

Wednesday, April 23, 2025, 6:30 PM
COUNCIL CHAMBER
6650 Beach Boulevard
Buena Park, CA 90621

PLANNING COMMISSION
AGENDA

6:30 p.m.

1. GENERAL

- 1A. CALL TO ORDER
- 1B. ROLL CALL
- 1C. PLEDGE OF ALLEGIANCE

2. ORAL COMMUNICATIONS

2A. ORAL COMMUNICATIONS

This is the portion of the meeting set aside to invite public comments regarding any matter within the jurisdiction of the Planning Commission. Public comments are limited to no more than three minutes each. If comments relate to a specific agenda item, those comments will be taken following the staff report for that item and prior to the Planning Commission vote. Those wishing to speak are asked to add their information at the digital kiosk located at the entrance of the Council Chamber.

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3. CONSENT CALENDAR

3A. APPROVAL OF MINUTES

March 12, 2025

3B. SIGN PROGRAM NO. SN-24-4

A request to establish a sign program for an existing single-story multi-tenant commercial center development and a free-standing restaurant with drive-thru establishment to provide consistent and complementary signage throughout the existing commercial development located at 6131 Lincoln Avenue and 6161 Lincoln Avenue within the Community Shopping (CS) zone.

The property owner is Lincoln MLSTWS, LLC 20929 Ventura Boulevard, Suite 47, Woodland Hills, CA 91364. The applicant is Hans C. Krake, 1475 Wellington Avenue, Pasadena, CA 91103.

The project is Categorically Exempt, pursuant to Section 15311 (Accessory Structures) Class 11 of the State California Environmental Quality Act (CEQA) Guidelines.

RECOMMENDED ACTION: Adopt Resolution approving Sign Program No. SN-24-4.

4. PUBLIC HEARING

4A. TERMINATION OF NONCONFORMING USE

A request for the Planning Commission, pursuant to Buena Park Municipal Code Section 19.132.020, regarding the March 12, 2025, Planning Commission meeting to consider termination of a non-conforming motel (Coral Motel) use at 7891 Whitaker Street.

The property owners are Balubhai G. Patel and Sardabenb Patel, 243 N. Rampart Boulevard, Los Angeles, CA 90026.

The proposed action is Categorically Exempt, pursuant to Section 15061(b)(3). The General Rule exemption can be applied to projects where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment.

RECOMMENDED ACTION: To terminate the nonconforming motel use operating on the property and declare the continued operation of the motel to be a public nuisance pursuant to Buena Park Municipal Code Section 19.148.030.

5. NEW BUSINESS

5A. STUDY SESSION

Community Development staff presentation regarding a future Public Hearing item to amend the Land Use and Community Design Element of the General Plan, amendments to the Buena Park Municipal Code, amendments to the Objective Design and Development Standards and certification of an Environmental Impact Report to implement multiple programs within the 2021-2029 General Plan Housing Element.

6. STAFF REPORTS

6A. STAFF REPORTS

7. AGENDA FORECAST

7A. ANNOUNCEMENTS, CONFERENCE REPORTS AND CALENDAR REQUESTS

8. COMMISSION REPORTS

8A. COMMISSION REPORTS

9. ADJOURNMENT

9A. ADJOURNMENT

This agenda contains a brief general description of each item to be considered. Supporting documents are available for review and copying at City Hall or at www.buenapark.com. Supplementary materials distributed to the Planning Commission less than 72 hours before the meeting are posted to the City's website at www.buenapark.com and copies are available for public inspection beginning the next regular business day in the Planning Division Office. Video streaming of the meeting is available on the City's website. This governing body is prohibited from discussing or taking action on any item which is not included in this agenda; however, may ask clarifying questions, ask staff to follow-up, or provide other direction. The order of business as it appears on this agenda may be modified by the governing body.

In compliance with the Americans with Disabilities Act, if you need accommodations to participate in this meeting, contact the City Clerk's Office at (714) 562-3750 or the California Relay Service at 711. Notification at least 48 hours prior to the meeting will enable the City to make arrangements to assure accessibility.

If you would like to participate in any matter of business on the agenda and would like translation in Chinese, Korean, Spanish, Tagalog, or Vietnamese, please contact the **Planning Division at (714) 562-3620, 48 hours prior to the meeting**. Residents requiring translation during Oral Communications are encouraged to bring interpreters.

시의회 목록에 있는 정식 안건에 대해 의견을 발표하고 싶으신 경우, 중국어, 한국어, 스페인어, 타갈로에 대한 통역사가 필요하시면 시미팅 48시간전 시서기 오피스로 (714-562-3750) 연락하시면 됩니다. 정식안건이 아닌 주민 발언시간에 발표하실 경우, 본인의 통역사를 직접 모시고 오시면 감사하겠습니다.

Si le gustaría participar en audiencia pública o cualquier asunto de negocios programado en la agenda y necesita traducción en chino, coreano, español, tagalo o vietnamita, comuníquese con la Oficina del Secretario de la Ciudad, 48 horas antes de la reunión al (714) 562-3750. Para participar en los comentarios públicos sobre cualquier otro asunto dentro de la jurisdicción del ayuntamiento, se les recomienda que traiga un intérprete.

I, Ruth Santos, City of Buena Park, do hereby certify, under penalty of perjury under the laws of the State of California that a full and correct copy of this agenda was posted pursuant to Government Code Section 54950 et. seq., at Buena Park City Hall, 6650 Beach Blvd., and uploaded to the City of Buena Park website www.buenapark.com.

Ruth Santos
Sr. Administrative Assistant

Date Posted: April 17, 2025



A. APPROVAL OF MINUTES

March 12, 2025

Meeting	Agenda Group
Wednesday, April 23, 2025, 6:30 PM	CONSENT CALENDAR Item: 3A.
Prepared By	
Ruth Santos, Senior Administrative Assistant	

Attachments

[2025-03-12 PC M Draft.pdf](#)

CITY OF BUENA PARK
MINUTES OF CITY PLANNING COMMISSION
March 12, 2025

The regular meeting of the Planning Commission of the City of Buena Park convened at 6:30 p.m. on March 12, 2025, in the City Council Chamber, 6650 Beach Boulevard, Buena Park, California, with Chair Diep presiding.

PRESENT: COMMISSIONERS: Davis, Judeh, Schoales, Patiño, and Diep

Matt Foulkes, Community and Economic Development Director
Harald Luna, Acting Planning Manager
Ian McAleese, Senior Planner
Moises Lomeli, Planning Technician
John W. Lam, Assistant City Attorney
Ray Tae, Senior Office Assistant
Ruth Santos, Senior Administrative Assistant

1. GENERAL

- 1A. CALL TO ORDER
- 1B. ROLL CALL
- 1C. PLEDGE OF ALLEGIANCE

2. ORAL COMMUNICATIONS

None

3. ELECTION OF CHAIR AND VICE CHAIR

Commissioner Davis, District 3, declined the appointment as Chair. Commissioner Patiño, District 5, declined the appointment as Vice Chair.

Commissioner Diep, District 4, was appointed as Chair, and Commissioner Judeh, District 1, was appointed as Vice Chair.

4. CONSENT CALENDAR

Chair Diep recommended, and the Commissioners agreed, to take separate action on Item 4C to accommodate a request to speak on the item from a member of the public.

4A. APPROVAL OF MINUTES – December 11, 2024 Planning Commission Meeting

4B. EXTENSION OF APPROVAL NO. EXT-25-1 - A request to extend the approval by one (1) year for Extension of Nonconforming Privilege No. ENP-22-2 and Conditional Use Permit No. CU-22-3, as previously approved, to restore operation of a walk-up window use, along with the addition of a 231 square-foot covered patio, facade update, and related onsite improvements for an existing 1,189 square-foot restaurant located at 6925 Western Avenue within the ACSP (Auto Center Specific Plan) B-1 Sub-District zone

with a Mixed Use Overlay-45. The property-owner/applicant is Deron Matsuoka, Trico Trading Corporation, 6855 Western Avenue, Suite N, Buena Park, CA 90621.

Vice Chair Judeh moved and Commissioner Davis seconded the motion to approve Items 4A and 4B under the Consent Calendar.

The motion passed unanimously

AYES: 5 COMMISSIONERS: Judeh, Davis, Patiño, Schoales, and Diep

NOES: 0 COMMISSIONER:

ABSENT: 0 COMMISSIONER:

ABSTAINED: 0 COMMISSIONER:

**RESOLUTION NO. 6368
EXTENSION OF APPROVAL EXT-25-1**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BUENA PARK APPROVING A REQUEST FOR A ONE-YEAR EXTENSION OF TIME FOR PREVIOUSLY APPROVED EXTENSION OF NONCONFORMING PRIVILEGE NO. ENP-22-2 AND CONDITIONAL USE PERMIT NO. CU-22-3 FOR A REQUEST TO RESTORE OPERATION OF A WALK-UP WINDOW USE, ALONG WITH THE ADDITION OF A 231 SQUARE-FOOT COVERED PATIO, FAÇADE UPDATES, AND RELATED SITE IMPROVEMENTS FOR AN EXISTING 1,189 SQUARE-FOOT RESTAURANT LOCATED AT 6925 WESTERN AVENUE WITHIN THE ACSP (AUTO CENTER SPECIFIC PLAN) B-1 SUB-DISTRICT WITH A MIXED USE OVERLAY-45 ZONE

4C. TERMINATION ON NONCONFORMING USE - A request to consider whether to initiate proceedings and schedule a future public hearing pursuant to Section 19.132.020 of the Buena Park Municipal Code, at which the Planning Commission would hear all evidence submitted and consider whether to terminate the nonconforming use operating on the property and/or declare a public nuisance at the property located at 7891 Whitaker. The property owner is Patel Balubhai Gopal, The Coral Motel, 7891 Whitaker Street, Buena Park, CA 90621.

Frank A. Weiser, counsel for The Coral Motel business owner, stated that the business owner is working towards resolving the issues, and asked for an extension on the date of the public hearing.

Staff recommended that there be no change to the proposed public hearing date of April 23, 2025.

Commissioner Davis moved and Commissioner Patiño seconded the motion to approve Item No. 4C under the Consent Calendar.

The motion passed unanimously

AYES: 5 COMMISSIONERS: Davis, Patiño, Judeh, Schoales, and Diep
NOES: 0 COMMISSIONER:
ABSENT: 0 COMMISSIONER:
ABSTAINED: 0 COMMISSIONER:

**RESOLUTION NO. 6369
INITIATING THE TERMINATION OF A NONCONFORMING USE**

**A RESOLUTION OF THE PLANNING COMMISSION OF
BUENA PARK INITIATING AND SCHEDULING A PUBLIC
HEARING TO TERMINATE A NONCONFORMING MOTEL
USE AT 7891 WHITAKER STREET (APN: 277-052-27)
WITHIN THE ACSP (AUTO CENTER SPECIFIC PLAN) A-2
SUB-DISTRICT AND MIXED USE OVERLAY-60 ZONING
PURSUANT TO THE BUENA PARK MUNICIPAL CODE
SECTION 19.132.020**

5. NEW BUSINESS

5A. COMMUNITY MEETING FOR THE LAND USE AND COMMUNITY DESIGN ELEMENT AND RESIDENTIAL ZONING CODE UPDATE DRAFT ENVIRONMENTAL IMPACT REPORT NO. EIR-25-1

Danielle Ornelas, CASC Consulting and Engineering, presented the report.

There were no questions from the Commissioners and the public.

6. STAFF REPORT:

Mr. Foulkes announced the designation of Harald Luna as Acting Planning Manager and introduced Moises Lomeli, Planning Technician.

7. AGENDA FORECAST:

Mr. Luna announced that there are no items scheduled for the March 26, 2025 Planning Commission meeting.

8. COMMISSION REPORTS:

Chair Diep thanked Vice Chair Judeh for her role as Chair in 2024, and for accepting the position of Vice Chair in 2025.

9. ADJOURNMENT:

At 6:50 p.m., Chair Diep adjourned the Planning Commission meeting.

Deborah Diep
Chair

ATTEST:

Harald Luna
Acting Planning Manager

DRAFT



B. SIGN PROGRAM NO. SN-24-4

A request to establish a sign program for an existing single-story multi-tenant commercial center development and a free-standing restaurant with drive-thru establishment to provide consistent and complementary signage throughout the existing commercial development located at 6131 Lincoln Avenue and 6161 Lincoln Avenue within the Community Shopping (CS) zone.

The property owner is Lincoln MLSTWS, LLC 20929 Ventura Boulevard, Suite 47, Woodland Hills, CA 91364. The applicant is Hans C. Krake, 1475 Wellington Avenue, Pasadena, CA 91103.

The project is Categorically Exempt, pursuant to Section 15311 (Accessory Structures) Class 11 of the State California Environmental Quality Act (CEQA) Guidelines.

RECOMMENDED ACTION: Adopt Resolution approving Sign Program No. SN-24-4.

Meeting	Agenda Group
Wednesday, April 23, 2025, 6:30 PM	CONSENT CALENDAR Item: 3B.
Prepared By	Presented By
Harald Luna, Senior Planner	Harald Luna, Senior Planner

PROPERTY INFORMATION:

The project site consists of approximately 2.58-acres at 6131 Lincoln Avenue and 6161 Lincoln Avenue within the Community Shopping (CS) zone and has a General Plan Land Use designation of Commercial. The properties are located on the northwest corner of Lincoln Avenue and Hoffman Street and are developed with an approximately 1,827 square-foot drive-thru restaurant (6131 Lincoln Avenue) and an approximately 26,536 square-foot single-story multi-tenant commercial center (6161 Lincoln Avenue).

SURROUNDING LAND USE CHARACTERISTICS:

	GENERAL PLAN	ZONING	EXISTING LAND USE
North	Medium Density Residential	Low-Density Multifamily Residential (RM-10)	Single-family residential dwellings
South	City of Cypress	City of Cypress	Commercial and Multi-family residential dwellings
East	Commercial	Commercial Shopping (CS) with Mixed Use Overlay-45	Single-family residential dwellings
West	Commercial	Commercial Shopping (CS)	Multi-tenant commercial center

BACKGROUND:

DATE	ACTION/ENTITLEMENT
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February 24, 1960	The Planning Commission adopted Resolution No. 637 recommending to the City Council approval of Precise Plan No. PP-93 for the development of an approximately 23,000 square-foot store and office buildings.
September 14, 1960	The Planning Commission adopted Resolution No. 738 recommending to the City Council approval of Precise Plan No. PP-93 Revised for the development of an approximately 22,550 square-foot store and office buildings.
September 10, 1969	The Planning Commission adopted Resolution No. 2076 approving Site Plan No. SP-475 for the development of an approximately 7,500 square-foot commercial building.
June 12, 1963	The Planning Commission adopted Resolution No. 1237 approving Variance No. V-379 for the reduction in width of parking spaces from 10 feet to 9 feet 6 inches for the commercial development.
July 10, 1978	The Zoning Administrator adopted Resolution No. AD-179 approving Conditional Use Permit No. CU-645 (ZA) request to convert to a drive-thru restaurant with a reduction in parking at 6131 Lincoln Avenue.
November 22, 1978	The Planning Commission adopted Resolution No. 3108 approving Variance No. V-829 for the construction of a commercial building with reduction in parking.
March 7, 1979	The Planning Commission adopted Resolution No. 3129 approving Variance No. V-833 to allow creation of a parcel in C-2 Zone with less depth than 160 feet.
March 29, 1995	The Planning Commission adopted Resolution No. 4620 approving Conditional Use Permit No. CU-1141 to establish a retail food market.

APPLICATION ANALYSIS:

Project Description

The applicant, on behalf of the property owner, is proposing a new sign program for the existing single-story multi-tenant commercial center development and free-standing restaurant with drive-thru establishment to provide consistent and complementary signage throughout the existing commercial development. The proposed sign program establishes sign criteria for the location and placement of wall signs, and freestanding signs with all signs following requirements set forth in Buena Park Municipal Code (BPMC) Division 9 (Sign Regulations). The design standards for all wall signs shall consist of an elongated hexagon fixed tenant wall sign panel with halo illuminated reverse aluminum channel letters. The detailed proposed sign program is provided in Attachment 2.

DISCUSSION:

BPMC Section 19.912.020 (Sign Program for Integrated Developments in Commercial Zones, other than the CR Zone) requires Planning Commission review and approval for sign programs. The intent of a sign program is to provide a comprehensive sign plan that seamlessly integrates with the architecture of the development. In reviewing the applicant's request, staff visited the site and surrounding area and has determined that the proposed sign program is in compliance with the sign regulations of the City's Zoning Ordinance and is consistent with the existing facades and will provide sufficient site and tenant identification.

The proposed sign program, as conditioned, is consistent with the goals and policies of the General Plan and complies with all development standards of the CS zone. The proposed sign program will enhance the visual aesthetics of an existing single-story multi-tenant commercial center development and free-standing restaurant with drive-thru establishment and will harmonize the signs with the existing building façades.

ENVIRONMENTAL ASSESSMENT:

In accordance with the California Environmental Quality Act (CEQA), the City has determined that the proposed project is Categorically Exempt, pursuant to Section 15311 (Accessory Structures) Class 11 of the State CEQA Guidelines, because the proposed sign program is regulation of on-premise signs within an existing single-story multi-tenant commercial center development and free-standing restaurant with drive-thru establishment.

PUBLIC HEARING NOTICE:

No public hearing notification is required for this application.

Reviewed and Approved by: Matt Foulkes, Director of Community and Economic Development Department

Attachments

[PROPOSED PLANNING COMMISSION RESOLUTION FOR SIGN PROGRAM NO. SN-24-4.pdf](#)

[SN-24-4 DEVELOPMENT SIGN PROGRAM PLANS STAMPED RECEIVED FEB 28 2025 PLANNING DIV.pdf](#)

[SN-24-4 VICINITY MAP.pdf](#)

RESOLUTION NO.
SIGN PROGRAM NO. SN-24-4

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BUENA PARK, CALIFORNIA, APPROVING A REQUEST TO ESTABLISH A SIGN PROGRAM NO. SN-24-4 FOR AN EXISTING SINGLE-STORY MULTI-TENANT COMMERCIAL CENTER DEVELOPMENT AND A FREE-STANDING RESTAURANT WITH DRIVE-THRU ESTABLISHMENT LOCATED AT 6131 AND 6161 LINCOLN AVENUE (APNS: 260-021-07, AND 08) WITHIN THE COMMUNITY SHOPPING (CS) ZONE, AND MAKING FINDINGS IN SUPPORT THEREOF

A. Recitals.

(i) Hans C. Krake, applicant, 1475 Wellington Avenue, Pasadena, CA 91103, on behalf of Lincoln MLSTWS, LLC, property owner, 20929 Ventura Boulevard, Suite 47, Woodland Hills, CA 91364, have filed an application for a Sign Program No. SN-24-4 to allow the establishment of a master sign program for an existing single-story multi-tenant commercial center development and free-standing restaurant with drive-thru establishment located at 6131 Lincoln Avenue and 6161 Lincoln Avenue, Buena Park, California, 90620, (APNs: 260-021-07, and 08) in the County of Orange. Hereinafter in this Resolution, the subject Sign Program request is referred to as the “application.”

(ii) On April 23, 2025, the Planning Commission conducted a hearing on the application, as required by law, and concluded said hearing prior to the adoption of this Resolution.

(iii) All legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF BUENA PARK, does hereby finds, determines, and resolves as follows:

1. The Planning Commission hereby specifically finds that all the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon substantial evidence presented to the Planning Commission during the above-referenced hearing, including written staff report, verbal testimony, and the Sign Program No. SN-24-4 Development Plans stamped “RECEIVED FEB 28 2025 PLANNING DIV.,” this Commission hereby specifically finds, determines, and resolves as follows:

a. FINDING: All details regarding locations, materials, colors, dimensions, etc., shall be specified on the sign plan submittal.

FACT: Details regarding location, materials, colors, and dimension have been specified within the “unified sign program” in text as well as diagrammatic format. All signs and their installation shall comply with all local zoning, building, and electrical codes.

- b. **FINDING:** All signs shall be harmoniously integrated with the architecture of the development to which they pertain, including locations, materials, coloration, height, size, and shape, and said signs shall not detract from existing developments in the area.

FACT: All signs have been harmoniously integrated with the architecture of the existing development and will not detract from existing developments in the area. Additionally, the proposed sign program meets the development standards set forth in the Buena Park Municipal Code (BPMC) Division 9 Sign Regulations.

3. The Planning Commission hereby finds and determines that the application, as identified above in this Resolution, is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15311 (Accessory Structures) Class 11, Division 6 of Title 14 of the California Code of Regulations because the proposed sign program is regulation of on-premise signs within an existing single-story multi-tenant commercial center development and free-standing restaurant with drive-thru establishment.

4. Based upon the findings and conclusions set forth in paragraphs 1, 2, and 3, above, the Planning Commission hereby approves Sign Program No. SN-24-4 application subject to the plans stamped "RECEIVED FEB 28 2025 PLANNING DIV." as modified herein and the following conditions set forth in paragraph 5 of this Resolution.

5. The following conditions are deemed necessary to protect the public health, safety, and general welfare and are reasonable and proper in accordance with the purpose and intent of the Buena Park City Code:

PLANNING DIVISION:

1. This approval shall be for the establishment of an integrated sign program for an existing single-story multi-tenant commercial center development and free-standing restaurant with drive-thru establishment on a property located at 6131 Lincoln Avenue and 6161 Lincoln Avenue (APNs: 260-021-07, and 08) in substantial compliance with Sign Program No. SN-24-4 Development Plans dated "RECEIVED FEB 28 2025 PLANNING DIV.," and as conditioned herein.
2. The applicant and/or property owner shall ensure that a copy of the Planning Commission Resolution, including all conditions of approval, be distributed to all design professionals, contractors, and subcontractors involved in developing signage for the project.
3. All new tenant signage shall comply with the sign program approved under this application. Color and font style exceptions can be made for any business with a registered trademark and shall be approved by landlord.
4. All signs shall conform to this sign plan and City Zoning Code, including Buena Park Municipal Code (BPMC) Chapter 19.904 General Sign Provisions. All signs shall require Planning Division review and approval via a Sign Permit prior to installation.

5. All new signs shall require Planning Division review and approval prior to the issuance of a building permit.
6. Any/all signs which require a raceway shall not be allowed to utilize an exposed raceway.
7. No internally-illuminated signs shall be permitted along the north elevation of buildings "B" & "C".
8. All lighting and illuminated signs shall be designed to prevent glare upon streets, walkways, and surrounding properties.
9. Temporary window signs shall not exceed 20 percent of the area of each window and shall remain no longer than 30 days.
10. The placement and design of ground signs and menu board signs for the drive-through tenant shall be consistent with the materials and architectural design of the primary building.
11. Any appreciable modifications to the approved plans or conditions of approval shall require the approval of the Planning Commission. Minor modifications may be reviewed and approved by the Community and Economic Development Director.
12. This approval may be revoked for any violation of noncompliance with any of these conditions in accordance with BPMC Section 19.132.030 (Revocation).
13. The project and/or use authorized by this approval shall at all times comply with all applicable local, state, and federal ordinances, statutes, standards, codes, laws, policies, and regulations.
14. The applicant and property owner shall sign a notarized Affidavit of Acceptance of all conditions of approval and return it to the Planning Division within thirty (30) days after the effective date of this approval or prior to the issuance of a building permit or certificate of occupancy, whichever may occur first.
15. The applicant shall indemnify, defend, and hold harmless the City, its officers, agents, and employees from any claims and losses whatsoever occurring or resulting to any and all persons, firms, or corporations furnishing or supplying work, services, materials, or supplies in connection with the performance of the use permitted hereby or the exercise of the rights granted herein, any and all claims, lawsuits or actions arising from the granting of or exercise of the rights permitted by this approval and from any and all claims and losses occurring or resulting to any person, firm, or corporation, or property damage, injury, or death arising out of or connected with the performance of the use permitted hereby. Applicant's obligation to indemnify, defend, and hold harmless the City as stated hereinabove shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the City in connection with any such claims, losses, lawsuits, or actions, and any award of such damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.

PASSED AND ADOPTED this 23rd day of April 2025 by the following called vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

Deborah Diep
Chair

ATTEST:

Harald Luna,
Acting Planning Manager

Resolution No.
Sign Program No. SN-24-4
April 23, 2025

AFFIDAVIT OF ACCEPTANCE:

I/ We do hereby accept all of the conditions contained in this document and all other conditions imposed by Sign Program No. SN-24-4 and do agree that I/We shall conform with and abide by all such conditions.

Date: _____

Printed Name and Signature
Owner / Applicant

DRAFT

Lincoln Plaza

Master Sign Program

6161 Lincoln

Buena Park, CA

Project Number	Issue Date	Issue Title
01.2024.003	06.05.24	Master Sign Program
	09.10.24	Response to planning incomplete letter
	12.13.24	Response to planning incomplete letter
	2.20.25	Response to planning incomplete letter

RECEIVED
FEB 28 2025
PLANNING DIV

SN-24-4

		Keynotes 1.	Lincoln Plaza 6161 Lincoln Buena Park, CA
			Project Number 01.2024.003
			Issue Date 05.13.24
			Issue Title Master Sign Program
			Hans C. Krake 1475 Wellington Ave. Pasadena, CA 91103 USA
			626.862.6202
			All drawings and written material appearing herein constitute original and unpublished work of the designer and may not be duplicated, used or disclosed without written consent of the designer. The design elements represented on this sheet and related sheets are for design intent only. Krake does not represent that the design of the elements on the sheets are able to be fabricated entirely as shown. Contractor/fabricator to review documents for constructibility, structural and performance soundness. Contractor/fabricator to notify Krake in the event of concern or disagreement with the constructibility and design intent of the elements as depicted on the sheets. Krake © 2023
			Issue 104.10.2024 Draft MSP 206.05.24 Planning Submittal 309.12.24 Planning response 412.13.24 Letter Resubmittal 52.20.25 Letter Resubmittal
		General Notes A. Sign Contractor to secure final sign off directly from Client on all logo artwork and specific copy before fabrication and installation B. Sign Contractor shall coordinate with G.C. for all structural support and blocking for signs as required in a timely manner per construction schedule. C. Krake shall provide one (1) layout template per sign type (full-size or scaled, depending on the overall dimensions of the sign). Sign Contractor shall produce and submit every sign layout with the final copy (approved by Client) for review by Krake prior to fabrication. D. Krake shall provide one (1) layout template for an evacuation map layout if required (full-size or scaled, depending on the overall dimensions of the sign). Sign Contractor shall produce and submit of all fire safety related signage for review, location confirmation and approval by Fire Marshall prior to fabrication. E. Sign Contractor to field verify all dimensions, survey walls for the exact locations of any obstructions, and submit updated elevation layouts as needed for review by Krake prior to fabrication. F. Sign Contractor shall verify feasibility of all specified products, including software, and follow the manufacturer's recommendations for each application. Should an alternative be required or desired, submit the full specs to Krake for review prior to fabrication.	

Sheet List

SG.2	Sheet List/Tenant Sign Guidelines
SG.3	Zoning Information
SG.4	Zoning Information
SG.5	Location Plan Information
SG.6	Existing tenant - Sign Location Plan
SG.7	Ultimate Sign Location Plan (reference)
SG.8	Building and Street Frontage Plan
SG.9	Summary of Sign Type Matrix
SG.10	Exist. Tenant Building Elevations
SG.11	Building A Sign Location Elevations
SG.12	Building B Sign Location Elevations
SG.13	Building C Sign Location Elevations
SG.14	Building D Sign Location Elevations
SG.15	Ultimate. Tenant Building Elevations
SG.16	Building A Sign Location Elevations
SG.17	Building B Sign Location Elevations
SG.18	Building C Sign Location Elevations
SG.19	Building D Sign Location Elevations
SG.20	Sign Type Information
SG.21	Sign Type T1 - Tenant ID
SG.22	Sign Type T2 - Project ID
SG.23	Sign Type T3 - Project Directory
SG.24	Blk Dot Tenant Sign Location
SG.25	Schematic Sign Location Plan
SG.26	Detailed Sign Location Plan
SG.27	Building Perspective
SG.28	Building Perspective
SG.29	Building Perspective
SG.30	Lincoln Ave. Sign Location Elevation
SG.31	East Sign Location Elevations
SG.32	West Sign Location Elevations
SG.33	Ground Mounted Pole Sign Elevation
SG.34	Ground Sign Elevations
SG.35	Directional Sign Elevation
SG.36	Menu Sign Elevations
SG.37	Project Specifications
SG.38	Finishes/General City Requirements
SG.39	Specifications
SG.40	Specifications
SG.41	Specifications

Tenant Sign Guidelines

OBJECTIVE

The objective of the following sign criteria is to provide standards and specifications that assure consistent quality, size, variety and placement for Tenant signs throughout this project. This criteria is also intended to stimulate creative invention and achieve the highest standard of excellence in environmental graphic communication. Such excellence is best achieved through open and frequent dialogue between Tenant, Landlord, and the project's graphic design consultant. Signage at the Lincoln Plaza, Buena Park is an integral part of the center's image and appeal, so signs must be thoughtfully designed, placed and proportioned to the individual architectural facade on which they are placed. Care in the design and installation of store signs will enhance customer's appreciation.

Purpose of sign program is to establish guidelines for consistent signage throughout the commercial plaza to enhance the aesthetics of the plaza, and to allow adequate signange for all tenants. The sign program also ensures that high quality materials are utilized to ensure longevity of each sign. These guidelines provide sign submittal and approval requirements for all signs.

OVERVIEW

The overview of this criteria is to assist the Landlord/Tenant and City relationship. The Landlord will be responsible to:

a. Provide base building design and construction information requested by Tenant's sign design consultant.

b. Review, comment and approve Tenant sign submission.

In return, the Tenant will be responsible for:

Design, fabrication, permitting and installation of signs, including any structural support and electrical service and any special installation requiring addition or modification to the shell building approved by the Landlord.

IMPLEMENTATION -

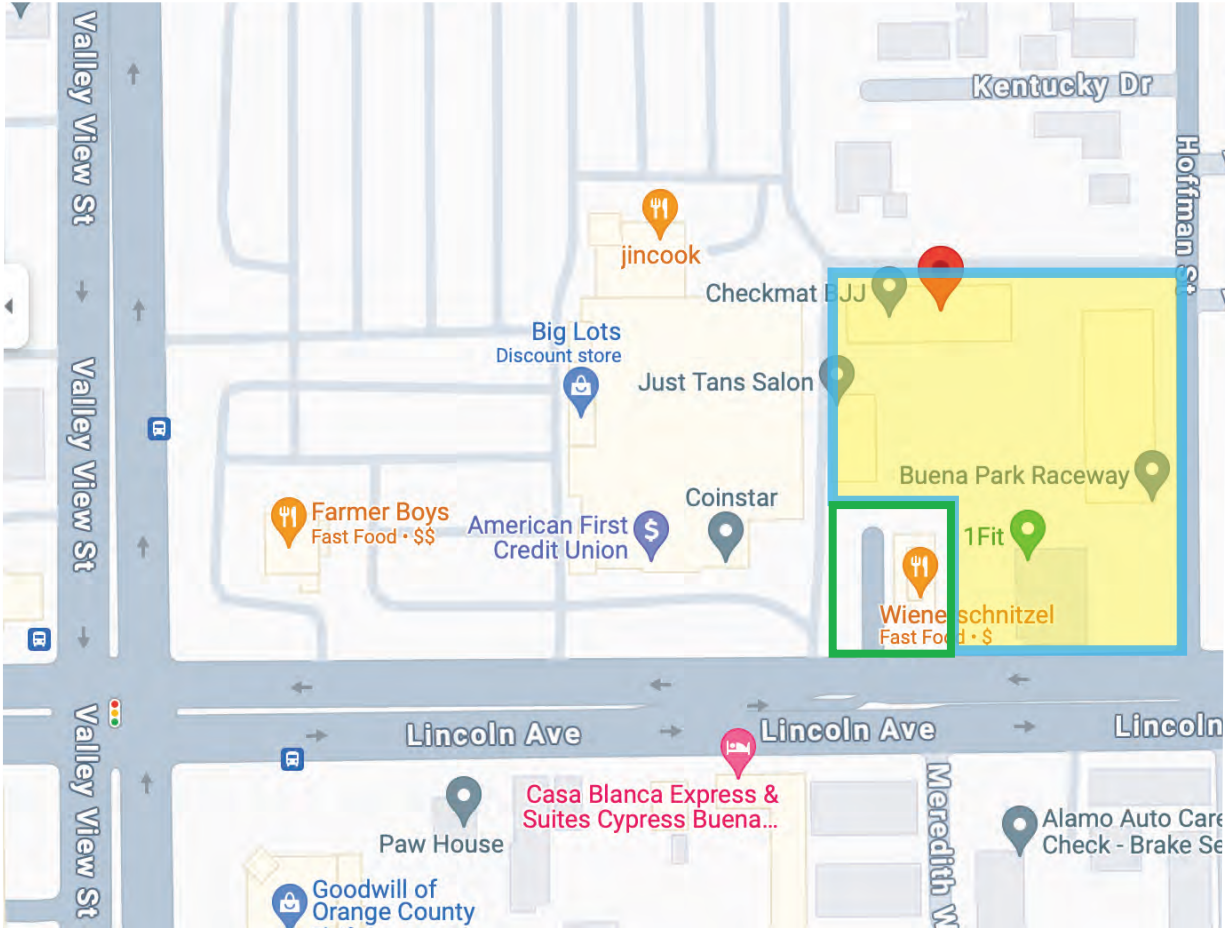
Tenant Criteria
T1 - Standard Tenant Sign
Tenant name panel shall comply to the following guidelines for tenant name placement. Final tenant name configuration and size to be developed to fit with-in the overall sign panel specific panel sizes and must be approved by landlord prior to application for permit and installation.
Panel Height - 12" Sign max.
Panel Width: 9'-8" Sign max.
Copy: Tenant name/font and logo permitted
Font: Font to be tenant font approved by landlord. If no font is available then the font shall be DIN Condensed at individual sign
Colors - Copy to be color approved by landlord. Background color to remain as overall sign color P1 White.

Zoning Information

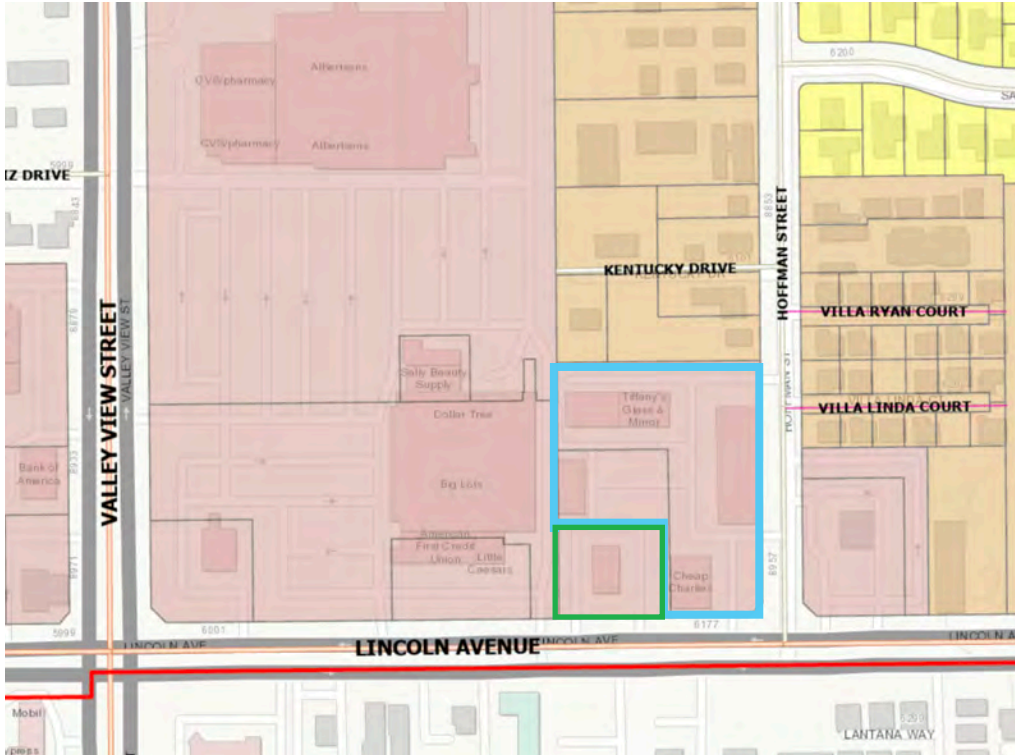
ZONING INFORMATION



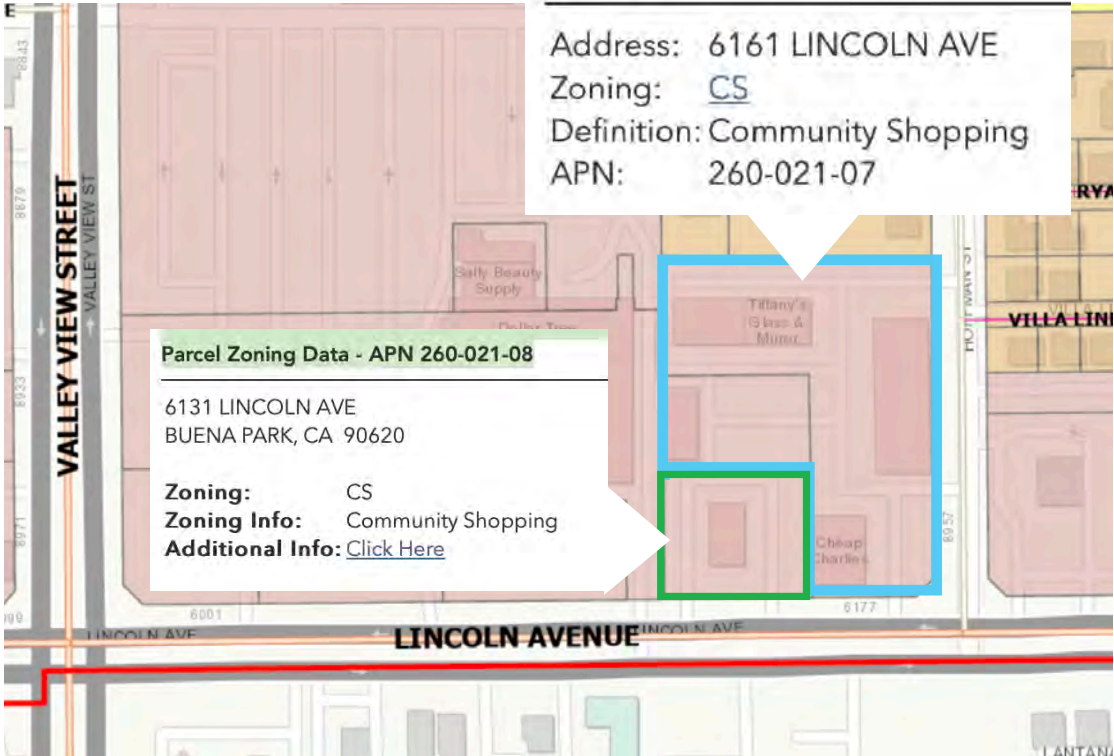
PROJECT OVERVIEW



VICINITY MAP



ZONING MAP



ZONING INFORMATION MAP

Keynotes

1.

Lincoln Plaza

6161 Lincoln
Buena Park, CA

Project Number

01.2024.003

Issue Date

05.13.24

Issue Title

Master Sign Program

Hans C. Krake

1475 Wellington Ave.
Pasadena, CA 91103
USA

626.862.6202

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Issue

- 04.10.2024 Draft MSP
- 06.05.24 Planning Submittal
- 09.12.24 Planning response
- 12.13.24 Letter Resubmittal
- 2.20.25 Letter Resubmittal

General Notes

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NOT FOR CONSTRUCTION

Sheet Title

Zoning
information

SG.4

Sign Location Plans/Sign Matrix

LINCOLN AVE



Keynotes

1. TENANT SIGNS SHALL BE LOCATED AT THE CENTER OF THE BUISNESS SUITE.

General Notes

- A. Sign Contractor to secure final sign off directly from Client on all logo artwork and specific copy before fabrication and installation
- B. Sign Contractor shall coordinate with G.C. for all structural support and blocking for signs as required in a timely manner per construction schedule.
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NOT FOR
CONSTRUCTION

:Sheet Title

:Existing Tenant
Sign Plan

For Reference Only

SG.6

SIGN LOCATION PLAN

See Sheet SG.26 for this area



PROPOSED SITE PLAN

1. Tenant signs shall be located at the center of the business suite.

See Sheet SG.7 for tenant and building frontage

See Sheet SG.8 for tenant signage matrix

Keynotes

- Existing site tenant directory sign T3.01 to remain.
- Existing T1.01 and T1.02 tenant signs on Building A to remain.
- All other signs are new.
- Tenant signs shall be permitted only 1 wall sign per tenant business frontage 1 additional wall sign may be permitted facing a parking lot or street.

5. Pursuant to BPMC Section 19.912.020.C (Sign Program for Integrated Developments in Commercial Zones, other than the CS Zone – Allowable Wall Sign Area), the allowable amount of wall sign area per tenant space shall be limited to the following formula:

Sign Area = 2 feet x 70 percent of width (in feet) of the tenant business frontage, except, for a business frontage of less than 15 feet, a minimum of 20 square feet shall be permitted.

A wall sign shall not extend in length beyond 70 percent of any business frontage. For a business frontage of less than 15 feet, the wall sign may extend beyond this point, if a minimum 5-foot separation is provided from any other wall sign.

Based on the sign formula noted above, all tenant signs identified in this sign program comply with the BPMC.

If information is not specifically listed in this sign program, the Buena Park Zoning Code shall apply. Buena Park approval is required for each sign, including copy change. Landlord approval for each sign may be required, but does not supersede the City requirements and approval

General Notes

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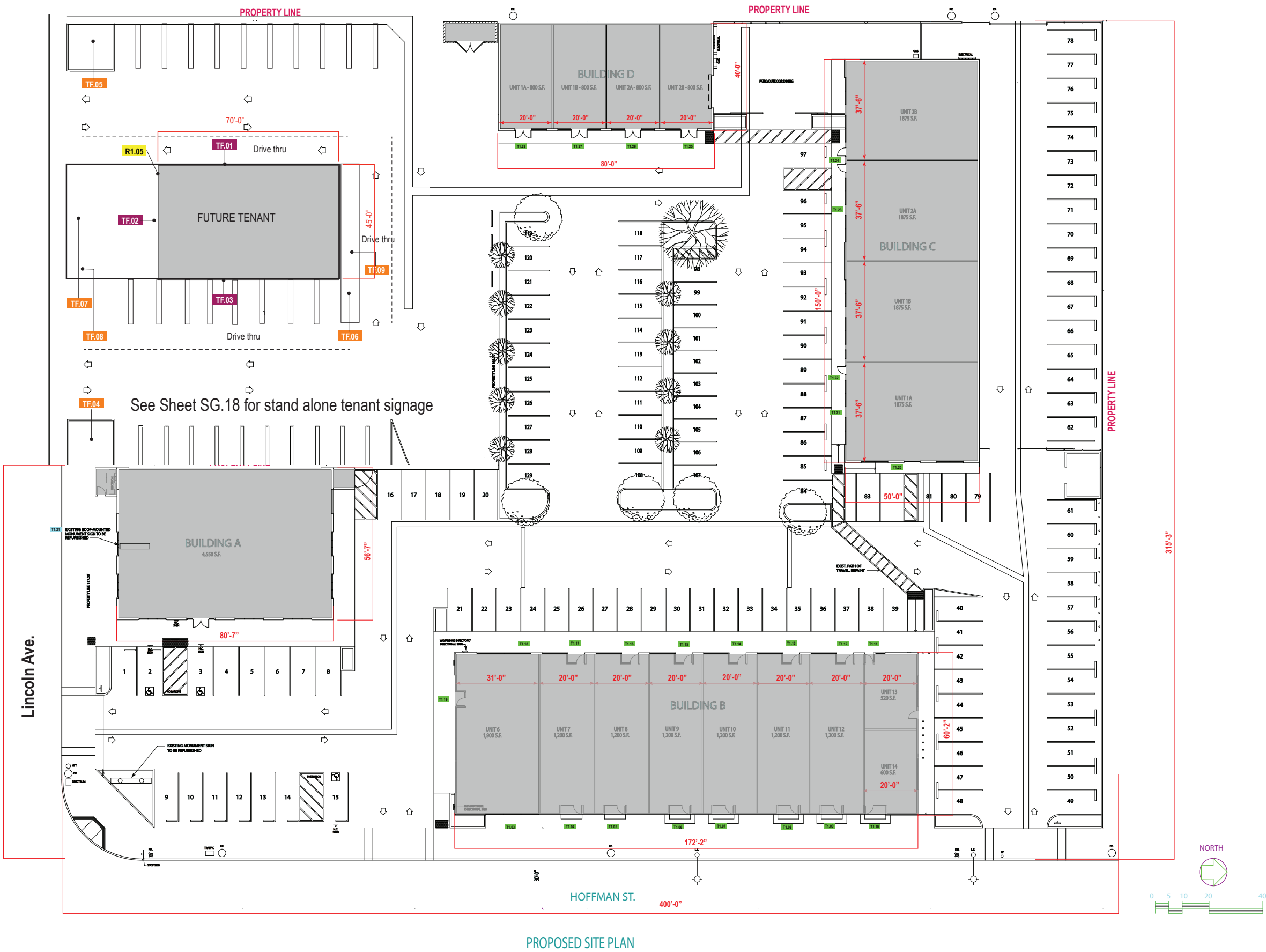
NOT FOR CONSTRUCTION

Sheet Title

Ultimate Sign
Location Plan
(For Reference)

SG.7

SITE PLAN – BUILDING/FRONTAGE DIMENSIONS



Keynotes

1. All existing buildings to remain - building dimensions are indicated as well as street frontage
2. Pursuant to BPMC Section 19.912.020.C (Sign Program for Integrated Developments in Commercial Zones, other than the CS Zone – Allowable Wall Sign Area), the allowable amount of wall sign area per tenant space shall be limited to the following formula:

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Buena Park, CA

Project Number
01.2024.003

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Master Sign Program

Hans C. Krake

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Pasadena, CA 91103
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NOT FOR
CONSTRUCTION

Sheet Title

Building and
Tenant Frontage

For Reference Only

SG.8

Tenant Sign Types – Building Mounted

Pursuant to BPMC Section 19.912.020.C (Sign Program for Integrated Developments in Commercial Zones, other than the CS Zone – Allowable Wall Sign Area), the allowable amount of wall sign area per tenant space shall be limited to the following formula:

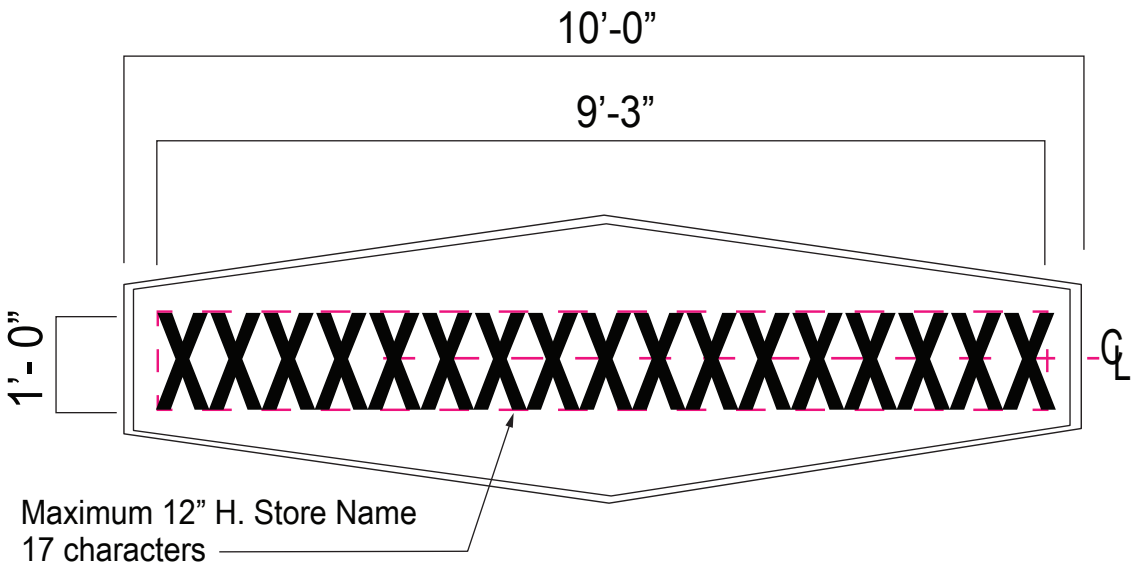
Sign Area = 2 feet × 70 percent of width (in feet) of the tenant business frontage, except, for a business frontage of less than 15 feet, a minimum of 20 square feet shall be permitted.

A wall sign shall not extend in length beyond 70 percent of any business frontage. For a business frontage of less than 15 feet, the wall sign may extend beyond this point, if a minimum 5-foot separation is provided from any other wall sign.

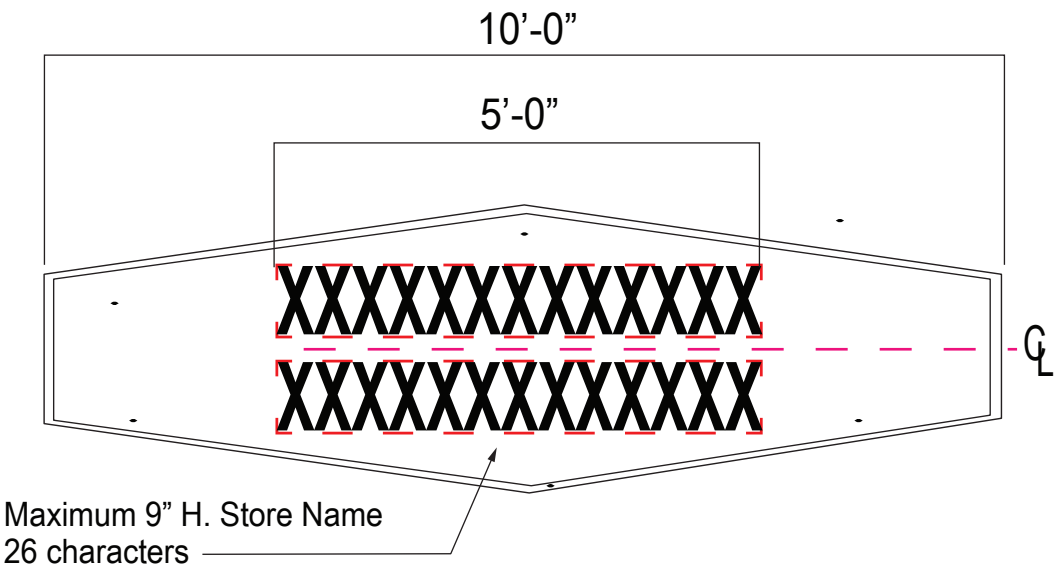
Tenant Sign Design Process

- 1. Working with your landlord and using the attached Site Plan for reference, identify the boundaries of your tenant space in the building. This will show you where your building frontage is.
- 2. Next, refer to the attached Sign Location Elevations. These drawings will show you where your signs may be located on the building. Coordinate with your Landlord to avoid interference with other tenant signage. Once you have determined how much sign face area you’re allowed and the sight lines to your location, you and your professional sign designer can determine the types of signs you want to use to identify your business.
- 3. Work with your professional designer to create signs for your business that meet the criteria of this master sign program (MSP) Follow the instructions in the MSP for document preparation and submittal.
- 4. Submit your final package to your Landlord for approval. Tenant Sign submittal to the landlord should include the following:
 - Site plan indicating location of proposed signage
 - Elevation line drawing and or photographic representation indicating proposed signs
 - Detailed, scaled shop drawings indicating signage design detailing, materiality, lighting, engineered attachment to the building (indicating waterproofing strategy) and power requirement.
- 5. Once you have approval from your Landlord, submit your final package to Buena Park Planning Division for approval and sign permit.
- 6. For consistency, contract with Landlord’s signage vendor and installer

Tenant Sign Panel - Copy Schematic



SINGLE LINE TENANT PANEL



DOUBLE LINE TENANT PANEL

Keynotes

- 1. Signs comply with Chapter 19, CS Zone.
- 2. All signs not noted as Existing are new.
- 3. T1 - Standard Tenant Sign Tenant name panel shall comply to the following guidelines for tenant name placement. Final tenant name configuration and size to be developed to fit within the overall sign panel specific panel sizes and must be approved by owner prior to application for permit and installation.

Panel Height - 12" Sign max.
Panel Width: 9'-3" Sign max.
Copy: Tenant name and logo permitted
Font: Font to be tenant font approved by Landlord. If no font is available then the font shall be DIN Condensed reference at individual sign.
Colors - Copy to be color permitted.
Background color to remain as overall sign color P1 White.

General Notes

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Lincoln Plaza

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Buena Park, CA

Project Number
01.2024.003

Issue Date
05.13.24

Issue Title
Master Sign Program

Hans C. Krake

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NOT FOR CONSTRUCTION

Sheet Title

Sign Type Matrix

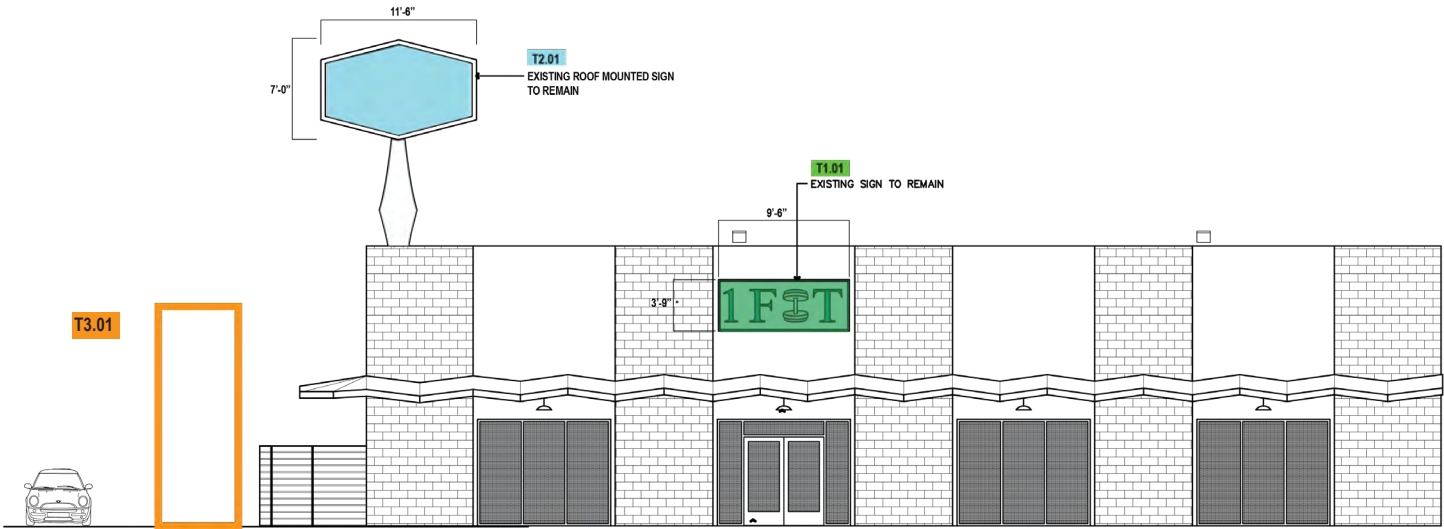
SG.9

Sign Location Elevations

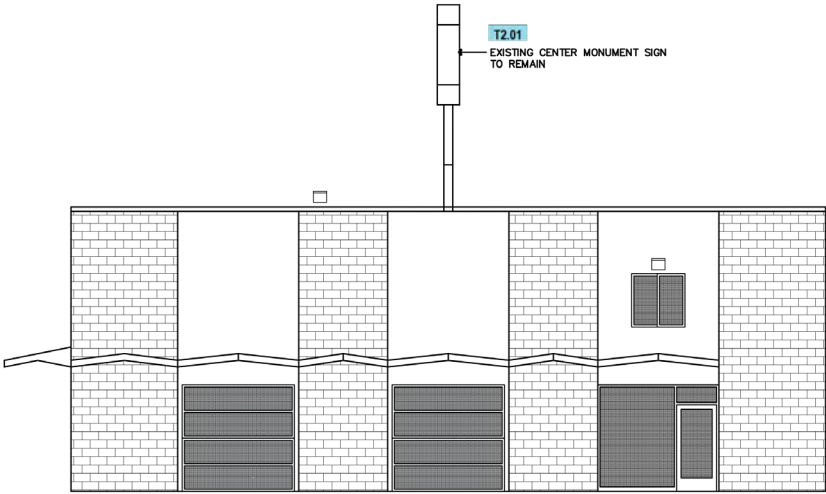
**Existing conditions of current tenants with
proposed new signs
(currently no signs exist)**

BUILDING A - EXISTING TENANT SIGN LOCATION ELEVATIONS

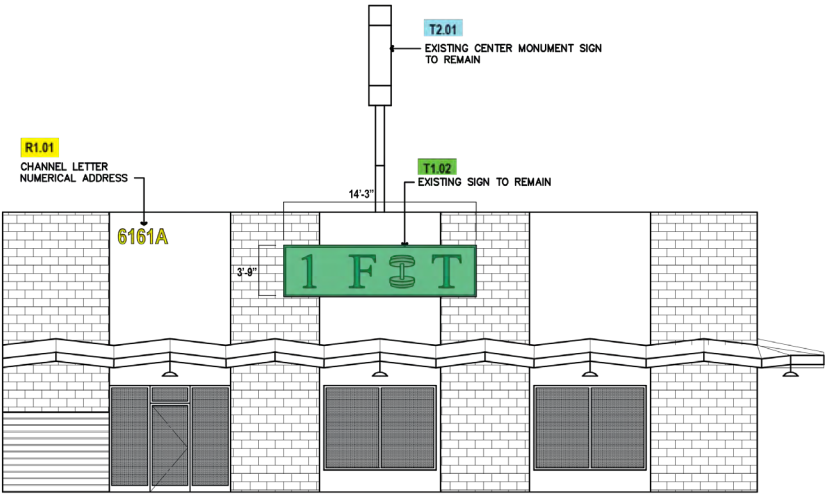
NOTE:
EXISTING SIGNAGE TENANT SIGNAGE TO REMAINS



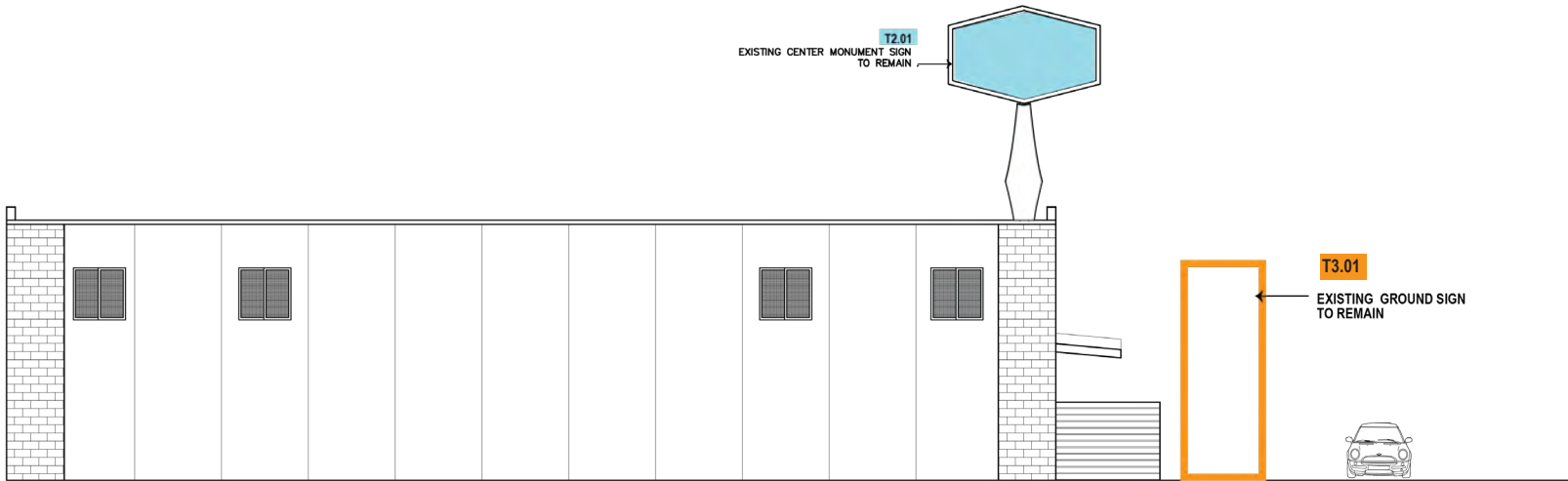
BUILDING A - EAST ELEVATION



BUILDING A - NORTH ELEVATION



BUILDING A - SOUTH ELEVATION



BUILDING A - WEST ELEVATION

Keynotes

1. All existing signs to remain at Building A.
2. Sign Type T2.01 may not be altered.
3. Change of tenant at Building A shall revert to new signage program.
4. Sign Type T3.01 shall remain as is. New tenants shall be added and match existing tenant roster size and color.

Lincoln Plaza

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NOT FOR
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Sheet Title

Building A
Signage

For Reference Only

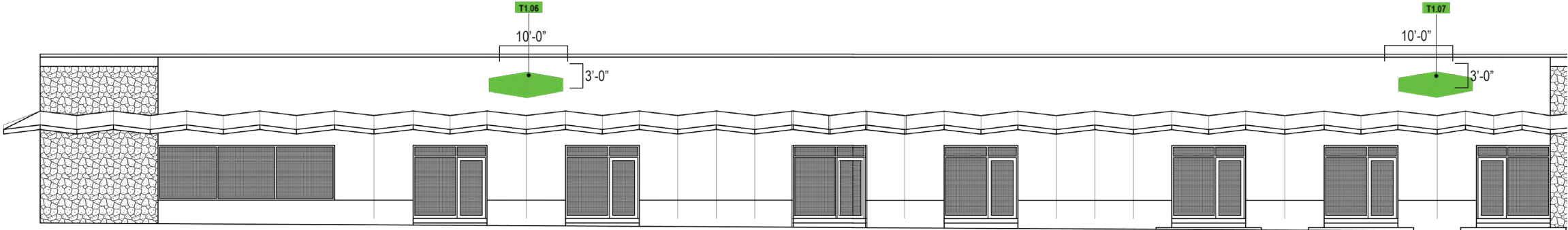
SG.11

BUILDING B - EXISTING TENANT SIGN LOCATION ELEVATIONS

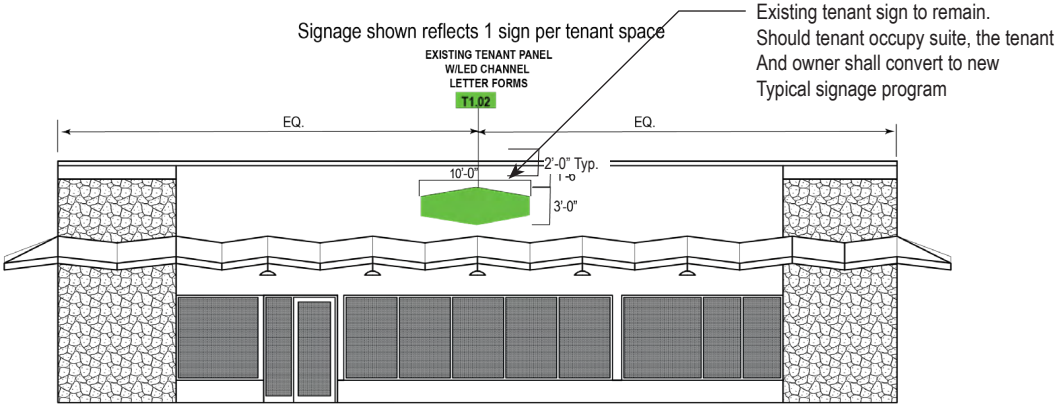
NOTE:
CURRENTLY NO SIGNAGE EXISTS FOR THE EXISTING TENANT SPACES.

ELEVATIONS REFLECT 1 SIGN PER TENANT PER TENANT SUITE FRONTAGE

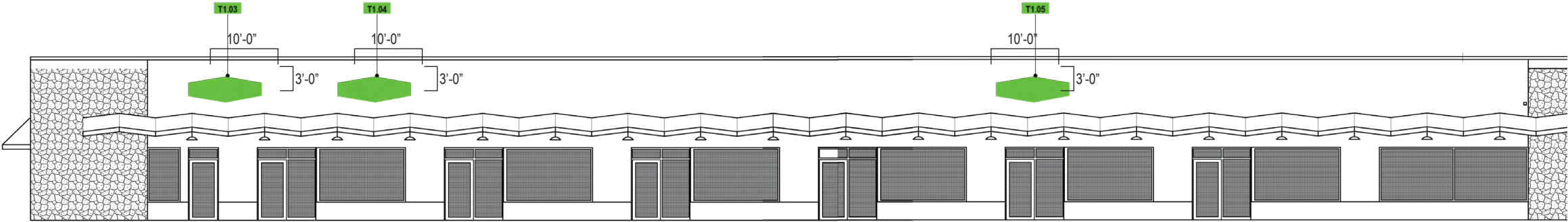
1. TENANT SIGNS SHALL BE LOCATED AT THE CENTER OF THE
BUISNESS SUITE.



BUILDING B - EAST ELEVATION



BUILDING B - SOUTH ELEVATION



BUILDING B - WEST ELEVATION



BUILDING B - NORTH ELEVATION

Keynotes

Note, per the Buena Park
Zoning Code, only one sign per
tenant is allowed per frontage.

1. All signage shown are new locations. All wall signs shall be uniform in size, shape, and construction.
2. All signs shall have uniform background color and material.
3. All typography shall be uniform or compatible in shape and style.
4. Minimum separation between signs is 5'-0".
5. Where a tenant occupies multiple suites, an equivalent square footage of signage of multiple tenant signs shall be permitted for one tenant sign.

. T1 - Standard Tenant Sign
Tenant name panel shall comply to the following guidelines for tenant name placement. Final tenant name configuration and size to be developed to fit within the overall sign panel specific panel sizes and must be approved by landlord prior to application for permit and installation.

Panel Height - 12" Sign Area
Panel Width: 9'-3" max.
Copy: Tenant name and logo
Font: Font to be tenant font approved by Landlord. If no font is available then the font shall be DIN Condensed reference at individual sign
Colors - Copy to be tenant color face and returns approved by Landlord. Background color to remain as overall sign color P1 White.

General Notes

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Sheet Title
Building B

For Reference Only

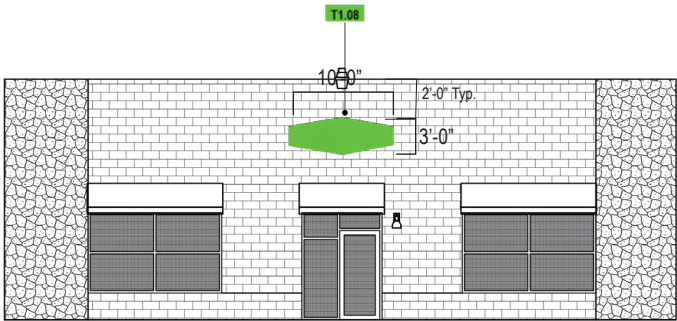
SG.12

BUILDING C – EXISTING TENANT SIGN LOCATION ELEVATIONS

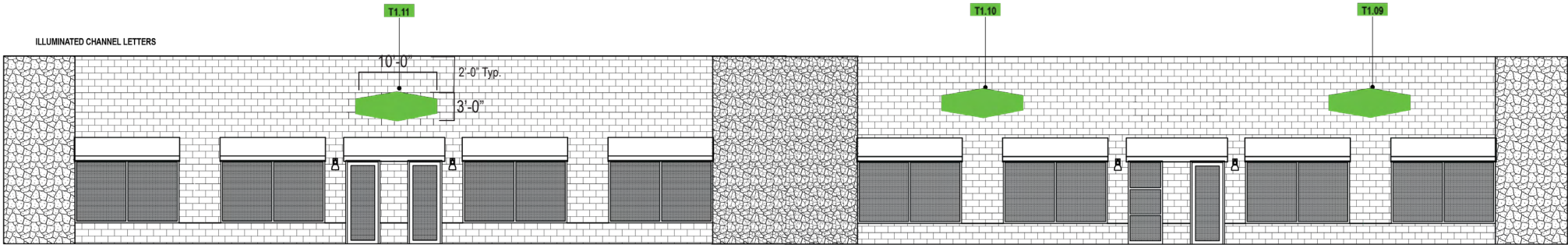
NOTE:
CURRENTLY NO SIGNAGE EXISTS FOR THE EXISTING TENANT SPACES.

ELEVATIONS REFLECT 1 SIGN PER TENANT PER TENANT SUITE FRONTAGE

1. TENANT SIGNS SHALL BE LOCATED AT THE CENTER OF THE BUISNESS SUITE.



BUILDING C - EAST ELEVATION



BUILDING C - SOUTH ELEVATION

Keynotes

- Note, per the Buena Park Zoning Code, only one sign per tenant is allowed per frontage.
1. All signage shown are new locations. All wall signs shall be uniform in size, shape, and construction.
 2. All signs shall have uniform background color and material.
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Colors - Copy to be tenant color face and returns approved by Landlord. Background color to remain as overall sign color P1 White.

General Notes

- A. Sign Contractor to secure final sign off directly from Client on all logo artwork and specific copy before fabrication and installation
- B. Sign Contractor shall coordinate with G.C. for all structural support and blocking for signs as required in a timely manner per construction schedule.
- C. Krake shall provide one (1) layout template per sign type (full-size or scaled, depending on the overall dimensions of the sign). Sign Contractor shall produce and submit every sign layout with the final copy (approved by Client) for review by Krake prior to fabrication.
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Lincoln Plaza

6161 Lincoln
Buena Park, CA

Project Number
01.2024.003
Issue Date
05.13.24
Issue Title
Master Sign Program

Hans C. Krake

1475 Wellington Ave.
Pasadena, CA 91103
USA
626.862.6202

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NOT FOR CONSTRUCTION

Sheet Title
Building C
Signage
For Reference Only

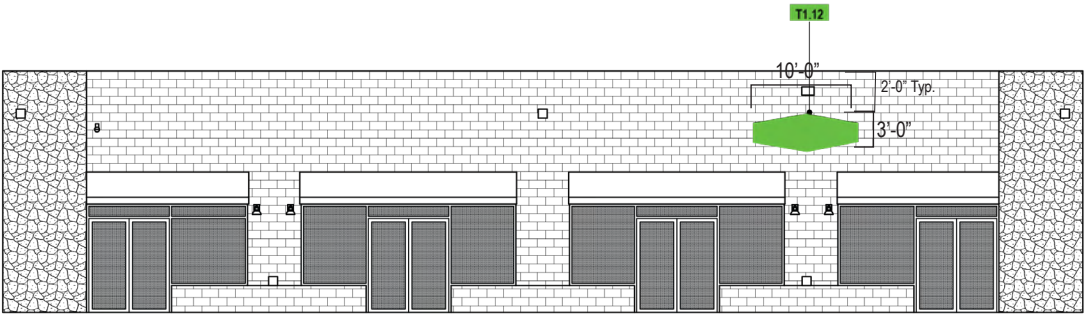
SG.13

BUILDING D – EXISTING TENANT SIGN LOCATION ELEVATIONS

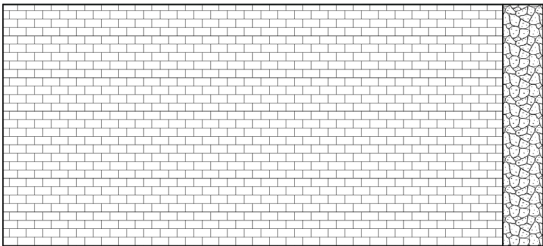
NOTE:
CURRENTLY NO SIGNAGE EXISTS FOR THE EXISTING TENANT SPACES.

ELEVATIONS REFLECT 1 SIGN PER TENANT PER TENANT SUITE FRONTAGE

1. TENANT SIGNS SHALL BE LOCATED AT THE CENTER OF THE BUISNESS SUITE.



BUILDING D - EAST ELEVATION



BUILDING D - SOUTH ELEVATION

Keynotes

Note, per the Buena Park Zoning Code, only one sign per tenant is allowed per frontage.

1. All signage shown are new locations. All wall signs shall be uniform in size, shape, and construction.
2. All signs shall have uniform background color and material.
3. All typography shall be uniform or compatible in shape and style.
4. Minimum separation between signs is 5'-0".
5. Where a tenant occupies multiple suites, an equivalent square footage of signage of multiple tenant signs shall be permitted for one tenant sign.

. T1 - Standard Tenant Sign
Tenant name panel shall comply to the following guidelines for tenant name placement. Final tenant name configuration and size to be developed to fit within the overall sign panel specific panel sizes and must be approved by landlord prior to application for permit and installation.

Panel Height - 12" Sign Area
Panel Width: 9'-3" max.
Copy: Tenant name and logo
Font: Font to be tenant font approved by Landlord. If no font is available then the font shall be DIN Condensed reference at individual sign
Colors - Copy to be tenant color face and returns approved by Landlord. Background color to remain as overall sign color P1 White.

General Notes

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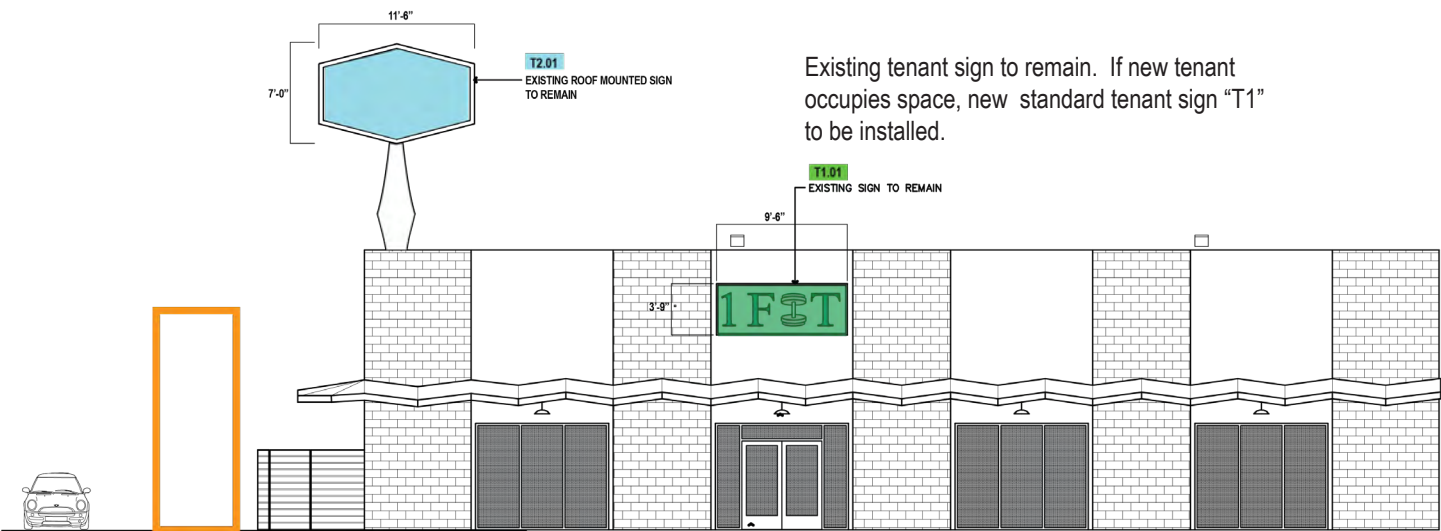
SG.14

Sign Location Elevations

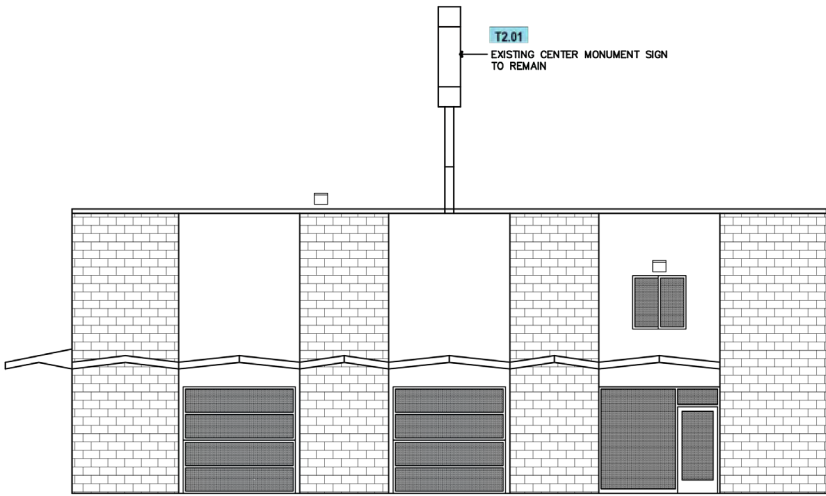
**For reference - all suites occupied by tenants
with proposed new signs
(one sign per tenant per elevation)**

BUILDING A – SIGN LOCATION ELEVATIONS

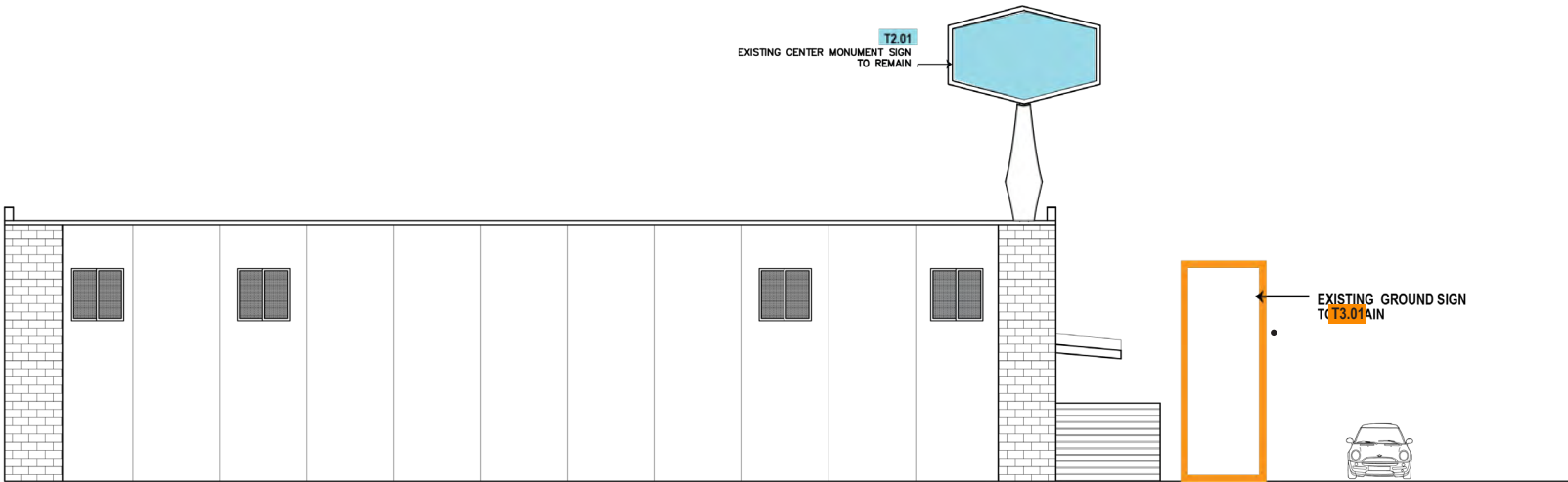
NOTE:
EXISTING TENANT SIGNAGE TO REMAIN.



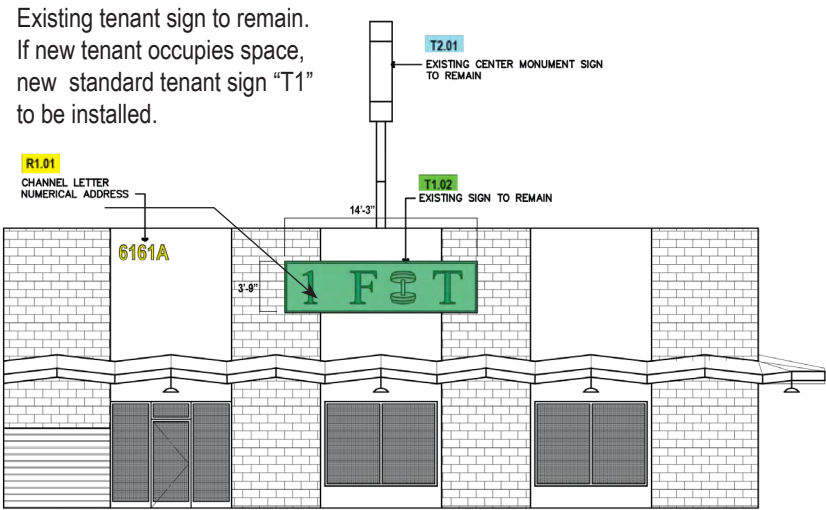
BUILDING A - EAST ELEVATION



BUILDING A - NORTH ELEVATION



BUILDING A - WEST ELEVATION



BUILDING A - SOUTH ELEVATION

Keynotes

1. All existing Building A signs to remain.
2. Existing T3.01 freestanding tenant directory to remain.

3. T1 - Standard Tenant Sign

Tenant name panel shall comply to the following guidelines for tenant name placement. Final tenant name configuration and size to be developed to fit within the overall sign panel specific panel sizes and must be approved by owner prior to application for permit and installation.

Panel Height - 12" Sign max.

Panel Width: 9'-3" max.

Copy: Tenant name and logo

Font: Font to be tenant font approved by Landlord. If no font is available then the font shall be DIN Condensed reference at individual sign .

Colors - Copy to be color by tenant.

Background color to remain as overall sign color P1 White

General Notes

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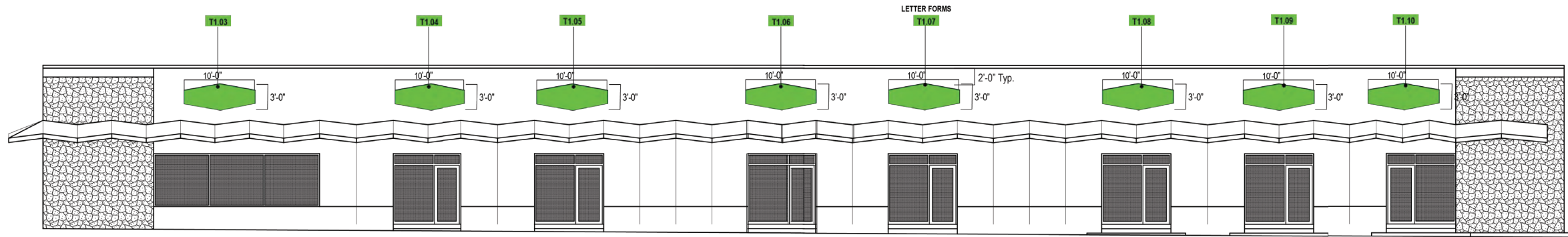
Building A
Elevations

For Reference Only

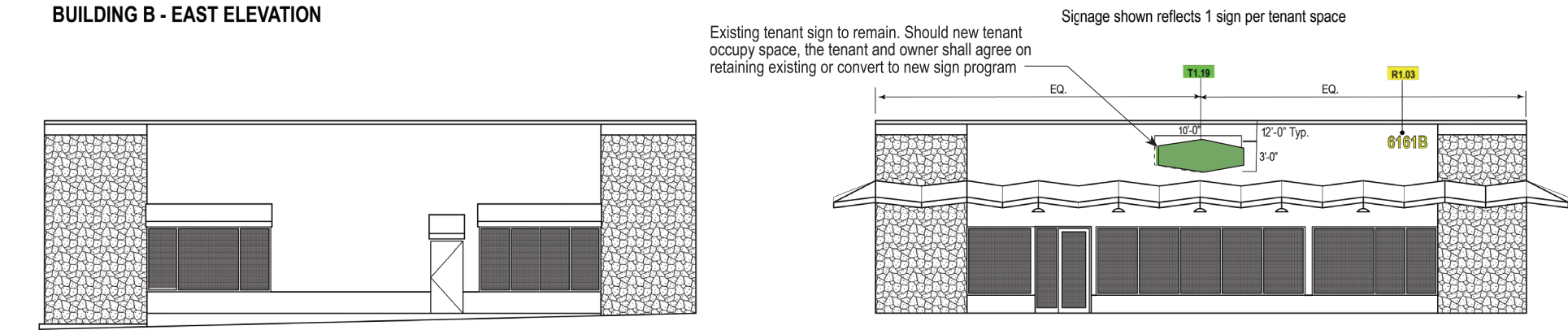
SG.16

BUILDING B – SIGN LOCATION ELEVATIONS

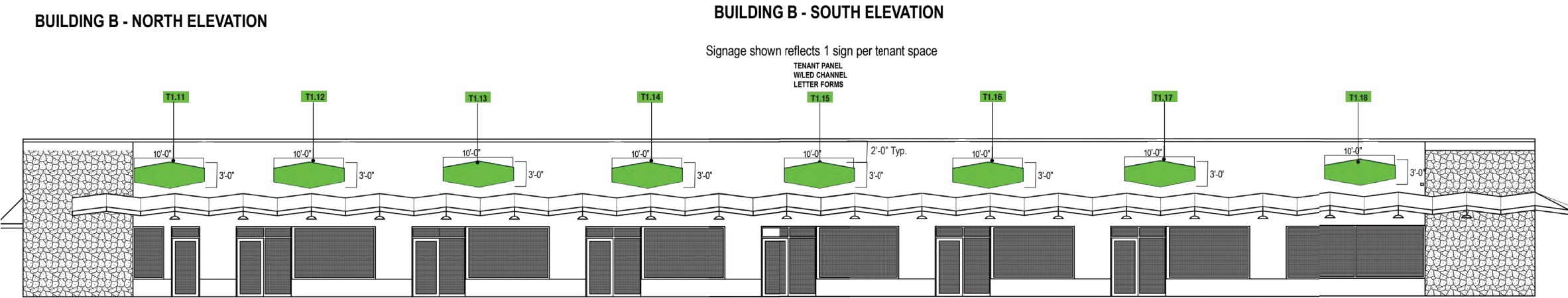
NOTE:
FOR REFERENCE - ELEVATIONS REFLECT 1 SIGN PER
TENANT PER TENANT SUITE FRONTAGE
1. TENANT SIGNS SHALL BE LOCATED AT THE CENTER OF THE BUISNESS SUITE.



BUILDING B - EAST ELEVATION



BUILDING B - SOUTH ELEVATION



BUILDING B - WEST ELEVATION

Keynotes

- Note, per the Buena Park Zoning Code, only one sign per tenant is allowed per frontage.
1. All signage shown are new locations. All wall signs shall be uniform in size, shape, and construction.
 2. All signs shall have uniform background color and material.
 3. All typography shall be uniform or compatible in shape and style.
 4. Minimum separation between signs is 5'-0".
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. T1 - Standard Tenant Sign
Tenant name panel shall comply to the following guidelines for tenant name placement. Final tenant name configuration and size to be developed to fit within the overall sign panel specific panel sizes and must be approved by landlord prior to application for permit and installation.

Panel Height - 12" Sign max.
Panel Width: 9'-3" max.
Copy: Tenant name and logo
Font: Font to be tenant font approved by Landlord. If no font is available then the font shall be DIN Condensed reference at individual sign
Colors - Copy to be tenant color face and returns approved by Landlord. Background color to remain as overall sign color P1 White.

General Notes

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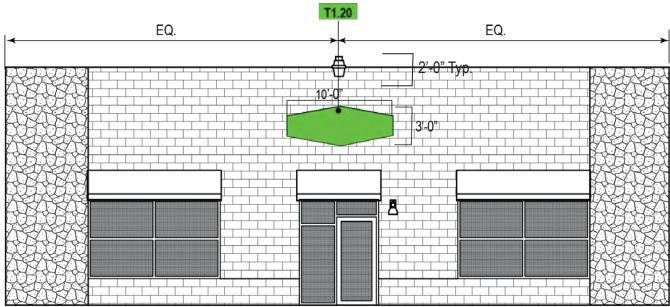
Sheet Title
Building B
Elevations

For Reference Only

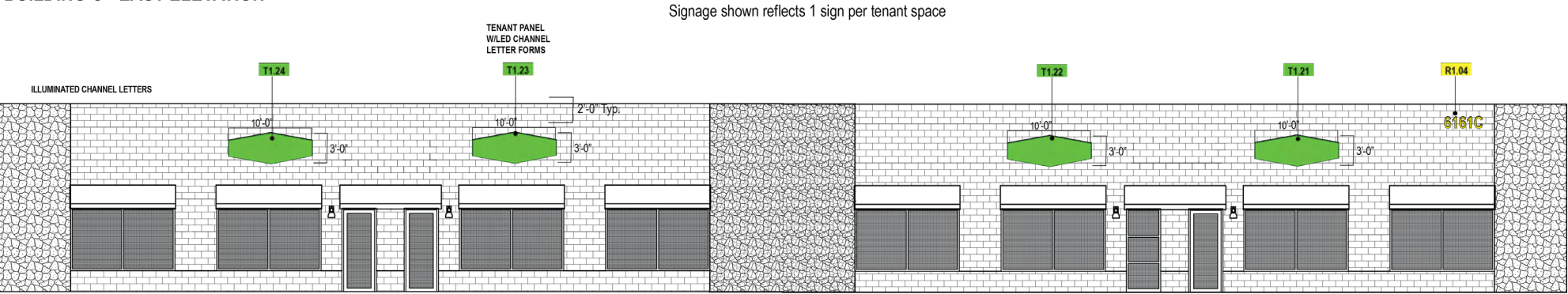
SG.17

BUILDING C – SIGN LOCATION ELEVATIONS

NOTE:
FOR REFERENCE - ELEVATIONS REFLECT 1 SIGN PER
TENANT PER TENANT SUITE FRONTAGE
1. TENANT SIGNS SHALL BE LOCATED AT THE CENTER OF THE BUISNESS SUITE.



BUILDING C - EAST ELEVATION



BUILDING C - SOUTH ELEVATION

Keynotes

- Note, per the Buena Park Zoning Code, only one sign per tenant is allowed per frontage.
1. All signage shown are new locations. All wall signs shall be uniform in size, shape, and construction.
 2. All signs shall have uniform background color and material.
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. T1 - Standard Tenant Sign
Tenant name panel shall comply to the following guidelines for tenant name placement. Final tenant name configuration and size to be developed to fit within the overall sign panel specific panel sizes and must be approved by landlord prior to application for permit and installation.

Panel Height - 12" Sign max.
Panel Width: 9'-3" max.
Copy: Tenant name and logo
Font: Font to be tenant font approved by Landlord. If no font is available then the font shall be DIN Condensed reference at individual sign
Colors - Copy to be tenant color face and returns approved by Landlord. Background color to remain as overall sign color P1 White.

General Notes

- A. Sign Contractor to secure final sign off directly from Client on all logo artwork and specific copy before fabrication and installation
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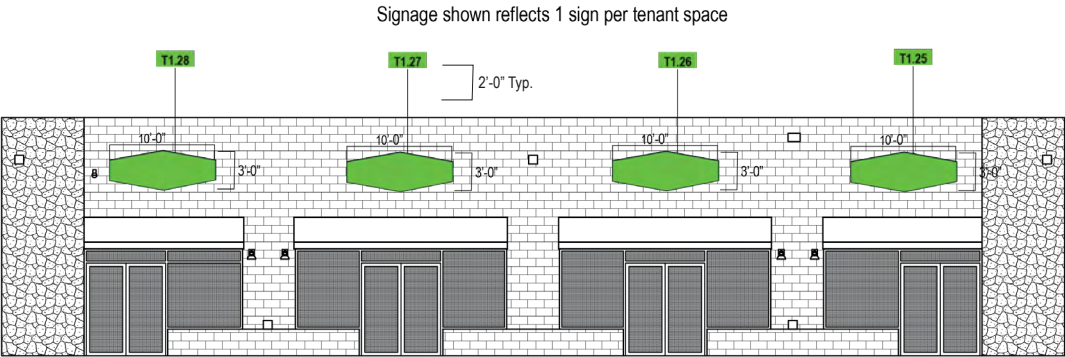
NOT FOR CONSTRUCTION

Sheet Title
Building C
Elevations
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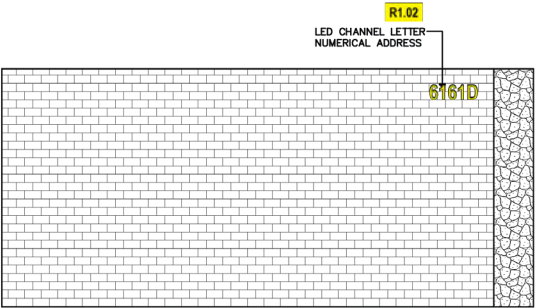
SG.18

BUILDING D – SIGN LOCATION ELEVATIONS

NOTE:
FOR REFERENCE - ELEVATIONS REFLECT 1 SIGN PER
TENANT PER TENANT SUITE FRONTAGE
1. TENANT SIGNS SHALL BE LOCATED AT THE CENTER OF THE BUISNESS SUITE.



BUILDING D - EAST ELEVATION



BUILDING D - SOUTH ELEVATION

Keynotes

- Note, per the Buena Park Zoning Code, only one sign per tenant is allowed per frontage.
1. All signage shown are new locations. All wall signs shall be uniform in size, shape, and construction.
 2. All signs shall have uniform background color and material.
 3. All typography shall be uniform or compatible in shape and style.
 4. Minimum separation between signs is 5'-0".
 5. Where a tenant occupies multiple suites, an equivalent square footage of signage of multiple tenant signs shall be permitted for one tenant sign.

. T1 - Standard Tenant Sign

Tenant name panel shall comply to the following guidelines for tenant name placement. Final tenant name configuration and size to be developed to fit within the overall sign panel specific panel sizes and must be approved by landlord prior to application for permit and installation.

Panel Height - 12" Sign max.
Panel Width: 9'-3" Sign max.
Copy: Tenant name and logo
Font: Font to be tenant font approved by Landlord. If no font is available then the font shall be DIN Condensed reference at individual sign
Colors - Copy to be tenant color face and returns approved by Landlord. Background color to remain as overall sign color P1 White.

General Notes

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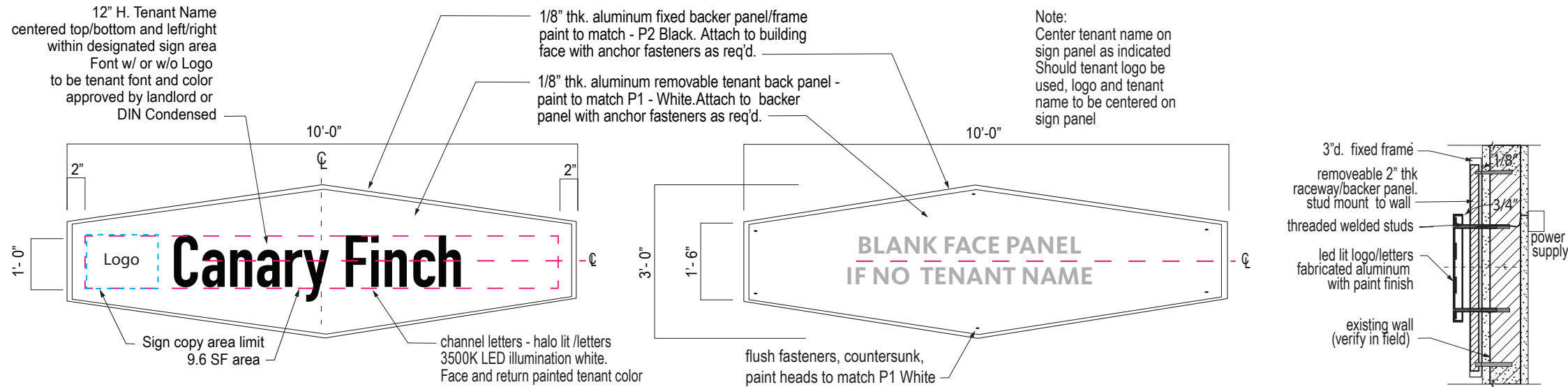
Building D
Elevations

For Reference Only

SG.19

Standard Tenant Sign Design - T1, T2, T3

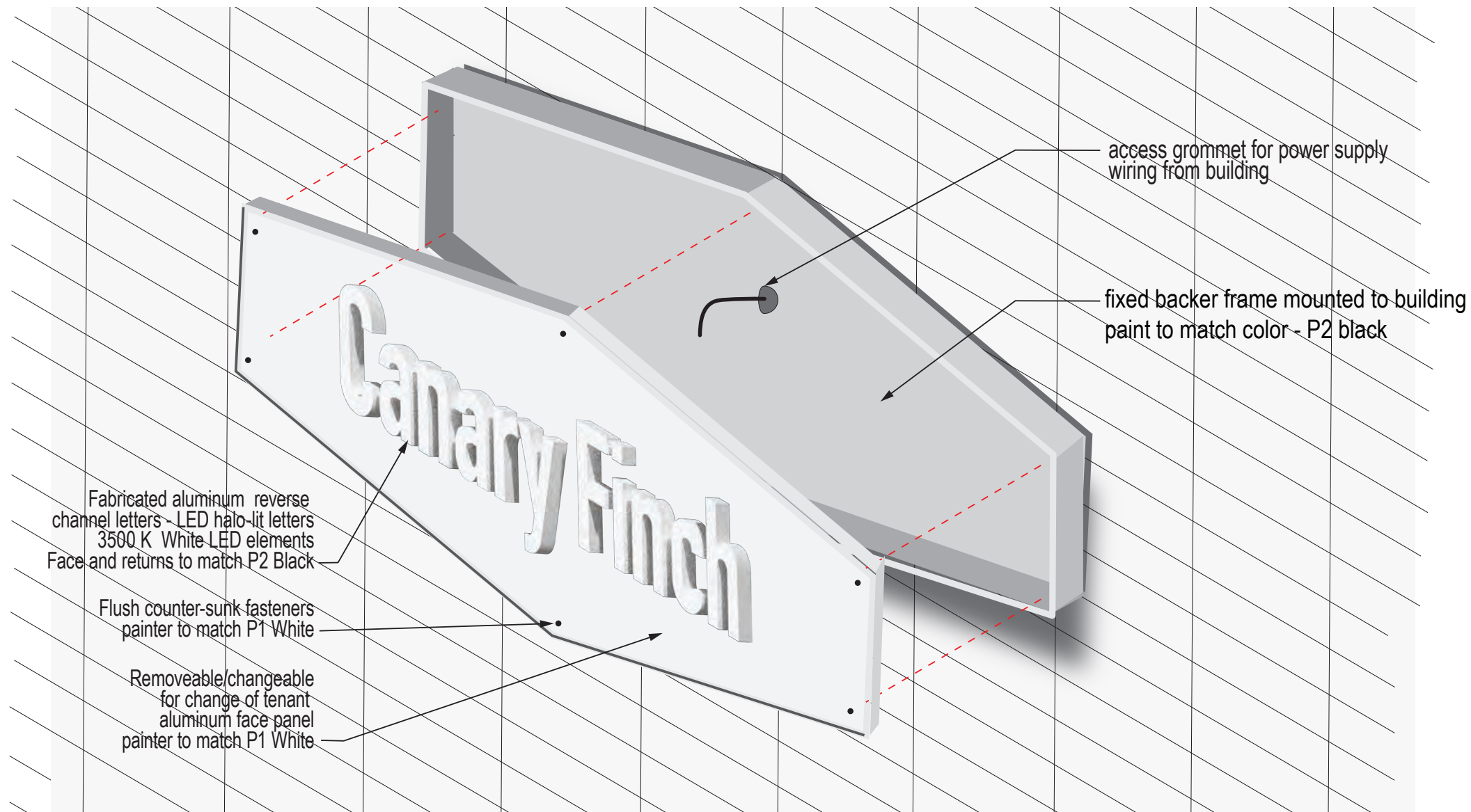
NEW SIGN TYPE - T1 - TENANT ID



STANDARD TENANT PANEL 22.5 SF

VACANT TENANT PANEL

SIDE/SECTION VIEW



Keynotes

1. All sign cabinet fixed frame/back panel to be P2 - Black.
2. All sign cabinet tenant face panel to be P1-White.
3. Tenant name and font TBD. Tenant to coordinate with building owner for approval prior to sign fabrication. Maximum height for tenant name is 12" H.

T1 - Standard Tenant Sign

All tenant name panel shall comply to the following guidelines for tenant name placement. Final tenant name configuration and size to be developed to fit within the overall sign panel specific panel sizes and must be approved by Landlord prior to application for permit and installation.

Panel Height - 12" Sign max.

Panel Width: 9'-3 Sign max.

Copy: Tenant name and logo

Font: Font to be tenant font approved by Landlord. If no font is available then the font shall be DIN Condensed reference at individual sign.

Colors - Copy color to be permitted approved by Landlord. Background color to remain as overall sign color P1 White.

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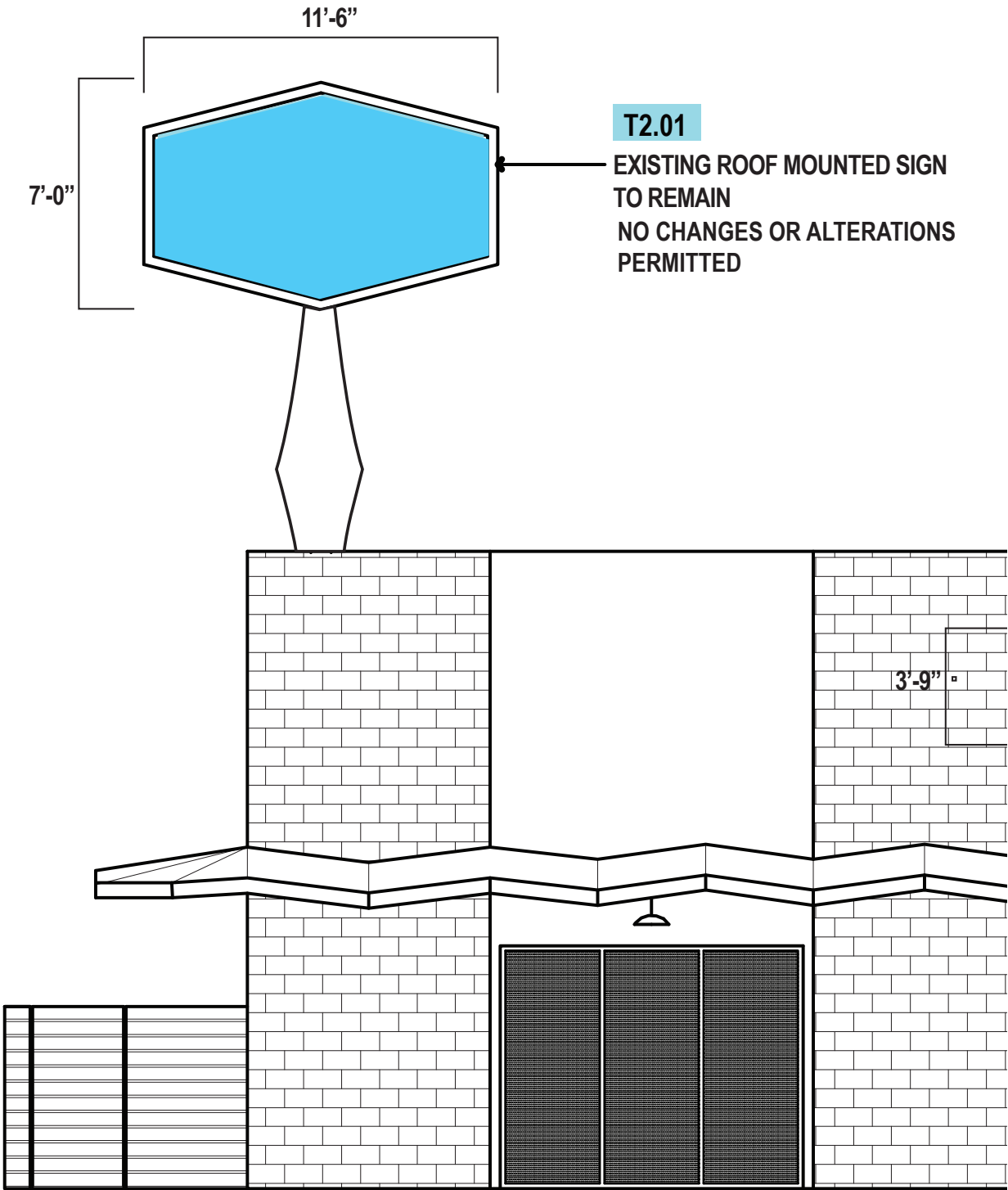
T1 - New Standard
Tenant Sign Detail

SG.21

EXISTING SIGN TYPE – T2 – PROJECT ID



EXISTING CONDITIONS - ROOF SIGN TO REMAIN



BUILDING A - EAST ELEVATION

Keynotes

- 1. Existing Roof Sign T2.01 to remain as is and may not be altered.

General Notes

- A. Sign Contractor to secure final sign off directly from Client on all logo artwork and specific copy before fabrication and installation
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Issue

- 1 04.10.2024 Draft MSP
- 2 06.05.24 Planning Submittal
- 3 09.12.24 Planning response
- 4 12.13.24 Letter Resubmittal
- 5 2.20.25 Letter Resubmittal

NOT FOR
CONSTRUCTION

Sheet Title

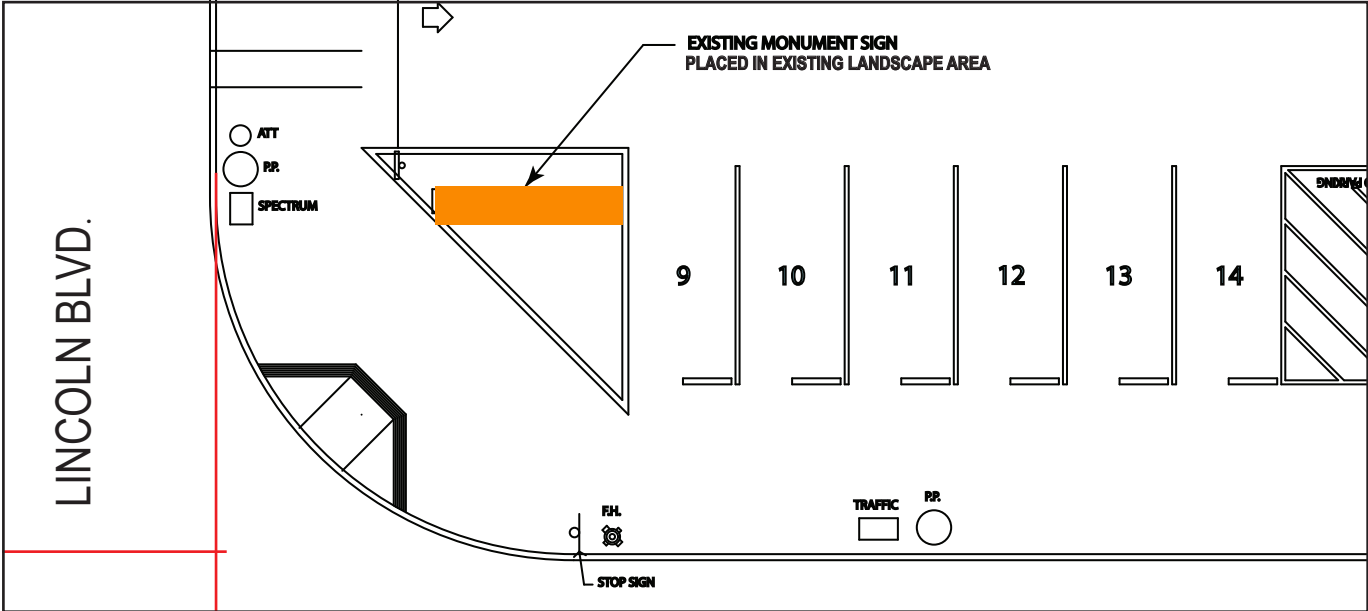
T2 - Existing
Roof Sign

SG.22

EXISTING SIGN TYPE - T3 - PROJECT DIRECTORY



EXISTING CONDITIONS - TENANT DIRECTORY SIGN TO REMAIN



SITE PLAN - EXISTING TENANT DIRECTORY SIGN LOCATION TO REMAIN

8" H. Site Address

Leasing agent sign
10'-0" x 36"

10'-0" x 18"
Max. letter height - 14" H.

10'-0" x 18"
Max. letter height - 14" H.

10'-0" x 24"
Max. letter height - 20" H.

Tenant Signs
10'-0" x 30"
Max. letter height - 26" H.

8'-0" x 24"
Max. letter height - 20" H.

8'-0" x 24"
Max. letter height - 20" H.



Keynotes

- Existing freestanding Tenant Directory sign to remain at location and sign/dimensions.
- Tenant name on directory to be negotiated by Landlord and tenant. Not all tenant names can be included on directory.
- When approved by landlord, the tenant name shall be white acrylic face with V2 Black vinyl letters. Existing metal sign cabinet to remain. Existing internal illumination to remain.
- Modifications to existing monument to be determined at a later date as required by accomodating additional tenants. Sign surround modifications to include uniform shape without visible support poles. Color to be P1 White structure and faces. Tenant names to be masked and painted.

T3 - Standard Tenant Directory Sign
Tenant name panel shall comply to the following guidelines for tenant name placement. Final tenant name configuration and size to be developed to fit within the overall sign panel specific panel sizes based on agreed to panel with Landlord and final copy layout must be approved by owner prior to application for permit and installation.

Panel Height - 18", 24", 30", Sign Area
Panel Width: 60", 10'-0", 8'-0" Sign Area
Copy: Tenant name and logo
Font: Tenant font and information to be approved by Landlord. If no font is available then the font shall be DIN Condensed.
Colors - Copy to be V2 Black letters on V1 White acrylic background - (no color permitted)

General Notes

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Lincoln Plaza

6161 Lincoln
Buena Park, CA

Project Number
01.2024.003

Issue Date
05.13.24

Issue Title
Master Sign Program

Hans C. Krake

1475 Wellington Ave.
Pasadena, CA 91103
USA

626.862.6202

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CONSTRUCTION

Sheet Title
T3 - Existing
Freestanding
Tenant Directory

SG.23

blk dot coffee

Future Tenant

Sign Criteria for Outparcel

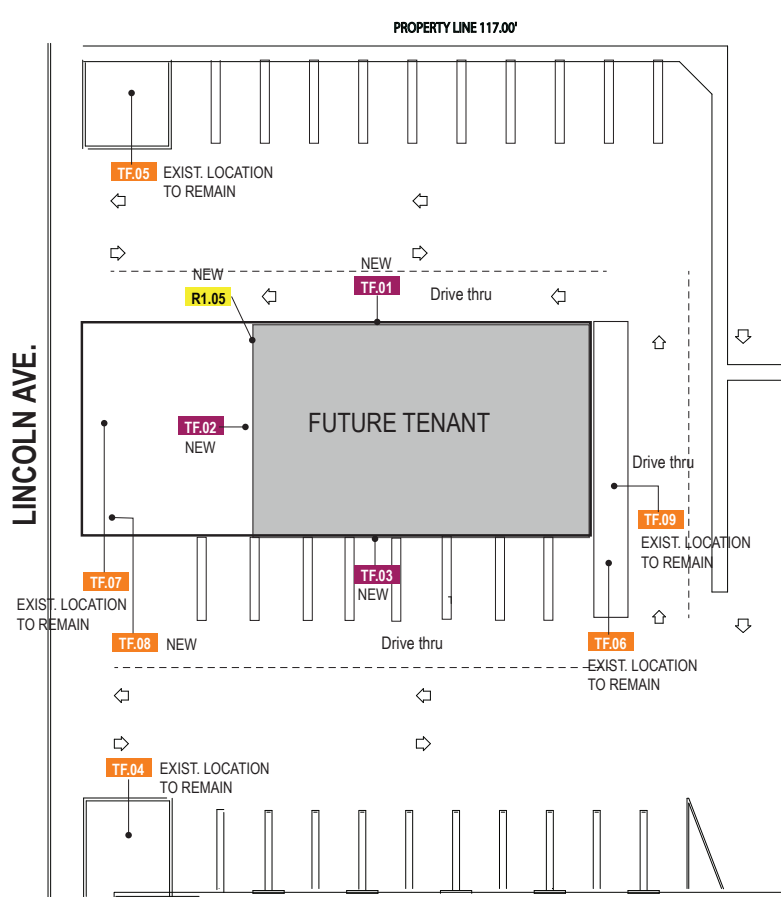
APN 260-021-08

6131 Lincoln Ave.

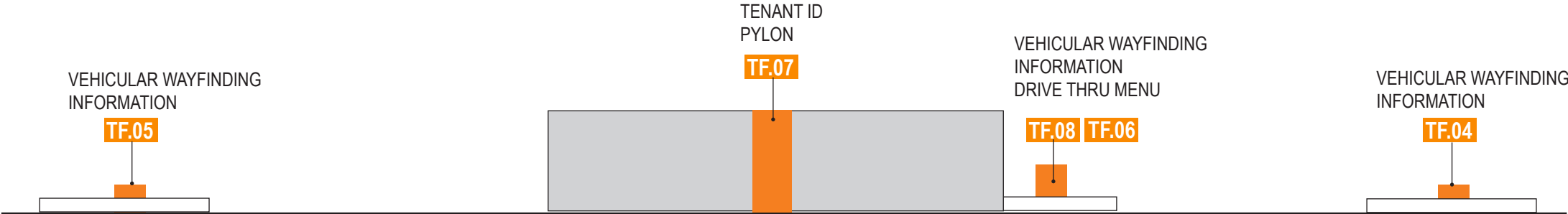
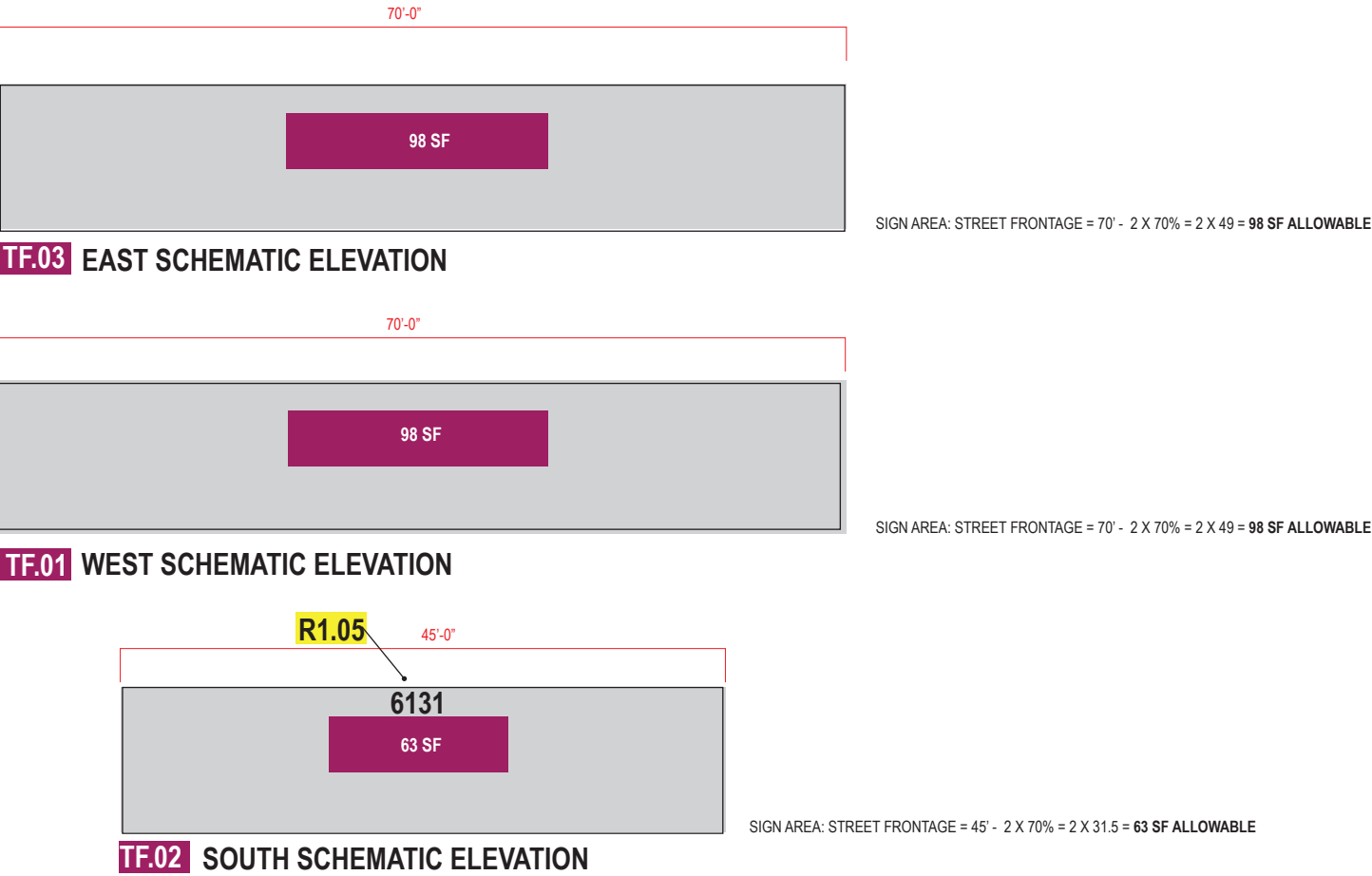
Buena Park, CA 90620

Zoning: CS

FUTURE STAND ALONE TENANT – BLK DOT COFFEE



FUTURE TENANT SCHEMATIC SITE PLAN
See Sheet SG.26 for detail



LINCOLN AVE. STREET SCHEMATIC ELEVATION

Note:
All signs shown are schematic only in sign design.
Final design and sign configuration to comply with all Buena Park code requirements.
Final design to be reviewed and approved by Landlord prior to submittal to city for approval.
New tenant may opt to use existing signage but re-face and repaint signs to match tenant sign guidelines.

Keynotes
1 - **Stand-alone Tenant Sign**
New Stand-alone tenant signage shall be independent of Lincoln Plaza sign program.

New tenant signage shall comply with all Buena Park signage requirements. Sign area per code as shown by elevation notation

Final tenant signage to be developed within the approval by owner prior to application for permit and installation.

Font/Logo: Tenant name with logo as indicated by tenant guidelines. Tenant guidelines to be approved by Landlord prior to application for permit and installation.

Colors - As required by tenant guidelines and to be approved by Landlord - P1 - White, P2 - Black

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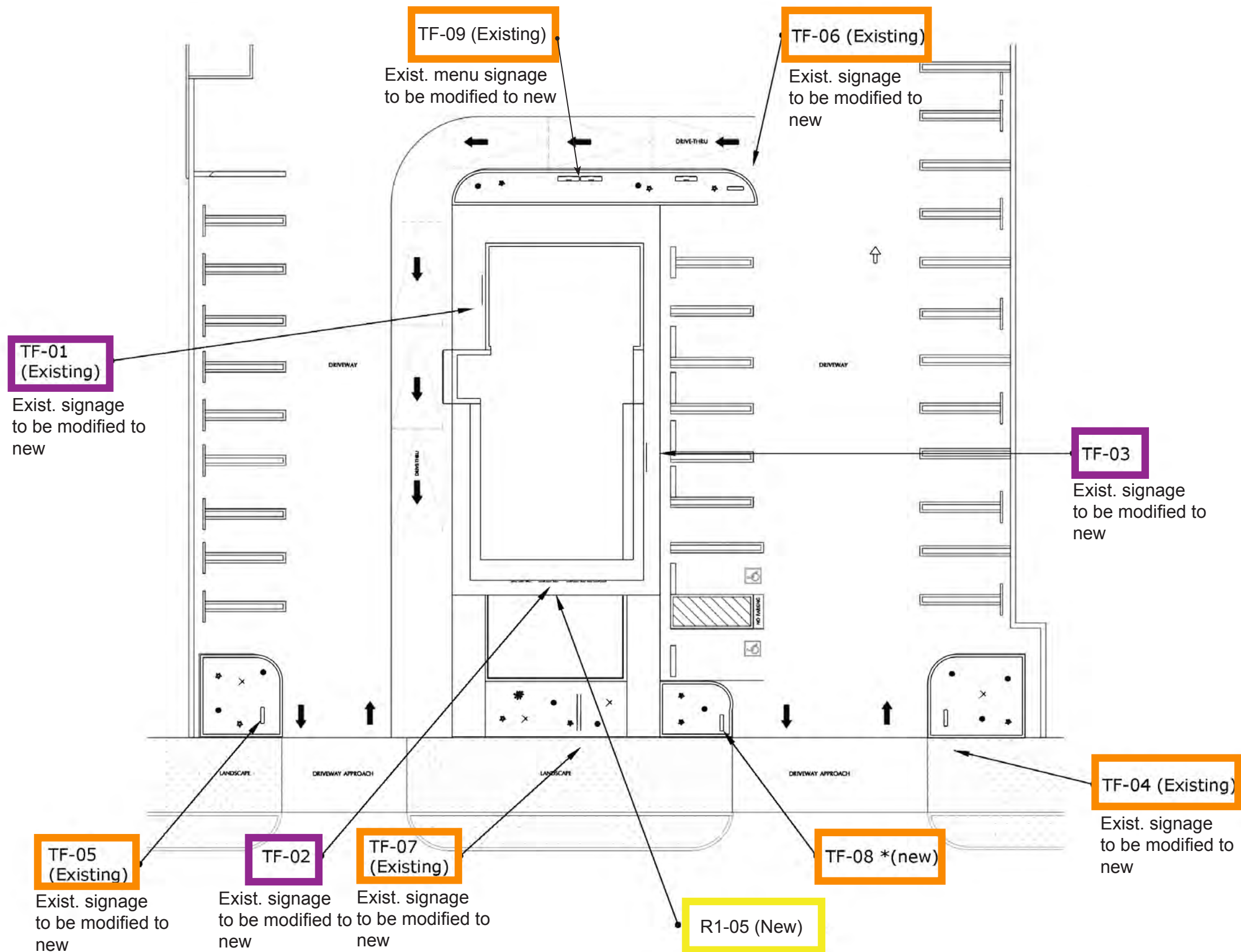
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Sheet Title
New Stand-alone Tenant Signage Schematic Design

SG.25



Keynotes

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Vision Clearance Area. Ground signs may be located within required vision clearance area adjacent to driveways, as defined under Section 19.536.020, provided that the ground sign supports and sign cabinets do not obstruct sight between the heights of 2 feet and 7 feet.

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Sheet Title

Sign Location Plan
Blk Dot Coffee

SG.26



LINCOLN AVE. PERSPECTIVE

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Sheet Title
Front Perspective
Signage
Illustration

SG.27



EAST SIDE PERSPECTIVE

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Keynotes

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Sheet Title

Side Perspective
Signage
Illustration

SG.28



EAST SIDE PERSPECTIVE

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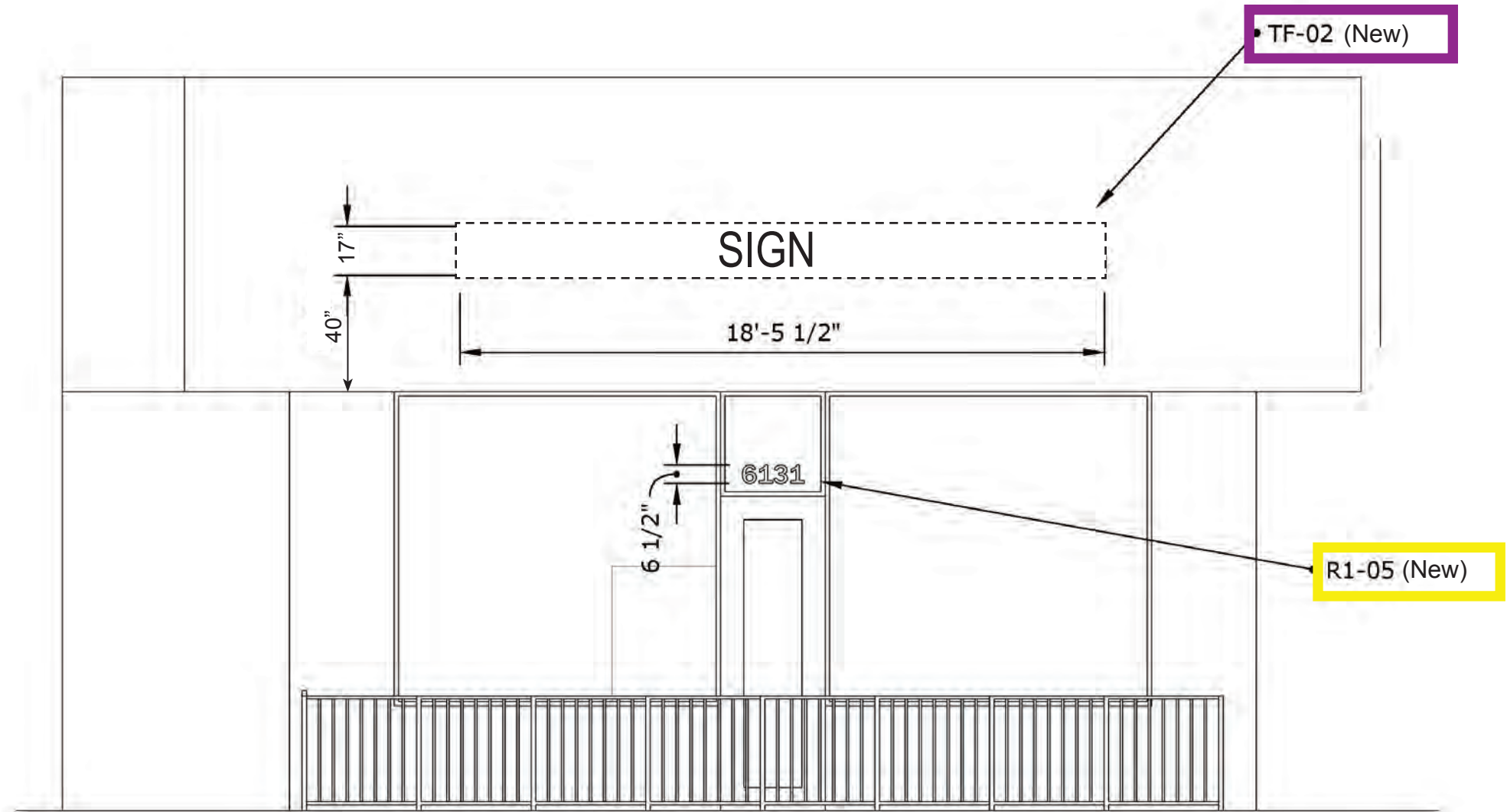
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NOT FOR CONSTRUCTION

Sheet Title
Rear Perspective
Signage
Illustration

SG.29

TF-02 & R1-05



Lincoln Ave. Elevation

TF-02
New fabricated illuminated reverse channel letters. Letters to be 4” deep. No trim cap fabrication. LED 3500 K elements. Face and returns to be painted P1 White. Mount to facade as req’d.

R1-05
New 1/4” thk. flat cut out aluminum numbers. Face and returns painted P1 White. Mount to glass with 3M black tape and silicone. Provide black vinyl backer to second surface of glass.

Keynotes

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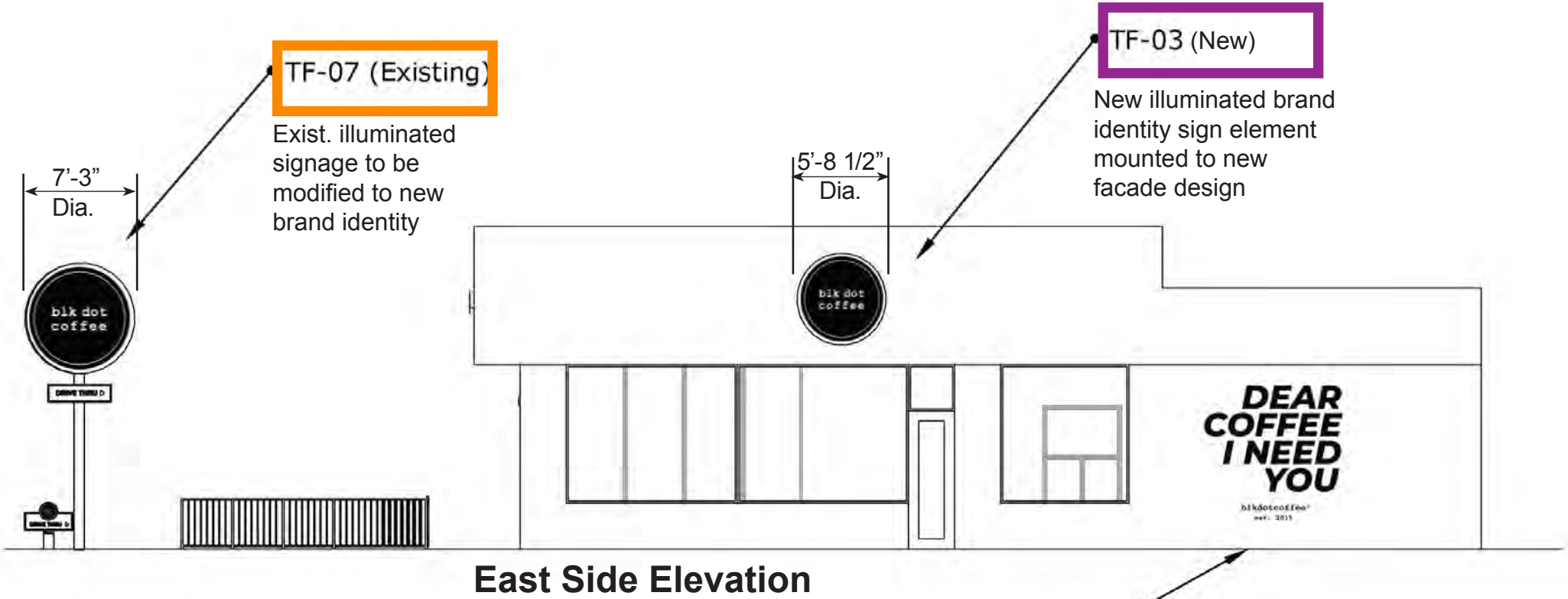
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NOT FOR
CONSTRUCTION

Sheet Title
Front Elevation
Signage location

SG.30



TF-07
New Fabricated illuminated cabinet to replace existing sign cabinet.. Face to be screen painted P2 over acrylic face. Letters and outlined circle to be translucent white P1. Retained existing post to be painted P2. Daytime view is black background with white letters and outlined circle. Nighttime view is white letters and outside circle illuminated. Painted cabinet edge. See Sheet SG.33 for detail

TF-03 - Wall Graphics (New)
Masked and painted graphics applied to wall surface. Painted P1

TF-03
New Fabricated illuminated sign cabinet to be mounted to new facade roof design. Face to be screen painted P2 over acrylic face. Letters and outlined circle to be translucent white P1. Retained existing post to be painted P2. Daytime view is black background with white letters and outline circle. Nighttime view is white letters and outside circle illuminated. Painted cabinet edge.

Keynotes
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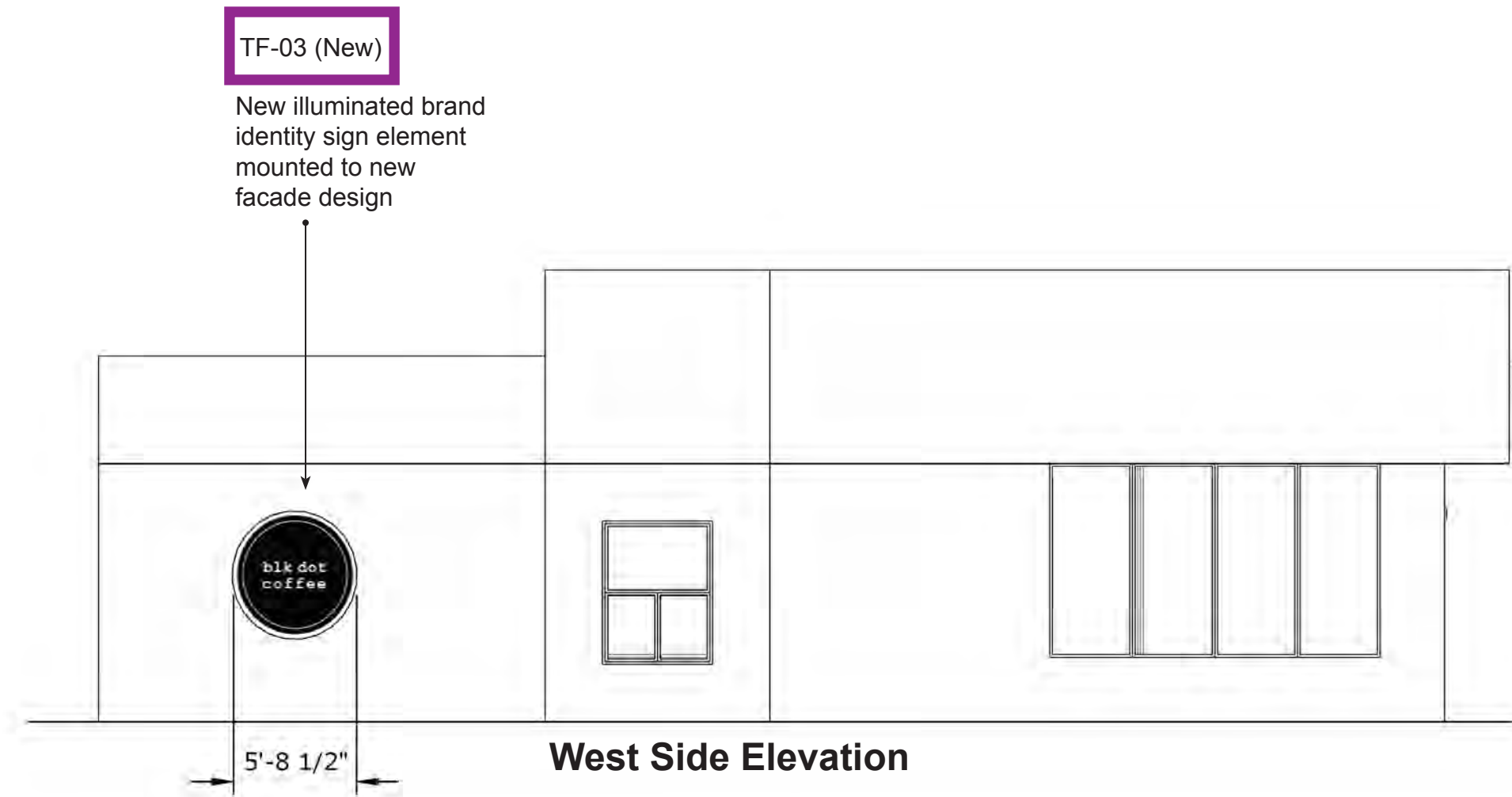
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NOT FOR CONSTRUCTION

Sheet Title
East Side Elevation Signage Location

SG.31



TF-03 (New)

New illuminated brand identity sign element mounted to new facade design

West Side Elevation

TF-03
New Fabricated illuminated sign cabinet to be mounted to new facade roof design.
Face to be screen painted P2 over acrylic face. Letters and outlined circle to be translucent white P1.
Retained existing post to be painted P2.
Daytime view is black background with white letters and outline circle.
Nighttime view is white letters and outside circle illuminated.
Painted cabinet edge.

Keynotes

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- D. Krake shall provide one (1) layout template for an evacuation map layout if required (full-size or scaled, depending on the overall dimensions of the sign). Sign Contractor shall produce and submit of all fire safety related signage for review, location confirmation and approval by Fire Marshall prior to fabrication.
- E. Sign Contractor to field verify all dimensions, survey walls for the exact locations of any obstructions, and submit updated elevation layouts as needed for review by Krake prior to fabrication.
- F. Sign Contractor shall verify feasibility of all specified products, including software, and follow the manufacturer's recommendations for each application. Should an alternative be required or desired, submit the full specs to Krake for review prior to fabrication.

Lincoln Plaza

6161 Lincoln
Buena Park, CA

Project Number
01.2024.003

Issue Date
05.13.24

Issue Title
Master Sign Program

Hans C. Krake

1475 Wellington Ave.
Pasadena, CA 91103
USA

626.862.6202

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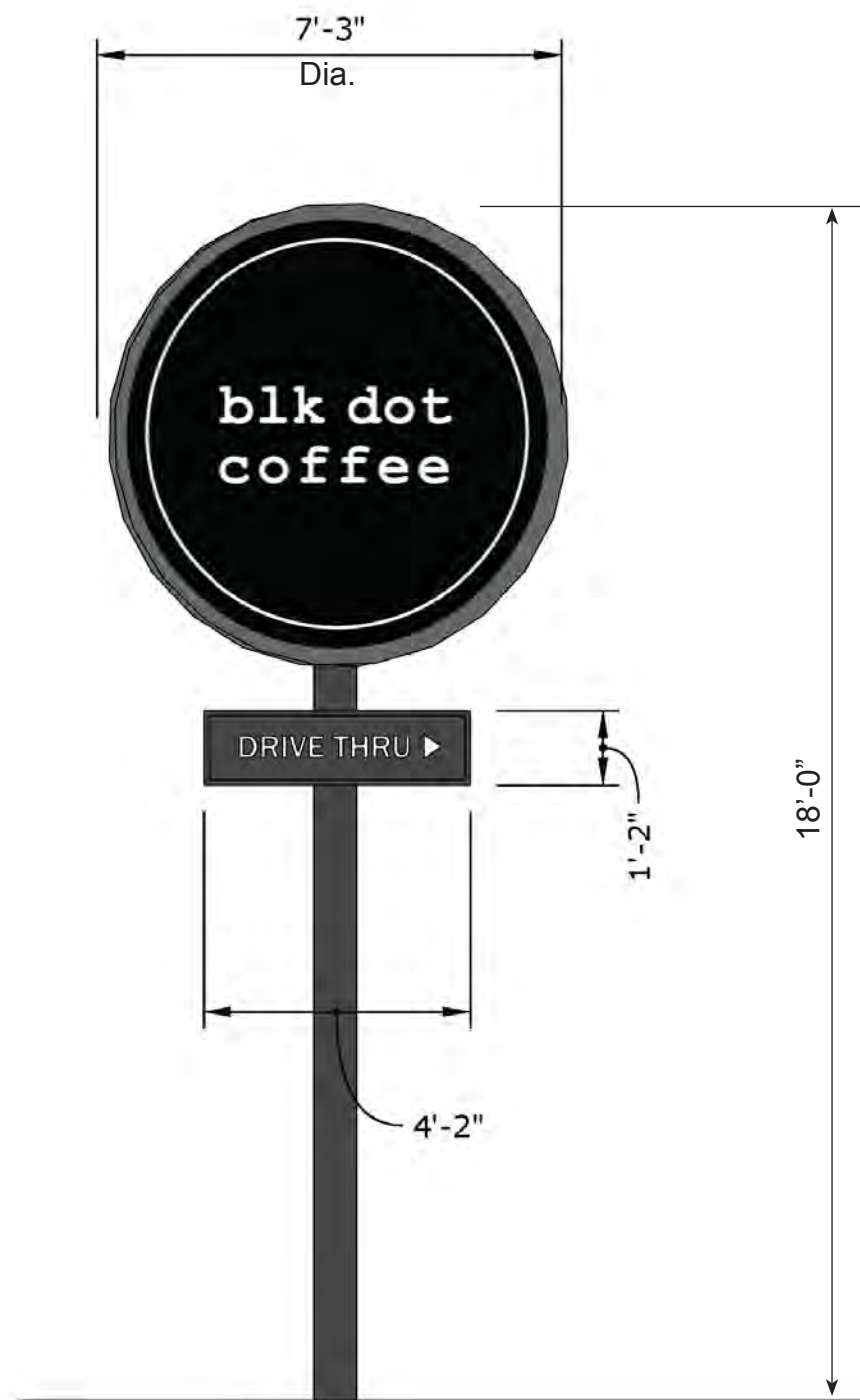
Issue

- 1 04.10.2024 Draft MSP
- 2 06.05.24 Planning Submittal
- 3 09.12.24 Planning response
- 5 2.20.25 Letter Resubmittal

NOT FOR CONSTRUCTION

Sheet Title
West Side
Elevation
Signage Location

SG.32



Ground Mounted Pole Sign Elevation

TF-07

Exist. illuminated signage to be modified to new brand identity

TF-07
New Fabricated illuminated cabinet to replace existing sign cabinet.. Face to be screen painted P2 over acrylic face. Letters and outlined circle to be translucent white P1. Retained existing post to be painted P2.
Daytime view is black background with white letters and outlined circle. Nighttime view is white letters and outside circle illuminated. Painted cabinet edge.

Framework or poles shall be wrapped with masonry, wood, or metal to be compatible with the buildings on the site. Any add-on modules shall be confined to within the existing framework.
The property address shall appear in minimum 8-inch high letters on all ground signs, to be visible for the public and emergency vehicles.

Keynotes
1 - Stand-alone Tenant Sign
New Stand-alone tenant signage shall be independent of Lincoln Plaza sign program.

New tenant signage shall comply with all Buena Park signage requirements. Sign area per code as shown by elevation notation within compliance with BPMC Section 19.912.020.

Final tenant signage to be developed within the approval by owner prior to application for permit and installation.

Font/Logo: Tenant name with logo as indicated by tenant guidelines. Tenant guidelines to be approved by Landlord prior to application for permit and installation.

Colors - As required by tenant guidelines and to be approved by Landlord - P1 - White, P2 - Black

- General Notes**
- A. Sign Contractor to secure final sign off directly from Client on all logo artwork and specific copy before fabrication and installation
 - B. Sign Contractor shall coordinate with G.C. for all structural support and blocking for signs as required in a timely manner per construction schedule.
 - C. Krake shall provide one (1) layout template per sign type (full-size or scaled, depending on the overall dimensions of the sign). Sign Contractor shall produce and submit every sign layout with the final copy (approved by Client) for review by Krake prior to fabrication.
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NOT FOR CONSTRUCTION

Sheet Title
Ground Mounted Pole sign Elevation

SG.33

Lincoln Plaza

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Buena Park, CA

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| 3 | 09.12.24 Planning response |
| 5 | 2.20.25 Letter Resubmittal |

NOT FOR
CONSTRUCTION

Sheet Title
Ground Mounted
Directional
and Menu Sign
Elevations
SG.34

Keynotes

1 - Stand-alone Tenant Sign

New Stand-alone tenant signage shall be independent of Lincoln Plaza sign program.

New tenant signage shall comply with all Buena Park signage requirements. Sign area per code as shown by elevation notation within compliance with BPMC Section 19.912.020.

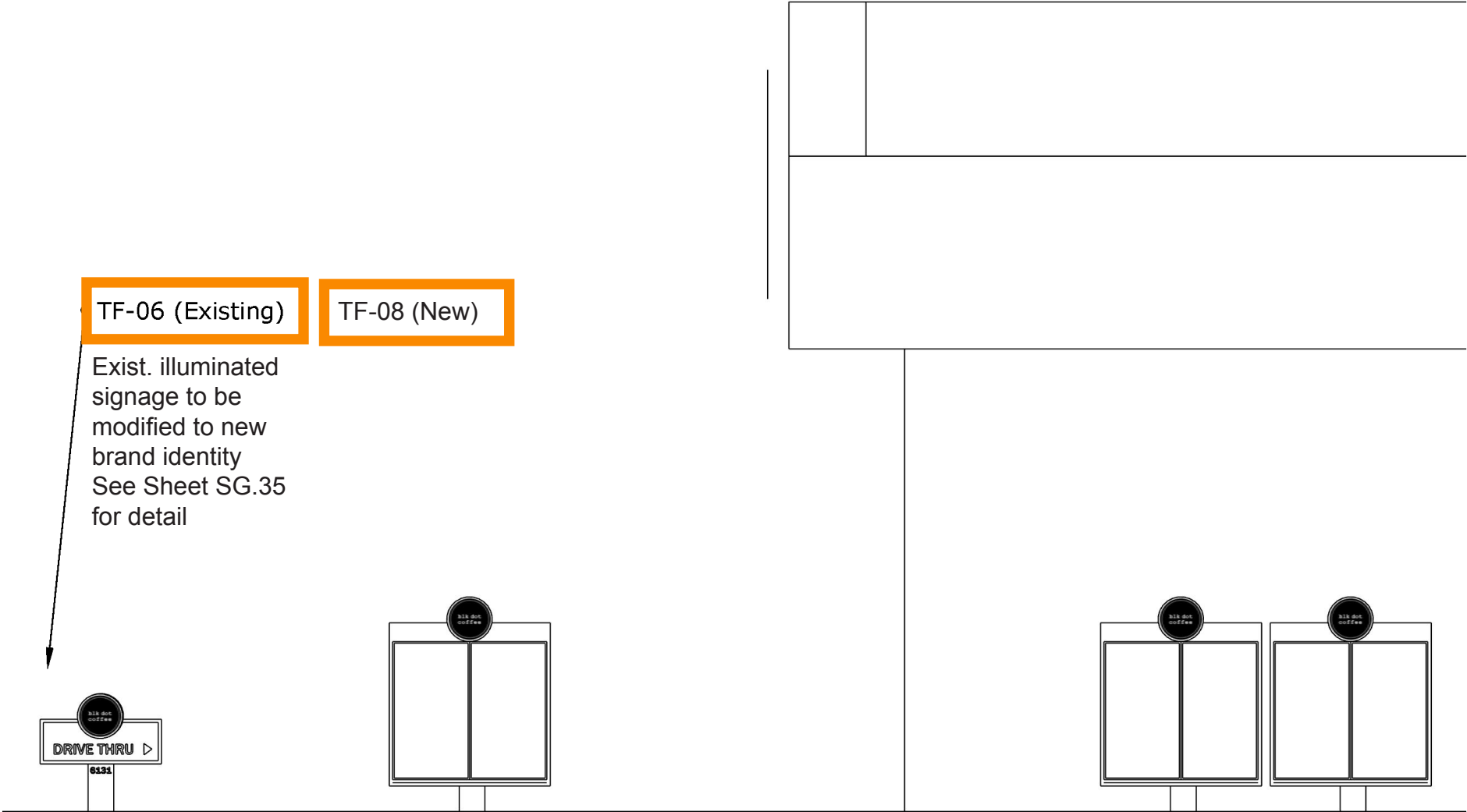
Final tenant signage to be developed within the approval by owner prior to application for permit and installation.

Font/Logo: Tenant name with logo as indicated by tenant guidelines. Tenant guidelines to be approved by Landlord prior to application for permit and installation.

Colors - As required by tenant guidelines and to be approved by Landlord - P1 - White, P2 - Black

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TF-06 (Existing)

TF-08 (New)

Exist. illuminated signage to be modified to new brand identity
See Sheet SG.35 for detail

TF-09 DRIVE THRU MENU

Exist. illuminated signage to be modified to new brand identity.
See Sheet SG.36 for detail

TF-09 DRIVE THRU MENU

Exist. illuminated signage to be modified to new brand identity.
See Sheet SG.36 for detail

Directional Signs. Signs, for purposes of identifying entrances to and exits from an establishment, or giving other directional or warning information to pedestrian or vehicular traffic, shall be subject to the following limitations:

1. Free-standing signs shall be not more than 8 feet in height.

Height and location of directional signs attached to a building shall be subject to the approval of the Director.

2. Each sign face area shall be not more than 4 square feet, unless a larger sign is approved by the Director for safety and traffic control purposes

3. No other type of information shall be included except each entrance sign may contain, within not more than 25 percent of the sign face area, a logo or other identification of the establishment served.



Directional Ground Sign Elevation

TF-04

TF-05

TF-06

TF-07

TF-08 * new

TF-04, TF-05, TF-06,TF-07, TF-08
New Fabricated illuminated sign cabinet to be ground mounted to existing locations.
Face to be screen painted P2 over acrylic face. Letters and outlined circle to be translucent white P1.
Retained existing post to be painted P2.
Daytime view is black background with white letters and outline circle. Nighttime view is white letters and outside circle illuminated.
Painted cabinet edge.

Keynotes

1 - **Stand-alone Tenant Sign**
New Stand-alone tenant signage shall be independent of Lincoln Plaza sign program.

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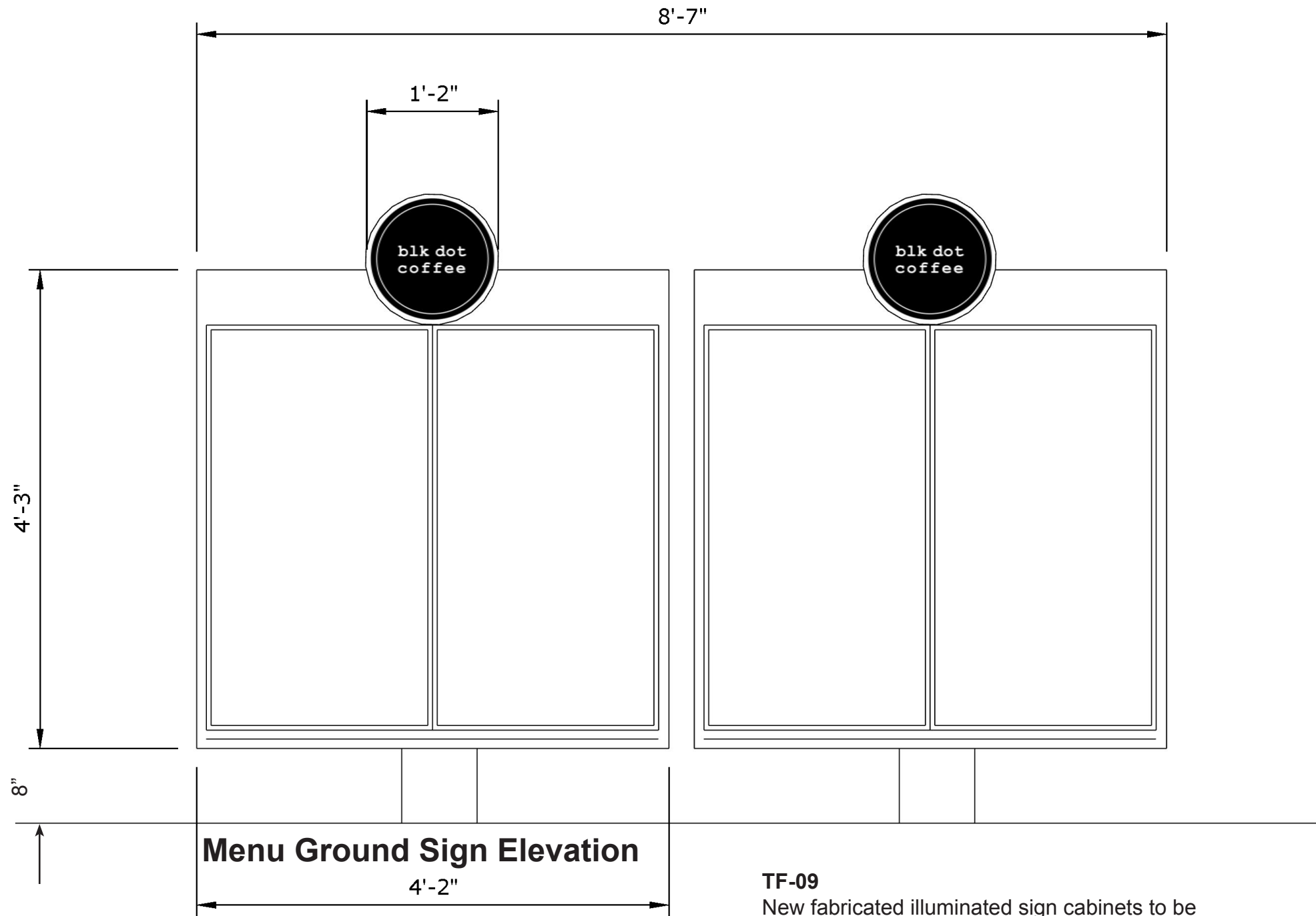
NOT FOR
CONSTRUCTION

Sheet Title
Directional Sign
Elevation

SG.35

TG-09

PROPOSED DRIVE THRU MENUS



TF-09
New fabricated illuminated sign cabinets to be mounted to existing ground mounted menu board location.
Illuminated cabinet to be painted P2.
w/changeable duratrans menus with clear glass shield w/locks
Brand Identity Logo to be screen printed on cabinet face.

Keynotes

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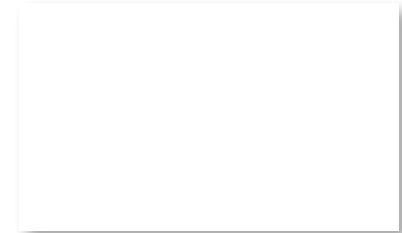
Sheet Title
Directional
and Menu Sign
Elevations

SG.36

Specifications

COLORS & MATERIALS

PAINT



P1

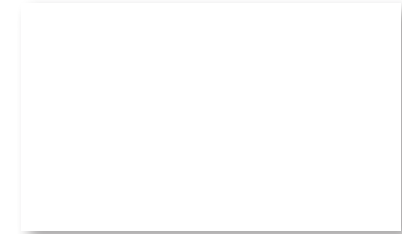
Manufacturer	DUNN EDWARDS
Model Number	DEW383
Model Name	
Color	COLD DECEMBER
Finish	Matte
Location	
Notes	Sample required for approval



P2

Manufacturer	DUNN EDWARDS
Model Number	DEW002
Model Name	
Color	BLACK
Finish	Matte
Location	
Notes	Sample required for approval

MATERIALS



V1

Manufacturer	3M
Model Number	SCOTCHCAL
Model Name	
Color	MATTE WHITE 20
Finish	
Location	
Notes	Sample required for approval



V2

Manufacturer	3M
Model Number	SCOTCHCAL
Model Name	
Color	MATTE BLACK 22
Finish	
Location	
Notes	Sample required for approval

GENERAL SPECIFICATIONS

GENERAL CITY SUBMITTAL REQUIREMENTS

Project submittal to include a city zoning review and sign permit application process section pursuant to Section 19.904.070 (Zoning review and Permits) of the BPMC. The sign permit application submittal requirements shall include:

- A. Completed Building Division permit application.
- B. Sign lighting energy form.
- C. Three (3) sets of the sign plans
- D. Property owner authorization

Before submitting to the city, the Landlord must approve the following:

- A. Dimensioned Site Plan showing the proposed sign locations and leaseholds widths.
- B. Scaled elevation drawings showing the proposed locations, height to finish grade, sign dimensions, and placement on the wall.
- C. Sign construction details illustrating finish & colors, logo & letter sizes, electrical details, and methods of attachment.

Provide information related to the appearance, illumination, maintenance, obsolete, and temporary signs section pursuant to Section 19.904.030 (General Requirements) of the BPMC.

- 1. All new signage shall comply with the sign program approved under this application. Color and font style exceptions can be made for any business with a registered trademark.
- 2. All signs shall conform to this sign plan and City Zoning code, including Buena Park Municipal Code (BPMC) Chapter 19.904 General Sign Provisions. All signs shall require Planning Division review and approval via a Sign Permit prior to installation.
- 3. Any/all signs which require a raceway shall not be allowed to utilize an exposed raceway.
- 4. All lighting and illuminated signs shall be designed to prevent glare upon streets, walkways, and surrounding properties.

Appearance: All new tenant signage mounted shall be mounted to face of building in a consistent manner as all other tenant signs. All tenant building mounted signs shall be the same size as indicated in this program and mounted a consistent location from datum dimension from top of building. All new tenant signs located at the ground mounted directory signage shall be produced in the same finish as the other tenant signage. All building mounted tenant signs to have removable/changeable face panels for tenant changes. Sign plaque frame to be permanently mounted to building facade with backing panel. Reverse channel letters shall be used for the text of the tenant suite. Logos can be used. All panel frames to be painted P2 black. All panel faces shall be P1 White. Reverse channel letters shall be painted P2 Black.

Materiality: Materials and fabrication techniques for all signage will be of the highest quality to assure durability and aesthetic benefit. Longevity of these signs will be of highest priority. Signs will complement the architectural materials of the building, while contrasting sufficiently to engage their audience. The primary building tenant will be quieter, conforming more closely with the building materials.

Function: The primary building tenant signage is intended to promote their presence.

Scale: In all cases, appropriate legibility will be critical. The scale of all signage shall be sensitive to neighboring businesses and residences.

Illumination: All tenant signs to use LED elements for tenant building mounted sign and freestanding directory sign for even illumination. All LED are to be 3500 K cool white elements.

Maintenance: All signs shall be maintained in good working condition. Any non-function signage shall be repaired to good working order. Peeling paint shall be cleaned and repainted. All non-functioning lighting shall repaired and made functional as first installed.

Obsolete Signs: Any signage that reflects a tenant that has left shall have a blank panel applied in place of the previous tenant. This shall apply to all building mounted signs as well as tenant directory signs.

Temporary signs: Any temporary signs shall be made according to Buena Park standards. Temporary signs shall be of quality vinyl material or similar. Not paper sign will be permitted. Duration of temporary signage shall be accordance with Buena Park timelines.

Keynotes

- 1. Existing building colors to remain.
- 2. Sign cabinet frames to be P2 Black.. Sign cabinet background sign panel to be P1 White.
- 3. Colors noted are to be used or can be similar/comparable if approved by Landlord.
- 4. Tenant letter font and color shall be reviewed and approved by Landlord prior to submittal.

General Notes

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NOT FOR CONSTRUCTION

Sheet Title
Color/Materials

SG.38

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including Special Conditions, apply to this Section.

A.1.2 SUMMARY OF WORK INCLUDED

- A. Approval of all signs from Landlord and City of Buena Park must be obtained prior to the fabrication of any sign. Sign Contractor shall be responsible for securing all sign permits, including payment of fees, required by the City for the installation of all exterior and interior signage for the Project.
- B. **Sign Fabrication:** Types of signs, messages, and graphics are indicated on the Drawings and herein, and require various materials, finishes, illumination and fabrication and installation techniques.
- C. Shop drawings, layouts, samples, and mock-ups for Owner/ approval.
- D. Structural design and calculations for all signage to confirm structural integrity of the designed support, including internal framework and footings. All structural connections will require certification by a structural engineer licensed in the State of California.
- E. Installation of all fabricated signs, including all fasteners and fastenings and related electrical and data connections.
- F. Coordination with all trades of this Contract required for the fabrication and installation of the signage, including the approvals by the Owner required in this Section. Fabrication and installation of the Work in accordance with National Electrical Code (NEC); latest edition, Underwriters Laboratory (UL); latest edition, National Fire Protection Agency (NFPA); latest edition and National Electrical Manufacturers Association Standards.
- G. Coordination and verification of all messages with the Owner. Sign Contractor to complete sign message schedule for submission and approval by the Owner prior to fabrication and installation of each sign for the Project.
- H. Verification of all conditions and sign dimensions in the field. Sign Contractor to coordinate all signage requirements with the Owner to ensure that all proposed signs can be installed, with power and required data connections and structurally supported. Verification of conditions and sign dimensions to be completed prior to sign fabrication and approval of all required submittals.

1.3 DESIGN CRITERIA

- A. **Structural Engineering:** Details on the Drawings indicate a design approach for sign fabrication but do not include all fabricating details required for the complete structural integrity of the signs, including consideration for static, dynamic, and erection loads during handling, erecting, and service at the installed locations, nor do they necessarily consider the preferred shop practices of the individual sign contractors. Therefore, it shall be the responsibility of the awarded Sign Contractor to perform the complete structural design of the signs, including, but not limited to, internal framework and footings, to meet or exceed the local building codes and to incorporate all the reasonable safety factors necessary to protect the Owner and their representatives, including the Designer, against public liability. Designs which survive rational engineering analysis will be acceptable, provided that shop drawings,

including structural design, are approved by the Owner. Signs must meet all applicable local, state, and national codes, as well as testing laboratory listings where required. Connection details and structural calculations to be verified by the structural engineer prior to any fabrication. Sign Contractor to coordinate with the Owner on all footings, structural attachments, and penetrations of slabs as required.

- B. **Shop Drawings:** Sign Contractor is expected to provide all details necessary to effectively explain and specify the fabrication process and the expected performance of the installed product. Sign Contractor must demonstrate through details and specifications their complete understanding of the desired final products and the method/process by which they are producing said products. Sign Contractor is responsible to field measure prior to submitting Shop Drawings. Repackaging the supplied Drawings with new title blocks and delivering as submittals will not be accepted. Although art may be supplied electronically, Sign Contractors must be prepared to create all graphic content from scratch – per instance as requested - to demonstrate and verify the quality and accuracy of the delivered products.
- C. **Description:** Provide Shop Drawings for all items including, but not limited to, the following:
 - 1. Complete fabrication and installation for each sign type as shown on the Drawings. Indicate dimensions, materials, finishes, fastening, anchorage, joining, sealing, backing, utility requirements, rough-ins, and adjacent related site conditions.
 - 2. Each sign type with all graphic elements.
 - 3. All letter styles shall be accurately reproduced.
 - 4. Connections and routing for all power and data cabling.

1.4 SUBMITTALS

- A. **Procedure:** Contractor/fabricator to prepare submittals in accordance with the requirements of the Special Conditions, and to include the following:
 - 1. Notes on the Drawings shall clearly define any actions requiring review by the Owner.
 - 2. First article of production-run items, both large and small, will be reviewed by the Owner before production run is commenced.
 - 3. It shall be the responsibility of the Sign Contractor to follow city procedure for City approval, and that City approval is required.
- B. Submit physical samples of sufficient size and quantity to illustrate materials, finishes, equipment or workmanship, and to establish standards by which completed work will be judged. Samples must represent the functional characteristics of the product or material, with integrally related parts and attachment devices, colors, and finishes.
- C. All samples to have a place for stamp owner’s approval.
- D. **Required samples for review**
 - 1. 6” x 6” set of all specified paint colors and finishes.
 - 2. Complete, full-size message in each typeface to demonstrate proper spacing (black text on white background: outline not accepted).
 - 3. Sample of each type of fastener to be used.
 - 4. Each type of exposed metal and acrylic used for major

elements of work with respective finish.

- 5. Each type of adhesive vinyl film, including computer-cut designs, shown full-size on each of the specified colors.
- 6. Other items as may be required by the Owner, or as noted on the Drawings or herein.
- E. **Extra Materials / Spares:** Deliver to the Owner the following, in manufacturer’s original packaging and store at the Project as directed:
 - 1. Furnish (1) gallon of each finish paint color for touch-up purposes.
- F. **Supplementary Product Literature:** Submit for information. Furnish within seven (7) days of request, manufacturer’s literature describing the general properties of each product to be used in the Work.

1.5 QUALITY ASSURANCE

- A. **Mock-ups and Prototypes**
 - 1. Provide a full-size mock-up of:
 - a. **TF-01 (tenant plaque)**
 - b. **TF-03 (blk dot logo)**
 - 2. Utilize the same materials and installation methods as intended for the final Work. Schedule the installation so that the mock-up may be examined, and any necessary adjustments made, prior to commencing fabrication of the final Work. Replace unsatisfactory items as directed.
 - 3. When accepted, mock-up shall serve as the standard for materials, workmanship, and appearance for the Work throughout the project. They may be used as a final product if approved by the Owner.

B. Work-In-Progress Approvals

Provide work-in-progress sign elements for reviews. Scheduled or unscheduled viewings at the Fabrication Facility may be initiated by the Owner’s Representative as deemed necessary to ensure continued quality control. Unsatisfactory items are to be corrected by the Sign Contractor as directed by the Owner.

C. Regulatory Requirements

Comply with applicable requirements of the Applicable Laws and Authorities. Obtain necessary approvals and permits from all such Authorities as required.

D. Markings and Labels

Locate markings, labels, manufacturer names and other identifications so as to be concealed from the public view with the exception of illuminated signs. No trade name or other identification shall appear on any item where it will be seen by the public except as specifically approved by the Owner in advance.

E. Final Location of Signs

The locations of signs as shown on the Location Plans are for general reference only. Sign Contractor shall arrange for meetings with the Owner at the Project site for verification and confirmation of final locations according to Project Construction Schedule.

F. Lettering

- 1. The Sign Contractor shall be responsible for the quality control of all lettering. All letterforms shall be crisp, sharp, free of nicks, ragged edges and discontinuous

curves. All lettering shall conform to approved typeface, weight and letter spacing. No substitutions of typeface foundry, brand or version or implementation technique will be accepted without prior approval. No trim cap is allowed for channel letters.

- 2. **Vinyl Graphics:** All artwork shall be derived from electronic computer artwork for cutting on a Gerber Sign Maker II or approved equal.
- 3. All cutting, routing, and painting shall be executed in such a manner that all edges and corners of finished letterforms are true and clean. Letterforms with rounded positive or negative corners, nicked, cut, or ragged edges, etc., will not be accepted. All letterforms shall be so aligned as to maintain a baseline parallel to the sign format. Margins must be maintained as specified on the Drawings.
- 2. Sign Contractor shall be responsible for providing up-to-date drawings, specifications, graphic schedule, etc., to all Sub-Contractors.

H. Dimensions and Discrepancies

- 1. Sign Contractor shall verify and be responsible for all dimensions and conditions shown on the Drawings. Shop details must be approved by the Owner’s Representative prior to fabrication.
- 2. Sign Contractor shall notify the Owner’s Representative of any discrepancies on the Drawings (including discrepancies between written dimensions and scaled dimensions), Sign Location Plan or Sign Message Schedule, in field dimensions or conditions and/ or changes required in construction details, prior to fabrication and installation.

I. Regulatory Requirements

Comply with applicable portions in the latest version of ADAAG.

J. References

- 3. Americans with Disabilities Act Accessibility Guidelines (ADAAG) - ADA Accessibility Guidelines
- 4. International Building Code (IBC) 2016
- 5. Occupational Safety and Health Administration (OSHA)
- 6. National Association of Architectural Metal Manufacturers (NAAMM) - Metal Finishes Manual
- 7. American Welding Society (AWS) D1.1 & D1.2 - American Welding Society
- 8. Underwriters Laboratories Inc. (UL) – Standards for Safety, UL Publication 48 “Electric Signs.”

1.6 WARRANTY

A. Signage Warranty

Submit to the Owner a 3-year written warranty (effective

Lincoln Plaza

6161 Lincoln Buena Park, CA

Project Number
01.2024.003
Issue Date
05.13.24
Issue Title
Master Sign Program

Hans C. Krake

1475 Wellington Ave. Pasadena, CA 91103 USA

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the date of final acceptance) covering all Signs, notarized by Sign Contractor and Installer (if Sub-contractor is used), agreeing to repair or replace any defective signs. Upon notification of such defective signs within the warranty period, make necessary repairs or replacement at the convenience of the Owner at no additional cost.

B. Linear Polyurethane Paint Factory Finish Warranty

Submit to the Owner’s Representative the manufacturer’s warranty, warranting that the factory-applied linear polyurethane finishes will not develop excessive fading or excessive non uniformity of color or shade, and will not crack, peel, pit, corrode or otherwise fail as a result of defects in materials or workmanship within the following defined limits. Upon notification of such defects within the Warranty Period, make necessary repairs or replacement at the convenience of the Owner at no additional cost.

C. Excessive Fading

A change in appearance which is perceptible and objectionable as determined when visually compared with the original color range standards.

D. “Excessive Non-Uniformity”

Non-uniform fading to the extent that adjacent panels have a color difference greater than the original acceptable range of color.

E. “Will Not Pit or Otherwise Corrode”

No pitting or other type of corrosion, discernible from a distance of 10’ (3 m), resulting from the natural elements in the atmosphere at the project site.

1.7 MAINTENANCE

A. Maintenance and Operating Manuals

1. Submit four (4) copies of Maintenance and Operating Manuals to the Owner and (1) copy to the Designer.
2. Furnish complete manuals describing the materials, devices and procedures to be followed in operating, cleaning and maintaining the Work. Include manufacturers’ brochures and parts lists describing the actual materials used in the Work, including metal alloys, finishes, electrical components and other major components.
3. Assemble manuals for component parts into single binders, identified for each system.

B. Instruction

1. Prior to acceptance, establish with Owner’s Representative an instruction and training program for Owner’s Representative’s personnel if requested, at no additional cost.
2. Notify the Owner’s Representative in writing at least 7 days prior to commencement of the program providing an outline of topics indexed to the Maintenance and Operating Manual.
3. Provide a trained instructor for a training, covering the procedures to be followed in the normal day-to-day maintenance and operation of the Work if requested at no additional cost.

PART 2 - PRODUCTS

2.1 FABRICATION

- A.** Signage shall be complete for proper installation as described on the Drawings.
- B.** Finished Work shall be firm, well-anchored, in true alignment, properly-squared, with smooth clean uniform appearance, without holes, cracks, discoloration, distortion, stains, or marks.
- C.** Construct all Work to eliminate burrs, dents, cutting edges, and sharp corners.
- D.** Finish welds on exposed surfaces to be imperceptible in the finished Work.
- E.** Except as indicated or directed otherwise, finish all surfaces smooth.
- F.** Surfaces, which are intended to be flat, shall be without dents, bulges, oil-canning, gaps, or other physical deformities.
- G.** Surfaces, which are intended to be curved, shall be smoothly free-flowing to required shapes.
- H.** Except where approved by the Owner, conceal all fasteners.
- I.** Make access panels tight-fitting, light-proof, waterproof and flush with adjacent surfaces.
- J.** Conceal all identification labels and Underwriters Limited labels to conform to Underwriters Limited Codes.
- K.** Carefully follow manufacturer’s recommended fabricating procedures regarding expansion or contraction, fastening, and restraining of acrylic plastic.
- L.** Exercise care to ensure that painted, polished, and plated surfaces are unblemished in the finished work.
- M.** Isolate dissimilar materials. Exercise particular care to isolate nonferrous metals from ferrous metals.
- N.** All illumination shall be even and without hot or dark spots.
- O.** Ease all exposed metal edges.
- P.** Provide miscellaneous metal items required for completion of the Work even though not shown or specified.
- Q.** Refer to the Drawings for sign color specifications.
- R.** Paint finishes shall be Matthews Acrylic Polyurethane with Matthews Primers and Metal Pre-Treatments, or approved equal by the Owner.
- S.** Shop painting to be uniform on and around all sign elements to ensure sign elements will withstand all weather conditions.
- T.** Mounting plates shall be in conformance with manufacturer’s written recommendations.

2.2 MATERIALS

A. All Specified Metals

1. **Aluminum:** Aluminum shall be suitable for ornamental, architectural work. Surface finish shall be smooth, free of extrusion marks or imperfections. Alloy shall be selected to meet the structural requirements of the specific application.
2. **Steel:** Steel shall be suitable for ornamental and architectural work. Surface finish shall be smooth, free of all extrusion marks or imperfections. Alloy shall be selected to meet the 10 1400-8 structural requirements of specific application. Structural metal for concealed framing shall be of galvanized rolled steel or equal as

required to satisfy structural requirements.

- B.** Adhesive used for installing signs shall be manufactured by 3M, or approved as equal. “VHB” tape such as Polyfoam or “Isotac” contact adhesive tape, manufactured by 3M, shall be used in conjunction with silicone adhesives for installation of wall signs, in minimum thicknesses available. Specific products for the intended purposes must be used per Manufacturer’s recommendations.
- C.** Concrete Installation of anchoring devices into concrete slab shall be adjusted to avoid penetrating existing reinforcing conduit, etc., contained in the concrete slab. Coordinate with the Owner.
- D.** Polycarbonate to be clear sheet, unless otherwise specified on the Drawings.
- E.** Perforated Vinyl Graphics – 3M Dual Color Film (White) 3635-210, if used, unless otherwise specified on the Drawings.
- F. Photopolymer:** Use DuPont, Nova Polymer or equal high quality polymer. Finished signs shall meet all ADAAG and Title 24 tactile signage requirements for raised characters and CA-contracted Grade 2 braille. Routing cut to finished sizes. All edges shall be eased. Use acrylic polyurethane (non-glare finish for all ADA-compliant sign types) for all top coating. All raised characters shall be silk-screened to specified colors, unless otherwise noted on the Drawings.
- G. Decal or Transfer:** Provide special printed paper or vinyl suitable for reproducing the copy and/or logo design onto directional signage only as indicated, as required. Submit samples to the Owner for approval.
- H. Hardware / Hinges:** Provide and install all incidental hardware necessary for the proper functioning of the signs, including, but not restricted to, materials and products covered in this section.
 - 1. Provide stainless steel hinges for all hinged access panels. Provide pin tumbler locks for all access panels requiring locks. Provide stainless steel fasteners for assembling ferrous and non-ferrous metals.
 - 2. Bolts, nuts, screws, washers, anchors and other devices required to complete the Work. Sign Contractor shall use the same basic metal or alloy as the metal fastened, and finish to match in color and texture. Use stainless steel 300 series alloy where used to join dissimilar materials.
 - 3. All exposed fasteners to be tamper-resistant, flathead stainless steel screws painted to match adjoining surfaces unless otherwise specified on the Drawings.
- I. Insulation /Material Isolation:** Separate all ferrous and non-ferrous metals with nonconductive gaskets to prevent electrolysis. In addition to gaskets, provide stainless steel fasteners for some cases as required. Where metal surfaces will be in contact with dissimilar materials, coat the surfaces with epoxy paint or plate with zinc chromate, or provide other means of dielectric separation as recommended by manufacturer to prevent galvanic corrosion (i.e. Neoprene gasket as an isolation membrane).
- J. Welding Electrodes and Filler Metal:** Provide the alloy and type of welding electrodes and filler metal required for strength, workability, compatibility and color match after grinding smooth and finishing the fabricated product.
- K. Additional Material/Processes:** For materials or processes described in the preceding list, the material and/ or process as detailed on the Drawings shall be used if

they meet or exceed equivalent.

2.3 ELECTRICAL COMPONENTS

- A.** Electrical components must conform to applicable Electrical Codes and the following and be indicated on fabricator shop drawing that are submitted to city:
 1. **Light Emitting Diode (LED) general lighting requirements:**
 - a.** Provide sufficient LED wattage, quantities and spacing to ensure continuous, maximum illumination.
 - b.** Provide LED lighting prototypes to verify brightness and uniformity of lighting with the Designer.
 2. **LED lighting component, color requirements:** color temperature to be 3500 K, cool white LED elements.
 3. Heavy duty, non-keyed, flush-mounted, fused or unfused disconnects. Provide NEMA 1 for dry locations and proper enclosure for others.
- B. Electrical Wiring and Equipment:** Provide and install electrical materials such as ballasts, transformers, lamps, sockets, neon units, connectors, and all other equipment which shall be new and shall be approved by Underwriters Laboratories, Inc. The assembly of all components within the illuminated signs shall conform to all standards of Underwriters Laboratories, Inc. as published in the latest edition of “Standards for Sign Safety” and all illuminated signs shall bear the U.L. label. All wiring and equipment shall be concealed within the Sign structure.

- C. Conduit and Devices:** Provide steel conduit, junction boxes and associated devices in accordance with applicable codes as required.
- D. Disconnect Switch:** All signs or sign components with electrical service shall be equipped with an approved external disconnect switch, flush mounted on the cabinet, with circuits and capacity to control all primary wiring within the sign. The location of the switches must be shown on the Shop Drawings and is subject to approval.
- E. Ventilation:** While maintaining a proper weather seal, Sign Contractor shall provide for sufficient ventilation of Sign components to prevent overheating or warping; allowing for color of sign, mounting surface, climate conditions, etc. In providing for ventilation, Sign Contractor shall protect sign from elements (rain, wind, debris, etc.) that might cause operational or cleaning problems. Signs / cabinets with light leaks will not be accepted. Sign Contractor shall utilize stainless steel bug mesh screen for integration with weep holes or vent / louvers on the signs to prevent insect migration into illuminated signs.

2.4 FINISHING MATERIALS

- A. Linear Polyurethane Coatings:** Provide the following, or other products as approved equal:
 1. **Acrylic Linear Polyurethane enamel:** Two components, acrylic aliphatic isocyanate / acrylic polyurethane having ultraviolet (UV) inhibitors and engineered for exterior application by Matthews Paint Company or approved equal.
 2. **Primer for Aluminum:** Two part component primer: One-coat Matthews 74-734 and 74- 735 Metal Pretreat at. 25 mils dry film thickness or one-coat Matthews 74-793 Spray Bond at .15 to .25 mils dry film thickness

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or Wyandotte / AKZO Grip-Guard Wash Primer (2Afy-31284) with Grip-Guard Wash Primer Hardener (10AFK-31285) combined and applied per manufacturer's specifications or approved equal (primer) for the application of the pre-approved and pre-formulated paint system.

3. **Primer for Steel:** Two part component primer: One-coat Matthews 74-734 and 74-735 Metal Pre-treat at .25 mils dry film thickness or Wyandotte / AKZO Grip-Guard Wash Primer (2Afy-31284) with Grip-Guard Wash Primer Hardener (10AFK-31285) combined and applied per manufacturer's specifications or approved equal (primer) for the application of the pre-approved and pre-formulated paint system.
4. **Clear Sealers:** Crystal clear satin polyurethane sealers by Matthews Paint Co. or approved equal. Sealers are to resist rust and corrosion associated with exposure to salt air. As required and of highest quality available, applied per manufacturer's specifications.
5. **Preparation:** Surfaces to receive the graphic markings shall be clean, dry, and otherwise made ready for application of the materials. Accurately measure and lay out the required marking configurations as indicated on the Drawings.
6. **Anodized Aluminum Components / Panels:** If required, Sign Contractor shall provide anodized (application of aluminum oxide film coating in clear or colored dye finish) aluminum panels or parts to match Executive Architect's color, grain, finish and specifications, or as specified on the Drawings.
7. **Painted or Silk-screened Graphics:** All graphics shall be applied using photo-processed screens from camera ready art, arranged to furnish sharp and solid images without build-up or bleeding of the coating. Comply with coating manufacturer's application instructions. Provide proper type of primer to suit each substrate and obtain a permanent bond. Verify compatibility of each substrate with the coatings to be used in the Work. Apply the markings with neat edges, minimum 3 mils (0.075 mm) dry film thickness and as required to obtain solid markings without voids.
8. **Acid-Etched Graphics and Typography:** If applicable, acid-etched typography and graphic imagery must be an average of 1/16" deep, with clean, crisp, sharp edges unless specified otherwise on the Drawing; ragged or soft (polished out) edges will be rejected. Acid baths used for etching should be fresh and used in an environment and temperature that will provide the highest quality etched images.

2.5 FABRICATION OF SIGNS AND SUPPORTS

- A. **General:** Provide custom manufactured Sign assemblies, components completely fabricated and finished at factory before delivery to the Project site. Construct to accurate detail and dimensions as shown on the Drawings and as reviewed on approved Shop Drawings. Fit and assemble the Work at the shop and mark the components as required to facilitate assembly during installation. Minimum material thickness is to be 0.090 inches. Conceal wiring, conduit and other electrical items within sign enclosures.
- B. **Lettering:** Align letter forms to maintain a baseline parallel to the sign format. Maintain margins as indicated on the Drawings.

C. **Seams and Joints:** The Sign Contractor shall cut walls and floors carefully and neatly repair them in an acceptable manner. Sign Contractor shall consult the Architect of Record in cases where cutting into a structural portion of the building is required, so that satisfactory reinforcement may be provided. Added joints shall be ground-filled and finished flush and smooth with adjacent work. Such seams shall be invisible after final finish has been applied. Spot-welded joints shall not be visible on exterior of signs after final finish has been applied. No gaps, light leaks, waves, or oil-canning will be permitted in Work. If any of these are evident, the Sign Contractor will be required to correct its Work or construct a new sign at no additional cost to the Owner.

D. **Metal Signs and Supports:** Fabricate exposed surfaces uniformly flat and smooth, without distortion, pitting, or other blemishes. Form exposed metal edges to a smooth radius. Permanently bond the laminated metal components and honeycomb core with adhesive or sealant in accordance with product manufacturer's recommendations. Grind exposed welds and rough areas to make flush with adjacent smooth surfaces.

E. **Welding:** Make welds continuous. Comply with American Welding Society, Aluminum Association, and Copper Development Association standards for the type of metals used.

F. **Fasteners:** Use exposed fasteners only if shown on the Drawings. Perform drilling and tapping at the Shop.

G. **Castings:** Exposed surfaces shall be uniformly free from porosity and roughness. Edges shall be filled and ground smooth. Faces shall be chemically-etched and mechanically-polished for the finishes as specified on the Drawings.

H. **Galvanizing:** Steel components in exterior construction, and where noted on the Drawings, shall be galvanized. Complete the shop fabrication prior to application of the zinc coating. Remove mill scale and rust, clean and pickle the units as required for proper pretreatment of the surfaces.

I. **Hardware:** Provide all incidental hardware necessary for the proper functioning of signs. External hardware shall conform to the external appearance of the Sign.

J. **Supports and Backing in Walls:** Sign Contractor shall provide engineered Sign supports anchored to building structure where required and to meet requirements of applicable building codes. Support or backing requiring installation within the building wall construction shall be immediately relayed to the Designer and the Owner's Representative for field coordination.

K. **Access Doors and Frames:** Access doors and frames shall be flush with the material in which they occur, unless otherwise specified. Access doors and frames shall be provided upon prior written-approval of the Architect. Each trade providing access doors and frames shall verify the need for fire-rated doors on the Drawings. Access doors in walls, partitions or ceilings shall bear UL fire-rated labels of same fire rating. If access doors and frames are required to be exposed to view, they shall match the adjacent finishes of the surface to which they are to be installed, unless otherwise specified. Obtain Owner's Representative's approval for location of each access door prior to placement.

L. **Acoustical Requirements:** Certain partition, floor and ceiling assemblies are required to have sound absorption

and sound transmission loss characteristics as required in the Specification sections or as indicated on the Drawings. The Sign Contractor shall coordinate his work in constructing these assemblies and that of other contractors whose work adjoins, connects to, or penetrates these assemblies to assure that such work does not reduce acoustical characteristics of the assemblies.

PART 3 EXECUTION

3.1 VERIFICATION OF CONDITIONS

- A. Inspect all surfaces to receive the Work, and report all defects which would interfere with installation of the Work.
- B. Starting the Work implies acceptance of surfaces as satisfactory.

3.2 INSTALLATION

- A. Install the Work upon acceptance by the Owner of material and substantial completion of the Project site to receive such materials.
- B. **Special Precautions:** Guard against damaging existing pavements and planting where the Work is to be installed.
- C. Footings beneath topping surface shall be installed and located prior to top surface installation.
- D. Prior to installation, check all components, nuts, bolts, and other connections for proper alignment, fit and any damage. Replace damaged or defective components.
- E. Prior to installation, confirm all electrical locations and requirements with the Owner.

3.3 CLEAN UP

- A. Keep areas of the Work clean, neat and orderly at all times. Clean surfaces, inside and out. Use approved cleaners if necessary to remove dirt.
- B. The Work shall be protected by Sign Contractor up until the day of review and approval by the Owner UON. Coordinate with G.C. Surfaces shall be cleaned to remove excess glazing and sealant compounds, dirt, and other substances.
- C. Upon completion of the Work, and before final acceptance, remove tools, surplus materials, apparatus, and debris from the Project site. Leave the Project site in a neat, clean condition, acceptable to the Owner. Wash, clean, and leave paved areas without stains.

3.4 FINAL INSPECTION AND ACCEPTANCE

- A. Upon completion of the Work, a final inspection for acceptance will be performed by the Owner.
- B. All mock-ups and unused submittals shall be removed from the Project site prior to final acceptance.
- C. Submit Operation Manuals, tools, and keys as specified in this Section.

END OF SECTION

Lincoln Plaza

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Thank You!



VICINITY MAP



PLANNING COMMISSION
Wednesday, April 23, 2025 – 6:30 p.m.
Sign Program No. SN-24-4
6131 & 6161 Lincoln Avenue
APNs: 260-021-07, and 08

A. TERMINATION OF NONCONFORMING USE

A request for the Planning Commission, pursuant to Buena Park Municipal Code Section 19.132.020, regarding the March 12, 2025, Planning Commission meeting to consider termination of a non-conforming motel (Coral Motel) use at 7891 Whitaker Street.

The property owners are Balubhai G. Patel and Sardabenb Patel, 243 N. Rampart Boulevard, Los Angeles, CA 90026.

The proposed action is Categorically Exempt, pursuant to Section 15061(b)(3). The General Rule exemption can be applied to projects where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment.

RECOMMENDED ACTION: To terminate the nonconforming motel use operating on the property and declare the continued operation of the motel to be a public nuisance pursuant to Buena Park Municipal Code Section 19.148.030.

Meeting	Agenda Group
Wednesday, April 23, 2025, 6:30 PM	PUBLIC HEARING Item: 4A.
Prepared By	
Matt Foulkes, Director of Community and Economic Development	

PROPERTY INFORMATION:

The approximately 1.05-acre property is located on the north side of Whitaker Street east of Auto Center Drive. The property has a General Plan Land Use designation of Commercial and a zoning classification of ACSP (Auto Center Specific Plan) A-2 Sub-District with a Mixed-Use Overlay - 60. The property is currently developed with a 47-room motel (The Coral Motel) that was originally built in the early 1950's.

SURROUNDING LAND USE CHARACTERISTICS:

	GENERAL PLAN	ZONING	EXISTING LAND USE
North	Low-Density Residential	RS-6 (One-Family Residential)	Single-Family homes
South	Commercial	ACSP (Auto Center Specific Plan) Sub-District A-2 with a Mixed-Use Overlay - 60	Hotel (Travel Lodge)
East	Commercial	ACSP (Auto Center Specific Plan) Sub-District A-2 with a Mixed-Use Overlay - 60	Commercial Use
West	Commercial	ACSP (Auto Center Specific Plan) Sub-District A-2 with a Mixed-Use Overlay - 60	Commercial Use

DISCUSSION:

On October 1, 2024, Code Enforcement and the County of Orange Health Department were called to conduct an inspection of the Coral Motel based on complaints from motel guests about cockroaches. The result of that inspection found over a hundred individual violations of state and local building, fire, and health and safety codes existing on the property. Every room that was inspected by the City and County was found to have multiple violations including imminent and ongoing health and safety risks to guests and employees of the motel.

Further, interviews with motel guests by City staff found that many had been staying at the motel for more than 30 consecutive days, which is a violation of Section 19.552.110 of the Buena Park Municipal Code ("BPMC"). Lastly, a review of Police Department calls for service found that there have been over 1,200 calls for service at this property over the last 10-years. Calls for service include multiple disturbing the peace, spousal abuse, drugs, vandalism, battery, grand theft and assault.

The significant repairs and improvements that are necessary to address the physical condition of the structures and building code violations will require permits issued by the Building Department; which may only be issued to the property if/when the land use is otherwise compliant with the Zoning Code. (BPMC § 19.140.070 [any permits issued in violation of the Zoning Code are null and void].)

The motel property is located within the Auto Center Specific Plan ("ACSP") – Sub-District A2. Sub-District A2 is situated on the north side of Auto Center Drive, between Beach Boulevard and Stanton Avenue, includes properties on the west side of Homewood Avenue and the east side of Beach Boulevard, south of Seventh Street, as well as several properties that are accessed from Whitaker Street. Land uses in Sub-District A2 include the Coral Motel, the Travel Lodge, BBUL restaurant, four commercial-retail buildings fronting Beach Boulevard, older retail structures located on the north side of Whitaker, an auto stereo sales and installation business and a tire sales and installation shop. It also includes several properties used for residential purposes on Homewood Avenue.

The ACSP was adopted by the Buena Park City Council on April 7, 1997, with the intent of maintaining and enhancing the development of auto dealers and complementary auto-related uses along Auto Center Drive adjacent to the I-5 corridor. As applied to the subject property, the ACSP allows new vehicle sales as a permitted "by right" land use, and a limited range of complementary commercial uses are permissible but only with a conditional use permit issued by the City. Examples of conditionally permitted uses in the sub-district include a full-service hotel, motel, restaurants, and auto-service related businesses.

The Coral Motel existed long before the City Council's adoption of the ACSP in 1997, and was originally built before the City's incorporation in 1953 via permits approved by the County of Orange. However, with adoption of the ACSP the Coral Motel was rendered a "nonconforming use" of real property. A non-conforming use means a use of property which was lawfully established but which no longer conforms to the provisions of the General Plan, a Specific Plan, or the Zoning Code due to changes in such provisions over time. As noted above, the ACSP only allows a full-service hotel, motel use with a conditional use permit, and the Coral Motel has never applied for, nor been issued a conditional use permit. This makes the Coral Motel a "nonconforming use" of land which are governed by Chapter 19.204 of the Buena Park Municipal Code (Nonconforming Uses and Sites).

Specifically, Section 19.204.180 states that any nonconforming land use which is eligible for a conditional use permit is considered a nonconforming land use unless and until such conditional use permit is granted. Further, Section 19.204.130 and corresponding Table 19.204.100, requires that nonresidential buildings of this construction type must be removed or made conforming in all respects within 25 years from the date the building was constructed, or January 19, 1954, whichever is later. This specified time period is known as an "amortization period," and the purpose is to provide property owners time to realize their financial investment in a nonconforming use (i.e. depreciate the capital improvements over a reasonable period of time), and give property owners adequate notice and time to either take action needed to make the use conforming, or remove and terminate the use.

The Coral Motel is a wood frame (Type V) construction type that is governed by the 25-year amortization period set forth in Table 19.204.100, and according to Section 19.204.180 this time period began to run as of January 19, 1954 (the date the City first adopted the General Plan). The nonconforming status of the Motel was reconfirmed upon adoption of the ACSP by the City Council on April 7, 1997 which also required a conditional use permit for a motel use. Even using the 1997 date (ACSP adoption), the 25-year time period expired in 2022. Despite this, The Coral Motel has continued operating without applying for a conditional use permit or making any effort to make the property a conforming land use.

On March 12, 2025, the Planning Commission initiated proceedings to schedule a public hearing to consider whether to terminate the Coral Motel as a nonconforming use, pursuant to Section 19.132.020 of the Buena Park Municipal Code, and make corresponding findings that continued operation constitutes a public nuisance. Notice of this action was provided in the manner required by the Buena Park Municipal Code.

Staff recommends that the Planning Commission conduct the public hearing, consider all evidence presented by the property owner, owner's representatives, and members of the public, and take appropriate action based on that evidence.

In deciding whether to terminate the Coral Motel as a nonconforming use, the Planning Commission must balance the public interest and the vested interests of the owners of the Coral Motel. Based on the significant passage of time since the Coral Motel was built, far exceeding the amortization period; the deteriorated condition of the motel which is in violation of numerous building, fire, and health and safety codes that threaten the health and safety of occupants and nearby residents / businesses; and the frequent calls for service generated from the site evidencing a lack of oversight and management, staff has determined that this balancing test weights in favor of terminating the Coral Motel as a nonconforming use.

If the Planning Commission decides to terminate the use, staff recommends that it also find that continued operation of the Coral Motel constitutes a public nuisance consistent with Section 19.148.030, which specifies that any action that violates the Buena Park Zoning Code is a public nuisance.

ENVIRONMENTAL ASSESSMENT:

In accordance with the California Environmental Quality Act (CEQA), the City has determined that the proposed project is Categorical Exempt, pursuant to Section 15061(b)(3). The General Rule exemption can be applied to projects where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment. The action by the Planning Commission to terminate the nonconforming use does not have the potential to have a significant effect on the environment. Any future changes to the use of the property or structure will be reviewed separately for compliance with CEQA.

PUBLIC HEARING NOTICE:

Notice of the public hearing was posted at the Buena Park City Hall, the Buena Park Library, and Ehlers Event Center and notices were mailed to property owners located within 300-feet of the subject property on April 10, 2025. Notice of the public hearing was posted in the Buena Park Independent on April 11, 2025. As of the date of printing this report, the City has received one (1) written communication regarding the proposed action.

Reviewed and Approved By: Matt Foulkes, Director of Community and Economic Development Department

Attachments

[Attachment 1 - Resolution to Terminate a Non-Conforming Use_7891 Whitaker Street.pdf](#)

[Attachment 2 - 7891 Whitaker Notice to Inspect.pdf](#)

[Attachment 3 - OC Health Inspection Report_10-1-2024.pdf](#)

[Attachment 4 - 7891 Whitaker Notice of Violation_10-17-2024.pdf](#)

[Attachment 5 - ACSP.pdf](#)

[Attachment 6 - Public Hearing Notice.pdf](#)

RESOLUTION NO.
TERMINATION OF A NONCONFORMING PRIVILEGE

A RESOLUTION OF THE PLANNING COMMISSION OF BUENA PARK, CALIFORNIA, TERMINATING A NONCONFORMING LAND USE PRIVILEGE (OPERATION OF A MOTEL IN THE AUTO CENTER SPECIFIC PLAN) AT 7891 WHITAKER STREET, CITY OF BUENA PARK (APN: 277-052-27) PURSUANT TO SECTION 19.132.020 OF THE BUENA PARK MUNICIPAL CODE, AND DECLARING CONTINUED EXISTENCE OF THE NONCOMFORMING USE TO BE A PUBLIC NUISANCE

A. Recitals.

- (i) The property located at 7891 Whitaker Street, City of Buena Park, California (the Property”), consists of 1.05-acres and is improved with a 47-unit motel known as the “Coral Motel” (the “Motel”), which was built in the early 1950’s with approvals issued by the County of Orange, and before the City’s incorporation in 1953.
- (ii) On April 7, 1997, the City Council for the City of Buena Park adopted the Buena Park Auto Center Specific Plan (“ACSP”), the stated purpose of which is to maintain and enhance the development of auto dealers and complementary commercial land uses along Auto Center Drive adjacent to the I-5 corridor. Section 19.504.020.C.2 of the Buena Park Municipal Code (“BPMC”) incorporates the ACSP into the Buena Park Zoning Code (Title 19 of the BPMC, the “BPZC”).
- (iii) The Property is located with Sub-District A2 of the ACSP, which restricts permitted uses of the Property to “Public Services” (flood control channel and facilities, utility corridor) and “Vehicle Sales” (new sales / lease of autos or trucks not exceeding three tons gross weight unladed), and allows the following “Commercial Uses” of the Property if a conditional use permit has first been issued: full-service hotel, motel; restaurant (may include drive-in, drive-through or walk-up service; entertainment; on-sale liquor; a parking lot; a parking structure; new motorcycle and trailer sales / leases; and vehicle related sales, service, and repair.
- (iv) The Motel has never applied for or been issued a conditional use permit as required by the ACSP, and as a result the Motel is a “nonconforming use” of the Property subject to the provisions of Chapter 19.204 of the BPZC governing nonconforming uses and sites. Section 19.204.100 and Table 19.204.100 of the BPZC direct that any nonresidential buildings, structures, or facilities that are of Type II, II-V, IV, or V construction and are designed for nonconforming uses must be removed or made conforming in all respects 25 years after the date of construction or January 19, 1954, whichever is later.
- (v) The Motel is of a wood frame (Type V) construction and was originally built more than seventy (70) years ago, and the Motel has continued to operate as

a nonconforming use for more than twenty-eight (28) years after the effective date of the ACSP, and the Motel has not been removed, a conditional use permit has not been applied for or issued for the Motel, and no efforts been made to bring the Motel into conformance with the ACSP or BPZC.

- (vi) On October 1, 2024, City Code Enforcement accompanied the County of Orange Health Department to conduct an inspection of the Motel in response to complaints from guests about cockroaches. This inspection identified over a hundred individual violations of California and local building, fire, and health and safety codes, and every room inspected was found to have multiple and signification violations of application codes creating imminent and ongoing health and safety risks to guests, employees, and neighbors. This prompted a review calls for service records maintained by the City's Police Department, which revealed 1,237 calls for service to the Property over the last 10-years, including calls for disturbing the peace, spousal abuse, drugs, vandalism, battery, grand theft and assault among others.
- (vii) On March 12, 2025, after providing notice to the owner of the Property in the manner specified by Section 19.132.020.B. of the BPZC, the Planning Commission initiated proceedings and scheduled a future public hearing pursuant to Section 19.132.020.C. of the BPZC to hear evidence and consider whether to terminate the Motel as a nonconforming use and/or declare the continued use of the Property for the Motel to be a public nuisance.
- (viii) On April 23, 2025, after providing notice to the owner of the Property in the manner specified by Section 19.132.020.C. of the BPZC, the Planning Commission conducted the duly noticed public hearing and considered all written and oral comments, testimony, documentation, and other matters and evidence submitted during the public hearing on this matter, and after concluding said public hearing and based upon all such evidence submitted the Planning Commission hereby adopts this Resolution.

B. Resolution.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF BUENA PARK, hereby finds, determines and resolves as follows:

1. After consideration and based upon written and oral comments, testimony, documentation, and other matters and evidence in the record and submitted during the public hearing on this matter, the Planning Commission hereby finds and declares that the foregoing facts and findings set forth in the Recitals, Part A, of this Resolution, are true and correct, and said Recitals are incorporated as a substantive part of this Resolution.
2. Based upon such Recitals and all such evidence presented and included in the record, the Planning Commission hereby finds, declares, and determines as follows:
 - (a) The Motel is an illegal nonconforming use of the Property, in that the Motel is not a land use that is permitted by the ACSP and yet it has continued operating on the Property beyond the time period permitted by Section

19.204.100 and Table 19.204.100 of the BPZC, and the Motel has not been removed from the Property nor has the Property been brought into conformity with applicable provisions of the ACSP and BPZC.

- (b) The Motel is in a deteriorated (and deteriorating) condition and the property owner has failed to appropriately maintain or operate the Motel, as evidenced by the hundreds of code violations currently existing and the calls for service generated by the Property. The owner of the Motel and Property has made little to no effort or investment to bring the Property into compliance with the ACSP or BPZC, as evidenced by the failure to apply for a conditional use permit in the 28 years since the effective date of the BPZC and the general deteriorating condition of the Motel and Property.
- (c) The continued operation and existence of the Motel undermines, conflicts with, and contradicts the goals, objectives, policies, public benefits, and stated purposes for which the ACSP was adopted, including but not limited to the following:
 - (i) Introduction: Encouraging appropriate land uses is vital to maintaining and improving the economic health of the community, as Buena Park is a fully developed city with very little vacant land remaining suitable for development. The ACSP is intended to facilitate consolidation and development of parcels in the plan area for additional auto dealerships.
 - (ii) Introduction: Preserve and enhance the existing commercial areas and, where appropriate, expand commercial opportunities to serve the needs of residents and visitors.
 - (iii) Introduction: Continued expansion of the City's economic base relies upon an expansion of existing uses and the ability to encourage appropriate new uses and attracting quality land uses in the Specific Plan area, through new development, consolidation, and other measures is vital to maintaining and improving the economic health of the community.
 - (iv) Introduction: Continue to promote and expand auto dealerships and supporting commercial activities.
 - (v) Goal 1 – Objective (a) and (c): Create a unified Auto Center; Establish the cooperation and coordination of the participants in the development and operation of the Auto Center commercial area; Protect and enhance the natural, social, and physical attributes of the development area so as not to detrimentally affect adjacent existing developments.
 - (vi) Goal 2 – Objective (a): Promote an economic balance and well-being of the Auto Center Specific Plan through complimentary commercial uses and employment opportunities; Establish a regional automobile shopping center with ancillary and coordinated commercial sales and services.

- (vii) Goal 4 – Objective: Create a viable and organized retail opportunity at Beach Boulevard between Auto Center Drive and Seventh Street; Assist property owners utilizing the available zoning to support the creation of quality business along Beach Boulevard.
 - (viii) Policy 1: Architecture and design of dealerships, developments, and streetscapes shall provide an attractive environment to pedestrians and motorists while providing a visual and acoustical buffering between the Specific Plan area and adjacent developed areas.
 - (ix) Policy 3: Buildings, landscaping, and site improvements shall be linked to comprise a unified motif throughout the Specific Plan area. Aesthetically pleasing entrances to the Specific Plan area shall be established through the implementation of a consistent design statement and development standards that are compatible with areas surrounding the Specific Plan area.
 - (x) Policy 6: Ancillary uses shall be integrated into the plan provided that such facilities support the design, efficiency, and feasibility of the overall Specific Plan.
 - (xi) Policy 7 - High standards of development shall be applied to realize the unique potential of the area, to attract desirable commercial establishments, and to provide a desirable environment for surrounding residents.
- (d) After balancing the public interest advanced by terminating the use and the vested interests of the owner of the Property to continue operating the use, and based upon the entire record before it, the Planning Commission concludes that termination of the Motel as a nonconforming use is necessary and appropriate.
- (e) That the Motel, and continued use of the Property for operating the Motel, is hereby found and determined to be an unlawful and illegal use of the Property and a public nuisance, and that such unlawful and nuisance conditions will continue to exist unless and until the Motel is removed or the Property is made conforming in all respects to the ACSP and BPZC.
3. The Planning Commission hereby finds and determines that this action and Resolution is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15061(b)(3). The General Rule exemption can be applied to projects where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment. The action by the Planning Commission to terminate the nonconforming use does not have the potential to have a significant effect on the environment. Any future changes to the use of the property or structures will be reviewed separately for compliance with CEQA.
4. This decision of the Planning Commission to terminate a nonconformity use is final unless a written appeal is submitted to the City Council in accordance with

Chapter 19.120 of the BPZC within ten (10) working days from the date of this Resolution.

5. The Planning Commission Secretary shall certify to the adoption of this Resolution.

DRAFT

PASSED AND ADOPTED this 23rd day of April 2025 by the following called vote:

AYES: COMMISSIONER:

NOES: COMMISSIONER:

ABSENT: COMMISSIONER:

ABSTAINED: COMMISSIONER:

Deborah Diep
Chair

ATTEST:

Harald Luna
Acting Planning Manager

September 25, 2024

Patel Balubhai Gopal
255 S. Reno St.
Los Angeles, CA 90057

SUBJECT: NEIGHBORHOOD IMPROVEMENT PROGRAM PRE-INSPECTION NOTICE AT
7891 Whitaker St., (Coral Motel) BUENA PARK, CA

Dear Mr. Patel:

The Neighborhood Improvement Program Task Force conducts inspections of the hotels/motels citywide, and your facility is scheduled for a comprehensive interior and exterior code compliance inspection to coincide with the OC Health Care Agency's follow-up inspection on **October 1, 2024, between 10:00 a.m. and 10:30 a.m.**

The Neighborhood Improvement Program Task Force is a joint effort including representatives from the Buena Park Code Enforcement Division, Building and Safety Division, Police Department, Orange County Fire Authority, and the Orange County Health Department. The inspection is intended to identify and correct any life safety hazard issues, Planning Division conditions of approval, and building safety/maintenance issues as well as room serviceability and aesthetics as defined in Title 15 and Title 19 of the Buena Park Municipal Code.

To complete the inspection process and bring this matter to a successful closure, it will be necessary for you or a representative to be present to accompany the inspection team. In addition, please notify your guests of the inspection in advance.

Your cooperation is greatly appreciated on this matter. Please contact me at (714) 562-3627 if additional information is necessary regarding this matter.

Sincerely,



Ernestine Zapien
Code Enforcement Officer

EZ: sd



Public Health Services

Environmental Health Division

INSPECTION REPORT

ESTABLISHMENT NAME CORAL MOTEL	ESTABLISHMENT ADDRESS 7891 Whitaker St Buena Park CA ,90621-2950	
IDENTIFIER CORAL MOTEL	OWNER BALU PATEL	
ESTABLISHMENT TYPE HOTEL/MOTEL		RECORD ID PR0019597
MAILING ADDRESS 7891 Whitaker St Buena Park CA, 90621-2950	SERVICE Reinspection	RESULT REINSPECTION
	INSPECTION DATE 10/01/2024	REINSPECTION DATE 10/22/2024

Items noted below were observed during the course of this inspection. Any violations noted observed must be corrected. Failure to correct the listed violation(s) prior to the designated compliance date may necessitate a reinspection at an additional fee.

10. MAINTAIN FREE OF COCKROACHES, MICE, RODENTS, FLIES, OR BED BUGS. - OUT

Inspector Comments: 1. Observed cockroach activity in the following locations:

Laundry Room

- multiple egg casings and peppering on shelving
- multiple egg casings on the floor behind the water heater
- multiple egg casings on the floor by the mop sink

Room 102

- multiple dead cockroaches on the shower floor
- multiple dead cockroaches on the restroom floor
- multiple egg casings and spotting on the bathroom wall shelving
- dead cockroach on the floor in the restroom doorway
- 1 live cockroach below the kitchen sink cabinet
- multiple dead cockroaches on the floor in the side room
- dead cockroach in the cabinet below the bathroom sink cabinet

Note: The manager immediately killed the live cockroach.

Room 124

- 1 dead cockroach on floor by the bathroom entrance

Room 125

- multiple dead cockroaches on the floor below the mattress
- 1 large dead cockroach on the kitchen floor
- dead cockroach on the floor by the table in the bedroom area
- dead cockroach on the shower floor

Room 126

- dead cockroach on the floor behind the bed
- dead cockroach on kitchen floor
- dead cockroaches in the kitchen and bathroom cabinets

Room 128

- multiple dead cockroaches below kitchen sink
- dead cockroach on the floor below the bed
- dead cockroach on the floor of the closet
- dead cockroach on the floor in between the oven and the fridge
- dead cockroach on the floor of the bathroom

The manager immediately removed and sanitized the area affected by the singular dead cockroach in room 124. Room 124 may be returned to service.

The rooms listed above may not be reopened until the cockroach activity has been verified to be eliminated by a representative of this Agency (with



Public Health Services

Environmental Health Division

INSPECTION REPORT

ESTABLISHMENT NAME CORAL MOTEL	INSPECTION DATE 10/01/2024
ESTABLISHMENT ADDRESS 7891 Whitaker St Buena ParkCA ,90621-2950	RECORD ID PR0019597

Eliminate the infestation/activity of cockroaches from the facility by using only approved methods. Remove all evidence of the infestation and thoroughly clean and sanitize all affected surfaces. Construct, equip, maintain and operate the facility so as to prevent the entrance and harborage of animals, birds and vermin including, but not limited to, rodents and insects.

2. Observed gaps and holes in the following locations included but not limited to:

Room 102

- hole in wall behind the kitchen stove/oven

Room 126

- hole in the wall between the mattress and the door

Room 128

- gaps/holes in the wall below the kitchen sink

Seal all gaps and holes greater than 1/4 inch in the rooms noted above to eliminate potential vermin harborage sites.

Violation Description: A DWELLING UNIT AND PREMISES IS TO BE MAINTAINED FREE OF COCKROACHES, MICE, RODENTS, FLIES, OR BED BUGS. (1001.2; 17920.3)

12. ROOMS CLEANED BETWEEN GUEST USE INCLUDING LINENS, TOWELS, AND BEDDING. - OUT

Inspector Comments: Observed stains/burn marks on the sheets in room 128. Clean to remove any stains/residues from all linens, towels, and bedding.

Violation Description: ALL GUESTROOM OR SUITE OF ROOMS ARE TO BE CLEANED BETWEEN GUEST USE. THE CLEANING IS TO INCLUDE LINENS, TOWELS, AND BEDDING. (118425-118440)

15. INSTALLED AND MAINTAIN FREE OF ELECTRICAL HAZARDS (EXPOSED WIRING, IMPROPER CONNECTIONS). - OUT

Inspector Comments: Observed the outlet cover to be missing at the wall outlet located behind the bed in room 124. Provide an outlet cover.

Violation Description: ANY BUILDING OR PORTION THEREOF INCLUDING ANY DWELLING UNIT, GUESTROOM OR SUITE OF ROOMS, OR THE PREMISES IS TO BE MAINTAINED FREE OF ELECTRICAL HAZARDS. ALL ELECTRICAL EQUIPMENT, WIRING AND APPLIANCES SHALL BE INSTALLED AND MAINTAINED IN A SAFE MANNER IN ACCORDANCE WITH ALL APPLICABLE LAWS. ALL ELECTRICAL EQUIPMENT SHALL BE OF AN APPROVED TYPE. (701.2, 1001.5; 17920.3)



Public Health Services

Environmental Health Division

INSPECTION REPORT

ESTABLISHMENT NAME CORAL MOTEL	INSPECTION DATE 10/01/2024
ESTABLISHMENT ADDRESS 7891 Whitaker St Buena Park CA ,90621-2950	RECORD ID PR0019597

The purpose of this visit was to conduct a reinspection which was also related to a complaint (CO#161333).

This inspection was conducted jointly with Buena Park Code Enforcement, Buena Park Police Department, and W. Ocampo-Choy, REHS.

The most recent pest control receipt was provided and dated 09/26/24, however, rooms #102, 124, 125, 126, and 128 were not listed.

Water measuring at least 120F was observed in room 128 and a smoke detector was provided in room 124. Additionally, the previously noted repairs were made to the ceiling and wall in room 102.

Currently, a reinspection is scheduled for 10/22/24 to verify the correction of the violations listed on this report.



Public Health Services

Environmental Health Division

INSPECTION REPORT

ESTABLISHMENT NAME CORAL MOTEL	INSPECTION DATE 10/01/2024
ESTABLISHMENT ADDRESS 7891 Whitaker St Buena Park CA ,90621-2950	RECORD ID PR0019597

It was agreed that a copy of this report will be sent to the e-mail address provided. The person in charge was directed to call this office if the report is not received within 2 business days. Additional information can be found at <http://www.ochca.com/eh>

Name: R. Garcia

Title: Property Manager

Signing for the receipt of the above report is not an admission of the facts of the violation set forth herein.

REINSPECTION FEES: Fees are assessed for second or greater re-inspections and Notices of Violations. The purpose of these fees is to shift costs away from compliant operators and impose fees on those facilities that fail to readily comply with the applicable laws and regulations. The amount of the fee is to cover all of the cost associated with the service. For the most current fees, please refer to <http://www.ochca.com/eh/home/fees> or call (714) 433-6000.

Inspector:
S Ballardo
Environmental Health Specialist I
(714) 388-4233
sballardo@ochca.com



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

Neighborhood Improvement / Code Enforcement Division

October 17, 2024

Balubhai Gopal Patel
Vishva Patel
243 N. Rampart Blvd.
Los Angeles, CA 90026

Subject: Notice of Violation for 7891 Whitaker St., Buena Park – Coral Motel

Dear Ms. Patel:

As you know, the Neighborhood Improvement Task Force along with the Orange County Health Department, conducted an inspection at the subject property on October 3, 2024. As a result of this inspection, numerous violations were found throughout the property which must be addressed immediately. Please note that the City was unable to inspect rooms: 116, 117, 127, 129, 136, 141, 142, and 146. Please ensure that these rooms are made available for inspection when the City reinspects the property.

Exterior:

1. Maintain the landscape free of overgrown vegetation from all planters, the side yard, and rear yard.
2. Remove graffiti along the planters, exterior fire extinguisher covers, vending machine, and walls.
3. Remove the outdoor storage at the rear of the motel consisting of furniture, trash, and other miscellaneous items.
4. All locations throughout the property where there is chipped, cracked or peeling paint must be repaired and repainted.
5. Repair all areas of deteriorated wood throughout the structures. Should repair of damaged wood require replacement of a structural support member, obtain a building permit prior to removal/replacement.
6. Obtain a roofing permit to remove the existing non-compliant roofing material, repair the dry rot, termite damage, and other structural deficiencies, and replace the roofing material with a compliant material and installation.
7. Obtain a building permit to repair or replace the termite and dry rot damaged structural posts throughout the property.
8. All references to damaged windows throughout the property that cannot be repaired, will require a building permit to be replaced.
9. Remove the inoperative vehicles in the parking lot:
 - a. Black sedan, no front license plate (rear plate blocked by bicycles).
 - b. White Ford Truck, license #59871G2.
10. Repair the hole in the wall by the office.
11. Replace the missing fire extinguisher covers by rooms #103 and #142.

12. Repair the exposed wood from under open patio and remove the dark stains.
13. Remove the bee infestation above the front office roofline.
14. Obtain approvals/permits for damage to Maintenance Room that was struck by a vehicle.
15. Obtain the services of a licensed plumbing or mechanical contractor to verify the existing wall heaters in the units are functional. For all units with inoperative or removed wall heaters, propose a method of compliance and obtain a building permit to rectify the deficiencies.

Room 101:

1. **Immediately replace the missing smoke detector.**
2. **Immediately exterminate the cockroach infestation.**
3. Replace the missing bathroom window screen.
4. Replace broken occupancy sensor light in the kitchen.
5. Remove the storage in front of the wall heater.
6. Obtain a plumbing permit to remove and cap the unpermitted gas line at the range in the kitchen.

Room 102:

1. Replace the missing ceiling light cover.
2. Replace the missing bathroom window screen.
3. Obtain an electrical permit to repair the GFCI outlet in the bathroom that was painted over.
4. Obtain a plumbing permit to remove and cap the unpermitted gas line at the range in the kitchen.

Room 103:

1. **Immediately replace the missing smoke detector.**
2. Remove the storage in front of the wall heater.
3. Replace #0 on the door that is missing to identify the room number.
4. Obtain a building permit to repair the ceiling that has evidence of water intrusion from the roof.
5. Replace the missing kitchen and bathroom window screens.
6. Remove all appliances that are plugged in with power strips that have the potential to overload outlet.
7. Repair the leak under the kitchen sink.
8. Repair the faulty door frame and locking mechanism.
9. Repair the bathroom leak from the shower (per room occupant).
10. Replace the missing ceiling light cover.
11. Replace the cracked floor tile.
12. Repair the windows that do not close tightly (per room occupant).
13. Replace the missing electrical outlet and light switch covers.
14. Obtain a mechanical permit to replace the broken exhaust fan in the restroom (per room occupant).

Room 104:

1. **Immediately replace the missing smoke detector.**
2. **Immediately exterminate the cockroach infestation.**
3. Obtain a building permit to repair the deteriorated ceiling damaged by water intrusion and repaint.

4. Obtain a building permit to properly install the wall mounted AC unit and paint the wall around the AC unit that was patched.
5. Obtain an electrical permit to install a receptacle to serve the wall AC unit and remove the extension cord currently powering the unit.
6. Replace the cracked kitchen countertop.
7. Repair the damaged kitchen cabinets and paint.
8. Paint the walls throughout the room where they were patched.
9. Replace the cracked window in the bathroom.
10. Replace the missing window screens.
11. Obtain an electrical permit to replace the damaged GFCI receptacle in the bathroom.
12. Obtain a plumbing permit to remove and cap the unpermitted gas line at the range in the kitchen.

Room 105:

1. **Immediately take all action necessary to exterminate the cockroach infestation.**
2. Remove the stains/mildew from the walls and ceilings, and bathroom tile.
3. Obtain a building permit to properly install the wall mounted AC unit and paint the wall around the AC that was patched.
4. Replace the damaged window screen frame in the bathroom.
5. Obtain a building permit to repair the deteriorated kitchen wall and under cabinet area showing evidence of water intrusion from the shower.
6. Replace the cracked mirror in the bathroom.
7. Obtain an electrical permit to install a receptacle to serve the wall AC unit and remove the extension cord powering the unit.
8. Obtain a plumbing permit to remove and cap the unpermitted gas line at the range in the kitchen.

Room 106:

1. **Immediately take all action necessary to exterminate the cockroach infestation.**
2. Replace missing wall outlet cover.
3. Obtain a building permit to repair the damaged ceiling with evidence of water intrusion
4. Repair and repaint the damaged/peeling paint in the kitchen.
5. Replace the #6 on the door that is missing to identify the room number.
6. Paint the bathroom where there is peeling paint.
7. Remove the stains from the shower tile.
8. Repair the deteriorated wall in the shower enclosure.
9. Repair the loose shower door.
10. Replace the cracked floor tile.
11. Replace the rusted shower handles.
12. Replace missing ceiling light covers.
13. Obtain a building permit to properly install the wall mounted AC unit.
14. Obtain an electrical permit to properly install a receptacle to serve the wall mounted AC unit and remove the unpermitted surface mounted electrical conduit installed to power the AC unit.

Room 107:

1. **Immediately replace the inoperative smoke detector.**
2. **Immediately take all action necessary to exterminate the cockroach infestation.**
3. Replace the cracked floor tile.
4. Remove the standing water in the kitchen from unknown potential leak.

5. Remove the stains from the ceiling, bathroom and kitchen walls.
6. Obtain a building permit to properly install the wall mounted AC unit.
7. Obtain an electrical permit to properly install a receptacle to serve the wall mounted AC unit and remove the unpermitted surface mounted electrical conduit installed to power the AC unit.
8. Obtain a plumbing permit to remove and cap the unpermitted gas line at the range in the kitchen.

Room 108:

1. Repair the hole in the ceiling.
2. Repair the damaged kitchen cabinets.
3. Repair deteriorated wall in the shower enclosure.

Room 109:

1. **Immediately replace the inoperative smoke detector.**
2. Paint the bedroom door and door molding where there is peeling paint.
3. Remove the stains from the bathroom ceiling and walls.
4. Repair the damaged bedroom door.
5. Obtain a plumbing permit to remove and cap the unpermitted gas line at the range in the kitchen.

Room 110:

1. **Immediately replace the missing smoke detector.**
2. **Immediately take all action necessary to exterminate the cockroach infestation.**
3. Obtain an electrical permit to properly install additional receptacles to remove numerous items plugged into power strip on the wall, creating a fire hazard.
4. Remove the stains from the tile, walls, and bathroom shower.
5. Replace the deteriorated bathroom vanity.

Room 111:

1. Obtain a building permit to repair the water damage and covered hole in the wall in the living room adjacent to the rear and sides of the shower.
2. Obtain a building permit to repair the water damage around the shower in the restroom.
3. Replace the missing ceiling light cover in the bathroom.
4. Remove the stains from the walls in the bathroom.
5. Obtain a building and electrical permit to replace the damaged service panel and relocate it outside of the restroom.
6. Remove the graffiti from the wall.
7. Replace the damaged windowpane in the bathroom.
8. Replace the faulty shower fixture.

Room 112:

1. **Immediately replace the inoperative smoke detector.**
2. **Immediately take all action necessary to exterminate the cockroach infestation.**
3. Remove the covering over the ceiling vent in the bathroom (per room occupant this vent was covered to reduce insect infestation).
4. Remove the stains from the shower.

Room 113:

1. **Immediately replace the missing smoke detector.**
2. **Immediately take all action necessary to exterminate the cockroach infestation.**
3. Replace the cracked floor tile in the bathroom.
4. Repair the deteriorated wall in the bathroom.
5. Remove the stains from the ceiling and walls.
6. Replace the missing ceiling light cover.
7. Remove storage in front of wall heater.
8. Obtain an electrical permit to properly install the light switch by the front door and terminate or land the exposed wiring.
9. Obtain a building permit to properly install the wall mounted AC unit.
10. Obtain a building permit to repair the water damage around the shower and address the sheet metal installed on the wall adjacent to the toilet.
11. Immediately cease the use of a substandard room for sleeping quarters.

Room 114:

1. **Immediately replace the missing smoke detector.**
2. **Immediately take all action necessary to exterminate the cockroach infestation.**
3. Remove the stains on the ceiling.
4. Obtain a building permit to properly install the wall mounted AC unit and repair the deteriorated wall around the AC.
5. Obtain an electrical permit to properly install the receptacle serving the AC unit.
6. Replace the damaged bathroom vanity.
7. Replace the cracked bathroom tile over the sink.
8. Remove the graffiti on the closet wall.
9. Obtain a building permit to repair the water damage along the bathroom wall and ceiling adjacent to the shower.
10. Repair the hole in the bathroom door.
11. Remove the dark stains along the shower and wall.
12. Repair the damaged front door frame and locking mechanism.
13. Replace the missing window screens.
14. Replace the missing ceiling light cover.

Room 115:

1. **Immediately replace the missing smoke detector.**
2. **Immediately take all action necessary to exterminate the cockroach infestation.**
3. Replace the damaged window screen frame and missing screens.
4. Obtain an electrical permit to properly replace the missing light switch in the bathroom and secure the exposed wiring.
5. Obtain a building permit to repair the deteriorated ceiling showing evidence of water intrusion.
6. Replace the missing bathroom window handle.
7. Replace the missing ceiling light cover.
8. Paint the ceiling and walls where there is peeling paint.
9. Repair the damaged front door frame and locking mechanism.
10. Obtain a plumbing permit to install a proper shower drain and cover.

Room 118:

1. **Immediately take all action necessary to exterminate the cockroach infestation.**

2. **Immediately replace the inoperative smoke detector.**
3. Remove the cardboard from the bathroom window that blocks ventilation. (Per guest, to protect from insects).
4. Remove the stains on the ceiling, walls, and vent.
5. Obtain a building and electrical permit to relocate the subpanel existing in the restroom.

Room 119:

1. **Immediately replace the inoperative smoke detector.**
2. Remove the graffiti on the wall.
3. Replace the cracked toilet lid.
4. Repair the deteriorated walls and ceiling in the bathroom and remove stains.
6. Remove the dark stains on the walls (from possible water intrusion from Unit 118).
7. Replace damaged bathroom vanity.
8. Obtain a building permit to properly patch damaged and previously patched sections of drywall.

Room 120:

1. **Immediately replace the missing smoke detector.**
2. Obtain a building permit to repair the deteriorated walls around the window and the bathroom ceiling showing evidence of water intrusion.
3. Replace the cracked outlet plate cover.
4. Paint the walls where there is peeling paint.

Room 121:

1. **Immediately replace the missing smoke detector.**
2. Remove the stains from the ceiling.
3. Obtain a building permit to properly install the wall mounted AC unit, repair the water damage adjacent and paint the wall around the A/C that was patched.
4. Paint the walls where there is peeling paint.
5. Repair the deteriorated wall in the closet area and by the bathroom.
6. Replace the missing ceiling light cover.
7. Repair the deteriorated wall around the bathroom window.
8. Replace the broken windowpane.
9. Obtain a building permit to install a proper shower drain and cover.
10. Replace the faulty showerhead.
11. Replace the toilet seat that does not fit.
12. Repair the damaged front door frame and locking mechanism.
13. Obtain a building permit to repair the water damaged ceiling adjacent to the entry and in the closet at the backside of the shower.
14. Obtain a building permit to properly patch the holes in the wall adjacent to the restroom.

Room 122:

1. **Immediately replace the missing smoke detector.**
2. Obtain a building permit to repair the damaged ceiling and wall at the entry to the unit and throughout the unit due to possible water intrusion. Remove stains from the ceiling by the front door and the bathroom.
3. Obtain a building permit to properly install the wall mounted AC unit and paint the wall around the A/C that was patched.
4. Replace the missing ceiling light cover and faulty overhead electrical light fixture.
5. Repair the damaged front door frame and locking mechanism.

6. Remove the graffiti from the wall heater.
7. Replace the missing ceiling light cover in bathroom.

Room 123:

1. **Immediately replace the missing smoke detector.**
2. **Immediately take all action necessary to exterminate the cockroach infestation.**
3. Replace the missing window screens.
4. Remove the graffiti from the wall.
5. Replace the missing ceiling light covers.
6. Replace the missing AC cover.
7. Obtain an electrical permit to properly install a receptacle to serve the wall mounted AC unit.
8. Repair the damaged front door frame and locking mechanism.
9. Replace the missing showerhead fixture.
10. Repair and paint the deteriorated wall where there are stains and peeling paint inside shower.
11. Replace damaged sensor light in bathroom.
12. Replace missing outlet plate cover.
13. Obtain a plumbing permit to remove and cap the unpermitted gas line at the range in the kitchen.

Room 124:

1. **Immediately replace the inoperative smoke detector.**
2. **Immediately take all action necessary to exterminate the cockroach infestation.**
3. Remove the graffiti on the wall.
4. Repair the damaged door frame and locking mechanism.
5. Obtain a building permit to repair deteriorated ceiling in bathroom due to possible water intrusion.
6. Replace the broken windowpane in the bathroom.
7. Replace the missing ceiling light cover in the kitchen.
8. Replace the damaged window frame and missing screens.
9. Obtain a plumbing permit to remove and cap the unpermitted gas line at the range in the kitchen.
10. Replace faulty showerhead.

Room 125:

1. **Immediately take all action necessary to exterminate the cockroach infestation.**
2. Replace the missing ceiling light cover.
3. Obtain a plumbing permit to remove and cap the unpermitted gas line at the range in the kitchen.
4. Repair the damaged front door frame and locking mechanism.
5. Remove the graffiti from the shower tile.
6. Obtain a building permit to repair the deteriorated wall by the shower and above the bathroom window caused by possible water intrusion.
7. Replace the cracked tile above the bathroom sink.
8. Replace the missing window screens.
9. Remove paint from exhaust cover.
10. Obtain an electrical permit to properly install the receptacle installed adjacent to kitchen entry.

Room 126:

1. Repair the damaged door frame and locking mechanism.
2. Replace damaged window screen frame.
3. Obtain a building permit to repair the deteriorated wall and ceiling in the bathroom due to possible water intrusion.
4. Replace missing ceiling light cover.
5. Repair the loose floor drain cover.
6. Obtain a building permit to repair the deteriorated ceiling and walls in the kitchen due to possible water intrusion.
7. Replace the missing ceiling light cover in the kitchen.
8. Obtain a plumbing permit to remove and cap the unpermitted gas line at the range in the kitchen.

Room 128:

1. Replace the missing window screens.
2. Replace the missing ceiling light cover.
3. Obtain a building permit to repair the deteriorated kitchen walls and address prior evidence of repairs without permits to the ceiling.
4. Remove the stains from the walls and ceiling in the bathroom.
5. Obtain a plumbing permit to remove and cap the unpermitted gas line at the range in the kitchen.

Room 130:

1. Repair the damaged front door frame and locking mechanism.
2. Remove the stains from the bathroom walls and ceiling.
3. Replace the broken windowpane.
4. Replace the missing drain cover.
5. Replace the missing window screen.
6. Remove the graffiti from the wall.

Room 131:

1. **Immediately replace the missing smoke detectors.**
2. Replace the damaged window screen frame and missing window screens.
3. Replace the missing ceiling light covers.
4. Obtain a building permit to properly install the wall mounted AC unit and paint the wall around the AC that was patched.
5. Replace the missing cabinet door in the kitchen.
6. Remove the stains from the ceiling vent.
7. Replace the missing floor drain cover.
8. Remove the stains in the shower tile and wall.
9. Damaged front door frame and locking mechanism.
10. Obtain a building permit to repair deteriorated ceiling due to potential water intrusion.
11. Obtain a plumbing permit to remove and cap the unpermitted gas line at the range in the kitchen.

Single Family House:

1. **Immediately replace the missing smoke detectors.**
2. **Immediately take all action necessary to exterminate the cockroach infestation.**
3. Paint the doors and walls where there is peeling paint.

4. Obtain a building permit to repair the water damaged wall by the bathroom.
5. Replace the missing toilet bowl lid.
6. Replace the missing window screens and window handles.
7. Replace the missing electrical outlet cover.
8. Replace the cracked shower tile.
9. Obtain a building permit to complete repairs or demolition of the patio cover that was started in 2015. Areas inside this patio cover are finished with materials not suitable for exterior rated construction and the ceiling is unfinished, exposing electrical wiring and framing to damage.
10. Obtain a building permit to properly install the wall mounted AC unit and paint the wall around the AC unit that was patched.
11. The City was not able to inspect the garage. Please ensure that this area is made available at the time of reinspection.

Office/ Living Quarters:

1. **Immediately replace the missing smoke detectors in hallway and bedrooms.**
2. Replace damaged sensor light.
3. Paint the walls where there is peeling paint.
4. Obtain a building permit to properly install the wall mounted AC units and paint the patched areas around the A/C units.
5. Obtain an electrical permit to properly install a receptacle to serve the AC units.
6. Replace the missing ceiling light covers in the bathroom, bedrooms and hallway.
7. Replace the missing window screens.
8. Obtain a building permit to repair the water damaged wall by the tub.
9. Obtain a building permit to repair the bathroom ceiling that is cracked and has peeling paint due to water intrusion.
10. Remove the dark stains from the bathtub.
11. Remove the newspaper that is covering vent.
12. Replace the missing vent cover.
13. Replace the damaged tub faucet.
14. Obtain a building permit to properly install the conduit bringing data lines into the IT area of the office.
15. Obtain a building permit to remove the unused, open ducting in the office.
16. Obtain a building permit to patch all holes in the exterior walls of the office.
17. Obtain a building permit to properly install the soffit installed in the living room for low voltage wiring and other data as well as address the patch work in ceiling adjacent to office door in living room.
18. Obtain a building permit to demolish false wall in hallway.

Room 132:

1. **Immediately replace the missing smoke detector.**
2. Replace the missing ceiling light covers.
3. Remove the stains from the ceiling.
4. Obtain a building permit to repair the water damaged wall by the shower.
5. Replace the missing overflow tub stopper.
6. Repair the loose light switch in the bathroom.
7. Replace the torn window screen in the bathroom.
8. Repair the loose toilet.
9. Paint the walls where there is peeling paint.
10. Replace the missing electrical outlet cover.

11. Remove non-compliant entry ramp to the unit.

Room 133:

1. **Immediately replace the missing smoke detector.**
2. Remove the graffiti from the walls and door.
3. Remove the dark stains from all walls and ceiling.
4. Replace the missing ceiling light cover.
5. Replace the missing window screen in the bathroom.
6. Repair the damaged bathroom door molding.
7. Obtain a building permit to repair the deteriorated wall adjacent to the shower.

Room 134:

1. **Immediately replace the missing smoke detector.**
2. Repair the holes in the wall near the television.
3. Replace the missing outlet cover by the bed and in the bathroom.
4. Obtain a building permit to repair the water damaged wall by the shower.
5. Repair the holes in the bathroom door.
6. Replace the cracked bathroom mirror.
7. Remove the graffiti from the walls.
8. Replace the missing bathroom window screen.
9. Replace the missing overflow tub stopper.
10. Repair the damaged door frame and locking mechanism.
11. Replace the missing ceiling light cover.
12. Replace the cracked light switch cover.
13. Replace the missing outlet cover plate in the bathroom.

Room 135:

1. **Immediately replace the missing smoke detector.**
2. Remove the graffiti on the wall and the mirror.
3. Paint where there are areas of patched walls.
4. Replace the missing AC cover.
5. Replace the missing ceiling light cover.
6. Obtain a building permit to repair the water damaged wall by the tub.
7. Replace the missing window screen.
8. Repair the damaged front door frame and locking mechanism.

Room 137:

1. **Immediately replace the missing smoke detector.**
2. **Immediately take all action necessary to exterminate the cockroach infestation.**
3. Remove the stains from the walls, bathtub, and toilet.
4. Secure the loose coaxial cable and cover.
5. Repair the loose sensor lights in the bathroom.
6. Replace missing window screen.

Room 138:

1. **Immediately replace the missing smoke detector.**
2. Remove the graffiti from the picture frame, TV, and walls.
3. Replace the missing ceiling light covers.
4. Replace the missing and torn window screens.
5. Remove the stains around the tub.

6. Obtain a building permit to repair the water damaged wall around the tub.
7. Paint the walls where there is peeling paint and patched.
8. Replace sensor light with missing cover.

Room 139:

1. **Immediately replace the missing smoke detector.**
2. Paint the walls where there patched.
3. Remove the graffiti from the walls.
4. Obtain a building permit to repair the deteriorated wall around tub.
5. Replace the missing window screen.
6. Replace the missing overflow tub stopper.
7. Obtain a building permit to properly install the wall mounted AC unit.

Room 140:

1. Replace the cracked mirror in the bathroom.
2. Repair the hole in the bathroom door and cracked door molding.
3. Replace the missing window screen.
4. Obtain a building permit to repair the water damaged wall around the toilet.
5. Replace the faulty showerhead.
6. Replace the missing tile in the bathtub.
7. Remove the graffiti from the wall.
8. Repair the damaged front door frame and locking mechanism.
9. Paint walls that are patched.

Room 143:

1. Repair the damaged front door molding and locking mechanism.
2. Remove the stains from the walls, closet, bathroom ceiling, and bathtub.
3. Replace the broken window in the bathroom.
4. Replace the missing window screen.
5. Remove the graffiti from the wall.

Room 144:

1. **Immediately replace the missing smoke detector.**
2. Replace the missing floor molding (from the removed wall heater).
3. Replace the broken bathroom window.
4. Paint the walls in the bathroom and the front door that are patched.
5. Replace the missing bathroom mirror.
6. Repair the loose toilet.
7. Repair the loose toilet paper holder.

Room 145: Incomplete inspection due to room spray for roaches

1. **Immediately replace the missing smoke detectors.**
2. **Immediately take all action necessary to exterminate the cockroach infestation.**
3. Replace the missing ceiling light cover.
4. Obtain a building permit to repair the water damaged walls around the accessible tub.

Room 147:

1. **Immediately repair the inoperative smoke detector.**
2. Repair the damaged door frame and locking mechanism.
3. Repair the faulty ceiling light.

4. Replace the missing ceiling light cover.
5. Remove the stains on the walls.
6. Obtain a building permit to repair the water damaged wall by the tub.
7. Replace the missing window screen.
8. Replace the missing outlet cover plate.

Laundry Room:

1. Replace the broken window.
2. Obtain the services of a licensed plumber to verify the integrity and working order of the water heater in the laundry room. Damage visible to water piping and unable to verify if the water heater is designed to be placed directly on the floor. Vent does not appear to run continuously through the roof.
3. A building/plumbing permit may be required to replace the water heater.

Storage Room:

1. Obtain a building permit to repair the vehicle impact damage to the exterior wall of the storage room. A licensed, California registered design professional will need to prepare the plans for submittal.

This is an official notice that will serve as your first notice to abate the violation(s). A re-inspection is scheduled on **November 19, 2024, at 10:00 a.m.** to ensure all corrections/repairs have been completed.

If you would like to discuss any of the violations or corrections referenced in this notice, please feel free to contact me at (714) 562-3627. Thank you for your cooperation and prompt attention to this matter.

Sincerely,



Ernestine Zapien
Code Enforcement Officer

EZ: sd

C.C. Coral Motel
7891 Whitaker St.
Buena Park, CA 90620

BUENA PARK

AUTO CENTER SPECIFIC PLAN



BUENA PARK AUTO CENTER SPECIFIC PLAN

Adopted by Ordinance No. 1347 On April 7, 1997

Amended by Ordinance No. 1356 On November 3, 1997

Amended by Ordinance No. 1377 On September 22, 1998

Amended by Ordinance No. 1430 On August 13, 2002

Amended by Ordinance No. 1465 On February 22, 2005

Amended by Ordinance No. 1487 On July 11, 2006

Amended by Ordinance No. 1549 On November 9, 2010

Amended by Ordinance No. 1555 On April 10, 2012

Amended by Ordinance No. 1578 On September 23, 2014

BUENA PARK AUTO CENTER SPECIFIC PLAN

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	Ordinance No. 1555	
	Ordinance No. 1578	

EXECUTIVE SUMMARY

The concentration of auto dealers in Buena Park occurred primarily along the I-5 Freeway, starting in 1961 through the present with the newest dealer relocating to the Auto Center in 2005. In order to maintain its unique benefits and its economic viability to the community, the Auto Center Specific Plan was conceived and prepared.

Encouraging appropriate uses and other measures is vital to maintaining and improving the economic health of the community. Keeping that in mind, the City and auto dealers met to discuss and prepare a plan that would create an area of increased opportunity for sales and leasing of vehicles.

Unifying Concepts

Attracting customers is the primary goal of any auto dealer. In order to accomplish that, individual auto dealers have located nearby each other to capitalize upon combined drawing power. This plan outlines the necessary components to bringing customers to a place where there are several choices for the purchase of a vehicle.

The components creating that destination point are the following:

- Landscape and Streetscape

Using Washingtonia Robusta (Mexican Fan Palms) as the main theme, identifies the Buena Park Auto Center. This creates a statement that can be seen from a distance attracting the motorist from the freeway or from Beach Boulevard. The theme is augmented by the use of other palms species, low shrubs and ground cover, keeping in mind the visibility necessary for the successful operation of a dealership.

- Signage

Consistent signage including directional signs, electronic message centers, and “trail blazer” signs will help unify the area and will assist the customer in identifying the Auto Center and dealership services.

- Building Color

All of the structures currently along the Auto Center Drive Corridor were developed with their own unique features and architectural style. Binding those components together with a similar color begins the unifying elements that each individual building creates. As each dealership improves its site, or where new construction occurs, there is an opportunity to encourage this component of the plan.

- Corner Identification Pads

As each corner in the Auto Center Drive Corridor develops or remodels, dealers will be encouraged to install additional signing that identifies the Buena Park Auto Center while at the same time providing an additional pad for vehicle display.

Each component alone would not achieve the destination point this plan is attempting to promote, but together, all the components would make a difference in the ambiance and stability of the district.

This plan also speaks to a former dealership site at Orangethorpe Avenue and Western Avenue and an auction business located on Knott Avenue. Where both smaller sites are viable to continue in the former or current operation, this plan considers the potential for one or each of the sites to be replaced with other than auto related uses. Keeping this in mind, the plan allows for alternate development. Additionally, in 2005, the Specific Plan was amended to include an approximately 23 acre site located at the northwest corner of Artesia Boulevard and Rostrata Avenue, which was the formerly occupied by Nabisco. The site has the potential for the development of auto dealerships as well as a regional shopping center, or a mix thereof.

These unifying elements, design guidelines and implementation strategy will provide a method of accomplishing the goals defined in this plan. The overall objective is the continuation of the success of the Buena Park Auto Center and its move into the next century.

SECTION I. INTRODUCTION

Encouraging appropriate uses, with associated other measures, is vital to maintaining and improving the economic health of the community. Buena Park exists as a fully developed city with a population of approximately 80,600 persons. Very little vacant land remains that is suitable in size for major developments. With the exception of the Nabisco site, the few large parcels that were in existence at the conception of the Auto Center Specific Plan have been occupied by new auto dealerships that have established within the Specific Plan area. However, there still remains the opportunity for the consolidation of the remaining smaller parcels to create viable land area for additional auto dealerships.

The City's General Plan maps the direction the City will take in relation to its development and balances that with the continued high expectation of the quality of life for its residents. The following goals established in the Buena Park General Plan outline the focus and direction of this Specific Plan:

Goal 1 of the City's General Plan states "Ensure that proposals for development and redevelopment are compatible with existing development and promote and enhance the quality of life in the City."

General Plan Policy 1.8 identifies the City's intent in accomplishing this goal is to "promote business retention and expansion to ensure the City's economic vitality is maintained."

Response:

This is reinforced by this Plan in detailing the necessary components to accomplish this task specifically dealing with issues within the Auto center and the two non-contiguous sites.

Goal 3 states: Preserve and enhance the existing commercial areas and, where appropriate, expand commercial opportunities to serve the needs of residents and visitors.

Supporting this goal is policy 3.8 which states: "Continue to promote and expand auto dealerships and supporting commercial activities as part of a new Auto Dealership Specific Plan area." This is further supported by Policy 3.13 which states: "Encourage shared parking and enhanced vehicular and pedestrian access among properties within districts which exhibit existing unequal distribution of parking and access in order to promote the viability of the whole district."

Response:

The City's Redevelopment Agency is continuing its efforts to retain existing auto dealers and market vacant sites to new dealerships.

The lack of pedestrian connections between auto dealerships is evident by the current configuration of parking accommodations. The opportunity for on-site parking is limited at each dealership and the ability to provide cluster parking for customers visiting more than one dealership is non-existent. Along with these policies, this Plan would assist in providing a remedy for this condition.

The City maintains a strong economic base linked to tourism, warehousing, manufacturing, and commercial, including automobile dealerships and the Buena Park Mall. Continued expansion of the economic base relies upon an expansion of some existing uses and the ability to encourage appropriate new uses. Attracting quality land uses on the remaining vacant parcels in the Specific Plan area, through new development, consolidation, and other measures is vital to maintaining and improving the economic health of the community.

Organization and Contents

The Specific Plan is organized into eight (8) separate sections. The first section is the Introduction. This section introduces the document, ties it to the City's General Plan and explains the intent and purpose of the plan. Section II describes the Land Use, Zoning and physical setting of the Auto Center properties. Section III explains the issues within the Specific Plan area and sets forth the policy framework. These policies establish the City's philosophy towards the Auto Center. Section IV focuses on Design

Guidelines for the Public Right-of-Way improvements. Section V states the land uses permitted within the various sub-districts of the Specific Plan. Section VI contains the development standards for the Specific Plan area which are needed to accomplish the goals, objectives, and policies. This section also contains development standards for public and private buildings. Section VII includes the land use plan map which identifies and describes the distribution of land use categories in the Auto Center. The Specific Plan concludes with Section VIII, which is an evaluation of the implementation program or action plan needed to achieve the goals and policies of the plan.

A. INTENT OF THE SPECIFIC PLAN

The idea of the Auto Center Specific Plan is a result of the type of development that has occurred and continues to occur along Auto Center Drive (formerly Manchester Boulevard) and the Santa Ana (5) Freeway. In 1994 the City undertook a comprehensive General Plan Amendment, which recognized the development path taking place along Auto Center Drive.

The physical locations of the I-5 and 91 Freeways provide a “natural” location for the auto area, with its high visibility, easy accessibility and its ability to draw from the regional economy.

Development of auto dealerships evolved over a period of years without an orchestrated plan of action. Although, the City and the Redevelopment Agency are successful in maintaining existing dealerships as well as attracting new dealers, the lack of a

coordinated development plan for the area constrains its economic and development potential. In response, the City and community, in 1981, designated the area as a Redevelopment Project Area. The adoption of a Redevelopment Plan calls for programs and actions addressing the area's needs. In addition, through a comprehensive amendment to the City's General Plan, more definite policies were set in place that called for the creation of an Auto Center Specific Plan. Its intent is to foster development of new auto dealerships and appropriate support uses. Further, with a subsequent amendment to the City's General Plan, the Auto Center Specific Plan land use designation was extended along Auto Center Drive west of Beach Boulevard to Artesia Boulevard in order to offer new dealership opportunities along the freeway corridor. All new dealerships interested in locating within this area will enjoy the same development opportunities that the other dealerships enjoy. Additionally, due to the area's size and configuration and so as not to limit the development potential of the area, the Specific Plan also allows the development of a large commercial office park or retail center as a permitted use that would complement the Auto Center.

B. PURPOSE OF THE SPECIFIC PLAN

Specific Plans are among the most powerful planning tools authorized by the California Government Code. Specific Plans are typically used for areas of special concern. For example, where unusual mixes of uses exist or where there are special environmental, economic or social conditions that should be addressed. Where conventional zoning can cover a broader set of issues, Specific Plans are more detailed. In areas where joint public-private effort is needed, specific plans are better able to coordinate the

regulations governing private development with plans and ideas for public improvements.

The value of a Specific Plan is its adaptability to unique problems and issues. Specific Plans allow a local agency to tailor the plan to the particular needs of the study area. Moreover, Specific Plans establish a comprehensive approach to planning and development issues by integrating community goals and policies, development standards, and capital improvement needs under one document. This approach assures consistency and compatibility in the administration and implementation of the document. The comprehensive nature of the Specific Plan combined with its orientation to localized conditions makes this document a very useful and effective planning tool.

C. LEGISLATIVE HISTORY AND AUTHORITY

Section 65450 of the California Government Code allows local governments to prepare Specific Plans for the “systematic implementation” of the General Plan. In this context, the Specific Plan is a tool used to implement the provisions of general plan goals and policies. The Government Code establishes certain minimum requirements that must be addressed in a Specific Plan. These include a text and diagram that specify all of the following in detail:

1. The distribution, location and extent of the uses of land including open space within the area covered by the plan.
2. The proposed distribution, location and intensity of major components of public and private infrastructure and other essential facilities needed to support the land uses described in the plan.
3. Standards and criteria by which development will proceed and standards for the conservation, development and utilization of natural resources where applicable.
4. A program of implementation measures including regulations, programs, public works projects and financing measures necessary to carry out the provisions of the preceding three paragraphs.

D. SPECIFIC PLAN BOUNDARIES

The Specific Plan area is divided into two separate districts. The largest district comprises the core area of the Specific Plan and consists of three Sub-Districts – A1, A2, A3, and A4. The Sub-Districts labeled B1 & B2 comprise two non-contiguous properties (see Section VII: LAND USE MAP).

The core of the Specific Plan, Sub-District Areas A1, A2, A3, and A4, is situated along the north and south sides of Auto Center Drive between Beach Boulevard and Dale Street, the south side of Auto Center Drive between Beach Boulevard and Western Avenue, the area located between Artesia Boulevard and the Santa Ana (5) Freeway west of Western Avenue, as well as the northwest corner of Artesia Boulevard and Rostrata Avenue. It also includes the northwest corner of Beach Boulevard and Commonwealth Avenue.

Sub-District A1[†] is located on the south side of Auto Center Drive, from Western Avenue, crossing Beach Boulevard and Stanton Avenue, to the I-5 Auto Center Drive off-ramp. It also includes the north side of Auto Center Drive between Stanton Avenue and Dale Street; two parcels on the north side of Tenth Street, approximately 131 ft. west of Idaho Street; two parcels on the west side of Dale Street, approximately 100 ft. south of Montana Avenue; five parcels located on the southwest corner of Tenth Street and Idaho Street, extending southerly to Montana Avenue; and five (5) parcels located on the northwest corner of Tenth Street and Idaho Street, extending north

[†] Amended by Ordinance No. 1555

to the Idaho Street cul-de-sac.[†] Additionally the area includes a six (6) acre non-contiguous parcel located approximately ¼ mile to the north at the intersection of Beach Boulevard and Commonwealth Avenue.

Sub-District A2 is located on the north side of Auto Center Drive, between Beach Boulevard and Stanton Avenue. This area also includes properties on the west side of Homewood Avenue and the east side of Beach Boulevard, south of Seventh Street. The parcels on Beach Boulevard consist of small retail or service businesses that are in constant turn-over. One of the reasons for this is the lack of parking as well as a lack of circulation for its customers. Traffic speeds on Beach Boulevard impede customers from slowing down to read signs or find access to parking areas. For these reasons the parcels on Homewood Avenue would, at sometime in the future, provide the necessary land area to make the area more viable for business opportunity. Since there is no potential for the Redevelopment Agency to utilize its eminent domain powers in this area at this time, sites will probably remain in their current conditions until such time as economics encourage consolidation of properties.

The intention of providing support to the businesses along Beach Boulevard is clearly stated through previous and current zoning. Prior to 1994 zoning on Homewood Avenue was RS-6P. The “P” designation allowed an alternate permitted use of parking lot. Parcels on Homewood are now zoned Commercial General (CG), consistent with the intention of continuing support for businesses located along this portion of Beach Boulevard.

[†] Amended by Ordinance No. 1430

Also, within the boundaries of Sub-District A2 are properties that maintain their access from Whitaker Street. At the present time Whitaker Street is accessed from Stanton Avenue. There are five (5) parcels that are included within the boundaries which could be part of the new development and/or expansion of a dealership along with the potential vacation of the street.

Sub-District A3[†] comprises all properties located within a triangular shaped area bounded by the Santa Ana (5) Freeway to the south, Artesia Boulevard to the north, and Western Avenue to the west with the exception of an apartment complex located on the southwest corner of Western Avenue and Artesia Boulevard. The properties within this area gain access from a variety of streets that include Fourth Street, Mission Street, Botryoides Avenue, Auto Center Drive, Artesia Boulevard, and Western Avenue. The plan, furthermore, provides for the potential vacation of portions of Auto Center Drive and the entirety of Fourth Street and Mission Street within this sub-district.

Sub-District A4^{††} comprises the approximately 23 acre site that was formerly occupied by Nabisco and is located at the northwest corner of Artesia Boulevard and Rostrata Avenue. The site is also bounded by Firestone Avenue, which runs along the southwest corner of property, between the subject site and the Santa Ana (5) Freeway. Access to the site is gained from both Artesia Boulevard and Rostrata Avenue. The subject site maintains visibility from the Santa Ana (5) Freeway and with the reconfiguration of the off-ramp that currently runs along the west side of the CarMax

[†] Amended by Ordinance No. 1555

^{††} Amended by Ordinance No. 1487

auto dealership, the site will have freeway access from the Santa Ana Freeway off-ramp.

The Plan also incorporates Sub-Districts B1 and B2. These are two non-contiguous sites located at the northwest corner of Western and Orangethorpe Avenues (the previous Toyota site) and the northwest corner of Noritsu Drive and Knott Avenue.

SECTION II: LAND USE, ZONING AND PHYSICAL SETTING

A. LAND USE AND ZONING

The General Plan designation for all properties within the Specific Plan area is Commercial, except for property within Sub-District B1 which is Commercial service. The previous zoning was CG (Commercial General), except within Sub-District B1 where the zoning was CM (Commercial Manufacturing) and Sub-District A4, which was zoned ML (Light Industrial).

In Sub-District A1[†], nine (9) auto dealerships make up the majority of uses, together with one (1) 16–unit apartment complex and a variety of retail uses. The 16-unit apartment complex is located on the west side of Dale Street. The retail uses include auto related uses, a liquor store, offices and a restaurant. These uses are located on the south side of Auto Center Drive between Santa Ana (5) Freeway on/off-ramp and Western Avenue. This Sub-District also includes a parcel located at the northwest corner of Beach Boulevard and Commonwealth Avenue, which is home to Ken Grody Ford.

Sub-District A2, includes the Coral Motel, the Copper Barrel Motel/Restaurant, four (4) commercial-retail buildings fronting Beach Boulevard, older retail structures located on the north side of Whitaker, an auto stereo sales and installation business and a tire sales and installation shop. This sub-district also includes seven (7) properties used for residential purposes. The Central Business District Project Area Plan and Project Area

[†] Amended by Ordinance No. 1555

Plan II, prepared for the Redevelopment Agency, identifies the area as transitional, to accommodate future parking for commercial/retail establishments located on Beach Boulevard. Formerly zoned RS-6P (Residential-Single Family-6000 square feet minimum lot size with a parking overlay) there are seven (7) properties on Homewood Avenue, where the land use remains residential. A Zone Change, in 1994, zoned the property to CG (Commercial General). That action established consistency between the Redevelopment Project Area Plan and the Specific Plan boundaries creating legal non-conforming properties.

Sub-District A3[†] includes the 14 acre CarMax auto dealership, vacant retail buildings, Texaco and Union 76 gas stations, auto related uses, residential structures, various commercial developments, and property owned by Caltrans which is periodically used for the storage of plants and trees.

Sub-District A4^{††} is currently undeveloped, but was previously occupied by the Nabisco manufacturing and distribution business.

Sub-District B1 consists of three parcels, including structures that are currently used by a used auto dealership which are currently zoned Commercial Manufacturing (CM).

Sub-District B2 is the site of General Auction Company, an auction business. This completes the remaining Specific Plan area.

[†] Amended by Ordinance No. 1555

^{††} Amended by Ordinance No. 1487

PHYSICAL SETTING

Sub-Districts A1, A2, A3 and A4:

Vehicular Circulation

The proximity of the I-5 Freeway is the major marketing tool for auto dealers on Auto Center Drive. Both off-ramps, at Beach Boulevard and Auto Center Drive, become the primary roadway providing access to the auto dealers. Other access points to the Auto Center are Beach Boulevard (Highway 39) and Stanton Avenue. Due to the location and the design of the Santa Ana Freeway off-ramp, westbound traffic along this portion of Auto Center Drive tends to be faster than is optimum for visibility and marketing purposes. However, Caltrans plans is widening the I-5 Freeway and redesigning the Auto Center Drive off-ramp. In addition, Caltrans has modified the I-5 off-ramp at Botryoides and the on and off-ramps at Beach Boulevard.

As part of the freeway widening, Caltrans has closed the Auto Center Drive on-ramp to the freeway, east on Stanton Avenue and redesigned the off-ramp at Auto Center Drive, east of Stanton Avenue, as well as improved access from Beach Boulevard by adding a right-turn lane at Auto Center Drive.

Installation of a left turn movement will take place at the intersection of Stanton Avenue at Auto Center Drive. The City's General Plan and Circulation Element identify

improvements of traffic patterns at this intersection. With the changes to the freeway and Stanton Avenue, pedestrian circulation will also improve.

The Circulation Element of the General Plan previously identified Auto Center Drive and the portion of Artesia Boulevard between Auto Center Drive and Valley View Street within the A1 Sub-District as Primary Arterial Highways. The Orange County Master Plan of Arterial Highways also identified Auto Center Drive as a Primary Arterial Highway between Artesia Boulevard and Commonwealth Avenue. Due to the low traffic volumes on Auto Center Drive within this area, the designation as a Primary Arterial Highway was no longer warranted. Furthermore, the development of the CarMax Auto Dealership involved the closure of Auto Center Drive between Artesia and Western. Vehicular traffic was re-routed along Western Avenue and Artesia Boulevard. Due to the closing of Auto Center Drive between Western Avenue and Artesia Boulevard, Manchester was removed from the Orange County Master Plan of Arterial Highways as well as removed from the City's General Plan as a Primary Arterial Highway.

Other potential street closures within the A1 Sub-District include Mission Street and Fourth Street, which service properties within the Specific Plan area.

Parking

Current physical conditions in the Core area (Sub-District A1, A2, A3, and A4) do not encourage easy pedestrian movement between dealerships. Due to constraints caused

by existing businesses, and impacts of the I-5 Freeway, off-site parking is at a premium. Each of the dealers now offers customer parking for its visitors. This could be improved with the creation of small off-site parking areas scattered throughout the core Auto Center area and also through clear identity of on-site customer parking areas. Combined, these could help foster pedestrian activity between dealerships. Exhibit A shows this potential by placing a parking area along Auto Center Drive. Another benefit of off-site customer parking pockets is to release some of the designated customer parking on each lot for additional display of new or used cars. Each dealer will benefit, since allocation of new vehicles is based upon the size of the dealership. Clear visibility of parking areas using signage throughout the corridor will help the customer find his/her way.

Landscape Features

Consistent landscape treatment throughout the Specific Plan area is currently limited. The use of palm trees is the only identifiable feature shared by the majority of dealerships. The street trees consist of older Sycamores and various species of Palm Trees planted within the tree-wells adjacent to the curb. A few Ficus trees are used within the median strips.

Currently there are no requirements limiting the palette of landscape materials within the Specific Plan area. Therefore, one is being proposed (see Section V). Due to the

unique nature of the auto related uses, certain landscape materials are not desirable. Visibility of the showroom and cars is critical.

Sub-Districts B1 and B2:

The main roadways that border Sub-District B1 are Orangethorpe and Western Avenues. There are no changes in the circulation anticipated at this location. The streets and intersections are improved to their ultimate widths. The site occupies three separate parcels that were leased together to accommodate the former location of Toyota of Buena Park. The buildings on the site were developed as an integrated project and is currently occupied by a used car dealership.

While the present lot lines and ownership pattern may not encourage a single user, it is in the best economic interest of the community that the lots in Sub-District B1 remain combined to promote a single auto dealership or development. This approach is consistent with previous discretionary action taken by the Buena Park Planning Commission, which approved separate parcels to perform as one for its use as a dealership.

Other activity that might be proposed for development on the site may require extensive remodeling of existing buildings, or their removal, and construction of new buildings. The potential exists through this plan for development within this sub-district of uses that are retail in nature.

The same conditions exist in Sub-District B-2 where the sub-district is located south of the main intersection at Knott Avenue and Orangethorpe Avenue. This is a single parcel previously occupied by a Recreation Vehicle dealership and is currently occupied by an auction business. It is possible that this parcel could develop, in the future, with a retail user. Considering the proximity of the dealership to the freeway, it is unlikely that this parcel would recycle to retail except for a “big box” user that would also take advantage of the freeway exposure. Once again, it would be most beneficial to the City of Buena Park that this site remain with its current or similar use or where all the parcels are used in conjunction with each other.

SECTION III: GOALS, OBJECTIVES, AND POLICIES

The City's General Plan serves to establish goals, objectives and policies to accomplish certain tasks. The goals, objectives and policies that follow are intended to pertain to the business community as a whole and the Auto District specifically.

The function of this section of the plan is to establish the foundation for the regulatory section of the plan. Examining the components contained in this Specific Plan and the City's General Plan will clarify the intent of the City Council as to development and requirements for districts A and B. The section serves as a reference point in determining the intent of the plan and assuring its consistency with Buena Park's General Plan. The major issues and direction for this section of the Specific Plan were taken from the Buena Park General Plan and Project Area I CBD (Central Business District) Redevelopment Plan.

Definition

The definition of **“goals”** and **“objectives”** relate only to conditions, not actions. **“Policies”** relate to actions. In order to understand how overall guidance is translated into direction for this particular area, the following terms are used:

Goals: A general statement of desired future condition toward which effort is directed.

Objectives: A specific statement of desired future condition.

Policy: Organized set of actions or activities carried out to achieve desired objectives. This is the level at which action is specified. In situations of public/private partnership and approaches to local problem solving, the City/Redevelopment Agency may:

1. Undertake all necessary actions to achieve a particular goal and/or objective; or
2. Undertake part of the necessary action for achievement of a goal and/or objective, providing incentives for outside contributions.

Policies identified in this plan include responsibilities that may be assumed by both the City of Buena Park and private parties interested in the development of the Auto Center Specific Plan area.

Goals

1. Create a unified Auto Center through design, landscaping and infrastructure improvements.

Objective:

- a) Establish the cooperation and coordination of the participants in the development and operation of the Auto Center commercial area;
 - b) Establish design parameters relating to buildings, landscaping, signage, and infrastructure improvements to enhance the appearance of the area;
 - c) Protect and enhance the natural, social, and physical attributes of the development areas so as not to detrimentally affect adjacent existing developments.
2. Promote an economic balance and well-being of the Auto Center Specific Plan through complimentary commercial uses and employment opportunities.

Objective:

- a) Establish a regional automobile shopping center with ancillary and coordinated commercial sales and services;
- b) Establish a long-range plan and on-going source of economic strength to the community in terms of employment, government revenue, and recreational activity.
- c) Establish the framework for a large-scale retail center within the A3 and A4 Sub-Districts to compliment the Auto Center.

3. Ensure a safe and efficient circulation system to serve both pedestrian and vehicular needs by promoting a visually pleasing, positive, and cohesive image of public facilities and private business.

Objective:

Establish innovative and quality site planning using architectural design to maintain a prosperous, marketable and specialized commercial complex.

4. To create a viable and organized retail opportunity at Beach Boulevard between Auto Center Drive and Seventh Street.

Objective:

To assist property owners utilizing the available zoning, supporting the creation of quality business along Beach Boulevard that could be combined with parcels on Homewood Avenue.

Policies

In order to accomplish compatible and coordinated development of the Auto Dealership Specific Plan area, the following policies are established:

1. The architecture and design of the dealerships, developments, and streetscapes shall provide an attractive environment to pedestrians and motorists while providing a visual and acoustical buffering between the Specific Plan area and

adjacent developed areas. This would avoid visual and audible intrusions into the surrounding community.

2. Design and control of pedestrian links and vehicular circulation shall be coordinated in order to provide safe and convenient access to all facilities within the area. Integration of individual elements, such as pedestrian walkways and the use of decorative paving at Beach Boulevard, Auto Center Drive, Stanton Avenue and Dale Street shall be encouraged.
3. Buildings, landscaping, and site improvements shall be linked to comprise a unified motif throughout the Specific Plan area. Aesthetically pleasing entrances to the Specific Plan area shall be established through the implementation of a consistent design statement and development standards that are compatible with areas surrounding the Specific Plan area.
4. Automobile storage facilities shall be enhanced by the generous use of landscaping which shall enhance the appearance and character of the entire development.
5. Signs, including ground and pole sign installations, directional signs and electronic message center signs are governed and controlled through the Specific Plan.

6. Ancillary uses shall be integrated into the plan provided that such facilities support the design, efficiency, and feasibility of the overall Specific Plan.
7. High standards of development shall be applied to realize the unique potential of the area, to attract desirable commercial establishments, and to provide a desirable environment for surrounding residents.
8. Properties within Sub-District B1 and B2 not contiguous with the core area of the Specific Plan shall be developed consistent with the goal and policies established for the Auto Center.
9. The maximum degree of flexibility, consistent with the type of development and protection desired shall be provided in order to encourage imaginative design and management.
10. Retention of ownership in larger parcels and further combination of parcels for large-scale development shall be encouraged.

SECTION IV: DESIGN GUIDELINES

Continuity of design is an essential feature of successful shopping areas throughout Southern California. This trend is no different for an auto center, thus creating a coordinated appearance of the dealerships while maintaining a separate identity.

The design guidelines are written to define the desired physical image of the Auto Center Specific Plan area. Its purpose is to provide a vision that includes all components of the Center be assembled to encourage both public and private improvements. Specific improvements within the public areas that will tie it together are discussed within this section and include the following:

- Parkway and Median Landscape represents the single most important design statement to unify the area and provide continuity to the streetscape (see Parkway and Median Landscaping, page 54-55).
- Design treatments at major entrances are considered essential in order to highlight the Center and to lead the maximum number of buyers past all of the dealerships (see Exhibit B). The entrances will indicate arrival at a “shopping center” for automobiles by the use of directional signs. Directional signs and major identification signs, similar architectural features and colors, create this sense of arrival for its customers.

- Corner identification pads will offer the dealer an additional opportunity for display of a vehicle (see Exhibit C). The purpose of the corner pad is to serve two functions. One is for display as mentioned above, the other function of the pad is for the opportunity to identify the Buena Park Auto Center on the face of the pad. As each corner in the Auto Center Drive Corridor develops or remodels, each dealer would install the display/sign pad for the site.
- “Trail Blazer” signs are those which identify the route to the Auto center. They are generally placed within the public Right-of-Way and a pre-set span to lead the potential customer toward the dealer(s).

The westbound Auto Center Drive off-ramp, of the Santa Ana (I-5) Freeway, tends to create high traffic speeds in this corridor. In an effort to slow traffic, the use of architecture, landscaping, and decorative paving is an invitation to customers as well as a psychological message that says “this is the time to slow down.”

The Caltrans construction of the new Auto Center Drive off-ramp and the signalization of the intersection at Auto Center Drive and the freeway off-ramp resulted in the decrease in traffic speeds as cars exit the I-5 Freeway. The ultimate goal is slowing down the vehicles exiting the freeway. Additionally, potential redesign of the Auto Center Drive/Botryoides exit from the I-5 Freeway and Beach Boulevard on and off ramps will improve overall circulation within the area. Together the City

of Buena Park and Caltrans will create a more inviting environment for the movement of pedestrians throughout the Auto Center.

Common features that relate to the entire Specific Plan are listed within Section VI, Development Standards. Typically these regulations apply to general concepts that hold true over the whole Auto Center area. These general provisions and standards include site planning architecture, landscape architecture, lighting, parking, and details that support the overall theme.

Since Sub-Districts B1 & B2 are not in close proximity to Auto Center Drive, and have different issues surrounding them, no streetscape design standards have been proposed for these areas.

SECTION V: PERMITTED USES

Land, buildings, and other facilities shall be designed, developed, and used only for those activities for the various zones by the following land use list of uses.

SUB-DISTRICT A1

AUTOMOBILE DEALERSHIP SITES

PERMITTED USES:

Public Services:

- Flood Control channel and facilities, utility corridor.

Vehicle Sales[†]:

- New sales/lease of autos and trucks not exceeding 3 tons gross vehicle weight unladen. ⁽³⁾
- Used sales/lease of autos, motorcycles, trucks, boats, and trailers. ⁽⁴⁾
- Used sales/lease of trucks exceeding three tons gross vehicle weight unladen, and trailers over two-ton carrying capacity. ⁽⁴⁾

USES REQUIRING A CONDITIONAL USE PERMIT:

Public Services:

- Cellular telephone facilities (not as primary use).

Commercial:

- New sales/lease of motorcycles.
- New sales/lease of trucks not exceeding 3 tons gross vehicle weight unladen and trailers up to 2 ton carrying capacity.
- Parking lot. ⁽¹⁾
- Parking Structure. ⁽¹⁾
- Electronic Message Center Sign

ASSOCIATED USES:

Private Business Services:

- Child day care center.

Commercial Uses:

- ATM, loan processing.
- Business, administrative, professional offices.
- Sales of art or publications related to permitted use.
- Shoe shine kiosk.
- Key shop kiosk.
- Gifts, souvenirs (related to permitted use).

Vehicle Rental and Service:

- Automobile rental agency.
- Mechanical car wash.

Storage++:

- Below-grade fuel with less than 500 gallon capacity.

ASSOCIATED USES REQUIRING A CONDITIONAL USE PERMIT:

Public Service Uses:

- Radio, television, microwave transmitters.
- Aviation navigational aids.

Vehicle Related Sales, Service, and Repair:

- Retail sales of auto parts or accessories.
- Auto window tinting.
- Machining or repair of auto parts or accessories.
- Tires, retail sales and/or installation for vehicles.
- Repair and/or service of vehicles not exceeding 3 tons gross vehicle weight unladen.
- Repair and/or service of motorcycles only in conjunction with sales of new and used motorcycles.

Storage++:

- Above grade fuel storage tanks not located within a building. Must comply with setbacks and be screened from view. First installation on-site may be granted under the Interdepartmental Review procedure.

Private Business Services:

- Private recreation facility.

TEMPORARY USES:

Temporary uses as provided in Title 19, Division 10:

The below uses are subject to the Temporary Use Code procedures within Title 19, Division 10.

- Parachute drop, hot air balloon rides, searchlights, etc.

- Temporary trailers. Temporary trailers may be permitted for an office and/or storage use of a related existing use on a property under the following criteria.
 - For no more than two trailers and for a period not exceeding one year, the Director may authorize approval pursuant to the provisions of this Chapter.
 - For more than two trailers and/or a period exceeding one year, the Planning Commission may authorize approval under the conditional use permit procedure of Section 19.128.020 of the City's Zoning Ordinance.
 - This Section shall not apply to temporary construction trailers and real estate offices which may be authorized under various other sections of this Title.
 - Special event sales and promotions (including banners and non-permanent signage) shall be permitted for auto dealerships only.

Notes:

- ⁽¹⁾ Must be in conjunction with a car dealership or group of dealerships as a support use.
- ⁽³⁾ Minimum showroom size of 2,000 square feet.
- ⁽⁴⁾ Minimum showroom size of 7,000 square feet.
- [†] Amended by Ordinance No. 1555
- ^{††} Amended by Ordinance No. 1465

SUB-DISTRICT A2

NORTH SIDE OF AUTO CENTER DRIVE AND
SOUTHEAST CORNER OF STANTON AVENUE AND AUTO CENTER
DRIVE.

PERMITTED USES:

Public Services:

- Flood Control Channel and facilities, utility corridor.

Vehicle Sales:

- New sales/lease of autos, or trucks not exceeding three tons gross vehicle weight unladen. ⁽³⁾

USES REQUIRING A CONDITIONAL USE PERMIT:

Public Service Uses:

- Cellular telephone facilities (not as primary use).

Commercial Uses:

- Full-service hotel, motel.
- Restaurant (may include drive-in, drive-through or walk-up service (19.552.070), entertainment (5.24), and on-sale liquor (19.552.030).
- Parking lot. ⁽¹⁾
- Parking structure. ⁽¹⁾

Vehicle Sales:

- New sales/lease of motorcycles and trailers up to two-ton carrying capacity.

Vehicle Related Sales, Service, and Repair:

- Retail sales of auto parts or accessories.
- Auto window tinting.
- Machining or repair of auto parts or accessories, not including tires.
- Tires, retail sales and/or installation for vehicles.
- Repair and/or service of vehicles not exceeding three tons gross vehicle weight unladen.
- Repair and/or service of motorcycles only in conjunction with sales of new and used motorcycles.
- Mechanical car wash.
- Automobile service station (with or without mini-mart), tune-up shop, quick lube shop.

Vehicle Rentals:

- Automobile rental agency.

ASSOCIATED USES:

Private Business Services:

- Child day care center.

Commercial Uses:

- ATM, loan processing.
- Business, administrative, professional offices.
- Sales of art or publications related to permitted use.
- Shoe shine kiosk.
- Travel and ticket agency (associated to hotel, motel use only).
- Key kiosk (may be located within a building).

Storage⁺:

- Below-grade fuel tanks less than 500 gallon capacity.

ASSOCIATED USES REQUIRING A CONDITIONAL USE PERMIT:

Public Services:

- Radio, television, microwave transmitters.
- Aviation navigational aids.

Private Business Services:

- Private recreation facility

Vehicle Sales and Rentals:

- Used sales/lease of autos, motorcycles, or trucks not exceeding a three-ton gross vehicle weight unladen, and trailer up to two-ton carrying capacity.

Storage⁺:

- Above grade fuel storage tanks not located within a building. Must comply with setbacks and be screened from view. First installation on-site may be granted under the Interdepartmental Review procedure.

TEMPORARY USES:

Temporary uses as provided in Title 19, Division 10:

The below uses are subject to the Temporary Use Code procedures within Title 19, Division 10.

- Special event sales in parking lots and/or private sidewalks, limited to not more than three consecutive days in duration, nor more than three events per calendar year.
- Special promotions, parachute drop, hot air balloon rides, searchlights, etc.

- Temporary trailers. Temporary trailers may be permitted for an office and/or storage use of a related existing use on a property under the following criteria.
 - For no more than two trailers and for a period not exceeding one year, the Director may authorize approval pursuant to the provisions of this Chapter.
 - For more than two trailers and/or a period exceeding one year, the Planning Commission may authorize approval under the conditional use permit procedure of Section 19.128.020 of the City's Zoning Ordinance.
 - This section shall not apply to temporary construction trailers and real estate offices which may be authorized under various other sections of this Title.

Notes:

⁽¹⁾ Must be in conjunction with a car dealership or group of dealerships as a support use.

⁽³⁾ Minimum showroom size of 2,000 square feet.

[†] Amended by Ordinance No. 1465

SUB-DISTRICT A3

BETWEEN ARTESIA BOULEVARD AND THE I-5 FREEWAY, WEST OF
WESTERN AVENUE

PERMITTED USES:

Public Services:

- Flood Control channel and facilities, utility corridor.

Vehicle Sales:

- New Sales/lease of autos and trucks not exceeding 3 tons gross vehicle weight unladen.⁽³⁾

Retail Sales:

Establishment of a regional multi-tenant retail development, provided that a minimum 50,000 square foot anchor space is required from the following list of uses:

- Furniture, carpets.
- Household appliances, electrical appliances, radios, television sets, computer equipment.
- Variety store, dry goods and notions, sporting goods, toys.
- Drugstore.
- Pet shop and supplies.
- Stationery and office supply.
- Volume discount/warehouse store.
- Hardware/paint.
- Building materials, plumbing supplies.
- Garden and patio furniture.
- Apparel – clothing, millinery, shoes, etc.

Other Commercial Uses Permitted Within the Center:

- Martial arts or dance studio.
- Art studio, art gallery, interior decorating, costume design, arts and crafts, photography studio.
- Locksmith/key shop.
- Deli.
- Confectionery, ice cream, bakery (baking for on-premises sales only).
- Jewelry, cameras and supplies, luggage.
- Hobby shop.
- Gifts, souvenirs.
- Flower shop.
- Books, newsstand

Other Commercial Uses Permitted Within the Center (Continued)

- Video sales, rental.
- Antiques.
- Bicycle sales, rental, or repair.
- Instant printing, copying, blueprinting, photocopies.
- Retail photo film and print processing.
- Picture framing and glazing.
- Watch repair, camera repair, radio, stereo, television, personal computers, and other small appliances.
- Ticket and travel agency.
- Specialty markets (fruit and vegetables, dairy products, meat and fish market, etc.).
- Pharmacy.
- Optician.
- Tobacco shop.
- Bank/financial institutions.
- Business, administrative, professional offices.

USES REQUIRING A CONDITIONAL USE PERMIT:

Public Services:

- Cellular telephone facilities (not as primary use).

Vehicle Sales and Rentals:

- Used sales/lease of autos, motorcycles, trucks, boats and trailers ⁽³⁾
- Used sales/lease of trucks exceeding three tons gross vehicle weight unladen, and trailers over two-ton carrying capacity. ⁽³⁾
- New sales/lease of motorcycles.
- New sales/lease of trucks not exceeding 3 tons gross vehicle weight unladen and trailers up to 2-ton carrying capacity.

Commercial:

- Parking lot. ⁽¹⁾
- Parking Structure. ⁽¹⁾
- Automobile service station with or without a convenience market or food sales provided the site has a minimum area of one (1) acre and meeting the standards contained within Section 19.552.050 of the Buena Park City Code.

Food Sales and Service:

- Restaurant, with no entertainment, no liquor, no drive-in, no drive-through, no walk-up service window.
- With entertainments (See Chapter 5.24 for definition).
- With on-sale liquor (See also Section 19.552.030 of the City Code).
- With drive-in, drive-through, or walk-up service window. (See also Section 19.552.070 of the City Code)

ASSOCIATED USES:

Private Business Services:

- Child day care center.

Commercial Uses:

- ATM, loan processing.
- Business, administrative, professional offices.
- Sales of art or publications related to permitted use.
- Shoe shine kiosk.
- Key shop kiosk.
- Gifts, souvenirs (related to permitted use).

Vehicle Rental and Service:

- Automobile and rental agency.
- Mechanical car wash.

Storage†:

- Below-grade fuel with less than 500-gallon capacity.

ASSOCIATED USES REQUIRING A CONDITIONAL USE PERMIT:

Public Service Uses:

- Radio, television, microwave transmitters.
- Aviation navigational aids.

Vehicle Sales and Rentals:

- Used sales/lease of autos, motorcycles, or trucks not exceeding a 3-ton gross vehicle weight unladen, and trailer up to 2-ton carrying capacity. ⁽¹⁾

Vehicle-Related Sales, Service, and Repair:

- Retail sales of auto parts or accessories.
- Auto window tinting.
- Machining or repair of auto parts or accessories.
- Tires, retail sales and/or installation for vehicles.
- Repair and/or service of vehicles not exceeding 3 tons gross vehicle weight unladen.
- Repair and/or service of motorcycles only in conjunction with sales of new and used motorcycles.

Storage†:

- Above grade fuel storage tanks not located within a building. Must comply with setbacks and be screened from view. First installation on-site may be granted under the Interdepartmental Review procedure.

Private Business Services:

- Private recreation facility.

TEMPORARY USES:

Temporary uses as provided in Title 19, Division 10:

The below uses are subject to the Temporary Use Code procedures within Title 19, Division 10.

- Parachute drop, hot air balloon rides, searchlights, etc.
- Temporary trailers. Temporary trailers may be permitted for an office and/or storage use of a related existing use on a property under the following criteria:
 - For no more than two trailers and for a period not exceeding one year, the Director may authorize approval pursuant to the provisions of this Chapter.
 - For more than two trailers and/or a period exceeding one year, the Planning Commission may authorize approval under the conditional use permit procedure of Section 19.128.020 of the City's Zoning Ordinance.
 - This section shall not apply to temporary construction trailers and real estate offices which may be authorized under various other sections of this Title.
 - Special event sales and promotions (including banners and non-permanent signage) shall be permitted for auto dealerships only.

Notes:

⁽¹⁾ Must be in conjunction with a car dealership or group of dealerships as a support use.

⁽³⁾ Minimum showroom size of 2,000 square feet.

[†] Amended by Ordinance No. 1465

SUB-DISTRICT A4†

NORTHSIDE OF ARTESIA BOULEVARD, WEST OF ROSTRATA
AVENUE AND THE I-5 FREEWAY

PERMITTED USES:

Vehicle Sales:

- New Sales/lease of autos and trucks not exceeding 3 tons gross vehicle weight unladen. ⁽³⁾

Commercial Uses:

- Hotel.††

Retail Sales:

Establishment of a regional multi-tenant retail development, provided that a minimum 100,000 square foot anchor space is required from the following list of uses:

- Furniture, carpets.
 - Household appliances, electrical appliances, radios, television sets, computer equipment.
 - Variety store, dry goods and notions, sporting goods, toys.
 - Stationery and office supply.
 - Volume discount/warehouse store.
 - Home Improvement Center - Building materials, plumbing supplies, and hardware
- Note:

Other Commercial Uses Permitted Within the Center:

- Garden and patio furniture.
- Apparel – clothing, millinery, shoes, etc.
- Drugstore.
- Pet shop and supplies.
- Hardware/paint.
- Martial arts or dance studio.
- Art studio, art gallery, interior decorating, costume design, arts and crafts, photography studio.
- Locksmith/key shop.
- Deli.
- Confectionery, ice cream, bakery (baking for on-premises sales only).
- Jewelry, cameras and supplies, luggage.
- Hobby shop.
- Gifts, souvenirs.
- Flower shop.
- Books, newsstand.
- Video sales, rental.

- Antiques.
- Bicycle sales, rental, or repair.
- Instant printing, copying, blueprinting, photocopies.
- Retail photo film and print processing.
- Picture framing and glazing.
- Watch repair, camera repair, radio, stereo, television, personal computers, other small appliance.
- Ticket and travel agency.
- Specialty markets (fruits and vegetables, dairy products, meat and fish market, etc.
- Pharmacy.
- Optician.
- Tobacco shop.

Office:

- Bank/Financial institutions.
- Business, administrative, professional offices.

ASSOCIATED USES:

Private Business Services:

- Child day care center.

Commercial Uses:

- ATM, loan processing.
- Business, administrative, professional offices.
- Sales of art or publications related to permitted use.
- Shoe shine kiosk.
- Key shop kiosk.
- Gifts, souvenirs (related to permitted use).
- Travel Agency.

Vehicle Rental and Service

- Automobile and rental agency.
- Mechanical car wash.

Storage+++:

- Below-grade fuel with less than 500-gallon capacity.

USES REQUIRING A CONDITIONAL USE PERMIT:

Public Services:

- Cellular telephone facilities (not as primary use).

Vehicle Sales/Lease:

- Used sales/lease of autos, motorcycles, trucks, boats and trailers ⁽³⁾
- Used sales/lease of trucks exceeding three tons gross vehicle weight unladen, and trailers over two-ton carrying capacity. ⁽³⁾
- New sales/lease of motorcycles.
- New sales/lease of trucks not exceeding 3 tons gross vehicle weight unladen and trailers up to 2-ton carrying capacity.

Commercial:

- Parking lot. ⁽¹⁾
- Parking Structure. ⁽¹⁾
- Automobile service station with or without a convenience market or food sales provided the site has a minimum area of one (1) acre and meeting the standards contained within Section 19.522.050 of the Buena Park City Code.

Food Sales and Service:

- Restaurant, with no entertainment, no liquor, no drive-in, no drive-through, no walk-up service window.
- With entertainments (See Chapter 5.24 for definition).
- With on-sale liquor (See also Section 19.552.030 of the City Code).
- With drive-in, drive-through, or walk-up service window. (See also Section 19.552.070 of the City Code)

ASSOCIATED USES REQUIRING A CONDITIONAL USE PERMIT:

Public Service Uses:

- Radio, television, microwave transmitters.
- Aviation navigational aids.

Vehicle-Related Sales, Service, and Repair:

- Retail sales of auto parts or accessories.
- Auto window tinting.
- Machining or repair of auto parts or accessories.
- Tires, retail sales and/or installation for vehicles.
- Repair and/or service of vehicles not exceeding 3 tons gross vehicle weight unladen.
- Repair and/or service of motorcycles only in conjunction with sales of new and used motorcycles.

Storage+++:

- Above grade fuel storage tanks not located within a building. Must comply with setbacks and be screened from view. First installation on-site may be granted under the Interdepartmental Review procedure.

Private Business Services:

- Private recreation facility.

USES REQUIRING DEVELOPMENT AGREEMENT++++ :

Residential Uses:

- Townhomes

TEMPORARY USES:

- Temporary uses as provided in Title 19, Division 10.

Notes:

⁽¹⁾ Must be in conjunction with a car dealership or group of dealerships as a support use.

⁽³⁾ Minimum showroom size of 2,000 square feet.

[†] Amended by Ordinance No. 1487

^{††} Amended by Ordinance No. 1549

^{†††} Amended by Ordinance No. 1465

^{††††} Amended by Ordinance No. 1578

SUB-DISTRICTS B1 & B2

OLD TOYOTA DEALERSHIP SITE AND GENERAL AUCTION CO. SITE+ (Ord. No. 1465)

PERMITTED USES:

Vehicle Sales:

- New sales/lease of autos, motorcycles, trucks or trailers. ⁽³⁾
- New boat sales, up to 28 ft. full-length. ⁽³⁾

Vehicle Rentals:

- Automobile rental agency.

Retail Sales:

Permitted uses within multi-tenant retail development, provided that a minimum 25,000 sq. ft. anchor space is required from the following list of uses:

- Furniture, carpets.
- Household appliances, electrical appliances, radios, television sets, computer equipment.
- Variety store, dry goods and notions, sporting goods, toys.
- Drugstore.
- Pet shop and supplies.
- Stationery and office supply.
- Volume discount/warehouse store.
- Hardware/paint.
- Building materials, plumbing supplies.
- Garden and patio furniture.
- Apparel – clothing, millinery, shoes, etc.

Other Commercial Uses Permitted Within the Center:

- Martial arts or dance studio.
- Art studio, art gallery, interior decorating, costume design, arts and crafts, photography studio.
- Locksmith/key shop.
- Deli.
- Confectionery, ice cream, bakery (baking for on-premises sales only).
- Jewelry, cameras and supplies, luggage.
- Hobby shop.
- Gifts, souvenirs.
- Flower shop.
- Books, newsstand.
- Video sales, rental.
- Antiques.
- Bicycle sales, rental, or repair.
- Instant printing, copying, blueprinting, photocopies.

- Retail photo film and print processing.
- Picture framing and glazing.
- Watch repair, camera repair, radio, stereo, television, personal computers, and other small appliances.
- Ticket and travel agency.
- Specialty markets (fruit and vegetables, dairy products, meat and fish market, etc.).
- Pharmacy.
- Optician.
- Tobacco shop.
- Barber shop, beauty salon.
- Shoe repair, tailor, dressmaker, laundromat (single batch machines only), dry cleaning (coin operated only).
- Retail dry cleaning.
- Health spa or salon.

USES REQUIRING A CONDITIONAL USE PERMIT: (Multi-Tenant)

Public Services:

- Club, lodge, meeting hall, community center (largest meeting room limited to 150 seats or 1,000 sq. ft.)
- Business college, vocational school (no industrial machinery or equipment), physical training school, trade school.
- Radio, television, microwave transmitters.
- Other public utility facilities or structures, including electrical substations, and cellular telephone facilities.
- Aviation navigational aids.

Commercial Uses:

- Full-service hotel, motel.
- Skating rink.
- Dancehall or other establishment with public dancing.
- Bowling alley.
- Building materials, plumbing supplies with outdoor supply area.
- Garden and patio furniture and equipment with outdoor display area.
- Restaurant (may include drive-in, drive-through or walk-up service, entertainment, and on-sale liquor).
- Supermarket (minimum 30,000 sq. ft. building).
- Banquet caterer (minimum size standards).
- Parking lot.
- Parking structure.
- Indoor theater.

Vehicle Sales and Rentals:

- Used sales/lease of autos, motorcycles, trucks, boats and trailers ⁽³⁾
- Used sales/lease of trucks exceeding three tons gross vehicle weight unladen, and trailers over two-ton carrying capacity. ⁽³⁾

Vehicle Related Sales, Service, and Repair:

- Retail sales of auto parts and accessories. Both sales of parts and accessories.
- Auto window tinting. ⁽²⁾
- Machining or repair of auto parts or accessories. ⁽²⁾
- Tires, retail sales and/or installation for vehicles. ⁽²⁾
- Boat repair and/or service, up to 28 ft. full-length. (All work shall be conducted within a building).
- Repair and/or service of vehicles, including autos, trucks, motorcycles, boats, and recreational vehicles. (All work shall be conducted within a building).
- Mechanical carwash or full-service hand car wash.
- Automobile service station (with or without mini-mart), tune-up shop, quick lube shop. ⁽²⁾
- Detail shops. ⁽²⁾

ASSOCIATED USES TO DEALERSHIPS:

Private Business Services:

- Child care center.

Commercial Uses:

- Sales of art or publications related to permitted use.
- Shoe shine kiosk.

Storage†:

- Below-grade fuel tanks with less than 500-gallon capacity.

ASSOCIATED USES REQUIRING A CONDITIONAL USE PERMIT:

Private Business Services:

- Private recreation facility.

Storage†:

- Above grade fuel storage tanks not located within a building. Must comply with setbacks and be screened from view. First installation on-site may be granted under the Interdepartmental Review procedure.

INDUSTRIAL USES REQUIRING A CONDITIONAL USE PERMIT (B2 AREA ON PROPERTY WITH MINIMUM LAND AREA OF 3 ACRES):

Research, Development, and Testing:

- Research and development institution or laboratory (no manufacturing), testing laboratory. (B2 area only).

Storage:

- Warehouse, distribution center, storage building.

Wholesale:

- Wholesale business.
- Wholesale business with retail outlet.

Industrial Processes:

- Fabrication from shell, cellophane, cork, fiber, fur, glass finished leather, gems, textiles, tobacco, and wood.
- Packaging or assembly of previously made manufactured components (no outdoor storage of bulk materials, final product not over 50 pounds).
- Manufacturing, compounding, assembly, packaging, or treatment of merchandise made from the following previously prepared materials:
Canvas, cloth textiles, yarn, cork, leather, plastics, cellophane, synthetics, precious or semi-precious metal (excluding metal stamping), stone (excluding grinding, cutting or dressing, granite, etc.), wood (excluding prefabrication of building components, cabinet shops, furniture manufacturing, lumberyard, planing mill).
- Assembly of electrical appliances, electronic instruments or devices, precision instruments, radios, computer components, phonographs, television sets (may include manufacturing of small parts only).

Manufacturing:

- Furniture, garden patio furniture and equipment.
- Garments, gloves, shoes.
- Electrical appliances, instrumental or equipment.
- Jewelry, watches.

TEMPORARY USES:

- Temporary uses as provided in Title 19, Division 10.

Notes:

(2) Within multi-tenant auto center only (min. two-acre site, no bays facing street) or associated with primary auto dealer use. Multi-tenant auto centers may also include deli, coffee shop, flower shop, etc.

(3) A minimum of 2,000 sq. ft. showroom is required with one dealership within the B1 area. One additional dealer with less than 2,000 sq. ft. showroom may be allowed subject to approval of a Conditional Use Permit, and further provided that all parcels within the Sub-district are developed and used as an integrated development.

† Amended by Ordinance No. 1465

SECTION VI: DEVELOPMENT STANDARDS[†]

The Auto Center is intended to be an important corridor for automobile sales, leasing, service and related uses. An Auto Center is planned with the retail philosophy of a regional shopping center, with the unique requirements of grouping dealerships within a centralized auto district. The Specific Plan will allow individual auto dealers the design flexibility that personifies their own image. The intent is to create unity with the use of landscaping, building colors, and to a lesser extent, building design. The goal is to create a center in which a potential buyer can view and purchase a vehicle in a comfortable atmosphere.

Planning and design have been directed to present automobile displays, provide storage and repair facilities, and create areas for customer parking within the Auto Center. Providing cohesive landscape design and on-site lighting in conjunction with special standards for building layouts and signs unifies the center while allowing the dealerships the opportunity for individuality and identification.

Developments within the Specific Plan area shall comply with all provisions of Title 19 of the City Code for commercial development (CG zone), except as provided within the provisions of this Specific Plan. Below are specific standards which apply to properties within the Specific Plan area:

There are key design elements that will contribute significantly to the overall visual order of Sub-Districts, A1, A2, A3, and A4, of the Auto Center. These consist of a uniform hardscape and landscape treatment within the right-of-way area as discussed in Section IV, DESIGN GUIDELINES, together with features discussed in this section including uniform landscape treatment within the front yard area of all properties; uniform color palette for the buildings; uniform design for all directional signs within the area; consistent design for any electronic message center signs within the area; and, placement of entry statements and icons throughout the area. Properties within Sub-Districts B1 and B2 must be used or developed as a cohesive unit to ensure a continuum of site development standards and architectural design

1. Architectural Style (IN ALL SUB-DISTRICTS)

It is not the intent of the Specific Plan to restrict the individual auto dealer and other retail or office uses to any one particular architectural design, but rather to encourage the best in architectural design. The existing architectural style in the Auto Center is contemporary. Developments should also reflect current trends in contemporary architecture. Although the Specific Plan does not require all developments of the same architectural style, the use of similar materials and architectural enhancements is preferred. Compatibility between architecture and building materials is designed to create a unifying theme in the Specific Plan by providing:

- a) Well-crafted contemporary architecture using building elements as part of an integrated design.
- b) The same architectural style for all freestanding buildings within the same development, including development within sub-districts A 1, A2, A3, and A4 to assure architectural harmony within each project site.
- c) Prohibition on the use of residential or period style architecture (e.g., Cape Cod, Victorian, or the Old West).

2. Building Mass and Form (IN ALL SUB-DISTRICTS)

Building mass and form are the most crucial components of any well thought out design in a three-dimensional environment. How buildings relate to one another on any given site and to the Specific Plan area as a whole are essential design issues. Design should be carefully thought out when considering the creation of a pleasing environment. Building mass shall be used to create interest and relate to scale and form. Vehicle display area plays an important part in building design:

- a) Building masses shall be simple in form and be composed from strong geometric shapes, such as solid rectangular, square, round, columnar or pyramidal shapes. Design elements shall be repeated so that there is continuity of design throughout the project.
- b) Building forms shall be indicative of both internal and external functions taking place within special attention to vehicle display.
- c) Internal building structure shall be delineated with clear definition of floors and vertical supports.
- d) Large, flat unarticulated building facades are not permitted.
- e) Window fenestration must be carefully orchestrated to complement the basic massing, provide scale and modulation of building surfaces, and allow perforation of solid shapes. Long stretches of banded vision or spandrel glass are not allowed.
- f) The orientation and massing of commercial buildings should recognize the proximity of the adjacent residential areas. The design of service and repair facilities must be oriented away from public view, either placed behind a larger building or sited to impose the fewest impacts. Consideration of the proximity of residential neighborhoods must be considered in the orientation of buildings. Service buildings shall be designed to avoid intrusion of impacts such as noise, speakers, and

fumes, etc., on the neighborhoods.

- g) Careful proportion of decorative concrete or masonry columns, wood beams, roof shapes and other building forms should be the highest priority.
- h) Due to the mixed use nature of retail and service/repair areas of a dealership and retail, it is desirable to have a mixture of sloping roofs and flat roofs. The variation in roof lines must be carefully integrated into dealership and retail design. Mansard type roofs will not be allowed as the primary roofing style. However, Mansard roofs may be a supporting component of an overall roof design.
- i) All flat roofs must be below a parapet and no roof shall drain over a wall.
- j) Drain spouts must be internal and incorporated into the building design, or, if placed on the exterior of the building, covered in materials and colors to match the building.
- k) Site planning to accommodate future expansion is encouraged so that future construction is of minimal significance to the customer.

3. Materials (IN ALL SUB-DISTRICTS)

The use of quality materials and detailing on highly visible surfaces will add elegance while maximizing the architectural style and statement for the development. The use of new innovative contemporary architectural materials is encouraged to add to the overall quality and visual interest that is required by the Specific Plan. Finishes and details should be repeated for design continuity.

- a) The use of ceramic tile, glass block, stucco and plaster trims, and colored wood trims are acceptable for accent treatments.
- b) Textured and smooth concrete, decorative or textured concrete blocks, or stucco are appropriate for building walls.
- c) Architectural standing seam metal roofing, clay or concrete roofing tiles are preferred. Optimum roof styles are gable, hip or variation thereof. Flat roofs will be allowed provided the parapet wall is sufficient height to screen all roof equipment and offer interesting fenestration, building materials and colors.
- d) Metal panels may be used for decorative purposes only and may be used in limited quantities.
- e) Non-reflective glass is preferred at ground level areas for viewing and display purposes. The use of reflective glass should be limited, and shall

be compatible with the overall building design. Reflective glass shall not be used as a main architectural treatment.

- f) Monolithic glass adornment may be used in special applications as accent or focal point but should not be used as the dominant architectural theme.
- g) The use of awnings, canopies, metal handrails, and other devices within pedestrian areas are encouraged.
- h) Non-contemporary materials such as native rock or stone, and rustic or wood materials are not permitted on buildings. Non-contemporary materials shall only be used sparingly and for accent only.

4. Colors (IN SUB-DISTRICT A4)

Color trademarks for certain major retailers may be permitted on an individual basis. The main building/any accessory buildings for auto dealerships and auto related uses should be painted in hues of white or light grey, using bright or pastel colors as accent and detailing. To maintain compatibility with adjacent developments, every effort should be given in choosing accent color schemes that would be compatible with others used in the area. The colors for all other developments within sub-district A-4 should complement the lighter tones selected for the auto uses. Developments shall be reviewed on a case-by-case basis.

5. Detail (IN ALL SUB-DISTRICTS)

Incorporating the use of reveals, recesses, tile accents and other architectural elements into the building design accents the architectural features. These types of features include but are not limited to:

- a) Upgraded light fixtures, door and window details, and other features are encouraged.

6. Landscaping (IN SUB-DISTRICT A1, A2, A3, AND A4)

- a) On-site landscaping treatments shall include components of the following landscape palette. The front yard area of each development within areas A 1, A2, A3, and A4 shall include undulating berms planted with a sodded lawn, Washingtonia Robusta Palms (minimum 12-20 feet high), and accent shrubs and/or flowers. The use of low shrubs and ground cover will create perceived separations of different areas within each dealership and can be used to unify the front yard treatment for pedestrians and customers. Undulating berms, sod, color accents and the

use of trees will soften and enhance some of the architectural features of each building. Additional use of landscaping adjacent to building walls and block walls within the dealership or development is required to help soften these features and add visual appeal to the customer. Materials should be selected from the following palette:

ARTESIA BOULEVARD STREETSCAPE PLANT MATERIAL LIST

RETAIL / AUTO DEALER ON-SITE PLANT MATERIALS LIST

TREES:	Washingtonia Robusta	California Fan Palm – 30' Br. Trunk
	Arecastrum Romanzoffianum	Queen Palm – 12'-20'
	Stenocarpus Sinuatus	Firewheel Tree – 24" Box
	Harpephyllum Caffrum	Kafir Plum – 24" Box
	Rhus lancea	African Sumac = 24" Box

Existing pine trees along Rostrata Avenue shall be transplanted along this street frontage to within 400 feet of the intersection.

SHRUBS:	Strelitzia Reginae	Bird of Paradise
	Carissa Grandiflora	
	'Green Carpet'	Natal Plum
	Bougainvillea	Bougainvillea
	Phoenix	Pygmy Date Palm
	Roebellini	DayLily Rose of
	Hemerocallis	Sharon Privet
	Hibiscus Rosa	Mock Orange
	Sinensis Ligustrum	Petite Pink
	Japonicum	Oleander Star
	Pittosporum Tobira	Jasmine
	Nerium Oleander 'Petite	Indian Hawthorne
	Pink' Trachelospermum	
GROUND COVER:	Lantana	Lantana
	Montevidensis	Gazania
	Gazania	Hahns Ivy
	Hedera Helix 'Hahnii'	
VINES:	Ficus Repens	Creeping Fig
	Bougainville	Bougainville
TURF:		
	Marathon	

(Landscaping shall not be required within service area parking lots unless such areas are visible from public view.)

b) Parkway and Median Landscaping (Sub-Districts A1, A2, A3, and A4)

Unify the area and provide continuity to the streetscape. Parkways throughout this District shall include tree wells planted with Washington Robusta palms, underplanted with Gazanias and Daylilies. However, for existing sidewalk and parkway areas that do not maintain the required minimum widths to provide the ADA required handicap access, the streetscape treatments may be placed on-site within the 10 ft. landscape buffer adjacent to the street. The median areas shall be

maintain per the recent City Council approval and shall be installed to the standards of the Department of Public Works. Off-site parking areas should also follow this design statement.

Materials for these areas should be selected from the following palette:

PARKWAY TREE:	Washingtonia Robusta	California Fan Palm 30' Height 25'-30' On Center
	Arecastrum Romanzoffianum	Queen Palm 12'-20'
MEDIAN TREE:	Arecastrum Romanzoffianum	Queen Palm 12'-20' Height
	Rhus lancea	African Sumac 24" Box Minimum 30' On Center
MEDIAN SHRUBS:	Carissa Grandiflora 'Green Carpet' Hemerocallis	Natal Plum 36' On Center Daylily 18" On Center

PARKWAY ACCENT SHRUB:

USE THE SAME SHRUB THROUGHOUT THE STREETScape, SUGGESTED SHRUBS ARE:

Carissa Grandiflora 'Green Carpet' Bougainvillea 'La Jolla' Strelitzia Reginae	Natal Plum Bougainvillea Bird of Paradise
---	---

FREEWAY EDGE SHRUB:

USE THE SAME SHRUB THROUGHOUT THE FREEWAY EDGE, SUGGESTED SHRUBS ARE:

Carissa Grandiflora	Natal Plum
'Green Carpet'	Bougainvillea
Bougainvillea 'La Jolla'	Myoporum
Myoporum Pacificum	

c) Irrigation

- i. Automatic landscape irrigation systems are to be installed throughout the Auto District Specific Plan area. An aggressive water management program using state-of-the-art technology is encouraged.
- ii. Detailed landscape and automatic irrigation plans, prepared and approved by a registered Landscape Architect, shall be submitted to the City of Buena Park for review and approval. Landscape and irrigation designs and plans shall comply with applicable government standards.
- iii. The automatic landscape irrigation system shall be designed to meet the peak moisture demand of all plant materials used within all landscaped areas.
- iv. The automatic landscape irrigation system shall be designed and operated to prevent or minimize runoff and discharge of irrigation water onto roadways, driveways, adjacent properties and any area not under control of the user.

d) Maintenance and Preparation

Maintenance should be of high quality in accordance with established horticulture practices. Irrigation problems must be quickly resolved to assure plant survival. Prior to planting, soil must be properly prepared to assure plant survival.

The public areas along streets shall be maintained by the City or through a special maintenance association formulated for the Specific Plan Area. Property owners are responsible for the design, development, installation and maintenance of landscape areas on their site, in accordance with these requirements, and City approved landscaped plans.

7. Lighting (IN ALL SUB-DISTRICTS)

Lighting shall be twofold. It is intended to provide safety and security while at the same time providing enhanced appearance of the dealership. Any lighting shall attempt to create harmony and compatibility of architectural elements of the dealership itself. It should also attempt to achieve a sense of compatibility with the on-street lighting. Lighting shall not reflect on adjacent property or the adjacent freeway.

8. Vehicular Access and Circulation (IN ALL SUB-DISTRICTS)

Vehicular access and on-site circulation are enhanced by the installation of uniform signing that helps the customer find the appropriate driveway and parking area of the dealership. The signs should be distinctively identified for the customer with clear visual direction to the parking areas. The vehicular directional signs are intended to be street oriented and low profile. Customer parking would be encouraged within the parking pockets if created along the south side of Auto Center Drive. Directional signs for auto dealerships within Sub-Districts A1, A2, A3, and A4 shall comply with the design and size criteria of Exhibit D.

9. Vehicle Repair and Storage (IN ALL SUB-DISTRICTS)

The vehicle repair building(s) shall be composed of the same design elements as the main structure (e.g., style, color, and accent materials), compatible with the architecture of the site. Vehicles parked for repair shall be within parking areas that are screened from public view to the maximum extent feasible.

All storage areas shall be maintained in a safe and non-hazardous condition and shall provide equipment and/or facilities for fire protection and security.

10. Fencing (IN ALL SUB-DISTRICTS)

Fencing shall complement the architecture of the main building. All fences must be constructed of concrete block finished to match the building or of wrought iron. No fencing shall be permitted within the front setback for any property within the Specific Plan area. Placement and height of the wrought iron fencing shall comply with location requirements found in Chapter 19.530 and Chapter 19.528 of the Buena Park Zoning Ordinance.

11. Parking (IN ALL SUB-DISTRICTS)

Parking shall conform to Chapter 19.536 et.seq. of the Buena Park Zoning Ordinance, except for the following, which shall pertain to dealerships exclusively:

- a) Tandem parking shall be permitted in display areas for both new and used vehicles, vehicle storage areas and repair areas.
- b) Where the site is able to accommodate excess parking, all excess spaces may be compact spaces. Where practical, the compact spaces shall be used for employee parking and for vehicle storage in parking structures and/or parking decks.
- c) On-street parking shall not be permitted along the streets in Sub-District A4 (Artesia/Firestone Boulevard and the west side of Rostrata Avenue). On-street parking may be permitted on the eastside of Rostrata Avenue since it is not a part of Sub-District 4.

12. Signs (IN ALL SUB-DISTRICTS)

A uniform sign program promoting a cohesive design, using elements of the project design shall become part of an overall program. The sign program shall conform with the commercial signage provisions of Title 19 of the City Code. Any deviation from these criteria and Title 19 must be considered via a Conditional Use Permit application.

- a) Cellular or other types of telecommunication antennae, on private property, in the Auto Center District, shall be incorporated into an existing pole sign, electronic reader board, architecture of the building, landscaping motif or light standards.

13. SIGNS AT DEALERSHIP LOCATIONS ONLY

- a) Dealerships are permitted the following types of permanent signs, in addition to those signs permitted within Title 19 of the City Code:
 - 1. Banners and flags.
 - 2. Cold air balloons.
 - 3. Flags carrying the company logo may be placed on-site standards or light poles at the front of the site.

Banners, flags, and cold air balloons shall be maintained in good repair and

replaced when faded. Banners, flags and other colorful devices may be used to accentuate linear relationship and outdoor areas.

Balloons and banners for all other land uses in the Specific Plan area are restricted to development standards found in Section 19.912.010.H of the City of Buena Park Zoning Ordinance.

- b) Corner identification pads will be installed on the corner of each dealership at the time of construction or remodeling of the facility. The purpose of the corner identification sign is to offer an additional opportunity to display a vehicle while, at the same time, providing a convenient location for a sign that further identifies the Buena Park Auto Center (see Exhibit C).

14. ELECTRONIC MESSAGE CENTER (EMC)

There are two circumstances under which dealers or developments would be permitted to install Electronic Message Center (EMC) signs. Based on a sliding scale, each dealer will be able to advertise on an EMC. The ability to place an EMC is based upon lot size or a combination of lot sizes.

- a) A single dealership six (6) acres or greater in size or a retail development twelve (12) acres or greater in size may install an EMC, subject to the issuance of a Conditional Use Permit. The height of the sign would be prescribed through a balloon test, while the size of the sign would be according to industry standards to provide clear visibility and subject to the standards approved through the Conditional Use Permit.
- b) Two or more dealerships with an aggregate land area of six (6) acres may install an EMC, subject to the issuance of a Conditional Use Permit. The height and location of the sign would be prescribed through a balloon test, while the size of the sign would be according to industry standards to provide clear visibility and subject to standards approved through the Conditional Use Permit. For purposes of this section, the EMC shall not be considered an off-premise sign for the second or third dealership where the sign is not located on their property.
- c) Every EMC sign advertising an auto dealer or group of dealers must contain "Buena Park Auto Center" at the top of the sign.

Note:

[†] Amended by Ordinance No. 1487

SECTION VII: LAND USE MAP



City of BUENA PARK

COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

Sent certified mail with return receipt to PO, mailed and emailed
to lawyer 4/10/25

PUBLIC HEARING NOTICE

NOTICE IS HEREBY GIVEN that the City of Buena Park Planning Commission will hold a public hearing in the Council Chamber of the City Hall, 6650 Beach Boulevard, Buena Park, California, on **April 23, 2025 at 6:30pm** to consider the following:

PROPERTY LOCATION: 7891 Whitaker Street

ASSESSORS PARCEL NUMBER (APN): 277-052-27

GENERAL PLAN LAND USE: Commercial

ZONE: Auto Center Specific Plan (ACSP) Sub-District A-2 with a Mixed Use Overlay-60

On March 12, 2025, pursuant to Buena Park Municipal Code Section 19.132.020, the Planning Commission voted to agendize the public hearing date to April 23, 2025, to consider termination of a non-conforming motel (Coral Motel) use at 7891 Whitaker Street. At the meeting, the Planning Commission considered whether to terminate the nonconforming use operating on the property and/or declare a public nuisance.

The property owners are Balubhai G. Patel and Sardabenb Patel, 243 N. Rampart Blvd. Los Angeles, CA 90026.

All interested persons have the right to appear and be heard. If you challenge the subject action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing. Please submit all comments to bpplancomments@buenapark.com by 6:00 p.m. on Wednesday, April 23, 2025. The Staff Report will be available for review at the Community and Economic Development Department, Planning Division, 6650 Beach Boulevard, Buena Park, CA, prior to the meeting. Further information may be obtained by contacting Matt Foulkes, Director of Community and Economic Development Department, at (714) 562-3610 or MFoulkes@BuenaPark.com.

Any person with impairment pursuant to the Americans with Disability Act who needs special accommodations should call the Planning Division at (714) 562-3620.



If you would like to participate in the public hearing and would like translation in Chinese, Korean, Spanish, Tagalog, or Vietnamese, please contact the Planning Division at (714) 562-3620, 48 hours prior to the meeting.

Further information may be obtained from the Planning Division at (714) 562-3620.

Harald Luna
Acting Planning Manager

I, Ruth Santos, Sr. Administrative Assistant, do hereby certify that a full and correct copy of this notice was published in the Buena Park Independent, posted at the Buena Park Civic Center, 6650 Beach Blvd., the Ehlers Event Center, 8150 Knott Avenue, and the Buena Park Library, 7150 La Palma Avenue, Buena Park, CA., and was mailed to the property owners located within a 300-foot radius of the subject property.

ATTEST: Ruth Santos

DATE: April 9, 2025

PUBLISHED, POSTED AND MAILED BY: April 11, 2025
REMAIN POSTED THROUGH: April 24, 2025



City of
BUENA PARK

COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

PUBLIC HEARING NOTICE

VICINITY MAP



PLANNING COMMISSION

April 23, 2025 – 6:30 P.M.

Termination of Non-Conforming Use

7891 Whitaker Street

APN: 277-052-27

9589 0710 5270 1165 6912 91

U.S. Postal Service TM CERTIFIED MAIL [®] RECEIPT <i>Domestic Mail Only</i>	
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Certified Mail Fee \$	Postmark Here 4/9/25
Extra Services & Fees (check box, add fee as appropriate)	
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☐ Adult Signature Required \$	
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Sent To Balubhai G. Patel - Sardabenb Patel	
Street and Apt. No., or PO Box No. 243 N. Rampark Blvd.	
City, State, ZIP+4 [®] Los Angeles, CA 90026	
PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions	

PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the City of Buena Park Planning Commission will hold a public hearing in the Council Chamber of the City Hall, 6650 Beach Boulevard, Buena Park, California, on **April 23, 2025 at 6:30pm** to consider the following:

PROPERTY LOCATION: 7891 Whitaker Street
ASSESSORS PARCEL NUMBER (APN): 277-052-27
GENERAL PLAN LAND USE: Commercial
ZONE: Auto Center Specific Plan (ACSP) Sub-District A-2 with a Mixed Use Overlay-60

On March 12, 2025, pursuant to Buena Park Municipal Code Section 19.132.020, the Planning Commission voted to agendize the public hearing date to April 23, 2025, to consider termination of a non-conforming motel (Coral Motel) use at 7891 Whitaker Street. At the meeting, the Planning Commission considered whether to terminate the nonconforming use operating on the property and/or declare a public nuisance.

The property owners are Balubhai G. Patel and Sardabenb Patel, 243 N. Rampart Blvd. Los Angeles, CA 90026.

All interested persons have the right to appear and be heard. If you challenge the subject action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing. Please submit all comments to bpplancomments@buenapark.com by 6:00 p.m. on Wednesday, April 23, 2025. The Staff Report will be available for review at the Community and Economic Development Department, Planning Division, 6650 Beach Boulevard, Buena Park, CA, prior to the meeting. Further information may be obtained by contacting Matt Foulkes, Director of Community and Economic Development Department, at (714) 562-3610 or MFoulkes@BuenaPark.com.

Any person with impairment pursuant to the Americans with Disability Act who needs special accommodations should call the Planning Division at (714) 562-3620. If you would like to participate in the public hearing and would like translation in Chinese, Korean, Spanish, Tagalog, or Vietnamese, please contact the Planning Division at (714) 562-3620, 48 hours prior to the meeting. Further information may be obtained from the Planning Division at (714) 562-3620.

Harald Luna
Acting Planning Manager
Buena Park Independent 4/11/2025-151988

A. STUDY SESSION

Community Development staff presentation regarding a future Public Hearing item to amend the Land Use and Community Design Element of the General Plan, amendments to the Buena Park Municipal Code, amendments to the Objective Design and Development Standards and certification of an Environmental Impact Report to implement multiple programs within the 2021-2029 General Plan Housing Element.

Meeting	Agenda Group
Wednesday, April 23, 2025, 6:30 PM	NEW BUSINESS Item: 5A.
Prepared By	Approved By
Matt Foulkes, Director of Community and Economic Development	Matt Foulkes, Director of Community Development
Presented By	
Matt Foulkes, Director of Community and Economic Development	

TO: Chair Diep and Planning Commission

FROM: Matt Foulkes - Community and Economic Development Director

DATE: April 23, 2025

SUBJECT: GENERAL PLAN AMENDMENT, ZONING CODE AMENDMENT, OBJECTIVE DESIGN AND DEVELOPMENT STANDARDS AND ENVIRONMENTAL IMPACT REPORT (EIR)

The City of Buena Park General Plan establishes the fundamental policy framework to guide decisions related to land use and development, public services and facilities, public safety, resource management, recreation, culture, and the overall health and quality of life in the community. The General Plan presents a vision for the City's future, and embodies goals, policies, and strategies to turn that vision into a reality. The General Plan consists of ten interrelated elements including:

- Land Use and Community Design
- Mobility
- Community Facilities
- Conservation and Sustainability
- Open Space and Recreation
- Safety
- Noise
- Economic Development
- Housing
- Environmental Justice

The last comprehensive update to the General Plan was completed in 2010, but the Housing, Mobility, Land Use and Community Design and Environmental Justice Elements have been updated individually over the last 15 years.

The Housing Element complements other General Plan elements and is consistent with the goals and policies set forth by the Plan. For example, policies regarding location, type, and density of residential development contained in the Land Use and Community Design Element directly relate the Housing Element and are used as the basis for evaluating potential policy adjustments to allow increased residential capacity consistent with established General Plan goals. The State Department of Housing and Community Development (HCD) requires cities to update their Housing Element every eight years. These updates are commonly referred to as "Housing Element Cycles". The City Council approved the City's 6th Cycle Housing Element in 2022 and it was certified by HCD in 2024.

To obtain HCD certification, and as part of the implementation process for several Housing Element Programs, the City initiated General Plan and Zoning Code updates that will occur in two phases. The first phase was to amend the General Plan Land Use Map and Zoning Map for those properties identified in the Sites Inventory of the Housing Element; create five new Housing Incentive Overlay zones (HIO) and associated development standards, and update the existing Housing Opportunities Overlay (HOO) zone to increase permitted density. This phase was completed and adopted by the City Council in February 2024.

The second phase, is to update the Zoning Code (Title 19 of the Municipal Code) related to Single-Family and Multi-Family Residential Zones, create objective development standards for the other mixed-use zones created in phase 1 and update the Land Use and Community Design Element of the General Plan to reflect these updates.

The Community and Economic Development Department contracted with CASC Engineering and Consulting, Inc. to assist the City with both phase 1 and 2 as well as with completion of the required environmental analysis (CEQA) for the zoning code and General Plan amendments. The proposed amendments will facilitate the development of 10,322 dwelling units and 438,333 square feet of new commercial space. It is important to note that the proposed amendments to the General Plan and Zoning Code are for planning purposes only and no specific construction project is proposed as part of the action to adopt the amendments to the General Plan and Zoning Code.

Based on the scope of work identified in phase 2, it was determined that an Environmental Impact Report (EIR) was the most appropriate CEQA document. An Initial Study was completed in November 2024 and a Scoping Meeting was held on November 13, 2024 as part of the regularly scheduled Planning Commission meeting. A draft of the EIR was made available for public review from February 14, 2025 to March 31, 2025. Following the completion of the public review period, city staff and the consultant team have reviewed and responded to comments on the draft EIR and the final document is ready for review and recommendation by the Planning Commission before final determination by the City Council. The EIR concluded that, based on the scope of the project, there are certain environmental impacts that could not be mitigated to a less than significant level. The specific areas where there are environmental impacts that cannot be mitigated to a less than significant level are Air Quality and Greenhouse Gas Emissions. Specifically, the project would result in unavoidable impacts on the following areas:

- Construction-Related Emissions. Construction-related emissions are speculative and cannot be accurately determined at this stage of the planning process. Therefore, specific impacts are too speculative to evaluate and it cannot be definitively stated that all future development projects would not exceed the applicable thresholds, especially since some individual projects may exceed the thresholds. As such, the Project would result in a significant and unavoidable impact for emissions of CO, VOCs, NOx, SOX, PM10, and PM2.5 during construction with respect to future development projects even with implementation of feasible mitigation measures.
- Operational-Related Emissions. During the operational phase, potential development within the Project area would result in a net increase in regional criteria pollutants from the operation of both stationary and mobile sources. CEQA review of individual development projects would include an evaluation to determine whether potential air pollutant emissions generated from growth could result in a significant impact to air quality. The significance level of these impacts would be determined during review and appropriate mitigation measures would be developed. However, due to the magnitude of development and associated mobile and stationary source air quality impacts, impacts in this regard would be significant and unavoidable.

- AQMP Consistency. As the program level analysis of emissions associated with the potential development in the Project area would exceed SCAQMD thresholds, the Project would potentially result in a long-term impact on the region's ability to meet State and Federal air quality Standards. The Project would conflict with the AQMP as it would not meet the first AQMP consistency criterion.
- Cumulative Construction, Operational Impacts and Impacts to Sensitive Receptors. Construction of future potential development projects in the Project area may be "cumulatively considerable". Emissions from operations of the proposed Project would potentially exceed the SCAQMD thresholds for criteria pollutants, resulting in a significant impact. In accordance with SCAQMD methodology, any project that cannot be mitigated to a level of less than significant is also significant on a cumulative basis.

All other environmental impacts associated with implementation of the proposed Project would be less than significant with compliance with the goals, policies, and implementation measures in the General Plan.

As required by CEQA Section 21081(b) and State CEQA Guidelines Section 15093, there is a process to certify an EIR even when the City finds that a project will have unavoidable significant effects called a Statement of Overriding Considerations. Essentially, the conclusion by the City is that the unavoidable environmental impacts are outweighed by specific overriding economic, legal, social, technological, or other benefits offered by the Proposed Project. Specifically, the Project will provide the following benefits:

1. The Project facilitates preservation and development of affordable housing. Several of the Housing Element Implementation Programs relate directly to the promotion of affordable housing. Programs 8 and 10-18 all help promote affordable housing and ensure that the City meets its RHNA goals. Such programs will increase the maximum density bonus for Affordable Housing to 50%, updated regulations related to ADUs, by-right approvals for projects meeting the 20% affordability requirements, replacement housing, emergency shelters, special needs housing.
2. The Project will comply with State Housing Element Law and meet the City's RHNA target. Housing Element Law mandates that local governments adequately plan to meet the existing and projected housing needs of all economic segments of the community. The law recognizes that for the private market to adequately address housing needs and demand, local governments must adopt land use plans and regulatory systems that provide opportunities for (and do not unduly constrain) housing production. Housing element statutes also require the State Department of Housing and Community Development ("HCD") to review local housing elements for compliance with state law and to report their findings to the local government. The City has an identified RHNA of 8,919 for the 2021–2029 planning period, distributed among very low-, low-, moderate- and above moderate-income categories. The RHNA represents the minimum number of housing units each community is required to provide "adequate sites" for through zoning and is one of the primary threshold criteria necessary to achieve approval of the element by the HCD. HCD certified the City's Housing Element in February 2024 and the City is obligated under State law to implement the Housing Element Implementation Programs.
3. Through Implementation Program 14 and 18, the City will encourage fair and equal housing opportunities by updating the development regulations for emergency shelters and transitional/ support housing, low barrier navigation centers, and employee housing as well as establish requirements for Low Barrier Navigation Centers.
4. The Project implements streamlining the entitlement process for affordable housing. Implementation Programs 12, 16 and 17 are an integral component of the City's overall goal to remove barriers to affordable housing via streamlining the process. This Project creates Objective Design Standards to make affordable development easier and reviews and updates the City's review process to ensure compliance with state laws.

Based on the above-referenced benefits, specifically the need to implement the Housing Element as certified by HCD, the Statement of Overriding Considerations is a necessary and appropriate process to certify the EIR. In addition to the EIR, the project includes the following actions:

Text Amendments to multiple Chapters within the Zoning Code:

Division 1 – Administration: Amendments to Division 1 include:

- Updated definitions for the newly created Mixed-Use Zones (General Mixed-Use, Central Buena Park Mixed-Use, Entertainment Mixed-Use and Commercial Office Mixed-Use).
- Definition for the Housing Incentive Overlay Zone (HIO) which includes MU-45, MU-60 and MU-100)
- Definition of the Housing Opportunity Overlay (HOO)
- Definition of the Religious Congregational and Fraternal Overlay (RCFO)
- Definition of the Hotel/Motel Conversion Overlay (HMCO)
- New or updated definitions for various uses throughout the City.
- Updates/amendments to Administrative Procedures to:
 - Remove unused or outdated processes
 - Define ministerial approval process for qualifying project types
 - Update notification requirements to comply with recent state laws.
 - Update the types of projects that are subject to the Site Plan Review process to streamline qualifying single-family residential development, artificial turf installation and commercial signage.
 - Clarify measurement metric for Adjustment requests.
 - Expand the types of projects that are subject to the Interdepartmental Review process to include qualifying projects within the HIO, HOO and RFCO.
 - Remove unused or outdated processes.

Division 3 – Single-Family Residential: Amendments to Division 3 include:

- Addition of HIO to the list of overlay zones.
- Addition of Planned Unit Developments section with updated standards.
- Updates to be consistent with State Density Bonus Laws.
- Updates to be consistent with Urban Lot Splits (SB9)
- Updates to the permitted uses table to reflect new uses and accessory uses that are permitted or conditionally permitted in the single-family zones.
- Update to reflect new standards pertaining to the keeping of chickens and bees.
- New objective development standards for new, expanded or altered single-family residential including: orientation of buildings, driveways, massing, windows, rooflines, garage doors, building materials and architectural styles.
- Updates to building setbacks and clarification on setback measurements for front, side, rear and reverse corner lots.
- Updates to the permitted encroachments and projections.
- New objective development standards pertaining to right-of-way improvements, street dedications and other Public Works related improvements required for single-family residential development.
- Updates to the fence/wall requirements and permitted materials.
- Updated artificial turf standards.
- New tree removal standards to reduce the amount of unnecessary tree removals and preserve the urban tree canopy.
- Updated and clarified driveway standards.
- New Electric Vehicle (EV) standards.
- Updates to be consistent with State law pertaining to Accessory Dwelling Units.
- Updates to Cluster Housing Development standards.
- Updates to be consistent with State law pertaining to emergency shelters.
- Clarification regarding what structures can be used for short-term rentals.

Division 4 – Multi-Family Residential: Amendments to Division 4 include:

- Addition of HIO, HOO, RCFO and HMCO to the list of overlay zones.
- Addition of CBPMU and EMU to the list of Mixed-Use Zones.

- Clarification on the use of Lot Consolidation Bonus in Multi-Family Zones.
- Updates to be consistent with State Law pertaining to Density Bonus.
- Updates to the permitted uses table to reflect updated uses and accessory uses within the multi-family zone.
- Updates to the height limits allowed in the RM-10 and RM-20 zones.
- Objective development standards for building form, step backs, privacy and rooflines.
- Updates to the minimum unit size for multi-family dwellings.
- New definitions and development standards for non-habitable accessory structures.
- Objective development standards for exterior materials and architectural styles.
- Updates to existing standards for yard encroachments as well as additional permitted encroachments.
- Updated open space requirements including standards for common open space, recreational amenities and private open space.
- New objective development standards for right-of-way improvements required by Public Works.
- Updates to requirements for exterior walls and fences.
- Updates to landscaping requirements, development standards and maintenance.
- Updated surface parking and garage dimensions for multi-family development.
- Updates to parking requirements to be consistent with State Law.
- New objective development standards for equipment/utility location and screening.
- New and updated development standards for Cottage Cluster Development.

Division 7 – Mixed-Use Zones: Amendments to Division 7 include:

- New definitions for GMU, CBPMU, EMU, COMU, HIO, HOO, RCFO and HMCO zones.
- New residential and non-residential density and floor area ratio (FAR)
- Update to reflect current Density Bonus regulations.
- New minimum site dimensions for lots within each mixed-use zone.
- New permitted uses table for residential and commercial uses allowed within the various mixed-use zones and overlays.
- New height limits for development within the mixed-use zones.
- Objective development standards regarding building form, step backs, articulation, rooflines, exterior materials and architectural styles.
- New development standards for open space requirements for both common and private open space, permitted encroachments, recreational amenities and rooftop decks.
- Objective development standards for right-of-way improvements required by Public Works.
- New development standards for outdoor storage, trash facilities, patios, and other outdoor equipment.
- New development standards for fences, walls and hedges including height requirements, location and materials.
- New development standards for landscaping including locations, plant materials and landscape plan submittal requirements.
- New development standards for vehicle circulation, parking and access including standards for parking structures and loading areas.
- Objective standards for noise control and lighting.
- New standards for live/work style units.

Updates and Amendments to the Land Use and Community Design Element include:

- Updates to the Existing Land Uses table LU-1 to reflect updated information since the last Element update.
- Updates on amendments to the various Specific Plans regarding the new overlay zones.
- Update to reflect the dissolution of the Redevelopment Agency and reference to Buena Park as the Successor Agency.
- Updates to the Focus Area Existing Land Use table LU-2 to reflect updated information since the last Element update.
- Clarification on the calculation methodology for residential density.

- Updates to the allowable density within the Housing Incentive Overlays.
- Updates to references to Accessory Dwelling Units, SB9 and Cluster Housing to be consistent with the Zoning Code amendments.
- New descriptions for the Mixed-Use Overlay zones (MU-45, MU-60, MU-100, HOO, RCFO and HMCO).
- Updates to the General Plan Land Use Summary table LU-5 to update the acreage, base density and whether mixed-uses are permitted.
- Updates to the focus areas (Central Buena Park, Orangethorpe Corridor East, Orangethorpe Corridor West, Entertainment Corridor, Entertainment Corridor North, Civic Center, North Beach Commercial and Fillmore/Jackson).
- Updates/additions to the policies within various Policies including:
 - LU-1, LU-2, LU-3, LU-4, LU-6, LU-7, LU-8, LU-15, LU-16, LU-17, LU-22 and LU-23.

Amendments to the adopted Objective Design and Development Standards include:

- Clarification on the percentage of required affordable housing units to qualify for use of the Objective Design and Development Standards.
- Clarification on the terms of affordability for the units developed and requirements for the Affordable Housing Agreement.
- Clarification that a zone change is required to add the HIO overlay to a property not already identified with the HIO.
- Rephrasing 'mitigation measures' to 'impact reduction strategies' to avoid confusion with CEQA terminology.
- Clarification on measurement standard for determining roof height for flat roof and pitched roof designs.
- Clarification on requirements for notification for projects which impact FAA notification boundaries.
- Revision to the additional building setback requirement for projects adjacent to a single-family zone.
- Updated horizontal building step back requirement for structures over 3-stories and clarification on rooftop equipment not counting towards height limits.
- Update to reflect parking standards pursuant to Density Bonus Law.
- Removal of development standard pertaining to daylight plane.
- Updated definitions to remove unused definitions.

The above-referenced amendments will be presented for Planning Commission consideration and recommendation at a public hearing tentatively scheduled for May 14, 2025.