
10/2/2023	Angel	13	3:00 AM	2:00 PM	11.00
10/3/2023	Angel	13	3:00 AM	2:00 PM	11.00
10/4/2023	Angel	11	7:00 AM	5:00 PM	10.00
10/6/2023	Angel	13	3:00 AM	2:00 PM	11.00
10/9/2023	Angel	11	7:00 AM	2:00 PM	7.00
10/10/2023	Angel	13	3:00 AM	2:00 PM	11.00
10/11/2023	Angel	13	3:00 AM	2:00 PM	11.00
10/12/2023	Angel	13	3:00 AM	2:00 PM	11.00
11/15/2023	Wilmer	13	8:00 AM	4:00 PM	8.00
11/17/2023	Wilmer	11	8:00 AM	4:00 PM	8.00
11/18/2023	Wilmer	13	8:00 AM	4:00 PM	8.00
11/21/2023	Wilmer	13	8:00 AM	4:00 PM	8.00
11/22/2023	Wilmer	11	8:00 AM	4:00 PM	8.00
11/27/2023	Wilmer	11	8:00 AM	4:00 PM	8.00



DEPARTMENT OF THE ARMY
U.S. ARMY CORPS OF ENGINEERS, FORT WORTH DISTRICT
P. O. BOX 17300
FORT WORTH, TEXAS 76102-0300

June 4, 2021

Regulatory Division

SUBJECT: Project Number SWF-2021-00266, 10833 IH-10 East

Mr. Mark Mott
6770 Linne Rd.
Seguin, Texas 78155
markmott@gmail.com

Dear Mr. Mott:

This letter is in regard to information received May 10, 2021, concerning your proposal to excavate and fill a pond with soil on property located in the City of Cibolo, Guadalupe County, Texas. This project has been assigned Project Number SWF-2021-00266. Please include this number in all future correspondence concerning this project.

Under Section 404 of the Clean Water Act the U.S. Army Corps of Engineers (USACE) regulates the discharge of dredged and fill material into waters of the United States, including wetlands. USACE responsibility under Section 10 of the Rivers and Harbors Act of 1899 is to regulate any work in, or affecting, navigable waters of the United States. Based on your description of the proposed work, and other information available to us, it appears there are no waters of the United States present on the proposed project site. Therefore, no permit is required under Section 404 of the Clean Water Act or Section 10 of the River and Harbors Act of 1899.

The USACE based this decision on an approved jurisdictional determination (JD) that there are no waters of the United States on the project site. The basis of this approved JD is enclosed. This approved JD is valid for a period of no more than five years from the date of this letter unless new information warrants revision of the delineation before the expiration date.

The Applicant may accept or appeal this approved JD or provide new information in accordance with the enclosed Notification of Administration Appeal Options and Process and Request for Appeal (NAAOP-RFA). If the Applicant elects to appeal this approved JD, the Applicant must complete Section II (Request for Appeal or Objections to an Initial Proffered Permit) of the enclosure and return it to the Division Engineer, ATTN: CESWD-PD-O Appeals Review Officer, U.S. Army Corps of Engineers, 1100 Commerce Street Suite 831, Dallas, Texas 75242-0216 within 60 days of the date of this notice. Failure to notify the USACE within 60 days of the date of this notice means you accept the approved JD in its entirety and waive all rights to appeal the approved JD.

Thank you for your interest in our nation's water resources. If you have any questions concerning our regulatory program, please refer to our website at <http://www.swf.usace.army.mil/Missions/Regulatory> or contact Mr. Brian Bartels at the address

above, by telephone (817) 886-1742, or by email Brian.C.Bartels@usace.army.mil, and refer to your assigned project number.

Please help the regulatory program improve its service by completing the survey on the following website: http://corpsmapu.usace.army.mil/cm_apex/f?p=regulatory_survey

Sincerely,

For: Brandon W. Mobley
Chief, Regulatory Division

Enclosures



**U.S. ARMY CORPS OF ENGINEERS
REGULATORY PROGRAM
APPROVED JURISDICTIONAL DETERMINATION FORM (INTERIM)
NAVIGABLE WATERS PROTECTION RULE**

I. ADMINISTRATIVE INFORMATION

Completion Date of Approved Jurisdictional Determination (AJD): 6/4/2021

ORM Number: SWF-2021-00266

Associated JDs: N/A

Review Area Location¹: State/Territory: Texas City: Cibolo County/Parish/Borough: Guadalupe

Center Coordinates of Review Area: Latitude 29.517549° Longitude -98.140184°

II. FINDINGS

A. Summary: Check all that apply. At least one box from the following list MUST be selected. Complete the corresponding sections/tables and summarize data sources.

- The review area is comprised entirely of dry land (i.e., there are no waters or water features, including wetlands, of any kind in the entire review area). Rationale: N/A
- There are “navigable waters of the United States” within Rivers and Harbors Act jurisdiction within the review area (complete table in Section II.B).
- There are “waters of the United States” within Clean Water Act jurisdiction within the review area (complete appropriate tables in Section II.C).
- There are waters or water features excluded from Clean Water Act jurisdiction within the review area (complete table in Section II.D).

B. Rivers and Harbors Act of 1899 Section 10 (§ 10)²

§ 10 Name	§ 10 Size	§ 10 Criteria	Rationale for § 10 Determination
N/A.	N/A.	N/A.	N/A.

C. Clean Water Act Section 404

Territorial Seas and Traditional Navigable Waters ((a)(1) waters): ³			
(a)(1) Name	(a)(1) Size	(a)(1) Criteria	Rationale for (a)(1) Determination
N/A.	N/A.	N/A.	N/A.

Tributaries ((a)(2) waters):			
(a)(2) Name	(a)(2) Size	(a)(2) Criteria	Rationale for (a)(2) Determination
N/A.	N/A.	N/A.	N/A.

Lakes and ponds, and impoundments of jurisdictional waters ((a)(3) waters):			
(a)(3) Name	(a)(3) Size	(a)(3) Criteria	Rationale for (a)(3) Determination
N/A.	N/A.	N/A.	N/A.

Adjacent wetlands ((a)(4) waters):			
(a)(4) Name	(a)(4) Size	(a)(4) Criteria	Rationale for (a)(4) Determination
N/A.	N/A.	N/A.	N/A.

¹ Map(s)/figure(s) are attached to the AJD provided to the requestor.

² If the navigable water is not subject to the ebb and flow of the tide or included on the District’s list of Rivers and Harbors Act Section 10 navigable waters list, do NOT use this document to make the determination. The District must continue to follow the procedure outlined in 33 CFR part 329.14 to make a Rivers and Harbors Act Section 10 navigability determination.

³ A stand-alone TNW determination is completed independently of a request for an AJD. A stand-alone TNW determination is conducted for a specific segment of river or stream or other type of waterbody, such as a lake, where upstream or downstream limits or lake borders are established. A stand-alone TNW determination should be completed following applicable guidance and should NOT be documented on the AJD Form.



**U.S. ARMY CORPS OF ENGINEERS
REGULATORY PROGRAM
APPROVED JURISDICTIONAL DETERMINATION FORM (INTERIM)
NAVIGABLE WATERS PROTECTION RULE**

D. Excluded Waters or Features

Excluded waters ((b)(1) – (b)(12)): ⁴			
Exclusion Name	Exclusion Size	Exclusion ⁵	Rationale for Exclusion Determination
SWF-2021-00266 (Pond)	3.4 acre(s)	(b)(8) Artificial lake/pond constructed or excavated in upland or a non-jurisdictional water, so long as the artificial lake or pond is not an impoundment of a jurisdictional water that meets (c)(6).	USACE confirmed that the subject pond was excavated from upland between 1955 and 1973. All supporting information referenced within this document indicates that the pond is isolated, i.e., not hydrologically connected to a (a)(1)-(a)(4) water or non-jurisdictional water feature (e.g., ephemeral stream, swale, or erosional feature). The Corps has determined that the pond meets (b)(8) exclusion criteria.

III. SUPPORTING INFORMATION

A. Select/enter all resources that were used to aid in this determination and attach data/maps to this document and/or references/citations in the administrative record, as appropriate.

- Information submitted by, or on behalf of, the applicant/consultant: [Project location and description provided by the applicant.](#)

This information is sufficient for purposes of this AJD.

Rationale: [N/A](#)

- Data sheets prepared by the Corps: [N/A](#)
- Photographs: [Aerial: Aerial: Imagery from Google Earth, HistoricAerials.com, and Digital Globe – all available years.](#)
- Corps site visit(s) conducted on: [N/A](#)
- Previous Jurisdictional Determinations (AJDs or PJDs): [ORM Number\(s\) and date\(s\).](#)
- Antecedent Precipitation Tool: [provide detailed discussion in Section III.B.](#)
- USDA NRCS Soil Survey: [N/A](#)
- USFWS NWI maps: [ESRI managed imagery, SWF Regulatory Viewer, 2021-06-04](#)
- USGS topographic maps: [Marion 7.5-minute topographical Quadrangle; ESRI managed imagery, SWF Regulatory Viewer, 2021-06-04](#)

Other data sources used to aid in this determination:

Data Source (select)	Name and/or date and other relevant information
USGS Sources	National Hydrography Dataset, SWF Regulatory Viewer, 2021-06-04
USDA Sources	N/A.
NOAA Sources	N/A
USACE Sources	N/A.
State/Local/Tribal Sources	N/A.

⁴ Some excluded waters, such as (b)(2) and (b)(4), may not be specifically identified on the AJD form unless a requestor specifically asks a Corps district to do so. Corps districts may, in case-by-case instances, choose to identify some or all of these waters within the review area.

⁵ Because of the broad nature of the (b)(1) exclusion and in an effort to collect data on specific types of waters that would be covered by the (b)(1) exclusion, four sub-categories of (b)(1) exclusions were administratively created for the purposes of the AJD Form. These four sub-categories are not new exclusions, but are simply administrative distinctions and remain (b)(1) exclusions as defined by the NWPR.

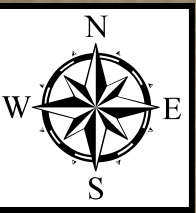


**U.S. ARMY CORPS OF ENGINEERS
REGULATORY PROGRAM
APPROVED JURISDICTIONAL DETERMINATION FORM (INTERIM)
NAVIGABLE WATERS PROTECTION RULE**

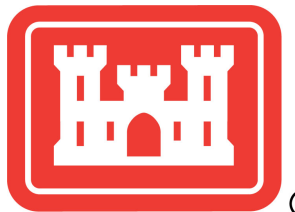
Data Source (select)	Name and/or date and other relevant information
Other Sources	Location and description provided by the applicant

B. Typical year assessment(s): [N/A](#)

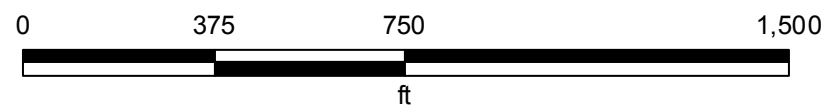
C. Additional comments to support AJD: [Enclosure: Vicinity Map \(Exhibit 1\)](#)



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community, USGS TNM - National Hydrography Dataset. Data Refreshed April, 2021.



SWF-2021-00266
Exhibit 1
Vicinity Map



Map Center: -98.1391 29.5166

Map created by US Army Corps of Engineers, Detroit District
on 6/4/2021 at 9:26:23 AM

Coordinate System: WGS 1984 Web Mercator Auxiliary
Sphere

**NOTIFICATION OF ADMINISTRATIVE APPEAL OPTIONS
AND PROCESS AND REQUEST FOR APPEAL**

Applicant: Mr. Mark Mott	File Number: SWF-2021-00266	Date: June 4, 2021
Attached is:	See Section below:	
INITIAL PROFFERED PERMIT (Standard Permit or Letter of permission)	A	
PROFFERED PERMIT (Standard Permit or Letter of permission)	B	
PERMIT DENIAL	C	
APPROVED JURISDICTIONAL DETERMINATION	D	
PRELIMINARY JURISDICTIONAL DETERMINATION	E	

SECTION I - The following identifies your rights and options regarding an administrative appeal of the above decision. Additional information may be found at <http://www.usace.army.mil/Missions/CivilWorks/RegulatoryProgramandPermits/appeals.aspx> or Corps regulations at 33 CFR Part 331.

A: INITIAL PROFFERED PERMIT: You may accept or object to the permit.

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **OBJECT:** If you object to the permit (Standard or LOP) because of certain terms and conditions therein, you may request that the permit be modified accordingly. You must complete Section II of this form and return the form to the district engineer. Your objections must be received by the district engineer within 60 days of the date of this notice, or you will forfeit your right to appeal the permit in the future. Upon receipt of your letter, the district engineer will evaluate your objections and may: (a) modify the permit to address all of your concerns, (b) modify the permit to address some of your objections, or (c) not modify the permit having determined that the permit should be issued as previously written. After evaluating your objections, the district engineer will send you a proffered permit for your reconsideration, as indicated in Section B below.

B: PROFFERED PERMIT: You may accept or appeal the permit

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **APPEAL:** If you choose to decline the proffered permit (Standard or LOP) because of certain terms and conditions therein, you may appeal the declined permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

C: PERMIT DENIAL: You may appeal the denial of a permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

D: APPROVED JURISDICTIONAL DETERMINATION: You may accept or appeal the approved JD or provide new information.

- **ACCEPT:** You do not need to notify the Corps to accept an approved JD. Failure to notify the Corps within 60 days of the date of this notice, means that you accept the approved JD in its entirety, and waive all rights to appeal the approved JD.
- **APPEAL:** If you disagree with the approved JD, you may appeal the approved JD under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

E: PRELIMINARY JURISDICTIONAL DETERMINATION: You do not need to respond to the Corps regarding the preliminary JD. The Preliminary JD is not appealable. If you wish, you may request an approved JD (which may be appealed), by contacting the Corps district for further instruction. Also you may provide new information for further consideration by the Corps to reevaluate the JD.

SECTION II - REQUEST FOR APPEAL or OBJECTIONS TO AN INITIAL PROFFERED PERMIT

REASONS FOR APPEAL OR OBJECTIONS: (Describe your reasons for appealing the decision or your objections to an initial proffered permit in clear concise statements. You may attach additional information to this form to clarify where your reasons or objections are addressed in the administrative record.)

ADDITIONAL INFORMATION: The appeal is limited to a review of the administrative record, the Corps memorandum for the record of the appeal conference or meeting, and any supplemental information that the review officer has determined is needed to clarify the administrative record. Neither the appellant nor the Corps may add new information or analyses to the record. However, you may provide additional information to clarify the location of information that is already in the administrative record.

POINT OF CONTACT FOR QUESTIONS OR INFORMATION:

If you have questions regarding this decision and/or the appeal process you may contact:

Mr. Brian C. Bartels
Regulatory Specialist (CESWF-RDE)
U.S. Army Corps of Engineers
P.O. Box 17300
819 Taylor Street, Room 3A37
Fort Worth, Texas 76102-0300
817-886-1742

If you only have questions regarding the appeal process you may also contact:

Administrative Appeals Review Officer (CESWD-PD-O)
U.S. Army Corps of Engineers
1100 Commerce Street, Suite 831
Dallas, Texas 75242-1317
469-487-7061

RIGHT OF ENTRY: Your signature below grants the right of entry to Corps of Engineers personnel, and any government consultants, to conduct investigations of the project site during the course of the appeal process. You will be provided a 15-day notice of any site investigation, and will have the opportunity to participate in all site investigations.

Signature of appellant or agent.

Date:

Telephone number:

Jon Niermann, *Chairman*
Emily Lindley, *Commissioner*
Bobby Janecka, *Commissioner*
Erin E. Chancellor, *Interim Executive Director*



TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Protecting Texas by Reducing and Preventing Pollution

April 19, 2023

Dear Applicant:

Re: TPDES General Permit for Construction Stormwater Runoff (TXR150000)
Notice of Intent Authorization

Your Notice of Intent (NOI) application for authorization under the general permit for discharge of stormwater associated with construction activities has been received. Pursuant to authorization from the Executive Director of the Texas Commission on Environmental Quality, the Division Deputy Director of the Water Quality Division has issued the enclosed Certificate.

Please refer to the attached certificate for the authorization number that was assigned to your project/site and the effective date. Please use this number to reference this project/site for future communications with the Texas Commission on Environmental Quality (TCEQ).

Authorization under the Edwards Aquifer Protection Program is required before construction can begin where the site is located within the Edwards Aquifer Recharge Zone, Contributing Zone, or Contributing Zone within the Transition Zone. See <https://www.tceq.texas.gov/permitting/eapp/viewer.html> for additional information.

It is the responsibility of the Operator to notify the TCEQ Stormwater Processing Center of any change in address supplied on the original Notice of Intent by submitting a Notice of Change.

A Notice of Termination must be submitted when permit coverage is no longer needed.

For questions related to processing of your application you may contact the Stormwater Processing Center by email at SWPERMIT@tceq.texas.gov or by telephone at (512) 239-3700. If you have any technical questions regarding the general permit, you may contact the stormwater technical staff by email at SWGP@tceq.texas.gov or by telephone at (512) 239-4671. Also, you may obtain information on the stormwater web site at <https://www.tceq.texas.gov/permitting/stormwater>.

Sincerely,

A handwritten signature in black ink, appearing to read "Rob Sadlier", written in a cursive style.

Robert Sadlier, Deputy Director
Water Quality Division



TEXAS COMMISSION ON ENVIRONMENTAL QUALITY
Texas Pollutant Discharge Elimination System
Stormwater Construction General Permit

The Notice of Intent (NOI) for the facility listed below was received on April 19, 2023. The intent to discharge stormwater associated with construction activity under the terms and conditions imposed by the Texas Pollutant Discharge Elimination System (TPDES) stormwater Construction General Permit TXR150000 is acknowledged. Your facility's unique TPDES CGP stormwater authorization number is:

TXR1584LC

Coverage Effective: November 14, 2022

The TCEQ's stormwater CGP requires certain stormwater pollution prevention and control measures, possible monitoring and reporting, and periodic inspections. Among the conditions and requirements of this permit, you must have prepared and implemented a stormwater pollution prevention plan (SWP3) that is tailored to your construction site. As a facility authorized to discharge under the stormwater CGP, all terms and conditions must be complied with to maintain coverage and avoid possible penalties.

Project/Site Information:

RN111442398
Webber Cbp Site
10833 E IH 10
Marion, TX 78124
Guadalupe County

Operator:

CN602982654
Webber, LLC
14333 Chrisman Rd
Houston, TX 77039

This CGP and all authorizations expire on March 5, 2028, unless otherwise amended. If you have any questions related to processing of your application, you may contact the Stormwater Processing Center by **email at SWPERMIT@tceq.texas.gov or by telephone at (512) 239-3700**. For technical issues, you may contact the stormwater technical staff by **email at SWGPA@tceq.texas.gov or by telephone at (512) 239-4671**. Also, you may obtain information on the TCEQ web site at <https://www.tceq.texas.gov/goto/wq-dpa>. A copy of this document should be kept with your SWP3.

A handwritten signature in black ink that reads "Erin E. Chamallo".

FOR THE COMMISSION

Issued Date: April 19, 2023

Texas Commission on Environmental Quality

Construction Notice of Intent Renewal

TXR1584LC

Site Information (Regulated Entity)

What is the name of the site to be authorized? WEBBER CBP SITE

Does the site have a physical address? Yes

Physical Address

Number and Street 10833 E IH 10

City MARION

State TX

ZIP 78124

County GUADALUPE

Latitude (N) (##.#####) 29.517444

Longitude (W) (-###.#####) -98.14128

Primary SIC Code 1622

Secondary SIC Code

Primary NAICS Code

Secondary NAICS Code

Regulated Entity Site Information

What is the Regulated Entity's Number (RN)? RN111442398

What is the name of the Regulated Entity (RE)? TXDOT SAT CSJ 0025-03-097

Does the RE site have a physical address? No

Physical Address

Because there is no physical address, describe how to locate this site: IH-10 EAST FROM FM 465 TO BEXAR/GUADALUPE COUNTY LINE

City MARION

State TX

ZIP 78124

County GUADALUPE

Latitude (N) (##.#####) 29.51944

Longitude (W) (-###.#####) -98.137601

Facility NAICS Code

What is the primary business of this entity?

Customer (Applicant) Information

How is this applicant associated with this site? Operator

What is the applicant's Customer Number (CN)? CN602982654

Type of Customer Corporation

Full legal name of the applicant:

Legal Name	Webber, LLC
Texas SOS Filing Number	800591501
Federal Tax ID	742454910
State Franchise Tax ID	17424549107
State Sales Tax ID	
Local Tax ID	
DUNS Number	180539660
Number of Employees	501+
Independently Owned and Operated?	Yes
I certify that the full legal name of the entity applying for this permit has been provided and is legally authorized to do business in Texas.	Yes

Responsible Authority Contact

Organization Name	Webber, LLC
Prefix	
First	JOSEPH
Middle	
Last	WAGNER
Suffix	
Credentials	
Title	ENVIRONMENTAL MANAGER

Responsible Authority Mailing Address

Enter new address or copy one from list:

Address Type	Domestic
Mailing Address (include Suite or Bldg. here, if applicable)	14333 CHRISMAN RD
Routing (such as Mail Code, Dept., or Attn:)	
City	HOUSTON
State	TX
ZIP	77039
Phone (###-###-####)	8323099222
Extension	
Alternate Phone (###-###-####)	
Fax (###-###-####)	
E-mail	JOSEPH.WAGNER@WWEBBER.CO M

Application Contact

Person TCEQ should contact for questions about this application:

Same as another contact?	
Organization Name	WEBBER LLC

Prefix	
First	JOSEPH
Middle	
Last	WAGNER
Suffix	
Credentials	
Title	ENVIRONMENTAL MANAGER

Enter new address or copy one from list:

Mailing Address

Address Type	Domestic
Mailing Address (include Suite or Bldg. here, if applicable)	14333 CHRISMAN RD
Routing (such as Mail Code, Dept., or Attn:)	
City	HOUSTON
State	TX
ZIP	77039
Phone (###-###-####)	8323099222
Extension	
Alternate Phone (###-###-####)	
Fax (###-###-####)	
E-mail	JOSEPH.WAGNER@WWEBBER.COM

CNOI-R General Characteristics

1 Is the project or site located on Indian Country Lands?	No
2 Is the project or site associated to a facility that is licensed for the storage of high-level radioactive waste by the United States Nuclear Regulatory Commission under 10 CFR Part 72?	No
3 Is your construction activity associated with an oil and gas exploration, production, processing, or treatment, or transmission facility?	No
4 What is the Primary Standard Industrial Classification (SIC) Code that best describes the construction activity being conducted at the site?	1622
5 If applicable, what is the Secondary SIC Code(s)?	
6 What is the total number of acres that the construction project or site will disturb under the control of the primary operator?	5
7 What is the construction project or site type?	Highway or Road
8 Is the project part of a larger common plan of development or sale?	No
9 What is the estimated start date of the project?	12/01/2022
10 What is the estimated end date of the project?	06/04/2026
11 Will concrete truck washout be performed at the site?	Yes
12 What is the name of the first water body(s) to receive the stormwater runoff or potential runoff from the site?	SANTA CLARA CREEK,CIBOLO CREEK

13 What is the segment number(s) of the classified water body(s) that the discharge will eventually reach?	1902
14 Is the discharge into a Municipal Separate Storm Sewer System (MS4)?	No
15 Is the discharge or potential discharge within the Recharge Zone, Contributing Zone, or Contributing Zone within the Transition Zone of the Edwards Aquifer, as defined in 30 TAC Chapter 213?	No
16 I certify that a stormwater pollution prevention plan (SWP3) has been developed, will be implemented prior to construction, and to the best of my knowledge and belief is compliant with any applicable local sediment and erosion control plans, as required in the general permit TXR150000. Note: For multiple operators who prepare a shared SWP3, the confirmation of an operator may be limited to its obligations under the SWP3 provided all obligations are confirmed by at least one operator.	Yes
17 I certify that I have obtained a copy and understand the terms and conditions of the Construction General Permit (TXR150000).	Yes
18 I understand that a Notice of Termination (NOT) must be submitted when this authorization is no longer needed.	Yes

Certification

I certify that I am authorized under 30 Texas Administrative Code Subchapter 305.44 to sign this document and can provide documentation in proof of such authorization upon request.

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

1. I am Joseph Wagner, the owner of the STEERS account ER030887.
2. I have the authority to sign this data on behalf of the applicant named above.
3. I have personally examined the foregoing and am familiar with its content and the content of any attachments, and based upon my personal knowledge and/or inquiry of any individual responsible for information contained herein, that this information is true, accurate, and complete.
4. I further certify that I have not violated any term in my TCEQ STEERS participation agreement and that I have no reason to believe that the confidentiality or use of my password has been compromised at any time.
5. I understand that use of my password constitutes an electronic signature legally equivalent to my written signature.
6. I also understand that the attestations of fact contained herein pertain to the implementation, oversight and enforcement of a state and/or federal environmental program and must be true and complete to the best of my knowledge.
7. I am aware that criminal penalties may be imposed for statements or omissions that I know or have reason to believe are untrue or misleading.
8. I am knowingly and intentionally signing Construction Notice of Intent Renewal TXR1584LC.
9. My signature indicates that I am in agreement with the information on this form, and authorize its submittal to the TCEQ.

OPERATOR Signature: Joseph Wagner OPERATOR

Customer Number:	CN602982654
Legal Name:	Webber, LLC
Account Number:	ER030887
Signature IP Address:	208.127.68.76

Signature Date: 2023-04-19
Signature Hash: F2ADB00092B43380AC06FDEF2CB3E371CE2982516C28A82128B52FB346713BF2
Form Hash Code at time of Signature: 7E424BCD77CE8B0ED2DA7803DB29B24415B2EE31FEA64B68C7EA00B4352515B1

Fee Payment

Transaction by: The application fee payment transaction was made by ER030887/Joseph Wagner
Paid by: The application fee was paid by MIYA JANES GREEN
Fee Amount: \$225.00
Paid Date: The application fee was paid on 2023-04-19
Transaction/Voucher number: The transaction number is 582EA000544812 and the voucher number is 634717

Submission

Reference Number: The application reference number is 548260
Submitted by: The application was submitted by ER030887/Joseph Wagner
Submitted Timestamp: The application was submitted on 2023-04-19 at 17:45:12 CDT
Submitted From: The application was submitted from IP address 208.127.68.76
Confirmation Number: The confirmation number is 458017
Steers Version: The STEERS version is 6.62
Permit Number: The permit number is TXR1584LC

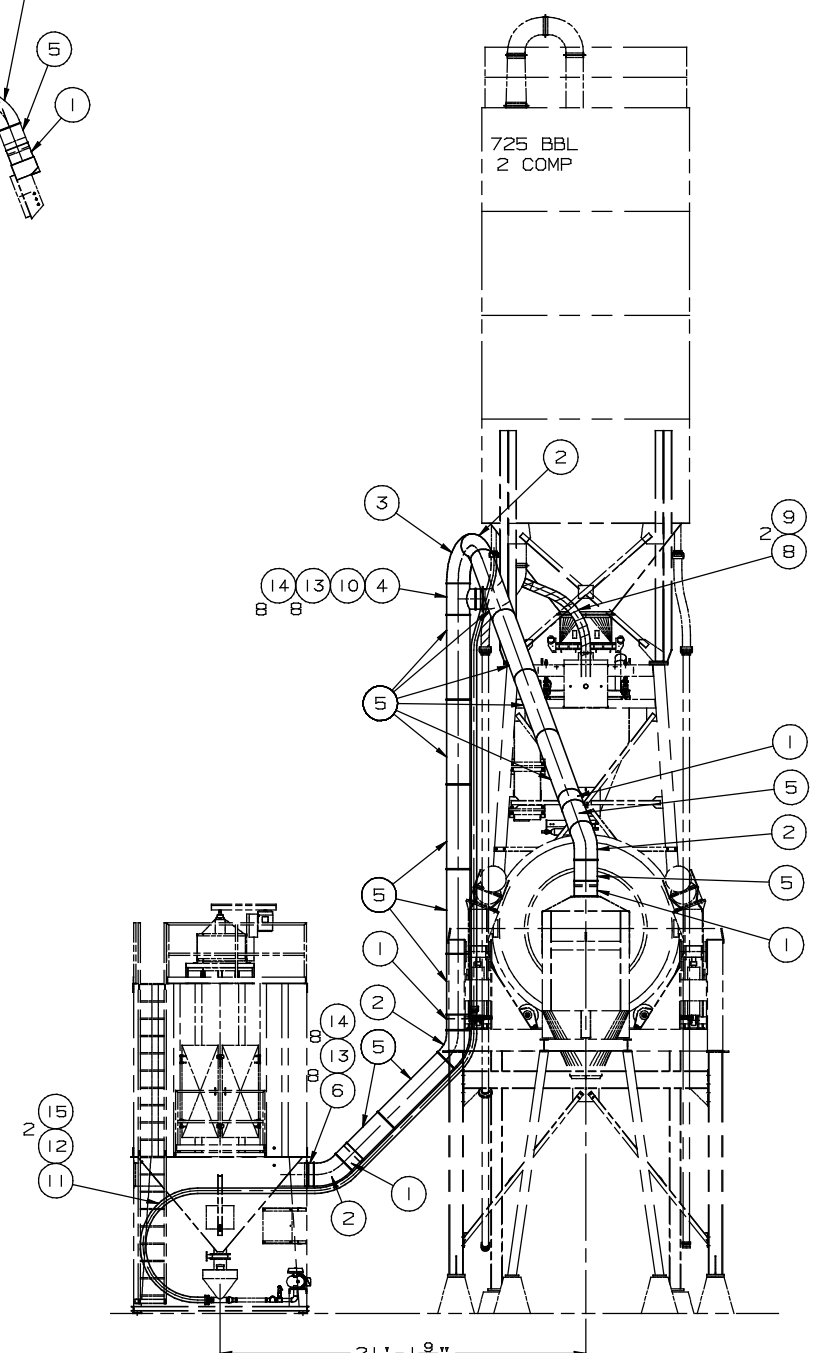
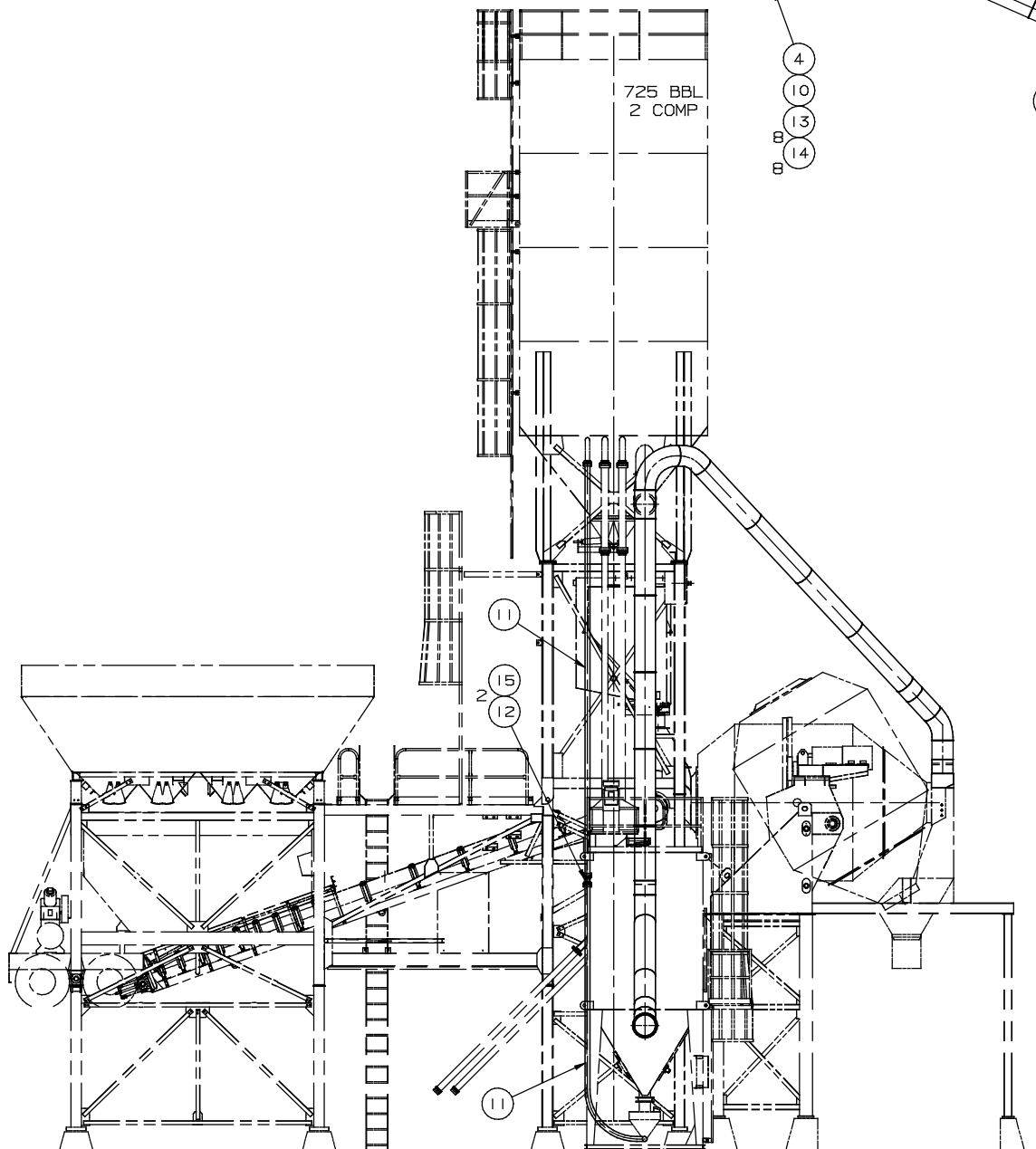
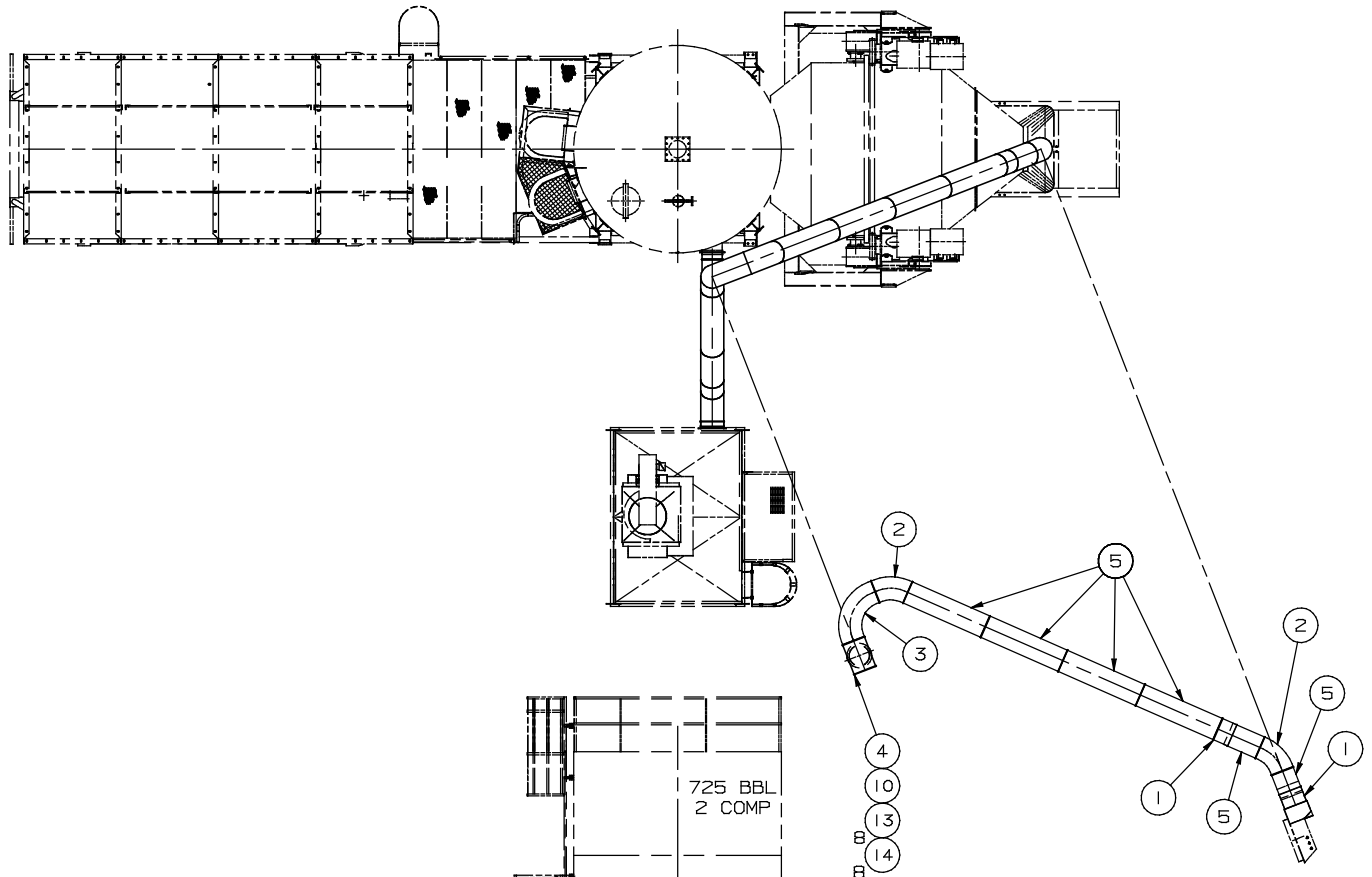
Additional Information

Application Creator: This account was created by Joseph Wagner

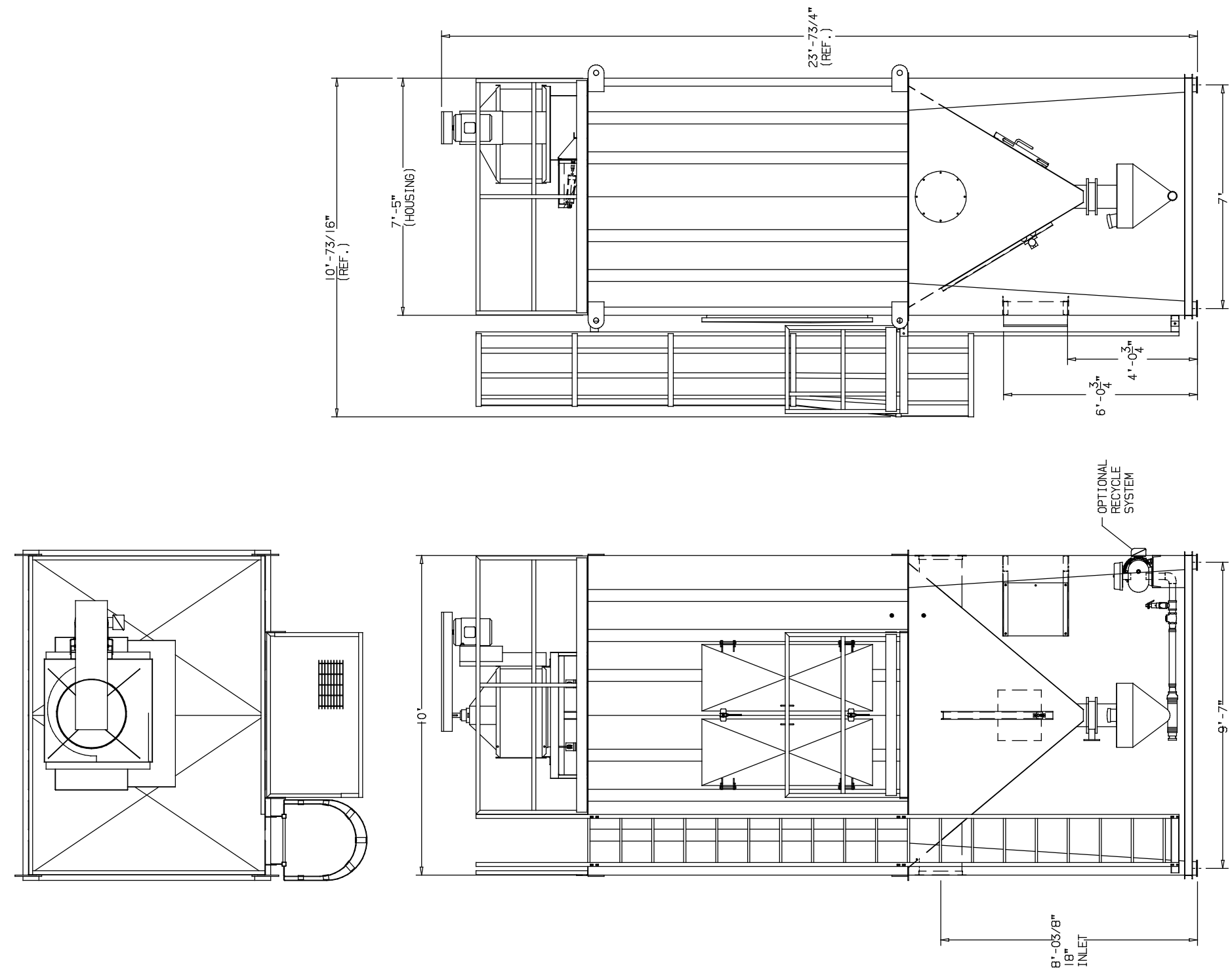
LIST OF COMPONENTS

REF. SYMBOL	QUANTITY	PART NUMBER	PART NAME OR MATERIAL SIZE & DESCRIPTION	MATERIAL SPEC. ENGR. STD. NO.	WT. EACH
1	4	112-04738-32	ADJUSTABLE NIPPLE 16"		
2	4	112-04738-29	ELBOW 45° 16"		
3	1	112-04738-28	ELBOW 90° 16"		
4	1	112-04738-41	TEE 16" x 14" x 16"		
5	12	112-04738-33	PIPE 16" x 58-3/4 LG		
6	1	112-04738-54	ADAPTER 16" FLANGE		
7	23	112-04738-35	CLAMP 16"		
8	15 FT	112-04738-14	HOSE HOSE FLEXIBLE 6"		
9	2	112-04738-20	CLAMP, HOSE 6"		
10	1	112-04738-52	ANGLE FLANGE ADAPTER 14"		
11	2	112-08429-30	CEMENT RETURN HOSE 3" x 30 FT		
12	1	398-14004-72	NIPPLE PIPE 3" CLOSE		
13	16	298-00102-93	SCR CAP HH 5/16 x 1-1/4 LG		
14	16	398-11000-18	NUT, HEX 5/16		
15	2	212-00552-47	ADAPTER KAMLOCK		
16	10 FT	112-04738-37	FLEXIBLE HOSE 16"		
17	4	112-04738-42	CLAMP HOSE 16"		

EXTRA PARTS
EXTRA PARTS



CONFIDENTIAL - ALL RIGHTS RESERVED - PROPERTY OF RexCON L.L.C. MILWAUKEE, WISCONSIN 53209					
SCALE					
DIMENSIONS IN INCHES IF NOT SPECIFIED					
DATE 12-21-07					
DUST DUCT ASSEMBLY					
ECON NO.		LOGO 12		SUPERSEDED BY	
CHANGE NO.		NO. REQ.		SUPERSEDED BY	
MAT'L SPEC.		ENGR. STD. NO.		DR'N. JEWS	
PROCESS SPEC.		ENGR. STD. NO.		UNLESS OTHERWISE SPECIFIED, DIMENSIONS ARE IN INCHES. TOLERANCES ON DECIMALS & JOES HOLES FRACTIONS ± 1/32 WELDMENTS ± 1/16 REMOVE ALL BURRS AND BREAK ALL SHARP CORNERS	
ORIG. CHANGE NO.		ENGR. STD. NO.		PART OR PATTERN NO. 644-14564-01	
ECON NO.		ENGR. STD. NO.		DRAWING NO. 644-14564	



GA FOR RA-200 2-COMP. DUST COLLECTOR
W/ AUTO-RECYCLE

							CONFIDENTIAL - ALL RIGHTS RESERVED - PROPERTY OF	
							REXCON L.L.C. MILWAUKEE, WISCONSIN 53209	
							SCALE	DUST COLLECTOR C&W RA200
							DIMENSIONS IN INCHES IF NOT SPECIFIED	
							DATE 10-25-04	
							DR'N. JEW	
		PLANTS						
ECN NO.	CHANGE NO.	PRODUCT USED ON	NO. REQ.	SUPERSEDES	SUPERSEDED BY			
ECN-535 1-07-10	1							
10-25-04	ORIG. ISSUE	MAT'L SPEC.	ENGR. STD. NO.		UNLESS OTHERWISE SPECIFIED: DIMENSIONS ARE IN INCHES TOLERANCES ON: DECIMALS ± .005 HOLES FRACTIONS ± 1/32 WELDMENTS ± 1/16 REMOVE ALL BURRS AND BREAK ALL SHARP CORNERS			
JEW	CHANGE NO.	PROCESS SPEC.	ENGR. STD. NO.					
ECN NO.	CHANGE NO.					PART OR PATTERN NO.	DRAWING NO.	
						134-13585-01	134-13585	

RA-Series Collectors

Principles of Operation

1. Reverse Air collectors are designed to collect the dust from multiple points, such as the mixer truck charging point or central mixer, cement weigh batchers and silos. Ducting is installed to the different dust sources and proper hoods are used to pull the dust into the ducting and down into the collector.
2. The contaminated air enters the multiple compartment dust collector through the lower section and moves into the collector hopper.
3. In the hopper, much of the heavy dust particles settle out of the air stream and into the hopper bottom because of the reduction of air velocity.
4. From the hopper, the dust-laden air flows up through the inside of the filter bags, where the dust particles are trapped. The bags allow the clean air to pass through to the clean air chamber.
5. From there, the air flows through the fan and into the environment.
6. When the reverse air door on top of the unit opens to the air from the environment, the flow of air is reversed through the bags and the cleaning cycle is initiated. This causes the compartment to clean. The cleaning cycle is alternated between the compartments.
7. The cleaning cycle of the filter bags is automatically programmed by the sequence timing panel. The time between cleaning cycles is controlled by one simple timer in the sequence panel.
8. During the bag cleaning cycle, the air diverter door opens above one compartment and simultaneously redirects the air, causing the dust to be released from the bag and fall into the hopper below. The cycle rotates between compartments so each is cleaned in rotation. Only one air diverter door is open at a time. During normal operation, all doors are closed.



OPERATIONS



HELPFUL TIP

For the most effective filtration, a small even thickness of material should coat the outside of the filter bags. This helps to trap more dust and improves the effectiveness of the filter bags.

Questions? Call 1-800-880-3878 for C & W Customer Support



Discussion/Action and Recommendation to the Mayor and City Council regarding a Conditional Use Permit (CUP) request to allow Hotel/Motel (Bed and Breakfast) use for certain real property located at 102 Short Street, legally described as ABS: 216 SUR: A S LEWIS 0.210 ACRES; ABS: 216 SUR: A S LEWIS 0.0600 ACRES.

Meeting	Agenda Group	
Wednesday, April 10, 2024, 6:30 PM	Discussion/Action Items	Item: 10D
From	Staff Contact(s)	
Grant Fore, Planner II	Grant Fore,	

PLANNING & ZONING COMMISSION ACTION:

Discussion/Action and Recommendation regarding the above referenced petition

PROPERTY INFORMATION:

Project Name: **CUP-24-01**
 Owners: R.H.S. Aquatic Construction, Inc.
 Representative: Richard H. Shepherd
 Location/Area: 102 Short Street, 0.210, 0.0600 acres
 Location: Short Street in Old Town
 Council District: 2
 Future Land Use: Neighborhood Residential
 Existing Zoning: High Density Single-Family Residential (SF-6)
 Overlay: Old Town Mixed Use Overlay
 Requested Zoning: Conditional Use Permit (CUP)
 Proposed Use: Hotel/Motel (Bed and Breakfast)

FINDINGS:

A zoning request is specifically about land use, not the future engineering of the land itself, and should meet criteria per [UDC Article 4.3.1.5](#). Decisions regarding future engineering of the land occur with the platting process, where the property's design is known. The subject property is zoned High Density Single-Family Residential (SF-6) zoning district. The subject property is directly adjacent to properties zoned (SF-6) High Density Single-Family Residential to the North, East and West and properties zoned Community Retail/Service (C-2) to the South. The subject property falls within the Old Town Mixed Use Overlay district.

The subject property is 0.21 and 0.06 acres in size. Though they are deeded as separate, they are part of one tract and will be considered one property, addressed 102 Short Street once platted. The property presently has one (1) single-family residential structure on the property. The applicant/owner, Richard Shepherd, is proposing to develop a 480 square foot "tiny home" on the property for use of Hotel/Motel (Bed and Breakfast) Air BNB.

Upon receiving an inquiry about on-going construction on the property in January of 2024, current Staff found that a building permit was erroneously issued for construction of the "tiny home" on February 6, 2023. Construction of the "tiny home" structure has since halted. A Stop Work Order was issued on January 31, 2024. The proposed Hotel/Motel (Bed and Breakfast) Air BNB component requires a Conditional Use Permit (CUP) for properties located in the Old Town mixed use overlay district.

Additionally, the subject property is not platted. Staff met with the owner/applicant and advised them of the Conditional Use Permit (CUP) and platting process.

PUBLIC NOTICE:

Notice was published within the local newspaper (Seguin Gazette) on March 24, 2024, and the [City Website](#). Individual letters were sent by mail to 20 property owners within 200' of the site. To date, Staff has received two (2) in favor of and zero (0) in opposition. Public Hearings are scheduled on April 10, 2024 (Planning & Zoning Commission) and on April 23, 2024 (City Council). Approval/Disapproval of the zoning ordinance is tentatively scheduled for the May 14, 2024, City Council meeting.

STAFF CONCLUSIONS:

Staff recommends, should Council approve the CUP for Hotel/Motel (Bed and Breakfast) located at 102 Short Street, that it be subject to the following conditions:

1. Off-Street Parking – One (1) additional parking space is required to comply with UDC Sec. 10.2 off-street parking requirements.
2. Building & Fire Codes – Applicant must comply with all Building and Fire Code requirements.
3. Permits & Inspections – All required building permits and Certificate of Occupancy must be obtained. All permit applications submitted for this property are subject to the requirements of the Code.
4. Additional Uses – No other conditional uses are allowed under this conditional use permit.
5. Hotel Occupancy Tax – Applicant must comply with all Hotel Occupancy Tax requirements applicable in the City of Cibola.
6. Plat – Applicant must submit a Subdivision Plat for review and approval to the City and record Plat upon completion.

PLANNING & ZONING RECOMMENDATION:

1. Recommend **Approval** to City Council for the requested CUP for Hotel/Motel (Bed and Breakfast) located at 102 Short Street, legally described as ABS: 216 SUR: A S LEWIS 0.210 ACRES; ABS: 216 SUR: A S LEWIS 0.0600 ACRES.
2. Recommend **Approval** to the City Council of the requested CUP for Hotel/Motel (Bed and Breakfast) located at 102 Short Street, legally described as ABS: 216 SUR: A S LEWIS 0.210 ACRES; ABS: 216 SUR: A S LEWIS 0.0600 ACRES., *and any additional conditions Planning & Zoning may require.*
3. Recommend **Denial** to City Council for the requested CUP for Hotel/Motel (Bed and Breakfast) located at 102 Short Street, legally described as ABS: 216 SUR: A S LEWIS 0.210 ACRES; ABS: 216 SUR: A S LEWIS 0.0600 ACRES., *with findings.*

STAFF ANALYSIS:

Unified Development Code (UDC) Section 4.3.2 – Conditional Use Permit Approval Considerations

A CUP is intended to provide some flexibility to traditional zoning by offering a mechanism to balance specific site constraints and development plans with the larger interest of the community and the integrity of the UDC. An application for a CUP follows the same process as a Zoning Map Amendment Process (rezoning). The Permit, if granted, may include conditions placed upon the development of the property. The Planning & Zoning Commission and City Council shall consider the following, at a minimum, in conjunction with its deliberations for approval or denial of the application and the establishment of conditions: *(for reference, UDC and Comprehensive/Master Plan)*

A. Consistency with the Comprehensive Master Plan;

Comprehensive/Master Plan – Future Land Use Categories – Neighborhood Residential

Appropriate Land Use Types: The appropriate primary uses allowed in areas designated as neighborhood residential include single-family residential, accessory residential units, home professions, large scale assembly, community recreation, local utility services, park and recreation services, primary and secondary education facilities, and safety services. Appropriate secondary uses include such things as accessory living quarters and residential units, greenhouses, life care services, day-care services, and nursery schools

Compatible Zoning Districts (P.43 from Comp Plan):

STAFF FINDING: The Comprehensive Master Plan calls out this parcel as Neighborhood Residential, with compatible zoning districts such as SF-4, which more closely aligns with the 2013 classification of SF-2 used in the Comprehensive Plan.

The hotel/motel (bed and breakfast) use is not listed as appropriate use type per the comprehensive plan.

B. Conformance with applicable regulation in this UDC and standards established by the UDC;
 Comprehensive/Master Plan – Future Land Use Categories – Neighborhood Residential

Intent & Character – The neighborhood residential future land use category is intended for areas that will be primarily developed with new single-family detached residential subdivisions. Development reflects a suburban to auto-oriented character; meaning that these areas are predominantly dominated by streets, driveways, and garages. Lot sizes and architectural styles are fairly uniform; but generally, new development density is between two and six units per acre.

STAFF FINDING: Although the hotel/motel (bed and breakfast) use is not listed as an appropriate use type per the Comprehensive Plan, staff finds it is consistent with the intent of Old Town Mixed Use Overlay (OT) because of the primarily residential nature and character of the use since it will function very similarly to a residential rental property other than it will be with short-term tenants.

C. Compatibility with existing or permitted uses on abutting sites, in terms of building height, bulk, scale, setbacks and open spaces, landscaping and site development, and access/circulation.

(2018) UDC Section 14.2.N.7. High Density Residential District (SF-6)

- a. Intent – The high-density residential district enables higher density (up to 5.5 units per acre) housing types, such as townhomes, garden homes, or duplex/triplex to be developed in closer proximity to collector streets. The district is intended to complement the suburban district and in fill areas of the Town Center, serving as a transitional use between commercial and single family uses. Mobile/ manufactured/modular homes are not permitted.
- b. Permitted uses –one (1) dwelling unit per lot, and community recreational facilities.
- c. Specific uses – subject to Site Plan approval, private recreational amenities, places of worship, schools.

Lot Area	Lot Width	Front Setback	Rear Setback	Side Setback	Max Impervious Coverage	Maximum Height
6,600 sq ft	60'	25'	10'	10'	60%	35'

- **STAFF FINDING:** The UDC provides lot design guidelines within the High Density Single-Family Residential (SF-6) Zoning District that are designed in scale for compatibility with surrounding mix of residential areas. The applicant property exceeds the lot size requirement for SF-6 properties. The property is required to be platted. The proposed “tiny home” structure will be reviewed for compliance with building setbacks during building permit review.

- **D. Potential unfavorable impacts on existing or permitted uses on abutting sites, the extent that such impacts exceed those which reasonably may result from use of the site by a permitted use;** (2018) UDC Section 13.1 Residential Uses allowed by right and with a Conditional Use Permit (CUP).SF-6 uses allowed by rightSF-6 allowed with CUPGreenhouse*Accessory Living QuartersHome Occupation*Accessory Residential Units, Residential DistrictManufactured Modular HousingCondominium ResidentialSingle-family ResidentialGroup ResidentialAssemblyPatio HomeCommunity RecreationDay Care Services (Family)*Local Utility ServicesDay Care Services (Group)*Park and Recreation ServicesDay Care Services (General Commercial)*Primary Educational FacilitiesLife Care Services*Safety ServicesNursery School*Secondary Educational FacilitiesConcrete/Asphalt Batching Plant (Temporary)*Subject to supplemental use regulations of UDC Article 6.Section 4.7.4.4.1 Old Town Mixed Use Overlay 4.7.4.4.1 Permitted Uses The uses

of the underlying zoning district from the official City zoning map, as amended, are permitted, to the extent that all applicable performance standards of this section are met. In addition to the permitted uses of the underlying district, the following uses are permitted within the OT district boundary: 1. Single-family residential, provided that this use takes access from a local public street. 2. Attached residential uses (Upper-story or behind primary structure) are permitted, provided that the residential use is clearly secondary to the primary commercial (C-2) use, the attached residential is not visible from right-of-way and the gross floor area of the entire structure does not include more than fifty (50%) percent residential uses. 3. Institutional uses such as, but not limited to parks, government offices, churches, schools, technical schools, hospitals shall be permitted. 4. Townhouse residential, condominium residential and duplex residential to 12 units per acre development density is permitted subject to the granting of a Conditional Use Permit, per the CUP requirements of Article 3 and 4.3.2 of this UDC.

-
- 5. **Hotel/Motel (Bed and Breakfast) are permitted subject to the granting of a CUP.**

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- STAFF FINDING:** This zoning district is suitable for uses permitted by the overlay provided the CUP is approved.

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- E. Modifications to the site plan which would result in increased compatibility or would mitigate potentially unfavorable impacts or would be necessary to conform to applicable regulations and standards and to protect the public health, safety, morals and general welfare.**

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- Comprehensive/Master Plan - Future Land Use Categories - Neighborhood Residential Moving Forward - The following recommendations should be considered as part of rezonings, development approvals, or improvements to existing regulations: New neighborhood residential developments with a planned large number of lots (e.g., 250 lots or greater) should be required to have at least two points of access to a collector roadway or greater in functional classification. Development approvals for new residential or nonresidential development should include dedication of thoroughfares and trails as within the adopted thoroughfare plan and trail plan maps. New neighborhoods should be served by roads with urban cross-sections and should serve vehicular, bicycle, and pedestrian users.

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- STAFF FINDING:** The requested CUP would be compatible with the intent of the Old Town District which is a component of the Comprehensive Plan because the proposed short-term rental use functions very much like a standard residential rental property in that it will maintain a residential character and will be limited in the number of occupants.

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- F. Safety and convenience of vehicular and pedestrian circulation in the vicinity, including traffic reasonably expected to be generated by the proposed use.**

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- STAFF FINDING:** Staff does not foresee this use will generate traffic issues as it will have a similar occupancy use to other single-family residential uses.

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- ATTACHMENTS**

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- Application

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- Letter of Intent

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- Site Plan

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- Staff Map

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- Responses

-

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Attachments

Application

Letter of Intent

Site Plan

Staff Map

Response 1

Response 2



City of Cibolo

Planning Department
201 Loop 539 W/P.O. Box 826
Cibolo, TX 78108
Phone: (210) 658 - 9900

UNIVERSAL APPLICATION - CONDITIONAL USE PERMIT

Please fill out this form completely, supplying all necessary information and documentation to support your request. *Please use a separate application for each submittal.* Your application will not be accepted until the application is completed and required information provided.

Project Name: 102 1/2
Total Acres: .27 Survey Name: ABS: 216 SUR: AS LEWIS Abstract No.: 216
Project Location (address): 102 SHORT ST.

Current Zoning: SF6 Overlay: None Old Town FM 78
Proposed Zoning: _____ # of Lots: 1 # of Units: 2
Please Choose One: Single-Family Multi-Family Commercial Industrial
 Other _____

Current Use: SHORT-TERM RENTAL Total Proposed Square Footage: 1,930
Proposed Use: SHORT-TERM RENTAL (Commercial/Industrial only)

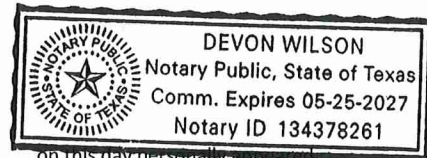
Applicant Information:

Property Owner Name: R. H. S. AQUATIC CONSTRUCTION INC.
Address: 1314 LUCKENBACH City: NEW BRAUNFELS
State: TX Zip Code: 78130 Phone: 830-708-6539
Email: r.shepherd@satex-rr.com Fax: N/A

*Applicant (if different than Owner): RICHARD H. SHEPHERD
* Letter of Authorization required
Address: 1314 LUCKENBACH City: NEW BRAUNFELS
State: TX Zip Code: 78130 Phone: 830-708-6539
Email: r.shepherd@satex-rr.com Fax: N/A

Representative: N/A
Address: _____ City: _____
State: _____ Zip Code: _____ Phone: _____
Email: _____ Fax: _____

Authorization: By signing this application, you hereby grant Staff access to your property to perform work related to your application.
Richard H. Shepherd
Owner or Representative's Signature
RICHARD H. SHEPHERD
Typed / Printed Name
State of Texas
County of Guadalupe
Before me, Devon Wilson
Name of Notary Public
Richard Shepherd
Name of signer(s)
Given under my hand and seal of office this 12th day of February 2024.



City of Cibolo Use Only	
Total Fees	
Payment Method	
Submittal Date	
Accepted by	
Case Number	

Devon Wilson
Notary Public Signature (Notary Seal)

102 Short St. Narrative.

My wife and I purchased the 102 Short St. property on 3-28-2019. We wanted rental property and decided it was best suited for "short term" rental. We enjoyed it so much we decided we wanted another one. Subsequently, we approached the Building Department on the options available and chose the accessory format, allowing a second structure on the same property.



Notice of Conditional Use Permit Request



February 20, 2024

Dear Property Owner,

In accordance with the Texas Local Government Code and the City of Cibolo Unified Development Code, you are receiving this official Notice of Conditional Use Permit request.

This notice does not directly pertain to your property.

The purpose of this letter is to make you aware of a Conditional Use Permit request near your property and provide you an opportunity to voice your opinion about the Conditional Use Permit request. Your opinion matters.

In accordance with the City of Cibolo Code of Ordinances, the Planning and Zoning Commission will hold a public hearing on **Wednesday, March 13, 2024 at 6:30 p.m.** at the **Council Chambers of the Cibolo City Hall located at 200 South Main Street, Cibolo, Texas**, and the City Council will hold a public hearing on **Tuesday, March 26, 2024 at 6:30 p.m.** at the **Council Chambers of the Cibolo City Hall located at 200 South Main Street, Cibolo, Texas.**

The Conditional Use Permit proposal is as follows:

The purpose of both meetings is to hear public testimony regarding a Conditional Use Permit (CUP) request to allow Accessory Residential Units, Residential District and Hotel/Motel (Bed and Breakfast) use for certain real property located at 102 Short Street, legally described as ABS: 216 SUR: A S LEWIS 0.210 ACRES.

Applicant/Owner: Richard Shepherd

Sincerely,
Grant Fore
Planner II
gfore@cibolotx.gov

REPLY NOTICE (CUP-24-01)

Name (please print): Matilde Troncoso + Romarita Troncoso
Address (In relation to Map Exhibit): 303 Werner St. Cibolo TX 78108

You or your representatives may attend either or both public hearings. In order to officially register your support or opposition to the Conditional Use Permit you must sign and return this form **prior to the scheduled public hearing** by one of the following options:

US MAIL:	City of Cibolo, Attn: Planning Department, 200 S Main Street, Cibolo, TX 78108
IN PERSON:	City Hall Annex: 201 W Loop 539, Cibolo, TX, 78108 (Mail NOT accepted at this address)
EMAIL:	Take a photo or scan it to planning@cibolotx.gov

In Favor Opposed

Comments:

Signature: Matilde Troncoso

Date: 2/26/2024



Notice of Conditional Use Permit Request



March 20, 2024

Dear Property Owner,

In accordance with the Texas Local Government Code and the City of Cibolo Unified Development Code, you are receiving this official Notice of Conditional Use Permit request.

The purpose of this letter is to make you aware of a Conditional Use Permit request for your property and provide you with an opportunity to voice your opinion about the Conditional Use Permit request. Your opinion matters.

In accordance with the City of Cibolo Code of Ordinances, the Planning and Zoning Commission will hold a public hearing on Wednesday, April 10, 2024 at 6:30 p.m. at the Council Chambers of City Hall located at 200 South Main Street, Cibolo, Texas, and the City Council will hold a public hearing on Tuesday, April 23, 2024 at 6:30 p.m. at the Council Chambers of City Hall located at 200 South Main Street, Cibolo, Texas.

The Conditional Use Permit proposal is as follows:

The purpose of both meetings is to hear public testimony regarding a Conditional Use Permit (CUP) request to allow a Hotel/Motel (Bed and Breakfast) use for certain real property located at 102 Short Street, legally described as ABS: 216 SUR: A S LEWIS 0.210 ACRES; ABS: 216 SUR: A S LEWIS 0.0600 ACRES.

Applicant/Owner: Richard Shepherd

Sincerely,
Grant Fore
Planner II
gfore@cibolotx.gov

REPLY NOTICE (CUP-24-01)
Name (please print): RICHARD H. SHEPHERD
Address (In relation to Map Exhibit): 102 SHORT ST.

You or your representatives may attend either or both public hearings. In order to officially register your support or opposition to the Conditional Use Permit you must sign and return this form prior to the scheduled public hearing by one of the following options:

US MAIL:	City of Cibolo, Attn: Planning Department, 200 S Main Street, Cibolo, TX 78108
IN PERSON:	City Hall Annex: 201 W Loop 539, Cibolo, TX, 78108 (Mail NOT accepted at this address)
EMAIL:	Take a photo or scan it to planning@cibolotx.gov

In Favor Opposed

Comments:

OUR CONTINUED USE HELPS TO CIBOLO ECONOMY AND I HELP KEEP THE NEIGHBORHOOD LOOKING GOOD BY MOWING NEIGHBORS' LAWNS

Signature: Richard H. Shepherd Date: 3-28-24



Discussion/Action and Recommendation to the Mayor and City Council on the Petition from Barbara Nehr and Joy Striegl related to the Property legally described as ABS: 141 SUR: F GARCIA 38.5854 AC. TR pursuant to Legislative Authority as authorized by Texas Local Government Code Section 42.023.

Meeting	Agenda Group	
Wednesday, April 10, 2024, 6:30 PM	Discussion/Action Items	Item: 10E
From	Staff Contact(s)	
Grant Fore, Planner II	Grant Fore,	

PLANNING & ZONING COMMISSION ACTION:

Discussion/Action on the Petition from Barbara Nehr and Joy Striegl related to the Property legally described as ABS: 141 SUR: F GARCIA 38.5854 AC. TR pursuant to Legislative Authority as authorized by Texas Local Government Code Section 42.023.

PROPERTY INFORMATION:

- Owner:** Joy Striegl; Barbara Nehr
- Representative:** Ashley Farrimond – Killen, Griffin & Farrimond, PLLC
- Area:** 37.604 acres
- Location:** Near Santa Clara Road and Ebert Road intersection
- Council District:** N/A, ETJ
- Zoning (map):** N/A, ETJ

BACKGROUND:

Chapter 42 of the Texas Government Code (TLGC) grants an owner of land within a municipality’s extraterritorial jurisdiction (ETJ) the authority to file a petition with the municipality for release from the ETJ. The owners of the subject property, Barbara Nehr and Joy Striegl, have petitioned for release of 37.604 acres from the City’s Extra-Territorial Jurisdiction (ETJ).

STAFF ANALYSIS:

According to Texas Local Government Code (TLGC) Chapter 42, it is the responsibility of the municipality to verify the following:

Confirm Applicability

1. Ensure that the property is located in Cibolo’s Extra-Territorial Jurisdiction (ETJ)
2. Confirm the property is not within 5 miles of a boundary of JBSA – Randolph.

Review Petition Requirements

1. Petition has been received by City Secretary or other responsible person
2. Verify the petition has been filed by either:
 - A resident of the property, or
 - The majority value landowner(s) of the property
3. Verify that the petition includes:
 - A map of the land to be released, and

- A legal description of the property boundary by either:

Metes and bounds description, or

Lot and Block

4. Verify that the petition includes signatures from either:

- Over 50% of the registered voters of the area, or
- The majority value land title holder(s) as indicated by the Appraisal District tax rolls

5. Verify that signatures:

- Written in signer's handwriting
- Contain signers

Printed name

Date of Birth, or Voter Registration Number

Residence address

Date of signature

- All signatures were obtained within 180 days from the date of the first signature
- Compliance with other requirements of Election Code Chapter 277

STAFF FINDING: Staff reviewed the petition and finds it meets all applicability and petition criteria to be considered.

There are currently challenges to the State of Texas' ETJ Release bill from the last legislative session. Until the status of this challenge is settled, it is recommended to deny ETJ release petitions.

RECOMMENDED ACTION & PROPOSED MOTION:

I move to deny Barbara Nehr and Joy Streigl's petition to remove property from the City's extra-territorial jurisdiction because Senate Bill 2038, Local Government Code Section 42.104 and Section 42.105 are all unconstitutional delegations of legislative authority in conflict with Local Government Code Section 42.023, and the City does not consent to removal of the property from its extra-territorial jurisdiction.

Attachments

Petition.pdf

Staff Map

KG KILLEN, GRIFFIN & FARRIMOND

ATTORNEYS AT LAW

March 14, 2024

Ms. Peggy Cimics
City Secretary
City of Cibolo
200 South Main Street
Cibolo, Texas 78108

VIA Courier Delivery

RE: Petition for Release of Property, Generally Located along South Santa Clara Road,
from the City of Cibolo's Extraterritorial Jurisdiction.

Dear Ms. Cimics,

Please find enclosed a Petition for Removal from the City of Cibolo's ("City") extraterritorial jurisdiction ("ETJ"). Texas Local Government Code §42.105 requires the City to notify the Owner or person who filed the petition of the results of the City's review of said petition. Accordingly, please use the following contact information for the required notice as well as for any additional communication necessary/desired by the City regarding this matter:

Ashley Farrimond
Killen, Griffin & Farrimond, PLLC
10101 Reunion Place, Suite 250
San Antonio, Texas 78216
ashley@kgftx.com
210-960-2750

We appreciate your prompt attention to this matter and look forward to receiving the notice described above. Should you have any questions regarding this matter, please do not hesitate to reach out to me at ashley@kgftx.com or 210-960-2750.

Sincerely,

KILLEN, GRIFFIN & FARRIMOND, PLLC

By: 
Ashley Farrimond

ENCLOSURES: AS STATED

**PETITION FOR RELEASE FROM THE EXTRATERRITORIAL
JURISDICTION OF THE CITY OF CIBOLO**

PURSUANT TO CHAPTER 42 OF THE TEXAS LOCAL GOVERNMENT CODE

Texas Local Government Code Chapter 42, Subchapter D (“Subchapter D”) grants an owner of land within a municipality’s extraterritorial jurisdiction (“ETJ”) the authority to file a petition with the municipality for release from the ETJ. In accordance with Subchapter D, Joyce Striegl and Barbara Nehr (“Petitioners”) hereby submits this petition (“Petition”) to the City of Cibolo (“City”), Texas, for the release of approximately 37.604 acres (the “Property”) (as further described in Exhibit “A”) from the City’s ETJ. In support of the Petition, the Petitioners present the following:

I. Petition Requirements

Subchapter D §42.104 includes requirements for a valid petition. This Petition satisfies these requirements, as further outlined below:

- 1) Petitioners. This Petition has been executed by the owners of a majority in value of the holders of title of the Property. Ownership of the Property is further documented in the attached deed (see Exhibit “B”) and the Guadalupe County tax rolls (see Exhibit “C”).
- 2) Area to be Released. This Petition includes a map and metes and bounds description of the Property to be released. The map and the metes and bounds are included in Exhibit “A”.

II. Municipal Action Following Receipt of Petition

Following the City’s receipt of this Petition, the Petitioner requests the City comply with the following requirements of Subchapter D:

- 1) Verification. The Petitioner requests that the City secretary, or other person responsible for verifying signatures at the City, verify this Petition in accordance with Subchapter D §42.105.
- 2) Notification. The Petitioner requests that the City provide notice regarding the results of this Petition to the Petitioner in accordance with Subchapter D §42.105(b).
- 3) Release. In accordance with Subchapter D §42.105(c) & (d), the City shall take action to release the Property immediately from the City’s ETJ. This release shall be completed within forty-five (45) days of receipt of this Petition or at the next City Council meeting that occurs thirty (30) days after receipt of this Petition. If the City fails to take action to release the Property from the City’s ETJ, the Property will be released by operation of law.

III. Exceptions to Application of Subchapter D

Subchapter D §42.101 includes five (5) exceptions for areas in which a tract may not be released from a municipality's ETJ. **The Property does not fall under any of these exceptions**, as further outlined below:

1) 5 Miles of Military Base. Subchapter D does not apply to property located within five (5) miles of the boundary of a military base at which an active training program is conducted.

The Property is not located within 5 miles of a military base at which an active training program is conducted.

2) Voluntary Annexation in Specific Area. Subchapter D does not apply to property that was voluntarily annexed into a municipality's ETJ, and that is located in a county in which 1) the population grew by more than fifty percent (50%) from the previous federal decennial census in the federal decennial census conducted in 2020; and 2) that has a population greater than 240,000.

The Property was not voluntarily annexed into the City's ETJ, nor does Guadalupe County satisfy the population requirements.

3) 15 Miles of Military Base. Subchapter D does not apply to property located:

- a. within an ETJ of a municipality with a population of more than 1.4 million;
- b. that is within fifteen (15) miles of the boundary of a military base at which an active training program is conducted; and
- c. located in a county with a population of more than two million (2,000,000).

The municipality and Guadalupe County do not satisfy these population requirements.

4) Subchapter D does not apply to property designated as an industrial district under Texas Local Government Code §42.044.

The Property is not designated as an industrial district under Texas Local Government Code §42.044.

5) Subchapter D does not apply to property subject to a strategic partnership agreement entered into under Texas Local Government Code §43.0751.

The Property is not subject to a strategic partnership agreement under §43.0751 of the Texas Local Government Code.

Wherefore, this Petition satisfies all of the requirements of Texas Local Government Code Chapter 42, Subchapter D for the release of land from the extraterritorial jurisdiction of the City of Cibolo, and the Petitioners respectfully request the City to release said land, as described herein.


Respectfully submitted, this ^{5th} ~~5th~~ ^{6th} ~~5th~~ March 2024.

PETITIONER:

By: 

Name: Joyce Striegl

Date: 03/06/2024


Date of Birth: 

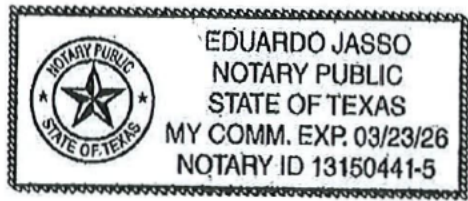
Residential Address: 

ACKNOWLEDGMENT

STATE OF TEXAS §
 §
COUNTY OF GALVESTON §

This instrument was acknowledged before me on this 6 day of March, 2024, by Joyce Striegl, Petitioner.


Notary Public, State of Texas



PETITIONER:

Date of Birth: [REDACTED]

Residential Address: [REDACTED]

By: Barbara Nehr

Name: Barbara Nehr

Date: 6th March 2024

ACKNOWLEDGMENT

STATE OF TEXAS §
 §
COUNTY OF GALVESTON §

This instrument was acknowledged before me on this 6 day of March, 2024, by Barbara Nehr, Petitioner.

Eduardo Jasso
Notary Public, State of Texas

- Attached:
Exhibit A – The Property (map, metes & bounds)
Exhibit B – Ownership Deed
Exhibit C – County Appraisal District Information

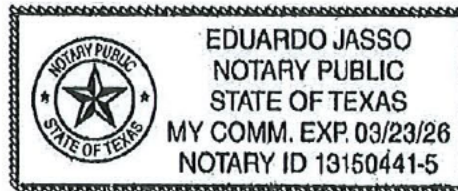
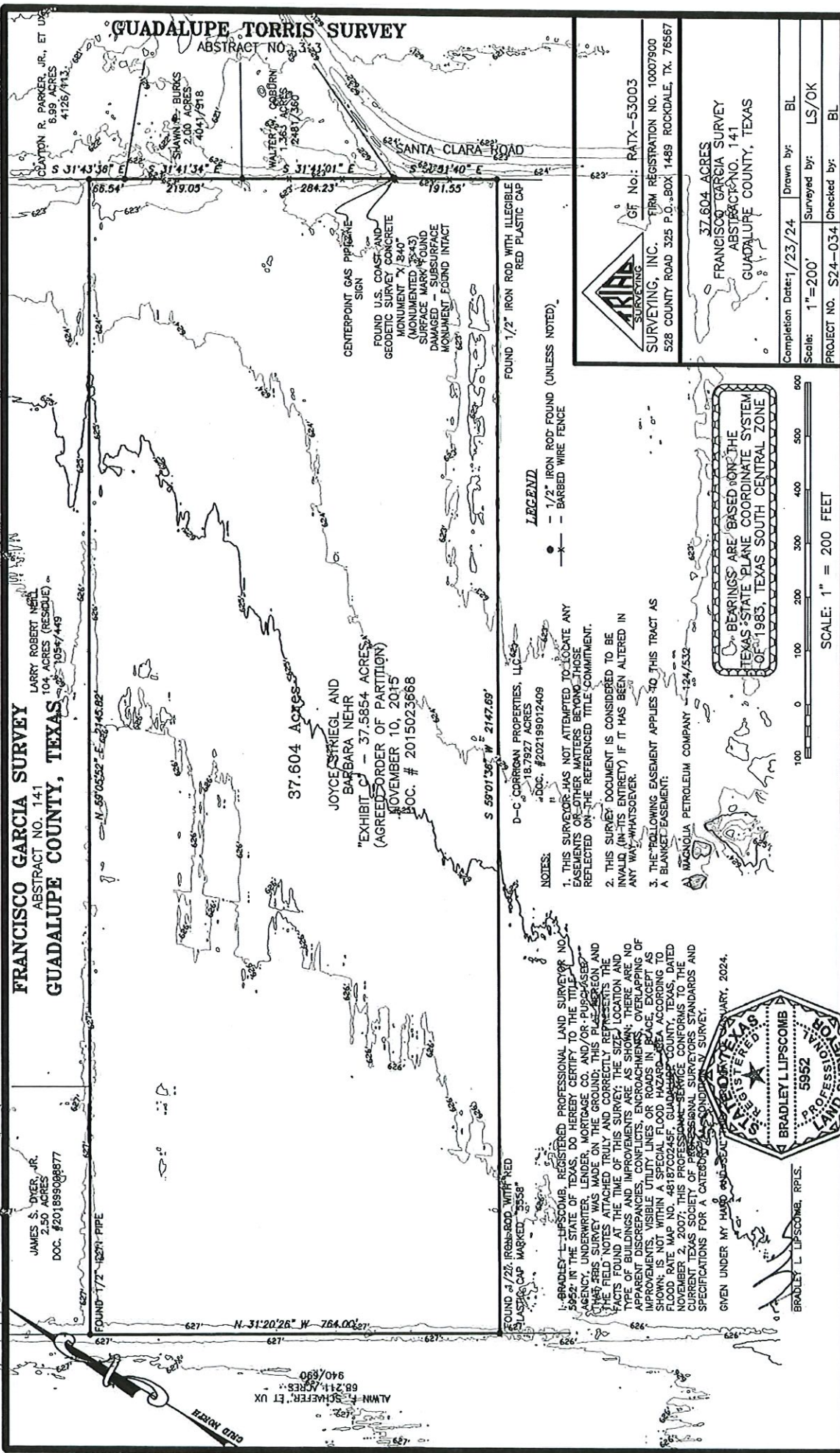


Exhibit A

Property



CLAYTON R. PARKER, JR., ET UX
5.99 ACRES
4126/1113

SHAWN W. BLURKS
2.00 ACRES
4043/918

WALTER COBURN
1.263 ACRES
2481/360

LARRY ROBERT NEHL
104 ACRES (RESERVE)
1054/449

JAMES S. DYER, JR.
2.50 ACRES
DOC. #20189908877

FRANCISCO GARCIA SURVEY
ABSTRACT NO. 141
GUADALUPE COUNTY, TEXAS

JOYCE STRIELGL AND
BARBARA NEHR
"EXHIBIT C" - 37.604 ACRES
(AGREED BORDER OF PARTITION)
NOVEMBER 10, 2015
DOC. # 2015023668

37.604 ACRES

D-C CORRIGAN PROPERTIES, LLC
18.7927 ACRES
DOC. #202199012409

SANTA CLARA ROAD

FRANCISCO GARCIA SURVEY
ABSTRACT NO. 141
GUADALUPE COUNTY, TEXAS

FRANCISCO GARCIA SURVEY
ABSTRACT NO. 141
GUADALUPE COUNTY, TEXAS

GUADALUPE TORRES SURVEY
ABSTRACT NO. 343

FOUND 1/2" IRON ROD WITH ILLIGIBLE
RED PLASTIC CAP

CENTERPOINT GAS PIPELINE
SIGN

FOUND U.S. COAST AND
GEODETIC SURVEY CONCRETE
MONUMENT "X" 2.840"
(MONUMENT 1343)
SURFACE MARK FOUND
DAMAGED - SUBSURFACE
MONUMENT FOUND INTACT

FOUND 1/2" IRON ROD FOUND (UNLESS NOTED)
RED PLASTIC CAP

LEGEND
● - 1/2" IRON ROD FOUND (UNLESS NOTED)
- - - BARBED WIRE FENCE

NOTES:
1. THIS SURVEYOR HAS NOT ATTEMPTED TO LOCATE ANY
EASEMENTS OR OTHER MATTERS BEYOND THOSE
REFLECTED ON THE REFERENCED TITLE COMMITMENT.
2. THIS SURVEY DOCUMENT IS CONSIDERED TO BE
INVALID (IN ITS ENTIRETY) IF IT HAS BEEN ALTERED IN
ANY WAY WHATSOEVER.
3. THE FOLLOWING EASEMENT APPLIES TO THIS TRACT AS
A BLANKET EASEMENT:
MAGNOLIA PETROLEUM COMPANY - 124/532

BEARINGS ARE BASED ON THE
TEXAS STATE PLANE COORDINATE SYSTEM
OF 1983, TEXAS SOUTH CENTRAL ZONE

SCALE: 1" = 200 FEET

COMPLETION DATE: 1/23/24
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SCALE: 1" = 200'
SURVEYED BY: LS/OK
PROJECT NO. S24-034
CHECKED BY: BL

BRADLEY L. LIPSCOMB
REGISTERED
LAND SURVEYOR
5952

BRADLEY L. LIPSCOMB, RPLS.

FOUND 1/2" IRON ROD WITH RED
PLASTIC CAP MARKED "3558"

1. BRADLEY L. LIPSCOMB, REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5952, IN THE STATE OF TEXAS, DO HEREBY CERTIFY TO THE TITLE AGENCY, UNDERWRITER, LENDER, MORTGAGE CO. AND/OR PURCHASER THAT THIS SURVEY WAS MADE ON THE GROUND; THIS PLAN, SECTION, AND THE FIELD NOTES ATTACHED TRULY AND CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF THIS SURVEY; THE SIZE, LOCATION AND TYPE OF BUILDINGS AND IMPROVEMENTS ARE AS SHOWN; THERE ARE NO IMPROVEMENTS VISIBLE TO THE UNASSISTED EYE ON THE GROUND EXCEPT THOSE SHOWN; THIS SURVEY IS MADE IN ACCORDANCE WITH THE FLOOD RATE MAP NO. 48187C0245F, GUADALUPE COUNTY, TEXAS, DATED NOVEMBER 2, 2007; THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATIONS FOR A CATEGORY 2 SURVEY.

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In Re: 37.604 Acres
All of a called 37.5854 Acre tract
Francisco Garcia Survey
Abstract No. 141
Guadalupe County, Texas

All that certain tract or parcel of land situated in Guadalupe County, Texas, being a part of the Francisco Garcia Survey, Abstract No. 141, being all of a called 37.5854 Acre tract (Exhibit C) conveyed to Joyce Striegl and Barbara Nehr by Agreed Order of Partition dated November 10, 2015 recorded in Document No. 2015023668 of the Official Records of Guadalupe County, Texas and being more particularly described by metes and bounds as follows to wit:

BEGINNING at a found ½” iron rod with illegible red plastic cap on the common line between the said Garcia Survey and the Guadalupe Torris Survey, A-313, on the west Right-of-Way line of Santa Clara Road (County Road), at the northeast corner of a called 18.7927 Acre tract conveyed to D-C Corrigan Properties, LLC in Document No. 202199012409, for the southeast corner of this tract;

THENCE S 59°01'36" W - 2147.69' along the north line of the said 18.7927 Acre tract to a found ½” iron rod with red plastic cap marked “5558” on the east line of a called 68.211 Acre tract conveyed to Alwin F. Schaeffer, et ux in Volume 940, Page 690, at the northwest corner of the said 18.7927 Acre tract, for the southwest corner of this tract;

THENCE N 31°20'26" W - 764.00' along the said east line of the 68.211 Acre tract to a found ½” iron pipe at the southwest corner of a called 2.50 Acre tract conveyed to James S. Dyer, Jr. in Document No. 201899008877, for the northwest corner of this tract;

THENCE N 59°05'52" E - 2145.82' along the south lines of the said 2.50 Acre tract and the residue of a called 104 Acre tract conveyed to Larry Robert Neill in Volume 1054, Page 449, respectively, to a found ½” iron rod on the said common line between the Garcia and Torris Surveys, the west line of a called 6.99 Acre tract conveyed to Clayton R. Parker, Jr., et ux in Volume 4126, Page 113, at the southeast corner of the said residue of the 104 Acre tract, for the northeast corner of this tract;

THENCE S 31°43'36" E - 66.54' along the approximate common line between the said Garcia and Torris Surveys, the west line of the 6.99 Acre tract to a found ½” iron rod at the southwest corner of the said 6.99 Acre tract, at the northwest corner of a called 2.00 Acre tract conveyed to Shawn P. Burks in Volume 4041, Page 918, for an interior ell corner of this tract;

Triad Surveying, Inc.
Firm Registration No. 10007900
P.O. Box 1489
Rockdale, Texas 76567
(512) 446-3457

Project No. S24-034

THENCE S 31°41'34" E - 219.05' continuing along the approximate common line between the said Garcia and Torris Surveys, the west line of the said 2.00 Acre tract to a found ½" iron rod at the southwest corner of the said 2.00 Acre tract, at the northwest corner of a called 1.363 Acre tract conveyed to Walter W. Coburn in Volume 2481, Page 360, for an interior ell corner of this tract;

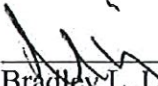
THENCE S 31°41'01" E - 284.23' continuing along the approximate common line between the said Garcia and Torris Surveys, the west line of the said 1.363 Acre tract to a found U.S. Coast and Geodetic Survey Concrete Monument designated as "X 840" monumented in 1943 (surface mark found damaged – subsurface monument found to be intact) at a turn in the said west Right-of-Way line of Santa Clara Road, at the southwest corner of the said 1.363 Acre tract, for an interior ell corner of this tract;

THENCE S 30°51'40" E - 191.55' continuing along the approximate common line between the said Garcia and Torris Surveys, the west Right-of-Way line of Santa Clara Road to the **POINT OF BEGINNING** containing within these metes and bounds 37.604 Acres of land.

Bearings are based on the Texas State Plane Coordinate System of 1983, Texas South Central Zone.

I, Bradley L. Lipscomb, Registered Professional Land Surveyor No. 5952 in the State of Texas, do hereby certify that this survey was performed on the ground under my supervision and that the field notes hereon are true and correct to the best of my knowledge.

Given under my hand and seal this 23rd day of January, 2024.


Bradley L. Lipscomb, RPLS



Triad Surveying, Inc.
Firm Registration No. 10007900
P.O. Box 1489
Rockdale, Texas 76567
(512) 446-3457

Project No. S24-034

Exhibit B

Deed

12/1/15

FILED
10:44 AM
NOV 12 2015
DEBRA CROW
Clerk, Dist. Court, Guadalupe Co. Tx.

NO. 15-1656-CV

CONRAD J. STRIEGL, JR.

§
§
§
§
§
§

IN THE DISTRICT COURT

V.

25th JUDICIAL DISTRICT

JOYCE STRIEGL, JOAN ZUROVEC
AND BARBARA NEHR

GUADALUPE COUNTY, TEXAS

AGREED ORDER OF PARTITION

On the ____ day of _____, 2015, the Court considered this case. The Court finds that the parties have reached an agreement with respect to the partition of the real property made the subject of this case, as evidenced by the signatures below. After having considered the evidence and pleadings on file, the Court is of the opinion and finds that the partition set forth hereinbelow is fair and lawful in all respects.

The Court finds that the parties are tenants in common with respect to the following described real property:

"A 75.130 acre tract of land fronting on the southwest right-of-way line of the Santa Clara Road situated in Guadalupe County, Texas; being the same 75 acres more or less out of the F. Garcia Survey conveyed by Dale Striegl to Conrad J. Striegl according to deed recorded in Volume 342, Page 253, Guadalupe County Deed Records; being out of the northwesterly portion of a 100.0 acre tract of land out of the F. Garcia Survey conveyed by Ben C. Krueger and wife, Agnes Krueger to Conrad J. Striegl and wife, Dale Striegl according to deed recorded in Volume 248, Page 467-7, Guadalupe County Deed Records; said 100 acres being the southeast portion of a 232.1 acre tract out of the F. Garcia and Guadalupe Torres Survey No. 69 conveyed by C.A. Krueger to Ben C. Krueger according to deed recorded in Volume 227, Page 487, Guadalupe County Deed Records; said 75.130 acre tract being more particularly described as follows:

BEGINNING at an iron pin set on the southwest right-of-way line of the Santa Clara Road at the most easterly corner of



this tract and the most northerly corner of a 25.00 acre tract, said pin being N. 29°40' W. along the southwest right-of-way line of the Santa Clara Road a distance of 509.50 feet from its intersection with the northwest right-of-way line of County Road;

THENCE S. 60°10'00" W., along the common line between this tract and said 25 acre tract, a distance of 2139.82 feet to an iron pin set in the southwest line of said 100 acre tract for the southerly corner of this tract and the most westerly corner of said 25 acre tract;

THENCE N. 30°12'30" W. with fence a distance of 1525.59 feet to a fence post for the most westerly corner of said 100 acre tract and of this tract;

THENCE N. 60°10'24" E. with fence a distance of 2145.65 feet to an iron pin set at the most northerly corner of said 100 acre tract and of this tract;

THENCE S. 30°31'42" with fence a distance of 571.84 feet to a concrete monument found at an angle point on the westerly right-of-way line of the Santa Clara Road at a corner in a turn in said road from the northwest to the northeast;

THENCE S. 29°40' E. along the southwest right-of-way line of the Santa Clara Road, a distance of 953.51 feet to the place of beginning, and containing 75.130 acres of land. "
(hereinafter, "The Property")

The Court further finds that the property is comprised solely of acreage and is divisible in kind.

Accordingly, IT IS ORDERED, ADJUDGED AND DECREED that Conrad J. Striegl, Jr. is hereby awarded a tract of land specifically described in Exhibit "A" attached hereto and incorporated herein for all purposes.

IT IS FURTHER ORDERED, ADJUDGED AND DECREED that Joan Zurovec is hereby awarded a tract of land specifically described in Exhibit "B" attached hereto and incorporated herein for all purposes.

Agreed Order of Partition



IT IS FURTHER ORDERED, ADJUDGED AND DECREED that Joyce Striegl and Barbara Nehr are hereby awarded a tract of land specifically described in Exhibit "C" attached hereto and incorporated herein for all purposes, to be held as tenants in common.

IT IS FURTHER ORDERED, ADJUDGED AND DECREED that title to each tract of land described in Exhibits "A," "B," and "C" hereto be, and the same hereby is, vested in the party to whom such tract is awarded, as against each of the under signed parties to this suit and against their heirs, executors, administrators, successors and assigns, as fully and effectively as if deeds by those parties conveyed such title. This decree shall have the same force and effect as a full Warranty Deed of Conveyance between and among such parties.

IT IS FURTHER ORDERED, ADJUDGED AND DECREED that the fees of the surveyor, Jeffrey B. Berger, in the amount of \$2,018.75 are taxed as costs to be paid by the parties together with all other costs of this cause, in accordance with the following schedule:

Conrad J. Striegl, Jr.	25%
Joan Zurovec	25%
Joyce Striegl	25%
Barbara Nehr	25%

This Judgment is final and disposes of all matters in controversy as to all parties.

All relief not expressly granted herein is DENIED.

JUDGE PRESIDING
10 November 2015

Agreed Order of Partition


I, DEBRA CROW, Clerk of the District Courts, in Guadalupe County, Texas, certify this copy is true and correct as FILED & RECORDED in the Official Court Records of District Court Page
Given under my hand and seal of office in Seguin, Texas on the 12 day of November, 2015.
DEBRA CROW, District Clerk, Guadalupe County, Texas

By: Deputy

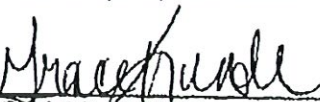


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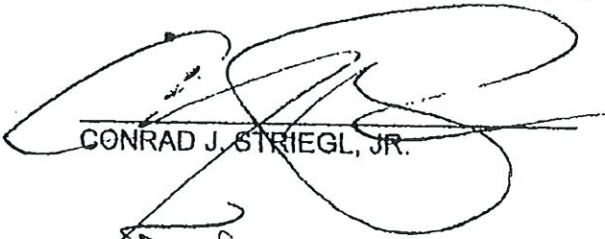
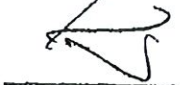
Law Offices of Keith P. Miller, P.C.
14350 Northbrook Suite 150
San Antonio, Texas 78232
Telephone: (210) 524-9040
Telecopier: (210) 267-2982

By: 
KEITH P. MILLER
State Bar No. 14093725
kmiller@kpmlawpc.com
MEGAN KUCERA
megan@kpmlawpc.com
State Bar No. 24076449

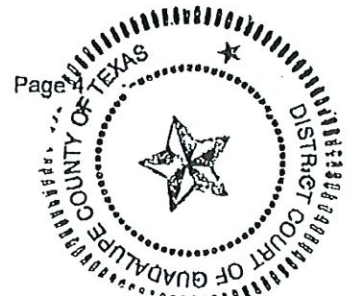
Grace G. Kunde
100 S. Austin
Seguin, Texas 78155
Telephone: (210) 658-7799
Telecopier: (210) 658-9299

By: 
GRACE KUNDE
State Bar No. 11762675
Grace.kunde@iblupezlaw.com

APPROVED AS TO FORM AND SUBSTANCE WITH ENTRY REQUESTED:


CONRAD J. STRIEGL, JR.

JOYCE STRIEGL

Agreed Order of Partition



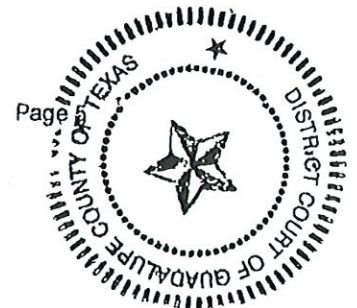
Joan T. Zurovec

JOAN ZUROVEC

Barbara

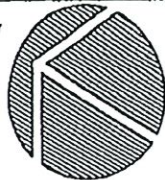
BARBARA NEHR

Agreed Order of Partition



SURVEYOR'S NOTE: BEARINGS ARE BASED ON THE DEED OF A 75.130 ACRE TRACT AS RECORDED IN VOLUME 2842, PAGE 639, OFFICIAL PUBLIC RECORDS OF GUADALUPE COUNTY, TEXAS.

LEGEND:
C.M. = CONTROLLING MONUMENT



SCALE: 1" = 300'

SURVEYOR'S NOTES:
1. A METES AND BOUNDS DESCRIPTION WAS PREPARED AS A PART OF THIS SURVEY.
2. ALL CORNERS SET ARE MARKED WITH A 1/2" STEEL ROD WITH A RED PLASTIC CAP STAMPED "RPLS 5558".

CLAYTON R. PARKER, JR. AND WIFE TELLIE M. PARKER
1.04 ACRE TRACT
VOLUME 4125, PAGE 113

SHAW F. BURKE
2.00 ACRE TRACT
VOLUME 4841, PAGE 518

WALTER W. COBURN
1.163 ACRE TRACT
VOL. 2481, P.C. 389

SANTA CLARA ROAD

S 29°40'34" E
382.16' (FIELD)

H 29°42'59" W

N 60°10'00" E 2143.87'

**TRACT "A"
18.7927 ACRES**

S 60°10'00" W 2140.24' (FIELD)
S 60°10'00" W 2139.82' (DEED)
(BASIS OF BEARINGS)

CHARLES MATTHEW GARDNER
10.00 ACRE TRACT
VOLUME 3166, PAGE 309

LARRY KREBBS
10.00 ACRE TRACT
VOLUME 482, PAGE 700

RODNEY DALE KREBBS
1.50 ACRE TRACT
VOLUME 555, PAGE 480

BOLTON ROAD

REMAINING PORTION OF
75.130 ACRE TRACT
VOLUME 2842, PAGE 639

LARRY ROBERT NZL
REMAINING PORTION OF A 1.04 ACRE TRACT
VOLUME 1054, PAGE 449

BRENDA J. DYER
1.00 ACRE TRACT
VOLUME 2031, PAGE 203

ALVIN F. SCHAEFER AND WIFE, IRENE SCHAEFER
68.211 ACRE TRACT
VOLUME 940, PAGE 690

SURVEY PREPARED FOR:
CONRAD J. STRIEGL, JR.

**F. GARCIA SURVEY
ABSTRACT 141**

PLAT SHOWING:
18.7927 ACRE TRACT SITUATED IN THE F. GARCIA SURVEY, ABSTRACT 141, GUADALUPE COUNTY, TEXAS AND BEING OUT OF A 75.130 ACRE TRACT AS DESCRIBED IN A CONVEYANCE FROM ROSLAND D. STRIEGL OLIVER TO JOYCE LEE STRIEGL RECORDED IN VOLUME 2842, PAGE 639, OFFICIAL PUBLIC RECORDS OF GUADALUPE COUNTY, TEXAS SANTA CLARA ROAD



STATE OF TEXAS
COUNTY OF WILSON

I HEREBY STATE THAT THE ABOVE PLAT IS BASED ON AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION AND THAT THERE ARE NO VISIBLE EASEMENTS OR ENCROACHMENTS OF BUILDINGS ON ADJOINING PROPERTY AND THAT BUILDINGS ARE WHOLLY LOCATED ON THIS PROPERTY EXCEPT AS SHOWN ABOVE.

This 7TH day of OCTOBER, 2015 A.D.

Jeffrey B. Berger RPLS
JEFFREY B. BERGER, REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5558
FILE NAME: BLS15228_FNL.DWG Job No. BLS15228

Reference:
VOLUME 2842, PAGE 639,
OFFICIAL PUBLIC RECORDS
OF GUADALUPE COUNTY, TEXAS.

BERGER LAND SURVEYING
TBPLS FIRM NO. 10171400
172 ROSEWOOD DRIVE
LA VERGNA, TEXAS 78121-4755
PHONE (830) 217-4228 FAX (868) 606-3636



TRACT B
(JOAN ZUROVEC)
METES AND BOUNDS DESCRIPTION OF A 18.7927 ACRE TRACT

Being an 18.7927 acre tract situated in the F. Garcia Survey, Abstract 141, Guadalupe County, Texas and being out of a 75.130 acre tract as described in a conveyance from Rosland G, Striegl Oliver to Joyce Lee Striegl recorded in Volume 2842, Page 639, Official Public Records of Guadalupe County, Texas; said 18.7927 acre tract surveyed by Jeffrey B. Berger, R.P.L.S. No. 5558 and being more particularly described as follows:

BEGINNING a 1/2" steel rod with a red plastic cap stamped "RPLS 5558" set on the southwest line of Santa Clara Road for the east corner of the herein described tract; said point being located North 29° 40' 34" West 382.16 feet (deed call North 29° 40' West) generally along the remnants of a barbed wire fence with said southwest line of Santa Clara Road from a 1/2" steel rod found (controlling monument) at the east corner of said 75.130 acre tract and the north corner of a 10.00 acre tract as described in a conveyance to Charles Matthew Gardener recorded in Volume 3186, Page 389, Official Public Records of Guadalupe County, Texas;

THENCE South 60° 10' 00" West 2143.87 feet over and across said 75.130 acre tract to a 1/2" steel rod with a red plastic cap stamped "RPLS 5558" set on the northeast line of a 68.211 acre tract as described in a conveyance to Alvin F. Schaefer and wife, Irene Schaefer recorded in Volume 940, Page 690, Official Public Records of Guadalupe County, Texas for the south corner of the herein described tract;

THENCE North 30° 13' 12" West 381.52 feet (deed call North 30° 12' 30" West) generally along the remnants of a barbed wire fence with the common line of said 75.130 acre tract and said 68.211 acre tract to a 1/2" steel rod with a red plastic cap stamped "RPLS 5558" set for the west corner of the herein described tract;

THENCE North 60° 10' 00" East 2147.49 feet over and across said 75.130 acre tract to a 1/2" steel rod with a red plastic cap stamped "RPLS 5558" set on said southwest line of Santa Clara Road for the north corner of the herein described tract;

THENCE South 29° 40' 34" East 381.52 feet (deed call South 29° 40' East) generally along the remnants of a barbed wire fence with said southwest line of Santa Clara Road to the POINT OF BEGINNING and containing 18.7927 acres, more or less.

Surveyor's Notes:

- 1. Bearings are based on the southeast line of said 75.130 acre tract as recorded in Volume 2842, Page 639, Official Public Records of Guadalupe County, Texas. (South 60° 10' 00" West)
- 2. A survey plat was prepared this same date as a part of this survey.

STATE OF TEXAS §
October 7, 2015
COUNTY OF WILSON §

It is hereby stated that the above description was prepared from an actual survey on the ground of the described 18.7927 acre tract made under my supervision.



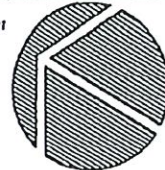
Jeffrey B. Berger
Jeffrey B. Berger, Registered Professional Land Surveyor No. 5558

BERGER LAND SURVEYING
172 ROSEWOOD DRIVE
LA VERNIA, TEXAS 78121-4756
Phone: (830) 217-4228
Fax: (866) 806-3636
TBPLS Firm No. 100171400



SURVEYOR'S NOTE: BEARINGS ARE BASED ON THE DEED OF A 75.130 ACRE TRACT AS RECORDED IN VOLUME 2842, PAGE 639, OFFICIAL PUBLIC RECORDS OF GUADALUPE COUNTY, TEXAS.

LEGEND:
C.M. - CONTROLLING MONUMENT



SCALE: 1" = 300'

SURVEYOR'S NOTES:
1. A METES AND BOUNDS DESCRIPTION WAS PREPARED AS A PART OF THIS SURVEY.
2. ALL CORNERS SET ARE MARKED WITH A 1/2" STEEL ROD WITH A RED PLASTIC CAP STAMPED "RPLS 5558".

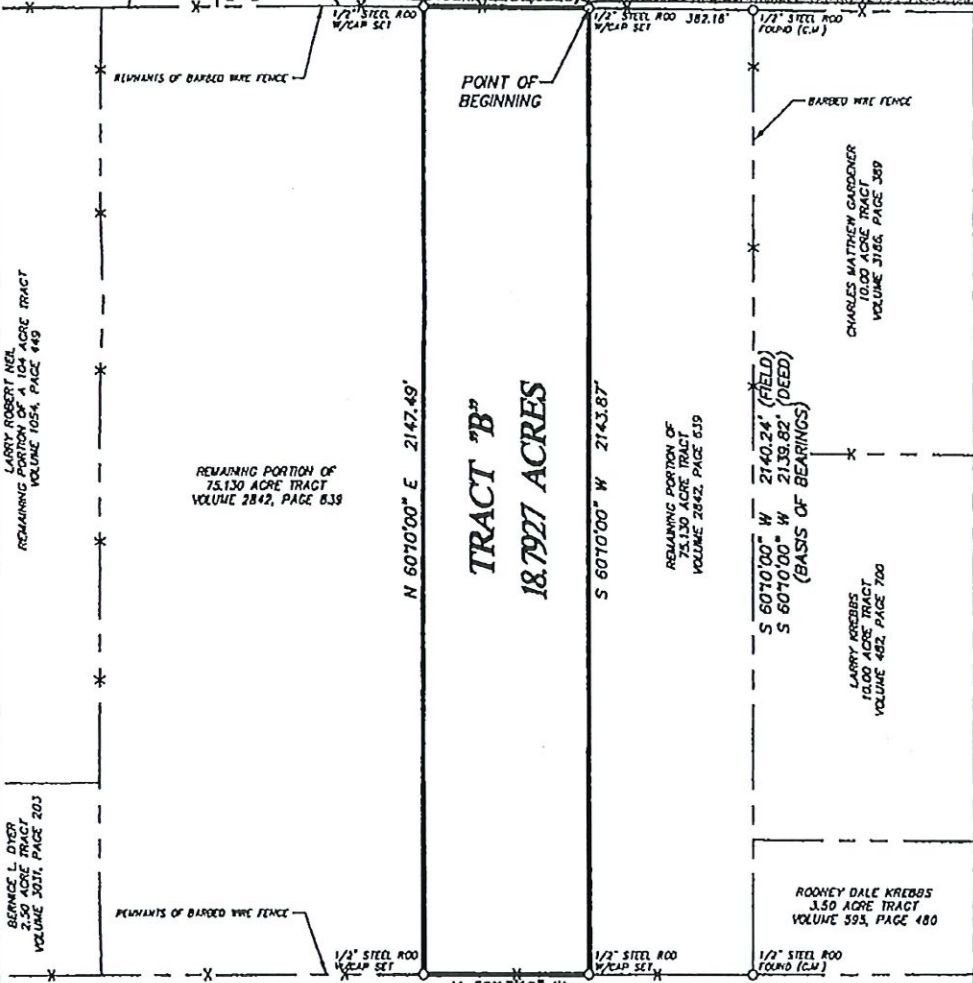
CLAYTON R. PARKER, JR. AND WIFE, STELLA L. PARKER
8.99 ACRE TRACT
VOLUME 4126, PAGE 713

SWANN R. PARKER
200 ACRE TRACT
VOLUME 4041, PAGE 318

WALTER W. COBURN
1,203 ACRE TRACT
VOL. 2481, PG. 380

SANTA CLARA ROAD

S 29°40'34" E
381.52' (FIELD)



**TRACT "B"
18.7927 ACRES**

CLARY ROBERT WEL
REMAINING PORTION OF
75.130 ACRE TRACT
VOLUME 1054, PAGE 449

REMAINING PORTION OF
75.130 ACRE TRACT
VOLUME 2842, PAGE 639

REMAINING PORTION OF
75.130 ACRE TRACT
VOLUME 2842, PAGE 639

S 60°10'00" W 2140.24' (FIELD)
S 60°10'00" W 2139.82' (DEED)
(BASIS OF BEARINGS)

CHARLES MATTHEW GARDNER
10.00 ACRE TRACT
VOLUME 3186, PAGE 309

LARRY KREBS
10.00 ACRE TRACT
VOLUME 482, PAGE 700

RODNEY DALE KREBS
3.50 ACRE TRACT
VOLUME 593, PAGE 180

N 30°13'12" W
381.52' (FIELD)
N 30°12'30" W (DEED)

ALVIN F. SCHAEFER AND WIFE, IRENE SCHAEFER
68.211 ACRE TRACT
VOLUME 940, PAGE 690

SURVEY PREPARED FOR:
JOAN ZUROVEC

**F. GARCIA SURVEY
ABSTRACT 141**

PLAT SHOWING:
18.7927 ACRE TRACT SITUATED IN THE F. GARCIA SURVEY, ABSTRACT 141, GUADALUPE COUNTY, TEXAS AND BEING OUT OF A 75.130 ACRE TRACT AS DESCRIBED IN A CONVEYANCE FROM ROSLAND D. STRIEGL OLIVER TO JOYCE LEE STRIEGL RECORDED IN VOLUME 2842, PAGE 639, OFFICIAL PUBLIC RECORDS OF GUADALUPE COUNTY, TEXAS SANTA CLARA ROAD



STATE OF TEXAS
COUNTY OF WILSON

I HEREBY STATE THAT THE ABOVE PLAT IS BASED ON AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION AND THAT THERE ARE NO VISIBLE EASEMENTS OR ENCRoACHMENTS OF BUILDINGS ON ADJOINING PROPERTY AND THAT BUILDINGS ARE WHOLLY LOCATED ON THIS PROPERTY EXCEPT AS SHOWN ABOVE.

This 7TH day of OCTOBER, 2015 A.D.

Jeffrey B. Berger
JEFFREY B. BERGER, REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5558
FILE NAME: BLS15228_FINAL.DWG Job No. BLS15228

Reference:
VOLUME 2842, PAGE 639,
OFFICIAL PUBLIC RECORDS
OF GUADALUPE COUNTY, TEXAS.

PREPARED BY
BERGER LAND SURVEYING
TEPLS FIRM NO. 10171400
172 ROSEWOOD DRIVE
LA VERNA, TEXAS 78121-4756
PHONE (830) 217-4228 FAX (866) 806-3636



TRACT C
(JOYCE STRIEGL AND BARBARA NEHR)
METES AND BOUNDS DESCRIPTION OF A 37.5854 ACRE TRACT

Being an 37.5854 acre tract situated in the F. Garcia Survey, Abstract 141, Guadalupe County, Texas and being out of a 75.130 acre tract as described in a conveyance from Rosland G. Striegl Oliver to Joyce Lee Striegl recorded in Volume 2842, Page 639, Official Public Records of Guadalupe County, Texas; said 37.5854 acre tract surveyed by Jeffrey B. Berger, R.P.L.S. No. 5558 and being more particularly described as follows:

BEGINNING a 1/2" steel rod with a red plastic cap stamped "RPLS 5558" set on the southwest line of Santa Clara Road for the east corner of the herein described tract; said point being located North 29° 40' 34" West 763.68 feet (deed call North 29° 40' West) generally along the remnants of a barbed wire fence with said southwest line of Santa Clara Road from a 1/2" steel rod found (controlling monument) at the east corner of said 75.130 acre tract and the north corner of a 10.00 acre tract as described in a conveyance to Charles Matthew Gardener recorded in Volume 3186, Page 389, Official Public Records of Guadalupe County, Texas;

THENCE South 60° 10' 00" West 2147.49 feet over and across said 75.130 acre tract to a 1/2" steel rod with a red plastic cap stamped "RPLS 5558" set on the northeast line of a 68.211 acre tract as described in a conveyance to Alvin F. Schaefer and wife, Irene Schaefer recorded in Volume 940, Page 690, Official Public Records of Guadalupe County, Texas for the south corner of the herein described tract;

THENCE North 30° 13' 12" West 763.58 feet (deed call North 30° 12' 30" West) generally along the remnants of a barbed wire fence with the common line of said 75.130 acre tract and said 68.211 acre tract to an iron pipe found at the south corner of a 2.50 acre tract as described in a conveyance to Bernice L. Dyer recorded in Volume 3031, Page 203, Official Public Records of Guadalupe County, Texas, for the west corner of said 75.130 acre tract and the herein described tract;

THENCE North 60° 14' 14" East 2146.16 feet (deed call North 60° 10' 24" East 2145.65 feet) generally along a wire fence and the remnants of a barbed wire fence with the common line of said 75.130 acre tract, said 2.50 acre tract, and the remaining portion of a 104 acre tract as described in a conveyance to Larry Robert Neil recorded in Volume 1054, Page 449, Official Public Records of Guadalupe County, Texas to a 1/2" steel rod found on the southwest line of a 6.99 acre tract as described in a conveyance to Clayton R. Parker, Jr. and wife, Stella L. Parker recorded in Volume 4126, Page 113, Official Public Records of Guadalupe County, Texas at the east corner of said remaining portion of a 104 acre tract, for the north corner of said 75.130 acre tract and the herein described tract;

THENCE South 30° 32' 16" East 569.75 feet (deed call South 30° 12' 42" East 571.84 feet) generally along the remnants of a barbed wire fence with the common line of said 75.130 acre tract, said 6.99 acre tract, a 2.00 acre tract as described in a conveyance to Shawn P. Burks recorded in Volume 4041, Page 918, Official Public Records of Guadalupe County, Texas, and a 1.363 acre tract as described in a conveyance to Walter W. Coburn recorded in Volume 2481, Page 360, Official Public Records of Guadalupe County, Texas to a concrete monument found at the south corner of said 1.363 acre tract, an angle point of said Santa Clara Road, and an angle point of said 75.130 acre tract and the herein described tract;

THENCE South 29° 40' 34" East 191.22 feet (deed call South 29° 40' East) generally along the remnants of a barbed wire fence with said southwest line of Santa Clara Road to the POINT OF BEGINNING and containing 37.5854 acres, more or less.

Surveyor's Notes:

- 1. Bearings are based on the southeast line of said 75.130 acre tract as recorded in Volume 2842, Page 639, Official Public Records of Guadalupe County, Texas, (South 60° 10' 00" West)
- 2. A survey plat was prepared this same date as a part of this survey.

STATE OF TEXAS §

October 7, 2015

COUNTY OF WILSON §

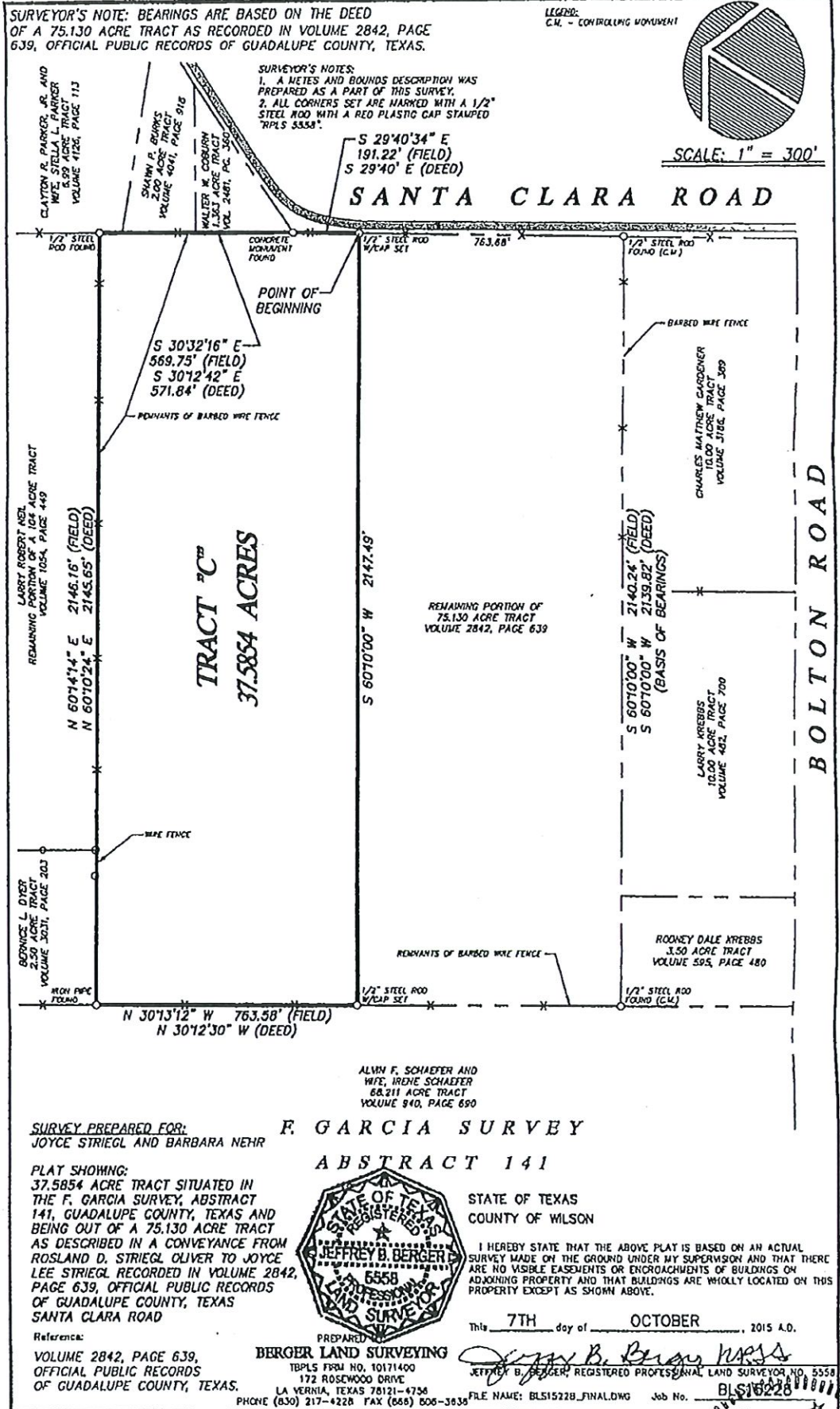
It is hereby stated that the above description was prepared from an actual survey on the ground of the described 37.5854 acre tract made under my supervision.



Jeffrey B. Berger
Jeffrey B. Berger, Registered Professional Land Surveyor No. 5558

BERGER LAND SURVEYING
172 ROSEWOOD DRIVE
LA VERNIA, TEXAS 78121-4756
Phone: (830) 217-4228
Fax: (866) 806-3636
TBPLS Firm No. 100171400





SURVEY PREPARED FOR:
JOYCE STRIEGL AND BARBARA NEHR

**F. GARCIA SURVEY
ABSTRACT 141**

PLAT SHOWING:
37.5854 ACRE TRACT SITUATED IN THE F. GARCIA SURVEY, ABSTRACT 141, GUADALUPE COUNTY, TEXAS AND BEING OUT OF A 75.130 ACRE TRACT AS DESCRIBED IN A CONVEYANCE FROM ROSLAND D. STRIEGL OLIVER TO JOYCE LEE STRIEGL RECORDED IN VOLUME 2842, PAGE 639, OFFICIAL PUBLIC RECORDS OF GUADALUPE COUNTY, TEXAS SANTA CLARA ROAD



STATE OF TEXAS
COUNTY OF WILSON

I HEREBY STATE THAT THE ABOVE PLAT IS BASED ON AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION AND THAT THERE ARE NO VISIBLE EASEMENTS OR ENCROACHMENTS OF BUILDINGS ON ADJOINING PROPERTY AND THAT BUILDINGS ARE WHOLLY LOCATED ON THIS PROPERTY EXCEPT AS SHOWN ABOVE.

This 7TH day of OCTOBER, 2015 A.D.

Reference:
VOLUME 2842, PAGE 639,
OFFICIAL PUBLIC RECORDS
OF GUADALUPE COUNTY, TEXAS.

BERGER LAND SURVEYING
 TP&LS FORM NO. 10171400
 172 ROSEWOOD DRIVE
 LA VERNA, TEXAS 78121-4754
 PHONE (830) 217-4228 FAX (866) 806-3638

Jeffrey B. Berger
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5558
 FILE NAME: BLS15228_FINAL.DWG Job No. BLS15228



Keith P. Miller
kmiller@kpmllawpc.com

Office: (210) 524-9040



LAW OFFICES OF
KEITH P. MILLER

Electronically Filed
11/9/2015 1:50:36 PM
Debra Crow
Guadalupe County Clerk
Megan Kucera
megan.kucera@kpmllawpc.com
Colinda Burns, Deputy
Fax: (210) 267-2982

November 9, 2015

Presiding Judge
25th Judicial District Court, Guadalupe County
211 W. Court Street, Suite 209
Seguin, Texas 78155

Re: Cause No. 15-1656-CV; Conrad J. Striegl, Jr. vs. Joyce Striegl, Joan Zurovec and Barbara Nehr

Dear Judge:

Please see attached Agreed Order of Partition signed by all parties involved. Please sign and return to our office at your earliest convenience. If anything further is needed, please contact me at the number listed above.

Sincerely,

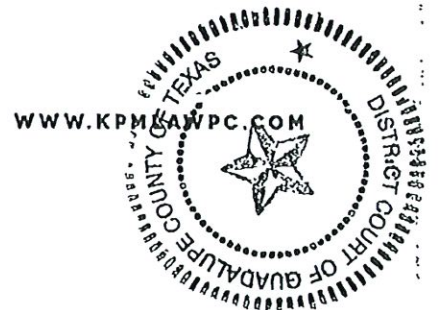
/s/ Jessica A. Spain

Jessica A. Spain
Paralegal to Keith P. Miller

/jas
enclosures



Law Offices of Keith P. Miller, PC
14350 Northbrook, Ste 150 • San Antonio, TX 78232





This page has been added by the Guadalupe County Clerk's office to comply with the statutory requirement that the recording information shall be placed at the foot of the record.

2015023668
FILED AND RECORDED
OFFICIAL PUBLIC RECORDS
11/18/2015 10:41:54 AM
PAGES: 13
TERESA KIEL, COUNTY CLERK
GUADALUPE COUNTY, TEXAS



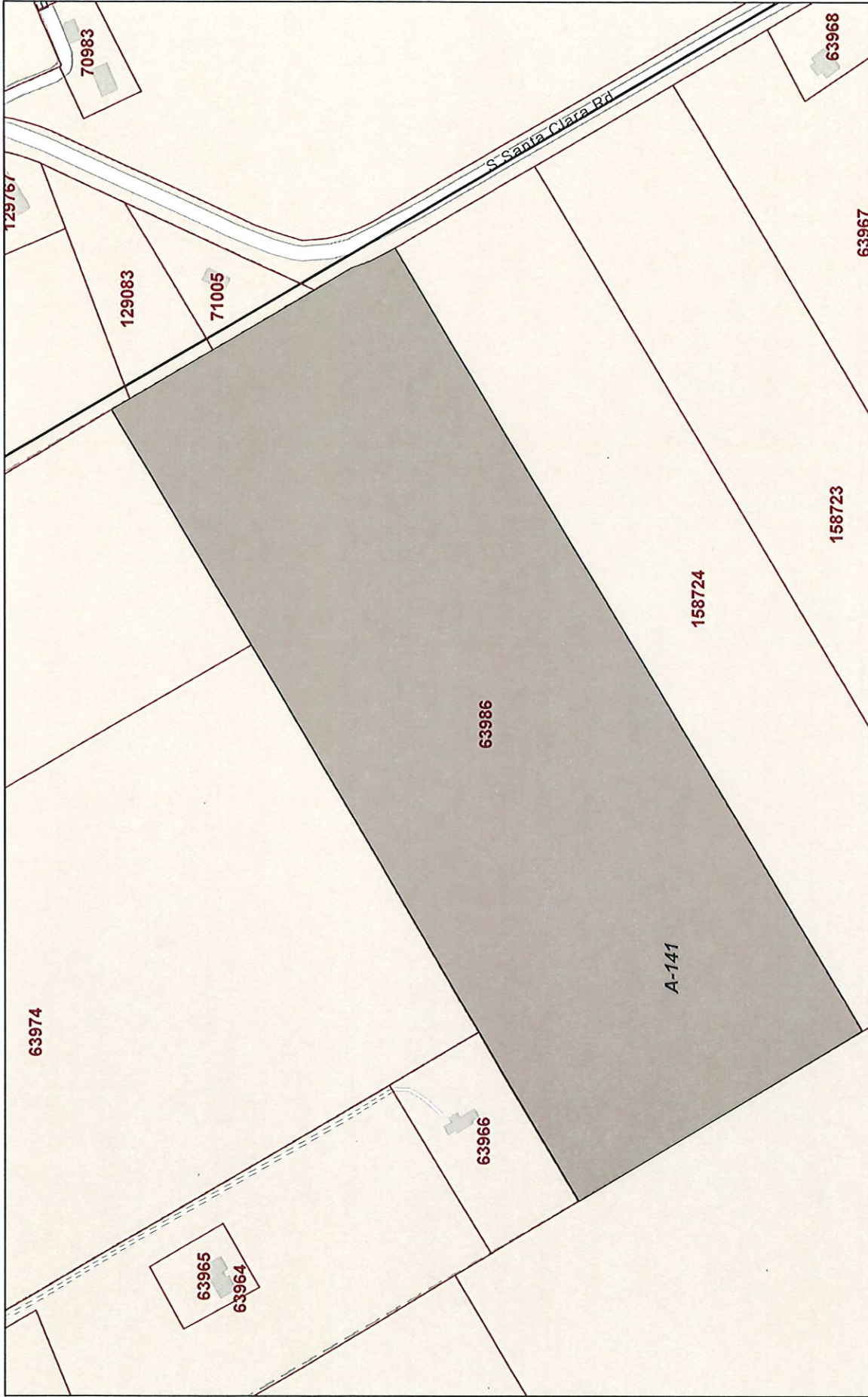
Teresa Kiel

emv
→ Keith P Miller PC
14350 Northbrook #150
SA 74 78232

Exhibit C

Appraisal District Information

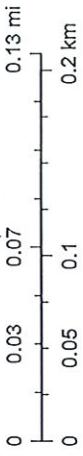
Guadalupe CAD Web Map



3/4/2024, 8:55:02 AM

- Parcels
- Abstracts
- Lot Lines
- Guadalupe County Boundary
- Owner Name

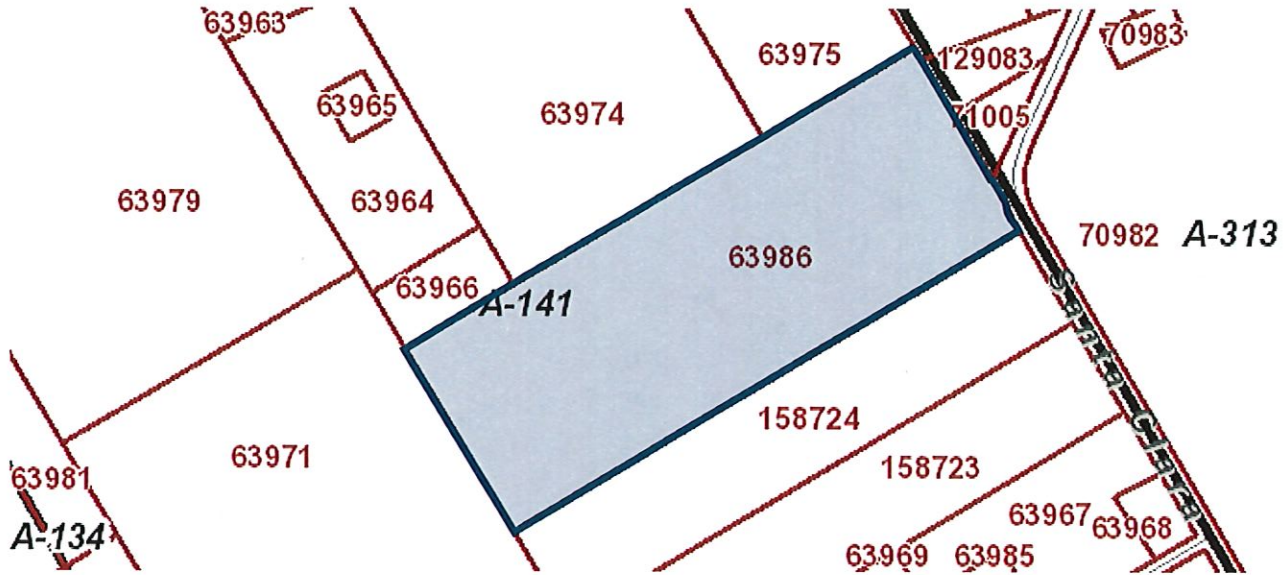
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Esri Community Maps Contributors, City of Cibolo, Texas, BCAD, Texas Parks & Wildlife, © OpenStreetMap, Microsoft, CONANP, Esri, TomTom, Guadalupe County Appraisal District, BIS Consulting -

Disclaimer: This product is for informational purposes only and has not been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of boundaries.

Map



Property Details

Account		
Property ID:	63986	Geographic ID: 2G0141-0000-01700-0-00
Type:	Real	Zoning:
Property Use:		
Location		
Situs Address:	SANTA CLARA RD TX	
Map ID:	P-6	Mapsc0:
Legal Description:	ABS: 141 SUR: F GARCIA 38.5854 AC. TR C	
Abstract/Subdivision:	G_A0141 - GARCIA F	
Neighborhood:	RURAL_G29	
Owner		
Owner ID:	191850	
Name:	STRIEGL JOYCE & BARBARA NEHR	
Agent:		
Mailing Address:	904 DAVIS RD LEAGUE CITY, TX 77573	
% Ownership:	100.0%	
Exemptions:	For privacy reasons not all exemptions are shown online.	

Property Values

Improvement Homesite Value:	\$0 (+)
Improvement Non-Homesite Value:	\$0 (+)
Land Homesite Value:	\$0 (+)
Land Non-Homesite Value:	\$0 (+)
Agricultural Market Valuation:	\$615,170 (+)
Market Value:	\$615,170 (=)
Agricultural Value Loss: ⓘ	\$605,962 (-)
Appraised Value:	\$9,208 (=)
Homestead Cap Loss: ⓘ	\$0 (-)
Assessed Value:	\$9,208
Ag Use Value:	\$9,208

VALUES DISPLAYED ARE 2023 CERTIFIED VALUES. To display the most up-to-date ownership information, change the year to 2024 in the drop down menu.

Information provided for research purposes only. Legal descriptions and acreage amounts are for appraisal district use only and should be verified prior to using for legal purpose and or documents. Please contact the Appraisal District to verify all information for accuracy.

Estimated taxes on this site include a Homestead Exemption amount of \$100,000 to reflect the changes that may be implemented by Senate Bill 2 which will potentially pass in November.

Property Taxing Jurisdiction

Owner: STRIEGL JOYCE & BARBARA NEHR **%Ownership:** 100.0%

Entity	Description	Tax Rate	Market Value	Taxable Value	Estimated Tax
GCO	GUADALUPE COUNTY	0.273100	\$615,170	\$9,208	\$25.15
LTR	LATERAL ROAD	0.050000	\$615,170	\$9,208	\$4.60
MAS	MARION ISD	1.136200	\$615,170	\$9,208	\$104.62

Total Tax Rate: 1.459300

Estimated Taxes With Exemptions: \$134.37

Estimated Taxes Without Exemptions: \$8,977.17

Property Land

Type	Description	Acreage	Sqft	Eff Front	Eff Depth	Market Value	Prod. Value
D3G	TILLABLE GOOD	37.5854	1,637,220.02	0.00	0.00	\$615,170	\$9,208

Property Roll Value History

Year	Improvements	Land Market	Ag Valuation	Appraised	HS Cap Loss	Assessed
2024	N/A	N/A	N/A	N/A	N/A	N/A
2023	\$0	\$615,170	\$9,208	\$9,208	\$0	\$9,208
2022	\$0	\$353,430	\$9,096	\$9,096	\$0	\$9,096
2021	\$0	\$383,675	\$8,945	\$8,945	\$0	\$8,945
2020	\$0	\$383,681	\$8,870	\$8,870	\$0	\$8,870
2019	\$0	\$354,852	\$7,855	\$7,855	\$0	\$7,855
2018	\$0	\$354,842	\$7,404	\$7,404	\$0	\$7,404
2017	\$0	\$338,197	\$7,066	\$7,066	\$0	\$7,066
2016	\$0	\$186,430	\$6,690	\$6,690	\$0	\$6,690
2015	\$0	\$337,614	\$12,750	\$12,750	\$0	\$12,750
2014	\$0	\$522,495	\$12,375	\$12,375	\$0	\$12,375
2013	\$0	\$443,300	\$12,300	\$12,300	\$0	\$12,300

Property Deed History

Deed Date	Type	Description	Grantor	Grantee	Volume	Page	Number
11/10/2015	PD	PARTITION DEED	ZUROVEC JOAN T STRIEGL & NEHR BARBARA C STRIEGL &	STRIEGL JOYCE & BARBARA NEHR	2015	023668	2015023668
1/28/2010	WD	WARRANTY DEED	ZUROVEC JOAN T S ET AL	ZUROVEC JOAN T STRIEGL & NEHR BARBARA C STRIEGL &	2842	639	10-2781
8/13/1980	WD	WARRANTY DEED			603	416	1980-4890
10/25/1950	WD	WARRANTY DEED			278	476	3571



City of Cibolo

Planning and Zoning Commission Staff Report

GVEC Update on Partnership with the City of Cibolo Presentation

Meeting	Agenda Group
Wednesday, April 10, 2024, 6:30 PM	Discussion/Action Items Item: 10F
From	
Susana Huerta, Assistant Planning Director	

BACKGROUND:

Previously, the Planning & Zoning Commissioners have requested periodic presentations and updates from City departments and external partners. A presentation from the Guadalupe Valley Electric Cooperative (GVEC) will be provided at the April meeting.

Attachments

Cibolo P&Z.pdf

DELIVERING MORE.

GVEC Update: Cibolo P&Z Board

Daisy Scheske Freeman,
Economic Development Director
April 2024

gvec.org

gvec
Delivering more.

Electricity

| Internet

| AC/Heating

| Electrician Services

| Solar & Battery

| Community

Agenda

- Market Redesign following Winter Storm Uri
- Attraction to Cibolo, Texas, Specifically GVEC's Service Territory
- System Improvements & Economic Development
- Long Legacy of Partnership



Market Redesign following Winter Storm Uri

- 2021-2022
 - Required Winter Weather Tabletop exercise, previously Summer only
 - Identification for Critical Gas & Water Infrastructure
 - Expanded Emergency Operations Plan, annual filing requirement
 - Increased Weatherization for Generation & Transmission Resources
 - GVEC met or exceeded all Transmission recommendations
 - Raised Minimum Contingency Level from 2,000MW to 3,000MW
 - Lowered Pricing Ceiling from \$9,000/MWh to \$5,000/MWh
- 2023
 - Performance Credit Mechanism (PCM) proposed, which is a form of capacity market that has never been used before → being contemplated by the PUCT
 - PCM Bridge Solution proposed in the interim
 - Multi-step floor (price adder) to operating reserves between 3,000MW and 7,000MW generating additional revenue to signal and incent new generation to be built when needed
 - ~4-month implementation with implementation beginning November 1, 2023



Large Commercial Renewable Rate Offering



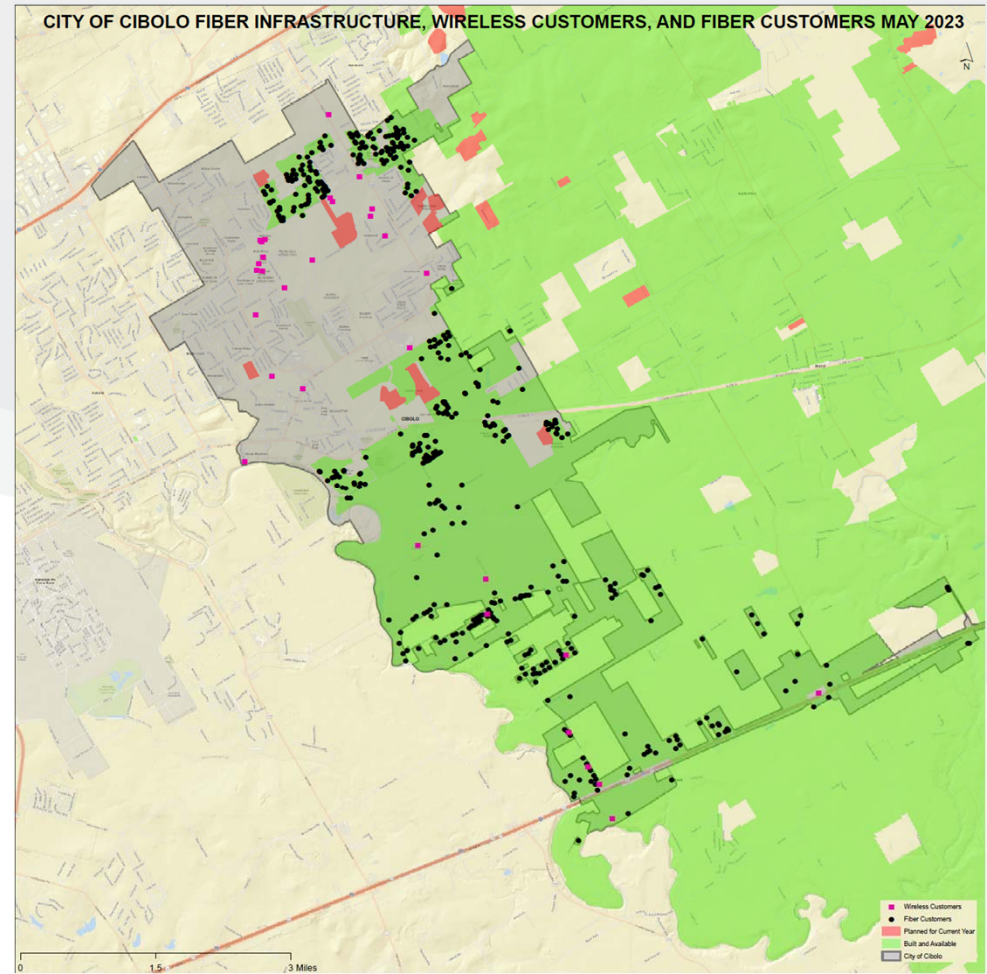
- Allows larger C&I customers to buy bundled renewable electricity from a specific project through a special rate
- GVEC sells subscriptions to the Commercial Renewable Fee in MW blocks, where a 1MW block equates to 8,760 RECs (MWh)
- Participation request must be received by October 31 each year, annual term of 1/1-12/31
- Automatic Renewal unless termination by consumer provided
- Resources Available to GVEC:
 - Renewable Specific Energy Contracts in Cooperative's Energy Mix Portfolio
 - Market RECs for Purchase
 - Residential PV Buyback currently equating to ~1 MW Block



GVEC Internet Availability

- 25Mbps GVEC Wireless Internet
- 1 Gbps GVEC Fiber Internet
 - ✓ High Speed
 - ✓ Reliable Service
 - ✓ Local Support

- Wireless Customers
- Fiber Customers
- City of Cibolo
- Built and Available
- Planned for 2023



System Improvements & Economic Development

- 2019-2023: \$39 Million+ Invested for Infrastructure Growth & System Improvements in the City of Cibolo and surrounding areas
- 2024 and Beyond Projected Improvements
 - Parkway PWT (Power Transformer) Capacity Upgrades (20MVA to 40MVA)
 - Weiderstein Conductor Upgrade
 - Roadway improvement plans:
 - Tolle Rd
 - Green Valley Rd near the Homestead Development
 - Next phase of FM 1103 Expansion
- Working with developers in Cibolo to energize 1,000+ residential lots and 550+ apartment units
- In 2022, energized 690 residential lots in the City of Cibolo
- GVEC's Contribution exceeded \$5 Million to bring water, wastewater and gas infrastructure to AWTX facility.



Santa Clara Substation Pad





Long Legacy of Partnership

- \$149,214 in Power Up Grants 2013-2023
 - Cibolo VFD
 - City of Cibolo
 - Cibolo Grange #1541
 - YMCA of Greater San Antonio x2
 - Alumni Association of the Cibolo Citizens Police Academy
- \$65,991 in Cibolo area community sponsorships 2019-2023
- First Responders Training: Electrical, Solar & Battery Safety



Thank You!





Planning Department - Staff Update

Meeting	Agenda Group
Wednesday, April 10, 2024, 6:30 PM	UDC, CIP, Master Plan and Staff Updates and Items for Future Agendas Item: 11A
From	
Susana Huerta, Assistant Planning Director	

Planning Department - Staff Update

April 10, 2024

Site Plans currently in review

Project	Description
504 Pfeil	Tattoo Studio
Dorado Multi-Family	Multi-Family development
Everyday Christian Fellowship	Structure
Turning Stone C7 Lot 3	Retail center
Signature Plating	Building Expansion
Scooter's Coffee	Drive-thru

To follow permitted projects, visit our [website](#) for an interactive map on Current Development.

Site Plans recently approved

Project	Description
-	-

Plats currently in review

Project	Application Type
Saddle Creek, Unit 9	Amending Plat
Lance Crossing (agenda item)	Preliminary Plat

P&Z Recommendations/City Council Action

Agenda item	P&Z recommendation	date	City Council action	date
165 Elaine Schlather CUP	Approval	3/13/2024	TBD	4/9/2024
BWW Sign Variance	Denial	3/13/2024	TBD	4/9/2024
504 Pfeil Variance Amendment	Approval	3/13/2024	TBD	4/9/2024
Old Town Sidewalk Ordinance	Approval	3/13/2024	TBD	4/9/2024
Cibolo Creek Center FP	Denial	3/13/2024	TBD	4/23/2024

The Master Plan Advisory Committee completed its recommendations for the Vision Statement, Guiding Principles, PlaceTypes, Future Land Use Map, Major Thoroughfare Plan, and Action Items at its March 27, 2024, meeting. This recommendation will be presented to the City Council at the April 9, 2024, City Council meeting.