

Wednesday, August 13, 2025, 6:30 PM
COUNCIL CHAMBER
6650 Beach Boulevard
Buena Park, CA 90621

**** Revised ****

PLANNING COMMISSION
AGENDA

6:30 p.m.

Members of the public may submit their comments in writing for the Planning Commission by sending them to the Community and Economic Development Department at bpplancomments@buenapark.com. Please submit all comments by 6:00 p.m. on Wednesday, August 13, 2025. Please contact the Planning Division at (714) 562-3620 for any questions.

All actions by the Planning Commission are final unless an appeal to the City Council is filed with the City Clerk within ten (10) working days of the decision.

Appeal period ends on September 2, 2025.

1. GENERAL

- 1.A. CALL TO ORDER
- 1.B. ROLL CALL
- 1.C. PLEDGE OF ALLEGIANCE

2. ORAL COMMUNICATIONS

2.A. ORAL COMMUNICATIONS

This is the portion of the meeting set aside to invite public comments regarding any matter within the jurisdiction of the Planning Commission. Public comments are limited to no more than three minutes each. If comments relate to a specific agenda item, those comments will be taken following the staff report for that item and prior to the Planning Commission vote. Those wishing to speak are asked to add their information at the digital kiosk located at the entrance of the Council Chamber.

3. CONSENT CALENDAR

The items listed under the Consent Calendar are considered routine business and will be voted on together by one motion unless a Commissioner requests separate action. At this time the Commissioner or public may ask to speak on any item on the Consent Calendar.

- 3.A. APPROVAL OF MINUTES
July 23, 2025

4. PUBLIC HEARING

4.A. MINOR MODIFICATION OF CONDITIONS NO. MM-25-6 MODIFYING PREVIOUSLY APPROVED
CONDITIONAL USE PERMIT NO. CU-21-11

A request to modify the permitted hours of live entertainment for an existing full-service restaurant (Golden Rose Mediterranean Grill) to match the business hours of operation; 11:00am - 12:00am Sunday through Thursday and 11:00am - 2:00am Friday and Saturday at 7115 Beach Boulevard.

The property owner is Nemty LLC, 21520 Yorba Linda Blvd., Unit G521, Yorba Linda, CA 92887. The applicant is Fouad Yacoub, 21520 Yorba Linda Blvd., Unit G521, Yorba Linda, CA 92887.

The project is Categorically Exempt, pursuant to Section 15301 (Existing Facilities) Class 1 of the State California Environmental Quality Act (CEQA) Guidelines.

— RECOMMENDED ACTION: Adopt Resolution with Conditions of Approval approving Minor Modification No. MM-25-6 modifying previously approved Conditional Use Permit No. CU-21-11.

4.B. CONDITIONAL USE PERMIT NO. CU-25-1

A request to allow the development of an approximately 3,786 square-foot restaurant with drive-through service, required off-street parking, landscaping, and associated on- and off-site improvements at 6201 Lincoln Avenue.

The property owners are Kenneth and Joanne Skoumbis, 1261 Lemon Tree Drive, La Habra, CA 90631. The applicant is Sararee Jirattikanchote, of DesignUA, Inc., 153 E. City Place Drive, Santa Ana, CA 92705.

The project is Categorically Exempt, pursuant to Section 15303 (New Construction or Conversion of Small Structures) Class 3 of the State California Environmental Quality Act (CEQA) Guidelines.

— RECOMMENDED ACTION: Adopt Resolution with Conditions of Approval approving Conditional Use Permit No. CU-25-1.

5. STAFF REPORTS

5.A. STAFF REPORTS

6. AGENDA FORECAST

6.A. ANNOUNCEMENTS, CONFERENCE REPORTS AND CALENDAR REQUESTS

7. COMMISSION REPORTS

7.A. COMMISSION REPORTS

8. ADJOURNMENT

8.A. ADJOURNMENT

This agenda contains a brief general description of each item to be considered. Supporting documents are available for review and copying at City Hall or at www.buenapark.com. Supplementary materials distributed to the Planning Commission less than 72 hours before the meeting are posted to the City's website at www.buenapark.com and copies are available for public inspection beginning the next regular business day in the Planning Division Office. Video streaming of the meeting is available on the City's website. This governing body is prohibited from discussing or taking action on any item which is not included in this agenda; however, may ask clarifying questions, ask staff to follow-up, or provide other direction. The order of business as it appears on this agenda may be modified by the governing body.

In compliance with the Americans with Disabilities Act, if you need accommodations to participate in this meeting, contact the City Clerk's Office at (714) 562-3750 or the California Relay Service at 711. Notification at least 48 hours prior to the meeting will enable the City to make arrangements to assure accessibility.

If you would like to participate in any matter of business on the agenda and would like translation in Chinese, Korean, Spanish, Tagalog, or Vietnamese, please contact the **Planning Division at (714) 562-3620 48-hours prior to the meeting**. Residents requiring translation during Oral Communications are encouraged to bring interpreters.

시의회 목록에 있는 정식 안건에 대해 의견을 발표하고 싶으신 경우, 중국어, 한국어, 스페인어, 타갈로그에 대한 통역사가 필요하시면 시미팅 48시간전 시서기 오피스로 (714-562-3750) 연락하시면 됩니다. 정식안건이 아닌 주민 발언시간에 발표하실 경우, 본인의 통역사를 직접 모시고 오시면 감사하겠습니다.

Si le gustaría participar en audiencia pública o cualquier asunto de negocios programado en la agenda y necesita traducción en chino, coreano, español, tagalo o vietnamita, comuníquese con la Oficina del Secretario de la Ciudad, 48 horas antes de la reunión al (714) 562-3750. Para participar en los comentarios públicos sobre cualquier otro asunto dentro de la jurisdicción del ayuntamiento, se les recomienda que traiga un intérprete.

I, Ruth Santos, City of Buena Park, do hereby certify, under penalty of perjury under the laws of the State of California that a full and correct copy of this agenda was posted pursuant to Government Code Section 54950 et. seq., at Buena Park City Hall, 6650 Beach Blvd., and uploaded to the City of Buena Park website www.buenapark.com.

Ruth Santos
Sr. Administrative Assistant

Date Posted: August 7, 2025



Planning Commission Agenda Report

APPROVAL OF MINUTES

PREPARED BY	PRESENTED BY
Ruth Santos, Senior Administrative Assistant	Ruth Santos, Senior Administrative Assistant
REVIEWED AND APPROVED BY	DIRECTOR APPROVAL
HARALD LUNA, PLANNING MANAGER	MATT FOULKES, DIRECTOR OF COMMUNITY AND ECONOMIC DEVELOPMENT

Attachments

[2025-07-23 PC M DRAFT.pdf](#)

CITY OF BUENA PARK
MINUTES OF CITY PLANNING COMMISSION
July 23, 2025

The regular meeting of the Planning Commission of the City of Buena Park convened at 6:30 p.m. on July 23, 2025, in the City Council Chamber, 6650 Beach Boulevard, Buena Park, California, with Chair Diep presiding.

PRESENT: COMMISSIONERS: Davis, Judeh, Patiño, Schoales, and Diep

Matt Foulkes, Community and Economic Development Director
Harald Luna, Planning Manager
Ian McAleese, Senior Planner
John Lam, Assistant City Attorney
Robert Cravens, Code Enforcement Supervisor
Ray Tae, Senior Office Assistant
Ruth Santos, Senior Administrative Assistant

1. GENERAL

- 1A. CALL TO ORDER
- 1B. ROLL CALL
- 1C. PLEDGE OF ALLEGIANCE

1.A. ANNOUNCEMENTS

Matt Foulkes announced the promotion of Harald Luna to Planning Manager, and introduced Robert Cravens, Code Enforcement Supervisor.

2. ORAL COMMUNICATIONS

None

3. CONSENT CALENDAR

- 3A. APPROVAL OF MINUTES – July 9, 2025 Planning Commission Meeting

RECOMMENDED ACTION: Approve

Vice Chair Judeh moved and Commissioner Schoales seconded the motion to approve the minutes of the July 9, 2025 Planning Commission meeting.

The motion carried unanimously.

AYES: 5 COMMISSIONERS: Judeh, Schoales, Davis, Patiño, and Diep

NOES: 0 COMMISSIONER:

ABSENT: 0 COMMISSIONER:

ABSTAINED: 0 COMMISSIONER:

4. PUBLIC HEARING

4A. SHORT-TERM RENTAL NO. STR-25-000003

A request to operate a short-term rental within an existing 1,132 square-foot single-story, single-family dwelling.

The property owner is WV Britton Family Trust, 7446 El Centro Way, Buena Park, CA 90620. The applicant is Vershawn Britton, 7446 El Centro Way, Buena Park, CA 90620.

Mr. Cravens presented the staff report.

Vice Chair Judeh asked if there is another short-term rental property in the neighborhood that has caused concerns from the neighbors.

Mr. Craven said that there is no other short-term rental property in the neighborhood.

Commissioner Davis asked if the property owners live in the subject property.

Mr. Cravens said that the property is their primary residence.

There being no other questions for staff, Chair Diep opened the public hearing.

William and Vershawn Britton, property owners/applicants, confirmed that the location is their primary residence. They described various renovations that they did to enhance the home and clarified that they are willing to make adjustments to the south wall in order to alleviate privacy and noise concerns raised by neighbors.

Mr. Luna stated that another email was received, close to the start of the meeting, from Jami Bebout who owns the property behind the short-term rental. She expressed concerns about privacy and noise, as well as the structural soundness of the block wall.

Vice Chair Judeh recommended including a condition to increase the height of the south wall to address the concern.

Commissioner Schoales asked if there is a maximum on the number of occupants.

Mr. Britton said yes, they have a maximum number of occupants. He discussed their strong limitations on the number of occupants.

Commissioner Patiño asked about the possibility of adding a condition to ensure that changes in ownership and STR operation are monitored.

Mr. Harald stated that the proposed resolution for approval includes a condition requiring a Planning Commission staff update after six months of operation. Mr. Lam added that, as required by code, the property will be subject to annual inspections.

Juvainne Tutor and TJ Gomez, Property Managers, spoke about the company, their strict monitoring of applicants and enforcement of maximum number of guests, and the security measures in place which include cameras and noise monitors.

Chair Diep asked if the property management contact information is available to the neighbors. Ms. Tutor said that they gave out their business cards to the neighbors.

The following speakers expressed their concerns regarding privacy, noise, safety, parking, and traffic on their narrow street:

1. Jami Bebout
2. Brian Saul
3. Mark Seaman
4. Martha Kiefer

Mr. Britton addressed the concerns raised by stating that renters will be required to park in the driveway, which will fit four cars, and in the garage. He added that adjustments will be made to the rear wall to address noise and privacy concerns.

There being no other speakers and no other written communications, Chair Diep closed the public hearing.

After deliberations, the Planning Commission added conditions requiring renters aged 18 and older to submit Identification as part of the registration process; that prior to the start of operation, the property owner will make adjustments to the rear wall to provide screening and sound barrier.

Vice Chair Judeh moved and Commissioner Patiño seconded the motion to adopt the resolution approving Short-Term Rental No. STR-25-000003, with the following added conditions: 1) requirement of valid ID for renters aged 18 and older; and 2) implementation of sound and privacy barriers along the rear (south) wall. This decision is final.

AYES: 5 COMMISSIONERS: Judeh, Patiño, Davis, Schoales, and Diep

NOES: 0 COMMISSIONER:

ABSENT: 0 COMMISSIONER:

ABSTAINED: 0 COMMISSIONER:

**RESOLUTION NO. 6383
SHORT TERM RENTAL PERMIT NO. STR-25-000003**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY
OF BUENA PARK APPROVING A REQUEST FOR A SHORT-TERM
RENTAL UNIT NO. STR-25-000003, LOCATED AT 7446 EI CENTRO
WAY, WITHIN THE RS-6 (SINGLE-FAMILY) ZONE, AND MAKING
FINDINGS IN SUPPORT THEREOF**

5. STAFF REPORT:

None

6. AGENDA FORECAST:

Mr. Luna announced that the next Planning Commission meeting will include a Conditional Use Permit (CUP) for a new restaurant drive-through at 6201 Lincoln Avenue, and a Minor Modification to amend the hours of operation for an existing restaurant at 7115 Beach Boulevard.

7. COMMISSION REPORTS:

None

8. ADJOURNMENT:

At 7:36 p.m., Chair Diep adjourned the Planning Commission meeting.

Deborah Diep
Chair

ATTEST:

Harald Luna
Planning Manager



August 13, 2025
PUBLIC HEARING
Item No. 4A.

Planning Commission Agenda Report

MINOR MODIFICATION OF CONDITIONS NO. MM-25-6 MODIFYING PREVIOUSLY APPROVED CONDITIONAL USE PERMIT NO. CU-21-11

PREPARED BY	PRESENTED BY
JOSHUA ALVAREZ, ASSISTANT PLANNER	JOSHUA ALVAREZ, ASSISTANT PLANNER
REVIEWED AND APPROVED BY	DIRECTOR APPROVAL
HARALD LUNA, PLANNING MANAGER	MATT FOULKES, DIRECTOR OF COMMUNITY AND ECONOMIC DEVELOPMENT

RECOMMENDED ACTION

1) Conduct a public hearing; and 2) thereafter, based on the analysis provided in this agenda report and the facts and findings provided in the attached Resolution, Staff recommends that the Planning Commission adopt the attached Resolution approving Minor Modification No. MM-25-6, and find that the project is Categorically Exempt per Section 15301 (Existing Facilities) Class 1 of the California Environmental Quality Act (CEQA) Guidelines based on the findings of fact and conditions provided herein.

PROPERTY INFORMATION:

Address / Assessor Parcel Number (APN)	7115 Beach Boulevard 136-181-16
Lot Area	0.91 acres
Street Frontage	Beach Boulevard: 115 feet (approximately)
General Plan Land Use Designation	Tourist Entertainment
Zoning District	ECSP (Entertainment Corridor Specific Plan) Sub-District A-3
Existing Development	Approximately 4,150 square-foot single-story full-service restaurant

SURROUNDING LAND USE CHARACTERISTICS:

	GENERAL PLAN	ZONING	EXISTING LAND USE
North	Tourist Entertainment	ECSP (Entertainment Corridor Specific Plan) Sub-District A-3	Restaurant (Black Angus)
South	Tourist Entertainment	ECSP (Entertainment Corridor Specific Plan) Sub-District A-3 / BOZ (Billboard Overlay Zone)	Hotel (Days Inn)
East	Tourist Entertainment	ECSP (Entertainment Corridor Specific Plan) Sub-District A-3	Hotel (Holiday Inn)
West	Tourist Entertainment	ECSP (Entertainment Corridor Specific Plan) Sub-District A-3 / Mixed Use Overlay - 45	Multi-tenant commercial center

BACKGROUND:

Hearing Date	Entitlement Number	Action / Project Description
January 8, 2003	CU-1316	Planning Commission Resolution No. 5152 approving the construction and operation of a 4,150 square foot restaurant with outdoor dining, Type 47 ABC License, and limited live entertainment.
August 11, 2004	CU04-026	Planning Commission Resolution No. 5327 approving a minor modification of CU-1316, to modify the exterior design of the restaurant.
September 8, 2004	CU04-027	Planning Commission Resolution No. 5335 approving a sign program for the restaurant.
January 26, 2005	CU05-001	Planning Commission Resolution No. 5382 approving a modification to the exterior design of the restaurant.
January 11, 2006	CU05-025	Planning Commission Resolution No. 5488 approving a modification to include neon lighting, an increase in outdoor dining area, re-striping of the parking lot and a new integrated ground sign to include the restaurant and adjacent hotel.
On April 12, 2006	CU06-006	Planning Commission Resolution No. 5503 approving a modification to allow new patio covers within the outdoor dining area and expansion of the live entertainment.
September 30, 2019	ENT19-2	Zoning Administrator Resolution No. 6163 approving an Entertainment Permit to allow for live entertainment to include live music bands, belly dancers, and disc jockeys during the hours of 8:00pm to 11:00pm Friday through Sunday and on holidays and special occasions.
February 26, 2020	CU19-23	Planning Commission Resolution No. 6184 approving Conditional Use Permit No. CU19-23 to modify the permitted hours of operation for the live entertainment to: 11:00am to 11:00pm Sunday through Thursday and 11:00am to 1:00am Friday and Saturday.
June 22, 2022	CU-21-11	Planning Commission Resolution No. 6284 approving Conditional Use Permit No. CU-21-11, to permit outdoor live entertainment; modify the permitted hours of outdoor and indoor live entertainment to: 11:00am to 11:00pm Sunday through Thursday, and 11:00am to 1:00am Friday and Saturday, The business hours of operation no later than 12:00am Sunday through Thursday and 2:00am Friday and Saturday; and additional on-site improvements.
November 7, 2023	EXT-23-4	Planning Commission approved a one-year Extension of Approval for CU-21-11 to enable the applicant to secure necessary permits and begin construction.

APPLICATION ANALYSIS:Project Description:

The applicant, Fouad Yacoub, on behalf of the property owner, has submitted the application and project narrative requesting Planning Commission approval to modify the permitted hours of live entertainment for the existing full-service restaurant (Golden Rose Mediterranean Grill) to match the business hours of operation from 11:00am to 12:00am Sunday through Thursday and 11:00am to 2:00am Friday and Saturday.

There are no physical improvements proposed to the existing restaurant building or site as part of the applicant's request.

DISCUSSION:

Per the Planning Commission Resolution No. 6248 Buena Park Police Department Condition of Approval Condition No. 1, any modification to the business hours of operation or the outdoor and indoor live entertainment hours require approval by the Planning Commission. According to the applicant's submitted project narrative, the requested extended hours of live entertainment will allow for the restaurant to remain competitive with other neighboring restaurants, assist with customer retention, and increase revenue for the restaurant.

The subject business has complied with the City's conditions of approval rendered via Conditional Use Permit No. CU-21-11, which include the installation of a 10-foot-high decorative sound wall along the south property line. All previous code violations for the property have been corrected by the applicant and there are no active code violations to report from the Code Enforcement Division. Additionally, the restaurant has been issued an Entertainment Permit by the Buena Park Police Department to allow for both indoor and outdoor performances.

On July 9, 2025, the Buena Park Police Department (BPPD) reviewed the applicant's request to modify the current full-service restaurant live entertainment hours of operation from 11:00am to 11:00pm Sunday through Thursday, and 11:00am to 1:00am Friday and Saturday; to 11:00am to 12:00am Sunday through Thursday and 11:00am to 2:00am Friday and Saturday and found no concerns or issues with the proposed modified hours of operation for the live entertainment. The proposed live entertainment hours of operation are consistent with the existing restaurant business hours of operation which are similar to the hours of operation for other restaurants in the vicinity. As conditioned, this approval is consistent with the approved Conditional Use Permit No. CU-21-11 as well as the City's General Plan, Zoning Code, and other provisions of the law.

In keeping with previous direction given by the Planning Commission, and as conditioned, Staff will conduct a 6-month review of the business operations and provide a report to the Planning Commission. The review period shall commence from the date of approval of the extended hours of entertainment.

ENVIRONMENTAL ASSESSMENT:

The project is Categorically Exempt, pursuant to Section 15301 (Existing Facilities) Class 1 of the State California Environmental Quality Act (CEQA) Guidelines, because the proposed extension in the hours of live entertainment is located within an existing full-service restaurant.

PUBLIC HEARING NOTIFICATION:

Notice of public hearing was posted at City Hall, the Buena Park Library, and Ehlers Event Center on July 31, 2025; and 27 notices were mailed to property owners located within a 300-foot radius of the subject property on July 31, 2025. As of the publication date of this report, no comments have been received.

Attachments

[MM-25-6 PC RESOLUTIONa.pdf](#)

[MM-25-6 Project Narrative.pdf](#)

[MM-25-6 VICINITY MAP.pdf](#)

RESOLUTION NO.
MINOR MODIFICATION OF CONDITIONS NO. MM-25-6
FOR CONDITIONAL USE PERMIT NO. CU-21-11

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BUENA PARK APPROVING A REQUEST TO MODIFY THE PERMITTED HOURS OF LIVE ENTERTAINMENT FOR AN EXISTING FULL-SERVICE RESTAURANT (GOLDEN ROSE MEDITERRANEAN GRILL) AT 7115 BEACH BOULEVARD IN THE ECSP (ENTERTAINMENT CORRIDOR SPECIFIC PLAN) ZONE SUB-DISTRICT A-3

A. Recitals.

(i) Fouad Yacoub, applicant, 21520 Yorba Linda Blvd Unit G521, Yorba Linda, CA, 92887 on behalf of Nemty, LLC, property owner, 21520 Yorba Linda Blvd Unit G521, Yorba Linda, CA, 92887, has filed an application for the issuance of Minor Modification No. MM-25-6 to modify previously approved Conditional Use Permit No. CU-21-11 to modify the permitted hours of live entertainment to match the business hours of operation for an existing full-service restaurant located at 7115 Beach Boulevard Buena Park, California (APN: 136-181-16) in the County of Orange. Hereinafter in this Resolution, the subject Minor Modification of Conditions request is referred to as the "Application."

(ii) On August 13, 2025, the Planning Commission conducted a duly noticed public hearing on the application, as required by law, and concluded said hearing prior to the adoption of this Resolution.

(iii) The Planning Commission has reviewed and considered all components of the proposed Minor Modification of Conditions No. MM-25-6 and conducted its public hearing prior to adoption of this Resolution.

(iv) All legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF BUENA PARK, does hereby finds, determines and resolves as follows:

1. The Planning Commission hereby specifically finds that all the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon substantial evidence presented to the Planning Commission during the above-referenced hearing, including written staff reports, verbal testimony, and the Minor Modification of Conditions No. MM-25-2 business narrative stamped "RECEIVED JUN 30 2025 PLANNING DIV," the Planning Commission hereby specifically finds, determines, and resolves as follows:

- a. **Finding:** The proposed use and development is consistent with the General Plan and any applicable specific plans.
- Fact:** The proposed modification of the permitted hours for the live entertainment to the previously approved Conditional Use Permit is consistent with the General Plan, Zoning Code, and the Entertainment Corridor Specific Plan, as conditioned. The modification of the permitted hours of live entertainment is consistent with other entertainment type uses within the ECSP area.
- b. **Finding:** The site is adequate in size, shape, topography, location, utilities and other factors to accommodate the proposed use.
- Fact:** The site is developed with a freestanding full-service restaurant. The site is adequate in size, shape, topography, location, and other factors to accommodate the existing use. Based on the hours of operation, and consistency with adjacent parcels and operating restrictions, as conditioned, there will be no conflicts or incompatibility created based on the nature of the extension of hours of live entertainment to the existing use.
- c. **Finding:** Adequate street access and traffic capacity are or will be available to serve the proposed development as well as existing and anticipated development in the surrounding area;
- Fact:** The site may be accessed from either Beach Boulevard or Orangethorpe Avenue. Both streets are classified as Major Arterial Highways per the Mobility Element of the General Plan and provide sufficient access to the existing restaurant. A major arterial is a six-lane divided roadway with a typical right-of-way width of 120 feet. The roadway width from curb-to-curb is 100 feet, including a 14-foot median. The restaurant will not cause traffic disruption in the area and on-site circulation will not be compromised, since the property maintains shared parking and access agreements with the properties to the north and south.
- d. **Finding:** Adequate utilities and public services will be available to serve the use as well as existing and anticipated development in the surrounding area.
- Fact:** Adequate utilities and public services are currently available to serve the existing restaurant as well as existing and anticipated development in the surrounding area. The site is fully developed with a freestanding full-service restaurant, and meets the City standards for public services and utilities to serve the site.
- e. **Finding:** The use and development will be compatible with the intended character of the area.
- Fact:** The proposed expansion of hours of live entertainment will be compatible with the existing commercial uses and intended

character of the area. The proposal to modify the permitted hours of live entertainment, as conditioned, will not create a use inconsistent with established and anticipated area uses due to required operating conditions, existing site and building design, as well as separation and buffering.

- f. **Finding:** Any criteria set forth elsewhere in this Title for the approval of the specific use and development will be satisfied.
- Fact:** Pursuant to the Permitted Land Uses by Sub-District A-3 of the ECSP, entertainment uses require approval of a Conditional Use Permit. As conditioned, the proposed change in hours of live entertainment will complement the existing restaurant and surrounding area.
- g. **Finding:** Any adverse effects of the use and development are justified and fully balanced by offsetting benefits to the public interest.
- Fact:** The use and development is intended for entertainment related uses per the ECSP. Additionally, there are conditions of approval that shall be implemented to prevent potentially adverse effects on the general public.

3. The Planning Commission hereby finds and determines that the project identified above in this Resolution, is Categorically Exempt from the requirements of the California Environmental Quality Act of 1970, as amended, and the Guidelines promulgated thereunder pursuant to Class 1, Section 15301 (Existing Facilities) Class 1 of Division 6 of Title 14 of the California Code of Regulations.

4. Based upon the findings and conclusions set forth in paragraphs 1, 2, and 3, above, the Planning Commission hereby approves the application subject to the business narrative stamped "RECEIVED JUN 30 2025 PLANNING DIV" as modified herein and the following reasonable conditions set forth in paragraph 5 of this Resolution.

5. The following conditions are deemed necessary to protect the public health, safety, and general welfare and are reasonable and proper in accordance with the purpose and intent of the Buena Park City Code:

PLANNING DIVISION:

1. All previous Conditions of Approval for the following Conditional Use Permit No's. CU-21-11 (Exhibit A), ENT19-2 (Exhibit B), CU06-006 (Exhibit C), CU05-025 (Exhibit D), CU05-001 (Exhibit E), CU04-027 (Exhibit F), CU04-026 (Exhibit G), and CU1316 (Exhibit H) shall remain in full force and effect except as modified herein. The conditions contained herein shall supplement all previous conditions of approval.

2. The modified permitted hours for outdoor and indoor entertainment shall be limited to hours of **11:00am to 12:00am** Sunday through Thursday and **11:00am to 2:00am** Friday and Saturday subject to the approval of an Entertainment Permit. Any modification of these hours shall require approval by the Planning Commission.
3. The applicant shall obtain an updated Entertainment Permit to reflect the new permitted hours of entertainment. The applicant shall maintain at all times a valid Entertainment Permit for the provision of live entertainment. Such Entertainment Permit may impose additional conditions of approval. No entertainment may be provided without a valid and current Entertainment Permit. A copy of the approved Entertainment Permit shall be submitted to the Planning Division.
4. Buena Park Police Department shall have access to security camera footage for the interior and exterior areas of the restaurant, and the business operator shall retain camera footage for no less than 30 days.
5. The Minor Modification of Conditions to the permitted hours of entertainment shall be subject to a Planning Commission compliance update after six (6) months of operation. The presentation from staff shall be agendaized under "old business," with discussion to include a report concerning code compliance and recommendations for any necessary actions, if warranted. Thereafter, any additional compliance updates shall be agendaized by the Community Development Director or Planning Commission as may be deemed necessary. This review period shall commence from the date of issuance of the revised Entertainment Permit.
6. Minor Modification of Conditions may be revoked for any violation of or noncompliance with any of these conditions or any applicable statute, law, or regulation in accordance with Section 19.132.030 of the Zoning Ordinance.
7. The applicant shall indemnify, defend and hold harmless City, its officers, agents, and employees from any and all claims and losses whatsoever occurring or resulting to any and all persons, firms, or corporations furnishing or supplying work, services, materials, or supplies in connection with the performance of the use permitted hereby or the exercise of the rights granted herein, any and all claims, lawsuits or actions arising from the granting of or the exercise of the rights permitted by this Conditional Use Permit and from any and all claims and losses occurring or resulting to any person, firm, corporation, or property for damage, injury, or death arising out of or connected with the performance of the use permitted hereby. Applicant's obligation to indemnify, defend, and hold harmless the City as stated hereinabove shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the City in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.

PASSED AND ADOPTED this 13th day of August 2025, by the following called vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAINED: COMMISSIONERS:

Deborah Diep
Chair

ATTEST:

Harald Luna
Planning Manager

Resolution No.
Minor Modification of Conditions No. MM-25-6 for Conditional Use Permit No. CU-21-11
August 13, 2025

AFFIDAVIT OF ACCEPTANCE:

I/We do hereby accept all of the conditions contained in this document and all other conditions imposed by Minor Modification of Conditions MM-25-6 and do agree that I/We shall conform with and abide by all such conditions.

Date: _____

Applicant / Owner Signature

DRAFT

RESOLUTION NO. 6248
CONDITIONAL USE PERMIT NO. CU-21-11

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BUENA PARK APPROVING A REQUEST TO MODIFY PREVIOUSLY APPROVED CONDITIONAL USE PERMIT NO. CU-19-23 TO CHANGE HOURS OF PERMITTED LIVE ENTERTAINMENT, ALLOW OUTDOOR LIVE ENTERTAINMENT, AND MAKE SITE IMPROVMENTS AT AN EXISTING FULL SERVICE RESTAURANT LOCATED AT 7115 BEACH BOULEVARD IN THE ECSP (ENTERTAINMENT CORRIDOR SPECIFIC PLAN) ZONE

A. Recitals.

(i) Fouad Yacoub, applicant, 7115 Beach Boulevard, Buena Park, CA 90620, on behalf of Nemty, LLC property owner, 519 West Chapman Avenue, Anaheim, CA 92802, has filed an application for the issuance of Conditional Use Permit No. CU-21-11 to modify previously approved conditional use permit no. CU-19-23 to change hours of permitted live entertainment, allow outdoor live entertainment, and make site improvements at an existing full service restaurant located at 7115 beach boulevard Buena Park, California (APN: 136-181-16) in the County of Orange. Hereinafter in this Resolution, the subject Conditional Use Permit request is referred to as the "application".

(ii) On June 8, 2022, the Planning Commission continued the item to June 22, 2022 hearing.

(iii) On June 22, 2022, the Planning Commission conducted a duly noticed public hearing on the application and concluded said hearing prior to the adoption of this Resolution.

(iv) All legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, it is found, determined and resolved by the Planning Commission of the City of Buena Park as follows:

1. The Planning Commission hereby specifically finds that all the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon substantial evidence presented to the Planning Commission during the above-referenced hearing, including written staff reports, verbal testimony, development plans, and reports stamped "RECEIVED MAR 9 2022 PLANNING DIV.", the Planning Commission hereby specifically finds as follows:

- a. **Finding:** The proposed use and development is consistent with the General Plan and any applicable specific plans.

Fact: The proposed modifications to the previously approved Conditional Use Permit are consistent with the General Plan, Zoning Code, and the Entertainment Corridor Specific Plan, as conditioned. The expansion of the live entertainment is consistent with other entertainment type uses within the Entertainment Corridor Specific Plan area.

- b. **Finding:** The site is adequate in size, shape, topography, location, utilities and other factors, to accommodate the proposed use.

Fact: The site is adequate in size, location, and other features to accommodate the proposed modification, as conditioned. There is adequate space for the new structures proposed.

- c. **Finding:** Adequate street access and traffic capacity are or will be available to serve the proposed development as well as existing and anticipated development in the surrounding area;

Fact: Adequate street access and parking will continue to be available to service the restaurant. The restaurant will not cause traffic disruption in the area and proper on-site circulation will not be compromised, especially in view of the fact that the property maintains shared parking and access with the properties to the north and south.

- d. **Finding:** Adequate utilities and public services will be available to serve the use as well as existing and anticipated development in the surrounding area.

Fact: Adequate utilities and public services are currently available to serve the existing restaurant as well as existing and anticipated development in the surrounding area.

- e. **Finding:** The modifications will be consistent with the intended character of the area.

Fact: The use of the property and the proposed structures will remain consistent with the entertainment related uses and businesses in the area, as conditioned.

- f. **Finding:** Any adverse effects of the use and development are justified and fully balanced by offsetting benefits to the public interest.

Fact: The use and development is intended for entertainment related uses per the Entertainment Corridor Specific Plan. The conditions of approval are placed to minimize or eliminate any adverse impacts.

3. The Planning Commission hereby finds and determines that the project identified above in this Resolution is categorically exempt from the requirements of the California Environmental Quality Act of 1970, as amended, and the Guidelines promulgated thereunder pursuant to Class 1, Section 15301 and 15311 of Title 14 of the California Code of Regulations.

4. Based upon the findings and conclusions set forth in paragraphs 1, 2, and 3, above, the Planning Commission hereby approves the application subject to the plans and stamped "RECEIVED MAR 9 2022 PLANNING DIV." as modified herein and the following reasonable conditions set forth in paragraph 5 of this Resolution.

5. The following conditions are deemed necessary to protect the public health, safety, and general welfare and are reasonable and proper in accordance with the purpose and intent of the Buena Park City Code. The following conditions replace the conditions of approval of Conditional Use Permit No. CU-19-23 in its entirety. All other conditions of approval for CU-1316, CU-04-26, CU-04-027, CU-05-001, CU-05-025, and CU-06-006 shall remain in full force and effect, except as modified herein:

FIRE AUTHORITY:

1. Prior to OCFA issuance of a building permit:
 - a. Architectural Plan (service code PR200-208)
2. Prior to concealing interior construction:
 - a. Fire sprinkler system (service code PR420-PR440) if the fire sprinkler system is modified
 - b. Fire alarm system (service request PR500 – PR530) if the fire alarm system is modified
 - c. Commercial cooking equipment fire extinguishing system (service code PR335) if new appliances or change of cooking appliance line up.
 - d. Photovoltaics plan (service code PR363) if the Building Official request OCFA plan review only
 - e. Refrigeration system (service code PR340) if replaced or modify unit, or change refrigerant
3. Specific submittal requirements may vary from those listed above depending on actual project conditions identified or present during design development, review, construction, inspection, or occupancy. Portions of the project that are deferred shall be subject to the codes, standards, and other applicable requirements in force on the date that the deferred plan is submitted to OCFA. Standard notes, guidelines, informational bulletins, submittal instructions, and other information related to plans reviewed by the OCFA may be found by visiting ocfa.org and clicking on “Business > Planning & Development Services” in the menu bar at the top of the screen.
4. Temporary/Final Occupancy Inspections: Prior to issuance of temporary or final certificate of occupancy, all OCFA inspections shall be completed to the satisfaction of the OCFA inspector and be in substantial compliance with codes and standards applicable to the project and commensurate with the type of occupancy (temporary or final) requested. Inspections shall be scheduled at least five days in advance by calling OCFA Inspection Scheduling at 714-573-6150.

POLICE DEPARTMENT:

1. Outdoor and indoor entertainment shall be limited to the hours of **11:00am to 11:00pm** Sunday through Thursday, and **11:00am to 1:00am** Friday and Saturday subject to the approval of an Entertainment Permit. The business hours of operation shall be no later than **12:00am** Sunday through Thursday and **2:00am** Friday and Saturday. Any modification of these hours shall require approval by the Planning Commission.

2. Readily identifiable, licensed security staff shall be provided from 10:00pm to 12:00am Sunday through Thursday and from 10:00pm to 2:00am Friday and Saturday whenever entertainment is occurring. Security staff shall also patrol the parking lot at the close of business to ensure patrons do not loiter in the parking lot. Additionally, any time that patron dancing is allowed within the premises, the establishment shall have present one or more security employees per Section 5.24.130 of the Buena Park Municipal Code.
3. Buena Park Police Department shall have access to security camera footage for the exterior rear patio and parking lot, and the business operator shall retain camera footage for no less than 30-days.
4. Install sound proofing on east and south walls. This improvement shall require City approval prior to installation.
5. Upon receipt of three (3) verifiable complaints, the Police Chief or Community and Economic Development Director may initiate a public hearing to amend/reduce the hours of Entertainment permitted within the Entertainment Permit. A written notice shall be provided to the business owner.

PUBLIC WORKS:

1. The existing trash enclosure shall be modified to accommodate bins for organic, recycling and trash per Senate Bill 1383. Also, developer shall contact the City's recycling company, EDCO, for approval of the trash enclosure location for service pickup.

BUILDING DIVISION:

1. The project shall comply with state and federal disabled access requirements.
2. The project shall comply with the California Building Codes as adopted and amended by the City of Buena Park Municipal Code, Title 15.
3. The construction plans require professional preparation. Submit plans and structural calculations prepared by a California registered engineer or architect.
4. After the public hearing appeal period ends, applicant shall submit three (3) sets of construction plans to the Building Division for plan check in order to obtain required building permits.
5. Solar plans shall be professionally prepared and submitted under a separate permit from the other items.

PLANNING DIVISION:

1. No new construction or alterations shall occur until all required permits have been obtained by the applicant. Any new construction or alterations shall be in

substantial compliance with plans stamped "RECEIVED MAR 9 2022 PLANNING DIV".

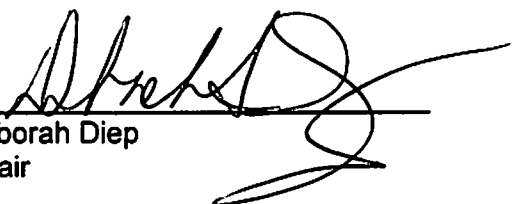
2. The new storage structure shall be architecturally consistent with the existing adjacent storage structure and shall match color, height, and exterior materials.
3. New logo sign shall be in substantial compliance with plans stamped "RECEIVED MAR 9 2022 PLANNING DIV". All electrical connections shall be behind the building wall. No exposed electrical connections shall be permitted. All lighting and illumination of the signs shall be designed to prevent glare upon streets, walkways, and surrounding development.
4. Landscaping along the fence in front of the new sign location shall be maintained and trimmed appropriately to allow for visibility of the new sign. Any surface finish in front of the proposed sign and visible from public right-of-way shall be decorative and maintained in good condition at all times. Existing trees, vines, and shrubs shall be maintained in good condition.
5. Increase in height of the existing block wall shall be limited to 10-feet high measured from highest finished grade on either side of the wall, in accordance with the structural design approved by the Building Division. No block wall construction shall occur until a fence permit has been approved. Material used for the new construction shall match the existing wall. If a match is not possible, the entire wall will be reconstructed.
6. Outdoor live entertainment and amplified music shall not be permitted until Planning Division condition of approval number 5, and Police Department condition of approval number 4 above have been completed to City's satisfaction.
7. All existing code violations shall be corrected by the applicant to the satisfaction of the Building Division and Orange County Fire Authority.
8. Entertainment shall be limited to small bands, choreographed dance performances, and disc jockeys. No other form of live entertainment is permitted. Any modification to the type of entertainment shall require modification of this approval by the Planning Commission.
9. Permitted live entertainment shall at all times be incidental to the restaurant use. All entertainment activities shall be conducted only in conjunction with regular dining or banquet activities. Entertainment shall not be offered at any time food service is not also available.
10. There shall be no direct tipping between any of the live entertainers, including the band members, singers, or dance performers, and the restaurant patrons.
11. All existing building and site improvements in place as of the date of application, including architecture features, water features, patio covers, signage, and lighting, shall be maintained in good working condition.

12. Applicant shall maintain at all times a valid Entertainment Permit for the provision of live entertainment. Such Entertainment Permit may impose additional conditions of approval. No entertainment may be provided without a valid and current Entertainment Permit.
13. Quarterly gross sales of alcoholic beverages shall not exceed quarterly gross sales of food. Quarterly records shall be maintained to separately reflect gross sales of food and gross sales of alcohol and shall be made available to the City of Buena Park upon request.
14. All existing building and site improvements in place as of the date of application, including architecture features, water features, patio covers signage, and lighting, may remain shall be maintained in good working condition.
15. All exterior windows within the restaurant shall remain sufficiently uncovered with limited window coverings to allow unobstructed view into the service area from the exterior.
16. The development shall conform to the plan as finally approved by the City as conditioned herein. Final plans shall incorporate all changes as conditioned herein and shall recognize all easements or deed restrictions pertaining to the subject property. Any appreciable modification shall require the prior approval of the Planning Commission.
17. The outdoor dining area shall be limited to a total of 162 seats, and a total of 292 seats indoor and outdoor combined seating capacity in compliance with plans stamped "RECEIVED MAR 9 PLANNING DIV", upon approval by Building Division and Orange County Fire Authority. Any increase in seating capacity shall require modification of this approval by the Planning Commission.
18. This Conditional Use Permit may be revoked for any violation of or noncompliance with any of these conditions or any applicable statute, law, or regulation in accordance with Section 19.132.030 of the Zoning Ordinance.
19. The applicant shall indemnify, defend and hold harmless City, its officers, agents, and employees from any and all claims and losses whatsoever occurring or resulting to any and all persons, firms, or corporations furnishing or supplying work, services, materials, or supplies in connection with the performance of the use permitted hereby or the exercise of the rights granted herein, any and all claims, lawsuits or actions arising from the granting of or the exercise of the rights permitted by this Conditional Use Permit and from any and all claims and losses occurring or resulting to any person, firm, corporation, or property for damage, injury, or death arising out of or connected with the performance of the use permitted hereby. Applicant's obligation to indemnify, defend, and hold harmless the City as stated hereinabove shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the City in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.

20. Staff shall provide a 6-month review of the business operations to the Planning Commission. This review period shall commence from the date of issuance of the Entertainment Permit.

PASSED AND ADOPTED this 22nd day of June 2022, by the following called vote:

AYES:	5	COMMISSIONERS:	Desai, Lee, Schoales, Sheibe, and Diep
NOES:	0	COMMISSIONERS:	
ABSENT:	2	COMMISSIONERS:	Eades, 1 Vacant
ABSTAINED:	0	COMMISSIONERS:	


Deborah Diep
Chair

ATTEST:


Swati Meshram
Planning Manager

AFFIDAVIT OF ACCEPTANCE:

I/We do hereby accept all of the conditions contained in this document and all other conditions imposed by Conditional Use Permit No. CU-21-11 and do agree that I/We shall conform with and abide by all such conditions.

Date: 7/11/22



Applicant / Owner Signature

RECU21-11



RESOLUTION NO. 6163
ENTERTAINMENT PERMIT NO. ENT19-2

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF BUENA PARK APPROVE A REQUEST TO ALLOW LIVE ENTERTAINMENT TO INCLUDE A LIVE MUSIC BAND, BELLY DANCERS, AND DISC JOCKEYS DURING THE HOURS OF 8:00 PM TO 11:00 PM FRIDAY THROUGH SUNDAY AND ON HOLIDAYS AND SPECIAL OCCASIONS WITHIN AN EXISTING FULL SERVICE RESTAURANT LOCATED AT 7115 BEACH BOULEVARD WITHIN THE ECSP (ENTERTAINMENT CORRIDOR SPECIFIC PLAN) WITH FINDINGS

A. Recitals.

(i) Tereza Yacoub and Fouad Yacoub, applicant, 519 W. Chapman Avenue, Anaheim CA 92802, on behalf of La Jolla Funding, Inc., property owner, 8051 Main Street, Stanton, CA 90680, has filed an application for issuance of Entertainment Permit No. ENT19-2 to allow live entertainment including a live music band, belly dancers, and disc jockeys during the hours of 8:00 PM to 11:00 PM Friday through Sunday, and on holidays and special occasions within an existing full service restaurant (Golden Rose Restaurant and Lounge) located at 7115 Beach Boulevard, Buena Park, CA 90620 (APN 136-181-16) in the County of Orange. Hereinafter in this Resolution, the subject Entertainment Permit request is referred to as the "application."

(ii) On September 16, 2019, the Zoning Administrator conducted a public hearing on the application and moved to continue the item to a date certain to allow more time to consider arguments and evidence presented by the City Prosecutor and the applicant's attorney.

(ii) On September 30, 2019, the Zoning Administrator conducted a public hearing on the application and concluded said hearing prior to the adoption of this Resolution.

(iii) All legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution.

NOW THEREFORE, it is found, determined and resolved by the Zoning Administrator of the City of Buena Park as follows:

1. The Zoning Administrator hereby specifically finds that all the facts set forth in Recitals, Part A, of this Resolution are true and correct.

2. Based upon substantial evidence presented to the Zoning Administrator during the above-referenced hearing, including written staff reports, and verbal testimony, the Zoning Administrator hereby specifically finds as follows:

a. In accordance with Buena Park Municipal Code Section 5.24.090, The Zoning Administrator in granting this Entertainment Permit may also impose such reasonable conditions with respect to the use and scope of such permit as is determined to be necessary to protect the public health, safety and/or welfare, and to implement the intent and purpose of the Buena Park Municipal Code.

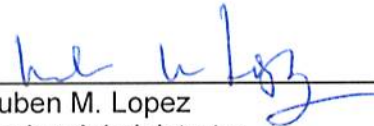
3. The Zoning Administrator hereby finds and determines that the project identified above in this Resolution is categorically exempt from the requirements of the California Environmental Quality Act of 1970, as amended, and the Guidelines promulgated thereunder pursuant to Class 1, Section 15301 of Division 6 of Title 14 of the California Code of Regulations.

4. Based upon the findings and conclusions set forth in paragraphs 1,2, and 3, above, the Zoning Administrator hereby approves Entertainment Permit No. ENT19-2.

5. The following conditions are deemed necessary to protect the public health, safety, and general welfare and are reasonable and proper in accordance with the purpose and intent of the Buena Park City Code.

- a) Live entertainment provided at the establishment, including performance type, location within the establishment, allowable days and times, etc., shall remain in accordance with conditions of approval for Conditional Use Permit No. CU06-006 (Resolution No. 5503).
- b) This Entertainment Permit may be revoked in accordance with Sections 5.24.100 and 19.132.030 of the Zoning Ordinance if three (3) verifiable calls for service related to noise and/or code enforcement violations are received by the City regarding this establishment.
- c) Zoning Administrator shall conduct a four-month (120 days) review of this Entertainment Permit to evaluate compliance with these conditions or any applicable statute, law, or regulation. Four month period shall commence immediately upon approval of Entertainment Permit No. ENT19-2.

PASSED AND ADOPTED this 30th day of September 2019.



Ruben M. Lopez
Zoning Administrator

ATTEST:



Joel W. Rosen, AICP
Community Development Director

AFFIDAVIT OF ACCEPTANCE:

I/ We do hereby accept all of the conditions contained in this document and all other conditions imposed by Entertainment Permit No. ENT19-2 and do agree that I/We shall conform with and abide by all such conditions.

Signature of Property Owner

Print Name of Property Owner

Date

Signature of Applicant

Print Name of Applicant

Date

REENT19-2 ZA

RESOLUTION NO. 5503
CONDITIONAL USE PERMIT NO. CU06-006

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BUENA PARK APPROVING A REQUEST FOR MODIFICATION OF CU-1316 AND CONDITIONAL USE PERMIT NO. CU05-025, TO MODIFY THE EXISTING FULL SERVICE RESTAURANT TO INCLUDE NEW PATIO COVERS WITHIN THE OUTDOOR DINING AREA AND EXPANSION OF THE PREVIOUSLY APPROVED LIVE ENTERTAINMENT AT AN EXISTING FULL-SERVICE RESTAURANT AT 7115 BEACH BOULEVARD IN THE ECSP (ENTERTAINMENT CORRIDOR SPECIFIC PLAN) ZONE.

A. Recitals.

(i) On January 8, 2003, the Planning Commission approved Conditional Use Permit No. CU-1316(RDA), for construction and operation of a full service restaurant with outdoor dining, on-site sale and consumption of alcoholic beverages, and limited live entertainment with associated parking lot improvements in the ECSP (Entertainment Corridor Specific Plan) zone at 7115 Beach Boulevard, Buena Park, California, in the County of Orange.

(ii) On August 11, 2004, the Planning Commission approved Conditional Use Permit No. CU04-026 to modify the approved exterior design of the restaurant building during construction.

(iii) On January 26, 2005, the Planning Commission approved Conditional Use Permit No. CU05-001 to further modify the exterior building and site design of the full service restaurant during construction.

(iv) On January 11, 2006, the Planning Commission approved Conditional Use Permit No. CU05-025 to further modify the exterior of the full service restaurant building to include architectural neon lighting and an increase in outdoor dining area.

(v) Vasken Tatarian, property owner and project proponent, 8469 Beach Circle, Cypress, CA 90630 has filed an application for modification of CU-1316 and CU05-025 to modify the full service restaurant to include new patio covers within the outdoor dining area and expansion of previously approved live entertainment at 7115 Beach Boulevard. Hereinafter in this Resolution, the subject Conditional Use Permit modification request is referred to as the "application".

(vi) On April 12, 2006, this Commission conducted a duly noticed public hearing on the application and concluded said hearing prior to the adoption of this Resolution.

(vii) All legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, it is found, determined and resolved by the Planning Commission of the City of Buena Park as follows:

1. The Commission hereby specifically finds that all the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon substantial evidence presented to this Commission during the above-referenced hearing, including written staff reports, verbal testimony, development plans, and letters stamped "RECEIVED MAR 29 2006 PLNG. DIV.", this Commission hereby specifically finds as follows:

a. The proposed modifications to the previously approved full service restaurant are consistent with the General Plan, Zoning Code, and the California District of the Entertainment Corridor Specific Plan. The patio covers within the outdoor dining area have been designed to meet applicable design standards within the California District of the Entertainment Corridor Specific Plan, which encourages an outdoor "Beach Lifestyle" and cloth canopies. The expansion of the live entertainment is consistent with other entertainment type uses within the Entertainment Corridor Specific Plan area.

b. The proposed modification will enhance the architectural design of the building. The patio covers within the outdoor dining area will be consistent with the existing and intended character of the property and area as defined by the City's General Plan, Zoning Ordinance, and the Entertainment Corridor Specific Plan. The site is adequate in size, location, and other features to accommodate the proposed modification.

c. The proposed patio covers within the outdoor dining area and expansion of live entertainment will be compatible with the existing and intended character of the area. The modifications will be consistent with existing and anticipated development in the surrounding area, as conditioned.

d. Adequate street access and parking will continue to be available to service the restaurant. Adjacent streets are fully improved with sufficient capacity for traffic generated by the project. The project will not cause traffic disruption in the area and proper on-site circulation will not be compromised, especially in view of the fact that the property maintains shared parking and access with the properties to the north and south.

3. The Planning Commission hereby finds and determines that the project identified above in this Resolution is categorically exempt from the requirements of the California Environmental Quality Act of 1970, as amended, and the Guidelines promulgated thereunder pursuant to Class 1, Section 15301 of Division 6 of Title 14 of the California Code of Regulations.

4. Based upon the findings and conclusions set forth in paragraphs 1, 2, and 3, above, this Commission hereby approves the application subject to the

plans and associated letter stamped "RECEIVED MAR 29 2006 PLNG. DIV." as modified herein and the following reasonable conditions set forth in paragraph 5 of this Resolution.

5. The following conditions are deemed necessary to protect the public health, safety, and general welfare and are reasonable and proper in accordance with the purpose and intent of the Buena Park City Code:

FIRE AUTHORITY:

1. The plans submitted for plan check shall show the new canopy with proper exiting from the existing building. The rated exits from the existing building shall be open to the sky to the public right-of-way and shall not enter the canopy as part of the exit path. If the existing building and canopy structure combined equals 6000 sq ft or greater, both structures shall be protected by a NFPA 13 fire sprinkler system.
2. Prior to the issuance of a building permit for the patio covers, the applicant shall submit architectural plans for the review and approval of the Fire Chief if required per the "Orange County Fire Authority Plan Submittal Criteria Form." Please contact the OCFA at (714) 573-6100 for a copy of the Site/Architectural Notes to be placed on the plans prior to submittal.
3. Prior to the issuance of a building permit for the patio covers, the applicant shall submit plans for any required automatic fire sprinkler system in any structure to the Fire Chief for review and approval. Please contact the OCFA at (714) 573-6100 to request a copy of the "Orange County Fire Authority Notes for New NFPA 13 Commercial Sprinkler Systems."
4. Prior to final inspection, any required automatic fire sprinkler system shall be operational in a manner meeting the approval of the Fire Chief.

PLANNING DIVISION:

1. This approval shall be to modify the previously approved restaurant to include new patio covers within the outdoor dining area and expansion of previously approved live entertainment at 7115 Beach Boulevard, as shown on plans stamped "RECEIVED MAR 29 2006 PLNG. DIV.," as conditioned. All other conditions of approval for CU-1316(RDA), CU04-026, CU04-027, CU05-001, and CU05-025 shall remain in full force and effect, except as modified herein.
2. Plans submitted for building permits shall include the following architectural amenities with specifications and details consistent with plans stamped "RECEIVED MAR 29 2006 PLNG. DIV.":
 - a. Maximum 2,237 sq. ft. patio cover within the northerly portion of the patio area.
 - b. Maximum 1,953 sq. ft. patio cover within the southerly portion of the patio area.
 - c. Green scalloped edge canvas covers.

- d. 8" diameter fiberglass columns with simulated marble finish.
- e. 12" square fiberglass column caps with simulated marble finish.
- f. 12" square concrete column bases with simulated marble finish.
- g. Clear plastic retractable wind curtains may be provided although they are not required.

Final design, color, and material samples shall be reviewed and approved by the Planning Division before issuance of permits.

3. The proposed patio covers shall be constructed in compliance with the submitted plans as modified herein. Material samples shall be reviewed and approved by the Planning Division before issuance of building permits. The applicant shall provide documentation that said material has a listed life, from the manufacturer, of at least five (5) years. Additionally, the patio covers shall be maintained and/or replaced on a regular basis to not be faded, stained, or tattered at any time as requested by the City.
4. All permitted live entertainment shall be performed within a maximum 300 sq. ft. area centrally located within the restaurant building as indicated on the entertainment plan stamped "RECEIVED MAR 29 2006 PLNG. DIV." The applicant shall submit a plan depicting the final location for the live entertainment, which shall be reviewed and approved by the Planning Division prior to commencement of the performances.
5. All permitted live entertainment shall be limited to the hours of 8:00 p.m. to 11:00 p.m. Friday through Sunday and federally observed Holidays. All requests for live entertainment on days other than Friday, Saturday, Sunday, and federally observed holidays shall be submitted to the Community Development Director a minimum of seven (7) days prior to the date of the performance provided that the maximum number of such events shall not exceed thirty (30) events per year. The hours of live entertainment on these specified dates shall be from 8:00 p.m. to 11:00 p.m. Any modification of hours shall require modification of this approval by the Planning Commission.
6. The entertainment shall be strictly limited to small bands with a maximum of four (4) band members and three (3) singers, maximum five (5) choreographed dance performances, and a maximum of two (2) string instrument players, in substantial compliance with the entertainment plan stamped "RECEIVED MAR 29 2006 PLNG. DIV." No other form of live entertainment is permitted. Any modification to the type of entertainment shall require modification of this approval by the Planning Commission.
7. Permitted live entertainment shall at all times be incidental to the restaurant use. All entertainment activities shall be conducted only in conjunction with regular dining or banquet activities. Entertainment shall not be offered at any time food service is not available.
8. Any time that patron dancing is allowed within the premises, the establishment shall have present at all times one or more security employees who are readily identifiable as per Section 5.24.130 of the Buena Park Municipal Code.

9. The applicant shall submit an Entertainment Permit application to the Buena Park Police Department for review and approval prior to commencement of the entertainment use per Chapter 5.24 of the Buena Park Municipal Code.
10. There shall be no direct tipping between any of the live entertainers, including the band members, singers, or dance performers, and the restaurant patrons.
11. The Planning Commission shall conduct a six-month (180 days) and a twelve-month (365 days) review of this Conditional Use Permit to evaluate compliance with the Conditions of Approval.
12. This Conditional Use Permit may be revoked for any violation of or noncompliance with any of these conditions or any applicable statute, law, or regulation in accordance with Section 19.132.030 of the Zoning Ordinance.
13. The use authorized by this Conditional Use Permit shall be commenced or construction necessary and incidental thereto shall be started within one (1) year of the expiration of the appeal period and thereafter diligently advanced until completion of the project.
14. The development shall conform to the plan as finally approved by the City as conditioned herein. Final plans shall incorporate all changes as conditioned herein and shall recognize all easements or deed restrictions pertaining to the subject property. Any appreciable modification shall require the prior approval of the Planning Commission.
15. These conditions and all improvements shall be completed to the satisfaction of the City.
16. The applicant shall indemnify, defend and hold harmless City, its officers, agents, and employees from any and all claims and losses whatsoever occurring or resulting to any and all persons, firms, or corporations furnishing or supplying work, services, materials, or supplies in connection with the performance of the use permitted hereby or the exercise of the rights granted herein, any and all claims, lawsuits or actions arising from the granting of or the exercise of the rights permitted by this Conditional Use Permit and from any and all claims and losses occurring or resulting to any person, firm, corporation, or property for damage, injury, or death arising out of or connected with the performance of the use permitted hereby. Applicant's obligation to indemnify, defend, and hold harmless the City as stated hereinabove shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the City in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.

PASSED AND ADOPTED this 12th day of April 2006, by the following called vote:

AYES: 6 COMMISSIONERS: Diep, Tieger, Bell, Brassfield, Schoales, and Capelle

NOES: 0 COMMISSIONERS:

ABSENT: 1 COMMISSIONER: Barstow

ABSTAINED: 0 COMMISSIONERS:


CHAIRMAN

ATTEST:

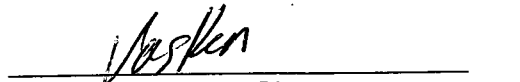

SECRETARY

AFFIDAVIT OF ACCEPTANCE:

I/We do hereby accept all of the conditions contained in this document and all other conditions imposed by Conditional Use Permit No. CU06-006 and do agree that I/We shall conform with and abide by all such conditions.

Date: MAY 3, 2006

RECU06-006


Applicant's Signature
VASKEN TETARIAN

RESOLUTION NO. 5488
CONDITIONAL USE PERMIT NO. CU05-025

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BUENA PARK APPROVING A REQUEST FOR A MODIFICATION OF CU-811(RDA) AND CU-1316 (CONDITIONAL USE PERMIT NO. CU05-025), TO INCLUDE ARCHITECTURAL NEON LIGHTING WITH INCREASE IN OUTDOOR DINING AREA AT 7115 BEACH BOULEVARD AS WELL AS REDUCE THE MAXIMUM NUMBER OF GUEST ROOMS TO 129 FOR THE ADJACENT MOTEL LOCATED AT 7121 BEACH BOULEVARD, INCONJUNCTION WITH RE-STRIPING OF THE SHARED PARKING LOT AND A NEW INTEGRATED GROUND SIGN TO INCLUDE THE RESTAURANT AND THE ADJACENT MOTEL IN THE ECSP (ENTERTAINMENT CORRIDOR SPECIFIC PLAN) ZONE.

A. Recitals.

(i) On March 9, 1983, the Planning Commission approved Conditional Use Permit No. CU-811 (RDA) for a 139-unit motel complex at 7121 Beach Boulevard, including suites, meeting rooms, and coffee/snack area.

(ii) On January 8, 2003, the Planning Commission approved Conditional Use Permit No. CU-1316(RDA), which permitted construction and operation of a full service restaurant with outdoor dining, on-site sale and consumption of alcoholic beverages, and limited live entertainment with associated parking lot improvements in the ECSP (Entertainment Corridor Specific Plan) zone at 7115 Beach Boulevard, Buena Park, California, in the County of Orange.

(iii) On August 11, 2004, the Planning Commission approved Conditional Use Permit No. CU04-026 to modify the approved exterior design of the restaurant building during construction.

(iv) On January 26, 2005, the Planning Commission approved Conditional Use Permit No. CU05-001 to further modify the exterior building and site design of the full service restaurant under construction.

(v) Vasken Tatarian, property owner and project proponent, 8469 Beach Circle, Cypress, CA 90630 and Catherine Kyung Kim, property owner and project proponent, 7121 Beach Boulevard, Buena Park, CA 90620 have filed an application for modification of CU-811(RDA) and CU-1316 (Conditional Use Permit No. CU05-025) to modify the previously approved restaurant to include architectural neon lighting with increase in outdoor dining area at 7115 Beach Boulevard as well as reduce the maximum number of guest rooms to 129 for the adjacent motel located at 7121 Beach Boulevard, in conjunction with re-striping of the shared parking lot and a new integrated ground sign to include the restaurant and the adjacent motel. Hereinafter in this Resolution, the subject Conditional Use Permit modification request is referred to as the "application".

(vi) On January 11, 2006, this Commission conducted a duly noticed public hearing on the application and concluded said hearing prior to the adoption of this Resolution.

(vii) All legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, it is found, determined and resolved by the Planning Commission of the City of Buena Park as follows:

1. The Commission hereby specifically finds that all the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon substantial evidence presented to this Commission during the above-referenced hearing, including written staff reports, verbal testimony, development plans, and letters stamped "RECEIVED DEC 13 2005 PLNG. DIV.", this Commission hereby specifically finds as follows:

a. The proposed modification to the previously approved restaurant building and site are consistent with the General Plan, Zoning Code, and the California District of the Entertainment Corridor Specific Plan. The modified design of the restaurant building will enhance the architectural character of the building and site as well as the surrounding area, as conditioned. The new integrated sign, outdoor dining, and restriped lot will comply with applicable standards.

b. The proposed modification will enhance the architectural design of the building. The architectural neon lighting, increase in outdoor dining area, and integrated ground sign will be consistent with the existing and intended character of the property and area as defined by the City's General Plan, Zoning Ordinance, and the Entertainment Corridor Specific Plan. The site is adequate in size, location, and other features to accommodate the proposed modifications.

c. The proposed architectural neon lighting, increase in outdoor dining area, parking, and integrated ground sign will be compatible with the existing and intended character of the area. The design of the building and site will be consistent with existing and anticipated development in the surrounding area, as conditioned.

d. Adequate street access and parking will continue to be available to service the restaurant. Adjacent streets are fully improved with sufficient capacity for traffic generated by the project. The project will not cause traffic disruption in the area and proper on-site circulation will not be compromised, especially in view of the fact that the property maintains shared parking and access with the properties to the north and south.

3. The Planning Commission hereby finds and determines that the project identified above in this Resolution is categorically exempt from the requirements of the California Environmental Quality Act of 1970, as amended, and the Guidelines

promulgated thereunder pursuant to Class 1, Section 15301 of Division 6 of Title 14 of the California Code of Regulations.

4. Based upon the findings and conclusions set forth in paragraphs 1, 2, and 3, above, this Commission hereby approves the application subject to the plans and letters stamped "RECEIVED DEC 13 2005 PLNG. DIV." as modified herein and the following reasonable conditions set forth in paragraph 5 of this Resolution.

5. The following conditions are deemed necessary to protect the public health, safety, and general welfare and are reasonable and proper in accordance with the purpose and intent of the Buena Park City Code:

FIRE AUTHORITY:

1. Prior to the issuance of a building permit or occupancy, the applicant shall submit architectural plans for the review and approval of the Fire Chief if required per the "Orange County Fire Authority Plan Submittal Criteria Form." Please contact the OCFA at (714)573-6100 for a copy of the Site/Architectural Notes to be placed on the plans prior to submittal.

BUILDING DIVISION:

1. The project shall comply with California Title 24 Accessibility requirements.
2. The project shall comply with Buena Park Municipal Code Title 15, California Building Codes.
3. The applicant shall complete the City of Buena Park's Construction Site NPDES Certification Form prior to issuance of building and grading permits.
4. The applicant shall comply with California Plumbing Code requirements for number of plumbing fixtures within the restroom areas.

PLANNING DIVISION:

1. This approval shall be to modify the previously approved restaurant to include architectural neon lighting with increase in outdoor dining area at 7115 Beach Boulevard as well as re-striping of the shared parking lot and a new integrated ground sign to include the restaurant and the adjacent hotel located at 7121 Beach Boulevard as shown on plans stamped "RECEIVED DEC 13 2005 PLNG. DIV.," as conditioned. All other conditions of approval for Conditional Use Permit No. CU-811(RDA), CU-1316(RDA), CU04-026, CU04-027, CU05-001 shall remain in full force and effect, except as modified herein.
2. The outdoor dining area shall be limited to a total of 104 seats and 3,992 sq. ft. as shown on plans stamped "RECEIVED DEC 13 2005 PLNG. DIV." Any increase in outdoor dining area shall require modification of this approval by the Planning Commission. All additional areas in the patio area not designated for outdoor seating and walkways shall maintain landscaping, consisting of shrubs and trees, or waterscape, in compliance with approved plans.

3. All location of the building mounted neon lighting shall be consistent with plans stamped "RECEIVED DEC 13 2005 PLNG. DIV." Exact location of the neon tubes shall be submitted to the Planning Division for review and approval prior to issuance of building permits.
4. All electrical connections for the proposed neon shall be behind the building wall. No exposed electrical connections shall be permitted.
5. All neon components on the subject signs shall be cleaned on a regular basis and maintained in good working condition.
6. The integrated ground sign shall be limited to maximum dimensions of 30'-0" in height and 11'-0" in width. The ground sign shall maintain colors and finishes that match the restaurant located at 7115 Beach Boulevard, as shown on plans stamped "RECEIVED DEC 13 2005 PLNG. DIV." The ground sign shall be limited to a maximum two (2) 6' x 8' sign cabinets. Exact design and location of the ground signs shall be submitted to the Planning Division for review and approval prior to issuance of building permits.
7. All lighting and illumination of the signs shall be designed to prevent glare upon streets, walkways, and surrounding development.
8. All new signs shall conform to the Zoning and Sign Ordinance of the City and require separate approval.
9. Signs shall be posted between the restaurant and motel properties, which clearly indicate that additional restaurant parking is available on the motel property. Exact design and placement shall be reviewed and approved by the Planning Division prior to the use of the expanded patio.
10. All existing parking lot and driveway striping shall be sandblasted or slurry sealed at the discretion of the Planning Division, and re-striped (in compliance with Code Section No. 19.536.070F) as shown on plans stamped "RECEIVED DEC 13 2005 PLNG. DIV." A total of 291 parking spaces shall be maintained for the restaurants and motel at 7111, 7115, and 7121 Beach Boulevard. All parking areas shall be striped with white double lines separating stalls, with minimum 4 in. wide stripes and a minimum 8 in. separation. Installation of speed bumps shall not be permitted within required fire lanes, access drives, or driveways of the proposed project.
11. A deed restriction shall be recorded in the Orange County Records Office that limits the motel located at 7121 Beach Boulevard to a maximum of 129 guest rooms. Said deed restriction shall be submitted to the City for City Attorney review and approval and shall be recorded prior to issuance of building permits or use of the expanded patio area.
12. This Conditional Use Permit may be revoked for any violation of or noncompliance with any of these conditions in accordance with Section 19.132.030 of the Zoning Ordinance.

13. The use authorized by this Conditional Use Permit shall be commenced or construction necessary and incidental thereto shall be started within one (1) year of the expiration of the appeal period and thereafter diligently advanced until completion of the project.
14. The development shall conform to the plan as finally approved by the City as conditioned herein. Final plans shall incorporate all changes as conditioned herein and shall recognize all easements or deed restrictions pertaining to the subject property. Any appreciable modification shall require the prior approval of the Planning Commission.
15. Prior to any occupancy permit being granted, these conditions and all improvements shall be completed to the satisfaction of the City.
16. The applicant shall indemnify, defend and hold harmless City, its officers, agents, and employees from any and all claims and losses whatsoever occurring or resulting to any and all persons, firms, or corporations furnishing or supplying work, services, materials, or supplies in connection with the performance of the use permitted hereby or the exercise of the rights granted herein, any and all claims, lawsuits or actions arising from the granting of or the exercise of the rights permitted by this Conditional Use Permit and from any and all claims and losses occurring or resulting to any person, firm, corporation, or property for damage, injury, or death arising out of or connected with the performance of the use permitted hereby. Applicant's obligation to indemnify, defend, and hold harmless the City as stated hereinabove shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the City in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.

PASSED AND ADOPTED this 11th day of January 2006, by the following called vote:

AYES: 7 COMMISSIONERS: Brassfield, Tieger, Barstow, Bell, Diep,
Schoales, and Capelle

NOES: 0 COMMISSIONERS:

ABSENT: 0 COMMISSIONERS:

ABSTAINED: 0 COMMISSIONERS:


CHAIRMAN

ATTEST:


SECRETARY

AFFIDAVIT OF ACCEPTANCE:

I/We do hereby accept all of the conditions contained in this document and all other conditions imposed by Conditional Use Permit No. CU05-025 and do agree that I/We shall conform with and abide by all such conditions.

Date: _____

RECU05-025

Applicant's Signature

RESOLUTION NO. 5382
CONDITIONAL USE PERMIT NO. CU05-001

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BUENA PARK APPROVING A REQUEST FOR A MODIFICATION OF CU-1316 (CONDITIONAL USE PERMIT NO. CU05-001), TO MODIFY THE EXTERIOR BUILDING AND SITE DESIGN OF A FULL SERVICE RESTAURANT UNDER CONSTRUCTION AT 7115 BEACH BOULEVARD IN THE ECSP (ENTERTAINMENT CORRIDOR SPECIFIC PLAN) ZONE.

A. Recitals.

(i) On January 8, 2003, the Planning Commission approved Conditional Use Permit No. CU-1316(RDA), which permitted construction and operation of a full service restaurant with outdoor dining, on-site sale and consumption of alcoholic beverages, and limited live entertainment with associated parking lot improvements in the ECSP (Entertainment Corridor Specific Plan) zone at 7115 Beach Boulevard, Buena Park, California, in the County of Orange.

(ii) On August 11, 2004, the Planning Commission approved Conditional Use Permit No. CU04-026 to modify the approved exterior design of the restaurant building during construction.

(iii) Vasken Tatarian, the property owner and project proponent, 8469 Beach Circle, Cypress, CA 90630 has filed an application for modification of CU-1316 (Conditional Use Permit No. CU05-001) to further modify the exterior building and site design of the full service restaurant under construction. Hereinafter in this Resolution, the subject Conditional Use Permit modification request is referred to as the "application".

(iv) On January 26, 2005, this Commission conducted a hearing on the application and concluded said hearing prior to the adoption of this Resolution.

(v) All legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, it is found, determined and resolved by the Planning Commission of the City of Buena Park as follows:

1. The Commission hereby specifically finds that all the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon substantial evidence presented to this Commission during the above-referenced hearing, including written staff reports, verbal testimony,

development plans, and letters stamped "RECEIVED JAN 03 2005 PLNG. DIV.", this Commission hereby specifically finds as follows:

a. The proposed modification to the architectural design of the previously approved restaurant building is consistent with the General Plan, Zoning Code, and the California District of the Entertainment Corridor Specific Plan. The modified design of the restaurant building will enhance the architectural character of the building and site as well as the surrounding area, as conditioned.

b. The proposed modification will enhance the architectural design of the building. The revised building design will be consistent with the existing and intended character of the property and area as defined by the City's General Plan, Zoning Ordinance, and the Entertainment Corridor Specific Plan.

c. The proposed architectural modification to the exterior design of the building to include enhanced architectural details will be compatible with the existing and intended character of the area. The enhanced design of the building will be consistent with existing and anticipated development in the surrounding area, as conditioned.

3. The Planning Commission hereby finds and determines that the project identified above in this Resolution is categorically exempt from the requirements of the California Environmental Quality Act of 1970, as amended, and the Guidelines promulgated thereunder pursuant to Class 1, Section 15301 of Division 6 of Title 14 of the California Code of Regulations.

4. Based upon the findings and conclusions set forth in paragraphs 1, 2, and 3, above, this Commission hereby approves the application subject to the plans and letters stamped "RECEIVED JAN 03 2005 PLNG. DIV." as modified herein and the following reasonable conditions set forth in paragraph 5 of this Resolution.

5. The following conditions are deemed necessary to protect the public health, safety, and general welfare and are reasonable and proper in accordance with the purpose and intent of the Buena Park City Code:

BUILDING DIVISION:

1. The project shall comply with California Title 24 Accessibility requirements.
2. The project shall comply with Buena Park Municipal Code Title 15, California Building Codes.

PLANNING DIVISION:

1. This approval shall be for modifications to the exterior building and site design for the previously approved restaurant as shown on plans stamped "RECEIVED JAN 03 2005 PLNG. DIV.," as conditioned. All other conditions of approval for Conditional Use Permit No. CU-1316(RDA) shall remain in full force and effect, except as modified herein.

2. The revised building and site design shall be consistent with plans stamped "RECEIVED JAN 03 2005 PLNG. DIV.," with exact design details and specifications subject to Planning Division approval. Color and material samples shall be submitted to the Planning Division for review and approval prior to framing inspection by the Building Division. The following architectural and site amenities shall be included:
 - a. Multi-dimensional stucco-covered foam banding along all eaves of the expansion area.
 - b. New wall spanning from the southwest corner of the building to the south property line. Said wall shall include two tone gray and creme color smooth stucco finish with simulated key stone enhancements, tan color travertine tile veneer accents, and decorative wrought iron gate.
 - c. Four (4) smooth stucco finished archways spanning from the south elevation of the building to the south property line block wall.
 - d. Stamped concrete bridge and water featuring including two (2) water spouts and fountain located along the south elevation of the building.
 - e. Three (3) water spouts and fountain on the north property line wall within the outdoor patio area. North property line wall shall be enhanced with two tone gray and creme color smooth stucco finish, simulated key stone enhancements, tan color travertine tile veneer accents, and decorative arched pop-outs with alabaster columns.
 - f. Four (4) water spouts and fountain on the south property line wall within the outdoor patio area. South property line wall shall be enhanced with two tone gray and creme color smooth stucco finish, simulated key stone enhancements, tan color travertine tile veneer accents, and decorative arched pop-outs with alabaster columns.
 - g. The maximum 8 ft. tall multi-level decorative wall located along the east side of the patio area shall include a combination of planters and waterfalls, with a waterfall facing Beach Boulevard. Said wall shall maintain tan color travertine tile veneer with decorative cap. Location of wall shall be behind the required 20 ft. front yard setback along Beach Boulevard. In order to provide space for the hanging garden wall within the patio area, the outdoor playground area may be eliminated.
3. The fountain treatment featuring water spouts, located on the north and south property line walls within the patio area, shall be maintained in good working condition.
4. All landscaping within the patio area and hanging garden wall along the easterly edge of the patio area shall be consistent with the palette of the California District of the ECSP and with the conceptual landscape plan previously submitted, including shrubs (5 gal. min.) and groundcover.

5. The applicant shall demonstrate that proposed building materials are rated for appropriate durability and longevity. In the event that said rating cannot be obtained, alternate materials shall be used under the direction of the Planning Division.
6. This Conditional Use Permit modification may be revoked for any violation of or noncompliance with any of these conditions in accordance with Section 19.132.030 of the Zoning Ordinance.
7. The development shall conform to the plan as finally approved by the City as conditioned herein. Final plans shall incorporate all changes as conditioned herein and shall recognize all easements or deed restrictions pertaining to the subject property. Any appreciable modification shall require the prior approval of the Planning Commission.
8. Prior to final inspection and commencement of the approved use, all applicable required conditions and improvements shall be completed to the satisfaction of the City.
9. The applicant shall indemnify, defend and hold harmless City, its officers, agents, and employees from any and all claims and losses whatsoever occurring or resulting to any and all persons, firms, or corporations furnishing or supplying work, services, materials, or supplies in connection with the performance of the use permitted hereby or the exercise of the rights granted herein, any and all claims, lawsuits or actions arising from the granting of or the exercise of the rights permitted by this Conditional Use Permit, and from any and all claims and losses occurring or resulting to any person, firm, corporation, or property for damage, injury, or death arising out of or connected with the performance of the use permitted hereby. Applicant's obligation to indemnify, defend, and hold harmless the City as stated hereinabove shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the City in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.

PASSED AND ADOPTED this 26th day of January 2005, by the following called vote:

AYES: 6 COMMISSIONERS: Barstow, Bell, Brown, Diep, Schoales, and Brassfield

NOES: 0 COMMISSIONERS:

ABSENT: 1 COMMISSIONER: Capelle

ABSTAINED: 0 COMMISSIONERS:


CHAIRMAN

ATTEST:


SECRETARY

AFFIDAVIT OF ACCEPTANCE:

I/We do hereby accept all of the conditions contained in this document and all other conditions imposed by Conditional Use Permit No. CU05-001 and do agree that I/We shall conform with and abide by all such conditions.

Date: _____

Applicant's Signature

RECU05-001

Resolution No. 5382
Conditional Use Permit No. CU05-001
January 26, 2005

PASSED AND ADOPTED this 26th day of January 2005, by the following called vote:

AYES: 6 COMMISSIONERS: Barstow, Bell, Brown, Diep, Schoales, and Brassfield

NOES: 0 COMMISSIONERS:

ABSENT: 1 COMMISSIONER: Capelle

ABSTAINED: 0 COMMISSIONERS:


CHAIRMAN

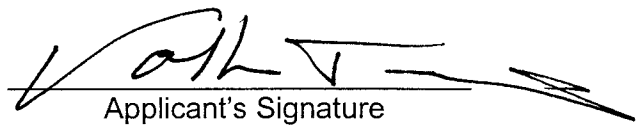
ATTEST:


SECRETARY

AFFIDAVIT OF ACCEPTANCE:

I/We do hereby accept all of the conditions contained in this document and all other conditions imposed by Conditional Use Permit No. CU05-001 and do agree that I/We shall conform with and abide by all such conditions.

Date: 4-4-05


Applicant's Signature

RECU05-001

RESOLUTION NO. 5335
CONDITIONAL USE PERMIT NO. CU04-027

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BUENA PARK APPROVING A REQUEST FOR ISSUANCE OF CONDITIONAL USE PERMIT NO. CU04-027 TO ESTABLISH A SIGN PROGRAM TO INCLUDE TWO (2) WALL SIGNS INCLUDING GRADUALLY VARYING ILLUMINATION FOR A FULL-SERVICE RESTAURANT BUILDING UNDER CONSTRUCTION AT 7115 BEACH BOULEVARD IN THE ECSP (ENTERTAINMENT CORRIDOR SPECIFIC PLAN) ZONE.

A. Recitals.

(i) Vasken Tatarian, the property owner and project proponent, 8469 Beach Circle, Cypress, CA 90630 has filed an application for the issuance of Conditional Use Permit No. CU04-027 to establish a sign program to include two (2) wall signs including gradually varying illumination for a full-service restaurant under construction in the ECSP (Entertainment Corridor Specific Plan) zone at 7115 Beach Boulevard, Buena Park, California, in the County of Orange. Hereinafter in this Resolution, the subject Conditional Use Permit modification request is referred to as the "application".

(iii) On September 8, 2004, this Commission conducted a noticed public hearing on the application and concluded said hearing prior to the adoption of this Resolution.

(iv) All legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, it is found, determined and resolved by the Planning Commission of the City of Buena Park as follows:

1. The Commission hereby specifically finds that all the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon substantial evidence presented to this Commission during the above-referenced hearing, including written staff reports, verbal testimony, development plans, and letters stamped "RECEIVED AUG 16 2004 PLNG. DIV.", this Commission hereby specifically finds as follows:

a. The proposed sign criteria are consistent with the City's General Plan, City Code, and the California District of the Entertainment Corridor Specific Plan, as conditioned. The location and design of the wall signs will not have detrimental effects on the subject or surrounding properties since the signs will be appropriately placed on the building in a manner consistent with the building design and

will function in accordance with the standards and criteria of the California District of the Entertainment Corridor Specific Plan.

b. Since the site was specifically designed for a full-service restaurant building with associated signage, the site is adequate in size, shape, topography, location, utilities, parking and other factors, to accommodate size and locations of the signs, as conditioned.

c. Street access and parking locations are appropriate for the proposed signage for the full-service restaurant. The project will not cause traffic disruption in the area and proper on-site circulation will not be compromised, especially in view of the fact that the property was originally approved for a restaurant with associated signage.

d. Adequate utilities and public services are or will be available to serve the full service restaurant with associated signage as well as existing and anticipated development in the surrounding area.

e. The design of the proposed signage for the full-service restaurant will be compatible with intended character of the area as envisioned by the California District of the Entertainment Corridor Specific Plan area. The proposed signage has been designed and conditioned to comply with design standards and requirements of the Specific Plan to ensure compatibility with surrounding development.

3. The Planning Commission hereby finds and determines that the project identified above in this Resolution is categorically exempt from the requirements of the California Environmental Quality Act of 1970, as amended, and the Guidelines promulgated thereunder pursuant to Class 11, Section 15311 of Division 6 of Title 14 of the California Code of Regulations.

4. Based upon the findings and conclusions set forth in paragraphs 1, 2, and 3, above, this Commission hereby approves the application subject to the plans and letters stamped "RECEIVED AUG 16 2004 PLNG. DIV." as modified herein and the following reasonable conditions set forth in paragraph 5 of this Resolution.

5. The following conditions are deemed necessary to protect the public health, safety, and general welfare and are reasonable and proper in accordance with the purpose and intent of the Buena Park City Code:

BUILDING DIVISION:

1. The project shall comply with Buena Park Municipal Code Title 15, California Building Codes.

PLANNING DIVISION:

1. This approval shall be for the establishment of a sign program to include two (2) wall signs, totaling 82 sq. ft., including gradually varying illumination, for a full-service restaurant building under construction at 7115 Beach Boulevard. Signage shall substantially comply with plans stamped "RECEIVED AUG 16

2004 PLNG. DIV." Any future ground signs shall be reviewed and approved by the Planning Commission. All conditions of approval for Conditional Use Permit No. CU-1315 and CU04-026 shall remain in full force and effect except as modified herein.

2. The mini bulb illuminated border for each sign shall provide slow, gradually varying illumination. Any twinkling, blinking, rapid or similar type of illumination which generates a chasing or fast motion effect shall not be permitted.
3. All neon components on the subject signs shall be cleaned on a regular basis and maintained in good working condition.
4. All electrical connections for the proposed signage shall be behind the building wall. No exposed raceways shall be permitted.
5. The wall sign directly above the front door entrance shall be designed to provide a flush mount on the circular shape tower element. Final design and locations of the signs shall be reviewed approved by the Planning Division.
6. All lighting and illuminated signs shall be designed to prevent glare upon streets, walkways, and surrounding properties.
7. This Conditional Use Permit may be revoked for any violation of or noncompliance with any of these conditions in accordance with Section 19.132.030 of the Zoning Ordinance.
8. The signage shall conform to the plan as finally approved by the City as conditioned herein. Final plans shall incorporate all changes as conditioned herein and shall recognize all easements or deed restrictions pertaining to the subject property. Any appreciable modification shall require the prior approval of the Planning Commission.
9. Prior to final inspection, all applicable required conditions and improvements shall be completed to the satisfaction of the City.
10. The applicant shall indemnify, defend and hold harmless City, its officers, agents, and employees from any and all claims and losses whatsoever occurring or resulting to any and all persons, firms, or corporations furnishing or supplying work, services, materials, or supplies in connection with the performance of the use permitted hereby or the exercise of the rights granted herein, any and all claims, lawsuits or actions arising from the granting of or the exercise of the rights permitted by this Conditional Use Permit, and from any and al claims and losses occurring or resulting to any person, firm, corporation, or property for damage, injury, or death arising out of or connected with the performance of the use permitted hereby. Applicant's obligation to indemnify, defend, and hold harmless the City as stated hereinabove shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the City in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.

PASSED AND ADOPTED this 8th day of September 2004, by the following called vote:

AYES: 5 COMMISSIONERS: Bell, Diep, Brown, Schoales, and Brassfield
NOES: 0 COMMISSIONERS:
ABSENT: 2 COMMISSIONERS: Barstow and Capelle
ABSTAINED: 0 COMMISSIONERS:


CHAIRMAN

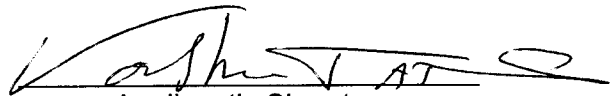
ATTEST:


SECRETARY

AFFIDAVIT OF ACCEPTANCE:

I/We do hereby accept all of the conditions contained in this document and all other conditions imposed by Conditional Use Permit No. CU04-027 and do agree that I/We shall conform with and abide by all such conditions.

Date: 10-4-04


Applicant's Signature

RECU04-027

RESOLUTION NO. 5327
CONDITIONAL USE PERMIT NO. CU04-026

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BUENA PARK APPROVING A REQUEST FOR A MINOR MODIFICATION OF CU-1316 (CONDITIONAL USE PERMIT NO. CU04-026), TO MODIFY THE EXTERIOR DESIGN OF THE RESTAURANT BUILDING UNDER CONSTRUCTION AT 7115 BEACH BOULEVARD IN THE ECSP (ENTERTAINMENT CORRIDOR SPECIFIC PLAN) ZONE.

A. Recitals.

(i) On January 8, 2003, the Planning Commission approved Conditional Use Permit No. CU-1316(RDA), which permitted construction and operation of a full service restaurant with outdoor dining, on-site sale and consumption of alcoholic beverages, and limited live entertainment with associated parking lot improvements.

(ii) Vasken Tatarian, the property owner and project proponent, 8469 Beach Circle, Cypress, CA 90630 has filed an application for a minor modification of CU-1316 (Conditional Use Permit No. CU04-026) to modify the exterior design of a restaurant building under construction in the ECSP (Entertainment Corridor Specific Plan) zone at 7115 Beach Boulevard, Buena Park, California, in the County of Orange. Hereinafter in this Resolution, the subject Conditional Use Permit modification request is referred to as the "application".

(iii) On August 11, 2004, this Commission conducted a hearing on the application and concluded said hearing prior to the adoption of this Resolution.

(iv) All legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, it is found, determined and resolved by the Planning Commission of the City of Buena Park as follows:

1. The Commission hereby specifically finds that all the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon substantial evidence presented to this Commission during the above-referenced hearing, including written staff reports, verbal testimony, development plans, and letters stamped "RECEIVED JUL 26 2004 PLNG. DIV.", this Commission hereby specifically finds as follows:

a. The proposed modification to the architectural design of the previously approved restaurant building is consistent with the General Plan, Zoning Code, and the California District of the Entertainment Corridor Specific Plan. The

modified design of the restaurant building will enhance the architectural character of the building and site as well as the surrounding area, as conditioned.

b. The proposed minor modification will enhance the architectural design of the building. The revised building design will be consistent with the existing and intended character of the property and area as defined by the City's General Plan, Zoning Ordinance, and the Entertainment Corridor Specific Plan.

c. The proposed architectural modification to the exterior design of the building to include enhanced architectural details will be compatible with the existing and intended character of the area. The enhanced design of the building will be consistent with existing and anticipated development in the surrounding area, as conditioned.

3. The Planning Commission hereby finds and determines that the project identified above in this Resolution is categorically exempt from the requirements of the California Environmental Quality Act of 1970, as amended, and the Guidelines promulgated thereunder pursuant to Class 1, Section 15301 of Division 6 of Title 14 of the California Code of Regulations.

4. Based upon the findings and conclusions set forth in paragraphs 1, 2, and 3, above, this Commission hereby approves the application subject to the plans and letters stamped "RECEIVED JUL 26 2004 PLNG. DIV." as modified herein and the following reasonable conditions set forth in paragraph 5 of this Resolution.

5. The following conditions are deemed necessary to protect the public health, safety, and general welfare and are reasonable and proper in accordance with the purpose and intent of the Buena Park City Code:

PLANNING DIVISION:

1. This approval shall be for exterior building modification of the previously approved restaurant building as shown on plans stamped "RECEIVED JUL 26 2004 PLNG. DIV.," as conditioned. All other conditions of approval for Conditional Use Permit No. CU-1316(RDA) shall remain in full force and effect, except as modified herein.
2. The revised building design shall be consistent with plans stamped "RECEIVED JUL 26 2004 PLNG. DIV.," with exact design details and specifications subject to Planning Division approval. Color and material samples shall be submitted to the Planning Division for review and approval prior to framing inspection by the Building Division. The following additional architectural amenities shall be included:
 - a. The tower feature shall be enhanced with tan color travertine tile veneer, metal standing seam roof with a gold/bronze finish, multi-dimensional moldings, and stain glass windows.
 - b. Five (5) water spouts and fountain on the west elevation of the building.
 - c. Decorative arched pop-outs with tan color travertine tile veneer and alabaster columns.

- d. Tan color travertine tile veneer accents throughout the building design.
 - e. Two tone gray and creme color smooth stucco finish with simulated key stone enhancements.
 - f. Multi-dimensional stucco-covered foam banding along all eaves and rooflines.
 - g. Concrete tile roof enhanced with variegated colors.
 - h. Decorative front door.
 - i. Double glazed glass curtain wall in gold metal storefront on the east elevation of the building.
 - j. An arched tower element with an arched window system on the east elevation of the building.
 - k. An arched stuccoed parapet feature on the east elevation of the building.
 - l. A 4'-11" wide planter with built-in fountain along the west elevation of the building.
3. The fountain treatment featuring five spouts, located along the foundation of the west elevation of the building, shall be maintained in good working condition.
 4. All landscaping within the planter along the west elevation of the building on-site shall be consistent with the palette of the California District of the ECSP and with the conceptual landscape plan previously submitted, including shrubs (5 gal. min.) and groundcover.
 5. The applicant shall demonstrate that proposed building materials are rated for appropriate durability and longevity. In the event that said rating cannot be obtained, alternate materials shall be used under the direction of the Planning Division.
 6. This Conditional Use Permit modification may be revoked for any violation of or noncompliance with any of these conditions in accordance with Section 19.132.030 of the Zoning Ordinance.
 7. The development shall conform to the plan as finally approved by the City as conditioned herein. Final plans shall incorporate all changes as conditioned herein and shall recognize all easements or deed restrictions pertaining to the subject property. Any appreciable modification shall require the prior approval of the Planning Commission.
 8. Prior to final inspection and commencement of the approved use, all applicable required conditions and improvements shall be completed to the satisfaction of the City.
 9. The applicant shall indemnify, defend and hold harmless City, its officers, agents, and employees from any and all claims and losses whatsoever occurring or resulting to any and all persons, firms, or corporations furnishing or supplying work, services, materials, or supplies in connection with the performance of the use permitted hereby or the exercise of the rights granted herein, any and all claims, lawsuits or actions arising from the granting of or the exercise of the rights permitted by this Conditional Use Permit, and from any and all claims and

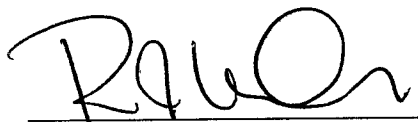
losses occurring or resulting to any person, firm, corporation, or property for damage, injury, or death arising out of or connected with the performance of the use permitted hereby. Applicant's obligation to indemnify, defend, and hold harmless the City as stated hereinabove shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the City in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.

PASSED AND ADOPTED this 11th day of August 2004, by the following called vote:

AYES:	6	COMMISSIONERS:	Barstow, Brown, Bell, Capelle, Diep, and Brassfield
NOES:	0	COMMISSIONERS:	
ABSENT:	1	COMMISSIONERS:	Schoales
ABSTAINED:	0	COMMISSIONERS:	


CHAIRMAN

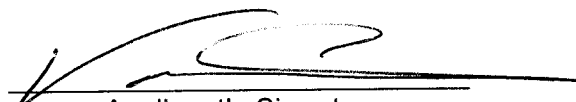
ATTEST:


SECRETARY

AFFIDAVIT OF ACCEPTANCE:

I/We do hereby accept all of the conditions contained in this document and all other conditions imposed by Conditional Use Permit No. CU04-026 and do agree that I/We shall conform with and abide by all such conditions.

Date: _____


Applicant's Signature

RECU04-026

RECEIVED

FEB 06 2003

RESOLUTION NO. 5152
CONDITIONAL USE PERMIT NO. CU-1316 (RDA)

Community Dev. Dept.

EXHIBIT H

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BUENA PARK APPROVING A REQUEST FOR ISSUANCE OF CONDITIONAL USE PERMIT NO. CU-1316 (RDA), TO CONSTRUCT AND OPERATE A FULL SERVICE RESTAURANT WITH OUTDOOR DINING, ON-SITE SALE AND CONSUMPTION OF ALCOHOLIC BEVERAGES, AND LIMITED LIVE ENTERTAINMENT WITH ASSOCIATED PARKING LOT IMPROVEMENTS AT 7115 BEACH BOULEVARD WITHIN THE ECSP (ENTERTAINMENT CORRIDOR SPECIFIC PLAN) ZONE, AND MAKING FINDINGS IN SUPPORT THEREOF.

A. Recitals.

(i) Samuel Hirt, the property owner, 420 Doheny Road, Beverly Hills, CA and Vasken Tatarian, the project proponent, 8469 Beach Circle, Cypress, CA 90630 have filed an application for the issuance of Conditional Use Permit No. CU-1316 (RDA) to construct and operate a full service restaurant with outdoor dining, on-site sale and consumption of alcoholic beverages and limited live entertainment with associated parking lot improvements at 7115 Beach Boulevard, Buena Park, California, in the County of Orange. Hereinafter in this Resolution, the subject request is referred to as the "application".

(ii) On December 11, 2002 and January 8, 2003, this Commission conducted a duly noticed public hearing on the application and concluded said hearing prior to the adoption of this Resolution.

(iii) All legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, it is found, determined and resolved by the Planning Commission of the City of Buena Park as follows:

1. The Commission hereby specifically finds that all the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon substantial evidence presented to this Commission during the above-referenced hearing, including written staff reports, verbal testimony, business plan and development plans stamped "RECEIVED NOV 05 2002 PLNG. DIV.," and entertainment plan stamped "RECEIVED DEC 17 2002 PLNG. DIV.," this Commission hereby specifically finds as follows:

Signed Conditions

a. The proposed full service restaurant with on-site sale and consumption of alcoholic beverages is consistent with the General Plan, City Code, and the California District of the Entertainment Corridor Specific Plan. The project meets all applicable development standards as well as exhibits use and performance characteristics consistent with adjacent properties and area development. The subject property has been integrated with adjacent properties with the provision of shared access with the properties to the north and south and reciprocal parking with the property to the north.

b. The site is adequate in size, shape, topography, location, utilities, and other factors, to accommodate the proposed restaurant, since the site was originally designed and planned for a full service restaurant of similar scale and intensity.

c. Adequate street access and parking will be available to service the proposed restaurant. Adjacent streets are fully improved with sufficient capacity for traffic generated by the project. The project will not cause traffic disruption in the area and proper on-site circulation will not be compromised, especially in view of the fact that the property was originally approved for a restaurant with shared parking and access with the property to the north.

d. Adequate utilities and public services are or will be available to serve the proposed full service restaurant as well as existing and anticipated development in the surrounding area. The proposed use and intensity are consistent with similar establishments in the vicinity.

e. The design of the proposed full service restaurant will be compatible with the intended character of the area as envisioned by the California District of the Entertainment Corridor Specific Plan area. The proposed full service restaurant has been designed and conditioned to comply with design standards and requirements of the Specific Plan to ensure architectural compatibility with surrounding development. The proposal will not create a use inconsistent with the area uses due to required operating conditions as well as site and building improvements.

3. The Planning Commission hereby makes the following findings:

a. The Initial Study prepared by the City of Buena Park and Negative Declaration No. 02-29 have been prepared in compliance with the California Environmental Quality Act of 1970, as amended, and the Guidelines promulgated thereunder and, further, said Negative Declaration reflects the independent judgment of the City of Buena Park. Further, this Commission has reviewed and considered the information contained in said Negative Declaration and determines that no significant adverse environmental effects will occur with respect to the project identified in this Resolution.

b. The Planning Commission hereby specifically finds and determines that, having considered the record as a whole, there is no evidence before this Planning Commission that the project proposed herein will have potential for an

adverse effect on wildlife resources or the habitat upon which the wildlife depends. Based upon substantial evidence, this Planning Commission hereby rebuts the presumption of adverse affect contained in Section 753.5(d) of Title 14 of the California Code of Regulations.

4. Based upon the findings and conclusions set forth in paragraphs 1, 2, and 3, above, this Commission hereby adopts the Negative Declaration and approves the application, subject to the business plan and development plans stamped "RECEIVED NOV 05 2002 PLNG. DIV." and entertainment plan stamped "RECEIVED DEC 17 2002 PLNG. DIV." as modified herein and the following reasonable conditions set forth in paragraph 5 of this Resolution.

5. The following conditions are deemed necessary to protect the public health, safety, and general welfare and are reasonable and proper in accordance with the purpose and intent of the Buena Park City Code:

PUBLIC WORKS:

1. The following plans and/or information shall be prepared and submitted in accordance with City standards:
 - a. Grading/Utility Plan

All work shall be done in accordance with City Standards, City Code and with City approved plans.
2. All existing public facilities in conflict with new improvements shall be relocated at no cost to the City. Property owner shall dedicate, or cause to be dedicated all easements needed to accommodate the relocation, modification or installation of facilities to be maintained by the City or any public utility company.
3. Prior to issuance of any grading permits, the applicant shall submit evidence to the City Engineer, that the applicant has obtained coverage under the NPDES statewide General Construction Stormwater Permit from the State Water Resources Control Board.
4. Applicant shall provide a Water Quality Management Plan (WQMP) specifically identifying City Accepted Best Management Practices (BMP) related to this application. This shall be required prior to final release by the Public Works Department.
5. Applicant shall pay the traffic impact fee as required by the City, prior to release of structure for certificate of occupancy.
6. Any proposed utility connection shall be made to the City water and sewer systems in accordance with the City Code, standards and applicable federal, state and county regulations. Sewer fees are based on Orange County Sewer requirements. Provide a six (6) inch minimum sewer to service the development.

7. A properly sized grease trap shall be installed in an approved location, in accordance with City requirements, and shall be maintained by the applicant.
8. Backflow and cross connection control devices shall be installed in accordance with the City Code. Fire protection plans shall be approved by the Orange County Fire Authority and the City Engineer. Owner/developer shall reflect these requirements on City approved plans.
9. All trash collection services needed during construction or after project completion shall be obtained from the City's authorized provider.
10. All fees, deposits and bonds associated with improvements required by the Public Works Department shall be paid prior to the issuance of permits for construction.
11. Before exercising any right or performing any obligation pursuant to any permit issued by the Public Works Department, the developer/contractor shall file with the City required insurance certificates.
12. Prior to final release of the project by the Public Works Department, or the refund of any cash deposits, the developer/contractor shall provide the City with a warranty bond to be held by the City for the period of one (1) year, for all public facilities and improvements.
13. Prior to grant of occupancy by the City or commencement of the approved use, these conditions and all improvements required by the Public Works Department shall be completed to the satisfaction of the City Engineer.

POLICE DEPARTMENT:

1. There shall be no bar or lounge area upon the licensed premises maintained for the purpose of sales, service, or consumption of alcoholic beverages directly to patrons for consumption.
2. No "Happy Hour" type of reduced priced alcoholic beverage promotion shall be allowed.
3. At all times, when the premises are open for business the sales of alcoholic beverages shall be made only in conjunction with the sale of food to the person ordering the beverage.
4. The quarterly gross sales of alcoholic beverages shall not exceed the gross sales of food during the same period. The licensee shall at all times maintain records which will reflect separately the gross sale of food and the gross sale of alcoholic beverages of the licensed business. Said records shall be kept no less frequently than on a quarterly basis and shall be made available to the department on demand.

5. The sale of alcoholic beverages for consumption off the premises is strictly prohibited.
6. The sales, service, and consumption of alcoholic beverages shall be permitted only between the hours of 10:00 a.m. and 11:00 p.m. Sunday through Thursday, and 10:00 a.m. and 2:00 a.m. Friday and Saturday, providing that food is being served during these hours.
7. Cigar bar must be in compliance with California AB 13.

FIRE DEPARTMENT:

1. Prior to the issuance of any building permits, the applicant shall obtain approval of the Fire Chief for fire protection access to within 150 ft. of all portions of the exterior of structure. Please contact the OCFA at (714) 744-0499 or visit the OCFA website to obtain a copy of the "Guidelines for Emergency Access."
2. Prior to the issuance of any building permits, the applicant shall submit a fire hydrant location plan to the Fire Chief for review and approval.
3. Prior to the issuance of any building permits, the applicant shall provide evidence of adequate water availability for fire protection. The "Orange County Fire Authority Water Availability for Fire Protection" form shall be signed by the applicable water district and submitted to the Fire Chief for approval.
4. Prior to the issuance of any building permits, the applicant shall submit plans and obtain approval from the Fire Chief for required fire lanes/ fire access less than 25 ft. in width. The plans shall indicate the locations of red curbs and signage and include a detail of the proposed signage including the height, stroke and colors of the lettering and its contrasting background. Please contact the OCFA at (714) 744-0499 or visit the OCFA website to obtain a copy of the "Guidelines for Emergency Access Roadways and Fire Lane Requirements."
5. Prior to the issuance of any certificate of occupancy, the fire lanes shall be installed in accordance with the approved fire lane plan.
6. Prior to the issuance of a building permit, the applicant shall submit architectural plans for the review and approval of the Fire Chief if required per the "Orange County Fire Authority Plan Submittal Criteria Form." Please contact the OCFA at (714) 744-0499 for a copy of the Site/Architectural Notes to be placed on the plans prior to submittal.

BUILDING DIVISION:

1. The project shall comply with California Title 24 Accessibility requirements.
2. The project shall comply with Buena Park Municipal Code Title 15, Uniform Codes, California Amendments.

3. The approval of the Orange County Health Department is required prior to issuance of building permits.

PLANNING DIVISION:

1. This approval shall be for the construction and operation of a 4,150 sq. ft. full service restaurant with a 2,500 sq. ft. outdoor dining area with a maximum seating capacity of 70 patrons, limited live entertainment, and on-site sale and consumption of alcoholic beverages in substantial compliance with the business plan and development plans stamped "RECEIVED NOV 05 2002 PLNG. DIV." and entertainment plan stamped "RECEIVED DEC 17 2002 PLNG. DIV.," except as modified herein.
2. Hours of operation for the restaurant shall be from 10:00 a.m. to 11:00 p.m. Sunday through Thursday, and 10:00 a.m. to 2:00 a.m. Friday and Saturday. Any modification of hours shall require modification of this approval by the Planning Commission.
3. Live entertainment of any kind shall be limited to 12 days per year for the first 12 months of operation of the restaurant. Upon the written request of the applicant, the Planning Commission shall review the live entertainment portion of this approval, including number of days permitted for live entertainment, following the initial 12 months of the opening date of the restaurant. The entertainment shall be limited to groups with a maximum of three members and shall perform dinner-oriented music and in substantial compliance with the entertainment plan stamped "RECEIVED DEC 17 2002 PLNG. DIV." The applicant shall submit a performance request and schedule to the Community Development Director for review and approval prior to all performances. Dancing, karaoke, or disc jockey shall be prohibited on the premises at all times.
4. All entertainment activities shall be conducted in conjunction with regular dining or banquet activities. Entertainment shall not be offered on any day that the restaurant is closed.
5. No music or sound shall be audible from the exterior of the premises.
6. The on-site sale and consumption of alcoholic beverages shall be incidental to the operation of the full service restaurant. No bar, lounge, or counter area shall be provided. Sale of alcoholic beverages for off-site consumption is prohibited.
7. Sale of alcoholic beverages shall be made only with food sales to the person ordering the beverage. Food service with a full meal shall be available from opening time until closing time daily.
8. Quarterly gross sales of alcoholic beverages shall not exceed quarterly gross sales of food. Quarterly records shall be maintained to separately reflect gross sales of food and gross sales of alcohol and shall be made available to the City of Buena Park upon request.

9. The outdoor dining area shall be limited to a total of thirteen (13) tables (1060 sq. ft. of table area) as shown on plans stamped "RECEIVED NOV 05 2002 PLNG. DIV." Any increase in outdoor dining area shall require modification of this approval by the Planning Commission. All additional areas in the patio area not designated for outdoor seating and walkways shall maintain landscaping, consisting of shrubs and trees, or waterscape.
10. The area designated for outdoor preparation located at the southeast corner of the building shall be further detailed within the building plans submitted for permit issuance. A secondary kitchen shall not be permitted and said area shall be limited to a server station or dining area. Final floor plan design and configuration shall be submitted to the Planning Division for review and approval prior to issuance of building permits.
11. The building and site designs shall be consistent with plans stamped "RECEIVED NOV 05 2002 PLNG. DIV.," with exact design details and specifications subject to Planning Division approval. Color and material samples shall be submitted to the Planning Division for review and approval prior to issuance of building permits. The following architectural and site amenities shall be included:
 - a. A decorative tower feature including stone or banded stucco treatments.
 - b. Concrete tile roof.
 - c. Multi-dimensional banding along all eaves and rooflines to provide sufficient shadow lines and dimensional relief.
 - d. Ceramic accent tiles on all elevations of the building.
 - e. Decorative arched grid pattern windows with dimensional banding on all building elevations.
 - f. Decorative column treatments on the east elevation of the building.
 - g. Decorative front door.
 - h. Outdoor patio area consisting of decorative concrete treatment, fountain and water element.
 - i. Playground with equipment.
 - j. A combination of tree wells, foundation planters, or decorative pavement shall be provided along the west elevation of the building.
12. The outdoor playground equipment shall not exceed a total height of 6 ft. The playground area shall maintain a rubber safety mat ground surface material. Design, location, and equipment in the playground area shall meet all applicable standards of County and State agencies. Final design of the playground area shall be reviewed and approved by the Planning Division prior to the issuance of building permits. The playground area shall not be utilized for dining purposes at any time.
13. All exterior windows within the restaurant shall remain sufficiently uncovered with limited window coverings to allow unobstructed view into the service area from the exterior.

14. All lighting and illuminated signs shall be designed to prevent glare upon streets, walkways, and surrounding residential property. Lighting shall comply with applicable ordinance standards including functional and aesthetic criteria. The required lighting levels and fixture design shall be approved by the Planning Division before permits are issued and shall be consistent with adjacent properties. All existing light standard concrete bases within the existing foundation pad shall be demolished and removed prior to issuance of building permits.
15. All signs shall conform to the California District of the Entertainment Corridor Specific Plan, Zoning Ordinance, and Sign Ordinance of the City and require separate approval.
16. All outdoor trash storage bins shall be screened from view by decorative block trash enclosures. Such structures shall be designed, in coordination with the architectural design of the building including materials and coloration. The final design and placement shall be subject to review and approval by the Planning Division, Building Division, and Fire Department.
17. A 6 ft. tall wrought iron fence with decorative pilasters shall be maintained along the east property line along Beach Boulevard. A wrought iron access gate shall be provided between the outdoor dining area and the front setback in order provide access for maintenance of the Beach Boulevard setback. Design and location of the fence shall be consistent with the wrought iron fences located on the properties to the north and south.
18. A 6 inch wide fence of earth tone ornamental masonry, a minimum of 6 ft. and a maximum of 7 ft. high, measured from the highest finished grade, shall be constructed and maintained behind the Beach Boulevard front yard setback and around the entire outdoor dining area, in accordance with the structural design approved by the Building Division. The wall shall be designed to compliment the existing wrought iron fence treatment along the setback of the property to the north and south. Exact design of the wall shall be reviewed and approved by the Planning Division prior to issuance of building permits. No block wall construction shall occur until a grading plan has been approved by the Public Works Department if required.
19. All wrought iron fencing shall be painted a color to match the development with the color approved by the Planning Division prior to installation of fencing. Black or white wrought iron shall not be permitted.
20. All required double check valve assemblies located within the front yard or within the public view shall be located below grade.
21. All required new utility services shall be underground. All required utility services and equipment, including transformers, gas meter, "J" boxes, and similar devices shall be located below grade or shall be screened from view by ornamental masonry walls. The placement and treatment of all screening devices shall be subject to review and approval of the Planning Division. In addition to said walls,

- landscaping may also be required as a solution for screening. A preliminary electrical equipment plan which is prepared by the Southern California Edison Company shall be reviewed and approved by the City Planning Division prior to the issuance of building permits. The applicant is required to return City approved red line prints to the Southern California Edison Company Planning Department, for preparation of final construction drawings. The location of other utility companies' appurtenances and meters shall be submitted to the City Planning Division for review and approval prior to installation.
22. No roof-mounted mechanical equipment shall be permitted unless such equipment is not visible from adjacent and surrounding properties and streets from height of five (5) feet above ground level. The installation and screening of air conditioning and similar equipment shall comply with existing design criteria and Section 19.544.020 of the City Code.
 23. Four sets of detailed landscaping/irrigation/sprinkler plans shall be submitted to the Planning Division for review and be approved prior to the issuance of building permits. Landscaping as approved and provided with an automatic and permanent sprinkler system shall be considered a part of this plan and shall be installed and maintained as a condition of the use.
 24. All landscaping on-site shall be consistent with the palette of the California District of the ECSP and with the conceptual landscape plan submitted, including trees (24" box min.), shrubs (5 gal. min.), and groundcover. A minimum of (7) seven (36 in. box size) trees or (7) seven palms, with brown trunk height varying between 10 ft. to 15 ft. within a sodded lawn, shall be placed between the front wrought iron fence and the outdoor dining area. All areas within the outdoor dining area not designated for seating or water treatment shall maintain dense and tall growing plant material in order to prevent expansion of seating area.
 25. This Conditional Use Permit may be revoked for any violation of or noncompliance with any of these conditions in accordance with Section 19.132.030 of the Zoning Ordinance.
 26. The use authorized by this CUP shall be commenced or construction necessary and incidental thereto shall be started within one (1) year of the expiration of the appeal period and thereafter diligently advanced until completion of the project. Notwithstanding the provisions of California Fish and Game Code Section 711.4(c), failure to pay any required fees pursuant to said Section shall not extend for any purpose the time in which the use authorized by this Resolution shall be commenced or construction necessary and incidental thereto shall be started.
 27. Notwithstanding Subsection 3 of this Resolution, if the Department of Fish and Game requires payment of a fee pursuant to Section 711.4 of the Fish and Game Code, payment thereof shall be made by the applicant prior to the issuance of any building permit or any other entitlements.

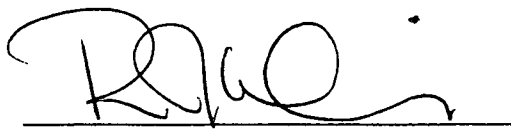
28. The development shall conform to the plan as finally approved by the City as conditioned herein. Final plans shall incorporate all changes as conditioned herein and shall recognize all easements or deed restrictions pertaining to the subject property. Any appreciable modification shall require the prior approval of the Planning Commission.
29. Prior to any occupancy permit being granted, these conditions and all improvements shall be completed to the satisfaction of the City.
30. The applicant shall indemnify, defend and hold harmless City, its officers, agents, and employees from any and all claims and losses whatsoever occurring or resulting to any and all persons, firms, or corporations furnishing or supplying work, services, materials, or supplies in connection with the performance of the use permitted hereby or the exercise of the rights granted herein, any and all claims, lawsuits or actions arising from the granting of or the exercise of the rights permitted by this CUP and from any and all claims and losses occurring or resulting to any person, firm, corporation, or property for damage, injury, or death arising out of or connected with the performance of the use permitted hereby. Applicant's obligation to indemnify, defend, and hold harmless the City as stated hereinabove shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the City in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.

PASSED AND ADOPTED this 8th day of January 2003 by the following called vote:

AYES:	4	COMMISSIONERS:	Brassfield, Brown, Ormeno, and Tieger
NOES:	0	COMMISSIONERS:	
ABSENT:	2	COMMISSIONERS:	Barstow and Ives
ABSTAINED:	0	COMMISSIONERS:	


CHAIRMAN

ATTEST:


SECRETARY

Resolution No. 5152
Conditional Use Permit No. CU-1316 (RDA)
January 8, 2003

AFFIDAVIT OF ACCEPTANCE:

I/We do hereby accept all of the conditions contained in this document and all other conditions imposed by Conditional Use Permit No. CU- 1316 (RDA) and do agree that I/We shall conform with and abide by all such conditions.

Date: 2-3-03


Applicant's Signature

RECU1316

RECEIVED
JUN 30 2025
PLANNING DIV

Golden Rose Entertainment
7115 Beach Blvd
Buena Park CA 90620

- We are a restaurant that service middle Eastern food, and alcoholic drinks. We have entertainment, mostly on weekends, that comprises of a singer and about a 4–5 person band and a belly dancer. On Sunday we usually have a singer playing an Uud (Turkish guitar). we have “Salsa night” on Thursdays. We also have wedding, engagement parties, Quinceaneras, and funeral receptions on weekdays or weekends.
- We have 15 employees on the weekend, less during the week. They comprise of a manager, cook, waiters, busboys, and cleaners
- Current hours: outdoor and indoor entertainment is limited to the hours of 11:00am to 11:00pm Sunday through Thursday, and 11:00am to 1:00am Friday and Saturday. Business hours of operation shall be no later than 12:00am Sunday through Thursday and 2:00am Friday and Saturday.
- We are requesting to increase only the hours of entertainment, to match hours of operations. Sunday through Thursday to 12:00am, and 2:00 am Friday and Saturday.
- Having entertainment extended to closing hours allows us to retain our customers for longer, keep up with the competition and collect more revenue.

Thank you for your time.

Fouad Yacoub
Owner
21520 Yorba Linda Blvd #G521
Yorba Linda CA 92887
714-931-3800
fouadyacoub@gmail.com



VICINITY MAP



PLANNING COMMISSION

Wednesday, August 13, 2025 – 6:30 p.m.

**MINOR MODIFICATION OF CONDITIONS NO. MM-25-6
MODIFYING PREVIOUSLY APPROVED CONDITIONAL
USE PERMIT NO. CU-21-11**

**7115 Beach Boulevard
APN: 136-181-16**



August 13, 2025
PUBLIC HEARING
Item No. 4B.

Planning Commission Agenda Report

CONDITIONAL USE PERMIT NO. CU-25-1

PREPARED BY	PRESENTED BY
Carlos Castellanos, Assistant Planner	Carlos Castellanos, Assistant Planner
REVIEWED AND APPROVED BY	DIRECTOR APPROVAL
HARALD LUNA, PLANNING MANAGER	MATT FOULKES, DIRECTOR OF COMMUNITY AND ECONOMIC DEVELOPMENT

RECOMMENDED ACTION:

1) Conduct a public hearing; and 2) thereafter, based on the analysis provided in this agenda report and the facts and findings provided in the attached Resolution, Staff recommends that the Planning Commission adopt the attached Resolution approving Conditional Use Permit No. CU-25-1 and find that the project is Categorically Exempt per Section 15303 (New Construction or Conversion of Small Structures) Class 3 of the California Environmental Quality Act (CEQA) Guidelines based on the findings of fact and conditions provided herein.

PROPERTY INFORMATION:

Address / Assessor Parcel Number (APN)	6201 Lincoln Avenue 206-022-05 & -06
Lot Area	1.04 acres
Street Frontage	Lincoln Avenue: 130 feet (approximately) Hoffman Street: 226 feet (approximately)
General Plan Land Use Designation	Commercial
Zoning District	CS (Community Shopping) Mixed Use Overlay - 45
Existing Development	Approximately 2,484 square-foot restaurant with drive-through

SURROUNDING LAND USE CHARACTERISTICS:

	GENERAL PLAN	ZONING	EXISTING LAND USE
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North	Medium Density Residential	RM-10 (Low-Density Multifamily)	Single-family residential development
South	City of Cypress	City of Cypress	Multifamily residential development
East	Commercial	RM-10 (Low-Density Multifamily)	Child day care services / Montessori school
West	Commercial	CS (Community Shopping)	Multi-tenant commercial shopping center

BACKGROUND:

The subject property was incorporated into the City of Buena Park in 1970 and the original construction of the existing restaurant occurred prior to incorporation. On June 14, 1976, the City of Buena Park Zoning Administrator adopted Resolution No. AD-133 approving a 258 square-foot front and rear addition to the existing restaurant. On September 8, 1976, the Buena Park Planning Commission adopted Resolution No. 2835 approving Conditional Use Permit No. CU-561 to permit the addition of drive-through service to the existing restaurant. The previous restaurant closed in January of 2025 and is currently vacant.

APPLICATION ANALYSIS:

Project Description:

The applicant, Sararee Jirattikanchote of DesignUA, Inc., on behalf of the property owner, has submitted the application requesting Planning Commission approval to demolish the existing restaurant with drive-through and to allow the construction of an approximately 3,786 square-foot, single-story restaurant with a building height of 19 feet 9 inches. The restaurant will have a double drive-through lane with order points, one pay window, and two drive-through pick-up windows. The project also proposes a new trash enclosure, landscaping, on-site lighting, and off-street parking. The project is proposing a 24-hour operation daily that will be staffed with 17 employees per shift.

Development Standards:

Development Standard	Required	Proposed
Floor Area Ratio (FAR):	0.3 maximum	0.08
Height:	4 stories or 45 feet maximum, except that a greater height may be authorized by a conditional use permit	19 feet 9 inches
Setbacks:	Front: 20 feet minimum Side (west): 20 feet Side (east): 10 feet Rear: 10 feet	Front (south): 69 feet 10 inches Side (west): 40 feet 2 inches Side (east): 99 feet 9 inches Rear (north): 93 feet 3 inches
Parking:	38 parking spaces	38 parking spaces
Landscaping:	7% within the parking area	18.7% (8,485 square feet)

Access/Site Design/Parking:

Vehicular access to the site will be provided via a new 35-foot-wide driveway along Lincoln Avenue at the southeast corner of the site which allows for vehicle right turn in and out only, and a new 30-foot-wide driveway located along Hoffman Street at the northwest corner of the site. Onsite circulation has been designed to accommodate emergency and trash collection service vehicles, as well as vehicular access to the required parking and drive-through lane areas.

Buena Park Municipal Code (BPMC) Table 19.536.040 (Parking Spaces Required) requires drive-in restaurants to provide 10 spaces per 1,000 square feet of gross floor area plus 5 waiting spaces ahead and 1 space after each drive-through service window for a total of 38 parking spaces required. The applicant has proposed a total of 38 parking spaces consisting of 27 standard parking spaces, 7 future EV ready parking spaces, 2 EV charging parking spaces, 2 accessible parking spaces, and required drive-through lane waiting spaces.

Floor Plans:

The proposed restaurant is one (1) story with a total floor gross area of approximately 3,786 square feet consisting of a dining room, customer service counter, kitchen, manager's area, employee room, support area, electrical room, walk-in cooler and freezer, two restrooms, and vestibule.

Architecture:

The proposed restaurant has been designed in a contemporary architectural style consistent with the branding and design of other franchise locations. The design incorporates a "warm" toned color palette with a variety of exterior materials and accent colors in dark brown, yellow, and greys with the primary material consisting of stucco. Variations in both wall planes and material types are proposed to break up building massing and provide visual interest. Additionally, the building will incorporate downward facing decorative light fixtures, glazing, aluminum canopies, standing seam metal roof, metal banding, a combination of ACM paneling, fiber cement panels, and aluminum batten paneling oriented in a horizontal direction.

Landscaping/Fencing:

The project will provide approximately 8,485 square feet of landscaping throughout the project site frontages, within the parking lot areas, and required setback areas. The landscaped planter areas along the north and east property lines, as conditioned, will feature enhanced landscaping with trees, plants, and shrubs consisting of a minimum 5-gallon size up to 24-inch box size to provide a visual buffer to the adjacent residential and commercial properties. The existing 6-foot-high perimeter decorative block walls located along the east and north property lines will remain and no new walls or fencing are being proposed at this time.

Trash Enclosure:

The project will provide a new trash enclosure facility that is consistent with the architectural design, material, and color of the restaurant building. The proposed trash enclosure as designed and conditioned will comply with all development standards outlined in BPMC Section 19.524.010 Trash Storage Facilities.

DISCUSSION:

Conditional Use Permit:

Pursuant to BPMC Section 19.512.010, restaurants with drive-through facilities are a conditionally permitted use in the CS zone. The proposed single-story restaurant with drive-through will be compatible with the intended character of the area, consistent with other similar commercial uses, and not negatively impact surrounding properties since the investment in the vacant building and deteriorating parcel will elevate the property's aesthetics. The project complies with site area, building setbacks, floor area, off-street parking, circulation, landscaping, building materials, and other applicable requirements. All improvements meet the BPMC development standards for the CS zone and propose a high-quality design that is consistent with similar commercial uses in the area. The exterior architectural design, building materials, colors, and finishes proposed for the restaurant are in harmony with the surrounding area. Furthermore, the building will be partially screened from the view of the adjacent residential properties located to the north due to the existing 6-foot-high block wall along the north property line and by the installation of new enhanced landscaping.

The proposed restaurant with drive-through service, as conditioned, is consistent with the goals and policies of the General Plan and complies with all development standards for a drive-through facility within the CS zone.

ENVIRONMENTAL ASSESSMENT:

The project is Categorically Exempt, pursuant to Section 15303 (New Construction or Conversion of Small Structures) Class 3 of the State California Environmental Quality Act (CEQA) Guidelines, because the proposed restaurant with drive-through will be located in an urbanized area and not exceed 10,000 square feet in floor area within an appropriate zone for such use and does not include significant amounts of hazardous substances.

PUBLIC HEARING NOTIFICATION:

Notice of public hearing was posted at Buena Park City Hall, the Buena Park Library, and Ehlers Event Center on July 31, 2025; 50 public hearing notices were mailed to property owners located within 300 feet of the subject property on July 31, 2025. As of the publication of this report, one public comment expressing concern regarding vehicle traffic speed, on-street parking, restricting vehicle turning movements, and traffic signalization on Hoffman Street and Lincoln Avenue was received on August 2, 2025, which is included as Attachment 5.

As previously mentioned, the proposed project is providing the required 38 parking spaces and 5 queuing spaces for the proposed restaurant with drive-through service and adequate vehicle access is also being provided via a new 30-foot-wide driveway along Hoffman Street and a new 35-foot-wide driveway along Lincoln Avenue. The project also provides adequate circulation throughout the entire parking area. The proposed restaurant with drive-through development will not negatively impact surrounding properties since the investment in the currently underutilized vacant building, formerly occupied by a restaurant with drive-through, will elevate the property's aesthetics. All improvements meet the Buena Park Municipal Code requirements for the CS zone and the design of the proposed restaurant is compatible with the adjacent commercial properties.

Attachments

[Att 1 - Proposed Planning Commission Resolution for Conditional Use Permit No. CU-25-1.pdf](#)

[Att 2 - CU-25-1 Development Plans stamped RECEIVED JUN 17 2025 PLANNING DIV.pdf](#)

[Att 3 - CU-25-1 Project Narrative stamped RECEIVED JAN 28 2025.pdf](#)

[Att 4 - Vicinty Map.pdf](#)

[Att 5 - Public comment received August 2, 2025.pdf](#)

RESOLUTION NO.
CONDITIONAL USE PERMIT NO. CU-25-1

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BUENA PARK, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. CU-25-1 TO ALLOW THE DEVELOPMENT OF AN APPROXIMATELY 3,786 SQUARE-FOOT RESTAURANT WITH DRIVE-THROUGH SERVICE, REQUIRED OFF-STREET PARKING, LANDSCAPING, AND ASSOCIATED ON- AND OFF-SITE IMPROVEMENTS LOCATED AT 6201 LINCOLN AVENUE (APN: 260-022-05 & 260-022-06), AND MAKING FINDINGS IN SUPPORT THEREOF

A. Recitals.

(i) Sararee Jirattikanchote, of DesignUA, Inc, 153 E. City Place Drive, Santa Ana, CA 92705, applicant, on behalf of Kenneth and Joanne Skoumbis, property owners, 1261 Lemon Tree Drive, La Habra, CA 90631 have filed an application for a Conditional Use Permit (CU-25-1) to allow the development of a single (1)-story approximately 3,786 square-foot restaurant with drive-through service, required off-street parking, landscaping, and associated on- and off-site improvements. Hereinafter in this Resolution, the subject Conditional Use Permit request is referred to as the "Application."

(ii) On August 13, 2025, the Planning Commission conducted a duly noticed public hearing on the application, as required by law, and concluded said hearing prior to the adoption of this Resolution.

(iii) The Planning Commission has reviewed and considered all components of the proposed Conditional Use Permit No. CU-25-1 and conducted its public hearing prior to adoption of this Resolution.

(iv) All legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF BUENA PARK, does hereby finds, determines, and resolves as follows:

1. The Planning Commission hereby specifically finds that all the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon substantial evidence presented to the Planning Commission during the above-referenced hearing, including written staff report, verbal testimony, and the Conditional Use Permit No. CU-25-1 Development Plans stamped "RECEIVED JUN 17 2025 PLANNING DIV," this Commission hereby specifically finds, determines, and resolves as follows:

Conditional Use Permit

- a. **FINDING:** The proposed use and development is consistent with the General Plan and any applicable specific plans.

- FACT:** The proposed single (1)-story restaurant with drive-through service is a conditionally permitted use within the (CS Community Shopping) zone, and as conditioned, will meet all applicable requirements of the General Plan and Zoning Ordinance, and other laws. The proposal will comply with site area, building setbacks, floor area, off-street parking, circulation, landscaping, building materials, and all other applicable requirements.
- b. **FINDING:** The site is adequate in size, shape, topography, location, utilities and other factors, to accommodate the proposed use.
- FACT:** The site area will be adequate in size, shape, topography, location, utilities and other factors to accommodate a restaurant with drive-through service. The site is relatively flat, and can accommodate the restaurant with drive-through service along with the required on- and off-site improvements.
- c. **FINDING:** Adequate street access and traffic capacity are or will be available to serve the proposed development as well as existing and anticipated development in the surrounding area.
- FACT:** The project will gain access from a new 30-foot-wide driveway along Hoffman Street and a new 35-foot-wide driveway along Lincoln Avenue. Lincoln Avenue is considered a Major Arterial Highway in the City's Mobility Element, within the General Plan. A major arterial is a six-lane divided roadway with a typical right-of-way width of 120 feet. The roadway width from curb-to-curb is 100 feet, including a 14-foot median. The proposed driveways will provide direct access to the drive-through queuing lanes and parking areas. As such, adequate street access and traffic capacity are available to serve the proposed restaurant with drive-through service as well as the existing and anticipated development in the surrounding area.
- d. **FINDING:** Adequate utilities and public services will be available to serve the proposed development as well as existing and anticipated development in the surrounding area.
- FACT:** Adequate utilities and public services will be available, as conditioned, to serve the use, as well as, existing and anticipated development in the surrounding area. The Site is fully served by utilities and meets the City standards for public services and utilities to the serve the Site.
- e. **FINDING:** The use and development will be compatible with the intended character of the area.

FACT: The proposed restaurant with drive-through service will be compatible with the intended character of the area and not negatively impact surrounding properties since the investment in the underutilized property with a vacant building will elevate the property's aesthetics. All improvements meet the Buena Park Municipal Code requirements for the CS zone and propose a high-quality design that is consistent with similar commercial uses, and complements the design of the surrounding neighborhood. The exterior architectural design is in reasonable harmony with the architectural character of the surrounding area. All the building materials, colors, and finishes proposed for the proposed development are in harmony with the surrounding area. As conditioned, the proposed restaurant with drive-through service will enhance the visual integrity of the subject property as well as the surrounding area.

f. **FINDING:** Any criteria set forth elsewhere in this Title for the approval, the specific use and development will be satisfied.

FACT: Pursuant to the Buena Park Municipal Code (BPMC) Section 19.512.010 (Uses Permitted), restaurants with drive-through services require approval of a Conditional Use Permit in the CS zone. As conditioned, the proposed restaurant with drive-through service will complement the surrounding area and all the criteria set forth elsewhere in this Title for approval will be satisfied.

g. **FINDING:** Any adverse effects of the use and development are justified and fully balanced by offsetting benefits to the public interest.

FACT: Any adverse effects that may come from the proposed drive-through restaurant use at this site are justified and fully balanced by offsetting benefits to the public interest in that the primary use of the parcel will be as a fast-food restaurant. Additionally, there are conditions of approval that shall be implemented to prevent potentially adverse effects on the general public.

3. The Planning Commission hereby finds and determines that the application, as identified above in this Resolution, is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA) of 1970, as amended, and the Guidelines promulgated thereunder pursuant to Section 15303 (New Construction or Conversion of Small Structures) Class 3 of Title 14 of the California Code of Regulations, because the proposed restaurant with drive-through will (a) be located in an urbanized area; (b) not exceed 10,000 square feet in floor area within an appropriate zone for such use; and (c) does not include significant amounts of hazardous substances where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive.

4. Based upon the findings and conclusions set forth in paragraphs 1, 2, and 3, above, the Planning Commission hereby approves Conditional Use Permit No. CU-25-1 development plans stamped "RECEIVED JUN 17 2025 PLANNING DIV," as modified herein and the following conditions set forth in paragraph 5 of this Resolution.

5. The following conditions are deemed necessary to protect the public health, safety, and general welfare and are reasonable and proper in accordance with the purpose and intent of the Buena Park City Code:

PUBLIC WORKS DEPARTMENT:

Design:

1. Grading, storm drain, street, sewer, water, and erosion control plans shall be prepared by a registered engineer, at a minimum scale of 1" = 40', and on 24" by 36" sheets. Any proposed improvements shall be designed and constructed per City Standards. Any existing improvements in the public right-of-way, adjacent to project parcel frontage, that are not in compliance with the Americans with Disabilities Act (ADA) shall be removed and reconstructed or added to meet the ADA requirements and must comply with City Standards.
 - a. All vehicular access to the site shall be provided in locations approved by the Traffic Division. An emergency access within the project parcel shall be approved by the Orange County Fire Authority and an approved copy of the plan shall be submitted to the Engineering Division with the submittal of the grading plan.
 - b. Existing overhead utilities and poles along Hoffman Street shall be undergrounded. All new utilities to the project site shall be undergrounded. New streetlights along the project frontage will be required if there are not any existing streetlights or spacing is greater than 150 feet.
 - c. Traffic Impact fees shall be in accordance with City Resolution 9726 and the latest City Fee Schedule. Sewer, water, and storm-water connection fees shall be per the latest City Fee Schedule.
 - d. The developer is responsible for any infrastructure upgrades necessary to meet fire code or domestic water capacity requirements. Easements shall be dedicated as needed for any new public water or sewer systems. All proposed utility connections must comply with the City Code, standards, and applicable federal, state, and county regulations.
 - e. A double check detector assembly is required for domestic and fire service connections, and a Reduced Pressure Principle Device (RPPD) is required for irrigation service connection per City standards, and devices shall be supplied

and installed by contractor. Contractor shall supply and install City approved water meters in the public right-of-way.

- f. A hydrology and/or hydraulics study, prepared by a registered engineer, shall be submitted for approval when drainage is altered and/or there is a net increase of the stormwater for the proposed project. The storm drain system shall be designed and constructed for a minimum of a 25-year flood per the County of Orange standards. It shall be privately owned and maintained.
- g. The proposed driveway approaches on Lincoln Avenue and Hoffman Street shall conform to City Standard 213.
- h. The proposed sidewalk, parkway, curb and gutter along Lincoln Avenue and Hoffman Street shall conform to City Standard 206.
- i. Any additional curb and gutter along the project frontage that are lifted, fractured or failing shall be removed and replaced per City standards.
- j. Easement shall be granted to the City when public water and sewer systems are installed within private land.
- k. All existing public facilities in conflict with new improvements shall be relocated at no cost to the City. Property owner shall dedicate, or cause to be dedicated, all easements needed to accommodate the relocation, modification, or installation of facilities to be maintained by the City or any public utility company.
- l. Water Meter Installation Requirements:
 - i. For 1" or smaller meter sizes, the water meter model shall be Neptune T-10 with Encoder that reads in gallons or City approved equal.
 - ii. For 1.5" or larger meter sizes, the water meter model shall be Neptune HPT or Neptune MACH-10 with Encoder that reads in gallons or City approved equal.
- m. A geotechnical study prepared by a registered geotechnical engineer is required. The report shall recommend pavement structural section of proposed streets and parking lots. If WQMP is required, the report shall test and analyze soil conditions for LID (Low Impact Development) requirements and the implementation of water quality for storm water runoff, including potential infiltration alternatives, soil compaction, saturation, permeability, and ground water levels per the County of Orange Technical Guidance Document.
- n. Prior to issuance of grading or building permits, permit applicant shall submit for approval a Water Quality Management Plan (WQMP) specifically identifying Best Management Practices (BMPs) that will be used on site to control pollutant run-offs. This WQMP shall identify: the structural and non-structural measures,

detailing implementation of BMP's whenever they are applicable to the project. The design criteria and templates can be found at:
https://buenapark.com/city_departments/public_works/engineering_services/water_quality_management_plans.php

- o. Prior to the issuance of grading permit for projects that will result in soil disturbance of one acre or more of land, a copy of the Notice of Intent (NOI) and assigned Waste Discharge Identification (WDID) number from the State Water Resources Control Board shall be submitted to the City. Projects subject to this requirement shall prepare and implement a Stormwater Pollution Prevention Plan (SWPPP). A copy of the approved SWPPP by the State Water Resources Control Board shall be kept at the project site and be made available for the City upon request. The assigned WDID number must appear on the cover sheet of the grading plan.

Permit Issuance:

1. All fees, deposits, and bonds associated with improvements required by the Public Works Department shall be paid prior to the issuance of permits for construction. The fee amounts are specified in the City Fee Schedule.
2. Before exercising any right or performing any obligation pursuant to any permit issued by the Public Works Department, the developer/contractor shall obtain a City Business License and submit required insurance certificates.
3. A Transportation Hauling permit shall be obtained to operate or move a vehicle or combination of vehicles or special mobile equipment of a size or weight of vehicle or load exceeding the maximums specified in the California Vehicle Code (CVC) and the Caltrans Transportation Permit Manual.
4. Prior to issuance of a grading permit, applicant shall record an approved WQMP that includes the Master Covenant & Agreement and an Operational Maintenance Plan with the Orange County Recorder's office. Two hard copies of the WQMP in 3-ring binders shall be provided to the City.
5. Prior to final release of the project by the Public Works Department, or the refund of any cash deposits, the developer/contractor shall provide the City with a warranty bond to be held by the City for a period of one (1) year, for all public facilities and improvements.
6. Prior to the grant of occupancy by the City or commencement for the approved use, all improvements required by the Public Works Department shall be completed.

Construction:

1. A traffic control plan, prepared by a registered engineer, shall be submitted for approval for all utility connections, street improvements, and any other work performed in the

public right-of-way that require a lane closure. A traffic control plan, prepared by a registered engineer, shall also be submitted for work on private property that results in lane closures.

2. When more than one trench cut is made to install utility lines, then the street shall be either slurry sealed or grind and capped with AC to the nearest lane line of a trench cut from property line to property line. The method of replacing the pavement in kind or better shall be decided based on existing pavement condition.
3. An Engineered Grading and Utility Certification shall be certified by the project engineer. Each phase of construction, fill and soil compaction, rough grading including pad elevations, final grading, utilities, and Water Quality Management Plan shall be certified by the project engineer and submitted to the City.
4. Applicant shall abandon any existing private water wells per the City and Orange County Health Department requirements.
5. Prior to issuance of occupancy, applicant shall demonstrate all structural BMPs have been constructed in conformance with the approved WQMP.
6. The applicant/contractor shall be responsible for protecting all existing horizontal and vertical survey controls. Any survey controls disturbed during construction shall be reset per Orange County Surveyor Standards after construction.
7. All trash collection services needed during construction or after project completion shall be obtained from the City's authorized provider.

ORANGE COUNTY FIRE AUTHORITY (OCFA):

1. Design Review: Portions of the project that are deferred shall be subject to the codes, standards, and other applicable requirements in force on the date that the deferred plan is submitted to OCFA. The development review does not imply or express approvals on any subsequent plan submittal.
2. The applicant or responsible party shall submit the plan(s) listed below to the Orange County Fire Authority (OCFA) for review. Approval shall be obtained on each plan prior to the event specified.
 - a. Prior to OCFA clearance of a final map or issuance of a precise grading permit or a building permit, if the grading permit is not required:
 - i. Submittal of a Fire Master Plan (service code PR145)
 - b. Prior to issuance of a building permit:
 - i. Architectural (service codes PR200-PR285), when required by the OCFA "Plan Submittal Criteria Form" or by the City Building Department

- ii. Underground piping for private hydrants and fire sprinkler systems (service codes PR470-PR475)
 - iii. Fire sprinkler system (service codes PR400-PR465), if required by code or installed voluntarily
- c. Prior to concealing interior construction:
 - i. Sprinkler monitoring system (service code PR500)
 - ii. Hood and duct extinguishing system (service code PR335)
- 3. Specific submittal requirements may vary from those listed above depending on actual project conditions identified or present during design development, review, construction, inspection, or occupancy. Portions of the project that are deferred shall be subject to the codes, standards, and other applicable requirements in force on the date that the deferred plan is submitted to OCFA. Standard notes, guidelines, informational bulletins, submittal instructions, and other information related to plans reviewed by the OCFA may be found by visiting ocfa.org on the Planning and Development Section homepage.
- 4. Temporary/Final Occupancy Inspections: Prior to issuance of temporary or final certificate of occupancy, all OCFA inspections shall be completed to the satisfaction of the OCFA inspector and be in substantial compliance with codes and standards applicable to the project and commensurate with the type of occupancy (temporary or final) requested. Inspections shall be scheduled at least five days in advance by calling OCFA Inspection Scheduling at (714) 573-6150.
- 5. Lumber-drop Inspection: After installation of required fire access roadways and hydrants, the applicant shall receive clearance from the OCFA prior to bringing combustible building materials on-site. Call OCFA Inspection Scheduling at 714-573-6150 with the Service Request number of the approved fire master plan at least five days in advance to schedule the lumber drop inspection.

BUILDING DIVISION:

- 1. The project shall comply with state and federal disabled access requirements.
- 2. The project shall comply with the California Building Codes as adopted and amended by the City of Buena Park Municipal Code, Title 15.
- 3. The construction plans require professional preparation. Submit plans and structural calculations prepared by a California registered engineer or architect.
- 4. After the public hearing appeal period ends, applicant shall submit three (3) sets of construction plans to the Building Division for plan check in order to obtain required building permits.

PLANNING DIVISION:

1. This approval shall be for the development of a single (1)-story 3,786 square-foot restaurant building with drive-through service including off-street parking, landscaping, and associate on- and off-site improvements on a property comprised of two (2) parcels containing approximately 1.04 acres, located at 6201 Lincoln Avenue (APN: 260-022-05 & 260-022-06) in substantial compliance with Conditional Use Permit No. CU-25-1 Development Plans dated "RECEIVED JUN 17 2025 PLANNING DIV," and as conditioned herein.
2. The applicant and/or property owner shall ensure that a copy of the Planning Commission Resolution, including all conditions of approval, be reproduced on the first pages of construction drawings and shall be distributed to all design professionals, contractors, and subcontractors participating in the construction phase of the project.
3. All previous conditions of approval contained in Conditional Use Permit No. CU-561 (Resolution No. 2835) and Site Plan No. SP-612 (Resolution No. AD-133) shall be superseded and replaced by the conditions of approval herein.
4. Plans submitted for plan check shall include architectural amenities generally consistent with the submitted conceptual plans stamped "RECEIVED JUN 17 2025 PLANNING DIV." All construction drawings submitted for the development shall include sufficient construction details showing architectural accents, colors, details of construction, and techniques to ensure architectural compatibility throughout the development. Final details shall be approved by the Planning Division prior to issuance of building permits for the project. Final color and material samples shall be provided to the Planning Division with plan check submittals. Specifications and samples of the following shall be submitted to the Planning Division for review and approval prior to issuance of building permits:
 - a. Paint colors for all metal siding, paneling, and awnings
 - b. Roofing material
 - c. Window and door trims
 - d. Enhanced building mounted light fixtures and free-standing lights
 - e. ACM Panels and Fiber Cement Panels
 - f. Metal canopies

Architectural features may be replaced or modified subject to approval of the Community and Economic Development Director, based on equivalent provision of acceptable alternatives.

5. Color and material samples shall be submitted to the Planning Division for approval prior to issuance of building permits. The applicant shall demonstrate that proposed building materials, and other architectural/site features are rated for appropriate durability and longevity. In the event that said rating cannot be obtained, alternate materials shall be used under the direction of the Planning Division.

6. Any new walls, fencing, and gates shall comply with the City of Buena Park Municipal Code (BPMC) Chapter 19.528 (Development Standards – Fences, Walls, Hedges, and Berms) and shall require separate fence and wall permit approval by the Planning Division, and other agencies as necessary.
7. The design and operation of the drive-through speaker system, including automatic timers, volume controls, and message boards, are subject to the Planning Division review and approval, and the hours of operation and noise impacts will be reviewed by the Planning Division prior to occupancy and one year from the date the restaurant begins operation.
8. Signs shown on the plans are not part of this approval, and all future signs shall require a separate review and sign permit approval in compliance with the City of Buena Park Zoning Ordinance.
9. Landscaping shall be installed in substantial compliance with plans dated "RECEIVED JUN 17 2025 PLANNING DIV". An electronic version of detailed landscaping/irrigation/sprinkler plans, with signed and stamped Certification of Landscape Design form shall be submitted to the Planning Division for plan check. A 'Landscape Installation Certificate of Completion' shall be submitted to the Planning Division prior to issuance of Certificate of Occupancy. All landscaping/irrigation/sprinkler plans shall comply with the City of Buena Park Water Efficiency Landscape Ordinance, Title 13, Chapter 13.30 (Water Efficient Landscaping) of the Buena Park Municipal Code. A combination of plants and mature trees of a minimum 15 gallon or 24-inch box size shall be planted within the landscape planter located along the north property line to provide adequate visual screening from the adjacent properties located to the north.
10. The planting of trees and shrubs shall have plant material selected and planting methods used which are suitable for the soil and climatic conditions of the site. The proposed trees shall include a mixture of minimum 15-gallon and 24-inch box mature trees. The tree spacing shall be no greater than the normal spread of the mature species but in no case greater than 20 feet from center to center. If the bottom line of foliage is above the fence line, additional lower growing shrubs or trees shall be interspersed to provide a continuous visual screen. The tree species shall provide such continuous screening within five years.
11. All landscaped areas shall be separated from adjacent vehicular areas by a masonry wall or portland cement concrete (p.c.c.) curb a minimum of 6 inches in height, or by p.c.c. or masonry walkway. It is the applicant's responsibility that this is also shown on the Water Quality Management Plans as well.
12. Building and site lighting shall be decorative to complement the architectural design of the building. Plans submitted for plan check shall include a complete photometric plan to illustrate the equivalent of one (1) foot candle minimum shall be provided throughout the project site including the parking and landscaped areas. All luminaries shall be designed, shielded, or aimed in such a manner so as not to produce glare upon adjacent properties and public rights-of-way. Final location and design of light

standards and wall light fixtures shall be reviewed and approved by the Planning Division prior to issuance of building permits. Standard light poles with box fixtures shall not be considered decorative.

13. In all angle parking stalls (including ninety-degree parking) facing the perimeter of a parking area, individual concrete wheelstops or a six-inch high poured-in-place concrete curb shall be provided, located three feet inside the front boundary of the stalls.
14. All parking areas and driveways shall be paved and striped in compliance with BPMC Section 19.536.060 (Parking Dimensions and Layout) and Section 19.536.070 (Parking Improvements), and as shown on the approved plan. All parking areas shall be striped with white double lines separating stalls, with minimum 4-inch-wide stripes and a minimum 8-inch separation. Installation of speed bumps shall not be permitted within required fire lanes, access drive aisle and driveway of the proposed project. It shall be the responsibility of the developer to submit to the Public Works Department such plans as are necessary to ensure the installation of curbs or walls do not detrimentally affect drainage.
15. The proposed trash enclosure on plans dated "RECEIVED JUN 17 2025 PLANNING DIV" shall be in compliance with the Buena Park Municipal Code Section 19.524.010 (Trash Storage Facilities). Any modification to the trash enclosure shall be subject to review and approval by the Community and Economic Development Director and EDCO.
16. In accordance with Buena Park Municipal Code (BPMC) Section 19.536.020 (Vision Clearance Area), no structures, fencing/walls, trees, shrubs, signs, or other obstruction to sight between two (2') feet and seven (7') feet above the established street grade shall be located within the vision clearance area on either side of any driveway. The vision clearance areas are the triangular areas on each side of the driveway measuring fifteen feet along the street property line and fifteen feet along the edge of the driveway from the point of intersection of the edge of the driveway with the street property line.
17. All required utility services and equipment, including transformers, gas meter, "J" boxes, and similar devices shall be located below grade, to the extent possible, or shall be screened from view by landscaping or ornamental decorative walls. The placement and treatment of all screening devices shall be subject to review and approval of the Planning Division. In addition to said walls, landscaping may also be required as a solution for screening. A preliminary electrical equipment plan, which is prepared by the Southern California Edison Company, shall be reviewed and approved by the City Planning Division prior to the issuance of building permits. The applicant is required to return City approved red line prints to the Southern California Edison Company Planning Department, for preparation of final construction drawings. The location of other utility companies' appurtenances and meters shall be submitted to the City Planning Division for review and approval prior to installation.
18. All required double check valve assemblies located within public view shall be located below grade to the maximum extent possible, or shall be screened from view by

landscaping and/or ornamental decorative walls. The placement and treatment of all screening devices shall be subject to review and approval of the Planning Division.

19. All rain gutters and downspouts shall be strategically located within the buildings to the maximum extent feasible and painted to match the colors of the building. Exact location of rain gutters and downspouts shall be submitted to the Planning Division for review and approval prior to issuance of building permits.
20. All roof-mounted mechanical equipment shall not visible from adjacent and surrounding properties and streets from a height of five (5) feet above ground level. The installation and screening of air conditioning and similar equipment shall comply with existing design criteria and BPMC Section 19.544.020 (Visual Screening of Mechanical Equipment).
21. Within the required 10-foot street parking setback area a two (2') foot high hedge shall be provided within the landscape planter areas located on both sides of the main driveway.
22. All graffiti on the site shall be removed or painted over to match the color of the surface to which it is applied within 24 hours of its occurrence.
23. Temporary window signs advertising special items or events shall not exceed 20 percent of the area for each window.
24. Signs shall be posted within the parking area that prohibit loitering at any time.
25. The construction authorized by the Conditional Use Permit shall be started within one (1) year of the expiration of the appeal period and thereafter diligently advanced until completion of the project.
26. This approval may be revoked for any violation of noncompliance with any of these conditions in accordance with BPMC Section 19.132.030 (Revocation).
27. Prior to final inspection, these conditions and all improvements shall be completed to the satisfaction of the City.
28. The project and/or use authorized by this approval shall at all times comply with all applicable local, state, and federal ordinances, statutes, standards, codes, laws, policies, and regulations.
29. The applicant and property owner shall sign a notarized Affidavit of Acceptance of all conditions of approval and return it to the Planning Division within thirty (30) days after the effective date of this approval or prior to the issuance of a building permit or certificate of occupancy, whichever may occur first.
30. The applicant shall indemnify, defend, and hold harmless the City, its officers, agents, and employees from any claims and losses whatsoever occurring or resulting to any and all persons, firms, or corporations furnishing or supplying work, services, materials,

or supplies in connection with the performance of the use permitted hereby or the exercise of the rights granted herein, any and all claims, lawsuits or actions arising from the granting of or exercise of the rights permitted by this approval and from any and all claims and losses occurring or resulting to any person, firm, or corporation, or property damage, injury, or death arising out of or connected with the performance of the use permitted hereby. Applicant's obligation to indemnify, defend, and hold harmless the City as stated hereinabove shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the City in connection with any such claims, losses, lawsuits, or actions, and any award of such damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.

PASSED AND ADOPTED this 13th day of August 2025 by the following called vote:

AYES: COMMISSIONER:

NOES: COMMISSIONER:

ABSENT: COMMISSIONER:

ABSTAINED: COMMISSIONER:

Deborah Diep
Chair

ATTEST:

Harald Luna
Planning Manager

Resolution No.
Conditional Use Permit No. CU-25-1
August 13, 2025

AFFIDAVIT OF ACCEPTANCE:

I/ We do hereby accept all of the conditions contained in this document and all other conditions imposed by Conditional Use Permit No. CU-25-1 and do agree that I/We shall conform with and abide by all such conditions.

Date: _____

Printed Name and Signature
Owner / Applicant

DRAFT



DESIGNER OF RECORD

DISCIPLINE:	NAME:	ADDRESS:	LICENSE #
MAIN CONTACT:	DESIGN UA, INC ROBERT PREECE (909) 821-6703	153 E CITY PLACE DRIVE SANTA ANA, CA, 92705	
ARCHITECT:	DESIGN UA, INC FRANCIS ONG (714) 892-3900	153 E CITY PLACE DRIVE SANTA ANA, CA, 92705	#18585

MCDONALD'S CONSTRUCTION PROJECT MANAGER

MANAGER:	NAME:	ADDRESS:
	SCOTT WILKESON (951) 323-3002	110 N. CARPENTER CHICAGO, IL 60607

OWNER

MANAGER:	NAME:	ADDRESS:
	6201 LINCOLN AVE BUENA PARK, LLC KENNETH SKOUMBIS, TRUSTEE	1261 LEMON TREE DR. LA HABRA, CA 90631

GENERAL INFORMATION:

ADDRESS:	
STATE SITE CODE:	004-5199
STREET ADDRESS:	6201 LINCOLN AVE.
CITY:	BUENA PARK, CALIFORNIA 90602
COUNTY:	ORANGE COUNTY
STATE:	CALIFORNIA
APN:	260-022-05 AND 260-022-06
BUILDING CODE:	
BUILDING CODE EDITION:	2022 CALIFORNIA BUILDING CODE
MECHANICAL CODE EDITION:	2022 CALIFORNIA MECHANICAL CODE
ELECTRICAL CODE EDITION:	2022 CALIFORNIA ELECTRICAL CODE
PLUMBING CODE EDITION:	2022 CALIFORNIA PLUMBING CODE
ENERGY CODE EDITION:	2022 CALIFORNIA ENERGY CODE
FIRE/LIFE SAFETY CODE EDITION:	2022 CALIFORNIA FIRE CODE
ACCESSIBILITY CODE EDITION:	2022 CALIFORNIA BUILDING CODE, CH.11B
ADDITIONAL CODE EDITIONS:	2022 CAL GREEN CODE

SITE DATA:

ZONING DISTRICT:	CS (COMMUNITY SHOPPING ZONE)
ADJACENT ZONING:	
N:	RM-10 (LOW DENSITY MULTIPLE FAMILY)
S:	N/A (CITY OF CYPRESS)
W:	CS-COMMUNITY SHOPPING
E:	RM-10 (LOW DENSITY MULTIPLE FAMILY)
GENERAL PLAN DISTRICT:	C-G - GENERAL COMMERCIAL
EXISTING USE:	DRIVE-THRU RESTAURANT
PROPOSED USE:	MCDONALD'S RESTAURANT
ADJACENT USE:	
N:	
S:	N/A (CITY OF CYPRESS)
W:	COMMUNITY SHOPPING
E:	RESIDENTIAL
FAR PROPOSED:	0.08
TOTAL LOTS:	2
TOTAL LOT AREA:	45,478 SF
TOTAL IMPERVIOUS AREA:	31,599 SF (70.2%)
TOTAL LANDSCAPE AREA:	10,093 SF (22.1%)
PROPOSED PARKING:	36 SPACES
REQUIRED PARKING:	37 SPACES
	(3,786 SF/100 SF= 37 SPACES)
DRIVE-THRU STACKING:	15 CARS, 7 FROM ORDER POINTS

BUILDING DATA:

OCCUPANCY:	USE GROUP B
CONSTRUCTION TYPE:	VB SPRINKLERED
NUMBER OF STORIES:	1
ALLOWABLE BUILDING HEIGHT:	60'-0" max
PROPOSED BUILDING HEIGHT:	21'-0"
ALLOWABLE GROSS FLOOR AREA:	24,000 sq.ft. max
PROPOSED GROSS FLOOR AREA:	3,684 SF
PROPOSED NET FLOOR AREA:	3,557 SF

SCOPE OF WORK:

- DEMO EXISTING CURB CUTS
- DEMO EXISTING BUILDING AND SITE STRUCTURES
- DEMO EXISTING SIDEWALK
- NEW CONSTRUCTION OF A McDONALD'S RESTAURANT WITH DUAL ORDER POINT DRIVE-THRU LANE
- NEW TRASH CORRAL
- NEW LANDSCAPING AND HARDSCAPE
- NEW PARKING LOT AND PAVING
- NEW LOT LIGHTING
- NEW SIGNAGE (UNDER SEPARATE PERMIT)

DRAWING INDEX

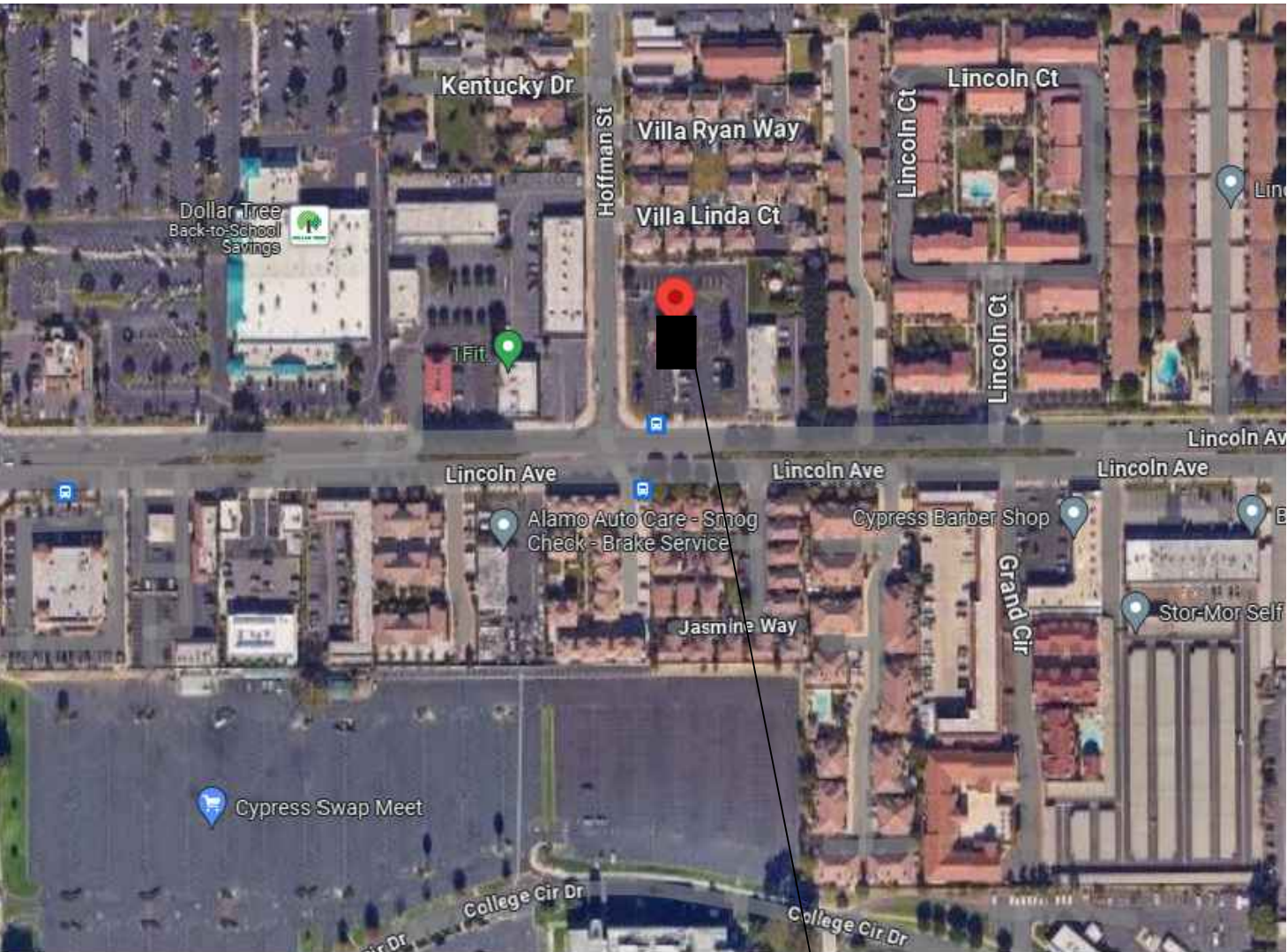
CV1.0 COVER SHEET

SITE & CIVIL

ALTA1	ALTA SURVEY (page 1 of 3)
ALTA2	ALTA SURVEY (page 2 of 3)
ALTA3	ALTA SURVEY (page 3 of 3)
1-5	PRELIMINARY SITE PLAN
2-5	PRELIMINARY GRADING PLAN
3-5	PRELIMINARY LANDSCAPE PLAN
4-5	PRELIMINARY UTILITY PLAN
5-5	PRELIMINARY WALL PLAN

ARCHITECTURAL

A1.0	FLOOR PLAN
A1.1	OCCUPANCY/AREA PLAN
A1.3	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A2.2	TRASH ENCLOSURE DETAILS
---	2D PROPOSED ELEVATIONS RENDER
K1.0	KITCHEN PLAN



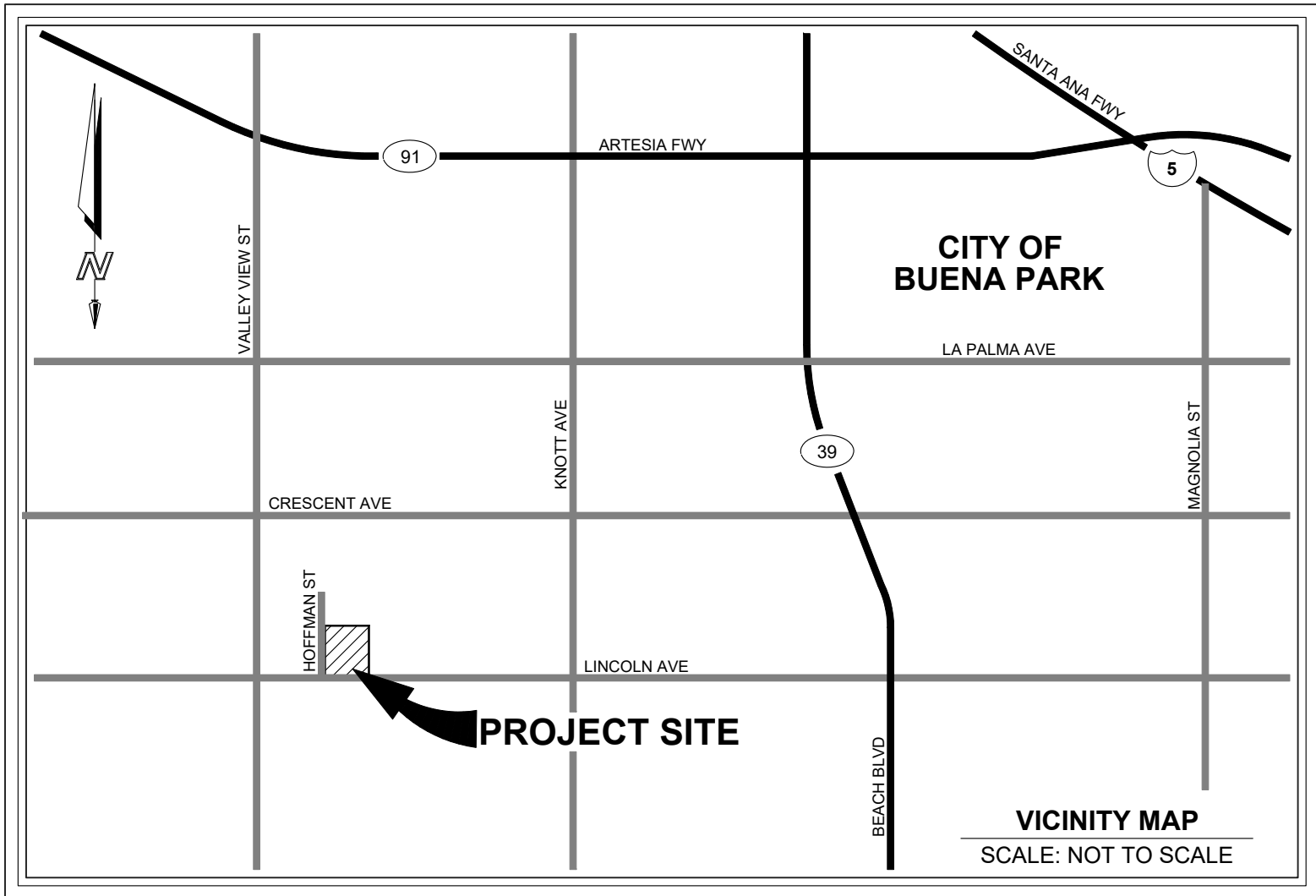
VICINITY MAP:



SITE

ALTA/NSPS LAND TITLE SURVEY

OF PARCEL 1, IN THE CITY OF BUENA PARK, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 103, PAGES 26 AND 27 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.



LEGAL DESCRIPTION TITLE COMMITMENT ORDER NO: CA2308809C

SUBJECT PARCEL: APN: 260-022-05, 260-022-06
PARCEL 1, IN THE CITY OF BUENA PARK, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 103, PAGES 26 AND 27 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM A ONE-HALF INTEREST IN AND TO ALL OIL AND MINERAL RIGHTS IN SAID LAND, AS RESERVED IN THE DEED RECORDED MAY 14, 1943 IN BOOK 1192, PAGE 12, OF OFFICIAL RECORDS.

SCHEDULE B - SECTION II EXCEPTIONS

NOTE:
THE INFORMATION SHOWN HEREON IS PER TITLE COMMITMENT ORDER NO: CA2308809C DATED NOVEMBER 27, 2023 BY CHICAGO TITLE INSURANCE COMPANY. NO RESPONSIBILITY OF COMPLETENESS OR ACCURACY OF SAID TITLE COMMITMENT IS ASSUMED BY THIS MAP OR THE SURVEYOR.

CIRCLED INDEX NUMBERS SHOWN BELOW INDICATE SCHEDULE B ITEMS WHICH BOTH AFFECT THE PROPERTY, AND HAVE SUFFICIENT MATHEMATICAL DATA TO BE SHOWN GRAPHICALLY. THESE ITEMS ARE SHOWN ON SHEETS 2 & 3. ITEMS SHOWN WITHOUT CIRCLES ARE DEEMED TO BE "NOT PLOTTABLE" DUE TO THE LACK OF SUFFICIENT MATHEMATICAL DATA, OR THEY DO NOT DIRECTLY AFFECT THE SUBJECT PROPERTY.

- A. PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, ARE AS FOLLOWS:
- ASSESSOR PARCEL NO.: 260-022-05
FISCAL YEAR: 2023-2024
1ST INSTALLMENT: \$7,612.75 PAID
2ND INSTALLMENT: \$7,612.75, OPEN
PENALTY AND COST: \$784.27 (DELINQUENT AFTER APRIL 10)
HOMEOWNERS EXEMPTION: \$0.00
CODE AREA: 14-068 (AFFECTS SUBJECT PARCEL, NOT A SURVEY MATTER)
- B. PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, ARE AS FOLLOWS:
- ASSESSOR PARCEL NO.: 260-022-06
FISCAL YEAR: 2023-2024
1ST INSTALLMENT: \$11.71 PAID
2ND INSTALLMENT: \$11.71, OPEN
PENALTY AND COST: \$24.17 (DELINQUENT AFTER APRIL 10)
HOMEOWNERS EXEMPTION: \$0.00
CODE AREA: 14-068 (AFFECTS SUBJECT PARCEL, NOT A SURVEY MATTER)
- C. THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 79) OR PART 2, CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF POLICY. (AFFECTS SUBJECT PARCEL, NOT A SURVEY MATTER)
1. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS. (AFFECTS SUBJECT PARCEL, NOT PLOTTABLE FROM AVAILABLE RECORDS)
2. THE LAND DESCRIBED HEREIN IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY SHOWN BELOW, AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW (SUCH REDEVELOPMENT TO PROCEED ONLY AFTER THE ADOPTION OF THE REDEVELOPMENT PLAN) AS DISCLOSED BY A DOCUMENT.
- REDEVELOPMENT AGENCY: CENTRAL BUSINESS DISTRICT REDEVELOPMENT PROJECT AREA
RECORDING DATE: APRIL 20, 2007
RECORDING NO: 2007000257354, OFFICIAL RECORDS (AFFECTS SUBJECT PARCEL, NOT A SURVEY MATTER)
3. PLEASE BE ADVISED THAT OUR SEARCH DID NOT DISCLOSE ANY OPEN DEEDS OF TRUST OF RECORD. IF YOU SHOULD HAVE KNOWLEDGE OF ANY OUTSTANDING OBLIGATION, PLEASE CONTACT THE TITLE DEPARTMENT IMMEDIATELY FOR FURTHER REVIEW PRIOR TO CLOSING. (AFFECTS SUBJECT PROPERTY, NOT A SURVEY MATTER)
4. ANY INVALIDITY OR DEFECT IN THE TITLE OF THE VESTEE(S) OR IN THE EVENT THERE IS A LACK OF COMPLIANCE WITH THE TERMS AND PROVISIONS OF THE TRUST INSTRUMENT.
- IF TITLE IS TO BE INSURED IN THE TRUSTEE(S) OF A TRUST, (OR IF THEIR ACT IS TO BE INSURED), THIS COMPANY WILL REQUIRE A TRUST CERTIFICATION PURSUANT TO CALIFORNIA PROBATE CODE SECTION 18100.5.
- THE COMPANY RESERVES THE RIGHT TO ADD ADDITIONAL ITEMS OR MAKE FURTHER REQUIREMENTS AFTER REVIEW OF THE REQUESTED DOCUMENTATION. (AFFECTS SUBJECT PARCEL, NOT PLOTTABLE FROM AVAILABLE RECORDS)
5. ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS.
- THE COMPANY WILL REQUIRE, FOR REVIEW, A FULL AND COMPLETE COPY OF ANY UNRECORDED AGREEMENT, CONTRACT, LICENSE AND/OR LEASE, TOGETHER WITH ALL SUPPLEMENTS, ASSIGNMENTS AND AMENDMENTS THERETO, BEFORE ISSUING ANY POLICY OF TITLE INSURANCE WITHOUT EXCEPTING THIS ITEM FROM COVERAGE.
- THE COMPANY RESERVES THE RIGHT TO EXCEPT ADDITIONAL ITEMS AND/OR MAKE ADDITIONAL REQUIREMENTS AFTER REVIEWING SAID DOCUMENTS. (AFFECTS SUBJECT PARCEL, NOT PLOTTABLE FROM AVAILABLE RECORDS)
6. ANY EASEMENTS NOT DISCLOSED BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT. (AFFECTS SUBJECT PARCEL, NOT PLOTTABLE FROM AVAILABLE RECORDS)
7. MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/NSPS LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF. (AFFECTS SUBJECT PARCEL, NOT PLOTTABLE FROM AVAILABLE RECORDS)

SURVEY NOTES

1. THIS SURVEY WAS PERFORMED ON MAY 2, 2024.
2. NO UTILITY PLANS/OR REPORTS WERE PROVIDED BY THE CLIENT. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON GEOPHYSICAL LOCATING, SURFACE EVIDENCE AND INFORMATION THAT COULD BE ACQUIRED FROM THE PUBLIC WORKS DEPARTMENT OF THE CITY OF BUENA PARK (IF ANY). ATLAS GEOSPATIAL PROVIDES GEOPHYSICAL LOCATING AS A BEST EFFORT SERVICE WITH NO GUARANTEE OF ACCURACY OR COMPLETENESS. THE RESULTS OF GEOPHYSICAL LOCATING MAY BE LIMITED OR AFFECTED BY SITE CONDITIONS, SOIL TYPES AND OTHER BURIED IMPEDIMENTS. DEPTHS PROVIDED HEREON REPRESENT THE RESULTS OF THIS BEST EFFORT SERVICE. GEOPHYSICAL LOCATING DOES NOT REPLACE THE NEED FOR EXCAVATION OR "POTHOLING" TO ASCERTAIN PRECISE DEPTHS AND LOCATIONS OF BURIED UTILITIES.
3. A DILIGENT INQUIRY WAS MADE WITH THE GAS PROVIDER REGARDING THE DEPTHS OF EXISTING NATURAL GAS LINES. NO RECORDS WERE AVAILABLE REGARDING THIS DEPTH.
4. THERE ARE NO SPRINGS, STREAMS, RIVERS, PONDS OR LAKES BORDERING ON OR RUNNING THROUGH THE PROPERTY.
5. THERE WAS NO EVIDENCE OF CEMETERIES OR FAMILY BURIAL GROUNDS LOCATED ON PROPERTY, HOWEVER, THIS SURVEY WILL NOT OVERWRITE ANY PAST SOILS REPORTS OR SUFFICE IN LIEU OF AN ARCHEOLOGICAL REPORT IN THE FUTURE.
6. THERE WAS NO EVIDENCE OF THE PROPERTY USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL, HOWEVER, THIS SURVEY WILL NOT OVERWRITE ANY PAST SOILS REPORTS OR SUFFICE IN LIEU OF AN SOILS REPORT IN THE FUTURE.
7. NO EVIDENCE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES WERE OBSERVED OR MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION OR CLIENT. EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK ARE SHOWN HEREON (IF ANY).
8. AT THE TIME OF WHICH THE SURVEY WAS PERFORMED THERE WAS NO EARTH MOVING, CONSTRUCTION, OR BUILDING ADDITIONS IN PROCESS.
9. ENCROACHMENTS ARE REFERENCED UNDER THE "ENCROACHMENT TABLE" ON SHEET 1 AND SHOWN GRAPHICALLY ON SHEET 3.
10. THIS ALTA SURVEY COMPLIES WITH THE REQUIREMENTS SET FORTH IN THE McDONALD'S ORDER FORM AND THE MINIMUM STANDARDS.
11. THERE ARE NO GAPS OR GORES BETWEEN THE PROPERTIES LISTED WITHIN THE TITLE REPORT LISTED HEREON.
12. SUBJECT PROPERTY HAS DIRECT ACCESS FROM LINCOLN AVENUE AND HOFFMAN STREET, LOCATIONS SHOWN ON SHEET 3.
13. THE LANDS SHOWN HEREON ARE THE SAME AS DESCRIBED IN TITLE COMMITMENT ORDER NO: CA2308809C PROVIDED BY CHICAGO TITLE INSURANCE COMPANY.

BASIS OF BEARING

BEING THE SOUTH LINE OF SECTION 10 AS SHOWN ON TRACT MAP NO. 16048, HAVING A BEARING OF N89°37'14"W.

BENCHMARK INFORMATION

THE OFF-SITE BENCHMARK IS BASED ON NAVD 1988 DATUM. BENCHMARK USED IS ORANGE COUNTY PUBLIC WORKS, DESIGNATION 1M-8A-82, DESCRIBED BY OCS 2002 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "1M-8A-82", SET IN THE TOP OF A 6 IN. BY 6 IN. CONCRETE POST. MONUMENT IS LOCATED IN THE NORTHWESTERLY CORNER OF THE INTERSECTION OF HOLDER STREET AND LINCOLN AVENUE, 67 FT. WESTERLY OF THE CENTERLINE OF HOLDER, 45 FT. NORTHERLY OF THE CENTERLINE OF LINCOLN AND 3.5 FT. NORTHERLY OF THE CURB FACE. MONUMENT IS SET LEVEL WITH THE SIDEWALK. ELEVATION= 63.19 FEET.

THE ON-SITE BENCHMARK IS BASED ON NAVD 1988 DATUM, AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION= 60.41 FEET.

ZONING & SETBACKS

SUBJECT PARCEL
FRONT: 20 FEET
REAR: 10 FEET
SIDES: 10 FEET / STREET SIDE: 20 FEET
MAX BUILDING HEIGHT: 45 FEET/ 4 STORIES
MAX BUILDING COVERAGE: NONE LISTED
ZONE: CS (COMMUNITY SHOPPING)

CONTAINS 56 STANDARD PARKING STALLS
CONTAINS 2 HANDICAP STALLS
CONTAINS 0 MOTORCYCLE STALLS
58 TOTAL STALLS

- NOTES:
1. NO ZONING REPORT OR LETTER WAS PROVIDED BY THE CLIENT TO THE SURVEYOR. ALL SETBACK INFORMATION WAS PROVIDED BY THE CITY OF BUENA PARK PLANNING DEPARTMENT WEBSITE <HTTP://BUENAPARK.COM>. ANY QUESTIONS OR DISCREPANCIES SHOULD BE DIRECTED TO THE CITY AT PHONE NUMBER (714) 562-3500, OR AT THE COUNTER AT 6650 BEACH BLVD, BUENA PARK CA, 90622-5009. IT IS NOT OUR POLICY TO MAKE CALCULATIONS TO DETERMINE REQUIREMENTS FOR THE SITE, BUT ONLY TO REPORT INFORMATION AS DISCOVERED.
2. NO SUBDIVISION OR RE-PLAT IS REQUIRED TO CONVEY THE SURVEYED PROPERTY.

FLOOD DESIGNATION

PER FLOOD INSURANCE RATE MAP NO. 06059C0108J PROJECT SITE LIES IN FLOOD ZONE "X-SHADED".

FLOOD "X-SHADED" DESIGNATION IS DEFINED AS: "0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE." PER THE FEMA WEB SITE, MORE INFORMATION CAN BE GATHERED AT WWW.FEMA.GOV.

ENCROACHMENT TABLE

- △ ADJACENT OWNERS WALL ENCROACHES ONTO SUBJECT OWNERS PROPERTY. SEE SHEET 3 FOR DETAILS.
- △ ADJACENT OWNERS SIGNAGE ENCROACHES ONTO CITY RIGHT OF WAY. SEE SHEET 3 FOR DETAILS.
- △ ADJACENT OWNERS BUILDING COLUMNS ENCROACH ONTO SUBJECT OWNERS PROPERTY. SEE SHEET 3 FOR DETAILS.

SHEET INDEX

SHEET 1: PROPERTY / TITLE INFORMATION
SHEET 2: PROPERTY BOUNDARY / PROCEDURE OF SURVEY
SHEET 3: TOPOGRAPHY

OWNERS

KENNETH SKOUMBIS AND JOANNE SKOUMBIS, TRUSTEES OF THE 2018 SKOUMBIS FAMILY TRUST DATED JUNE 28, 2018, AND ANY AMENDMENTS THERETO

SURVEYOR'S CERTIFICATE

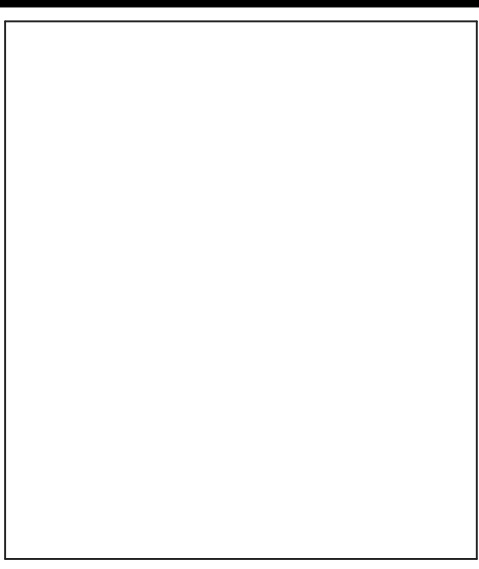
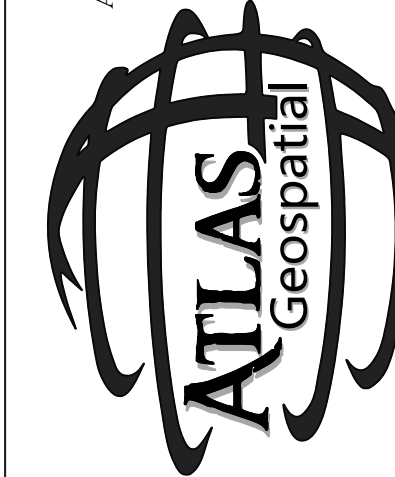
TO CHICAGO TITLE INSURANCE COMPANY AND McDONALD'S USA, LLC, A DELAWARE LIMITED LIABILITY COMPANY; McDONALD'S REAL ESTATE COMPANY, A DELAWARE CORPORATION; AND McDONALD'S CORPORATION, A DELAWARE CORPORATION:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2 THROUGH 5, 6 (A)(B), 7 (A)(B)(C), 8, 9, 10, 13 THROUGH 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 2, 2024.

DATE OF PLAT OR MAP: _____

FOR LEGAL AND TITLE REVIEW ONLY

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DATE	BY	REVISIONS

ALTA/NSPS LAND TITLE SURVEY
FOR McDONALD'S 004-5199

6201 LINCOLN AVENUE, CITY OF
BUENA PARK, COUNTY OF ORANGE
STATE OF CALIFORNIA

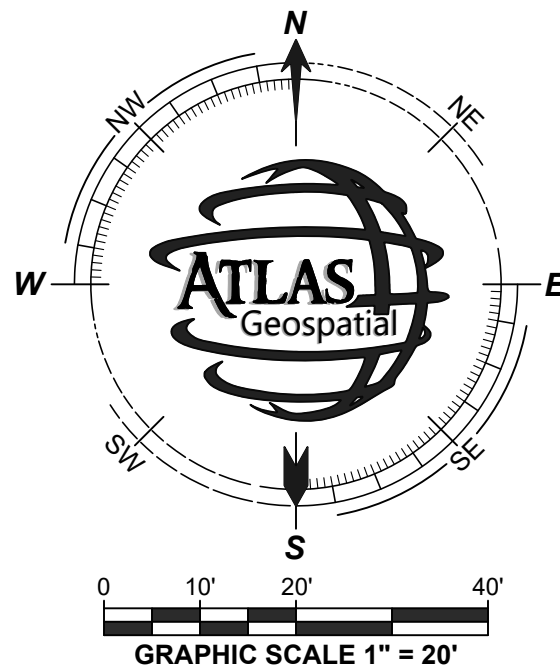
PROJECT NUMBER: 004-5199
DWG NAME: 24-020 BUENA PK LINCOLN MCD ALTA
PREPARED BY: CD/AM DATE: 05.20.2024
CHECKED BY: JAA/WWW DATE: 05.20.2024

REVISION	SHEET
0	1 OF 3

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING - ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO ATLAS GEOSPATIAL WITHOUT DELAY. THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF ATLAS GEOSPATIAL. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY ATLAS GEOSPATIAL IS FORBIDDEN.

ALTA/NSPS LAND TITLE SURVEY

OF PARCEL 1, IN THE CITY OF BUENA PARK, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 103, PAGES 26 AND 27 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.



RECORD LEGEND

XX A BEARING OR DIMENSION THAT IS MEASURED OR CALCULATED.

R1 RECORD DATA PER PMB 103 PG 26-27.

R2 RECORD DATA PER TRACT NO. 16048.

R3 RECORD DATA PER TRACT NO. 17629.

PARCEL INFORMATION

SUBJECT PARCEL

BEING PARCEL 1 OF PMB 103 PG 26-27
APN: 260-022-05 AND 260-022-06
SQ. FT. = 45,477.73 / 1.04 ACRES
ZONING: CS (COMMUNITY SHOPPING)

LEGEND

NOTE: ALL SYMBOLS OR LINETYPES SHOWN BELOW MAY NOT BE INCORPORATED ON THIS DRAWING.

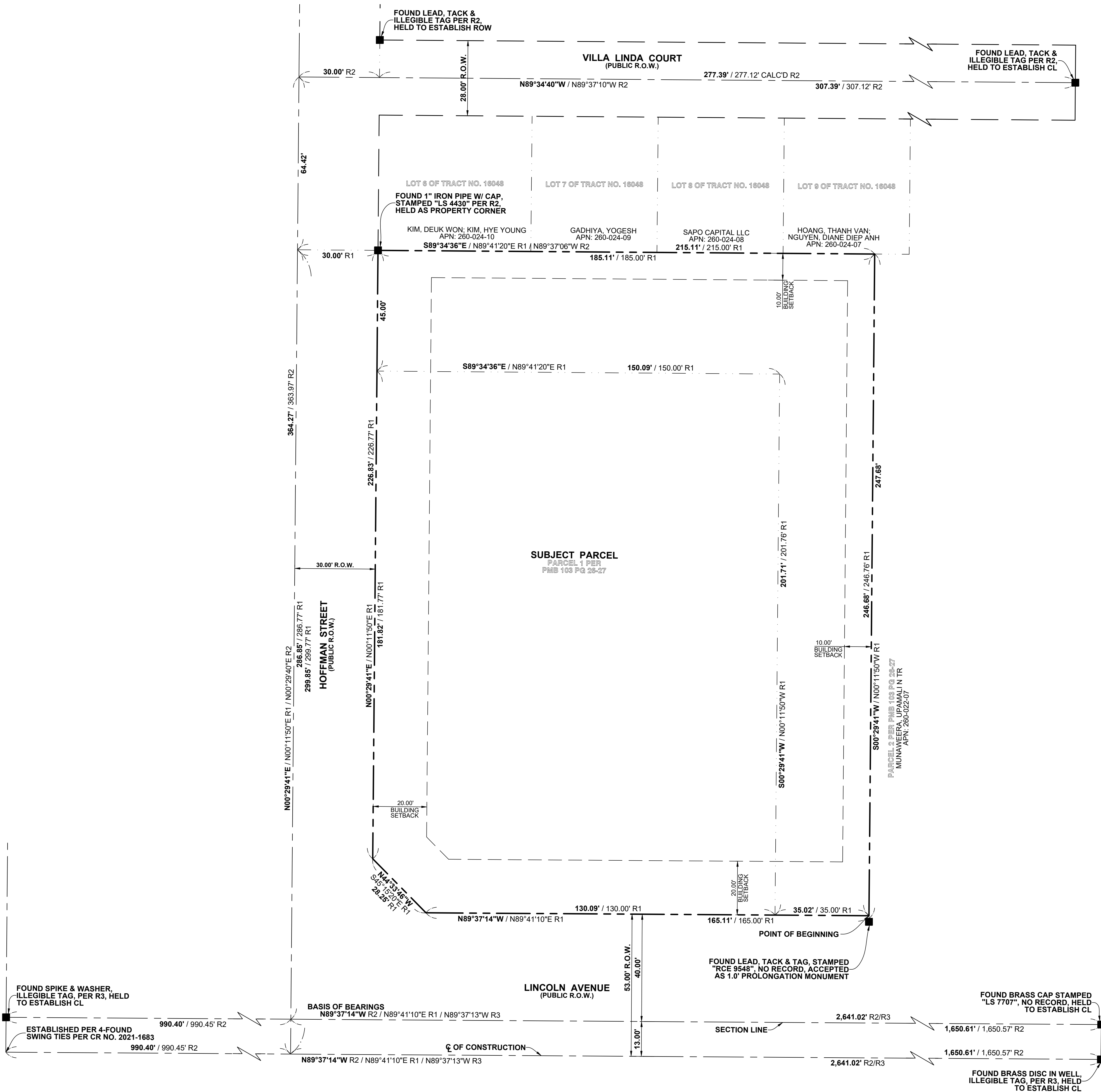
- PROPERTY BOUNDARY LINE
- PROPOSED LEASE AREA
- CENTERLINE
- RIGHT OF WAY LINE
- INDETERMINATE BOUNDARY LINE
- EASEMENT LINE
- INDICATES RESTRICTED ACCESS
- ZONING BOUNDARY
- ASSESSORS PARCEL NUMBER
- APN
- R.O.W.
- PL
- CL
- CENTER LINE
- FOUND MONUMENT AS DESCRIBED
- SET 5/8" I.P. W/ PLASTIC CAP TAG "LS 8645"
- EXISTING BUILDING WITH OVERHANG

SURVEYOR'S METES AND BOUNDS LEGAL DESCRIPTION

NOTE: THE SURVEYOR'S METES AND BOUNDS DESCRIPTION SHOWN BELOW DESCRIBES THE SAME PROPERTY AS DESCRIBED IN THE TITLE REPORT.

SUBJECT PARCEL:
BEING PARCEL 1, IN THE CITY OF BUENA PARK, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 103, PAGES 26 AND 27 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF PARCEL 2 OF SAID PARCEL MAP, ALSO BEING THE NORTH RIGHT OF WAY LINE OF LINCOLN AVENUE, BEING 53.00 FEET IN HALF WIDTH AS SHOWN ON SAID PARCEL MAP; THENCE ALONG SAID RIGHT OF WAY LINE, N89°37'14"W A DISTANCE OF 165.11 FEET; THENCE LEAVING SAID RIGHT OF WAY LINE, N44°33'46"W A DISTANCE OF 28.25 FEET TO THE EAST RIGHT OF WAY LINE OF HOFFMAN STREET; BEING 30.00 FEET IN HALF WIDTH AS SHOWN ON SAID PARCEL MAP; THENCE ALONG SAID EAST RIGHT OF WAY LINE, N00°29'41"E A DISTANCE OF 226.83 FEET TO THE SOUTH LINE OF LOTS 6 THROUGH 9 OF TRACT NO. 16048, RECORDED IN BOOK 816 PAGES 23-24 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY; THENCE ALONG SAID SOUTH LINE, S89°34'36"E A DISTANCE OF 185.11 FEET TO THE WEST LINE OF AFOREMENTIONED PARCEL 2 OF SAID PARCEL MAP; THENCE ALONG SAID WEST LINE, S00°29'41"W A DISTANCE OF 246.68 FEET TO THE POINT OF BEGINNING.



ALT/NSPS LAND TITLE SURVEY FOR McDONALD'S 004-5199

6201 LINCOLN AVENUE, CITY OF
BUENA PARK, COUNTY OF ORANGE
STATE OF CALIFORNIA

PROJECT NUMBER: 004-5199
DWG NAME: 24-020 BUENA PK LINCOLN MCD ALTA
PREPARED BY: CD/AM DATE: 05.20.2024
CHECKED BY: JAA/WWW DATE: 05.20.2024

REVISION
0

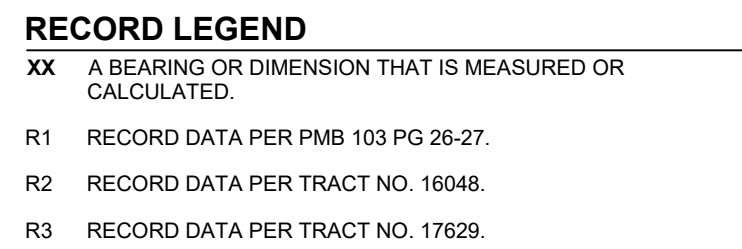
SHEET
2 OF 3

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Tel: 1-888-364-1973
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OF PARCEL 1, IN THE CITY OF BUENA PARK, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 103, PAGES 26 AND 27 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.



SUBJECT PARCEL
BEING PARCEL 1 OF PMB 103 PG 26-27
APN: 260-022-05 AND 260-022-06
SQ. FT. = 45,477.73 / 1.04 ACRES
ZONING: CS (COMMUNITY SHOPPING)

NOTE: ALL SYMBOLS OR LINETYPES SHOWN BELOW MAY NOT BE INCORPORATED ON THIS DRAWING

- [illegible]

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING - ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO ATLAS GEOSPATIAL WITHOUT DELAY. THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF ATLAS GEOSPATIAL. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY ATLAS GEOSPATIAL IS FORBIDDEN.



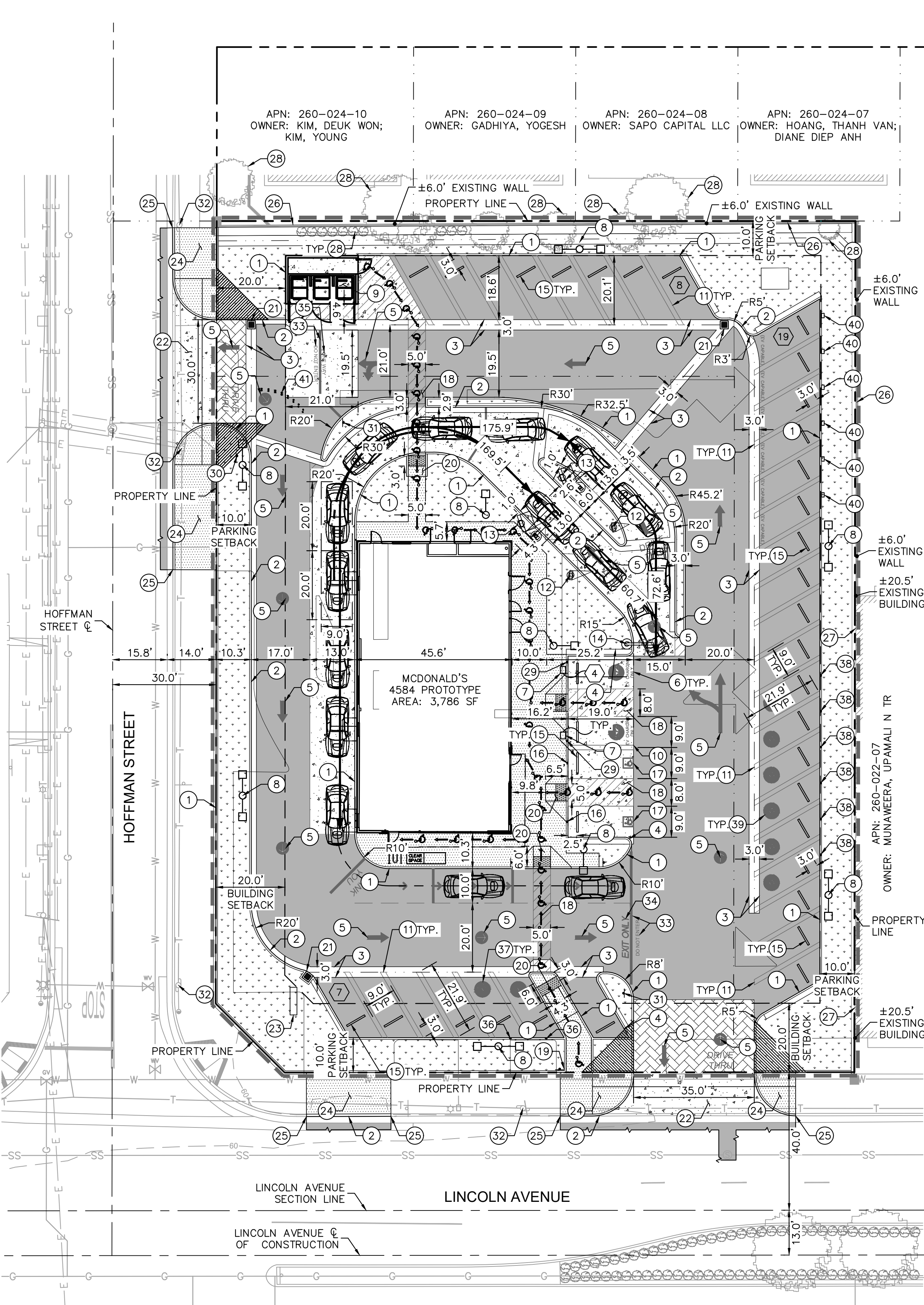
ATLAS
Geospatial

[illegible]

6201 LINCOLN AVENUE, CITY OF
BUENA PARK, COUNTY OF ORANGE
STATE OF CALIFORNIA

PROJECT NUMBER: 004-5199	
DWG NAME: 24-020 BUENA PK LINCOLN MCD ALTA	
PREPARED BY: CD/AM	DATE: 05.20.2024
CHECKED BY: JAA/WWW	DATE: 05.20.2024
REVISION 0	SHEET 3 OF 3

Drawing name: K:\ORA_LDE\mcdonalds\194015056 - buena park (4-5199)\CADD\Exhibits\entitlement package\C1.0 - Preliminary Site Plan.dwg C1.0 - Preliminary Site Plan Jun 12, 2025 2:37pm by: Jenny.Sheng



LEGEND:

- CENTER LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE / SETBACK LINE
- APPROXIMATE LIMIT OF WORK LINE
- STANDARD DUTY CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- LANDSCAPE/PLANTER AREA
- HEAVY DUTY ASPHALT PAVEMENT
- DETECTABLE WARNING SYSTEM
- STAMPED CONCRETE PAVEMENT
- ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)
- SIGN POST
- ACCESSIBLE PARKING SPACE
- NUMBER OF PARKING SPACES
- VISION CLEARANCE SPACE
- SITE LIGHTING

CONSTRUCTION NOTES:

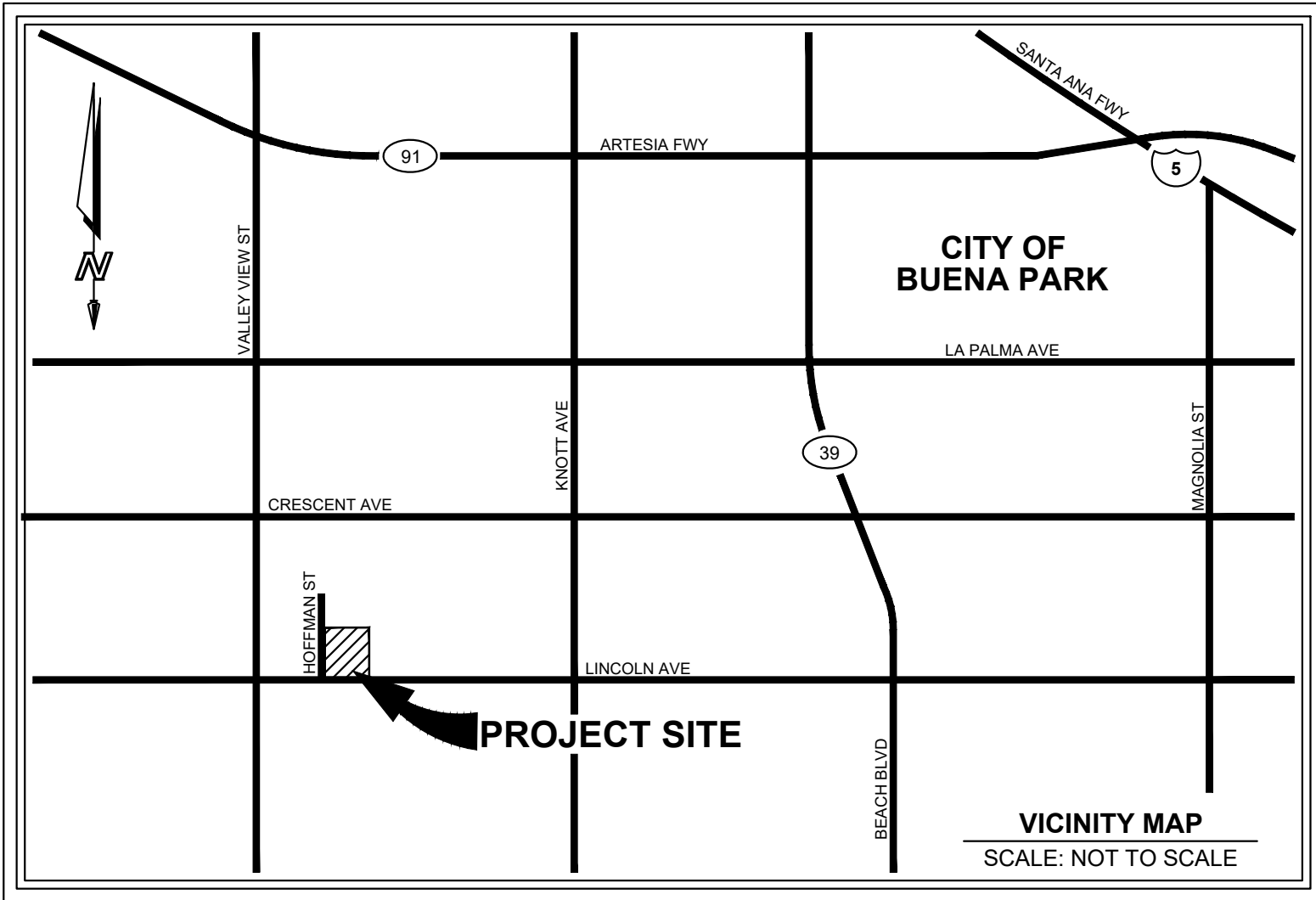
- CONCRETE CURB.
- CONCRETE CURB AND GUTTER.
- 3.0' WIDE VALLEY GUTTER.
- 18" WALK-OFF CURB.
- DIRECTIONAL MARKING PER PLAN.
- EV CHARGING STALL STRIPING AND "EV CHARGING ONLY" IN 12" HIGH WHITE LETTERS AT THE END OF PARKING STALL.
- PROPOSED E/V CHARGING STATION.
- SITE LIGHTING.
- COVERED TRASH ENCLOSURE AND RECYCLING BIN STORAGE.
- STANDARD 90" PARKING STALL DOUBLE LINE STRIPING (MINIMUM 4" WIDE). DOUBLE LINE STRIPES MUST HAVE MINIMUM 8" SEPARATION.
- STANDARD 60" PARKING STALL DOUBLE LINE STRIPING (MINIMUM 4" WIDE). DOUBLE LINE STRIPES MUST HAVE MINIMUM 8" SEPARATION.
- PREVIEW BOARD.
- ORDER BOARD.
- HEIGHT DETECTOR POLE.
- WHEELSTOPS FOR PARKING SPACES ADJACENT TO WALKWAYS.
- ACCESSIBLE PARKING STALL SIGN.
- ACCESSIBLE PARKING STALL STRIPING.
- ACCESSIBLE PATH OF TRAVEL STRIPING.
- ACCESSIBLE PATH OF TRAVEL SIGN.
- ACCESSIBLE RAMP WITH DETECTABLE WARNING (TRUNCATED DOMES).
- 24" X 24" JENSEN PRECAST DROP INLET WITH CATCH BASIN FILTER INSERT FOR TRASH CAPTURE.
- PROPOSED DRIVEWAY.
- MCDONALD'S SITE SIGNAGE.
- PROPOSED SIDEWALK, PARKWAY, CURB AND GUTTER TO MATCH EXISTING SURROUNDING.
- JOIN EXISTING CURB, CURB AND GUTTER, SIDEWALK.
- EXISTING WALL TO REMAIN.
- EXISTING BUILDING TO REMAIN.
- EXISTING PLANTER TO REMAIN.
- "EV CHARGING ONLY" STALL SIGN.
- "RIGHT TURN ONLY" SIGN.
- "DO NOT ENTER" SIGN.
- EXISTING POWER POLE TO REMAIN.
- "DO NOT ENTER" PAVEMENT MARKING WITH BAR STRIPING.
- "EXIT ONLY" PAVEMENT MARKING.
- "ONE-WAY" PAVEMENT MARKING.
- MCDelivery PARKING STALL SIGN.
- MCDelivery PARKING STALL STRIPING.
- MOBILE PICK-UP PARKING STALL SIGN.
- MOBILE PICK-UP PARKING STALL STRIPING.
- FUTURE INSTALLATION OF EV CHARGING STATION.
- WHITE 4" ROUND RAISED PAVEMENT MARKER PER MUTCD 3B.11 AND 3B.14

LEGAL DESCRIPTION

SUBJECT PARCEL: APN 260-022-05, 260-022-06

PARCEL 1, IN THE CITY OF BUENA PARK, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 103, PAGES 26 AND 27 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM A ONE-HALF INTEREST IN AND TO ALL OIL AND MINERAL RIGHTS IN SAID LAND, AS RESERVED IN THE DEED RECORDED MAY 14, 1943 IN BOOK 1192, PAGE 12, OF OFFICIAL RECORDS.



SITE DATA

PROJECT DESCRIPTION: DEMOLITION OF EXISTING PARKING LOT AND BUILDING. NEW CONSTRUCTION OF A MCDONALD'S DRIVE THRU RESTAURANT AND PARKING LOT.

ADDRESS: 6201 LINCOLN AVENUE, BUENA PARK, CA 90602

APN: 260-022-05, 260-022-06

ZONING DISTRICT: CS-COMMUNITY SHOPPING (EXISTING)

ADJACENT ZONING DISTRICTS:

- N: RM-10 (LOW DENSITY MULTIFAMILY RESIDENTIAL)
- S: N/A (CITY OF CYPRESS)
- E: RM-10 (LOW DENSITY MULTIFAMILY RESIDENTIAL)
- W: CS - (COMMUNITY SHOPPING)

LAND USE: COMMERCIAL

ADJACENT LAND USE:

- N: RESIDENTIAL
- S: N/A (CITY OF CYPRESS)
- E: RESIDENTIAL
- W: COMMUNITY SHOPPING

GENERAL PLAN DISTRICT: GC - GENERAL COMMERCIAL

FLOOD ZONE: ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.02% ANNUAL CHANCE FLOODPLAIN.

TOTAL DISTURBED AREA:	47,173 S.F.	(1.08 AC)
TOTAL PAD AREA:	3,786 S.F.	(0.09 AC)
TOTAL LOT AREA:	45,478 S.F.	(1.04 AC)

LOT COVERAGE	45,478 S.F.	(1.04 AC)	100%
TOTAL SITE AREA:	3,786 S.F.	(0.09 AC)	8.3%
BUILDING AREA:	33,207 S.F.	(0.76 AC)	73.0%
IMPERVIOUS AREA:	8,485 S.F.	(0.19 AC)	18.7%
LANDSCAPE AREA:			

BUILDING SETBACK	
FRONT (N):	20.0'
FRONT (S):	20.0'
SIDE (E):	10.0'
SIDE (W):	10.0'

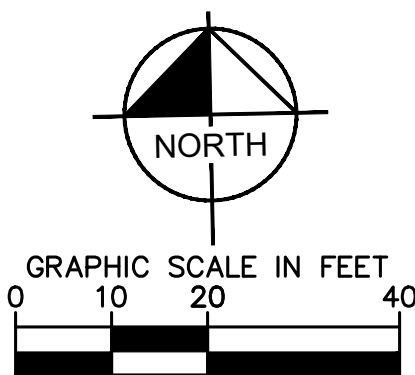
PARKING SUMMARY: 3,786 S.F. (1 STALL/100 S.F.) = 38 STALLS REQUIRED PER CITY CODE

- 3,786 S.F. (BUILDING) = 3,786 S.F. TOTAL
- ADA PARKING FOR 26-50 PARKING STALLS = 2 ADA PARKING STALLS REQUIRED, PER 2022 CBC.
- FUTURE EV FOR 26-50 PARKING STALLS = 6 FUTURE EV STALLS AND 2 EVCS STALLS REQUIRED PER 2022 CALGREEN
- 1 FUTURE EV STALL MUST BE VAN ACCESSIBLE.

TOTAL NUMBER OF PARKING SPACES PROVIDED = 38

PARKING TABLE:	REQUIRED	PROVIDED
STANDARD	27	27
COMPACT (C)	-	-
MOTORCYCLE	-	-
EV CHARGING	2	2
EV READY	7	7 (INCLUDES 1 VAN ACCESSIBLE)
ACCESSIBLE	2	2 (INCLUDES 1 VAN ACCESSIBLE)
TOTAL:	38	38

*80 FEET FROM PICK-UP WINDOW TO THE ORDER POINT, AND 80 FEET FROM THE ORDER POINT TO THE END OF THE DRIVE-THROUGH LANE HAS BEEN PROVIDED PER THE CITY'S CODE REQUIREMENTS.



Kimley»Horn

180 EAST OCEAN BLVD, SUITE 1200
LONG BEACH, CA 90802
(562) 549-2200

PREPARED UNDER THE DIRECT SUPERVISION OF:

AMELIA BELTRAN, R.C.E. NO. 87468 DATE: EXP. 09/30/2025

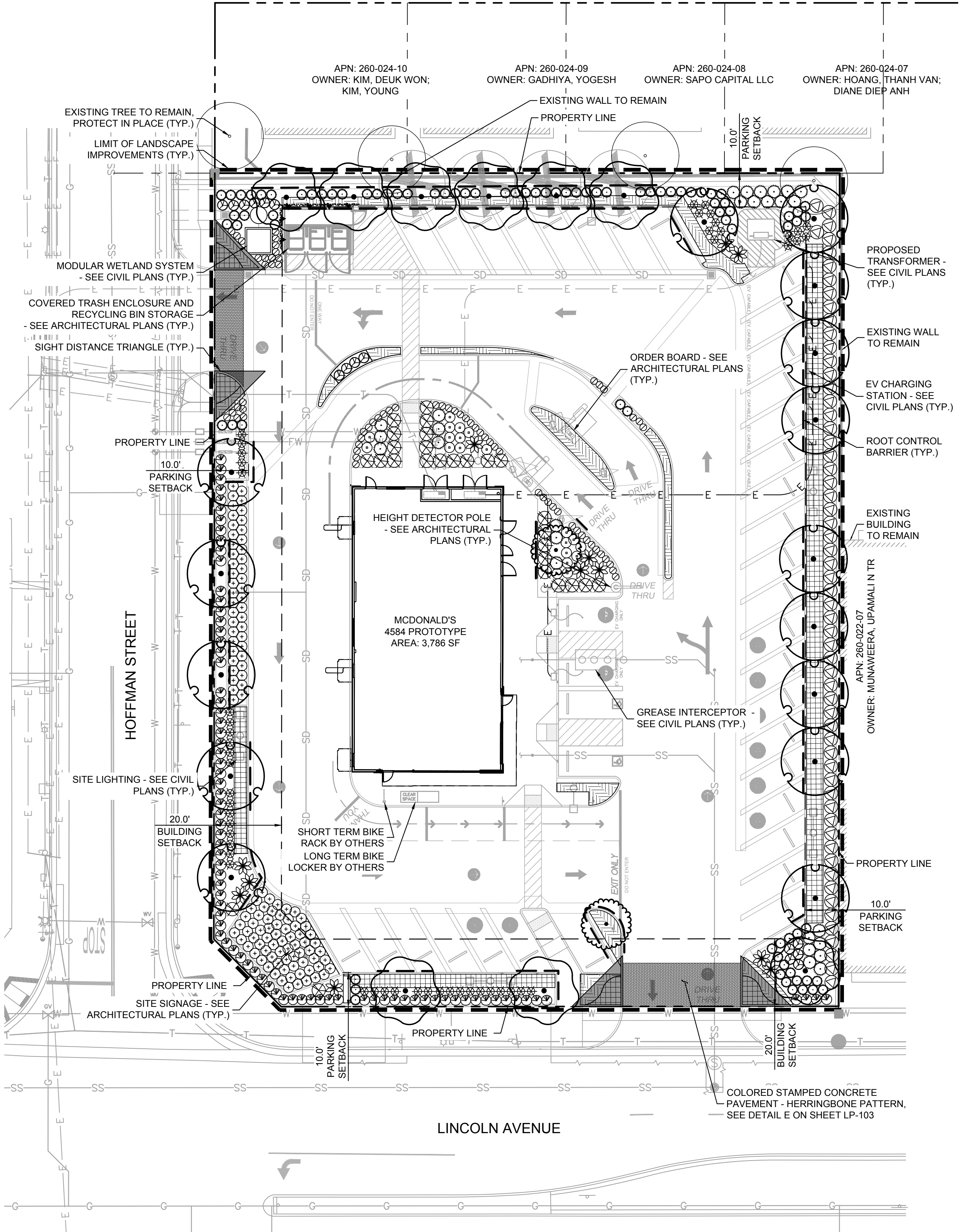
PRELIMINARY SITE PLAN

REVISIONS				CHECKED: AMELIA BELTRAN	
NO.	DATE	BY	DESCRIPTION	APP:	RECOMMENDED:
					APPROVED:
					BENCHMARK: BASED ON NAVD 1988 DATUM, AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION = 60.41 FEET

REFERENCES:

GP-
SHEET 1 OF 5

Drawing name: \\kimley-horn.com\CA_ORA\ORA_LDE\McDonalds\194015056 - Buena Park (4-5199)\CADD\PlanSheets\L1.0 - LANDSCAPE PLAN.dwg L1.1 Aug 07, 2025 1:12pm by: Alexandra.Suarez



PLANT SCHEDULE

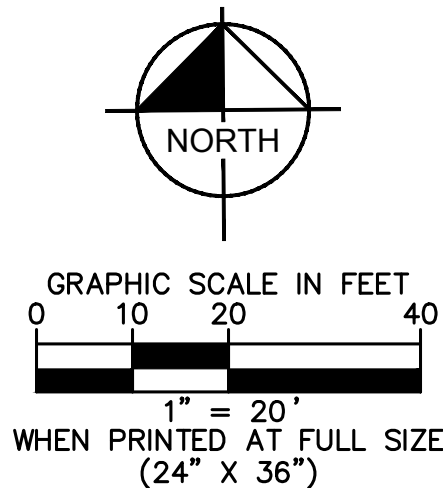
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT/SPREAD	CAL.	WUCOLS
TREES						
	2	CERCIS OCCIDENTALIS / WESTERN REDBUD	15 GAL.	7'-8" HT. X 2'-3" SPR.	1-1/2" CAL.	LOW
	9	JACARANDA MIMOSIFOLIA / JACARANDA MULTI-TRUNK	24" BOX	9'-11" HT. X 3'-4" SPR.	1" CAL.	MODERATE
	15	LOPHOSTEMON CONFERTUS / BRISBANE BOX	15 GAL.	7'-8" HT. X 2'-3" SPR.	1-1/2" CAL.	MODERATE
EXISTING TREE						
		EXISTING TREE / TO REMAIN	-	-	-	-
	4	EXISTING TREE / TO BE REMOVED	-	-	-	-
SHRUBS						
	12	AGAVE ATTENUATA 'SUPER NOVA' / SUPER NOVA FOXTAIL AGAVE	5 GAL.	AS SHOWN		LOW
	15	ANIGOZANTHOS FLAVIDUS 'BIG RED' / RED KANGAROO PAW	5 GAL.	36" O.C.		MODERATE
	68	CAREX DIVULSA / EUROPEAN GREY SEDGE	5 GAL.	24" O.C.		LOW
	27	CHONDROPETALUM ELEPHANTINUM / LARGE CAPE RUSH	5 GAL.	48" O.C.		LOW
	49	MUHLENBERGIA DUBIA / PINE MUHLY	5 GAL.	36" O.C.		LOW
	114	MUHLENBERGIA RIGENS / DEER GRASS	5 GAL.	36" O.C.		LOW
	60	OLEA EUROPAEA 'MONTRA' / LITTLE OLLIE® OLIVE	5 GAL.	48" O.C.		LOW
	84	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' / LITTLE SPIRE RUSSIAN SAGE	1 GAL.	36" O.C.		LOW
	82	RHAPHIOLEPIS INDICA 'PINK LADY' / PINK LADY INDIAN HAWTHORN	5 GAL.	36" O.C.		LOW
	20	SALVIA GREGGII / AUTUMN SAGE	5 GAL.	36" O.C.		LOW
	27	SALVIA LEUCANTHA 'SANTA BARBARA' / SANTA BARBARA MEXICAN BUSH SAGE	5 GAL.	48" O.C.		LOW
VINES						
	6	JASMINUM POLYANTHUM / PINK JASMINE TRAIN TO WALL	5 GAL.	72" O.C.		MODERATE
GROUND COVERS						
	105	MYOPORUM PARVIFOLIUM / TRAILING MYOPORUM	5 GAL.	48" O.C.		LOW
	136	TEUCRIUM CHAMAEDRY'S 'NANUM' / CREEPING GERMANDER	1 GAL.	36" O.C.		LOW
MATERIAL						
	8,521 SF	3" DEPTH WOOD BARK MULCH				
	723 LF	ROOT CONTROL BARRIER NOTE: TO BE INSTALLED WHERE TREES ARE LOCATED WITHIN 10' MIN. OF HARDSCAPE				

HARDSCAPE SCHEDULE

SYMBOL	QTY	DESCRIPTION
	722 SF	COLORLED STAMPED CONCRETE PAVEMENT COLOR: TO MATCH ADJACENT PROPERTIES PATTERN: 4" X 8", PATTERN AS SHOWN ON PLAN TO MATCH ADJACENT PROPERTIES

SITE DATA

LANDSCAPE REQUIREMENTS	
10% OF TOTAL SITE MUST BE LANDSCAPED	
TOTAL SITE AREA =	45,478 SF
LANDSCAPE PROVIDED =	8,660 SF (19%)
LANDSCAPE REQUIRED =	4,548 SF (10%)



ENGINEERS SEAL

NOT FOR CONSTRUCTION

Kimley»Horn

401 B STREET, SUITE 600
SAN DIEGO, CA 92101
(602) 705-3864

PREPARED UNDER THE DIRECT SUPERVISION OF:
RANDALL KOPFF, P.L.A. NO. 6633

DATE: 8/7/2025
EXP. 09/30/2025

ON-SITE LANDSCAPE PLANS FOR MCDONALD'S USA, LLC
6201 LINCOLN AVENUE, BUENA PARK, CA 90602

REVISIONS				CHECKED: RANDALL KOPFF
NO.	DATE	BY	DESCRIPTION	APP.

RECOMMENDED:
APPROVED:
BENCHMARK: BASED ON NAVD 1988 DATUM, AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION ~ 60.41 FEET

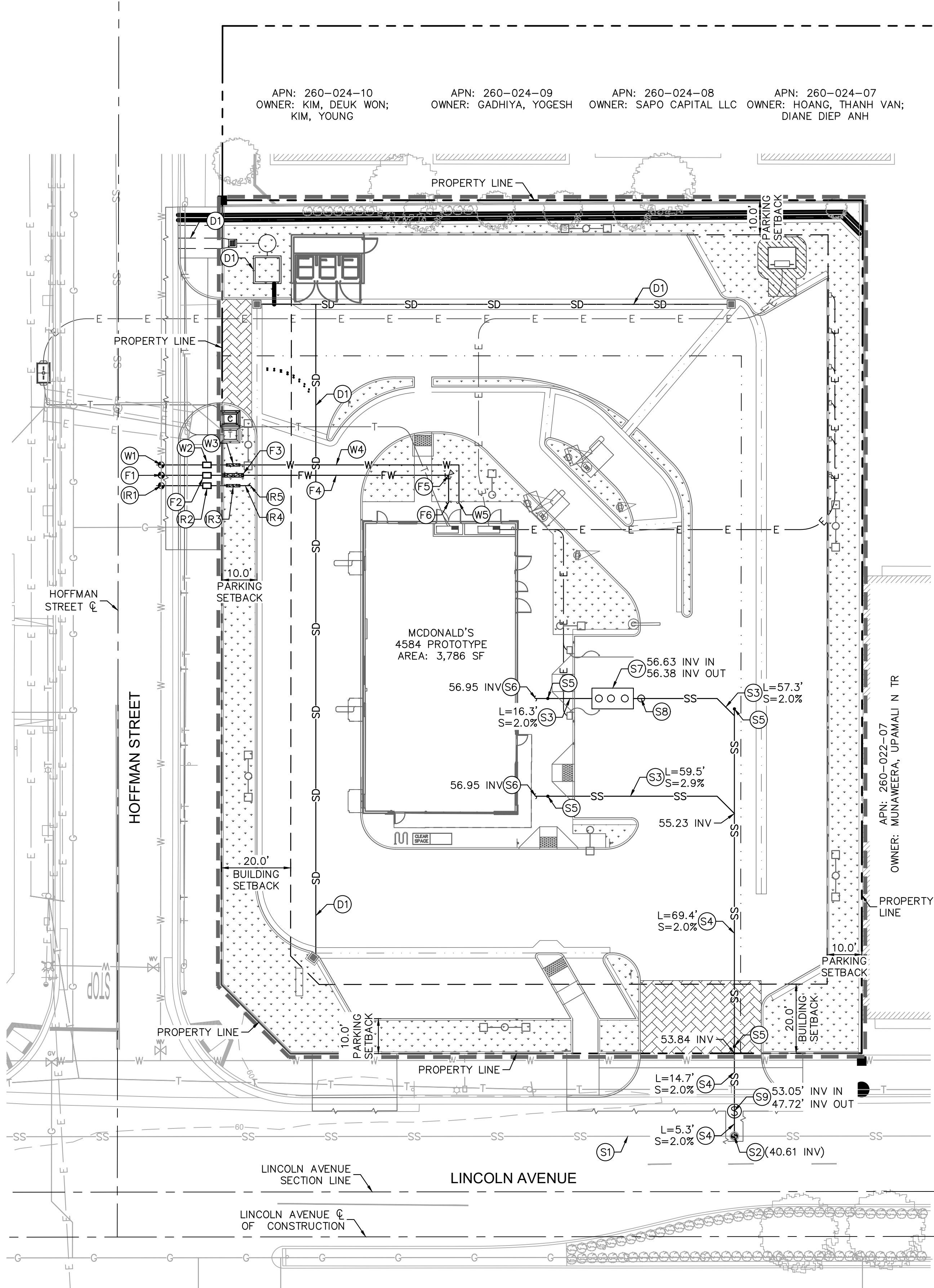
REFERENCES:

LP-102

SHEET 3 OF 10

Drawing name: K:\ORA_LDEV\mcdonalds\194015056 - buena park (4-5199)\CADD\Exhibits\entitlement package\C3.0 - Preliminary Utility Plan.dwg C1.0 - Preliminary Utility Plan Jun 12, 2025 2:38pm by: Jenny/Sheng

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LEGEND:

- CENTER LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE / SETBACK LINE
- APPROXIMATE LIMIT OF WORK LINE
- PROPOSED FLOW LINE
- W --- EXISTING WATER LINE
- SS --- EXISTING SANITARY SEWER LINE
- G --- EXISTING GAS LINE
- E --- EXISTING UNDERGROUND ELECTRICAL LINE
- T --- EXISTING UNDERGROUND TELECOMMUNICATIONS LINE
- SD --- EXISTING STORM DRAIN LINE
- W --- PROPOSED WATER LINE
- FW --- PROPOSED FIRE WATER LINE
- SS --- PROPOSED SANITARY SEWER LINE
- SD --- PROPOSED STORM DRAIN LINE

DOMESTIC WATER CONSTRUCTION NOTES

- (W1) CONNECT TO EXISTING WATER LINE.
- (W2) INSTALL 2" DOMESTIC WATER METER.
- (W3) INSTALL 2" AMES DOMESTIC WATER BACKFLOW PREVENTER.
- (W4) INSTALL 2" PVC SCH. 80 DOMESTIC WATER LINE.
- (W5) BUILDING POINT OF CONNECTION (5-FT FROM BUILDING FACE).

IRRIGATION WATER CONSTRUCTION NOTES

- (IR1) CONNECT TO EXISTING WATER LINE.
- (R2) INSTALL 1" IRRIGATION WATER METER.
- (R3) INSTALL 1" AMES DOMESTIC WATER BACKFLOW PREVENTER.
- (R4) INSTALL 1" PVC SCH. 80 DOMESTIC WATER LINE.
- (R5) IRRIGATION POINT OF CONNECTION.

FIRE WATER CONSTRUCTION NOTES

- (F1) CONNECT TO EXISTING WATER LINE.
- (F2) INSTALL 6" FIRE WATER METER.
- (F3) INSTALL 6" AMES DOUBLE DETECTOR CHECK ASSEMBLY.
- (F4) INSTALL 6" PVC C-900 CLASS 150 FIRE WATER LINE.
- (F5) INSTALL 6" PVC C-900 CLASS 150 BEND WITH THRUST BLOCK.
- (F6) BUILDING POINT OF CONNECTION (5-FT FROM BUILDING FACE)

SANITARY SEWER CONSTRUCTION NOTES

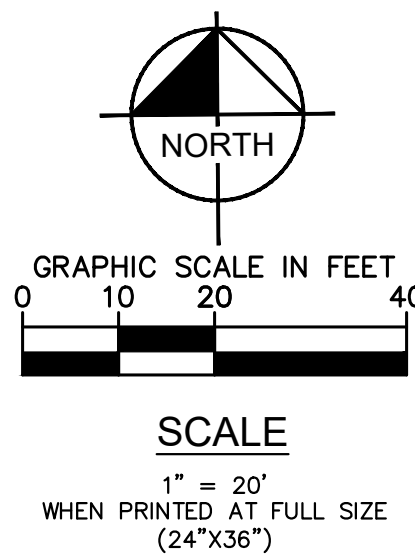
- (S1) EXISTING SEWER MAIN TO REMAIN.
- (S2) CONNECT TO EXISTING SEWER MANHOLE. CONTRACTOR TO POTHOLE AND VERIFY LOCATION OF EXISTING MAIN PRIOR TO TRENCHING AND SEWER INSTALLATION. IF DISCREPANCIES ARE FOUND, NOTIFY ENGINEER FOR FURTHER DIRECTION. CONTRACTOR TO SCOPE EXISTING LINE TO VERIFY CONDITION PRIOR TO TRENCHING AND SEWER INSTALLATION.
- (S3) INSTALL 4" SDR-35 PVC SEWER PIPE AT MINIMUM 2% SLOPE.
- (S4) INSTALL 6" SDR-35 PVC SEWER PIPE AT MINIMUM 2% SLOPE.
- (S5) INSTALL SEWER CLEANOUT.
- (S6) BUILDING POINT OF CONNECTION.
- (S7) INSTALL JENSEN PRECAST 1500 GAL. GREASE INTERCEPTOR.
- (S8) INSTALL JENSEN PRECAST SAMPLE BOX.
- (S9) INSTALL DROP MANHOLE PER CITY OF BUENA PARKS STANDARD 507.

STORM DRAIN CONSTRUCTION NOTES

- (D1) REFER TO THE PRELIMINARY GRADING PLAN FOR MORE INFORMATION ON PROPOSED SITE STORM DRAIN IMPROVEMENTS.

GENERAL NOTES

- THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. A TOPOGRAPHICAL AND UNDERGROUND SURVEY WILL BE REQUIRED TO DETERMINE THE FINAL LOCATION OF ALL EXISTING AND PROPOSED UTILITY ROUTINGS.
- COORDINATION WITH UTILITY PURVEYORS WILL BE REQUIRED TO DETERMINE FINAL LOCATION OF ALL PROPOSED CONNECTIONS TO PUBLIC MAIN LINES.
- ALL DRY AND WET UTILITY CROSSING SHALL HAVE MIN. 12" VERTICAL CLEARANCE.



Know what's below.
Call before you dig.

Kimley»Horn

180 EAST OCEAN BLVD, SUITE 1200
LONG BEACH, CA 90802
(562) 549-2200

PREPARED UNDER THE DIRECT SUPERVISION OF:

AMELIA BELTRAN, R.C.E. NO. 87468

DATE:

EXP. 09/30/2025

PRELIMINARY UTILITY PLAN

REVISIONS

NO.	DATE	BY	DESCRIPTION

CHECKED: AMELIA BELTRAN

RECOMMENDED:

APPROVED:

BENCHMARK: BASED ON NAVD 1988 DATUM, AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION ~ 60.41 FEET

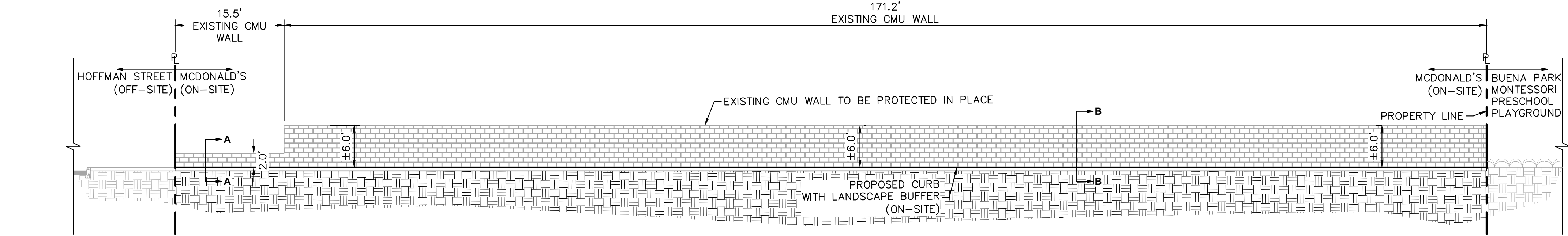
REFERENCES:

GP-

REV. NO.

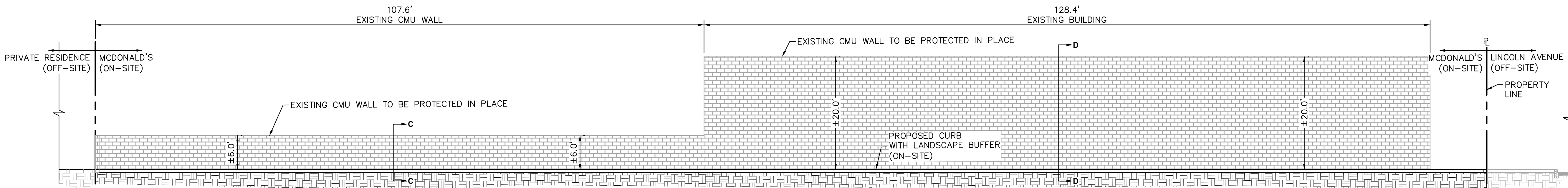
SHEET 4 OF 5

Drawing name: K:\ORA_LDE\mcdonalds\194015056 - buena park (4-5199)\CADD\Exhibits\Wall Plan\Wall Exhibit-194015056.dwg WALL EXHIBIT Jun 12, 2025 2:39pm by: Jenny/Sheng
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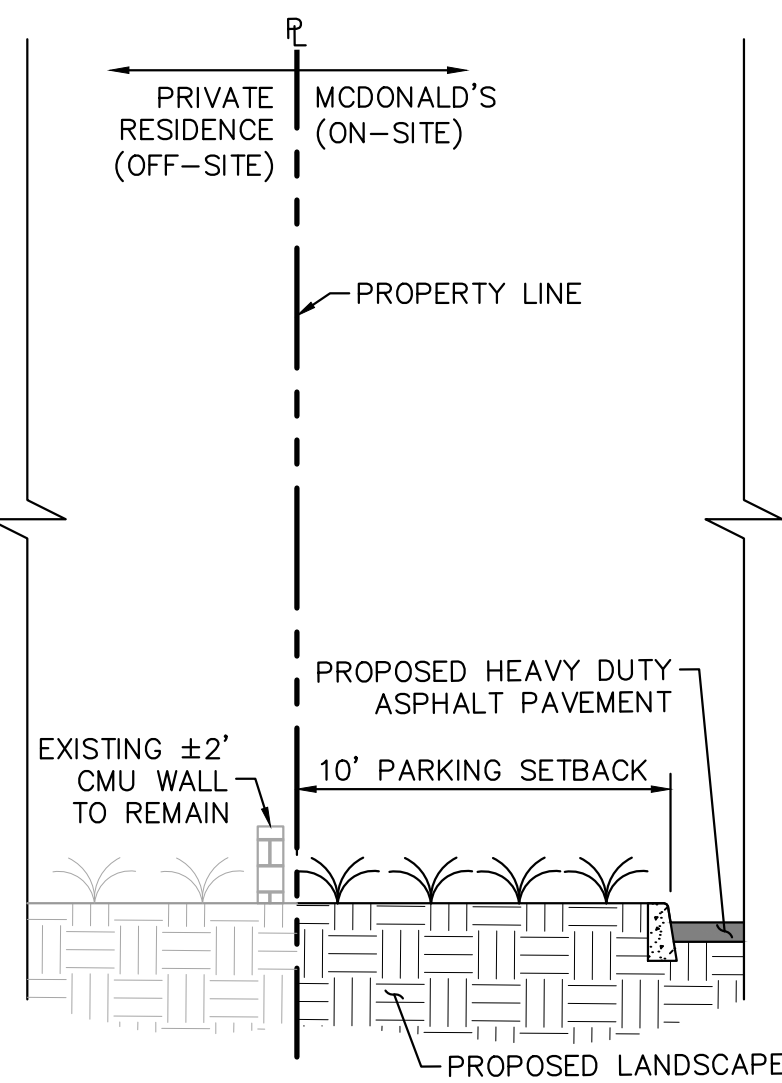
EXISTING CMU WALL (NORTHERN PROPERTY LINE)
N.T.S. (VIEW FROM MCDONALD'S SITE TOWARDS THE NORTHERN PROPERTY LINE)

1



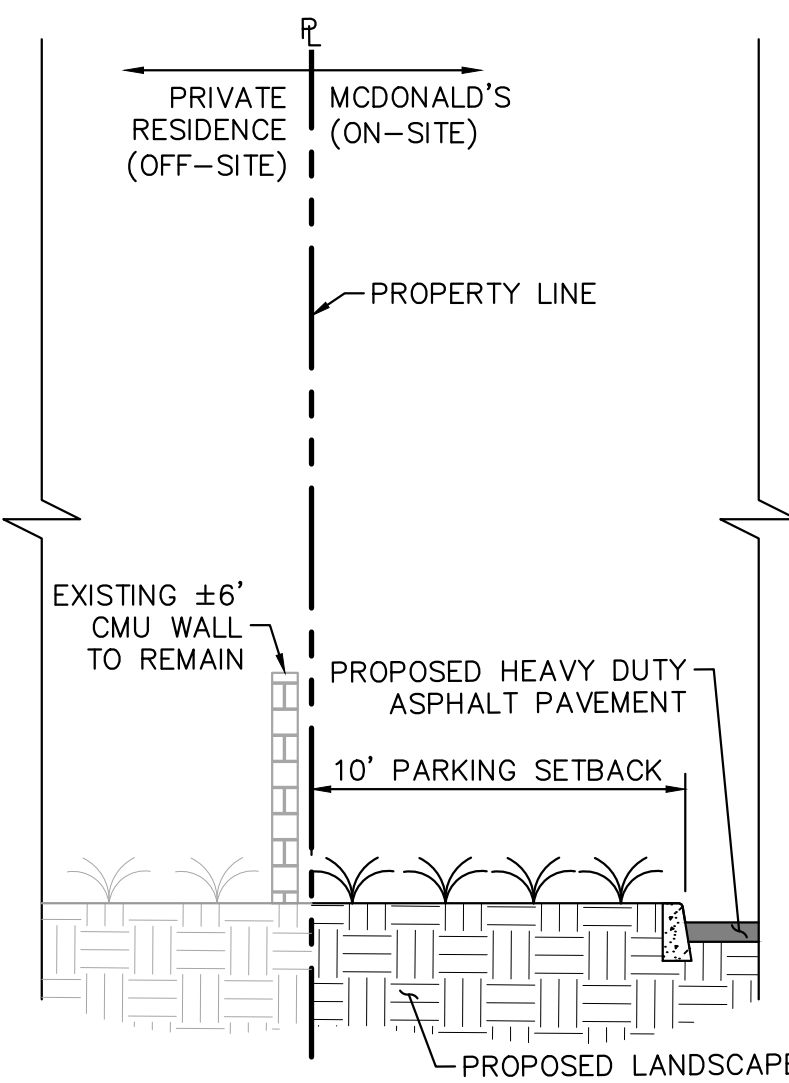
EXISTING CMU WALL (EASTERN PROPERTY LINE)
N.T.S. (VIEW FROM MCDONALD'S SITE TOWARDS THE EASTERN PROPERTY LINE)

2



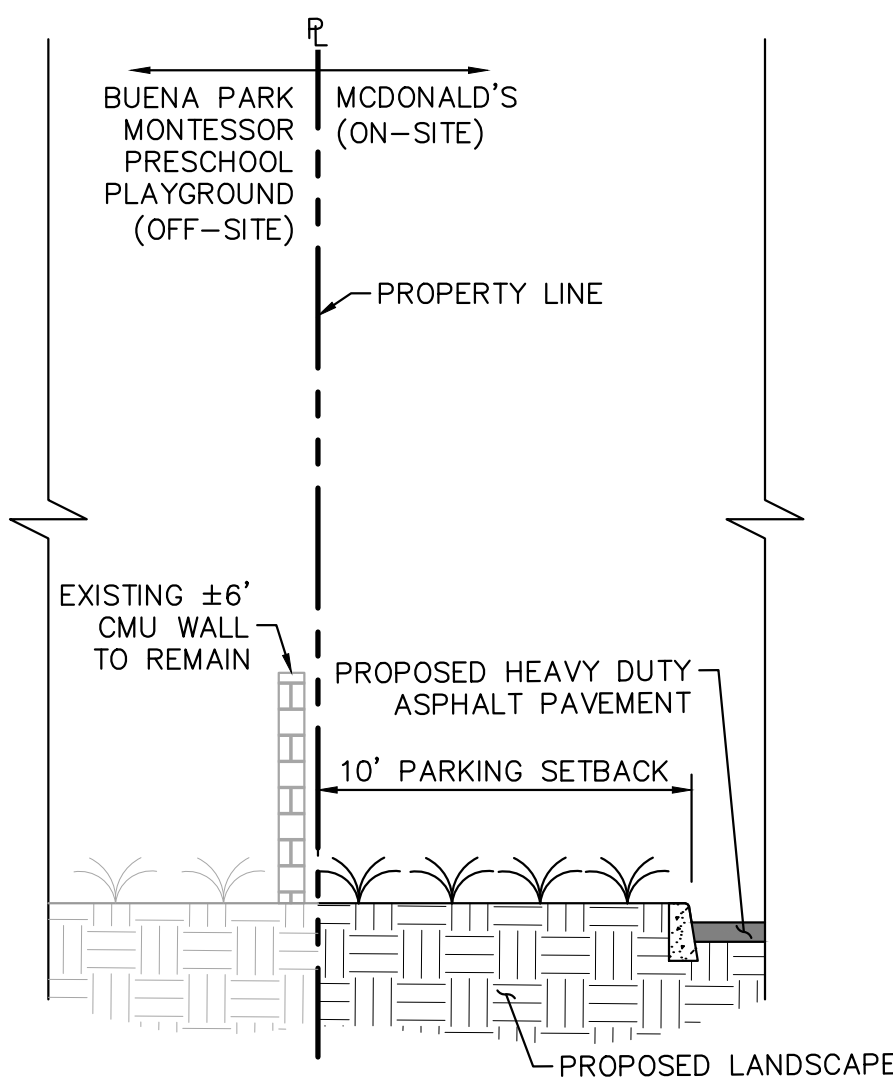
SECTION A-A
N.T.S.

A



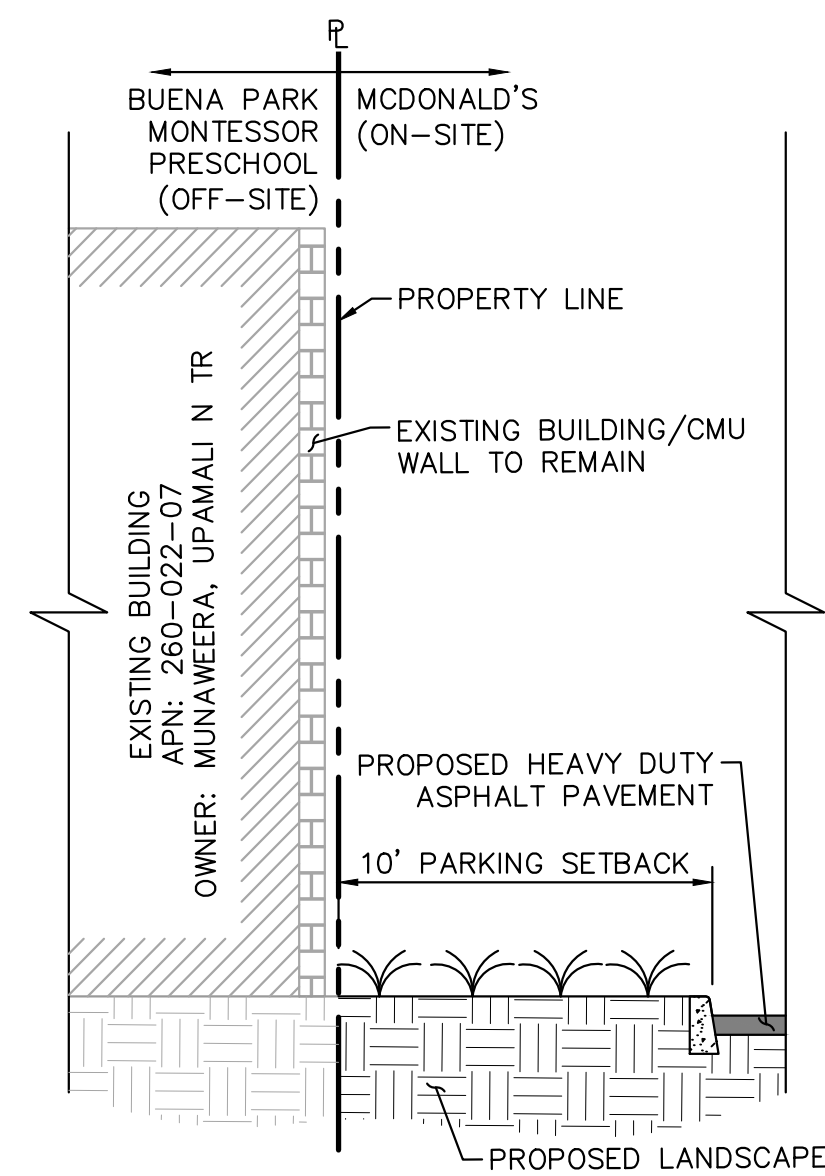
SECTION B-B
N.T.S.

B



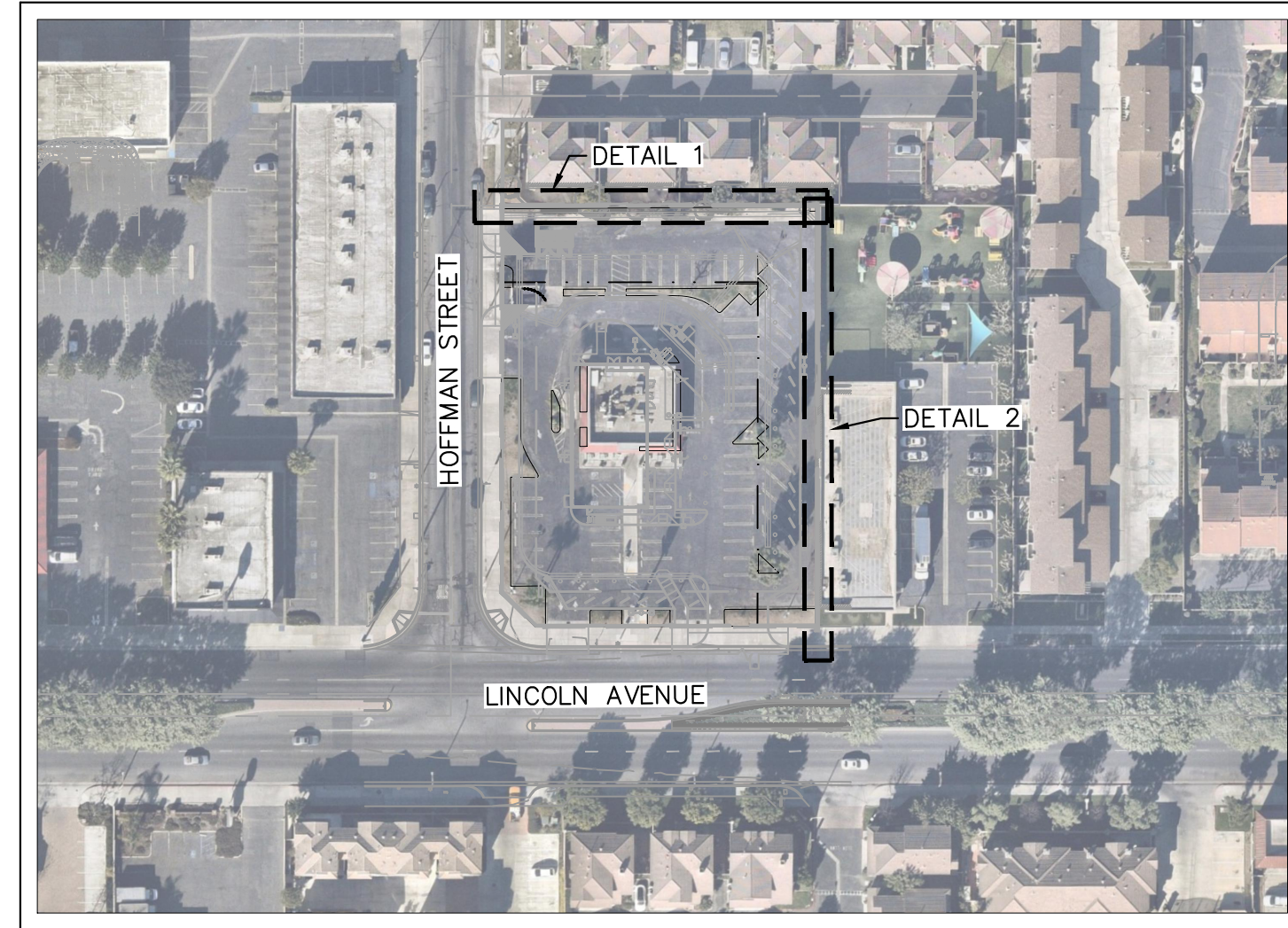
SECTION C-C
N.T.S.

C



SECTION D-D
N.T.S.

D



KEY MAP
N.T.S.

SITE DATA

PROJECT DESCRIPTION: DEMOLITION OF EXISTING PARKING LOT AND BUILDING. NEW CONSTRUCTION OF A MCDONALD'S DRIVE THRU RESTAURANT AND PARKING LOT.

EXISTING CMU WALLS ALONG EDGE OF NORTHERN AND EASTERN PROPERTY LINES TO BE PROTECTED IN PLACE.

ADDRESS: 6201 LINCOLN AVENUE, BUENA PARK, CA 90602

APN: 260-022-05, 260-022-06



Kimley»Horn

180 EAST OCEAN BLVD, SUITE 1200
LONG BEACH, CA 90802
(562) 549-2200

PREPARED UNDER THE DIRECT SUPERVISION OF:

AMELIA BELTRAN, R.C.E. NO. 87468

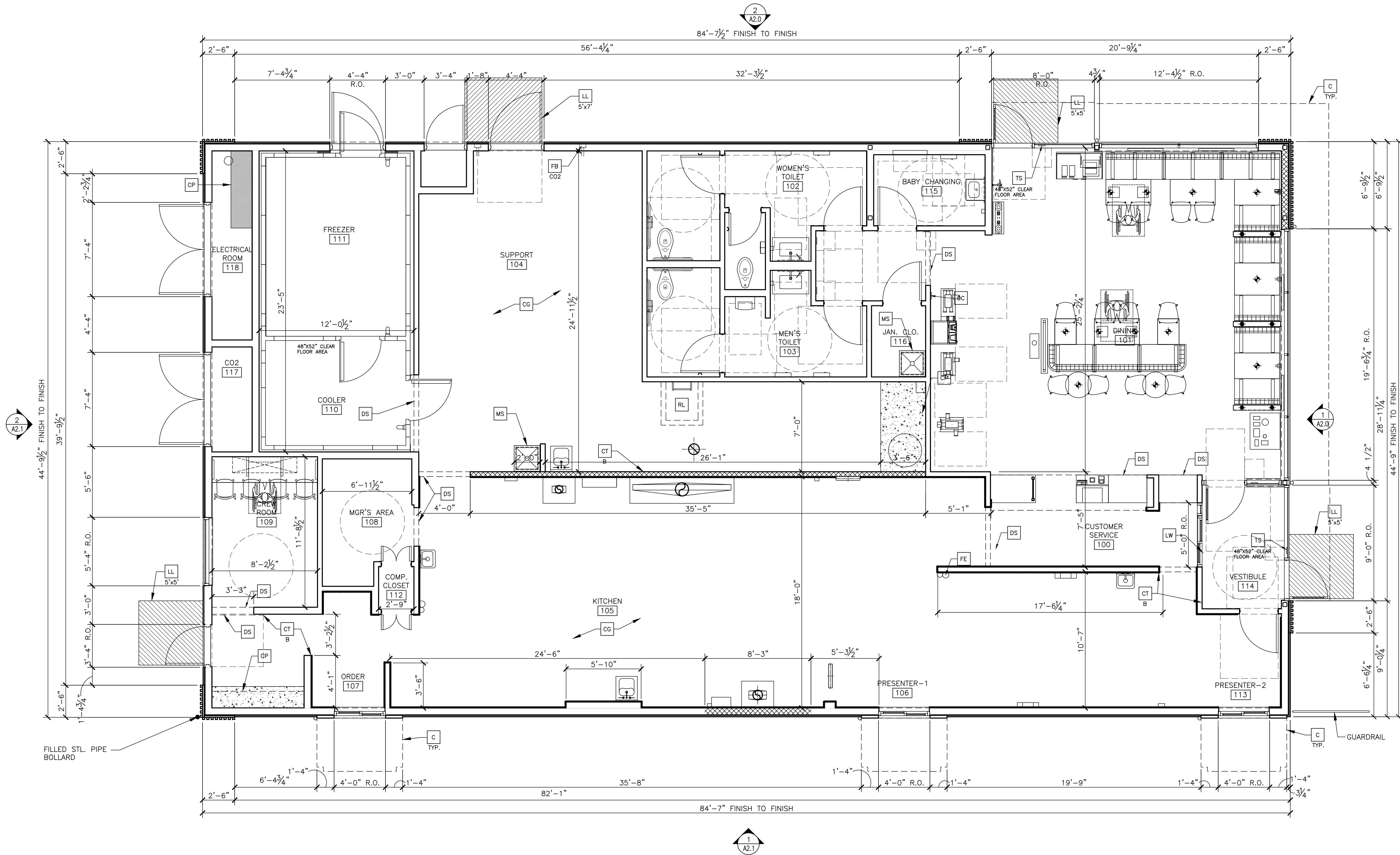
DATE: EXP. 09/30/2025

PRELIMINARY WALL PLAN

REVISIONS				CHECKED: AMELIA BELTRAN	
NO.	DATE	BY	DESCRIPTION	APP.	RECOMMENDED:
					APPROVED:
					BENCHMARK: BASED ON NAVD 1988 DATUM, AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION = 60.41 FEET

REFERENCES:

GP-	REV. NO.
	SHEET 5 OF 5



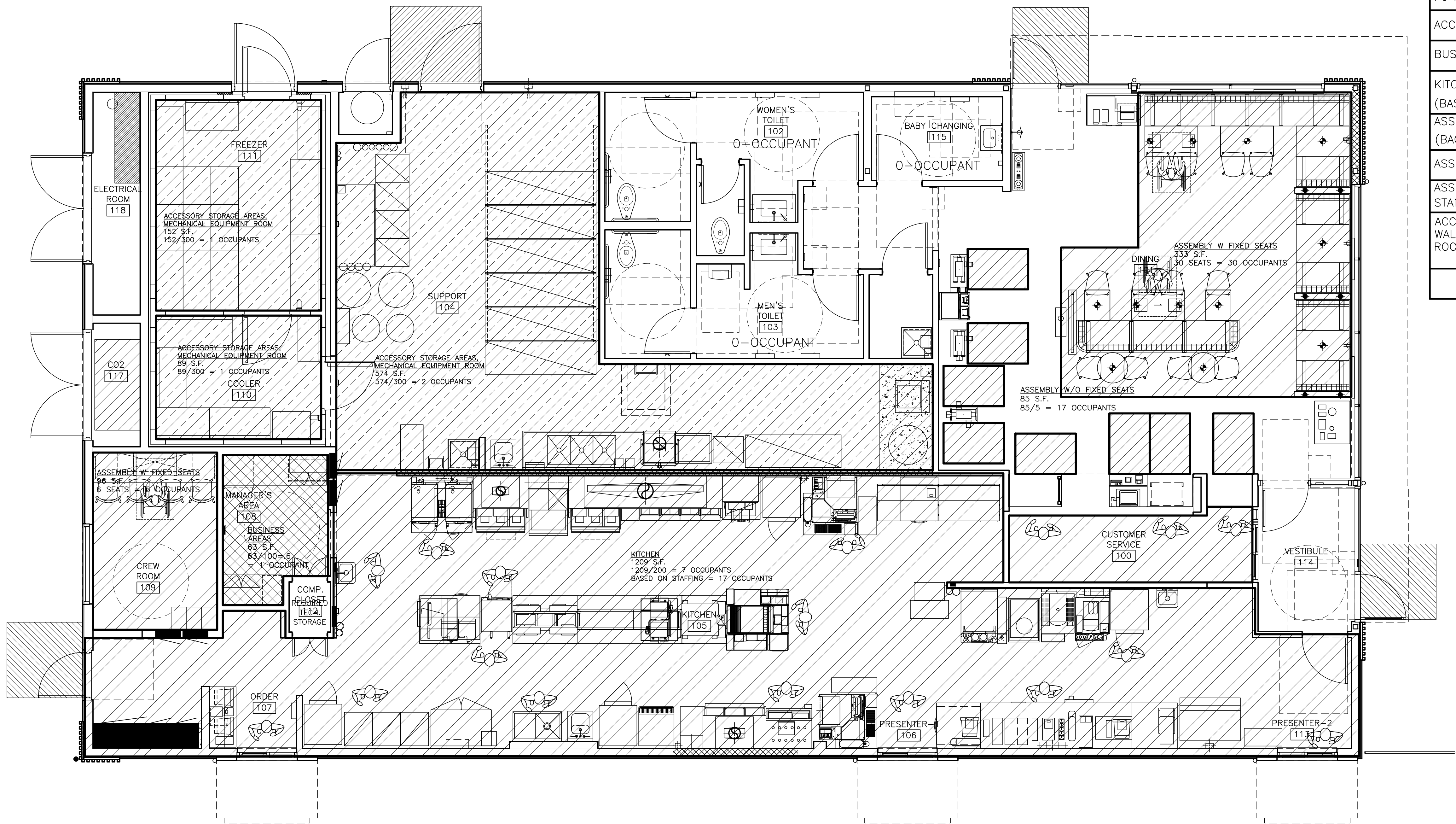
KEY NOTES

- C** ALUMINUM CANOPY SYSTEM ABOVE - SEE 4/A5.0 FOR NOTES - SEE ROOF PLAN FOR DIMENSIONS, SEE ELEVATION FOR COLORS AND FASCIA LOCATIONS
- CG** G.C. TO PROVIDE 4"x4"x5'-0" HIGH STAINLESS STEEL CORNER GUARDS AT ALL EXPOSED LOCATIONS IN KITCHEN/SUPPORT AREA. CORNER GUARDS TO START AT FINISH FLOOR. ATTACH WITH WOOD SCREWS INTO WOOD BLOCKING BULLNOSE COVE BASE WHERE TILE MEETS STAINLESS STEEL CORNER
- CP** CONCRETE EQMT PAD - SEE STRUCTURAL
- CT** WALL TILE: CROSSVILLE - COLOR BY NUMBERS
B COLOR: AFTERNOON SPRAY, SIZE: 4"x12", PATTERN: RUNNING BOND GROUT: MAPEI 02 PEWTER - JOINT TO BE $\frac{1}{8}$ " MAX. USE THIS TILE WHEN HIGH LRV IS REQUIRED COORDINATE WITH McDONALD'S AREA CONSTRUCTION MANAGER
- FB** CO2 FILL BOX (EQUIPMENT SCHEDULE ITEM 49.00)
- CO2**
- DS** DROPPED SOFFIT ABOVE - SEE REFLECTED CEILING PLAN
- FE** FIRE EXTINGUISHER - TO BE MOUNTED NO MORE THAN 5FT FROM THE FLOOR, SIZE AND RATING TO BE 2A: 10B: C U.N.O.
- FP** FIBERGLASS REINFORCED PLASTIC (FRP) - PANOLAM, GRAY SMOOTH, CLASS A, .075. REFER TO ROOM FINISH SCHEDULE SHEET A6.1 FOR INSTALLATION LOCATIONS. FOR ORDERING, CONTACT KIMBERLY LAWSON Kimberly_Lawson@panolam.com 1-866-925-4377
- LL** LEVEL LANDING @ EXT. DOOR W/ MAX. 2% RUNNING/CROSS SLOPE AWAY FROM BUILDING
- 5'x5'** SIZE OF LANDING
- LW** LATE-NIGHT/SERVICE WINDOW BY READYACCESS, MANUAL OPEN/SELF CLOSE. SEE ELEVATIONS.
- MS** MOP SINK - SEE DETAIL 8/A6.1 AND PLUMBING DRAWINGS.
- RL** ROOF ACCESS LADDER W/HATCH ABOVE SEE STRUCTURAL FRAMING PLAN FOR LOCATING DIMENSIONS
- TS** TACTILE EXIT SIGNAGE. SEE AC1.0 AND 5/A4.0 FOR MOUNTING DETAILS
- OC** OCCUPANT LOAD SIGN - LETTERS SHALL BE OF A CONTRASTING COLOR FROM THE BACKGROUND SURFACE, LOCATE AS SPECIFIED ON PLANS - ADJACENT TO MAIN ENTRANCE REQUIREMENT. OCCUPANT LOAD SIGN SHALL BE REFLECTIVE OF THAT ASSEMBLY SPACE.

MAXIMUM
OCCUPANT LOAD
= # PEOPLE



A1.0 FLOOR PLAN | SCALE: 1/4" = 1'-0"



OCCUPANCY ALLOWANCE:

CALIFORNIA BUILDING CODE 2022

TABLE 1004.6

MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

FUNCTION OF SPACE	ALLOWANCE	AREA	OCCUPANTS	
ACCESSORY STORAGE AREAS	300 GROSS	815 SF	4	
BUSINESS AREAS	100 GROSS	63 SF	1	
KITCHENS, COMMERCIAL (BASED ON FULL KITCHEN STAFF)	200 GROSS	1,200 SF	17	
ASSEMBLY W/ FIXED SEATS (BACK OF HOUSE)	SEE PLAN	96 SF	6	
ASSEMBLY WITH FIXED SEATS	SEE PLAN	333 SF	30	
ASSEMBLY W/OUT FIXED SEATS STANDING SPACE	5 NET	85 SF	17	
ACCESSORY AREAS: RESTROOMS, WALLS, ELECTRICAL ROOM, FIRE ROOM.	-	1,092 SF	-	
TOTAL OCCUPANCY ALLOWANCE		3,684 SF	75	

A1.1 OCCUPANCY/AREA PLAN

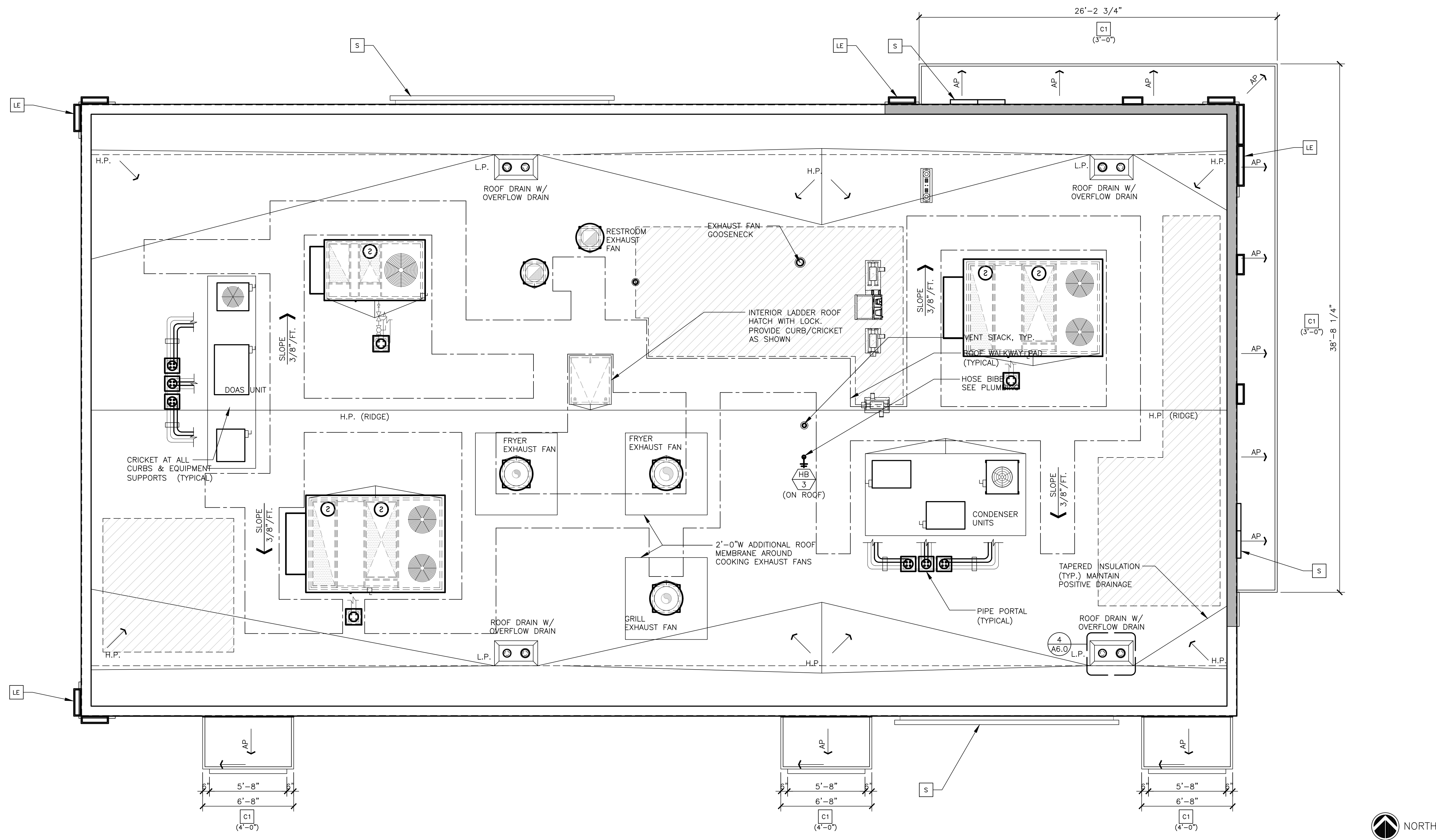
SCALE: 1/4" = 1'-0"

LEGEND

- L.P. LOW POINT
H.P. HIGH POINT
— DIRECTION OF DRAINAGE
AP CANOPY SYSTEM WITH ALUMINUM INFILL PANELS.
SLOPE TO EDGE @1/4"PER FT.

KEY NOTES

- C1 ALUMINUM CANOPY SYSTEM (COLOR: SEE ELEVATIONS)
C2 ALUMINUM CANOPY TIEBACK (COLOR: SEE ELEVATIONS)
LE ACCENT LIGHTING - SEE ELEVATIONS & ELECTRICAL
LED LIGHT: SLIM LED (DOWN ONLY)
S McDONALD'S SIGNAGE BY OTHERS UNDER SEPARATE PERMIT
(SEE ELEVATIONS)



A1.3 ROOF PLAN | SCALE: 1/4" = 1'-0"

KEY NOTES:

- AL ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB,
GROUP 1, HDO BOTH FACES, APA TRADEMARKED.
COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH
SIDES AND ALL EDGES PRIOR TO INSTALLATION.
SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- AP ALPOLIC METAL PANEL (COLOR: DON GRAY)
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022
- D HOLLOW METAL DOOR
PAINT: "FAIRVIEW TAUPE" HC-85 BY BENJAMIN MOORE
- DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, onn.bowen@vomela.com
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- DO DOWNSPOUT
3" DOWNSPOUT BY CANOPY SYSTEM MANUFACTURER
COLOR: RAL 7022
- E EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.)
C1-COLOR:
FB CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- FP FIBER CEMENT LAP SIDING: SMOOTH HARDI-BOARD PLANK BY
JAMES HARDIE, 8'-1/4" WIDTH, 7" EXPOSURE, HZ5
COLOR: TIMBER BARK
- FT FIBER CEMENT TRIM: HARDIE TRIM BOARDS 4/4 SMOOTH, 1
5/8" AND 3 1/2" WIDTH, 3/4" THICK, HZ5
COLOR: TIMBER BARK (CHECK 1 5/8" PRE-PAINT AVAILABILITY)
- GR GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
C1-COLOR:
C1= WHITE
C2= GOLD
- L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
COLOR: PLATINUM SILVER
- LE ACCENT LIGHTING - SEE ELECTRICAL
L1-LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = UP ONLY FLOOD FIXTURE
- MF METAL FASCIA
1-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
COLOR:
C1= WEATHERED ZINC
C2= RAL 7022
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR
MODEL: #WPT STD
CALL 1-888-743-7435 TO ORDER

T/BLK'G @ PARAPET
ELEV. + 18'-9 1/2"

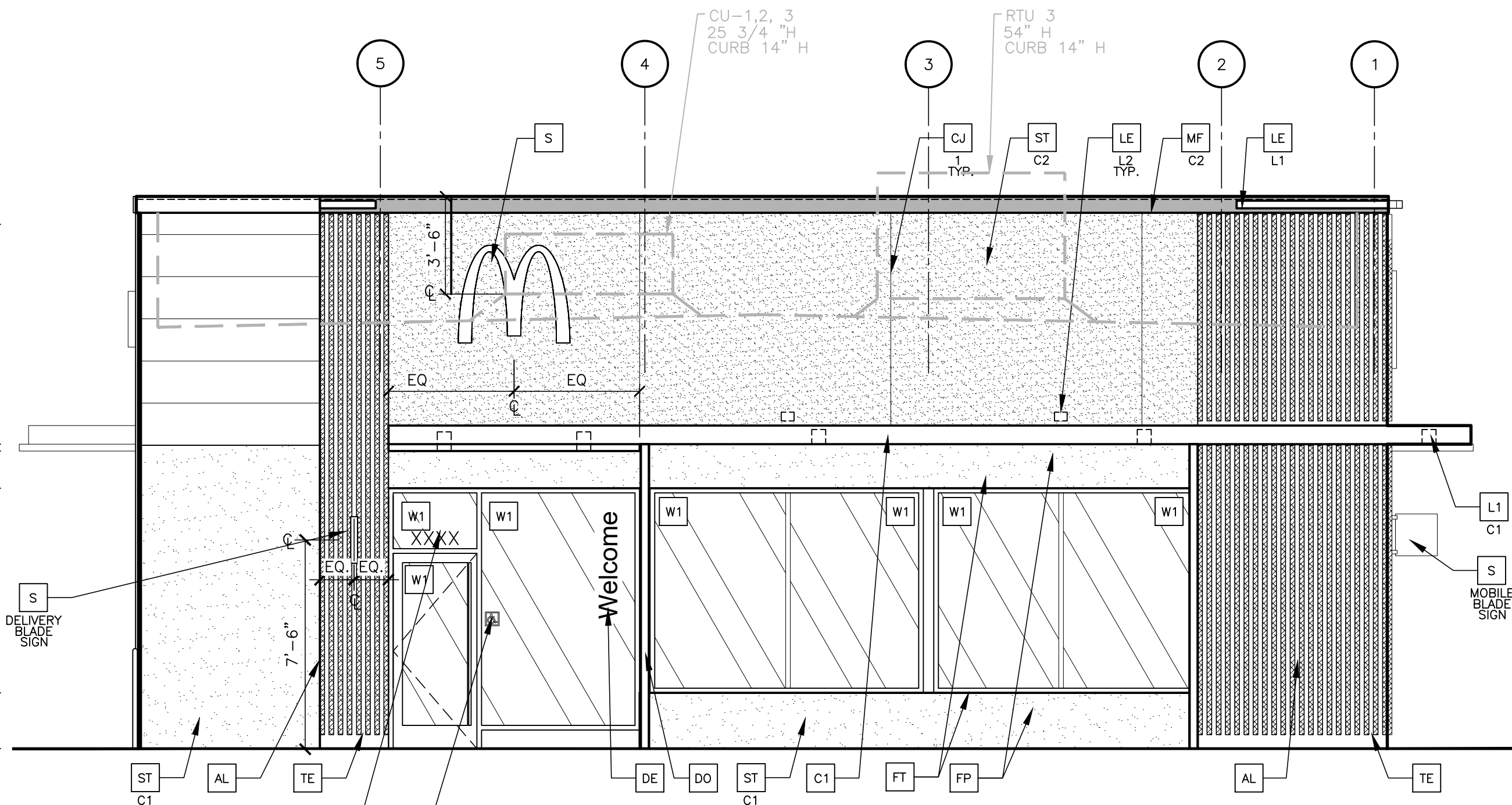
B/CANOPY
ELEV. + 10'-11"

B/UNDERSORE
ELEV. + 10'-8"

T/WINDOW
ELEV. + 9'-4"

T/SILL
ELEV. + 2'-0"

T/SLAB
ELEV. + 0'-0"



T/ALUMINUM BATTEN
ELEV. + 19'-9 1/2"
T/ALUMINUM BATTEN
ELEV. + 19'-1"

B/ALUMINUM BATTEN
ELEV. + 11'-9"

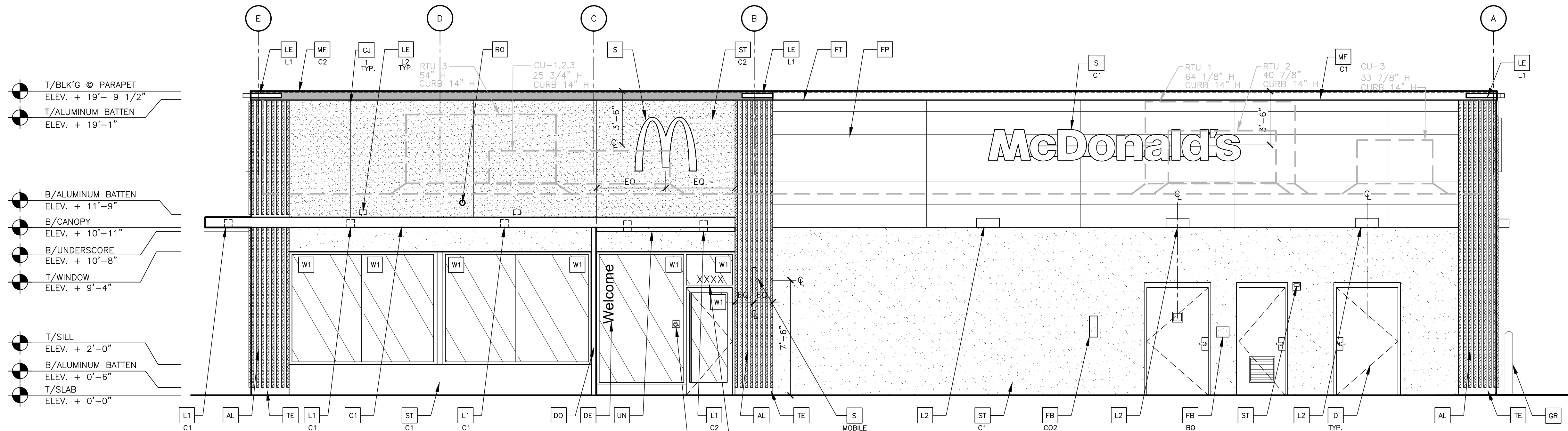
B/CANOPY
ELEV. + 10'-11"

T/ALUMINUM BATTEN
ELEV. + 10'-10 1/2"
T/WINDOW
ELEV. + 9'-4"

B/ALUMINUM BATTEN
ELEV. + 0'-6"

T/SLAB
ELEV. + 0'-0"

FRONT ELEVATION



T/BLK'G @ PARAPET
ELEV. + 19'-9 1/2"
T/ALUMINUM BATTEN
ELEV. + 19'-1"

B/ALUMINUM BATTEN
ELEV. + 11'-9"

B/CANOPY
ELEV. + 10'-11"

B/UNDERSORE
ELEV. + 10'-8"

T/WINDOW
ELEV. + 9'-4"

T/SILL
ELEV. + 2'-0"

B/ALUMINUM BATTEN
ELEV. + 0'-6"

T/SLAB
ELEV. + 0'-0"

T/ALUMINUM BATTEN
ELEV. + 19'-9 1/2"
T/ALUMINUM BATTEN
ELEV. + 19'-1"

B/SCONCE
ELEV. + 10'-11"

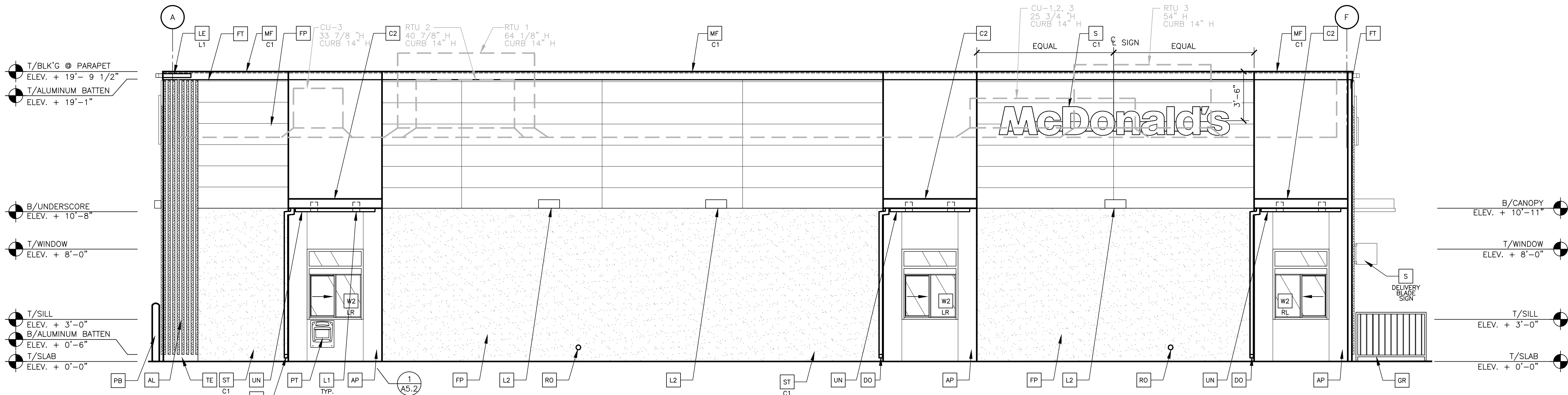
T/DOOR
ELEV. + 7'-4"

B/ALUMINUM BATTEN
ELEV. + 0'-6"

T/SLAB
ELEV. + 0'-0"

NON-DRIVE THRU ELEVATION

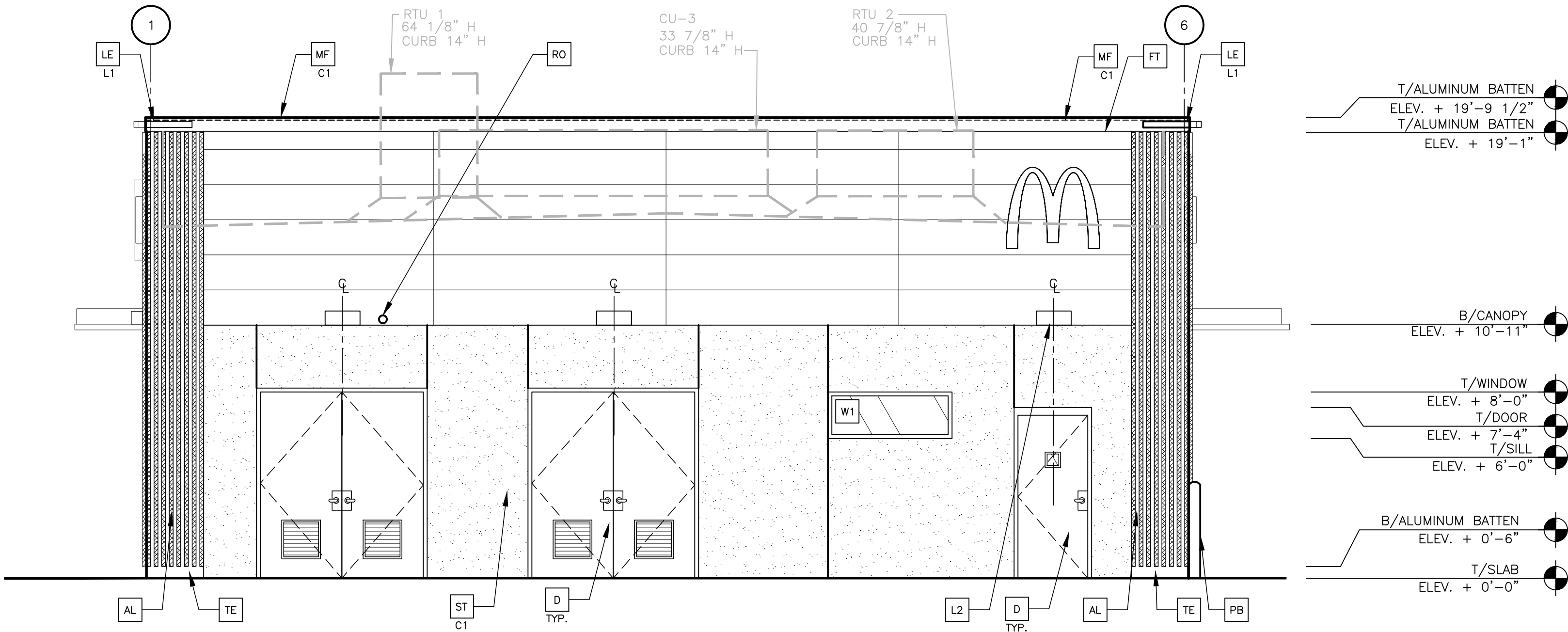
A2.0 PROPOSED ELEVATIONS | SCALE: 1/4"=1'-0"



DRIVE-THRU ELEVATION

KEY NOTES:

- AL** ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES, APA TRADEMARKED, COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH SIDES AND ALL EDGES PRIOR TO INSTALLATION
SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- AP** ALPOLIC METAL PANEL (COLOR: DON GRAY)
- C1** ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE
- C2** ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022
- D** HOLLOW METAL DOOR
PAINT: "FAIRVIEW TAUPE" HC-85 BY BENJAMIN MOORE
- DE** DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GEX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gxi.com
- DO** DOWNSPOUT
3" DOWNSPOUT BY CANOPY SYSTEM MANUFACTURER
COLOR: RAL 7022
- E** EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.)
C1-COLOR:
FB
CO2 = CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- FP** FIBER CEMENT LAP SIDING: SMOOTH HARDI-BOARD PLANK BY JAMES HARDIE, 8'-1/4" WIDTH, 7" EXPOSURE, HZ5
COLOR: TIMBER BARK
- FT** FIBER CEMENT TRIM: HARDIE TRIM BOARDS 4/4 SMOOTH, 1 5/8" AND 3 1/2" WIDTH, 3/4" THICK, HZ5
COLOR: TIMBER BARK (CHECK 1 5/8" PRE-PAINT AVAILABILITY)
- GR** GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- L1** RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR:
C1= WHITE
C2= GOLD
- L2** RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
COLOR: PLATINUM SILVER
- LE** ACCENT LIGHTING - SEE ELECTRICAL
L1-LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = UP ONLY FLOOD FIXTURE
- MF** METAL FASCIA
C1-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
COLOR:
C1= WEATHERED ZINC
C2= RAL 7022
- PB** PIPE BOLLARD - PAINTED YELLOW
- PT** (RMHC) COIN COLLECTOR
MODEL: #WPT STD
CALL 1-888-743-7435 TO ORDER

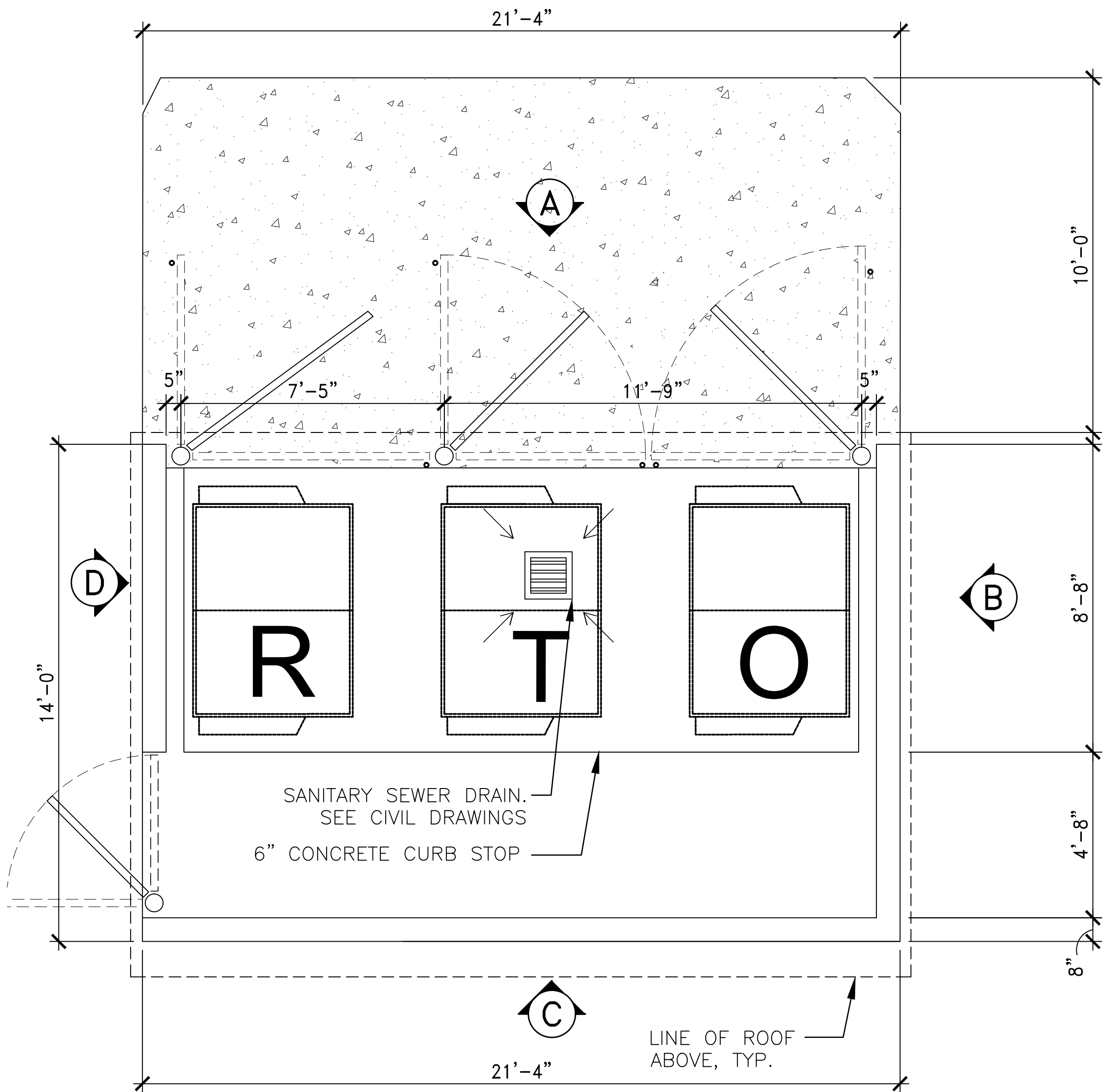


REAR ELEVATION

A2.1 PROPOSED ELEVATIONS SCALE: 1/4"=1'-0"

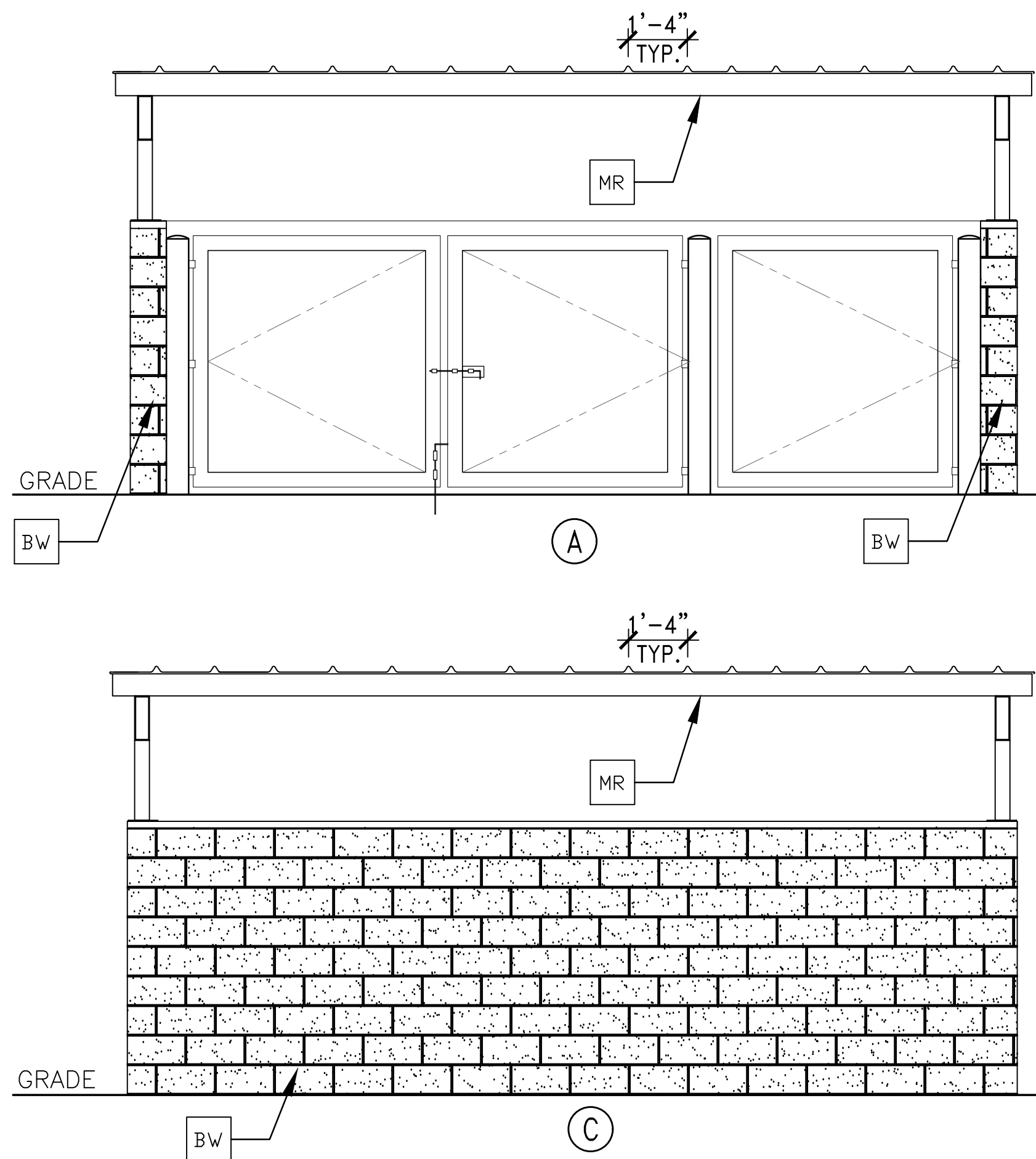
NOTE:
1. SEE SITE PLAN FOR
LOCATION.

T.O. CMU= 6'-0"



TRASH ENCLOSURE PLAN

SCALE : 3/8" = 1'-0"



T/ROOF
EL. +9'-6"

B/ROOF
EL. +9'-0"

T/CMU WALL
EL. +6'-0"

T/GATE
EL. +5'-10"

B/GATE
EL. +0'-2"

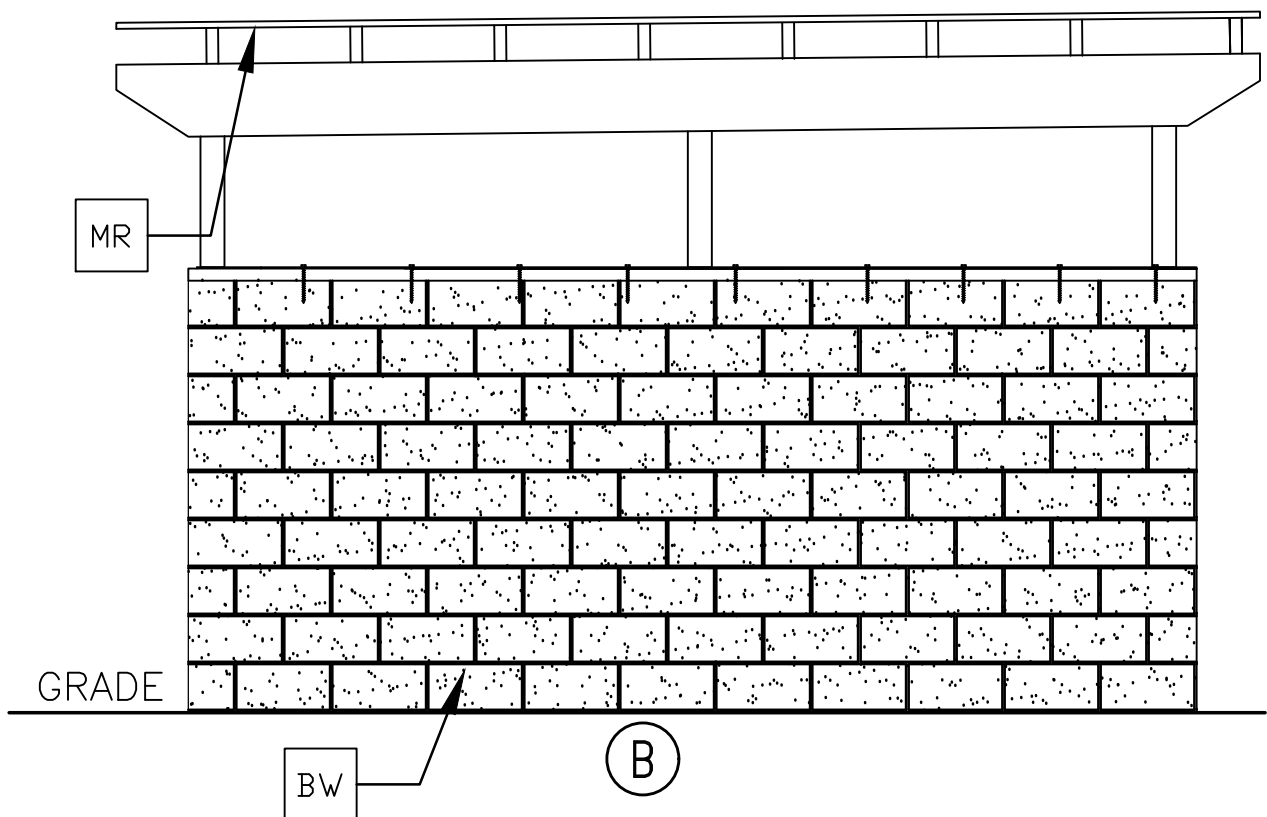
T/SLAB
EL. +0'-0"

T/ROOF
EL. +9'-6"

B/ROOF
EL. +9'-0"

T/CMU WALL
EL. +6'-0"

T/SLAB
EL. +0'-0"



T/ROOF
EL. +9'-9"

B/ROOF
EL. +9'-2"

T/CMU WALL
EL. +6'-0"

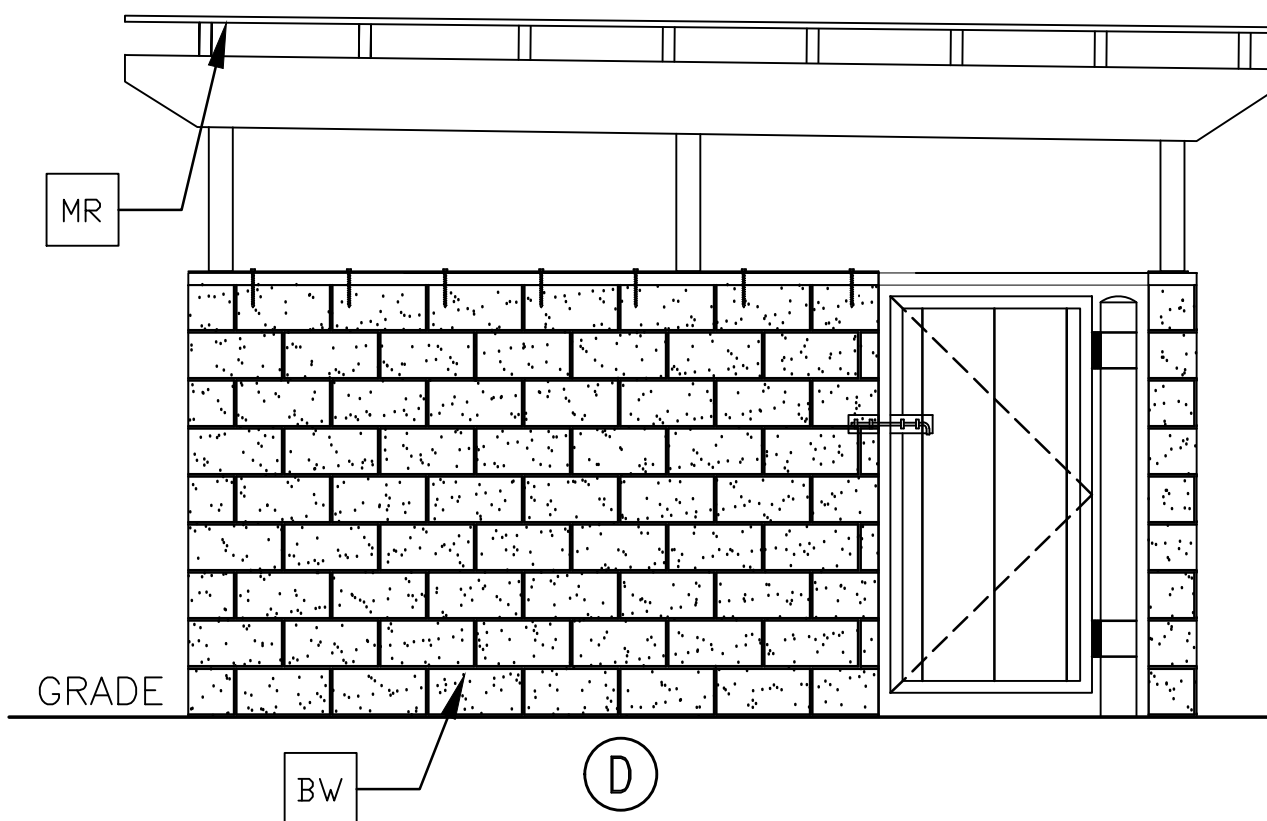
T/SLAB
EL. +0'-0"

T/ROOF
EL. +9'-7"

B/ROOF
EL. +9'-0"

T/CMU WALL
EL. +6'-0"

T/SLAB
EL. +0'-0"



TRASH ENCLOSURE ELEVATIONS

SCALE : 3/8" = 1'-0"

BW BLOCK WALL TO BE PAINTED TO MATCH PRIMARY STRUCTURE

C1 COLOR:
C1 = "IRON ORE" SW 7069 BY SHERWIN WILLIAMS

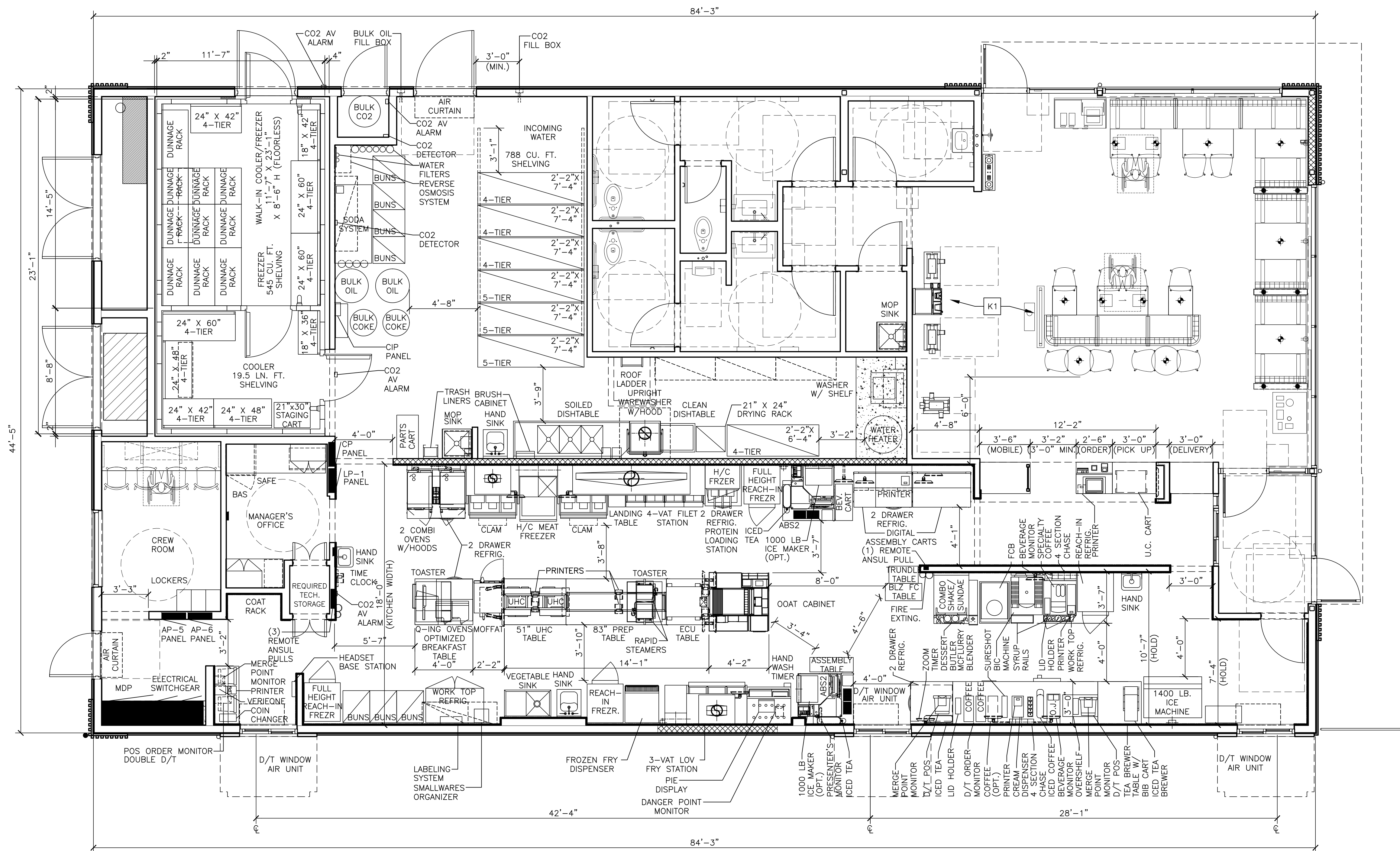
MR METAL ROOF

A2.2 TRASH ENCLOSURE

SCALE: 3/8" = 1'-0"



PROPOSED ELEVATIONS RENDER | SCALE: 1/4"=1'-0"



K1.0 KITCHEN PLAN | SCALE: 1/4" = 1'-0"



153 East City Place Dr.
Santa Ana, California 92705
Office (714) 892-3900
Fax (714) 892-3944

RECEIVED
JAN 28 2025
PLANNING DIV

January 9, 2025

City of Buena Park
Development Services Department

RE: CUP Narrative for proposed McDonald's @ 6201 Lincoln Ave, Buena Park, CA 9020

Dear Staff,

We are proposing filing for the above-mentioned McDonald's, a newly constructed restaurant, approximately 3,786 Sq. Ft. The filings will be for a Conditional Use Permit. We are requesting 24-hour operation open daily. There will be about 17 employees per shift, 60 employees on staff. The proposal will be for drive-thru and dine-in operation with delivery and mobile service pickup counters. This new building for McDonald's is of the latest standards and brings many of McDonald's new initiatives into this project location. This will further enhance the proximity of McDonald's in Buena Park and meet what our customers have come to expect of our brand.

The site is proposing to add a new drive thru with two-order points. This allows customers less wait time compared to a traditional single order point drive-thru lane so they can go about their day. This also assists in alleviating longer queue lines as we can now take two orders simultaneously.

The site will be fully developed to include new landscaping, paving, and parking meeting municipal code requirements. New site structures will also be added (light poles with LED heads and trash corral).

The proposed building will house our standard kitchen production facilities and a small dining room area. This location is ideal for placement of a new McDonald's as our customers expect to find a McDonald's within a certain range of travel so we feel this new model will be very welcomed by the public to meet these development needs.

We are filing for a conditional use permit for the above mentioned site. Based on review the following are being met as noted:

- The use applied for at the location set forth in the application is properly one for which a Conditional Use Permit or Minor Use Permit is authorized.
- The said use is desirable for the development of the community, is in harmony with the various elements or objectives of the Master Plan, and is not detrimental to existing uses or to uses specifically permitted in the district in which the proposed use is to be located.
- The site for the intended use is adequate in size and shape to accommodate said use, and for all the yards, setbacks, landscaping and other features.



- The site for the proposed use relates to streets and highways properly designed and improved so as to carry the type and quantity of traffic generated or to be generated by the proposed use.

We look forward to the opportunity of working with staff on this filing. Should you have any questions, please do not hesitate to call. Thank you all in advance for reviewing this project.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Robt Preeece'.

ROBERT PREEECE
PRINCIPAL
DESIGN UA, INC.



VICINITY MAP



PLANNING COMMISSION
Wednesday, August 13, 2025 – 6:30 p.m.

CONDITIONAL USE PERMIT NO. CU-25-1

6201 Lincoln Avenue
APNs: 260-022-05 & 260-022-06

From: Cuba Munsey
Sent: Saturday, August 2, 2025 2:13 PM
To: Planning Commission <bpplancomments@buenapark.com>
Subject: Property 6201 Lincoln Avenue

The homes on Lincoln straight across from Hoffman Street should have a no left turn sign. Or Hoffman/Lincoln needs a 4 way turn signal. Adding more traffic due to a McDonald's will be more dangerous than it already is. Hoffman St. Is already over crowded due to swap meet traffic on weekends and resident parking. Having off site parking available for the restaurant will limit residential parking.

Hoffman Street needs Speed Sign. Too many speed through. Less than 25 mph preferably. Not all cars stop at the sign on Hoffman/San Harco. Many speed through San Rio and San Francisco also.

Cuba Munsey