

Thursday, May 1, 2025, 2:30 PM
BUENA PARK CITY HALL - MAIN CONFERENCE ROOM
6650 BEACH BLVD
BUENA PARK, CA 90621-2905

ZONING ADMINISTRATOR
AGENDA

2:30 p.m.

Members of the public who wish to discuss an item should fill out a speaker identification card and hand it to the secretary. When the item is announced by the Zoning Administrator, speakers should come forward, and upon recognition by the Zoning Administrator, state their names and addresses.

Members of the public may also submit their comments in writing for the Zoning Administrator by sending them to the Community and Economic Development Department at bpplancomments@buenapark.com. Please submit all comments by 2:00 p.m. on Thursday, May 1, 2025. Please contact the Planning Division at (714) 562-3620 for any questions.

All actions by the Zoning Administrator are final unless an appeal to the City Council is filed with the City Clerk within ten (10) working days of the decision.

Appeal period ends on May 20, 2025.

1. GENERAL

1A. CALL TO ORDER

2. PUBLIC HEARING

2A. SITE PLAN NOS. SP-25-2, SP-25-3, & SP-25-4

A request to construct three (3) approximately 2,120 square-foot, single-story single-family dwellings, each consisting of four (4) bedrooms, three (3) bathrooms, and with an attached three-car garage on three newly created lots at 7242, 7248, and 7254 Valley View Street, Unit A within the RS-6 (One-Family Residential) zone.

The applicant and property owner is Marc Lebanoff of Valley View Resdev, LLC, 18031 Irvine Boulevard #106, Tustin, CA 92780.

The project is Categorically Exempt, pursuant to Section 15303 (New Construction or Conversion of Small Structures) Class 3 of the State California Environmental Quality Act (CEQA) Guidelines.

RECOMMENDED ACTION: Adopt Resolution with Conditions of Approval approving Site Plan Nos. SP-25-2, SP-25-3, and SP-25-4.

3. ADJOURNMENT

3A. Adjournment

This agenda contains a brief general description of each item to be considered. Supporting documents are available for review and copying at City Hall or at www.buenapark.com. Supplementary materials distributed to the Zoning Administrator less than 72 hours before the meeting are posted to the City's website at www.buenapark.com and copies are available for public inspection beginning the next regular business day. This governing body is prohibited from discussing or taking action on any item which is not included in this agenda; however, may ask clarifying questions, ask staff to follow-up, or provide other direction. The order of business as it appears on this agenda may be modified by the governing body.

In compliance with the Americans with Disabilities Act, if you need accommodations to participate in this meeting, contact the City Clerk's Office at (714) 562-3750 or the California Relay Service at 711. Notification at least 48 hours prior to the meeting will enable the City to make arrangements to assure accessibility.

I, Ruth Santos, City of Buena Park, do hereby certify, under penalty of perjury under the laws of the State of California that a full and correct copy of this agenda was posted pursuant to Government Code Section 54950 et. seq., at Buena Park City Hall, 6650 Beach Blvd., and uploaded to the City of Buena Park website www.buenapark.com.

Ruth Santos
Sr. Administrative Assistant

Date Posted: April 24, 2025



Zoning Administrator Meeting Agenda Report

A. SITE PLAN NOS. SP-25-2, SP-25-3, & SP-25-4

A request to construct three (3) approximately 2,120 square-foot, single-story single-family dwellings, each consisting of four (4) bedrooms, three (3) bathrooms, and with an attached three-car garage on three newly created lots at 7242, 7248, and 7254 Valley View Street, Unit A within the RS-6 (One-Family Residential) zone.

The applicant and property owner is Marc Lebanoff of Valley View Resdev, LLC, 18031 Irvine Boulevard #106, Tustin, CA 92780.

The project is Categorically Exempt, pursuant to Section 15303 (New Construction or Conversion of Small Structures) Class 3 of the State California Environmental Quality Act (CEQA) Guidelines.

RECOMMENDED ACTION: Adopt Resolution with Conditions of Approval approving Site Plan Nos. SP-25-2, SP-25-3, and SP-25-4.

Meeting	Agenda Group
Thursday, May 1, 2025, 2:30 PM	PUBLIC HEARING Item: 2A.
Prepared By	Presented By
Ian McAleese, Senior Planner	Ian McAleese, Senior Planner

PROPERTY INFORMATION:

Address / Assessor Parcel Number (APN):	7242, 7248, and 7254 Valley View Street Unit A / 263-593-19
Zoning District:	RS-6 (One-Family Residential)
General Plan Designation:	Low Density Residential
Existing Development:	2,099 square-foot single-story, single-family dwelling with an attached porte cochere and 684 square-foot three-car garage

SURROUNDING LAND USE CHARACTERISTICS:

	GENERAL PLAN	ZONING	EXISTING LAND USE
North	Low Density Residential	RS-6 (One-Family Residential)	Single-family dwelling
South	Low Density Residential	RS-6 (One-Family Residential)	Single-family dwelling
East	Low Density Residential	RS-6 (One-Family Residential)	Single-family dwelling
West	Low Density Residential	RS-6 (One-Family Residential)	Single-family dwelling

APPLICATION ANALYSIS:

Proposal:

The Applicant is requesting to demolish the existing single-family dwelling with attached porte cochere and three-car garage to construct three (3) approximately 2,120 square-foot, single-story single-family dwellings, each consisting of four (4) bedrooms, three (3) bathrooms, and an attached three-car garage on three newly created lots.

Additionally, the Applicant is proposing a 1,000 square-foot single-story detached Accessory Dwelling Unit (ADU) on each of the three (3) newly created lots. The proposed ADUs are exempt from discretionary approval consideration and, therefore, are not part of this Site Plan Review. A separate ministerial review of the ADUs will be performed.

Development Standards Analysis:

Development Standards (Address)	Lot 1 (7242)	Lot 2 (7248)	Lot 3 (7254)
6,000 square-foot minimum lot area	9,240 square feet	8,591 square feet	8,870 square feet
Minimum 40-foot street frontage	65 feet	61 feet	61 feet
Minimum 60-foot lot width	65 feet	61 feet	61 feet
Maximum 40% lot coverage	31%	33%	31%
Minimum 1,100 square feet building floor area	2,120 square feet	2,120 square feet	2,120 square feet
Minimum 440 square-foot car garage for less than 3,000 square-foot home	789 square-foot 3-car garage	789 square-foot 3-car garage	685 square-foot 3-car garage
2-story maximum height or 30 feet	1-story, 23 feet 9 inches	1-story, 23 feet 9 inches	1-story, 23 feet 9 inches
20-foot minimum front setback	21 feet 2 inches	20 feet	35 feet 8 inches
5-foot minimum side setback	North interior side – 14 feet 8 inches South interior side – 6 feet	North interior side – 6 feet South interior side – 10 feet	North interior side – 10 feet South interior side – 6 feet
25-foot minimum rear setback	37 feet 11 inches	37 feet 1 inch	35 feet 11 inches
Minimum 30% of the front yard landscaped	17.4%	14%	16.7%

Discussion:

Section 19.128.040 (Site Plan Review) of the City of Buena Park Municipal Code (BPMC) requires Zoning Administrator review and approval of the development of single-family residences in an RS-6 zone, within an established tract but not in conjunction with a division of land, via the Site Plan Review process.

The goal of the Site Plan Review process is to ensure that the project meets all development standards of the zoning district, and is in “reasonable harmony with the architectural character of the area” and not “detrimental to the existing and intended character” of the surrounding neighborhood. This process furthers the General Plan Policy LU-7.1 to “maintain and enhance the character of single-family residential neighborhoods.”

The proposed three (3) single-family dwellings comply with all development standards for residences within the RS-6 (One-Family Residential) zone such as setbacks, height, lot coverage, and parking. Although the front yard landscaping does not meet the minimum requirements set forth in BPMC Section 19.332.010 (Landscape Provisions for Residential Uses), a requirement set forth by Orange County Fire Authority (OCFA) is that a clear 20-foot-wide fire access easement must be maintained through all three (3) of the lots for emergency access, which limits further landscaping within the front yard area. The proposed landscaped areas, as conditioned, will be planted with mature landscaping to offset the minimal landscaping within the front yard area

Architecture/Site Design:

The proposed three (3) single-family dwellings are of a ranch architectural design. The exterior elevations will consist of a combination of vertical wood siding with a trim board outline, stucco and brick veneer. The porch will incorporate a front facing gable roof design with exposed roof beams. Additional architectural features will include decorative lighting and single-hung windows with decorative shutters. The roof design will incorporate an asphalt shingle gable roof with decorative gable end protrusions.

When completed, the roof design, exterior elevation materials and colors of the proposed single-family dwellings will enhance and blend with the overall architectural character of the surrounding area; therefore, preserving the residential integrity of the existing single-family neighborhood and will not impose any adverse impacts on adjacent properties.

ENVIRONMENTAL ASSESSMENT:

The project is Categorically Exempt, pursuant to Section 15303 (New Construction or Conversion of Small Structures) Class 3 of the State California Environmental Quality Act (CEQA) Guidelines, because the project consists of the construction of three (3) new single-family residences.

PUBLIC HEARING NOTICE:

Notice of public hearing was posted at City Hall, the Buena Park Library, and Ehlers Event Center on April 21, 2025, and eleven (11) notices were mailed to adjacent property owners of the subject properties on April 21, 2025. As of the date of printing this report, the City has not received any inquiries or letters regarding the proposed action.

Reviewed and Approved By: Harald Luna, Acting Planning Manager

Attachments

[Proposed Zoning Administrator Resolution for Site Plan Nos. SP-25-2, SP-25-3, and SP-25-4.pdf](#)
[SP-25-2, SP-25-3, SP-25-4 Development Plans stamped "RECEIVED APR 6 2025 PLANNING DIV".pdf](#)
[SP-25-2, SP-25-3, SP-25-4 Vicinity Map.pdf](#)

RESOLUTION NO.
SITE PLAN NOS. SP-25-2, SP-25-3, AND SP-25-4

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF BUENA PARK APPROVING A REQUEST TO CONSTRUCT THREE (3) APPROXIMATELY 2,120 SQUARE-FOOT SINGLE-STORY, SINGLE-FAMILY DWELLINGS WITH ATTACHED GARAGES ON THREE (3) NEWLY DIVIDED LOTS LOCATED AT 7242, 7248, AND 7254 VALLEY VIEW STREET UNIT A, WITHIN THE RS-6 (ONE-FAMILY RESIDENTIAL) ZONE, WITH FINDINGS

A. Recitals.

(i) Marc Lebanoff of Valley View Resdev, LLC, applicant and owner, 18031 Irvine Boulevard #106, Tustin, CA 92780, has filed an application for the issuance of Site Plan Nos. SP-25-2, SP-25-3, and SP-25-4 to construct three (3) approximately 2,120 square-foot single-story, single-family dwellings. The proposed single-family dwellings will each have a total of four (4) bedrooms and three (3) bathrooms, and an attached three-car garage on properties located at 7242, 7248, and 7254 Valley View Street Unit A, Buena Park, CA 90620 (APN: 263-593-19) in the County of Orange. Hereinafter in this Resolution, the subject Site Plan request is referred to as the "Application."

(ii) On May 1, 2025, the Zoning Administrator conducted a hearing on the application and concluded said hearing prior to the adoption of this Resolution.

(iii) All legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution.

NOW THEREFORE, it is found, determined, and resolved by the Zoning Administrator of the City of Buena Park as follows:

1. The Zoning Administrator hereby specifically finds that all the facts set forth in Recitals, Part A, of this Resolution are true and correct.

2. Based upon substantial evidence presented to the Zoning Administrator during the above-referenced hearing, including written staff reports, verbal testimony, and development plans dated "RECEIVED APR 6, 2025 PLANNING DIV.", the Zoning Administrator hereby specifically finds as follows:

a. **FINDING:** The proposed development meets all applicable requirements of this Title and other laws.

FACT: The three (3) new single-family dwellings comply with all applicable requirements of the General Plan and Zoning Ordinance including lot coverage, setbacks, floor plan, parking, and building materials, as conditioned. The architectural design, materials, finishes and color scheme will blend with the overall character and color palette of the single-family dwellings from the surrounding area.

- b. **FINDING:** The site arrangement and improvements will not be detrimental to the existing and intended character of the area as defined by the General Plan, any applicable specific plans, and this Title.
- FACT:** The site arrangement and improvements will not be detrimental to the existing and intended character of the single-family neighborhood since the three (3) proposed single-family dwellings comply with the General Plan and the Zoning Ordinance. The design of the three (3) proposed single-family dwellings meet all applicable standards and criteria and will maintain the single-family residential character of the neighborhood.
- c. **FINDING:** Property values will be conserved.
- FACT:** The proposed three (3) new single-family dwellings will not negatively impact the properties in question nor will it negatively impact surrounding properties since all improvements meet the Buena Park Municipal Code requirements.
- d. **FINDING:** Effective and satisfactory methods are provided to protect nearby structures and activities from noise, vibration, and other adverse environmental effects generated by the subject development.
- FACT:** The three (3) proposed single-family dwellings will not create any detrimental effects on the environment since the area was planned for single-family residential developments, and the project site will retain the development of single-family residences.
- e. **FINDING:** The exterior architectural design is in reasonable harmony with the architectural character of the area.
- FACT:** The exterior architectural design is in reasonable harmony with the architectural character of the surrounding area. All building materials, colors, and finishes of the proposed single-family dwellings are in harmony with the surrounding area. As conditioned, the proposed three (3) new single-family residential dwellings will enhance the visual integrity of the subject properties and the surrounding area.
- f. **FINDING:** The arrangement and design for pedestrian and vehicular traffic will minimize congestion and protect pedestrian and vehicular safety.
- FACT:** The arrangement and design for pedestrian and vehicular traffic will continue to minimize congestion and protect pedestrian and vehicular safety for the subject property as well as surrounding properties. No changes are proposed to pedestrian or vehicular access to and from the property.

3. The Zoning Administrator hereby finds and determines that the project identified above in this Resolution is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) of 1970, as amended, and the Guidelines promulgated

thereunder pursuant to Class 3 Section 15303 (New Construction or Conversion of Small Structures) of Division 6 of Title 14 of the California Code of Regulations.

4. Based upon the findings and conclusions set forth in paragraphs 1, 2, and 3 above, this Zoning Administrator hereby approves the application subject to the plans dated "RECEIVED APR 6, 2024 PLANNING DIV." as modified herein and the following reasonable conditions set forth in paragraph 5 of this Resolution.

5. The following conditions are deemed necessary to protect the public health, safety, and general welfare and are reasonable and proper in accordance with the purpose and intent of the Buena Park City Code.

PUBLIC WORKS DEPARTMENT

DESIGN:

1. Grading, storm drain, street, sewer, water, and erosion control plans shall be prepared by a registered engineer, at a minimum scale of 1" = 40', and on 24" by 36" sheets. Any proposed improvements shall be designed and constructed per City Standards. Any existing improvements in the public right-of-way, adjacent to project parcel frontage, that are not in compliance with the Americans with Disabilities Act (ADA) shall be removed and reconstructed or added to meet the ADA requirements and must comply with City Standards.
 - A. An emergency access point within the project parcel, as previously approved by the Orange County Fire Authority, shall be maintained. Its precise location shall be delineated on the grading plan submitted to the Engineering Division.
 - B. A double check detector assembly is required for domestic and fire service connections, and a reduced pressure principle device (RPPD) is required for irrigation service connection per City standards, and devices shall be supplied and installed by contractor. Contractor shall supply and install City approved water meters in the public right-of-way.
 - C. A hydrology and/or hydraulics study, prepared by a registered engineer, shall be submitted for approval when drainage is altered and/or there is a net increase of the stormwater for the proposed project. The storm drain system shall be designed and constructed for a minimum of a 25-year flood per the County of Orange standards. It shall be privately owned and maintained.
 - D. Driveway approaches, sidewalks, curb and gutter along the project frontage that are lifted, fractured or failing shall be removed and replaced per City standards.
 - E. Easement shall be granted to the City when public water and sewer systems are installed within private land.
 - F. All existing public facilities in conflict with new improvements shall be relocated at no cost to the City. Property owner shall dedicate, or cause to be dedicated all easements needed to accommodate the relocation, modification or installation of facilities to be maintained by the City or any public utility company.
 - G. Water Meter Installation Requirements:
For 1" or smaller meter sizes, the water meter model shall be Neptune T-10 with Encoder that reads in gallons or City approved equal.

For 1.5" or larger meter sizes, the water meter model shall be Neptune HPT or Neptune MACH-10 with Encoder that reads in gallons or City approved equal.

2. New public improvements to include the following:
 - A. Remove the existing dustpan type driveway and construct a new driveway approach along the Valley View Street frontage as shown on the approved site plan per City Std. 209.
3. A maintenance agreement for the proposed private sewer lateral that will be shared by 3 homes shall be executed by owner of each parcel.
4. A geotechnical study prepared by a registered geotechnical engineer is required. The report shall recommend pavement structural section of proposed streets and parking lots. If WQMP is required, the report shall test and analyze soil conditions for LID (Low Impact Development) requirements, and the implementation of water quality for storm water runoff, including potential infiltration alternatives, soil compaction, saturation, permeability and ground water levels per the County of Orange Technical Guidance Document.
5. Prior to issuance of grading or building permits, permit applicant shall submit for approval a Water Quality Management Plan (WQMP) specifically identifying Best Management Practices (BMPs) that will be used on site to control pollutant run-offs. This WQMP shall identify the structural and non-structural measures, detailing implementation of BMP's whenever they are applicable to the project. The design criteria and templates can be found at:
https://buenapark.com/city_departments/public_works/engineering_services/water_quality_management_plans.php

PERMIT ISSUANCE:

1. All fees, deposits, and bonds associated with improvements required by the Public Works Department shall be paid prior to the issuance of permits for construction. The fee amounts are specified in the City Fee Schedule.
2. Before exercising any right or performing any obligation pursuant to any permit issued by the Public Works Department, the developer/contractor shall obtain a City Business License and submit required insurance certificates.
3. A Transportation Hauling permit shall be obtained to operate or move a vehicle or combination of vehicles or special mobile equipment of a size or weight of vehicle or load exceeding the maximums specified in the California Vehicle Code (CVC) and the Caltrans Transportation Permit Manual.
4. Prior to issuance of a grading permit, applicant shall record an approved WQMP that includes the Master Covenant & Agreement and an Operational Maintenance Plan with the Orange County Recorder's office. Two hard copies of the WQMP in 3-ring binders shall be provided to the City.
5. Prior to final release of the project by the Public Works Department, or the refund of any cash deposits, the developer/contractor shall provide the City with a warranty bond to be held by the City for a period of one (1) year, for all public facilities and improvements.
6. Prior to the grant of occupancy by the City or commencement for the approved use, all improvements required by the Public Works Department shall be completed.

CONSTRUCTION:

1. A traffic control plan, prepared by a registered engineer, shall be submitted for approval for all utility connections, street improvements, and any other work performed in the public right-of-way that require a lane closure. A traffic control plan, prepared by a registered engineer, shall also be submitted for work on private property that results in lane closures.
2. When more than one trench cut is made to install utility lines, then the street shall be either slurry sealed or grind and capped with AC to the nearest lane line of a trench cut from property line to property line. The method of replacing the pavement in kind or better shall be decided based on existing pavement condition.
3. An Engineered Grading and Utility Certification shall be certified by the project engineer. Each phase of construction, fill and soil compaction, rough grading including pad elevations, final grading, utilities, and Water Quality Management Plan shall be certified by the project engineer and submitted to the City.
4. Applicant shall abandon any existing private water wells per the City and Orange County Health Department requirements.
5. Prior to issuance of occupancy, applicant shall demonstrate all structural BMPs have been constructed in conformance with the approved WQMP.
6. The applicant/contractor shall be responsible for protecting all existing horizontal and vertical survey controls. Any survey controls disturbed during construction shall be reset per Orange County Surveyor Standards after construction.
7. All trash collection services needed during construction or after project completion shall be obtained from the City's authorized provider.

ORANGE COUNTY FIRE AUTHORITY

1. **Design Review:** Portions of the project that are deferred shall be subject to the codes, standards, and other applicable requirements in force on the date that the deferred plan is submitted to OCFA. The development review does not imply or express approvals on any subsequent plan submittal.
2. **Plan Submittal Sequence:** The applicant or responsible party shall submit the plan(s) listed below to the Orange County Fire Authority for review. Approval shall be obtained on each plan prior to the event specified.

Prior to OCFA clearance of a final map or issuance of a precise grading permit or a building permit, if a grading permit is not required:

- Fire Master Plan (service code PR145)

Prior to issuance of a precise grading permit or a building permit, if a grading permit is not required:

- Gates (service code PR180), if not part of Fire Master Plan

Prior to issuance of a building permit:

- Fire sprinkler system (service codes PR400-PR465)

Specific submittal requirements may vary from those listed above depending on actual project conditions identified or present during design development, review, construction,

inspection, or occupancy. Portions of the project that are deferred shall be subject to the codes, standards, and other applicable requirements in force on the date that the deferred plan is submitted to OCFA. Standard notes, guidelines, informational bulletins, submittal instructions, and other information related to plans reviewed by the OCFA may be found by visiting ocfa.org on the Planning and Development Section homepage.

3. **Emergency Access Easements:** Irrevocable reciprocal access easements for emergency access purposes to the benefit of the City of Buena Park shall be recorded concurrently with the final map or, where no final map is required, prior to approval of the fire master plan.
4. **Lumber-drop Inspection:** After installation of required fire access roadways and hydrants, the applicant shall receive clearance from the OCFA prior to bringing combustible building materials on-site. Call OCFA Inspection Scheduling at 714-573-6150 with the Service Request number of the approved fire master plan at least five days in advance to schedule the lumber drop inspection.

BUILDING DIVISION:

1. The project shall comply with the California Building Codes as adopted and amended by the City of Buena Park Municipal Code, Title 15.
2. The building/buildings shall be fully fire-sprinklered as required by the City of Buena Park Municipal Code, Title 1, and/or the California Building Codes.
3. A geotechnical investigation report prepared by a qualified geotechnical engineer is required. The applicant shall submit this report for review and approval prior to the issuance of building permits.
4. The construction plans require professional preparation. Submit plans and structural calculations prepared by a California registered engineer or architect.
5. After the public hearing appeal period ends, applicant shall submit three (3) sets of construction plans to the Building Division for plan check in order to obtain required building permits.

PLANNING DIVISION:

1. This approval shall permit the construction of three (3) new approximately 2,120 square-foot single-story, single-family dwellings with attached three-car garages on three separate parcels in substantial compliance with the plans dated "RECEIVED APR 6, 2025 PLANNING DIV.," and as conditioned herein.
2. The conditions herein shall supersede all Planning conditions of SP-22-9 other than the approval of PM-22-2 under Condition #1 and Condition #12.
3. The applicant and/or property owner shall ensure that a copy of the Zoning Administrator Resolution, including all conditions of approval, be reproduced on the first pages of construction drawings and shall be distributed to all design professionals, contractors, and subcontractors participating in the construction phase of the project.

4. Plans submitted for plan check shall include the construction of the three (3) new single-family residential dwellings with attached three-car garages, generally consistent with the submitted development plans dated "RECEIVED APR 6, 2025 PLANNING DIV." Specifications and samples of the following shall be submitted to the Planning Division for approval prior to issuance of building permits:
 - a. Paint colors for stucco
 - b. Roofing material consisting of composite shingles
 - c. Window trim and shutters
 - d. Stone veneer
 - e. Wood siding
5. The applicant shall demonstrate that proposed building materials, and other architectural/site features are rated for appropriate durability and longevity. Final plans shall incorporate all changes as conditioned herein and shall recognize all easements or deed restrictions pertaining to the subject property. Any appreciable modification shall require the prior approval of the Planning Division.
6. Any new walls and fencing, including those shown on plans shall comply with the City of Buena Park Municipal Code (BPMC) Chapter 19.328 (Development Standards – Fences, Walls, Hedges, and Berms) and shall require a separate fence/wall permit approval by the Planning Division for any proposed fences/walls to be located within the property.
7. Interior access to all rooms/areas of the single-family dwellings shall be maintained at all times as a condition of use. No sections shall be partitioned off and provided solely with exterior access. In addition, no secondary kitchen or other cooking facilities shall be provided without first obtaining a junior accessory dwelling unit approval.
8. Neither the residence nor rooms within shall be used for short-term rental, without first obtaining a short-term rental permit.
9. The landscaped areas in the front yard of each parcel shall be planted with a combination of 15-gallon minimum and up to 24-inch box size plants, shrubs, and trees.
10. A "Private Driveway – Do Not Enter" sign shall be installed within the property at the north and south driveway entrances. The design of the sign and installation location shall be subject to the review and approval of the Planning Division.
11. Any driveway modifications shall require separate Planning Division review and shall comply with BPMC Section 19.336.040 (Residential Driveway Standards) of the Buena Park Municipal Code.
12. All on-site landscaping, including the front yard and parkway areas, which are damaged during construction shall be revitalized upon completion of construction, as necessary, prior to final building permits. All landscaping, including the parkway, shall be maintained in a healthy, green, pruned, growing condition.
13. No roof-mounted mechanical equipment shall be permitted unless such equipment is not visible from adjacent and surrounding properties and streets from a height of five (5) feet above ground level. The installation and screening of air conditioning and similar equipment shall comply with existing design criteria and BPMC Section 19.340.020 (Visual Screening of Mechanical Equipment).

14. Prior to the issuance of Building Permits for the project or any succeeding residential development approval, all development impact fees associated with development including, but not limited to, park fees mandated by BPMC Section 18.64.080 (Park and recreational facilities dedications – Use of land fees) shall be paid in full.
15. The construction authorized by the Site Plan shall be started within one (1) year of the expiration of the appeal period and thereafter diligently advanced until completion of the project.
16. This approval may be revoked for any violation of noncompliance with any of these conditions in accordance with BPMC Section 19.132.030 (Revocation) of the Zoning Ordinance.
17. Prior to final inspection, these conditions and all improvements shall be completed to the satisfaction of the City.
18. The project and/or use authorized by this approval shall at all times comply with all applicable local, state, and federal ordinances, statutes, standards, codes, laws, policies, and regulations.
19. The applicant and/or property owner shall sign an Affidavit of Acceptance of all conditions of approval and return it to the Planning Division within thirty (30) days after the effective date of this approval or prior to the issuance of a building permit or certificate of occupancy, whichever may occur first.
20. The applicant shall indemnify, defend, and hold harmless the City, its officers, agents, and employees from any claims and losses whatsoever occurring or resulting to any and all persons, firms, or corporations furnishing or supplying work, services, materials, or supplies in connection with the performance of the use permitted hereby or the exercise of the rights granted herein, any and all claims, lawsuits or actions arising from the granting of or exercise of the rights permitted by this approval and from any and all claims and losses occurring or resulting to any person, firm, or corporation, or property damage, injury, or death arising out of or connected with the performance of the use permitted hereby. Applicant's obligation to indemnify, defend, and hold harmless the City as stated hereinabove shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the City in connection with any such claims, losses, lawsuits, or actions, and any award of such damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.

PASSED AND ADOPTED this 1st day of May 2025.

Eddie Fenton
Zoning Administrator

ATTEST:

Harald Luna
Acting Planning Manager

Resolution No.
Site Plan Nos. SP-25-2, SP-25-3, & SP-25-4
May 1, 2025

AFFIDAVIT OF ACCEPTANCE:

I/ We do hereby accept all of the conditions contained in this document and all other conditions imposed by Site Plan Nos. SP-25-2, SP-25-3, and SP-25-4 and do agree that I/We shall conform with and abide by all such conditions.

Date: _____

Printed Name and Signature
Owner/Applicant

SITE PLAN NO. SP-25-2

APN : 263-593-19

SCALE	7
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SPRINKLERED: YES

BUILDING DEPT. NOTES:

a. This project shall comply with the 2019 Edition of CBC, CMC, CPC, CEC and 2019 California Energy Code, 2019 Edition of California Fire Code

b. No changes shall be made on plans whether interior or exterior of the structure without written approval from the PLANNING AND BUILDING DIVISIONS.

c. All safety glass shall be labeled.

SCALE	4
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RECEIVED
APR 6 2025
PLANNING DIV
SP-25-2

SCALE	3
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SCALE	6
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NOT TO SCALE	5
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SITE

SCALE	2
N.T.S.	

PT	Paint	S	South
PTD	Paper Towel Dispenser	SPECS	Specifications
PTR	Paper Towel Receptacle	SF	Square Feet
PTD/R	Combination Paper Towel Dispenser/Receptacle	SP	Speaker
PED	Pedestal	SSTL	Stainless Steel
P	Perpendicular	STL	Steel
PLAS	Plaster	ST	Stone
PLAM	Plastic Laminate	STOR	Storage
PLMD	Plywood	STRUCT	Structural
PT	Paint	SUSP	Suspend(ed)
POL	Polished	SYM	Symmetrical
PVC	Polyvinyl Chloride	TEL	Telephone
PE	Porcelain Enamel	TERR	Terrazzo
PCC	Portland Cement Concrete	THK	Thick
PRV	Power Roof Ventilator	THRES	Threshold
P CONC	Precast Concrete	TPH	Toilet Paper Holder
PTDF	Pressure Treated Douglas Fir	TOC	Top of Concrete
PRO	Property	TOF	Top of Finish
		TD	Towel Dispenser
QT	Quarry Tile	T	Tread
		TYP	Typical
RAD	Radius	UC	Under Cut
RECEP	Receptacle	UNFIN	Unfinished
REC	Recessed	UH	Unit Heater
REF	Reference	UNLESS	Noted Otherwise
REFR	Refrigeration		
RESIL	Resilient	VERT	Vertical
REV	Reverse	VIF	Verify in Field
R	Riser	VIN	Vinyl
RD	Roof Drain	VB	Vinyl Base
RFINS	Roof Insulation	VCT	Vinyl Composite Tile
RM	Room	VWC	Vinyl Wall Covering
RO	Rough Opening	VGL	Vision Glass
RUB	Rubber	VOL	Volume
		WC	Water Closet
SND	Sanitary Napkin Dispenser	WP	Waterproofing
SNR	Sanitary Napkin Receptacle	WR	Water Resistant
SCHED	Schedule	WWF	Welded Wire Fabric
SFT	Soffit	WT	Weight
SLNT	Sealant	W	West
SL	Sealer	W/	With
SCD	Seat Cover Dispenser	W/O	Without
SECT	Section	WD	Wood
SCD	See Civil Drawings		
SED	See Electrical Drawings		
SMD	See Mechanical Drawings	XTR	Existing to Remain
SPD	See Plumbing Drawings		
SSD	See Structural Drawings		
SR	Service Receptor		
SS	Service Sink		
SHT	Sheet		
SIM	Similar		
S DISP	Soap Dispenser		
SC	Solid Core		

	CHANDELIER LIGHT FIXTURE VERIFY WEIGHT AND PROVIDE SUFFICIENT BLOCKING
	LIGHT FIXTURE W/ PULL SWITCH
	LIGHT FIXTURE W/ WATERPROOF COVER
	WALL MOUNTED LIGHT FIXTURE
	RECESSED CAN LIGHT FIXTURE
	RECESSED EYEBALL LIGHT FIXTURE
	RECESSED CAN LIGHT FIXTURE (LOW VOLTAGE)
	EXHAUST FAN W/ MIN. 6 AIR CHANGES/HR.
	RECESSED CAN/EXHAUST FAN COMBINED FIXTURE
	ONE-WAY SWITCH ● 48" A.F.F. (U.N.O.)
	TWO-WAY SWITCH ● 48" A.F.F. (U.N.O.)
	THREE-WAY SWITCH ● 48" A.F.F. (U.N.O.)
	ONE-WAY SWITCH ● 48" A.F.F. (U.N.O.) W/ DIMMER CONTROL
	PUSH BUTTON CONTROL ● 48" A.F.F. (U.N.O.)
	GAS RECEPTACLE
	SMOKE DETECTOR
	GARAGE DISPOSAL
	DOOR BELL CHIME ● 84" A.F.F. (U.N.O.)
	PHONE JACK
	CABLE JACK
	WALL SCONCE
	UFER GROUND
	ELECTRIC METER
	HOT/COLD WATER
	HOSE BIB
	GAS KEY
	STAIR RISER LIGHT ON MOTION SENSOR (U.N.O.)
	FLUORESCENT STRIP LIGHT
	MULTIPLE FIXTURE FLOURESCENT STRIP LIGHT
	MULTIPLE FIXTURE TRACK LIGHTING
	FLOOD LIGHT FIXTURE

1

Sheet no
A-1
1 of 7

Drawn by AAB	Checked by AAB	Date 04/04/25
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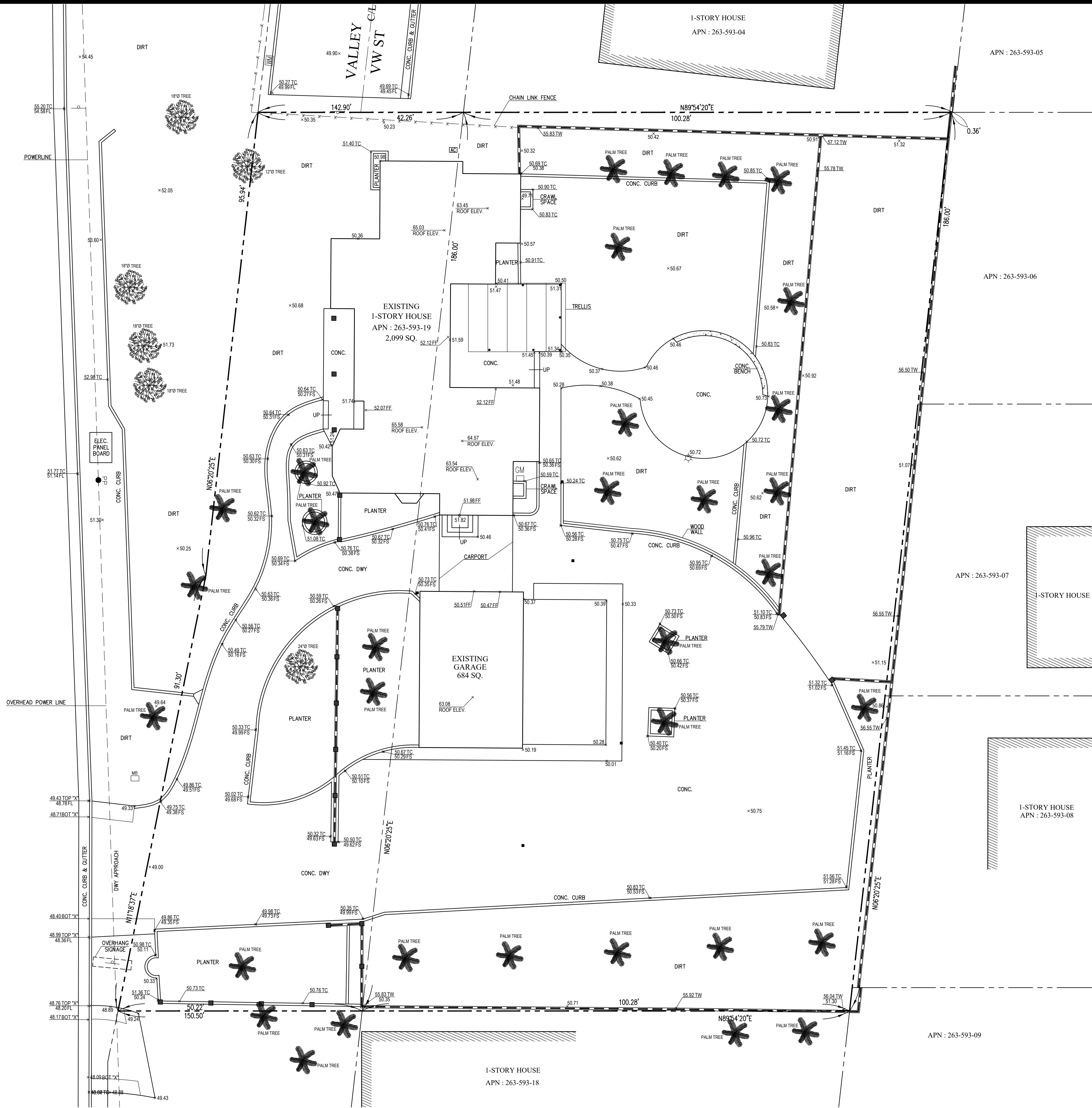
Sheet Title

TITLE SHEET

VALLEY VIEW STREET

C/L

ASPHALT PAVEMENT



1

A-2

EXISTING SITE PLAN

SCALE: 3/32" = 1'-0"



Owner

VALLEY VIEW RESDEV, LLC
CONTACT: MARC LEBANOFF
18031 IRVINE BLVD.
TUSTIN, CA 92780

Project Name

VALLEY VIEW RESDEV, LLC
7242A VALLEY VIEW ST.
BUENA PARK, CA 90620

Drawn by

AAB

Checked by

AAB

Date

04/04/25

Sheet no.

A-2

2 of 7

Sheet Title

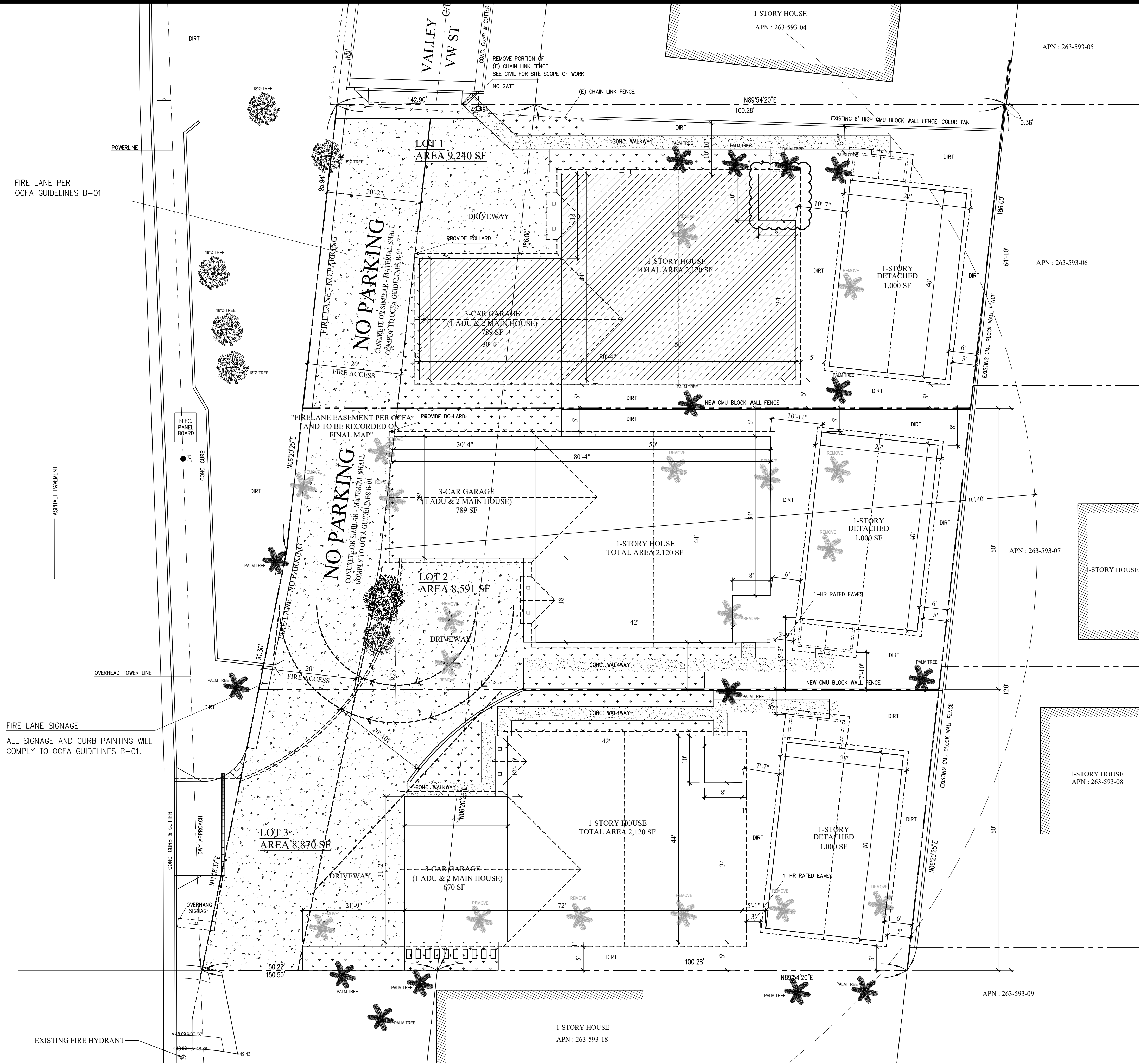
EXISTING
SITE PLAN

VALLEY VIEW STREET

C/L

1
A-3

PROPOSED SITE PLAN
SCALE: 3/32" = 1'-0"



LOT 1 - AREA CALCULATION	
MAIN HOUSE	= 2,120 SF
GARAGE	= 789 SF
TOTAL	= 2,909 SF

COVERAGE CALCULATION	
2,909 SF	= 0.31 % (IS LESS THAN 40% OF
9,240 SF	MAX BUILDING COVERAGE)

DETACHED ADU = 1,000 SF (NOT PART OF CALCULATION)

LOT 1 - AREA: 9,240 SF
LANDSCAPE REQUIRED: 360 SF
LANDSCAPE PROVIDED: 526 SF

NOTE:
1. NO FENCES OR GATES WILL BE PROVIDED ON SITE.

LEGEND	
	NEW STRUCTURE
	CONCRETE WALKWAY
	LANDSCAPE
	CONCRETE DRIVEWAY
	PERVIOUS CONCRETE OR PAVERS
	6' HIGH VINYL FENCE
	EXISTING 6' CMU BLOCK WALL FENCE, COLOR: TAN
	NEW 6' CMU BLOCK WALL FENCE, COLOR: TAN
	NEW 130 GAL. RAIN TANK PER BMP PER CIVIL, TYP.
	ROOF DRAIN

SITE PLAN NO. SP-25-2

Project Name

VALLEY VIEW RESDEV, LLC
7242A VALLEY VIEW ST.
BUENA PARK, CA 90620

Owner

VALLEY VIEW RESDEV, LLC
CONTACT: MARC LEBANOFF
18031 IRVINE BLVD.
TUSTIN, CA 92780

Sheet no.

A-3
3 of 7

Drawn by

AAB

Checked by

AAB

Date

04/04/25

PROPOSED
SITE PLAN

Drawn by AAB	Checked by AAB	Date 04/15/25
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Sheet Title

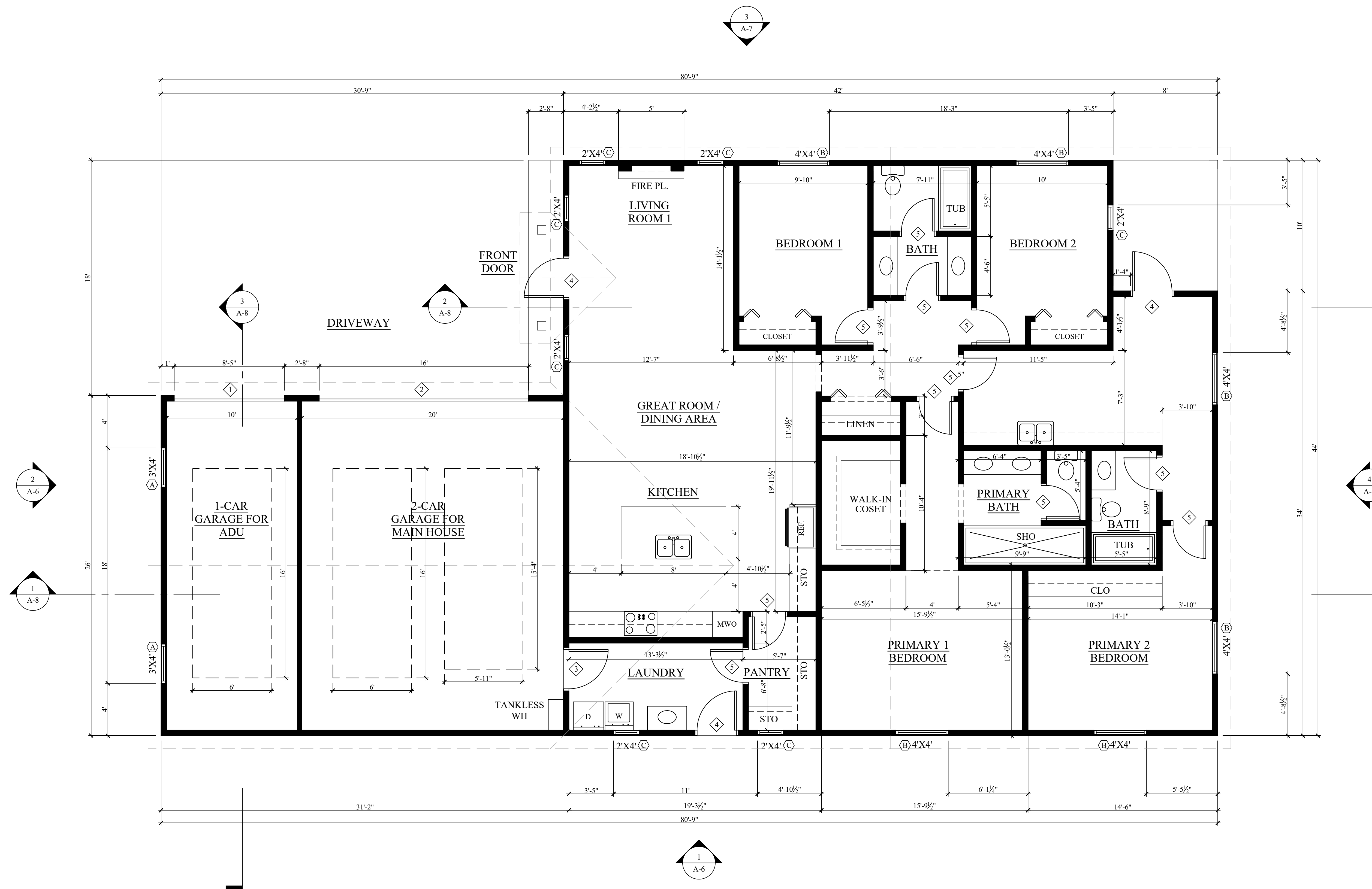
MAIN HOUSE LOT 1 FLOOR PLAN

Project Name

VALLEY VIEW RESDEV, LLC
7242A VALLEY VIEW ST.
BUENA PARK, CA 90620

VALLEY VIEW RESDEV, LLC
CONTACT: MARC LEBANOFF
18031 IRVINE BLVD.
TUSTIN, CA 92780

Sheet no.
A-4
4 of 7



1
A-4

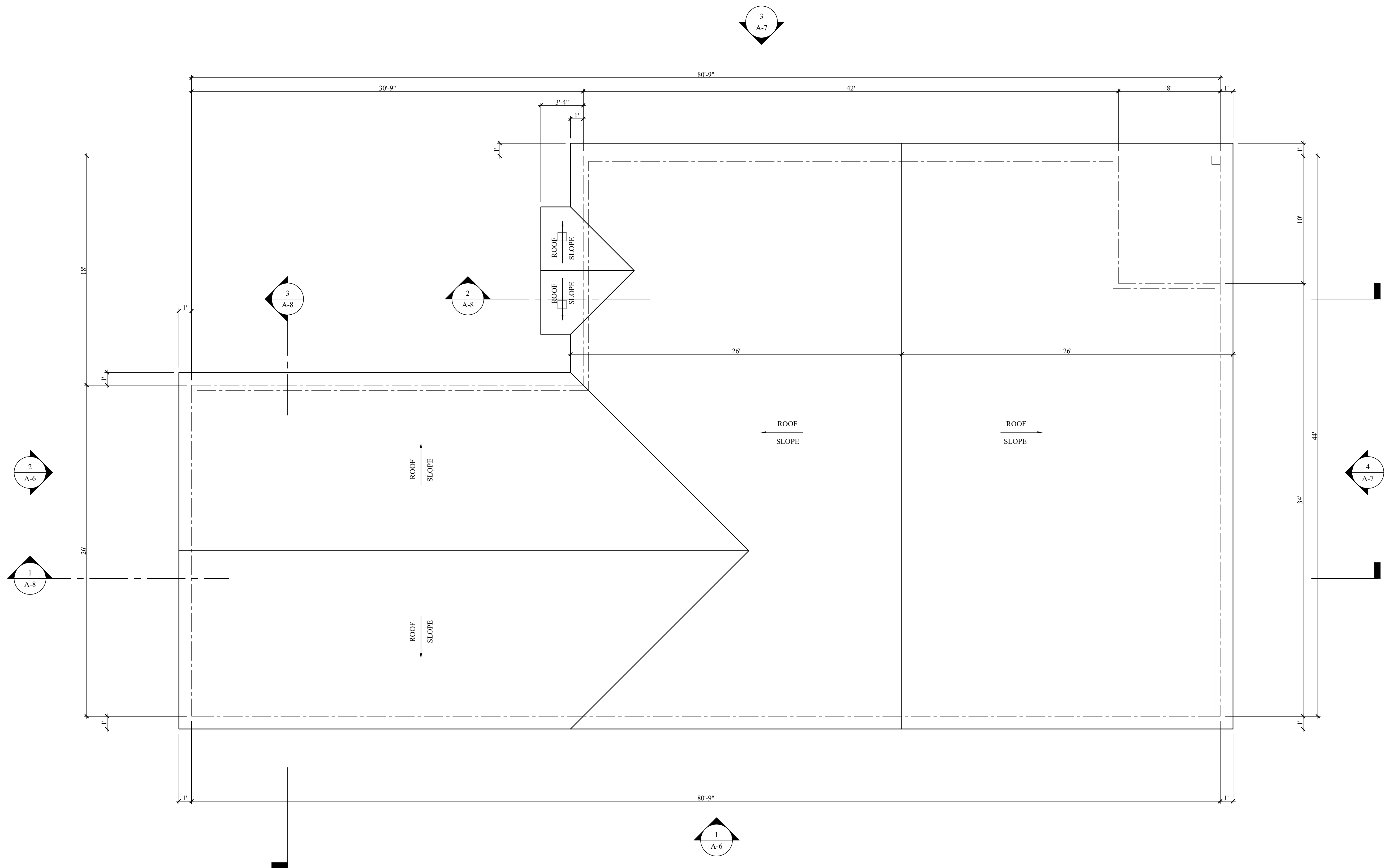
MAIN HOUSE - LOT 1
PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

N



7242A VALLEY VIEW ST.
BUENA PARK, CA 90620



MAIN HOUSE - LOT 1
PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

Drawn by
AAB

Checked by
AAB

Date
04/04/25

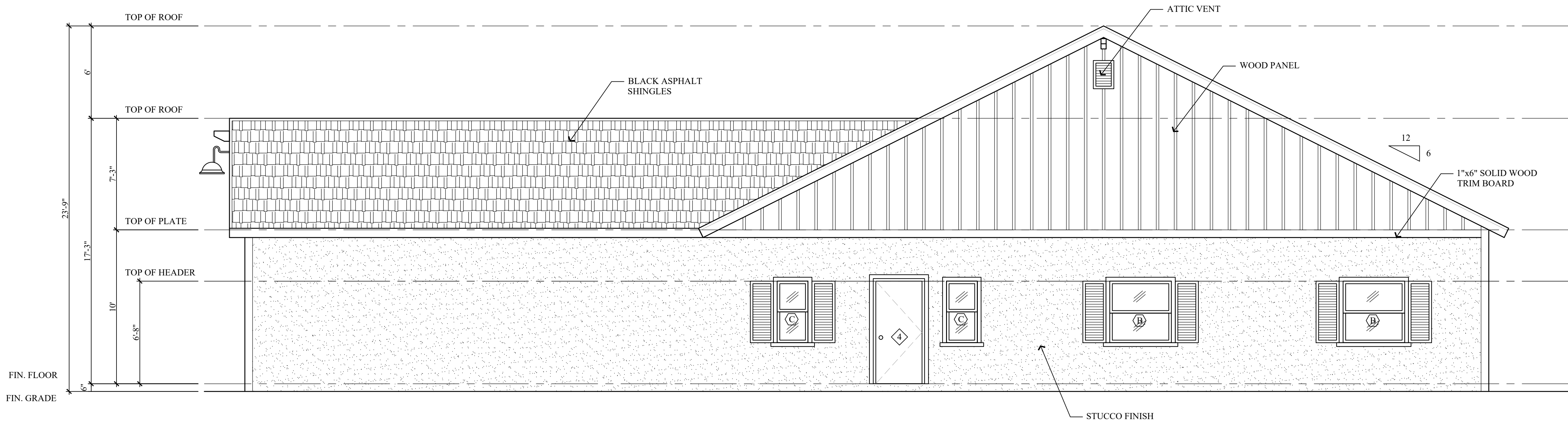
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**MAIN HOUSE LOT 1
ROOF PLAN**

Project Name
VALLEY VIEW RESDEV, LLC
7242A VALLEY VIEW ST.
BUENA PARK, CA 90620

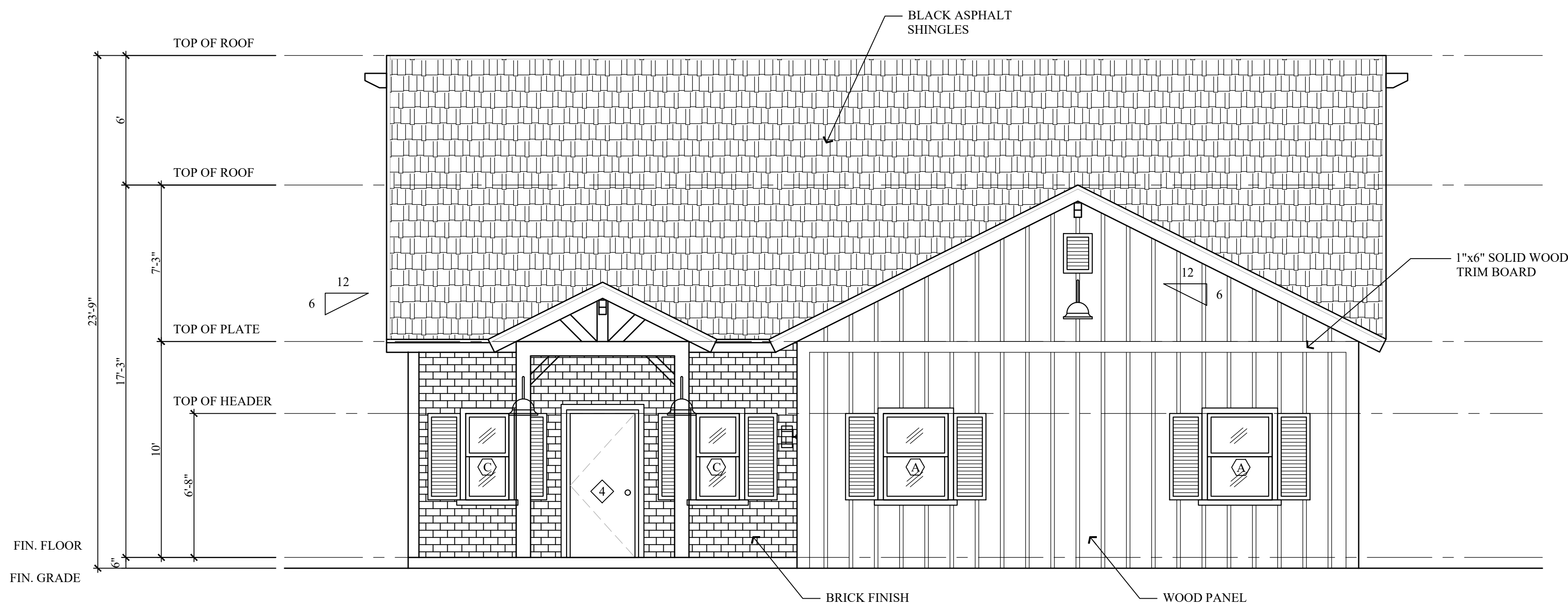
Owner
VALLEY VIEW RESDEV, LLC
CONTACT: MARC LEBANOFF
18031 IRVINE BLVD.
TUSTIN, CA 92780

Sheet no.
A-5
5 of 7

7242A VALLEY VIEW ST.
BUENA PARK, CA 90620



1
A-6
MAIN HOUSE - LOT 1
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2
A-6
MAIN HOUSE - LOT 1
WEST ELEVATION
SCALE: 1/4" = 1'-0"



OCFA WATER AVAILABILITY FORM

SECTION A: To be completed by customer

Project Name: Valleyview Resdev OCFA SR #:
Project Address: 7242 Valley View St, Unit A/B City: Buena Park
Applicant Phone #: (714) 336-0636 Fax #:
Area of largest building: 2840 Main Residence Construction type? (check one): ☐ JA ☐ IB ☐ IIA ☐ IIB ☐ IIC ☐ IIV ☐ IVA ☐ VR
Is this building sprinklered throughout? (check one): ☒ Y ☐ N 100 SF AOV
Currently No At completion Main Residence AOV will have Fire sprinklers.

SECTION B: To be completed by local water department/district Customer to provide results to OCFA

Water Department/District: City of Buena Park Public Works
Test location (indicate address or cross streets & provide reference map): In front of 7305 Valley View St
Hydrant number(s) (if applicable): Test: N/A Flow: N/A
Elevation of test hydrant: grade feet above sea level
Date of Test: 09/11/24 Time of test: 14:30 ☐ AM ☒ PM
(Test to be performed as close as possible to the time that the lowest flows and pressures are expected (e.g., M-F: 8:00-9:00 and S: 9:00-9:00 pm))

FLOW TEST RESULTS					
TEST INFORMATION IS VALID FOR 6 MONTHS FROM DATE TEST IS PERFORMED					
Static pressure:	75	psi	Residual pressure:	73	psi
Observed flow:	1,198 gpm @ 51 psi	gpm	Flow calc'd at 20 psi:	7,175	gpm

☐ Check the box if the test information above was obtained in a manner other than an actual flow test (i.e. by computer modeling).

Based on fluctuations known to exist at the site of the test, provide estimated values for the following:							
Maximum static pressure		77	psi	Minimum static pressure		75	psi
Minimum residual pressure		73	psi	Minimum residual flow		1198	gpm

I have witnessed and/or reviewed this water flow information and by personal knowledge and/or on-site observation certify that the above information is correct.

Name: Mark Stephens Company/Agency: City of Buena Park
Signature: [Signature] Title: Water Quality Specialist
Date: 9/11/24

Project Name

VALLEY VIEW RESDEV, LLC
7242A VALLEY VIEW ST.
BUENA PARK, CA 90620

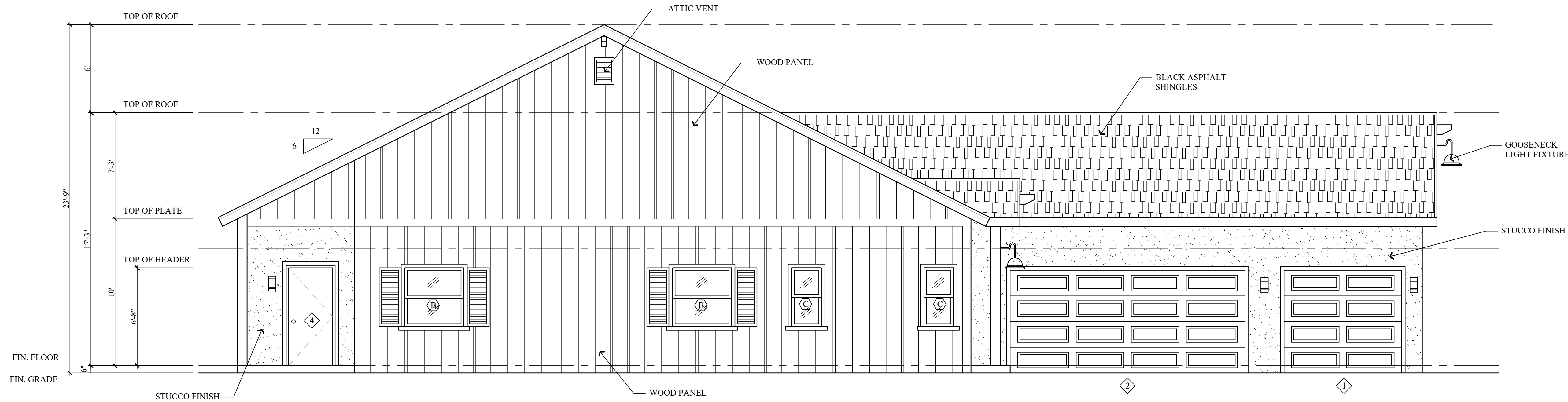
VALLEY VIEW RESDEV, LLC
CONTACT: MARC LEBANOFF
18031 IRVINE BLVD.
TUSTIN, CA 92780

Owner

Sheet no.
A-6
6 of 7

Drawn by
AAB
Checked by
AAB
Date
04/04/25
Sheet Title
**MAIN HOUSE LOT 1
EXT. ELEVATIONS**

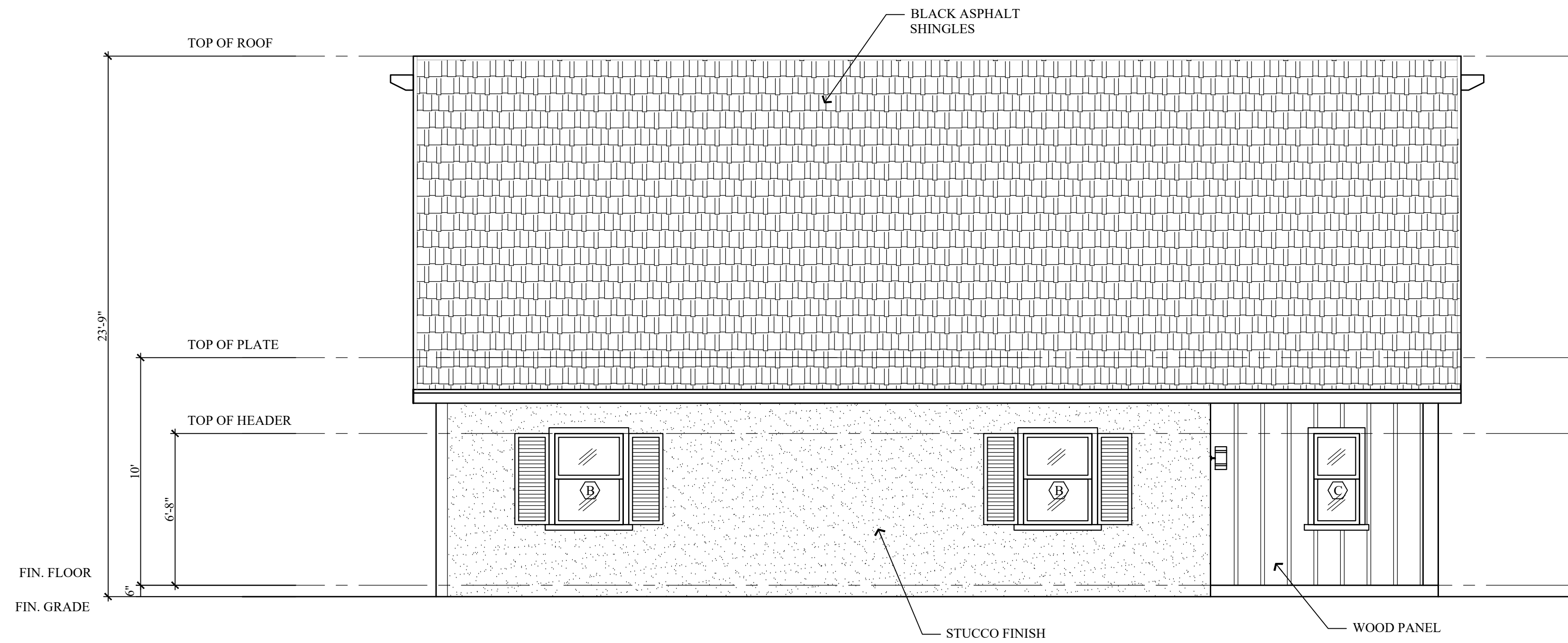
7242A VALLEY VIEW ST.
BUENA PARK, CA 90620



3
A-7

MAIN HOUSE - LOT 1
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



4
A-7

MAIN HOUSE - LOT 1
EAST ELEVATION

SCALE: 1/4" = 1'-0"

Drawn by
AAB

Checked by
AAB

Date
04/04/25

Sheet Title
**MAIN HOUSE LOT 1
EXT. ELEVATIONS**

Project Name
VALLEY VIEW RESDEV, LLC
7242A VALLEY VIEW ST.
BUENA PARK, CA 90620

Owner
VALLEY VIEW RESDEV, LLC
CONTACT: MARC LEBANOFF
18031 IRVINE BLVD.
TUSTIN, CA 92780

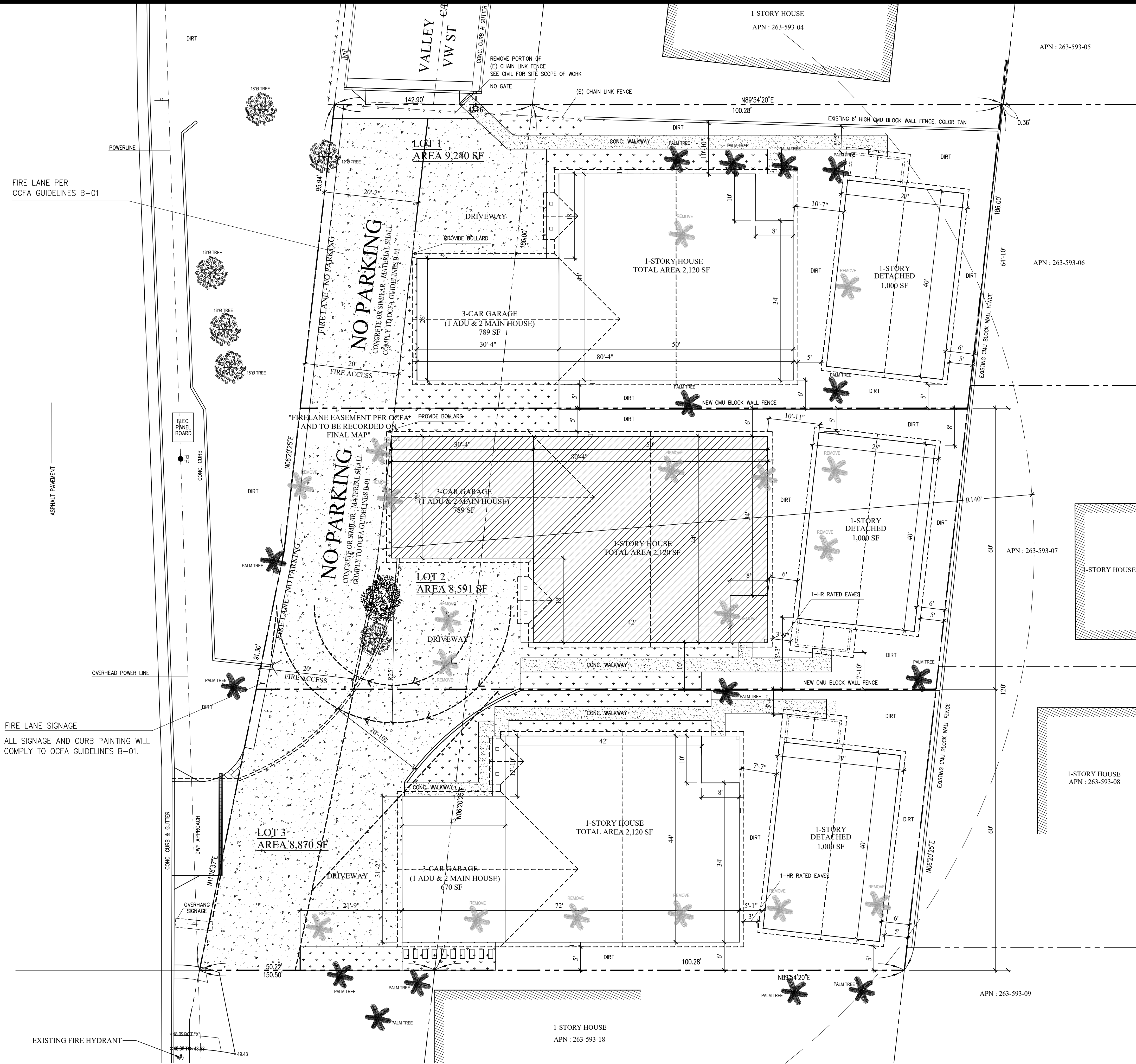
Sheet no.
A-7
7 of 7

VALLEY VIEW STREET

C/L

1
A-3

PROPOSED SITE PLAN
SCALE: 3/32" = 1'-0"



LOT 2 - AREA CALCULATION

MAIN HOUSE	=	2,120 SF
GARAGE	=	789 SF
TOTAL	=	2,909 SF

COVERAGE CALCULATION	
2,909 SF	= 0.33 % (IS LESS THAN 40% OF
8,591 SF	MAX BUILDING COVERAGE)

DETACHED ADU = 1,000 SF (NOT PART OF CALCULATION)

LOT 1 - AREA: 8,591 SF
LANDSCAPE REQUIRED: 360 SF
LANDSCAPE PROVIDED: 619 SF

NOTE:
1. NO FENCES OR GATES WILL BE PROVIDED ON SITE.

LEGEND

	NEW STRUCTURE
	CONCRETE WALKWAY
	LANDSCAPE
	CONCRETE DRIVEWAY
	PERVIOUS CONCRETE OR PAVERS
	6' HIGH VINYL FENCE
	EXISTING 6' CMU BLOCK WALL FENCE, COLOR: TAN
	NEW 6' CMU BLOCK WALL FENCE, COLOR: TAN
	NEW 130 GAL. RAIN TANK PER BMP PER CIVIL, TYP.
	ROOF DRAIN

SITE PLAN NO. SP-25-3

VALLEY VIEW RESDEV, LLC
CONTACT: MARC LEBANOFF
18031 IRVINE BLVD.
TUSTIN, CA 92780

Owner

Sheet no.
A-3
3 of 7

Project Name

VALLEY VIEW RESDEV, LLC
7248A VALLEY VIEW ST.
BUENA PARK, CA 90620

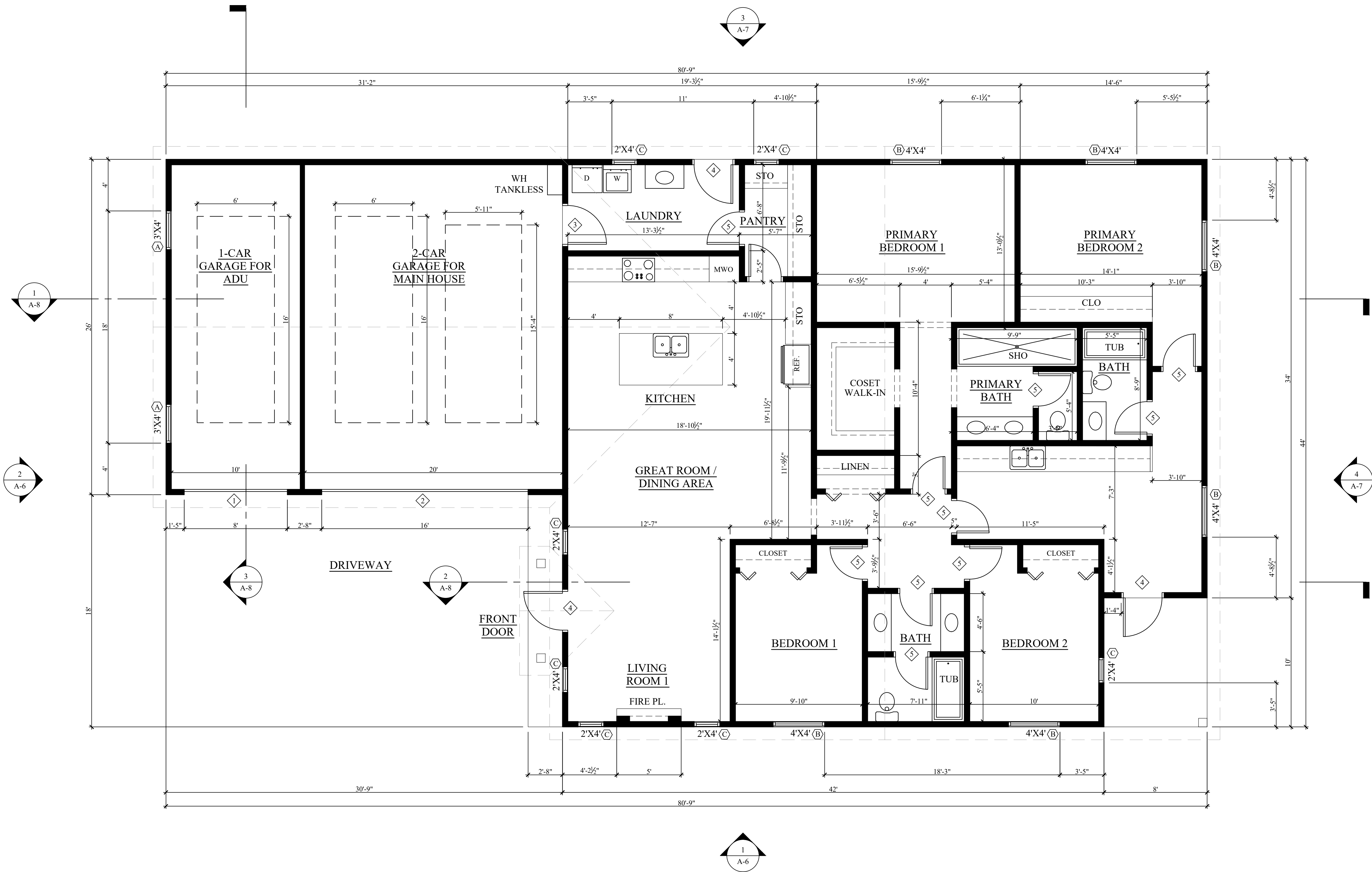
Checked by
AAB

Drawn by
AAB

Date
04/04/25

**PROPOSED
SITE PLAN**

7248A VALLEY VIEW ST.
BUENA PARK, CA 90620



1
A-4
MAIN HOUSE - LOT 2
PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

Drawn by
AAB

Checked by
AAB

Date
04/15/25

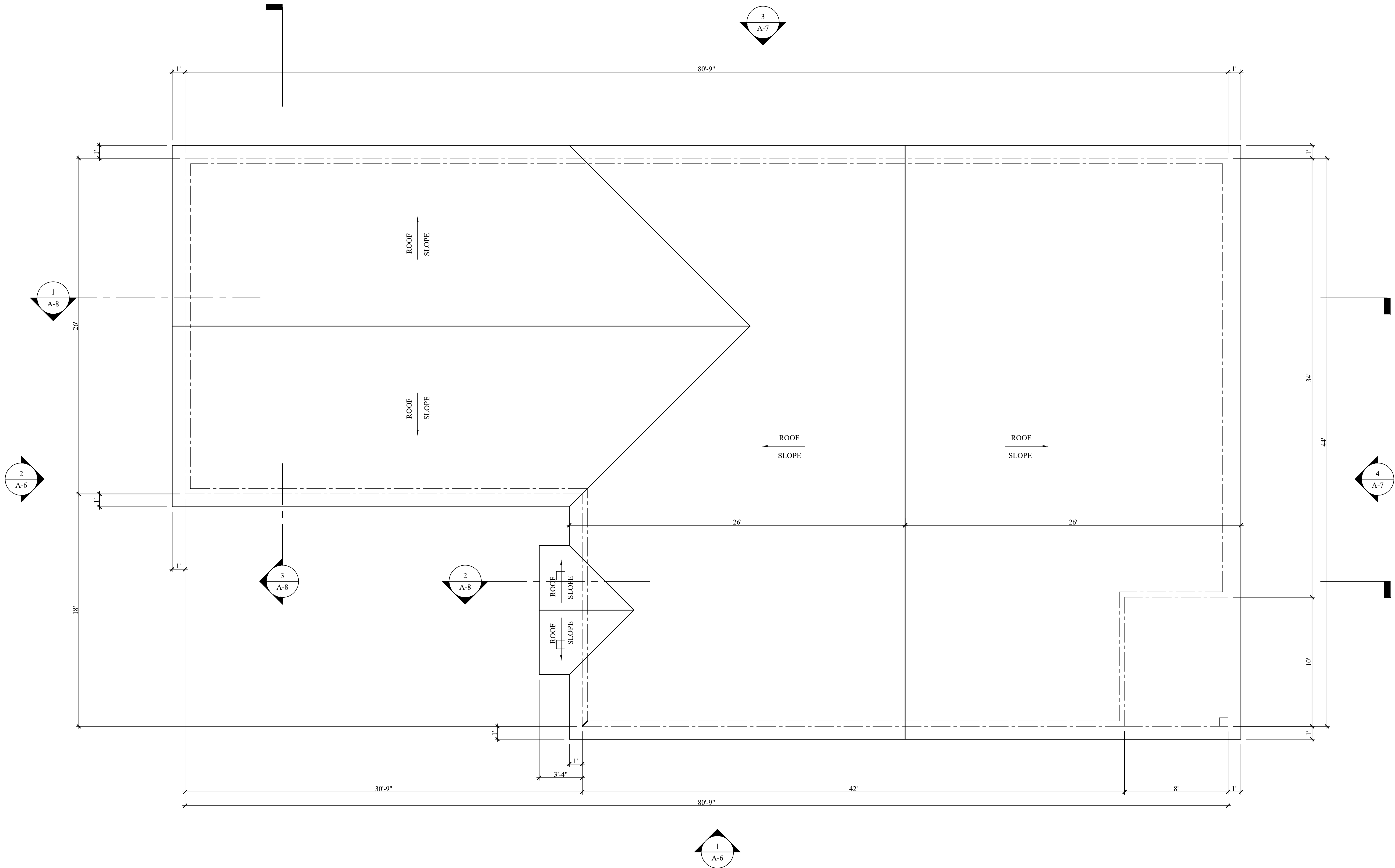
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**MAIN HOUSE LOT 2
FLOOR PLAN**

Project Name
VALLEY VIEW RESDEV, LLC
7248A VALLEY VIEW ST.
BUENA PARK, CA 90620

Owner
VALLEY VIEW RESDEV, LLC
CONTACT: MARC LEBANOFF
18031 IRVINE BLVD.
TUSTIN, CA 92780

Sheet no.
A-4
4 of 7

7248A VALLEY VIEW ST.
BUENA PARK, CA 90620



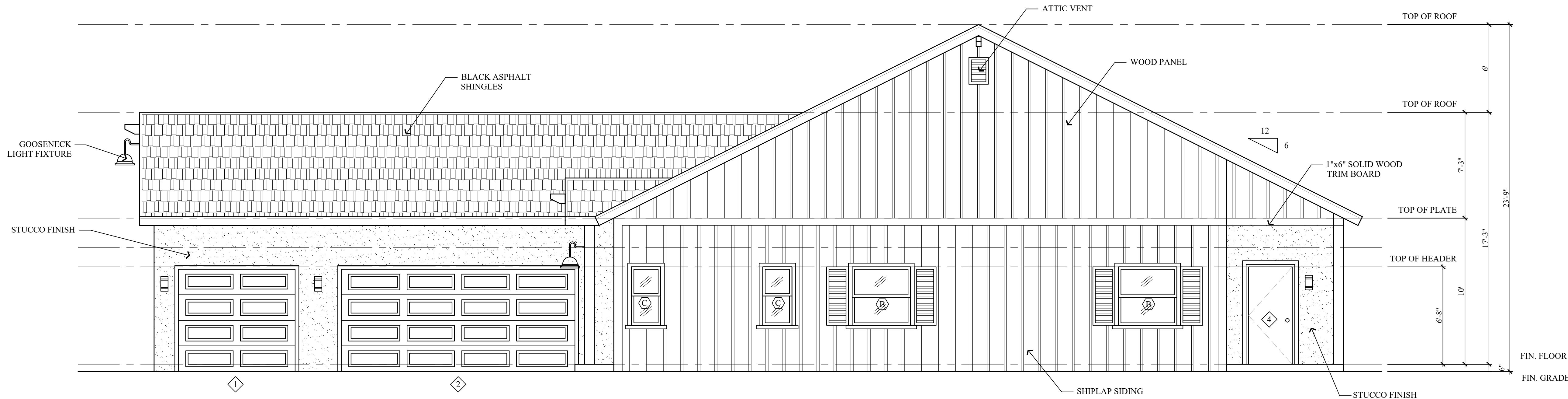
1
A-5

MAIN HOUSE - LOT 2
PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

N

Owner	VALLEY VIEW RESDEV, LLC CONTACT: MARC LEBANOFF 18031 IRVINE BLVD. TUSTIN, CA 92780		Project Name	VALLEY VIEW RESDEV, LLC 7248A VALLEY VIEW ST. BUENA PARK, CA 90620		Sheet no. A-5 5 of 7
	Drawn by AAB	Checked by AAB		Date 04/04/25	Sheet Title MAIN HOUSE LOT 2 ROOF PLAN	

7248A VALLEY VIEW ST.
BUENA PARK, CA 90620



1
A-6

MAIN HOUSE - LOT 2
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

OCFA WATER AVAILABILITY FORM

SECTION A: To be completed by customer

Project Name: Valleyview Resdev OCFA/SR #: _____
Project Address: 7242 Valley View St, Unit A/B City: Buena Park
Applicant Phone #: (714) 336-0636 Fax #: _____
Area of largest building: 2840 Main Residence Construction type? (check one) ☐ IA ☐ IB ☐ IIA ☐ IIB ☐ IIC ☐ IIV ☐ VA ☐ VB
Is this building sprinklered throughout? (check one) ☒ Y ☐ N At completion Both Main Residence & AOV will have fire sprinklers.

SECTION B: To be completed by local water department/district
Customer to provide results to OCFA

Water Department/District: City of Buena Park Public Works
Test Location (indicate address or cross streets and provide reference map): In front of 7805 Valley View St
Hydrant number(s) (if applicable): Test N/A Flow: N/A
Elevation of test hydrant: _____ feet above sea level
Date of Test: 09/11/24 Time of test: 14:30 ☒ AM ☒ PM
Test to be performed as close as possible to the time that the lowest flows and pressures are expected (e.g., M-F, 8:00 – 9:00 am and 5:00 – 9:00 pm)

FLOW TEST RESULTS					
TEST INFORMATION IS VALID FOR 6 MONTHS FROM DATE TEST IS PERFORMED					
Static pressure:	75	psi	Residual pressure:	73	psi
Observed flow:	1,198	gpm @ 51 psi	Flow calc'd at 20 psi:	7,175	gpm

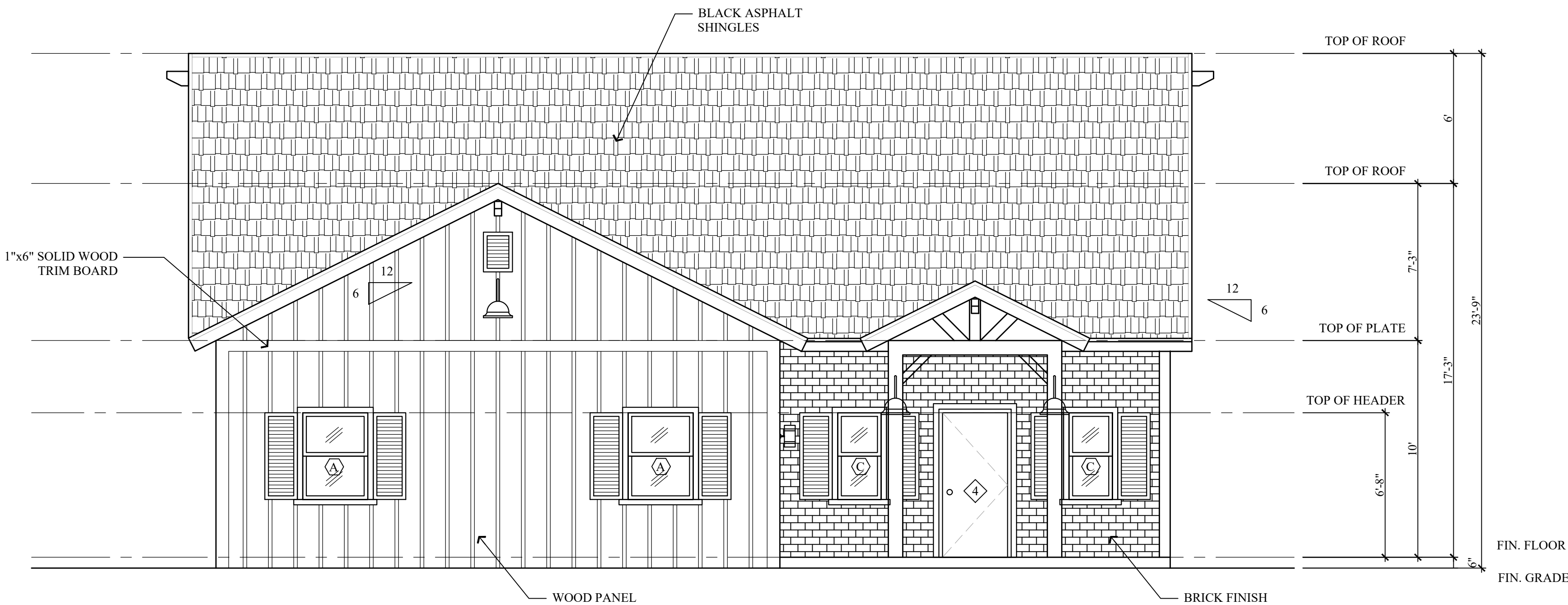
☐ Check the box if the test information above was obtained in a manner other than an actual flow test (i.e. by computer modeling).

Based on fluctuations known to exist at the site of the test, provide estimated values for the following:

Maximum static pressure	77	psi	Minimum static pressure	75	psi
Minimum residual pressure	73	psi	Minimum residual flow	1198	gpm

I have witnessed and/or reviewed this water flow information and by personal knowledge and/or on-site observation certify that the above information is correct.

Name: Mark Stephens Company/Agency: City of Buena Park
Signature: _____ Title: Water Quality Specialist
Date: 9/11/24



2
A-6

MAIN HOUSE - LOT 2
WEST ELEVATION

SCALE: 1/4" = 1'-0"

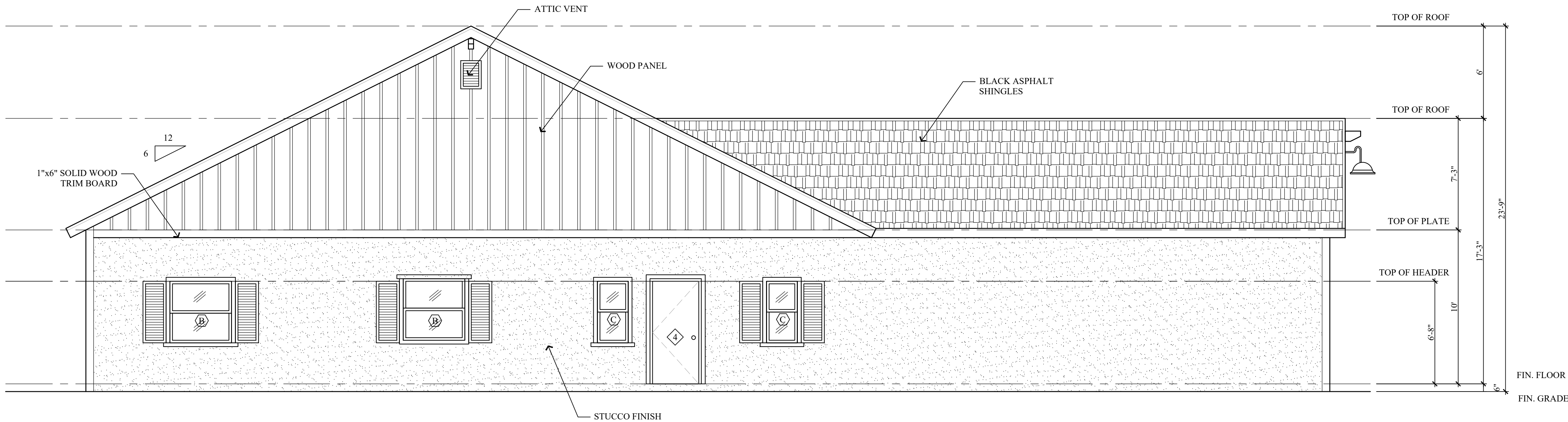
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AAB
Checked by
AAB
Date
04/04/25
Sheet Title
MAIN HOUSE LOT 2
EXT. ELEVATIONS

Project Name
VALLEY VIEW RESDEV, LLC
7248A VALLEY VIEW ST.
BUENA PARK, CA 90620

Owner
VALLEY VIEW RESDEV, LLC
CONTACT: MARC LEBANOFF
18031 IRVINE BLVD.
TUSTIN, CA 92780

Sheet no.
A-6
6 of 7

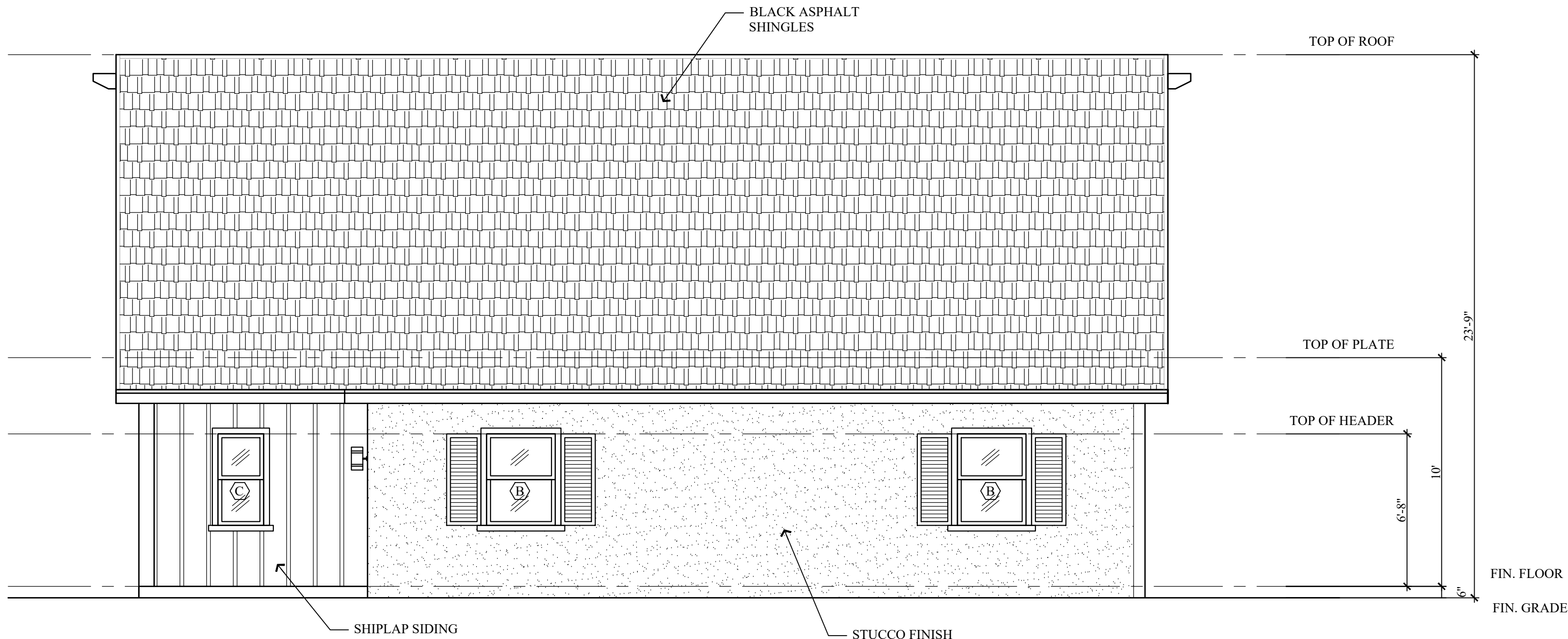
7248A VALLEY VIEW ST.
BUENA PARK, CA 90620



3
A-7

MAIN HOUSE - LOT 2
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



4
A-7

MAIN HOUSE - LOT 2
EAST ELEVATION

SCALE: 1/4" = 1'-0"

Project Name

VALLEY VIEW RESDEV, LLC
7248A VALLEY VIEW ST.
BUENA PARK, CA 90620

Owner

VALLEY VIEW RESDEV, LLC
CONTACT: MARC LEBANOFF
18031 IRVINE BLVD.
TUSTIN, CA 92780

Drawn by

AAB

Checked by

AAB

Date

04/04/25

Sheet no.

A-7

7 of 7

Sheet Title

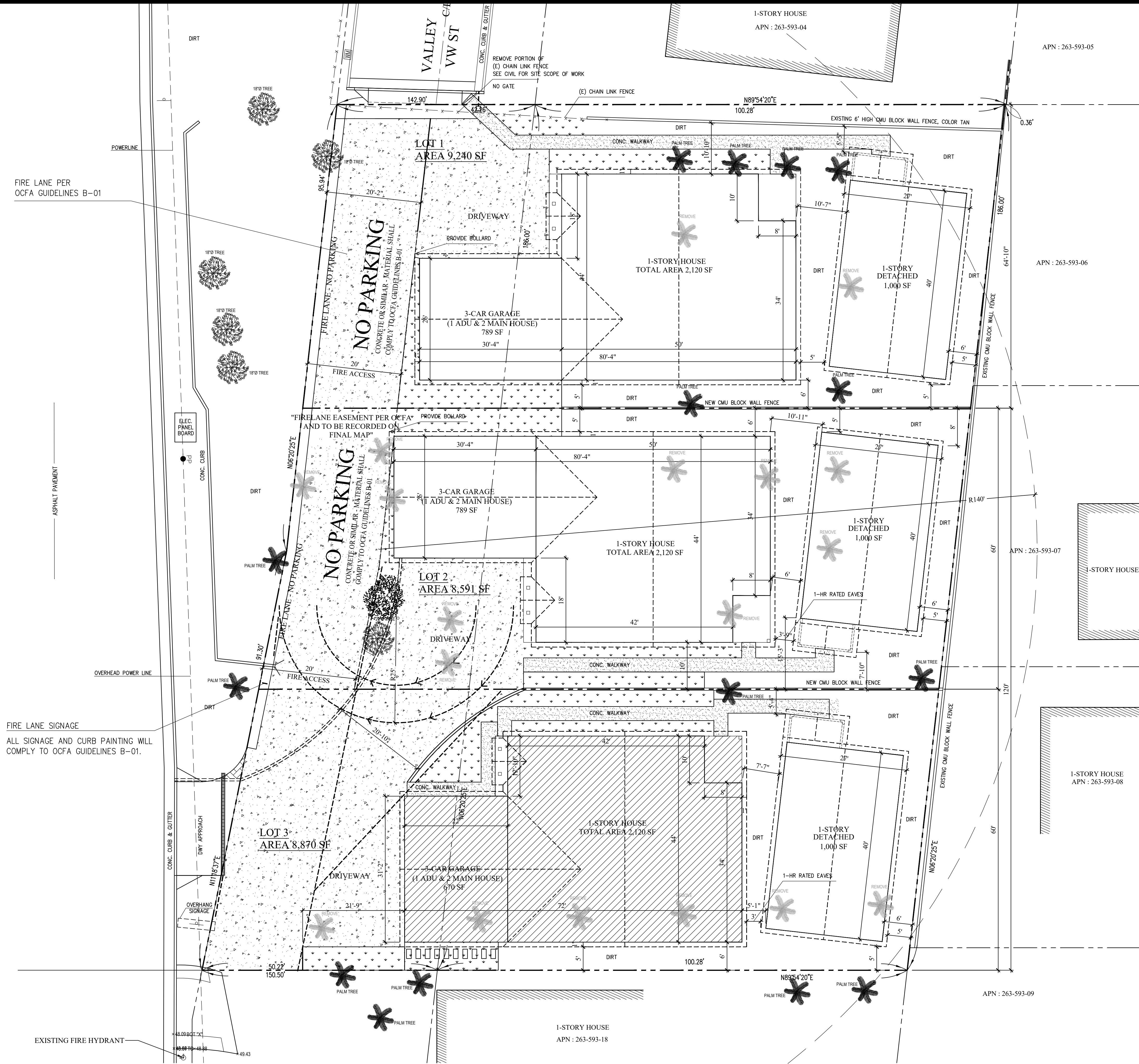
MAIN HOUSE LOT 2
EXT. ELEVATIONS

VALLEY VIEW STREET

C/L

1
A-3

PROPOSED SITE PLAN
SCALE: 3/32" = 1'-0"



LOT 3 - AREA CALCULATION

MAIN HOUSE	=	2,120 SF
GARAGE	=	685 SF
TOTAL	=	2,805 SF

COVERAGE CALCULATION	
2,805 SF	= 0.31 % (IS LESS THAN 40% OF
8,870 SF	MAX BUILDING COVERAGE)

DETACHED ADU = 1,000 SF (NOT PART OF CALCULATION)

LOT 1 - AREA: 8,870 SF
LANDSCAPE REQUIRED: 360 SF
LANDSCAPE PROVIDED: 657 SF

NOTE:

1. NO FENCES OR GATES WILL BE PROVIDED ON SITE.

LEGEND

	NEW STRUCTURE
	CONCRETE WALKWAY
	LANDSCAPE
	CONCRETE DRIVEWAY
	PERVIOUS CONCRETE OR PAVERS
	6' HIGH VINYL FENCE
	EXISTING 6' CMU BLOCK WALL FENCE, COLOR: TAN
	NEW 6' CMU BLOCK WALL FENCE, COLOR: TAN
	NEW 130 GAL. RAIN TANK PER BMP PER CIVIL, TYP.
	ROOF DRAIN

SITE PLAN NO. SP-25-4

VALLEY VIEW RESDEV, LLC
CONTACT: MARC LEBANOFF
18031 IRVINE BLVD.
TUSTIN, CA 92780

Owner

Sheet no.
A-3
3 of 7

Project Name

VALLEY VIEW RESDEV, LLC
7254A VALLEY VIEW ST.
BUENA PARK, CA 90620

Drawn by
AAB

Checked by
AAB

Date
04/04/25

Sheet Title
**PROPOSED
SITE PLAN**

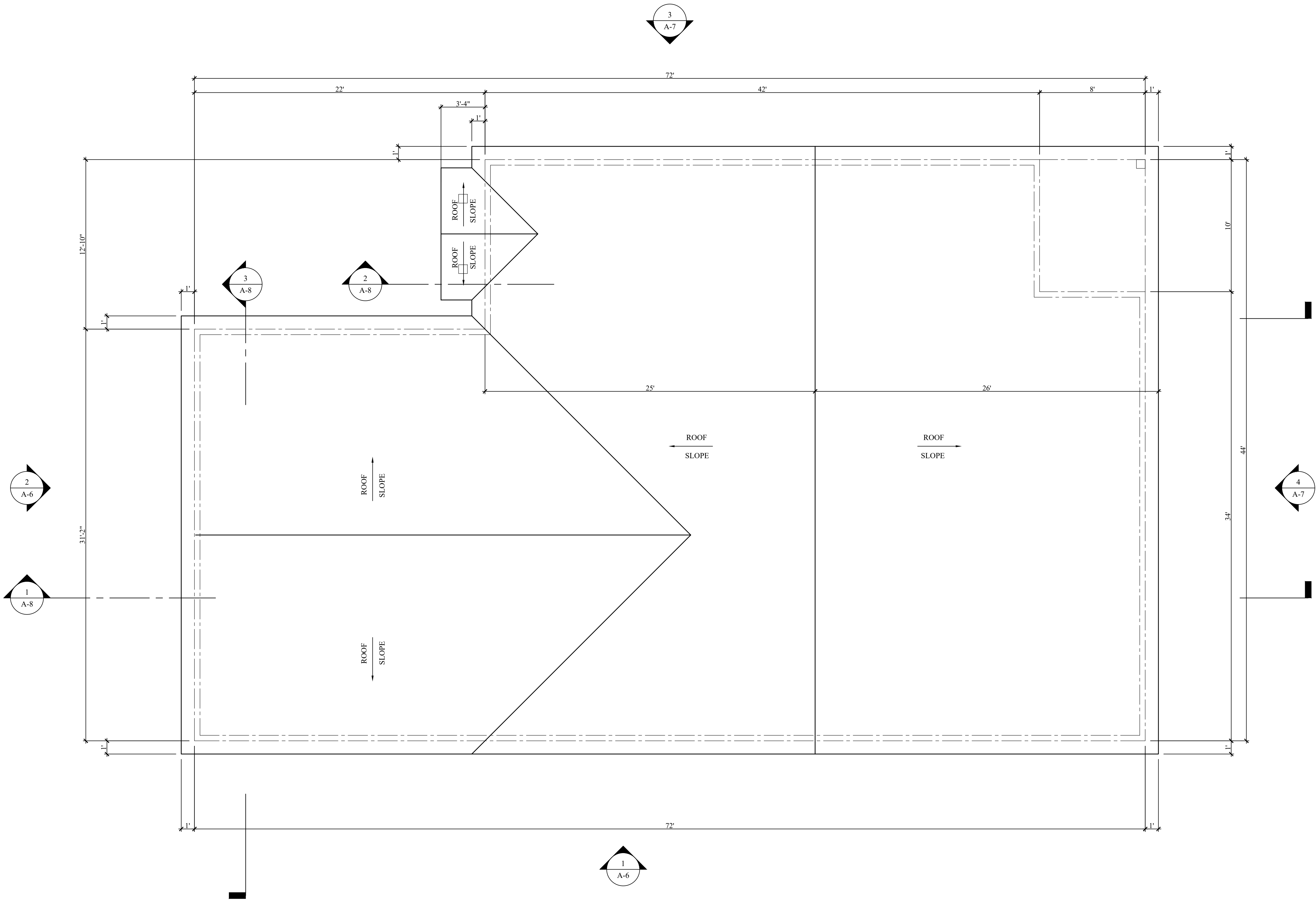
Sheet Title	MAIN HOUSE LOT 3 FLOOR PLAN		
Drawn by AAB	Checked by AAB	Date	04/15/25

VALLEY VIEW RESDEV, LLC
CONTACT: MARC LEBANOFF
18031 IRVINE BLVD.
TUSTIN, CA 92780

Sheet no.
A-4
4 of 7



7254A VALLEY VIEW ST.
BUENA PARK, CA 90620



MAIN HOUSE - LOT 3
PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

Drawn by
AAB

Checked by
AAB

Date
04/04/25

Sheet Title
**MAIN HOUSE LOT 3
ROOF PLAN**

Project Name
VALLEY VIEW RESDEV, LLC
7254A VALLEY VIEW ST.
BUENA PARK, CA 90620

Owner
VALLEY VIEW RESDEV, LLC
CONTACT: MARC LEBANOFF
18031 IRVINE BLVD.
TUSTIN, CA 92780

Sheet no.
A-5
5 of 7

7254A VALLEY VIEW ST.
BUENA PARK, CA 90620

Drawn by
AAB

Checked by
AAB

Date
04/04/25

Sheet Title
MAIN HOUSE LOT 3
EXT. ELEVATIONS

Project Name
VALLEY VIEW RESDEV, LLC

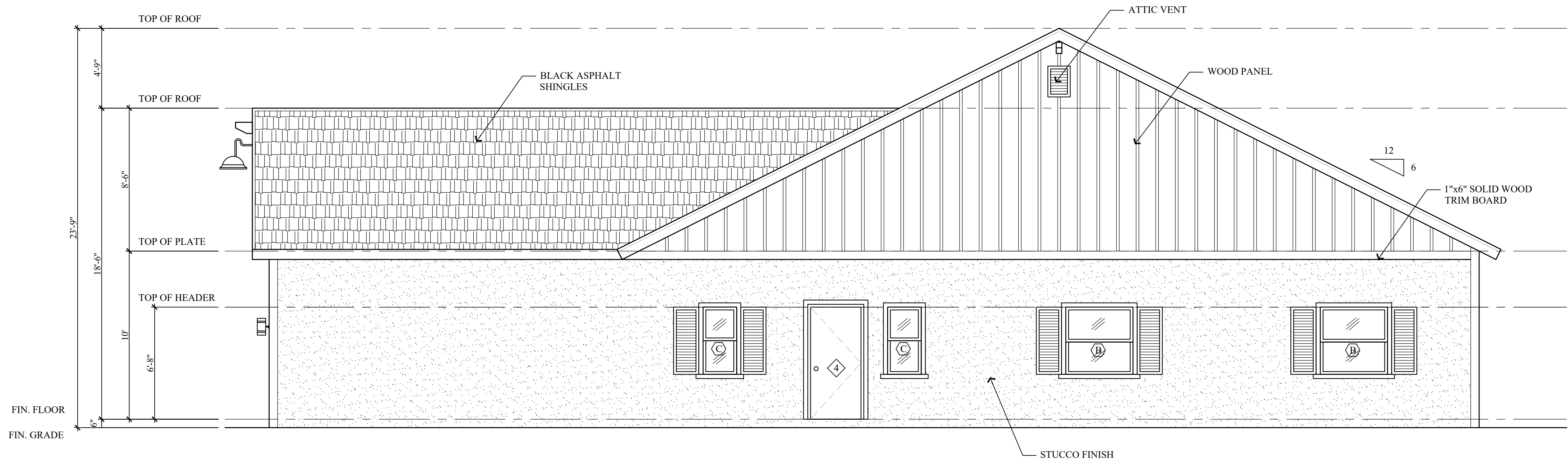
7254A VALLEY VIEW ST.
BUENA PARK, CA 90620

Owner
VALLEY VIEW RESDEV, LLC

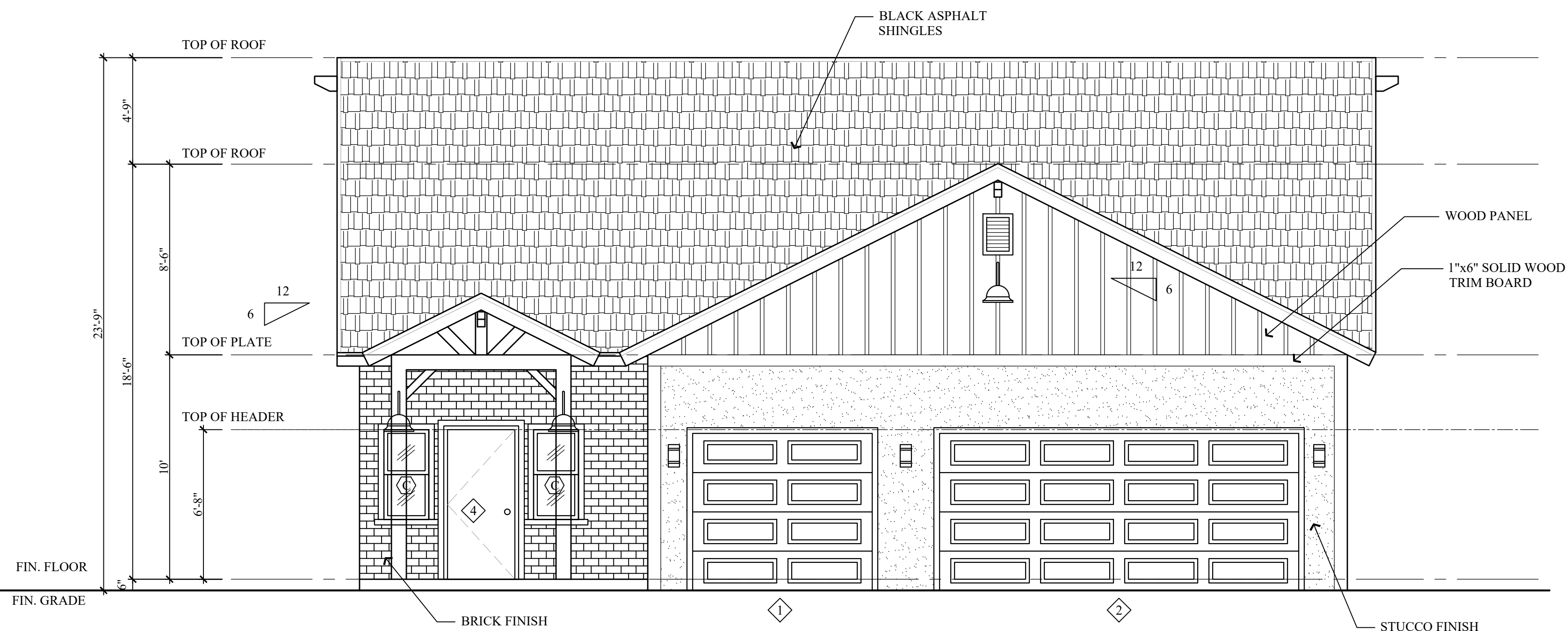
CONTACT: MARC LEBANOFF
18031 IRVINE BLVD.
TUSTIN, CA 92780

Sheet no.
A-6

6 of 7



1
A-6
MAIN HOUSE - LOT 3
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2
A-6
MAIN HOUSE - LOT 3
WEST ELEVATION
SCALE: 1/4" = 1'-0"

OCFA WATER AVAILABILITY FORM

SECTION A: To be completed by customer

Project Name: Valleyview Resdev OCFA SR #:
Project Address: 7242 Valley View St, Unit A/B City: Buena Park
Applicant Phone #: 702-1336-0636 Fax #:
Area of largest building: 2840 Main Residence Construction type? (check one) ☐ JA ☐ IB ☐ IIA ☐ IIB ☐ IUA ☐ IUB ☐ IVA ☐ IVB
Is this building sprinklered throughout? (check one) ☒ Y ☐ N At completion But Main Residence AOV will have Fire sprinklers.

**SECTION B: To be completed by local water department/district
Customer to provide results to OCFA**

Water Department/District: City of Buena Park Public Works
Test location (indicate address or cross streets & provide reference map): In front of 7305 Valley View St
Hydrant number(s) (if applicable): Test: N/A Flow: N/A
Elevation of test hydrant: feet above sea level
Date of Test: 09/11/24 Time of test: 14:30 ☐ AM ☒ PM
(Test to be performed as close as possible to the time that the lowest flows and pressures are expected (e.g., M-F: 8:00--9:00 and S-S: 9:00--9:30 pm))

FLOW TEST RESULTS
TEST INFORMATION IS VALID FOR 6 MONTHS FROM DATE TEST IS PERFORMED

Static pressure:	<u>75</u>	psi	Residual pressure:	<u>73</u>	psi
Observed flow:	<u>1,198 gpm @ 51 psi</u>	gpm	Flow calc'd at 20 psi:	<u>7,175</u>	gpm

☐ Check the box if the test information above was obtained in a manner other than an actual flow test (i.e. by computer modeling).

Based on fluctuations known to exist at the site of the test, provide estimated values for the following:

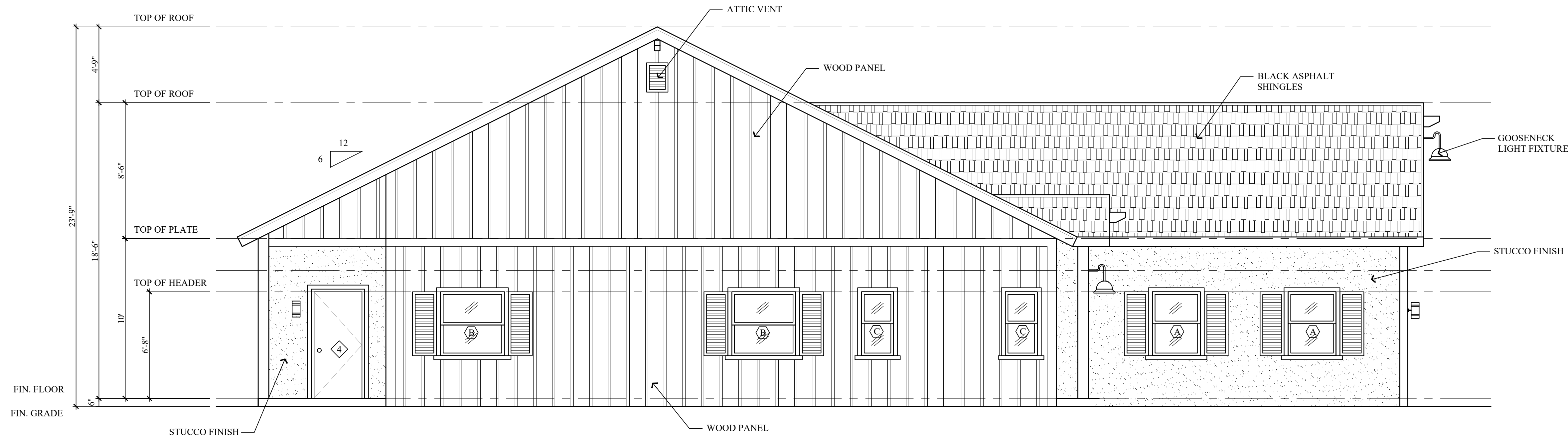
Maximum static pressure:	<u>77</u>	psi	Minimum static pressure:	<u>75</u>	psi
Minimum residual pressure:	<u>73</u>	psi	Minimum residual flow:	<u>1198</u>	gpm

I have witnessed and/or reviewed this water flow information and by personal knowledge and/or on-site observation certify that the above information is correct.

Name: Mark Stephens Company/Agency: City of Buena Park
Signature: [Signature] Title: Water Quality Specialist
Date: 9/11/24

(Revised 3/27/16)

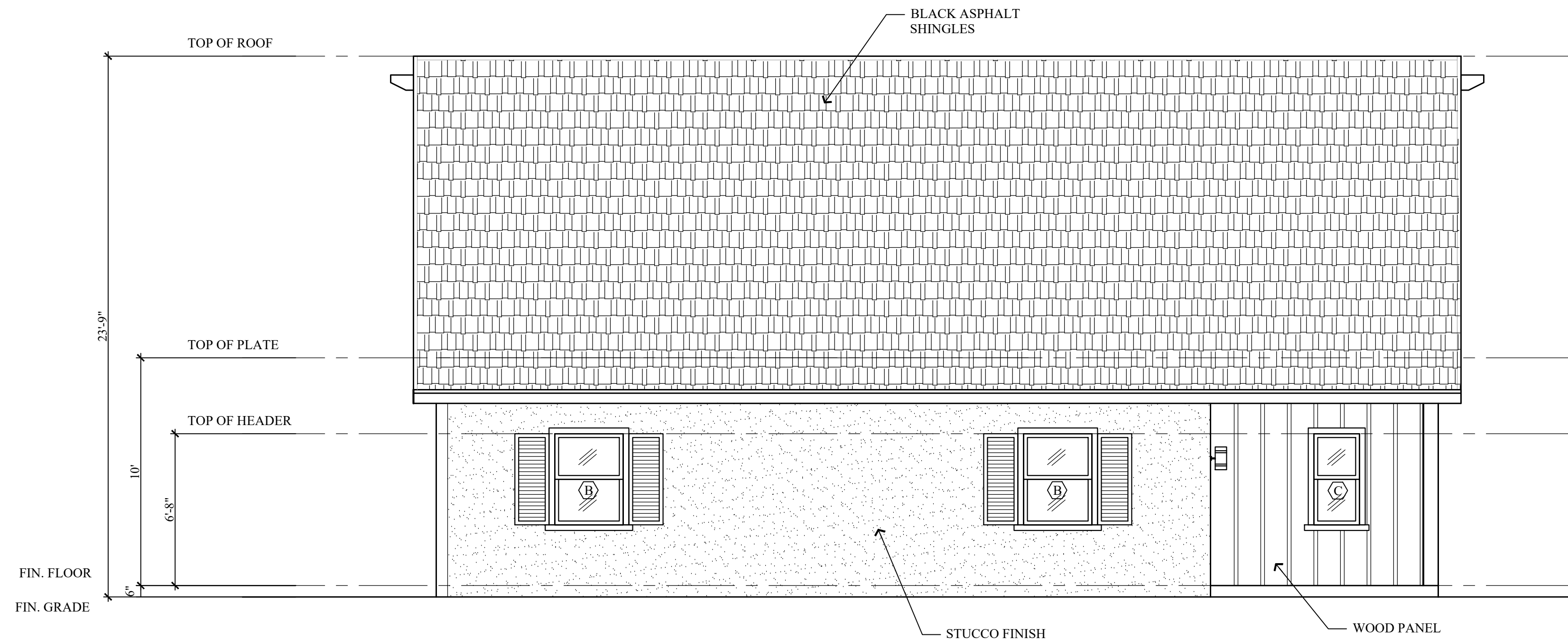
7254A VALLEY VIEW ST.
BUENA PARK, CA 90620



3
A-7

MAIN HOUSE - LOT 3
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



4
A-7

MAIN HOUSE - LOT 3
EAST ELEVATION

SCALE: 1/4" = 1'-0"

Drawn by
AAB

Checked by
AAB

Date
04/04/25

Sheet Title
**MAIN HOUSE LOT 3
EXT. ELEVATIONS**

Project Name
VALLEY VIEW RESDEV, LLC
7254A VALLEY VIEW ST.
BUENA PARK, CA 90620

Owner
VALLEY VIEW RESDEV, LLC
CONTACT: MARC LEBANOFF
18031 IRVINE BLVD.
TUSTIN, CA 92780

Sheet no.
A-7
7 of 7



VICINITY MAP



ZONING ADMINISTRATOR

May 1, 2025 – 2:30 p.m.

SITE PLAN REVIEW NOS. SP-25-2, SP-25-3, & SP-25-4
7242, 7248, & 7254 Valley View Street
APN: 263-593-19