

Thursday, March 6, 2025, 2:00 PM
CITY HALL - COMMUNITY DEVELOPMENT CONFERENCE ROOM
6650 BEACH BLVD
BUENA PARK, CA 90621

ZONING ADMINISTRATOR
AGENDA

2:00 p.m.

Members of the public who wish to discuss an item should fill out a speaker identification card and hand it to the secretary. When the item is announced by the Zoning Administrator, speakers should come forward, and upon recognition by the Zoning Administrator, state their names and addresses.

Members of the public may also submit their comments in writing for the Zoning Administrator by sending them to the Community and Economic Development Department at bpplancomments@buenapark.com. Please submit all comments by 1:30 p.m. on Thursday, March 6, 2025. Please contact the Planning Division at (714) 562-3620 for any questions.

All actions by the Zoning Administrator are final unless an appeal to the City Council is filed with the City Clerk within ten (10) working days of the decision.

Appeal period ends on March 25, 2025.

1. GENERAL

1A. CALL TO ORDER

2. PUBLIC HEARING

2A. SITE PLAN NO. SP-24-14

A request to construct a 903 square-foot single-story addition to the rear (north) elevation, a new 43 square-foot front porch to an existing 624 square-foot single-story, single-family dwelling, and a 254 square-foot addition to the existing 252 square-foot garage on a property located at 7251 9th Street, Unit A. The proposed project will result in a 1,527 square-foot single-story, single-family dwelling with four (4) bedrooms, three (3) bathrooms, and a 506 square-foot attached 2-car garage.

The property owner and applicant is Gerardo Cisneros, 7251 9th Street, Unit A, Buena Park, CA 90621.

The project is Categorically Exempt, pursuant to Section 15301 (Existing Facilities) Class 1 of the State California Environmental Quality Act (CEQA) Guidelines.

RECOMMENDED ACTION: Adopt Resolution with Conditions of Approval approving Site Plan No. SP-24-14.

3. ADJOURNMENT

3A. Adjournment

This agenda contains a brief general description of each item to be considered. Supporting documents are available for review and copying at City Hall or at www.buenapark.com. Supplementary materials distributed to the Zoning Administrator less than 72 hours before the meeting are posted to the City's website at www.buenapark.com and copies are available for public inspection beginning the next regular business day. This governing body is prohibited from discussing or taking action on any item which is not included in this agenda; however, may ask clarifying questions, ask staff to follow-up, or provide other direction. The order of business as it appears on this agenda may be modified by the governing body.

In compliance with the Americans with Disabilities Act, if you need accommodations to participate in this meeting, contact the City Clerk's Office at (714) 562-3750 or the California Relay Service at 711. Notification at least 48 hours prior to the meeting will enable the City to make arrangements to assure accessibility.

I, Ruth Santos, City of Buena Park, do hereby certify, under penalty of perjury under the laws of the State of California that a full and correct copy of this agenda was posted pursuant to Government Code Section 54950 et. seq., at Buena Park City Hall, 6650 Beach Blvd., and uploaded to the City of Buena Park website www.buenapark.com.

Ruth Santos
Sr. Administrative Assistant

Date Posted: February 27, 2025



Zoning Administrator Meeting Agenda Report

A. SITE PLAN NO. SP-24-14

A request to construct a 903 square-foot single-story addition to the rear (north) elevation, a new 43 square-foot front porch to an existing 624 square-foot single-story, single-family dwelling, and a 254 square-foot addition to the existing 252 square-foot garage on a property located at 7251 9th Street, Unit A. The proposed project will result in a 1,527 square-foot single-story, single-family dwelling with four (4) bedrooms, three (3) bathrooms, and a 506 square-foot attached 2-car garage.

The property owner and applicant is Gerardo Cisneros, 7251 9th Street, Unit A, Buena Park, CA 90621.

The project is Categorically Exempt, pursuant to Section 15301 (Existing Facilities) Class 1 of the State California Environmental Quality Act (CEQA) Guidelines.

RECOMMENDED ACTION: Adopt Resolution with Conditions of Approval approving Site Plan No. SP-24-14.

Meeting	Agenda Group
Thursday, March 6, 2025, 2:00 PM	PUBLIC HEARING Item: 2A.
Prepared By	Presented By
Joshua Alvarez , Assistant Planner	Joshua Alvarez , Assistant Planner

PROPERTY INFORMATION:

Address / Assessor Parcel Number (APN):	7251 9 th Street, Unit A 276-221-40
Lot Area:	7,500 square feet
Street Frontage:	50 feet
Zoning District:	RM-20 (Medium-Density Multifamily Residential) with Housing Opportunities Overlay
General Plan Designation:	High Density Residential
Existing Development:	624 square-foot single-story, single-family dwelling with an attached 252 square-foot one-car garage, and a detached 894 square-foot Accessory Dwelling Unit (ADU).

SURROUNDING LAND USE CHARACTERISTICS:

	GENERAL PLAN	ZONING	EXISTING LAND USE
North	High Density Residential	RM-20 (Medium-Density Multifamily Residential)	Multi-family Development
South	Low Density Residential	RS-6 (One-Family Residential)	Single-family dwelling
East	High Density Residential	RM-20 (Medium-Density Multifamily Residential) with Housing Opportunities Overlay	Single-family dwelling

West	High Density Residential	RM-20 (Medium-Density Multifamily Residential) with Housing Opportunities Overlay	Single-family dwelling
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APPLICATION ANALYSIS:

Proposal:

The Applicant is requesting to construct a 903 square-foot single-story addition to the rear (north) elevation, a new 43 square-foot front porch to an existing 624 square-foot single-story, single-family dwelling, and a 254 square-foot addition to the existing 252 square-foot garage on a property located at 7251 9th Street, Unit A. The additions will bring the total size of the single-family dwelling to 1,527 square feet with a total of four (4) bedrooms, three (3) bathrooms, and a 506 square-foot attached 2-car tandem garage.

Development Standards Analysis:

Development Standards	Required	Proposed
Lot Coverage:	40% maximum	28%
Rear Yard Coverage:	30% maximum	0%
Setbacks:	Front: 20 ft. minimum Side: 5 ft. minimum (not abutting a street) Rear: 25 ft. minimum	Front: 20 ft. Side: West 6 ft. 8 in. East 8 ft. 7 in. Rear: 61 ft. 5 in.
Parking:	2-car garage	2-car attached tandem garage (506 square feet)
Front Yard Landscape:	30% minimum	62%

Discussion:

Section 19.128.040 (Site Plan Review) of the City of Buena Park Municipal Code (BPMC) requires Zoning Administrator review and approval of any addition or conversion of non-habitable areas into habitable area that causes the total residential floor area to exceed 1,100 square feet, via the Site Plan Review process.

The goal of the Site Plan Review process is to ensure that the project meets all development standards of the zoning district, and is in “reasonable harmony with the architectural character of the area” and not “detrimental to the existing and intended character” of the surrounding neighborhood. This process furthers the General Plan Policy LU-7.1 to “maintain and enhance the character of single-family residential neighborhoods.”

The proposed expansion complies with all development standards for single-family residences within the RM-20 (Medium-Density Multifamily Residential) zone such as setbacks, height, lot coverage, and parking.

Guidelines for Single-Family Residential Additions:

The proposed architectural design of the addition to the existing single-story single-family dwelling will be consistent with the character of the existing single-family residences and residential neighborhood. The request complies with the Guidelines for Single-Family Residential Additions adopted by City Council for promoting high-quality additions compatible with adjacent properties, as listed below.

Roofs: New roofs shall blend with existing rooflines and be of unified materials.

The roof design and rooflines of the addition will consist of a gable-roof design. The roof materials of the additions to the single-family dwelling and attached 2-car garage will be comprised of composition shingle roof to match the existing dwelling.

Enhanced Exteriors: Elevations to include superior finished, materials, and colors.

The proposed addition areas provide a smooth stucco finish and raised stucco window and door trims to match the existing house. The front (south) elevation of the single-family dwelling will incorporate a decorative stone veneer siding that wraps around to the east elevation and, as conditioned, to the west elevation of the single-family dwelling. Additionally, the proposed 43 square-foot porch will incorporate a front facing gable end roof design and decorative stone veneer siding wrapped columns with diagonal support bracing elements.

Balconies: Balconies shall include appropriate design and/or location for screening or obscuring the balcony to minimize the loss of privacy for neighboring properties.

The proposed project does not include balconies.

Windows: Windows shall include decorative treatment and windows located on the same elevation shall be consistent in design, style, and materials.

The new white vinyl windows will be consistent in style, design, and materials throughout the residence. A pair of vertically oriented fixed windows flank the new front door providing an elevated look to the remodeled entryway. Raised stucco trim is proposed around all windows.

Landscape: Sufficient size and quantities shall be installed to provide screening and to protect the privacy of adjacent properties.

The proposed expansion is setback at the required distances to protect privacy of adjacent properties. No added landscape is required.

After reviewing the applicant's request and plans, staff visited the property and reviewed the site and building configuration as well as layout of the surrounding properties, and has determined that the site can accommodate the proposed expansion of the existing single-story single-family dwelling. When completed, the materials and color scheme of the proposed expansions of the single-story single-family dwelling will blend with the overall architectural character of the surrounding area; therefore, preserving the residential integrity of the existing residential neighborhood and will not impose any adverse impacts on adjacent properties.

ENVIRONMENTAL ASSESSMENT:

The project is Categorically Exempt, pursuant to Section 15301 (Existing Facilities) Class 1 of the State California Environmental Quality Act (CEQA) Guidelines, because the project consists of the addition of floor area to an existing single-family residence.

PUBLIC HEARING NOTICE:

Notice of public hearing was posted at City Hall, the Buena Park Library, and Ehlers Event Center on February 20, 2025, and six (6) notices were mailed to adjacent property owners of the subject property on February 20, 2025. As of the date of printing this report, the City has not received any inquiries or letters regarding the proposed action.

Reviewed By: Harald Luna, Senior Planner

Reviewed By: Ian McAleese, Senior Planner

Approved By: Matt Foulkes, Director of Community and Economic Development

Attachments

[Proposed Zoning Administrator Resolution for Site Plan No. SP-24-14.pdf](#)

[SP-24-14 Development Plans Stamped RECEIVED JAN 25 2025 PLANNING DIV.pdf](#)

[SP-24-14 VICINITY MAP.pdf](#)

RESOLUTION NO.
SITE PLAN NO. SP-24-14

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF BUENA PARK APPROVING A SITE PLAN REQUEST TO ALLOW FOR THE DEVELOPMENT OF A 903 SQUARE-FOOT SINGLE-STORY ADDITION TO THE REAR (NORTH) ELEVATION, A NEW 43 SQUARE-FOOT FRONT PORCH TO AN EXISTING 624 SQUARE-FOOT SINGLE-STORY, SINGLE-FAMILY DWELLING, AND A 254 SQUARE-FOOT ADDITION TO THE EXISTING 252 SQUARE-FOOT GARAGE ON A PROPERTY LOCATED AT 7251 9TH STREET, UNIT A, WITHIN THE RM-20 (MEDIUM-DENSITY MULTIFAMILY RESIDENTIAL) ZONE AND HOUSING OPPORTUNITIES OVERLAY, WITH FINDINGS

A. Recitals.

(i) Gerardo Cisneros, the applicant and property owner of 7251 9th Street, Unit A, Buena Park, CA 90621, has filed an application for the issuance of Site Plan No. SP-24-14 to construct an approximately 903 square-foot single-story addition to the rear (north) elevation, a 43 square-foot front porch to an existing 624 square foot single-story single-family dwelling, and a 254 square foot addition to the existing 252 square-foot garage. The proposed project will result in a 1,527 square-foot single-story, single-family dwelling with four (4) bedrooms, three (3) bathrooms, and a 506 square-foot attached 2-car garage on a property located at 7251 9th Street, Unit A, Buena Park, CA 90621 (APN: 276-221-40) in the County of Orange. Hereinafter in this Resolution, the subject Site Plan request is referred to as the "Application."

(ii) On March 06, 2025, the Zoning Administrator conducted a hearing on the application and concluded said hearing prior to the adoption of this Resolution.

(iii) All legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution.

NOW THEREFORE, it is found, determined, and resolved by the Zoning Administrator of the City of Buena Park as follows:

1. The Zoning Administrator hereby specifically finds that all the facts set forth in Recitals, Part A, of this Resolution are true and correct.

2. Based upon substantial evidence presented to the Zoning Administrator during the above-referenced hearing, including written staff reports, verbal testimony, and development plans dated "RECEIVED JAN 25 2025 PLANNING DIV", the Zoning Administrator hereby specifically finds as follows:

a. **FINDING:** The proposed development meets all applicable requirements of this Title and other laws.

FACT: The proposed additions to the single-family dwelling comply with all applicable requirements of the General Plan and Zoning Ordinance

including lot coverage, setbacks, floor plan, parking, and building materials, as conditioned. The architectural design, materials, finishes and color scheme will blend with the overall character and color palette of the single-family dwellings from the surrounding area.

- b. **FINDING:** The site arrangement and improvements will not be detrimental to the existing and intended character of the area as defined by the General Plan, any applicable specific plans, and this Title.

FACT: The site arrangement and improvements will not be detrimental to the existing and intended character of the residential neighborhood since the proposed additions to the single-family dwelling comply with the General Plan and the Zoning Ordinance. The design of the proposed addition to the single-family dwelling meets all applicable standards and criteria and will maintain the residential character of the neighborhood.

- c. **FINDING:** Property values will be conserved.

FACT: The proposed additions will not negatively impact the property in question nor will it negatively impact surrounding properties since all improvements meet the Buena Park Municipal Code requirements as well as the Guidelines for Single-Family Residential Additions adopted by City Council for the purpose of promoting high-quality additions compatible with adjacent properties.

- d. **FINDING:** Effective and satisfactory methods are provided to protect nearby structures and activities from noise, vibration, and other adverse environmental effects generated by the subject development.

FACT: The proposed additions will not create any detrimental effects on the environment since the area was planned for residential developments, and the project site will retain the development of a single-family residence.

- e. **FINDING:** The exterior architectural design is in reasonable harmony with the architectural character of the area.

FACT: The exterior architectural design is in reasonable harmony with the architectural character of the surrounding area. All building materials, colors and finishes will match the existing house, as conditioned.

- f. **FINDING:** The arrangement and design for pedestrian and vehicular traffic will minimize congestion and protect pedestrian and vehicular safety.

FACT: The arrangement and design for pedestrian and vehicular traffic will continue to minimize congestion and protect pedestrian and vehicular safety for the subject property as well as surrounding properties. No changes are proposed to pedestrian or vehicular access to and from the property.

3. The Zoning Administrator hereby finds and determines that the project identified above in this Resolution is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) of 1970, as amended, and the Guidelines promulgated thereunder pursuant to Class 1 Section 15301 (Existing Facilities) of Division 6 of Title 14 of the California Code of Regulations.

4. Based upon the findings and conclusions set forth in paragraphs 1, 2, and 3 above, this Zoning Administrator hereby approves the application subject to the plans dated "RECEIVED JAN 25 2025 PLANNING DIV" as modified herein and the following reasonable conditions set forth in paragraph 5 of this Resolution.

5. The following conditions are deemed necessary to protect the public health, safety, and general welfare and are reasonable and proper in accordance with the purpose and intent of the Buena Park City Code.

BUILDING DIVISION:

1. The project shall comply with the California Building Codes as adopted and amended by the City of Buena Park Municipal Code Title 15.
2. The building/buildings shall be fully fire-sprinklered as required by the City of Buena Park Municipal Code, Title 1, and/or the California Building Codes.
3. After the public hearing appeal period ends, applicant shall submit three (3) sets of construction plans to the Building Division for plan check in order to obtain required building permits.
4. The construction plans shall include integrated solar PV panels.

PUBLIC WORKS DIVISION:

DESIGN:

1. The driveway approach along 9th street to be replaced per City Std. 213, and sidewalks, curb and gutter along the project frontage that are lifted, fractured or failing shall be removed and replaced per City standards.
2. The landscaping in the parkway area along the project parcel frontage shall be replaced in accordance with City Standard 206 and in compliance with the City of Buena Park's parkway improvement guidelines, available at:
https://buenapark.com/city_departments/public_works/permits/parkway_improvements.php.

PERMIT ISSUANCE:

3. All fees, deposits, and bonds associated with improvements required by the Public Works Department shall be paid prior to the issuance of permits for construction. The fee amounts are specified in the City Fee Schedule.

4. Before exercising any right or performing any obligation pursuant to any permit issued by the Public Works Department, the developer/contractor shall obtain a City Business License and submit required insurance certificates.
5. Prior to final release of the project by the Public Works Department, or the refund of any cash deposits, the developer/contractor shall provide the City with a warranty bond to be held by the City for a period of one (1) year, for all public facilities and improvements.
6. Prior to the grant of occupancy by the City or commencement for the approved use, all improvements required by the Public Works Department shall be completed.

CONSTRUCTION:

7. The applicant/contractor shall be responsible for protecting all existing horizontal and vertical survey controls. Any survey controls disturbed during construction shall be reset per Orange County Surveyor Standards after construction.

PLANNING DIVISION:

1. This approval shall permit the construction of a 903 square-foot single-story addition to the rear (north) elevation, a new 43 square-foot front porch to an existing 624 square-foot single-story single-family dwelling, and a 254 square-foot addition to the existing attached 252 square-foot garage in substantial compliance with the plans dated "RECEIVED JAN 25 2025 PLANNING DIV" and as conditioned herein.
2. The applicant and/or property owner shall ensure that a copy of the Zoning Administrator Resolution, including all conditions of approval, be reproduced on the first pages of construction drawings and shall be distributed to all design professionals, contractors, and subcontractors participating in the construction phase of the project.
3. Plans submitted for plan check shall include the remodel and addition to the single-family residence, generally consistent with the submitted plans. Specifications and samples of the following shall be submitted to the Planning Division for approval prior to issuance of building permits:
 - a. Paint colors for stucco and siding
 - b. Roofing material consisting of composition shingles
 - c. Door and window trims
 - d. Stone veneer siding
4. The applicant shall require a separate fence/wall permit approval by the Planning Division for any proposed fences/walls to be located within the property.
5. Any fencing shown on plans shall comply with the Buena Park Municipal Code (BPMC) Chapter 19.328 (Development Standards – Fences, Walls, Hedges, and Berms) of the City of Buena Park Zoning Ordinance and shall require separate approval by the Planning Division, as necessary.

6. Any driveway modifications shall require separate Planning Division review and shall comply with BPMC Section 19.336.040 (Residential Driveway Standards) of the Buena Park Municipal Code.
7. The applicant shall demonstrate that proposed building materials, and other architectural/site features are rated for appropriate durability and longevity. Final plans shall incorporate all changes as conditioned herein and shall recognize all easements or deed restrictions pertaining to the subject property. Any appreciable modification shall require the prior approval of the Planning Division.
8. The proposed decorative stone veneer siding shall wrap around from the front (south) elevation to the west elevation to be terminated at the bedroom window opening of the single-family dwelling and to the east elevation of the attached 2-car garage a minimum of three (3') feet.
9. All on-site landscaping, including the front yard and parkway areas, which are damaged during construction shall be revitalized upon completion of construction, as necessary, prior to final building permits. All landscaping, including the parkway, shall be maintained in a healthy, green, pruned, growing condition.
10. Any installation of artificial turf shall require a separate Planning Division review and shall comply with BPMC Section 19.332.010 (Landscape Provisions for Residential Uses).
11. No roof-mounted mechanical equipment shall be permitted unless such equipment is not visible from adjacent and surrounding properties and streets from a height of five (5) feet above ground level. The installation and screening of air conditioning and similar equipment shall comply with existing design criteria and BPMC Section 19.340.020 (Visual Screening of Mechanical Equipment).
12. Interior access to all rooms/areas of the single-family dwelling shall be maintained at all times as a condition of use. No sections shall be partitioned off and provided solely with exterior access. In addition, no secondary kitchen or other cooking facilities shall be provided.
13. The construction authorized by the Site Plan shall be started within one (1) year of the expiration of the appeal period and thereafter diligently advanced until completion of the project.
14. This approval may be revoked for any violation of noncompliance with any of these conditions in accordance with BPMC Section 19.132.030 (Revocation) of the Zoning Ordinance.
15. Prior to final inspection, these conditions and all improvements shall be completed to the satisfaction of the City.
16. The project and/or use authorized by this approval shall at all times comply with all applicable local, state, and federal ordinances, statutes, standards, codes, laws, policies, and regulations.

17. The applicant and/or property owner shall sign an Affidavit of Acceptance of all conditions of approval and return it to the Planning Division within thirty (30) days after the effective date of this approval or prior to the issuance of a building permit or certificate of occupancy, whichever may occur first.
18. The applicant shall indemnify, defend, and hold harmless the City, its officers, agents, and employees from any claims and losses whatsoever occurring or resulting to any and all persons, firms, or corporations furnishing or supplying work, services, materials, or supplies in connection with the performance of the use permitted hereby or the exercise of the rights granted herein, any and all claims, lawsuits or actions arising from the granting of or exercise of the rights permitted by this approval and from any and all claims and losses occurring or resulting to any person, firm, or corporation, or property damage, injury, or death arising out of or connected with the performance of the use permitted hereby. Applicant's obligation to indemnify, defend, and hold harmless the City as stated hereinabove shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the City in connection with any such claims, losses, lawsuits, or actions, and any award of such damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.

PASSED AND ADOPTED this 6th day of March 2025.

Eddie Fenton
Zoning Administrator

ATTEST:

Harald Luna, Senior Planner

Resolution No.
Site Plan No. SP-24-14
March 06, 2025

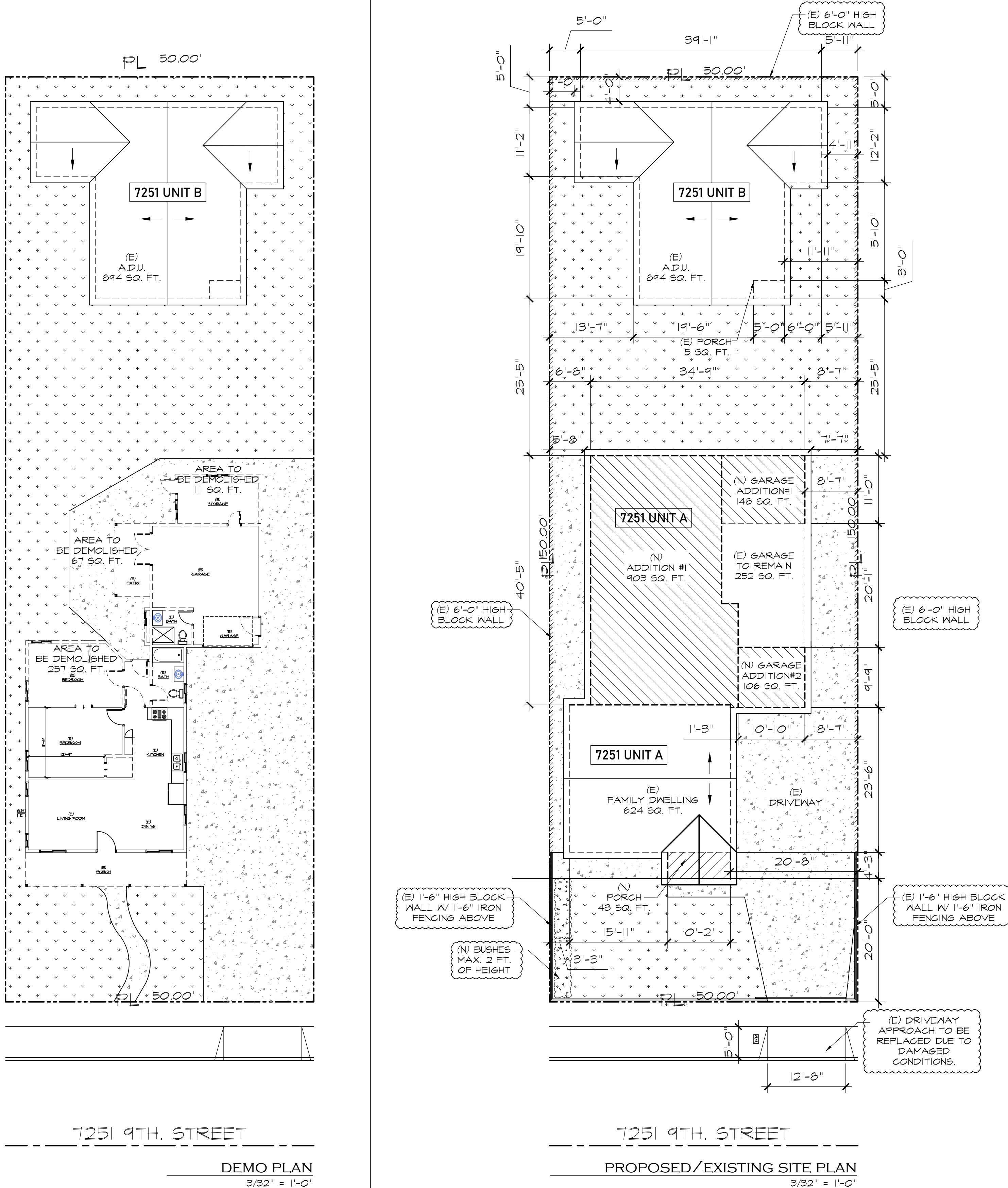
AFFIDAVIT OF ACCEPTANCE:

I/ We do hereby accept all of the conditions contained in this document and all other conditions imposed by Site Plan No. SP-24-14 and do agree that I/We shall conform with and abide by all such conditions.

Date: _____

Printed Name and Signature
Owner/Applicant

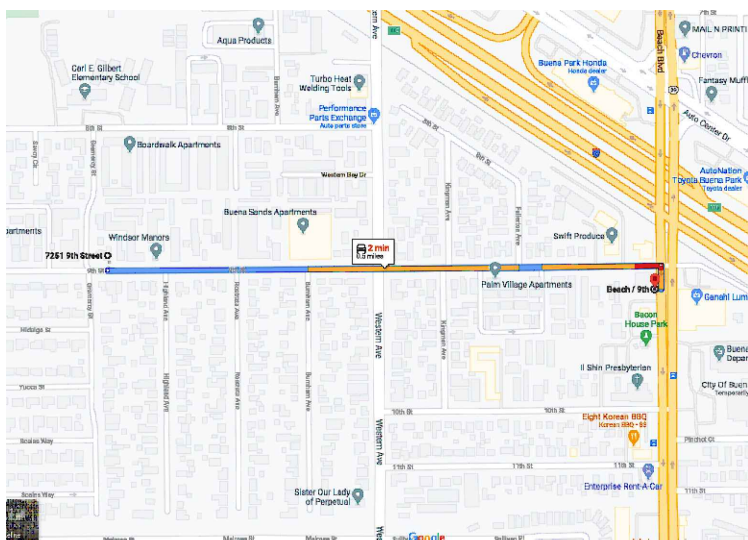
ADDITION TO S.F.D
7251 9TH. STREET
BUENA PARK, CA. 90621
APN # 276 - 221 - 40



PRE-CONSTRUCTION	
	HARDSCAPE 432 SQ. FT. (45%)
	LANDSCAPING 540 SQ. FT. (55%)

POST-CONSTRUCTION	
	HARDSCAPE 312 SQ. FT. (38%)
	LANDSCAPING 600 SQ. FT. (62%)

1/2 MILE TO BUS STOP



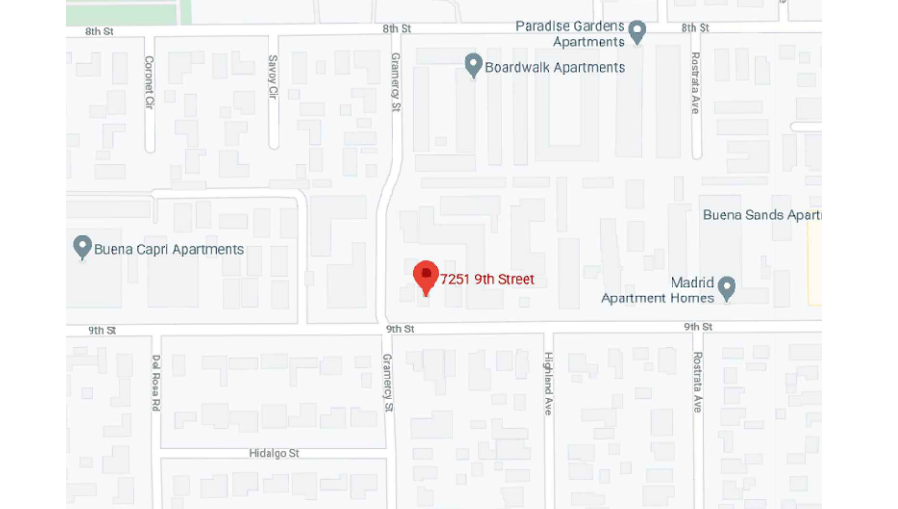
GENERAL NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THAT FURNISHED BY SUBCONTRACTORS.
- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS; DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATION. THE OWNER OR DESIGNER SHALL BE NOTIFIED IF ANY DISCREPANCY OCCURS PRIOR TO CONTINUING WITH WORK.
- ALL PLAN DIMENSIONS ARE FROM CENTER LINE OF STUD OR FACE OF FINISH UNLESS OTHERWISE INDICATED.
- ANY CHANGES PRIOR TO APPROVED SET OF PLANS, C.B. HOME DESIGN MUST BE NOTIFIED, CONTRACTOR OR PERSON CONDUCTING WORK SHOULD NOTIFY C.B. HOME DESIGN IF ANY DISCREPANCY OCCURS DURING CONSTRUCTION. C.B. HOME DESIGN IS NOT RESPONSIBLE FOR CONTRACTOR OR HOME BUILDER PERFORMANCE TO PERFORM WORK.
- ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING MECHANICAL AND ELECTRICAL SERVICES AND DISTRIBUTION SYSTEMS WHETHER SHOWN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OR REMEDY OF ANY FAULTY, IMPROPER OR INTERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN (1) YEAR OR AS OTHERWISE SPECIFIED FOR A SPECIFIC COMPONENT AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.
- SILICONE CAULK SHALL BE USED AT THE FOLLOWING LOCATIONS INCLUDING BUT NOT LIMITED TO:
 - METAL DOOR AND WALL CONNECTION
 - CONDUIT AND PIPE PENETRATIONS AT WALLS AND CEILING.
 - JUNCTION OF MILLWORK (CABINETS, SHELVES, BOOTHS).
 - STAINLESS STEEL TO WALLSDO NOT CAULK ANY OTHER AREAS, ESPECIALLY AT GREYWOOD
- CONTRACTOR IS TO CLEAN WORK AREAS ON A DAILY BASIS SO AS NOT TO ACCUMULATE DEBRIS
- UPON PROJECT COMPLETION CONTRACTOR IS TO CLEAN WORK AREAS AND JOB SITE THOROUGHLY SO AS TO REMOVE ALL CONSTRUCTION DUST, RESIDUE, AND DEBRIS.
- DO NOT OBSTRUCT STREETS, SIDEWALKS, ALLEYS OR OTHER RIGHT-OF-WAY WITHOUT FIRST OBTAINING PROPER PERMITS.
- ALL WORK SHALL BE ACCOMPLISHED WITH QUALITY WORKMANSHIP OF THE HIGHEST INDUSTRY STANDARDS. ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS. MATERIALS AND METHODS SHALL CONFORM TO THE APPROPRIATE NATIONAL TRADE CODES, I.E. TILE COUNCIL OF AMERICA HANDBOOK FOR CERAMIC TILE INSTALLATION, ARCHITECTURAL WOODWORK INSTITUTE, "QUALITY STANDARDS" ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SAFETY, AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE SAFETY OF WORKS AND OCCUPANTS AT ALL TIMES.
- ALL CONSTRUCTION SHALL BE PERFORMED DURING THE HOURS OF 7:00 AM TO 6:00 PM, MONDAY THROUGH SATURDAY. NO WORK IS TO OCCUR ON SUNDAYS OR HOLIDAYS.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MINOR ITEMS WHICH ARE OBVIOUSLY AND REASONABLE NECESSARY TO COMPLETE ANY INSTALLATION.
- MINIMUM FLAME SPREAD CLASSIFICATION OF INTERIOR FINISH SHALL CONFORM TO THE BUILDING CODE AND LOCAL GOVERNING BUILDING CODES/ORDINANCES.
- PROJECT SHALL CONFORM TO THE:
 - 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
 - 2022 CALIFORNIA BUILDING CODE (CBC)
 - 2022 CALIFORNIA MECHANICAL CODE (CMC)
 - 2022 CALIFORNIA PLUMBING CODE (CPC)
 - 2022 CALIFORNIA ELECTRICAL CODE (CEC)
 - 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
 - 2022 CALIFORNIA ENERGY STANDARDS AND CITY ORDINANCE AND ALL CITY AND COUNTY LAWS AND ORDINANCES.
- ADDITIONAL MECHANICAL, ELECTRICAL AND PLUMBING PERMITS SHALL BE OBTAINED AS REQUIRED.

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	GALV	GALVANIZED
CLG	CEILING	GYP BD	GYP SUM BOARD
CLR	CLEAR	HORIZ	HORIZONTAL
CONC	CONCRETE	HT	HEIGHT
CONT	CONTINUOUS	JST	JOISTS
DIA	DIAMETER	MAX	MAXIMUM
DIM	DIMENSION	MIN	MINIMUM
DWG	DRAWING	NO	NUMBER
EA	EACH	OC	ON CENTER
EL	ELEVATION	REQD	REQUIRED
EQ	EQUAL	SIM	SIMILAR
EW	EACH WAY	SQ	SQUARE
(E)	EXISTING	THK	THICK
FF	FINISH FLOOR	TYP	TYPICAL
F6	FINISH GRADE	W/	WITH
FL	FLOOR	WH	WATER HEATER
FT	FOOT, FEET		

VICINITY MAP



TABULATIONS

OCCUPANCY GROUP: R-3
CONSTRUCTION TYPE: V-B
LOT: 7500 SQ. FT.

EXISTING RESIDENCE: 624 SQ. FT.
EXISTING GARAGE TO REMAIN: 252 SQ. FT.
EXISTING A.D.U.: 844 SQ. FT.
EXISTING ADU PORCH: 15 SQ. FT.

NEW ADDITION #1: 903 SQ. FT.
NEW PORCH: 43 SQ. FT.
NEW GARAGE ADDITION#1: 148 SQ. FT.
NEW GARAGE ADDITION#2: 106 SQ. FT.

TOTAL FLOOR AREA: 2,091 SQ. FT.
LOT COVERAGE: 2,091/7,500 = 28% LOT COVERAGE
BUILDING HEIGHT: 1 STORY
USE: SINGLE FAMILY DWELLING

LANDSCAPE:
- PRE-CONSTRUCTION: 540 SQ. FT. (55% OF YARD TOTAL)
- POST-CONSTRUCTION: 600 SQ. FT. (62% OF YARD TOTAL)

HARDSCAPE:
- PRE-CONSTRUCTION: 432 SQ. FT. (45% OF YARD TOTAL)
- POST-CONSTRUCTION: 312 SQ. FT. (38% OF YARD TOTAL)

ADMINISTRATIVE REQ'S

- THE PERSON IN CHARGE OF THE CONSTRUCTION OR INSTALLATION, WHO IS ELIGIBLE UNDER DIVISION 9 OF THE BUSINESS AND PROFESSIONS CODE TO ACCEPT RESPONSIBILITY FOR THE CONSTRUCTION OR INSTALLATION OF REGULATED MANUFACTURED DEVICES SHALL POST, OR MAKE AVAILABLE WITH THE BUILDING PERMIT(S) ISSUED FOR THE BUILDING, THE CERTIFICATE OF INSTALLATION DOCUMENTATION FOR MANUFACTURED DEVICES REGULATED BY THE APPLIANCE EFFICIENCY REGULATIONS OF PART 6. SUCH CERTIFICATE OF INSTALLATION DOCUMENTATION SHALL BE MADE AVAILABLE TO THE ENFORCEMENT AGENCY FOR ALL APPLICABLE INSPECTIONS. THESE CERTIFICATES SHALL:
 - IDENTIFY FEATURES, MATERIALS, COMPONENTS, OR MANUFACTURED DEVICES, AND SYSTEM DIAGNOSTIC RESULTS REQUIRED TO VERIFY COMPLIANCE WITH APPLIANCE EFFICIENCY REGULATIONS AND PART 6.
 - STATE THE NUMBER OF THE BUILDING PERMIT UNDER WHICH THE CONSTRUCTION OR INSTALLATION CBO WAS PERFORMED. SECTIONS OF THE CERTIFICATE (S), FOR WHICH SUBMITTAL TO A HERS PROVIDER DATA REGISTRY IS REQUIRED, SHALL DISPLAY THE UNIQUE REGISTRATION NUMBER ASSIGNED BY THE HERS DATA REGISTRY.
 - INCLUDE A DECLARATION STATEMENT INDICATING THAT THE CONSTRUCTED OR INSTALLED FEATURES, MATERIALS, COMPONENTS, OR MANUFACTURED DEVICES CONFORM TO ALL APPLICABLE CODES AND REGULATIONS, AND TO THE REQUIREMENTS FOR SUCH DEVICES GIVEN IN THE PLANS AND SPECIFICATIONS APPROVED BY THE LOCAL ENFORCEMENT AGENCY.
 - BE SIGNED BY THE DOCUMENTATION AUTHOR TO CERTIFY THE DOCUMENTATION IS ACCURATE AND COMPLETE.
 - BE SIGNED BY THE INDIVIDUAL ELIGIBLE UNDER DIVISION 9 OF THE BUSINESS AND PROFESSIONS CODE TO ACCEPT RESPONSIBILITY FOR CONSTRUCTION, OR INSTALLATION IN THE APPLICABLE CLASSIFICATION FOR THE SCOPE OF WORK SPECIFIED ON THE CERTIFICATE OF INSTALLATION DOCUMENT(S).
- THE BUILDER SHALL PROVIDE THE BUILDING OWNER OR THE PERSON(S) RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE FEATURE, MATERIAL, COMPONENT OR MECHANICAL DEVICE INSTALLED (IN CASE OF MULTI-TENANT OR CENTRALLY OPERATED BUILDINGS) WITH THE FOLLOWING AT THE TIME OF OCCUPANCY:
 - COMPLIANCE INFORMATION, THE APPROPRIATE COMPLETED AND SIGNED CERTIFICATE(S) OF COMPLIANCE, CERTIFICATE(S) OF INSTALLATION, AND IF APPLICABLE CERTIFICATE(S) OF VERIFICATION DOCUMENTATION SUBMITTED.
 - OPERATING INFORMATION, THE APPROPRIATE CERTIFICATE(S) OF COMPLIANCE AND A LIST OF THE FEATURES, MATERIALS, COMPONENTS, AND MECHANICAL DEVICES INSTALLED IN THE BUILDING AND INSTRUCTION ON HOW TO OPERATE THEM CORRECTLY AND EFFICIENTLY.
 - MAINTENANCE INFORMATION, REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY STATED AND INCORPORATED ON A READILY ACCESSIBLE LABEL. THE LABEL MAY BE LIMITED TO IDENTIFYING THE OPERATION AND MAINTENANCE MANUAL.
 - VENTILATION INFORMATION, A DESCRIPTION OF THE QUANTITY OF OUTDOOR AIR THAT THE VENTILATION SYSTEM IS DESIGNED TO PROVIDE TO THE BUILDING CONDITIONED SPACE AND INSTRUCTIONS FOR PROPER OPERATION AND MAINTENANCE.
- THE ENFORCEMENT AGENCY SHALL NOT ISSUE A CERTIFICATE OF OCCUPANCY UNTIL ALL REQUIRED CERTIFICATES OF VERIFICATION ARE POSTED AND MADE AVAILABLE TO THE BUILDING DEPARTMENT FOR ALL APPLICABLE INSPECTIONS, AND THAT ALL CERTIFICATES OF VERIFICATION CONFORM TO THE SPECIFICATIONS OF SECTION 10-103(A)(5).

CONSULTANTS

SCOPE OF WORK

NEW ENTRY PORCH: 55 SQ. FT.
NEW ADDITION #1: 903 SQ. FT.
GARAGE ADDITION#1: 148 SQ. FT.
GARAGE ADDITION#2: 106 SQ. FT.

SHEET INDEX

T-1	COVER SHEET SITE
A-1	DEMO PLAN FOR MAIN HOUSE
A-2	PROPOSED FLOOR PLAN
A-3	ELEVATIONS
A-4	CROSS SECTIONS & ROOF PLAN

RECEIVED
JAN 25 2025
PLANNING DIV
SP-24-14

C.B. HOME
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1168 SAN GABRIEL BLVD
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OWNER INFO:
- GERARDO CISNEROS
- 7251 9TH. STREET
- BUENA PARK, CA. 90621

PROJECT ADDRESS:
- NEW ADDITION & NEW A.D.U.
- 7251 9TH. STREET
- BUENA PARK, CA. 90621

JOB NUMBER:
CB20-179

DRAWN BY:
GC/JC/OP

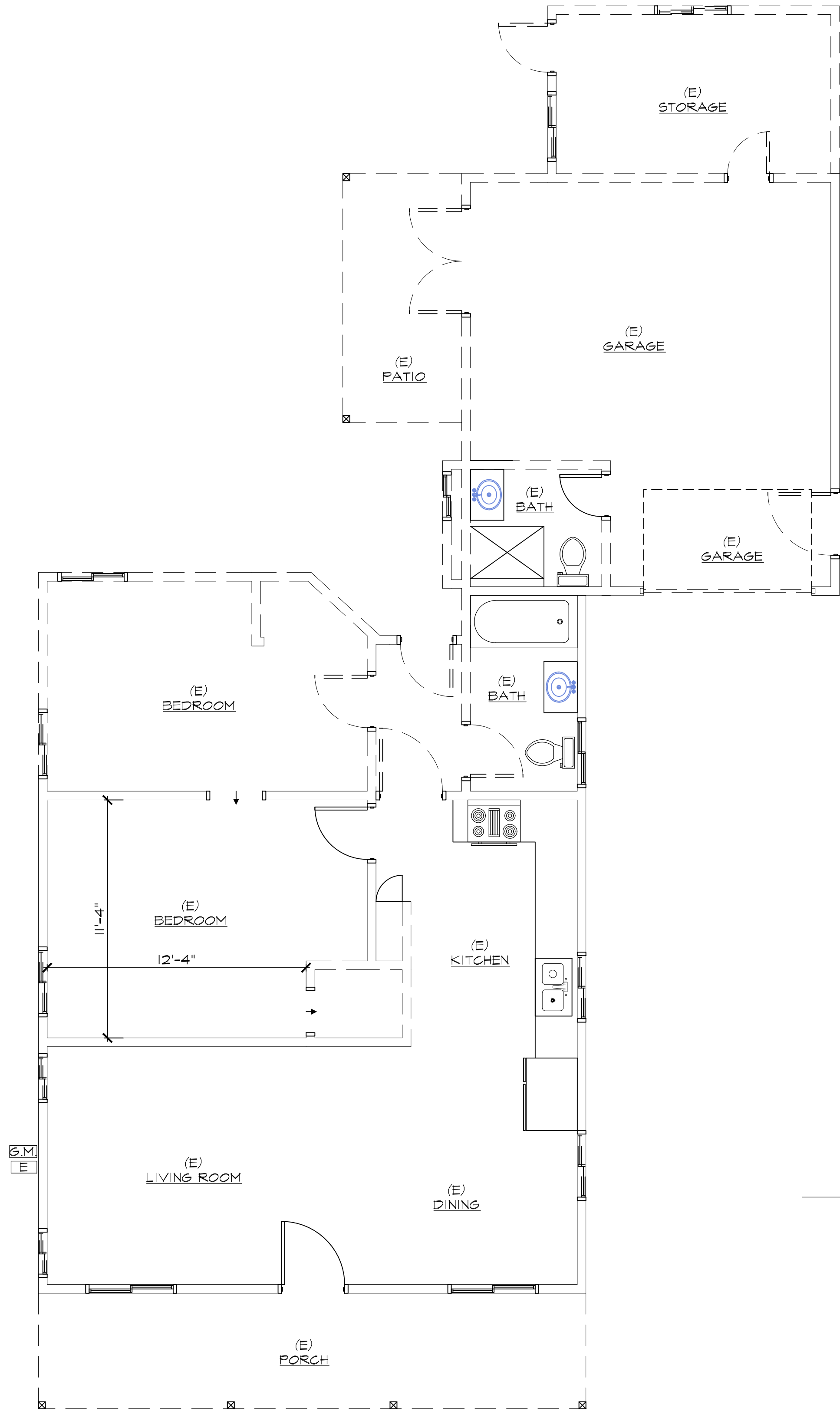
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REVISIONS:

SHEET TITLE:
SITE PLAN

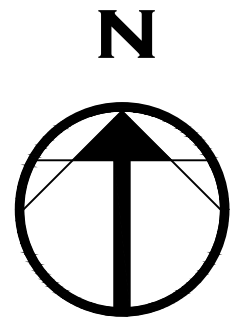
SHEET NO:

T-1



EXISTING FLOOR PLAN

1/4" = 1'-0"

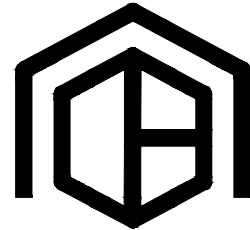


GENERAL NOTES

1. PROVIDE LOW FLOW TOILETS(1.28 G/F), SHOWERHEADS (2.0 GPM), AND FAUCETS (1.5 GPM).
2. SHOWER MAX TEMPERATURE OF 120° TO BE PROVIDED BY THE USE OF PRESSURE BALANCE THERMOSTATIC MIXING VALVES.
3. WALL COVERINGS IN SHOWERS AND TUBS TO BE CEMENT PLASTER, TILE, OR EQUAL TO 12" ABOVE DRAIN. ENCLOSURES MUST BE OF APPROVED SAFETY GLAZING AND DOORS MUST SWING OUT OF SHOWERS. WINDOWS IN ENCLOSURE WALLS SHALL BE LABELED SAFETY GLAZING WHEN LESS THAN 60" ABOVE THE DRAIN.
4. PROVIDE A MINIMUM ONE DEDICATED 20 AMPERE CIRCUIT TO BATHROOMS.
5. HEATING EQUIPMENT LOCATED IN AN ATTIC SPACE REQUIRING INSPECTION OR MAINTENANCE SHALL PROVIDE AN ACCESS OPENING NOT LESS THAN 30 INCHES BY 30 INCHES. A CONTINUOUS SOLID FLOOR NOT LESS THAN 24 INCHES AND A CLEAR SPACE OF 30" DEEP AND 30" WIDE LOCATED AT THE FRONT OF SERVICE SIDE OF EQUIPMENT.
6. FIRST SWITCH TO THE ENTRANCE OF BATHROOM(S) AND/OR KITCHEN SHALL BE A FLUORESCENT FIXTURE. (PLUG IN TYPE OR WITH BALLAST)
7. ALL BRANCH CIRCUITS THAT SUPPLY IS > 20 AMP. RECEPTACLE OUTLETS INSTALLED IN BEDROOMS TO BE PROTECTED BY AN AFCI.
8. ALL DUCTING AND CONNECTORS FOR HEATING AND/OR AIR CONDITIONING SHALL BE UL 181 APPROVED.
9. ALL BRANCH CIRCUITS IN A SINGLE FAMILY RESIDENCE SHALL BE PROTECTED BY COMBINATION TYPE AFCI DEVICES, EXCEPT KITCHENS, BATHROOMS, GARAGES & BASEMENT.
10. A 12" MINIMUM ACCESS PANEL TO BATHTUB TRAP CONNECTION IS REQUIRED UNLESS PLUMBING IS WITHOUT SLIP JOINTS.
11. PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE FOR SHOWERS AND TUB SHOWERS.
12. THE CENTER OF THE 15.20 AND 30-AMPERE RECEPTACLES SHALL BE INSTALLED NOT LESS THAN 12" ABOVE THE FLOOR OR WORKING SURFACE.
13. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (SEPARATE PLUMBING PERMIT REQUIRED)
14. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS, AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
15. GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6.
16. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN. NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2)
17. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68° AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.(R303.4)
18. DAMP PROOFING, WHERE REQUIRED, SHALL BE INSTALLED WITH MATERIALS AND AS REQUIRED IN SECTION R406.1
19. VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.4
20. BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R314.1)
21. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R911.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH ANPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF ANPA U1.

WALL SCHEDULE

- EXISTING 2X STUD WALL
- EXIST. 2X STUD WALL TO BE REMOVED



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OWNER INFO:

- GERARDO CISNEROS
- 7251 19TH STREET
- BUENA PARK, CA. 90621

PROJECT ADDRESS:

- NEW ADDITION
- 7251 19TH STREET
- BUENA PARK, CA. 90621

JOB NUMBER:
CB20-179

DRAWN BY:
GC/JC/OP

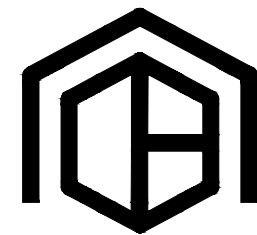
SCALE:
1/4" = 1'-0"

REVISIONS:

SHEET TITLE:
DEMOLITION PLAN

SHEET NO:

A-1



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- BUENA PARK, CA. 90621

JOB NUMBER:
CB20-179

DRAWN BY:
GC/JC/OP

SCALE:
1/4" = 1'-0"

REVISIONS:

SHEET TITLE:
PROPOSED FLOOR PLAN

SHEET NO:

A-2

DOOR SCHEDULE

SYM.	QTY.	SIZE	THK	TYPE	MATERIAL	REMARKS
1	2	3'-0" X 6'-8"	1 3/4"	SWING S.C.D.	WOOD	
2	8	2'-6" X 6'-8"	1 3/8"	SWING H.C.D.	WOOD	
3	3	2'-8" X 6'-8"	1 3/4"	SWING S.C.D.	WOOD	
4	1	2'-8" X 6'-8"	1 3/8"	BIFOLD DBL.	WOOD	
5	3	5'-0" X 6'-8"	1 3/8"	SLIDING DBL.	WOOD	
6	1	2'-0" X 6'-8"	1 3/8"	SWING H.C.D.	WOOD	
7	1	8'-0" X 7'-0"	1 3/4"	GARAGE DOOR	WOOD	

WINDOW SCHEDULE

SYM.	QTY.	SIZE	TYPE	MATERIAL	U-FCTR	SHGC	REMARKS
A	2	1'-0" X 6'-8"	PICTURE	VINYL	0.32	0.25	
B	1	6'-0" X 4'-0"	SLIDER	VINYL	0.32	0.25	
C	6	4'-0" X 4'-0"	SLIDER	VINYL	0.32	0.25	
D	1	2'-0" X 2'-0"	SLIDER	VINYL	0.32	0.35	
E	1	4'-0" X 3'-0"	SLIDER	VINYL	0.32	0.25	

LEGEND

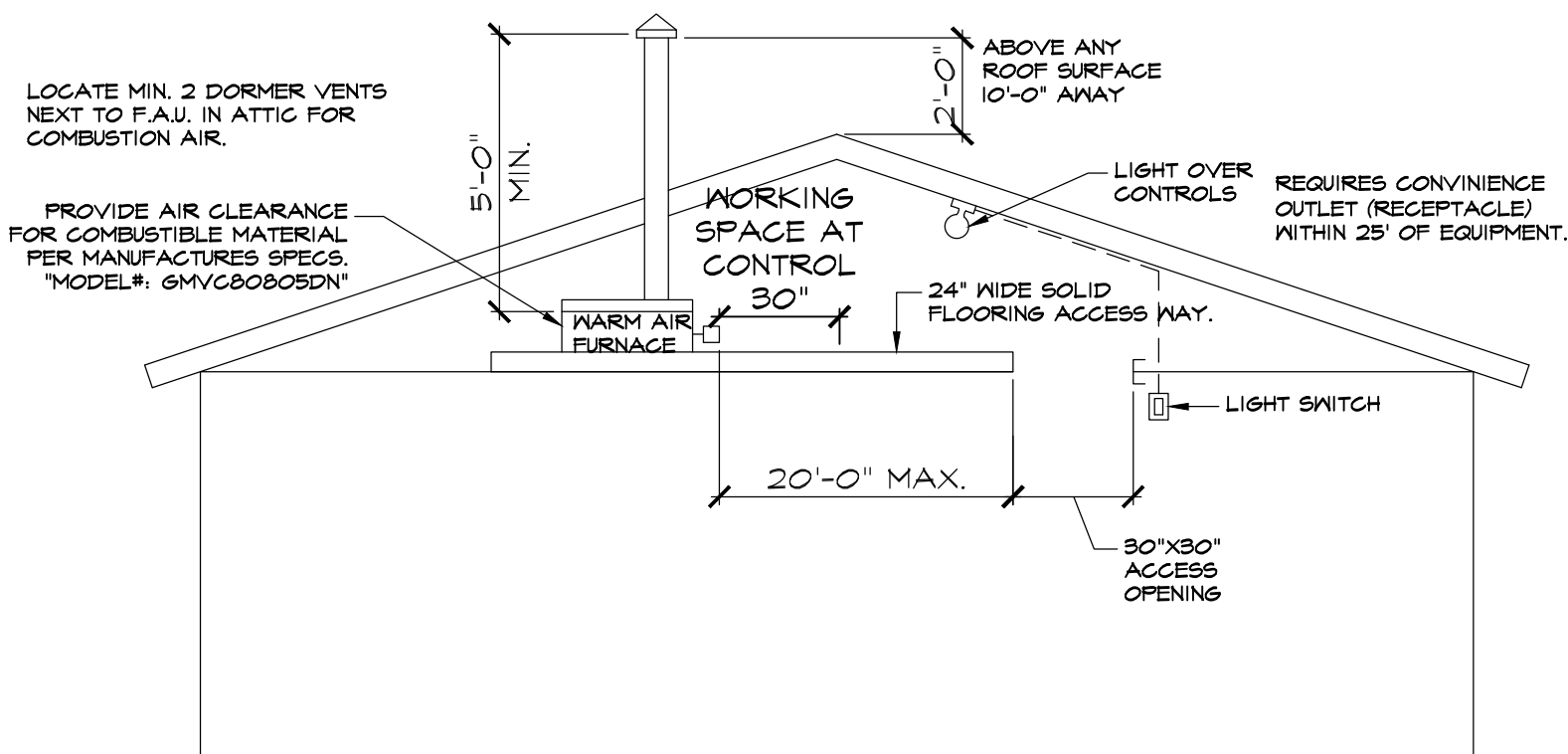
○	WINDOW CALL OUT	↗↘	(N) 30"X30" ATTIC ACCESS W/30" MIN HEADROOM ABOVE
○	DOOR CALL OUT	⇒	4" DIA DRYER VENT
Ⓢ	SMOKE ALARMS TO BE HARD WIRED W/A BATTERY BACK UP TYP. AND LOW BATTERY SIGNAL INTERCONNECTED SO THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DETELLING UNIT.	Ⓢ	3 WAY SWITCH
☼	CEILING MOUNTED LIGHT HIGH EFFICACY	Ⓢ	EXHAUST FAN W/ HUMIDISTAT CONTROL, CAPABLE OF PROVIDING 90 CFM, DUCTED TO TERMINATE TO THE OUTSIDE OF BUILDING, ENERGY STAR COMPLIANT
☼	WALL MOUNTED LIGHT HIGH EFFICACY	Ⓢ	200 AMP ELECTRICAL PANEL
Ⓢ	POLE SWITCH	Ⓢ	DIMMER SWITCH
☼	CEILING MOUNTED RECESSED LIGHT HIGH EFFICACY (LED)	Ⓢ	CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS AND SLEEPING UNITS WITHIN HIGH FUEL BURNING APPLIANCES ARE INSTALLED AND IN DWELLINGS THAT HAVE ATTACHED GARAGES.
F	FLUORESCENT	Ⓢ	OUTLET 110 VOLTS (TEMPERED RESISTANT OUTLETS REQUIRED IN KITCHEN, BEDROOMS, BENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARY, SUNROOMS AND RECREATION ROOMS)
H.E.	HIGH EFFICACY		
P.C.	PHOTOCELL		
T	TEMPERED SAFETY GLAZING		
E	WINDOW MEETS EMERGENCY EGRESS REQUIREMENTS. 44" MAX TO SILL, MIN 24" CLR HT., 20" CLR WIDTH, 5.7 SQ. FT. MIN. NET CLEAR OPENING.		

KEY NOTES

- TEMPERED GLASS TYP. SAFETY GLAZING SHALL BE IN CONFORMANCE WITH THE APPLICABLE I.A.C.R.C. ALL EXTERIOR DOORS SHALL BE 1-3/8" (MIN) WITH TEMPERED GLASS U.N.O.
- EMERGENCY EGRESS WINDOW PROVIDE THE FOLLOWING:
 - 5.7 SQ. FT. OF CLEAR OPENABLE AREA (5.0 AT GRADE)
 - NET OPENING HEIGHT SHALL BE 24" MIN.
 - NET OPENING WIDTH SHALL BE 20" MIN.
 - FINISHED SILL HEIGHT OF 44" MAX. ABOVE FLOOR.
- 1-3/4" SOLID CORE, 20 MIN. FIRE AND SMOKE RATED SELF CLOSING, SELF LATCHING, TIGHT-FITTING DOOR.
- 1A) TANKLESS WATER HEATER PER T-24 REPORT.
- MODEL: RHEEM RTG-45DVN
- INDOOR DIRECT VENT
- 110000 - 199,000 BTU MAX.
- 4.5 GAL./MIN. @ 55° F RISE MAX. 7.4 GAL./MIN. AT 45° F RISE MAX
- 1B) REGENCY BELLAVISTA B36XTE MEDIUM GAS FIREPLACE
- GAS FIREPLACE TO BE DIRECT VENT, SEALED COMBUSTION TYPE.
- 1D) 33" CLR. DRYER SPACE. PROVIDE 4" DIA. MIN. SMOOTH METAL EXHAUST VENT TO OUTSIDE WITH AIR BACK-DRAFT DAMPER. DUCT IS LIMITED TO 14'-0" WITH TWO ELBOWS. (SHALL BE REDUCED 2'-0" FOR EVERY ELBOW IN EXCESS OF TWO).
- 1E) 33" CLR. WASHER SPACE. PROVIDE RECESSED WATER / WASTE LINE HOOK UP AND GALV. SHT. METAL SHITTY PAN.
- 1F) REFRIGERATOR SPACE. PROVIDE 36" MIN. CLR. WITH COLD WATER CONNECTION.
- 1G) 24" WIDE DISHWASHER.
- 2A) ONE LAYER 5/8" TYPE "X" GYPSUM BOARD AT WALLS, CEILING, AND SUPPORTING STRUCTURAL MEMBERS SEPARATING THE GARAGE AND THE LIVING AREAS. (1 HR. RATED CONST.)
- 2B) CONT. HANDRAIL 36" ABOVE LANDINGS AND NOSING OF TREADS.
- 2C) PROVIDE ONE-HOUR FIRE RESISTIVE CONSTRUCTION W/ 5/8" TYP "X" GYP. BD. AT SIDE AND SOFFIT OF ENCLOSED AREA UNDERNEATH STAIR.
- 2D) OPEN GUARD RAIL @ 42" A.F.F.
- 2E) ELASTO FIBER DECK 100" ROOF AND WALKING DECK SYSTEM, 100 ESR-3125.
- 2F) 30" X 30" GYPSUM BOARD ATTIC ACCESS PANEL. PROVIDE 34" WIDE UNOBSTRUCTED PASSAGE W/ SOLID CONT. FLRS. FROM ATTIC ACCESS TO F.A.U. EQUIP. PROVIDE 30" CLR. IN FRONT OF THE EQUIP. AND 30" CLR. HEAD ROOM. PROVIDE LIGHT AT EQUIP. WITH SWITCH TO ATTIC ACCESS.
- 2G) 6" DROP CEILING WITH FIRE BLOCKING.
- 2A) 32" X 60" ENAMELED CAST IRON TUB / SHOWER COMBINATION. SHOWER HEAD AT 78" A.F.F. PROVIDE SHOWER ROD. INSTALL PER MANUFACTURE SPECIFICATIONS.
- 2B) WATER CLOSET. PROVIDE 30" MIN. CLR. WIDTHS FROM CENTER TO EACH SIDE, AND 24" CLR. SPACE IN FRONT. FLUSH VOLUMES FOR LOW-CONSUMPTION AND WATER SAVING WATER CLOSETS SHALL BE PROVIDED WITH A MAX. 120 GALLONS OF WATER PER FLUSH. (CPC 402.1, 402.2)
- 2C) 42" X 12" ACRYLIC TUB OR EQUAL ON A RAISED WOOD FRAMED PLATFORM WITH CERAMIC TILE / NATURAL STONE COVERING ABOVE 10" ENCLOSURES MUST BE SAFETY GLAZING. INSTALL PER MANUFACTURE'S SPECIFICATIONS.
- 2D) HOT-MOPPED SHOWER PAN WITH MUDSET CERAMIC TILE / NATURAL STONE FLOOR. FULL HEIGHT CERAMIC TILE / NATURAL STONE WALLS WITH 84" HEIGHT SHOWER HEAD. PROVIDE TEMPERED GLASS ENCLOSURE. 30" # CLEARANCE.
- 4A) F.A.U. LOCATION IN ATTIC PROVIDE A MIN. 30"X30" ACCESS, 24" WIDE WALKWAY AND 30" DEEP WORK PLATFORM. PROVIDE ELEC LIGHT OUTLET A.D. TO FURNACE SWITCH BY ATTIC ACCESS OPENING. CONDENSER PER T-24 REPORT.
- SYSTEM SHALL HAVE A MIN. 1/4" SEER AND DUCT INSULATION OF R-8
- HEATER SHALL BE CAPABLE OF MAINTAINING A MIN. ROOM TEMP. OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMP.
- 4B) 24"X18" RETURN AIR REGISTER.
- 5A) RECESSED MEDICINE CABINET. 6" ABOVE CABINET
- 5A) EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. (C.R.C.R. 311.2)
- 7A) KITCHEN HOOD SHALL HAVE A MINIMUM CAPACITY OF 100 CFM
- 8A) NET BAR SHALL NOT PROVIDE HOT WATER. NO GARBAGE DISPOSAL, NO 220V ELECTRICAL, NO GAS OUTLET AND NO MORE THAN 10 S.F. OF COUNTER SURFACE AREA.

WALL SCHEDULE

EXISTING 2X STUD WALL
NEW 2X4 INTERIOR STUD WALL
1 HOUR RATED WALL 5/8" GYP. BOARD, TYPE "X" FLOOR TO ROOF



CENTRAL WARM-AIR FURNACE INSTALLED IN AN ATTIC MUST BE ACCESSIBLE FOR ROUTINE INSPECTIONS AND MAINTENANCE BY THE OWNER/ OCCUPANT AND FOR SERVICE AND REPAIR AS NEEDED, CHANGING FILTERS, LUBRICATION MOTOR AND FAN BEARINGS, CHECKING BELT TENSION, AND RELIGHTING THE PILOT FOLLOWING A SERVICE INTERRUPTION ARE NORMAL OWNER FUNCTIONS, ADEQUATE LIGHT, AND ELECTRICAL OUTLET, SAFE ACCESS WAY AND SUFFICIENT WORKING SPACE ON THE CONTROL SIDE ALL ENCOURAGE AND FACILITATE MAINTENANCE AND ALSO ENABLE RAPID EGRESS IN AN EMERGENCY.

- NOTES:
- PROVIDE DOUBLE JOIST BELOW UNIT.
 - PROVIDE SEISMIC BRACES OR ANCHOR UNIT TO PLATFORM.
 - CONDENSATE DRAIN SHALL TERMINATE AT AN APPROVED PLUMBING FIXTURES

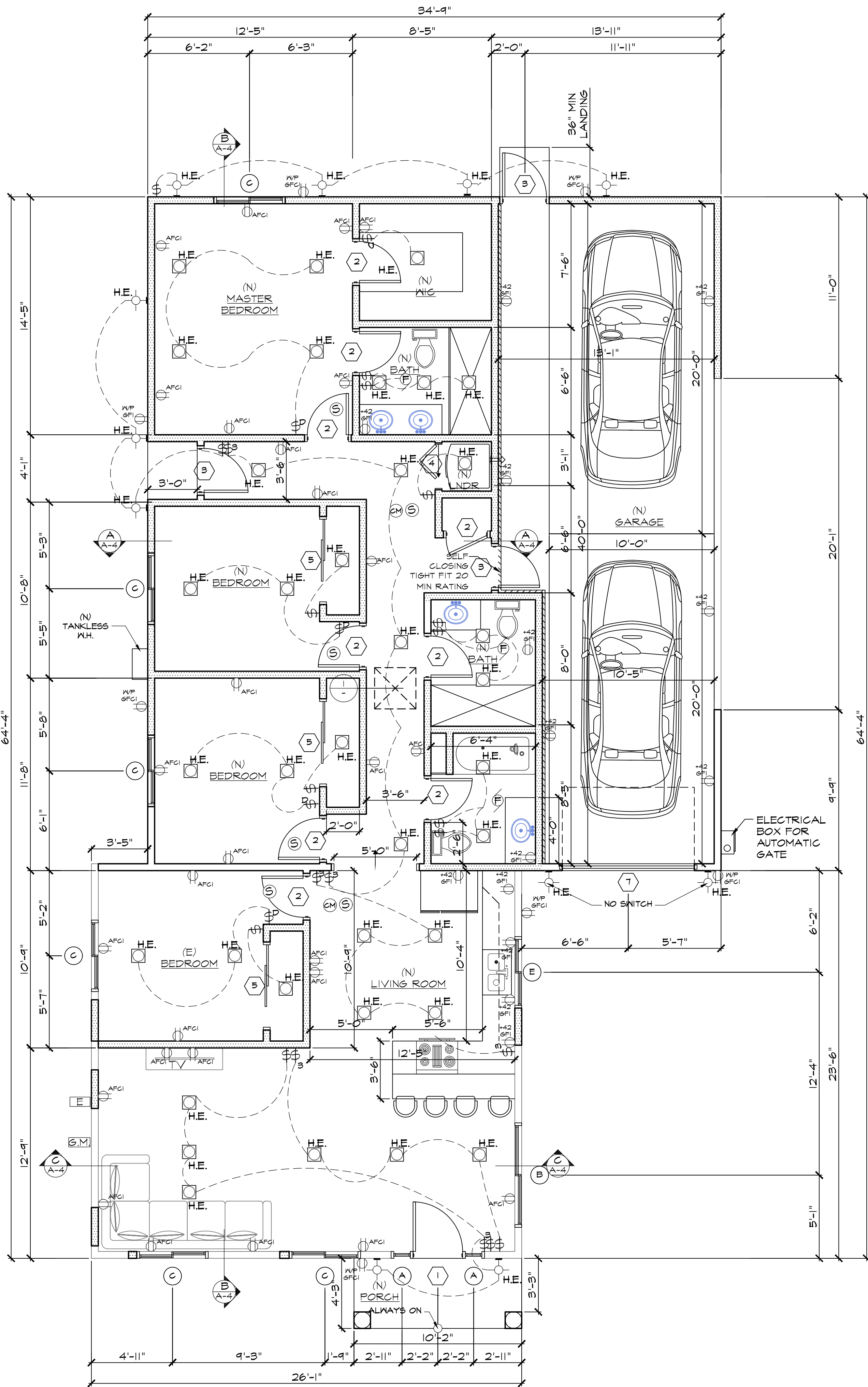
DETAIL - 1

SCALE: N.T.S.

PLUMBING FIXTURE SCHEDULE

FIXTURE TYPE	MAXIMUM FLOW RATE AT > 20
SHOWERHEADS	2.0 GPM @ 80 PSI
MULTIPLE SHOWERHEADS	2.0 GPM @ 80 PSI FOR ALL COMBINED
LAVATORY FAUCETS, RESIDENTIAL	1.5 GPM @ 60 PSI
KITCHEN FAUCETS	.8 GPM @ 60 PSI
GRAVITY TANK-TYPE WATER CLOSETS	1.20 GALLONS/FLUSH
FLUSHOMETER TANK WATER CLOSETS	1.20 GALLONS/FLUSH
FLUSHOMETER VALVE WATER CLOSETS	1.20 GALLONS/FLUSH
ELECTROMECHANICAL HYDRAULIC WATER CLOSETS	1.20 GALLONS/FLUSH
METERING FAUCETS	0.2 GALLON PER CYCLE
URINALS	0.5 GALLON/FLUSH

NOTE:
EFFECTIVE JAN 1, 2014, SB 401 REQUIRES REPLACEMENT OF ALL NONCOMPLIANT PLUMBING FIXTURES IN PROPERTIES BUILT ON OR BEFORE JAN 1, 1994 WITH WATER-CONSERVING PLUMBING FIXTURES.



PROPOSED FLOOR PLAN (S.F.D)

1/4" = 1'-0"

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- BUENA PARK, CA. 90621

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JOB NUMBER:
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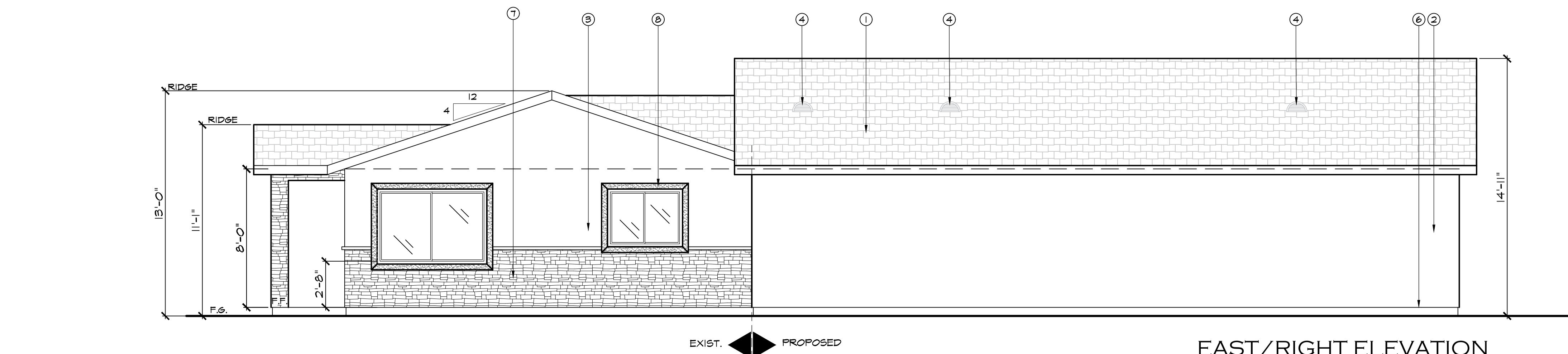
DRAWN BY:
GC/JC/OP

SCALE:
1/4" = 1'-0"

REVISIONS:
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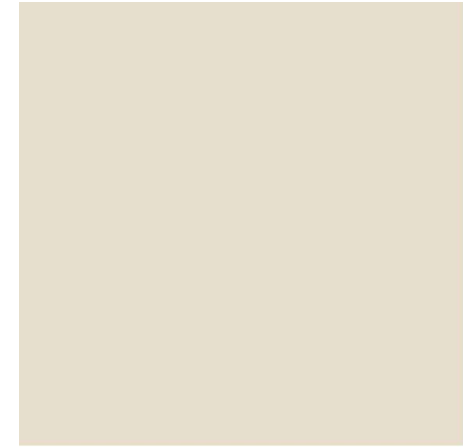
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ELEVATIONS

SHEET NO.:



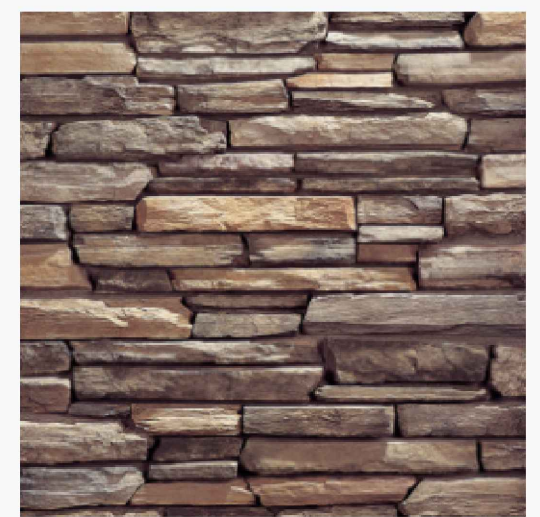
EAST/RIGHT ELEVATION

1/4" = 1'-0"



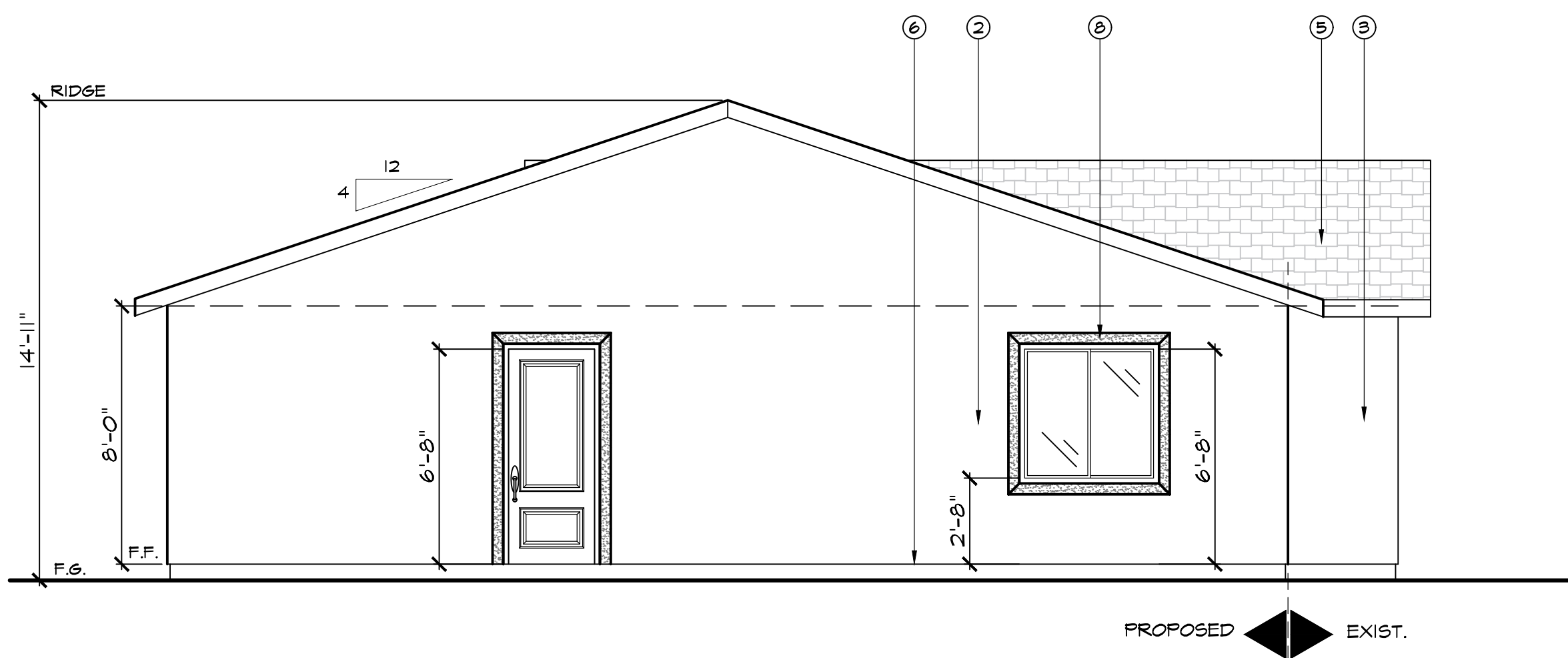
Silverado
820 (48)
Base 200

COLOR
SMOOTH LA HABRA STUCCO
WALLS TO MATCH EXISTING



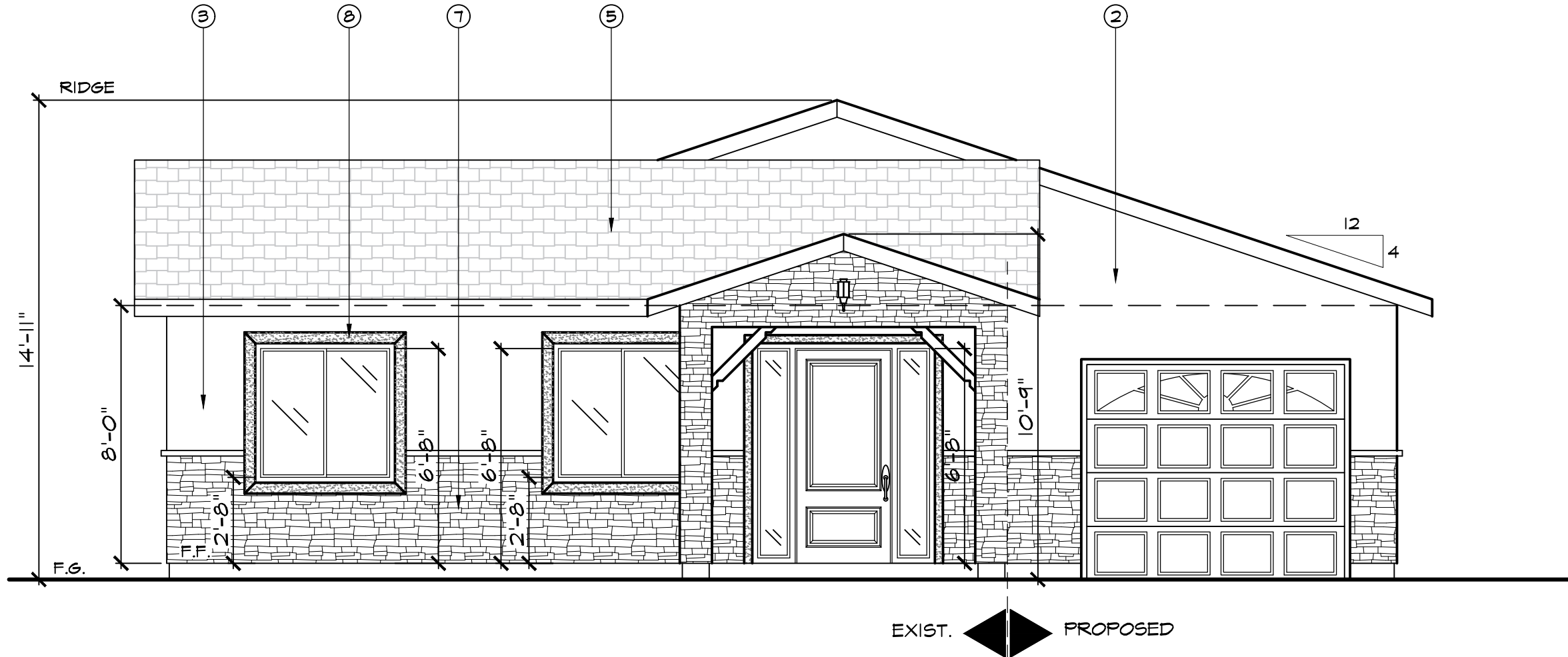
CASCADE®
RUSTIC LEDGE®

ROCK VENEER
ELDORADO "CASCADE" ROCK VENEER



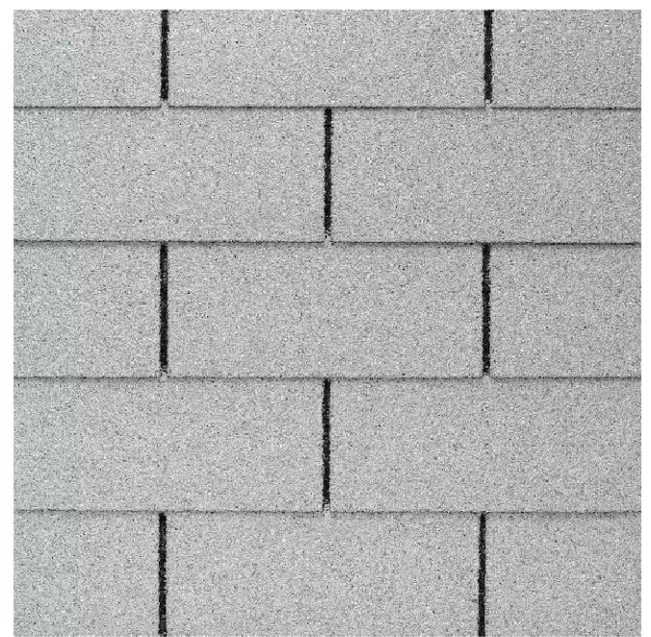
NORTH/REAR ELEVATION

1/4" = 1'-0"

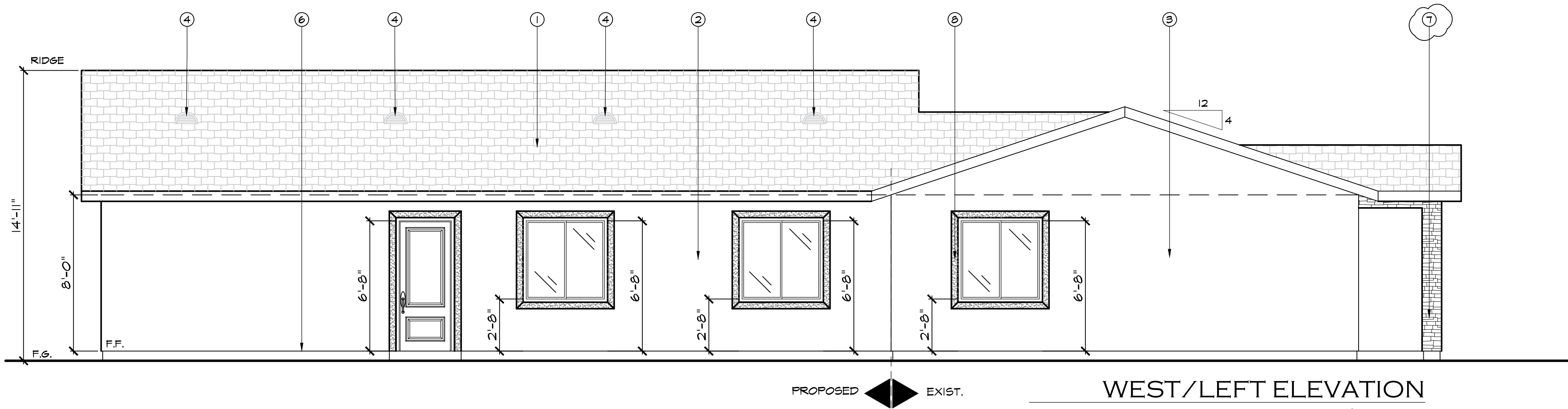


SOUTH/FRONT ELEVATION

1/4" = 1'-0"



ROOF MATERIAL
GAF ROYAL SOVEREIGN WHITE ALGAE



WEST/LEFT ELEVATION

1/4" = 1'-0"

ATTIC VENTILATION

S.F.D ADDITION & GARAGE ATTIC:
1,410 SQ. FT. 1/150 = 9.4 SQ. FT. REQUIRED
9.4 x 144 = 1,353.6 SQ. IN.

-50% 3' ABOVE THE EAVE VENTS (7) NEW 12 x 24 DORMER VENT
(100 SQ. IN. FT.) = 700 SQ. IN. PROVIDED

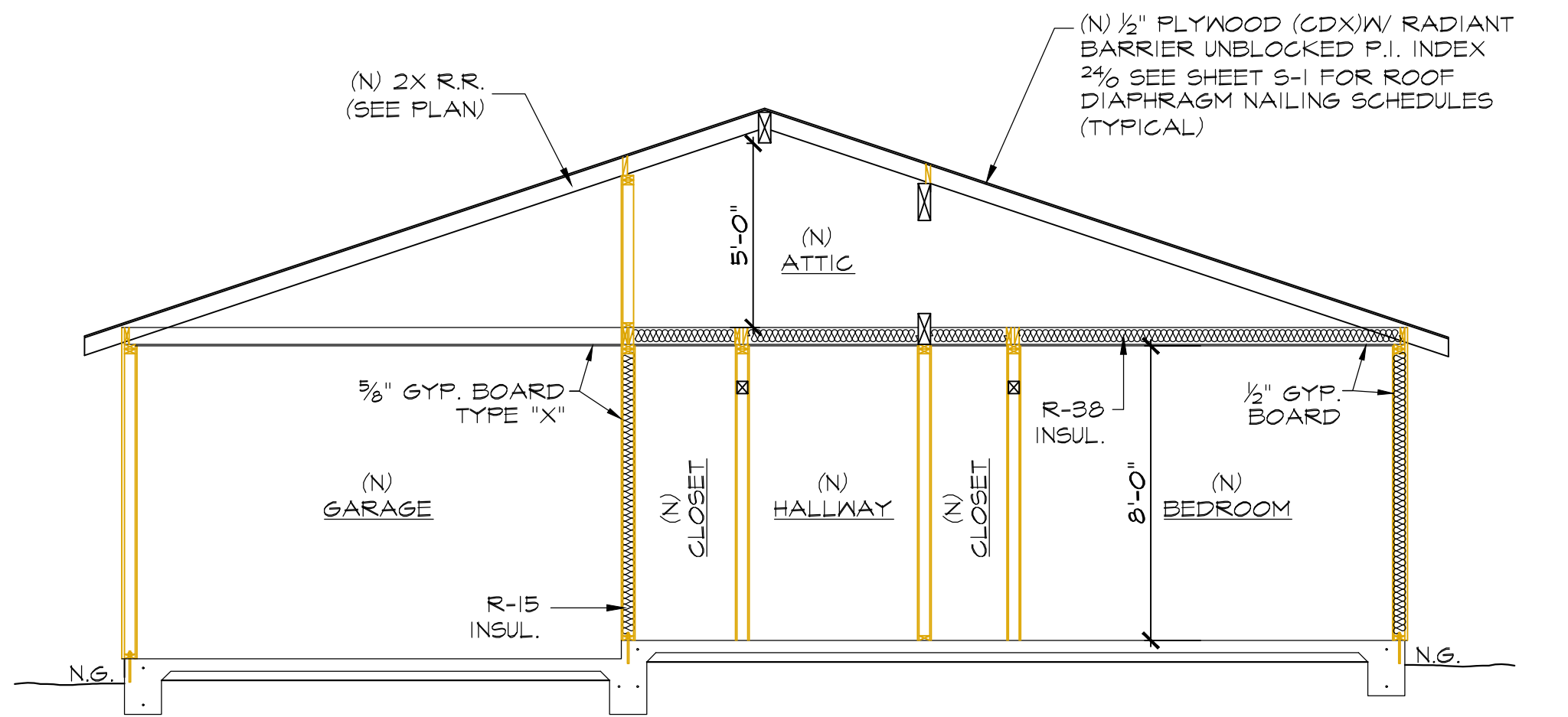
-50% WITH EAVE VENTS (33) NEW 3-3"Ø VENT(21 SQ. IN.)
33 x 21 = 693 SQ. IN. PROVIDED
TOTAL VENTILATION PROVIDED= 1,393 SQ. IN.

VENT NOTES:

1. OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8" MIN. AND 1/4" MAX OPENING.
2. A MINIMUM OF 1-IN. AIRSPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING.

KEY NOTES

1. NEW ROOFING 220# COMPOSITION SHINGLES #30 FELT, CLASS "A" (TO MATCH EXISTING) TYPICAL ICC ESR-1475
2. NEW STUCCO TO MATCH EXISTING. PROVIDE 2-LAYERS OF GRADE "D" PAPER UNDER LATH.
3. EXISTING STUCCO TO REMAIN.
4. 12 X 24 HALF MOON LOUVER VENT
5. EXISTING ROOF TO REMAIN
6. MINIMUM 0.019" (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT OR PLASTIC KEEP SCREED LOCATED BELOW THE FOUNDATION PLATE LINE AND 6 INCHES ABOVE GRADE ON ALL EXTERIOR STUD WALL OR 2 INCHES ABOVE PAVED AREAS.
7. NEW ELDORADO "CASCADE" ROCK VENEER (1 1/2" MAX THICKNESS)
8. STUCCO TRIM AROUND WINDOWS TO MATCH EXISTING



CROSS SECTION - AA
1/4" = 1'-0"

ATTIC VENTILATION

S.F.D. ADDITION & GARAGE ATTIC:
1,410 SQ. FT. / 1/50 = 9.4 SQ. FT. REQUIRED
9.4 x 144 = 1,353.6 SQ. IN.

-50% 3' ABOVE THE EAVE VENTS (7) NEW 12 x 24 DORMER VENT
(100 SQ. IN. FT.) = 700 SQ. IN. PROVIDED

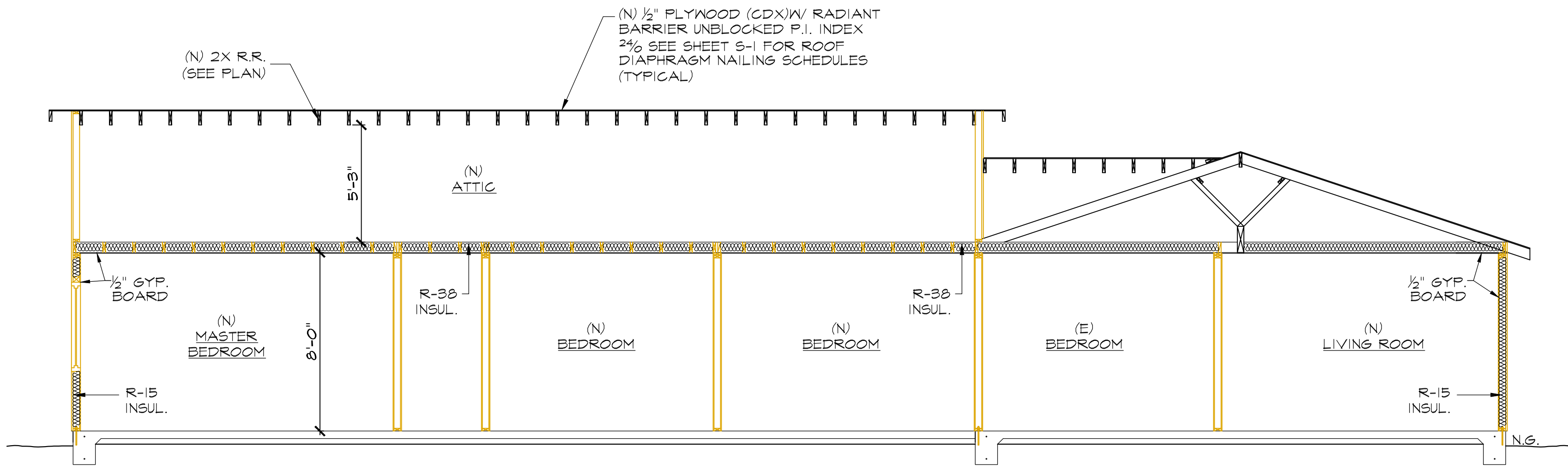
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VENT NOTES:

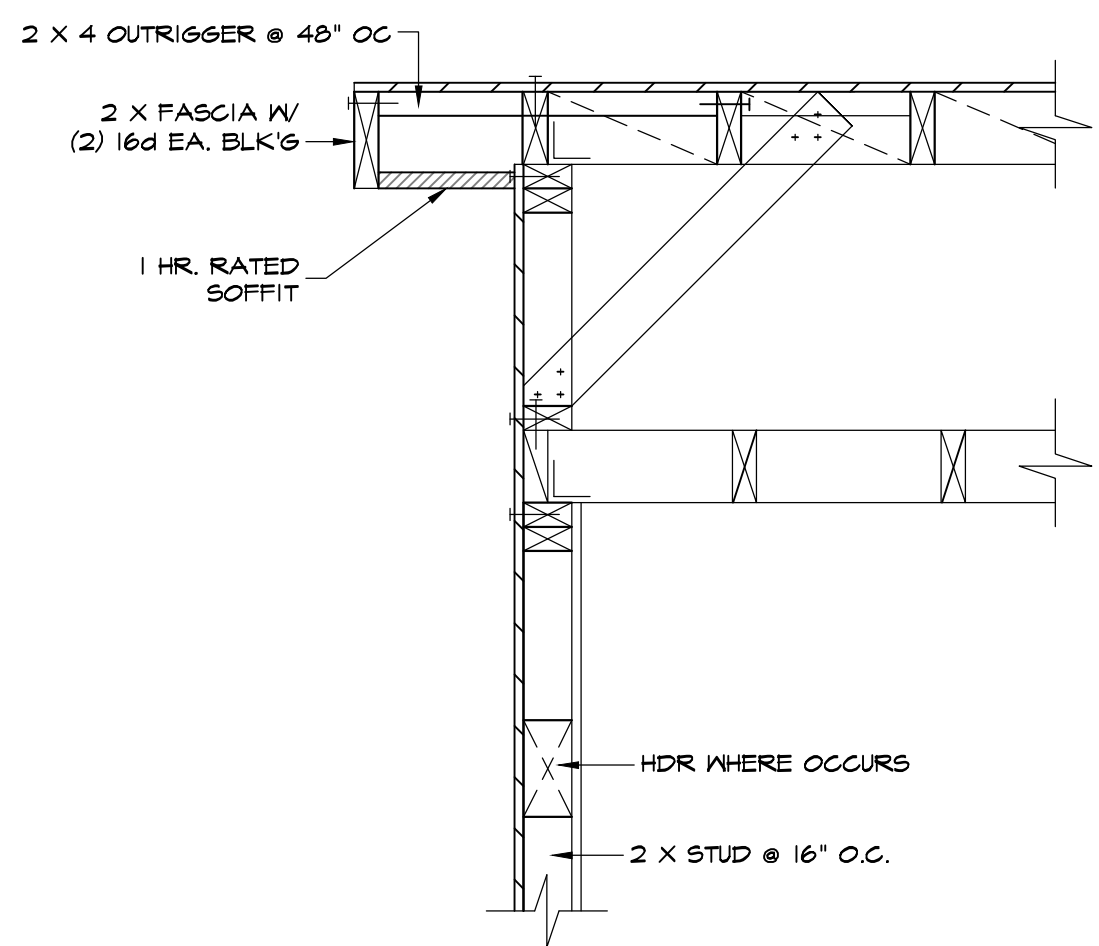
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2. A MINIMUM OF 1-IN. AIRSPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING.

KEY NOTES

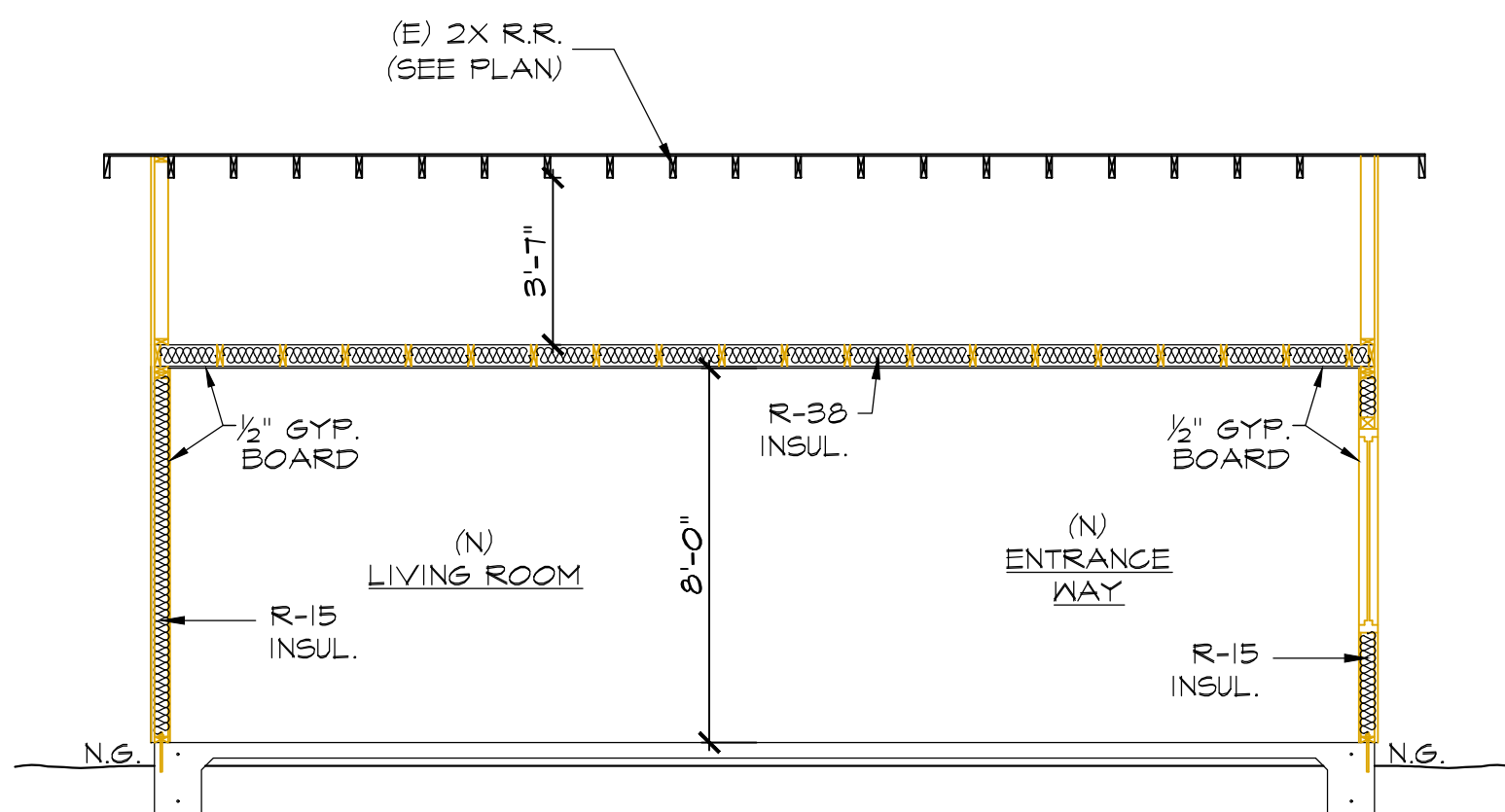
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5. EXISTING ROOF TO REMAIN
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7. NEW ROCK VENEER



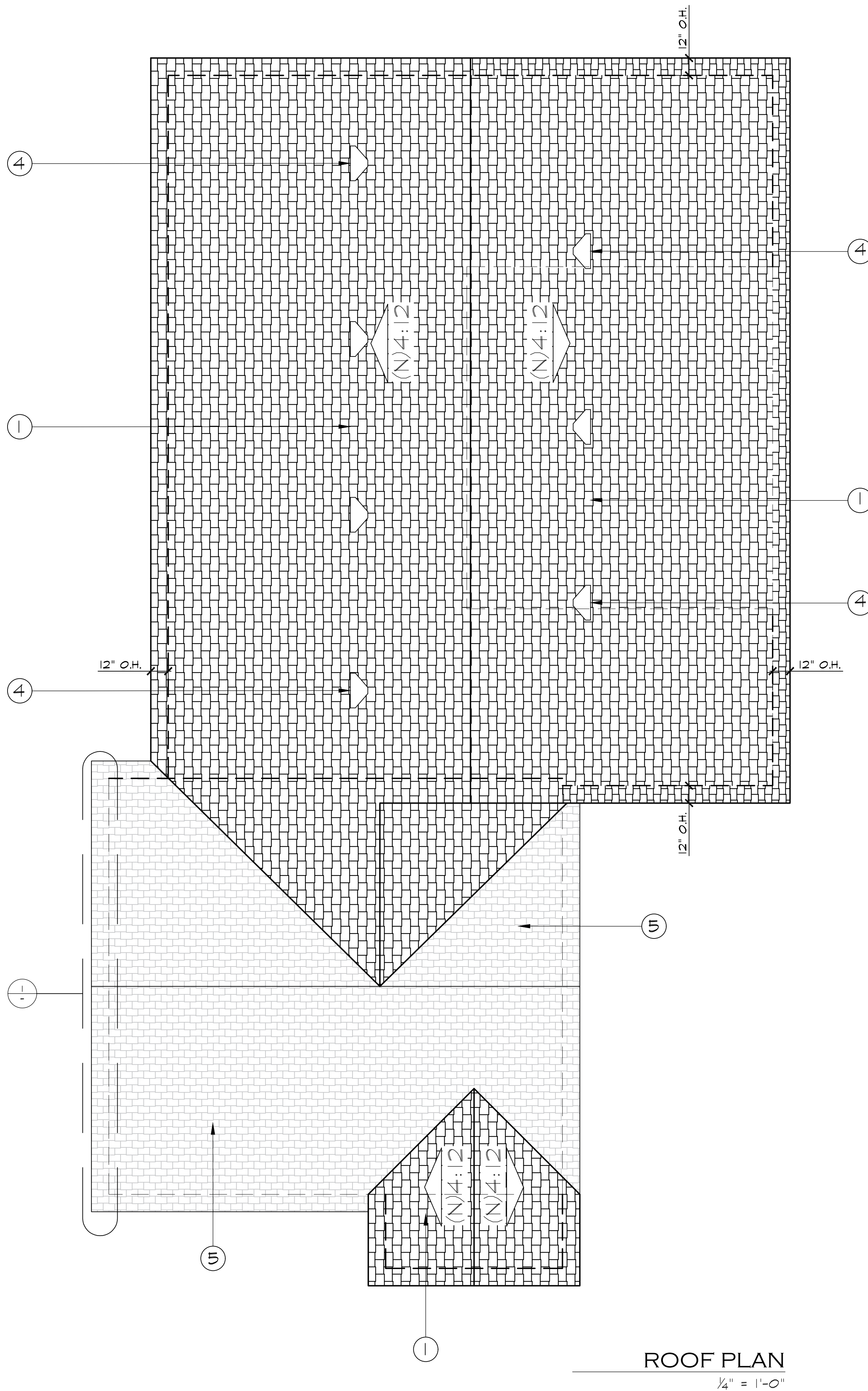
CROSS SECTION - BB
1/4" = 1'-0"



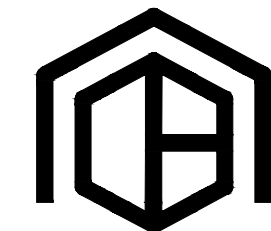
DETAIL - 1
SCALE: N.T.S.



CROSS SECTION - CC
1/4" = 1'-0"



ROOF PLAN
1/4" = 1'-0"



C.B. HOME
— DESIGN —

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OWNER INFO:

- GERARDO CISNEROS
- 7251 9TH STREET
- BUENA PARK, CA. 90621

PROJECT ADDRESS:

- NEW ADDITION
- 7251 9TH STREET
- BUENA PARK, CA. 90621

JOB NUMBER:
CB20-179

DRAWN BY:
GC/JC/OP

SCALE:
1/4" = 1'-0"

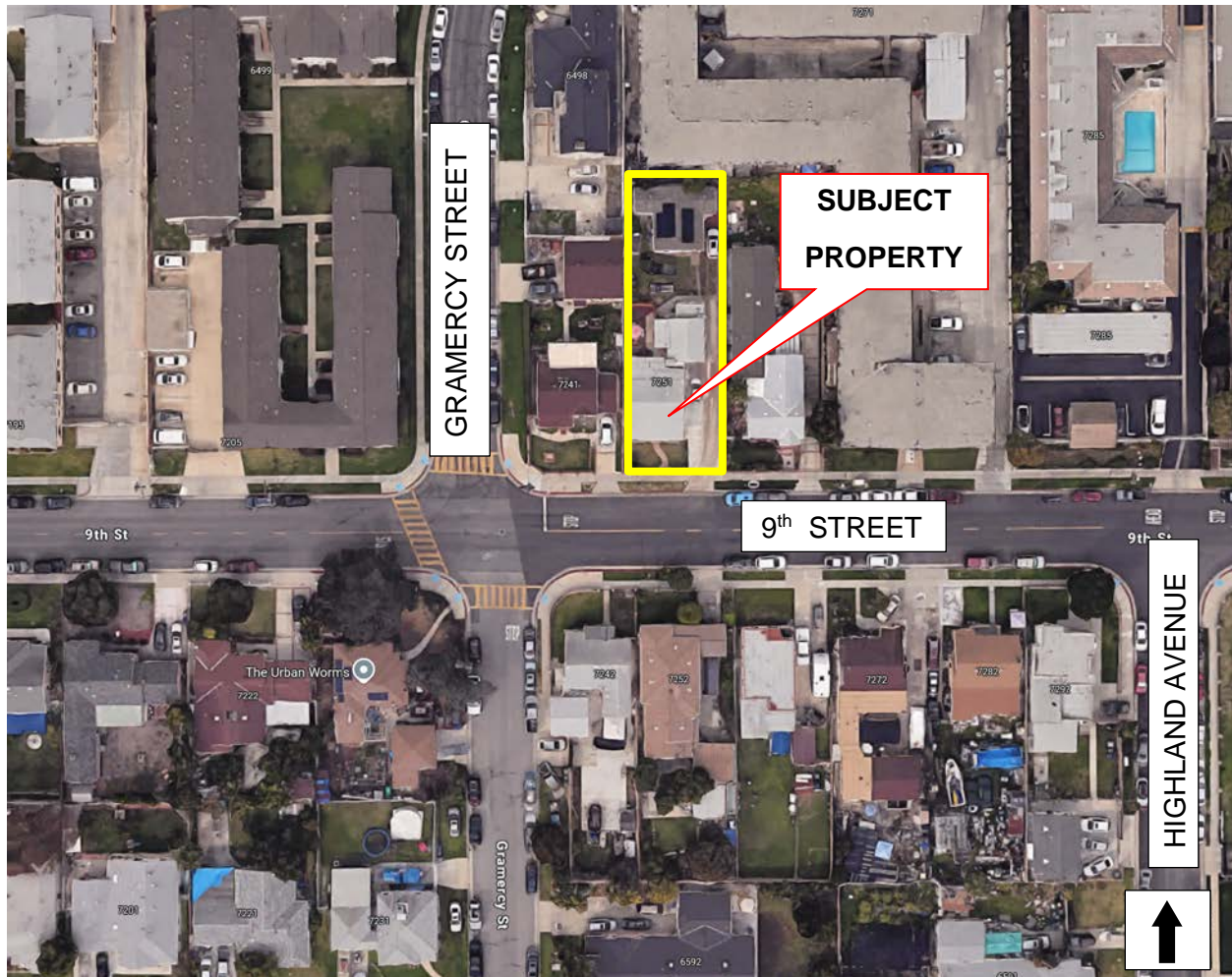
REVISIONS:

SHEET TITLE:
CROSS SECTIONS & ROOF PLAN

SHEET NO:



VICINITY MAP



ZONING ADMINISTRATOR

Thursday, March 6, 2025 – 2:00 p.m.

SITE PLAN NO. SP-24-14

7251 9th STREET, UNIT A

APN: 276-221-40