

Thursday, August 7, 2025, 8:30 AM
BUENA PARK CITY HALL - MAIN CONFERENCE ROOM
6650 BEACH BLVD
BUENA PARK, CA 90621-2905

ZONING ADMINISTRATOR
AGENDA

8:30 a.m.

Members of the public who wish to discuss an item should fill out a speaker identification card and hand it to the secretary. When the item is announced by the Zoning Administrator, speakers should come forward, and upon recognition by the Zoning Administrator, state their names and addresses.

Members of the public may also submit their comments in writing for the Zoning Administrator by sending them to the Community and Economic Development Department at bpplancomments@buenapark.com. Please submit all comments by 8:00 a.m. on Thursday, August 7, 2025. Please contact the Planning Division at (714) 562-3620 for any questions.

All actions by the Zoning Administrator are final unless an appeal to the City Council is filed with the City Clerk within ten (10) working days of the decision.

Appeal period ends on August 26, 2025.

1. GENERAL

1.A. CALL TO ORDER

2. PUBLIC HEARING

2.A. CONDITIONAL USE PERMIT NO. CU-24-11

A request to allow the establishment and operation of a sand play therapy and academic tutoring facility within an existing 2,040 square-foot tenant space of a multi-tenant office building at 6731 Stanton Avenue, Unit A.

The property owners are Kwang Won Park and Jin Hee Park, 2100 Mangrum Ct., La Habra, CA 90631. The applicant is Hyung-Joon Sim, 1440 North Harbor Blvd., Suite 900, Fullerton, CA 92835.

The project is Categorically Exempt, pursuant to Section 15301 (Existing Facilities) Class 1 of the State California Environmental Quality Act (CEQA) Guidelines.

— RECOMMENDED ACTION: Adopt Resolution with Conditions of Approval approving Conditional Use Permit No. CU-24-11.

3. ADJOURNMENT

3.A. Adjournment

This agenda contains a brief general description of each item to be considered. Supporting documents are available for review and copying at City Hall or at www.buenapark.com. Supplementary materials distributed to the Zoning Administrator less than 72 hours before the meeting are posted to the City's website at www.buenapark.com and copies are available for public inspection beginning the next regular business day. This governing body is prohibited from discussing or taking action on any item which is not included in this agenda; however, may ask clarifying questions, ask staff to follow-up, or provide other direction. The order of business as it appears on this agenda may be modified by the governing body.

In compliance with the Americans with Disabilities Act, if you need accommodations to participate in this meeting, contact the City Clerk's Office at (714) 562-3750 or the California Relay Service at 711. Notification at least 48 hours prior to the meeting will enable the City to make arrangements to assure accessibility.

I, Ruth Santos, City of Buena Park, do hereby certify, under penalty of perjury under the laws of the State of California that a full and correct copy of this agenda was posted pursuant to Government Code Section 54950 et. seq., at Buena Park City Hall, 6650 Beach Blvd., and uploaded to the City of Buena Park website www.buenapark.com.

Ruth Santos
Sr. Administrative Assistant

Date Posted: July 31, 2025



Zoning Administrator Agenda Report

CONDITIONAL USE PERMIT NO. CU-24-11

PREPARED BY	PRESENTED BY
Ian McAleese, Senior Planner	Ian McAleese, Senior Planner
REVIEWED AND APPROVED BY	DIRECTOR APPROVAL
HARALD LUNA, PLANNING MANAGER	MATT FOULKES, DIRECTOR OF COMMUNITY AND ECONOMIC DEVELOPMENT

RECOMMENDED ACTION

1) Conduct a public hearing; and 2) thereafter, based on the analysis provided in this agenda report and facts and findings provided in the attached Resolution, Staff recommends that the Zoning Administrator adopt the attached Resolution approving Conditional Use Permit No. CU-24-11, and find that the project is Categorically Exempt per Section 15301 (Existing Facilities) Class 1 of the California Environmental Quality Act (CEQA) Guidelines based on the findings of fact and conditions provided herein.

PROPERTY INFORMATION:

Address / Assessor Parcel Number (APN)	6731 Stanton Avenue, Unit A 276-312-42
Lot Area	0.50 acres
Street Frontage	Stanton Avenue: 85 feet (approximately) 11 th Street: 270 feet (approximately)
Zoning District	CM (Commercial Manufacturing)
General Plan Designation	General Mixed Use
Existing Development	Approximately 4,490 square-foot single-story multi-tenant office building.

SURROUNDING LAND USE CHARACTERISTICS:

	GENERAL PLAN	ZONING	EXISTING LAND USE
North	Open Space / General Mixed Use	Medium Density Multifamily Residential (RM-20) / One-Family Residential (RS-6)	Apartments, single-family home, and open space

South	General Mixed Use	Commercial (CM)	Manufacturing	Contractor yard
East	General Mixed Use	Commercial (CM)	Manufacturing	EDCO
West	General Mixed Use	One-Family Residential (RS-6)		Single-family home

BACKGROUND:

On August 8, 2006, the City Council adopted Ordinance No. 1491 approving Development Agreement No. DA06-001 to renovate the existing 2,040 square-foot building and site in order to operate a new automobile sales brokerage, Grand Motors, whose business activities included trade-in car sales and rental car transactions. The approval included interior and exterior improvements as well as parking lot and site improvements.

On January 27, 2010, the Planning Commission adopted Resolution No. 5768 approving Site Plan No. SP10-002 for the construction of a 2,556 square-foot office building directly adjacent to the existing 2,040 square-foot office building and associated site improvements.

APPLICATION ANALYSIS:

Project Description:

The applicant, on behalf of the property owners, has submitted the application, plans, and project narrative requesting Zoning Administrator approval to establish and operate a new sand play therapy and academic tutoring facility located within an approximately 2,040 square-foot tenant space of an existing single-story multi-tenant office building. According to the submitted business plan the proposed tutoring business will be primarily active during the morning and early evening hours. The tutoring business will operate Monday through Friday from 8:00 a.m. to 6:00 p.m. and closed Saturday and Sunday. The floor plan will consist of four (4) classrooms and three (3) offices for tutoring and sand play therapy.

Access and Parking:

Vehicular access to the project site will remain from the existing 25-foot-wide driveway located along 11th Street. The parking lot area will be reconfigured and will provide a total of 15 shared parking spaces that consist of 11 standard parking spaces, 3 compact parking spaces, and 1 accessible parking space. A total of 3 parking spaces are required for the proposed tutoring facility which will be provided through the shared parking area. As part of the Building Code requirements, a new accessible path of travel is proposed from the existing building to the existing trash enclosure. Pedestrian access to the site will remain and be provided from the existing walkways along 11th Street and Stanton Avenue. Additionally, per Assembly Bill (AB) 2097, qualified development projects located within ½ mile of a major transit corridor are not subject to minimum parking requirements. The project meets this criteria, as the project location is within ½ mile of a major transit corridor located along Beach Boulevard which is serviced by OCTA bus route 529 with an approximate frequency of 15-minute intervals. Therefore, no additional parking spaces are required.

Discussion:

Pursuant to the Buena Park Municipal Code (BPMC) Table 19.512.010 (Uses Permitted), tutoring uses are subject to a Conditional Use Permit approval in the CM Zone. Section 19.128.020.B (Authority) of the BPMC authorizes the Zoning Administrator to grant conditional use permits in matters involving existing facilities and development when not more than a twenty percent expansion of floor area is involved. As stated above, the request is for the establishment and operation of a tutoring business within an existing approximately 2,040 square-foot tenant space of a single-story multi-tenant office building and there is no expansion of floor area involved with this request. In reviewing the applicant's request, staff reviewed the project business operations letter, submitted plans, and visited the property, and has determined the proposed use will not have a detrimental effect on the surrounding properties, as conditioned. The existing multi-tenant office building is currently developed with office-type uses and is satisfactorily accessible from the surrounding streets. The proposed project, as conditioned, is consistent with the goals and policies of the General Plan, since a sand play therapy and tutoring use within the Civic Center Focus Area will serve the residents and workers in the area. The use also complies with all development standards within the CM Zone.

ENVIRONMENTAL ASSESSMENT:

The project is Categorically Exempt, pursuant to Section 15301 (Existing Facilities) Class 1 of the State California Environmental Quality Act (CEQA) Guidelines, because the proposed sand play therapy and tutoring facility is located within an existing tenant space of a multi-tenant office building.

PUBLIC HEARING NOTIFICATION:

Notice of the public hearing was posted at City Hall, the Buena Park Library, and Ehlers Event Center on July 28, 2025, and 36 notices of this Zoning Administrator public hearing were mailed to property owners located within 300-feet of the subject property on July 28, 2025. As of the date of printing this report, the City has not received any inquiries or letters regarding the proposed action.

Reviewed and Approved by: Harald Luna, Planning Manager

Attachments

[Proposed Zoning Administrator Resolution for Conditional Use Permit No. CU-24-11.pdf](#)

[Development Plans stamped RECEIVED JULY 23 2025 PLANNING DIV.pdf](#)

[Project Narrative stamped RECEIVED FEB 4 2025 PLANNING DIV.pdf](#)

[Vicinity Map.pdf](#)

RESOLUTION NO.
CONDITIONAL USE PERMIT NO. CU-24-11

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF BUENA PARK APPROVING A REQUEST TO ALLOW THE ESTABLISHMENT AND OPERATION OF A SAND PLAY THERAPY AND TUTORING FACILITY WITHIN AN EXISTING 2,040 SQUARE-FOOT TENANT SPACE, OF AN EXISTING MULTI-TENANT OFFICE BUILDING, LOCATED AT 6731 STANTON AVENUE, UNIT A WITHIN THE CM (COMMERCIAL MANUFACTURING) ZONE, WITH FINDINGS

A. Recitals.

(i) Hyung-Joon Sim, applicant, 1440 North Harbor Blvd Suite 900, Fullerton, CA 92835, on behalf of Kwang Won Park and Jin Hee Park, property owners, 2100 Mangrum Ct, La Habra, CA 90631, has filed an application to establish a sand play therapy and tutoring facility within an existing approximately 2,040 square-foot tenant space of an existing multi-tenant office building located at 6731 Stanton Avenue, Unit A, Buena Park, California, 90621 (APN: 276-312-42) in the County of Orange. Hereinafter in this Resolution, the Conditional Use Permit request is referred to as the “Application.”

(ii) On August 7, 2025, the Zoning Administrator conducted a duly noticed public hearing on the application and concluded said hearing prior to the adoption of this Resolution.

(iii) All legal prerequisites to the adoption of this Resolution have occurred.

B. Resolution.

NOW, THEREFORE, it is found, determined and resolved by the Zoning Administrator of the City of Buena Park as follows:

1. The Zoning Administrator hereby specifically finds that all the facts set forth in the Recitals, Part A, of this Resolution are true and correct.

2. Based upon substantial evidence presented to the Zoning Administrator during the above-referenced hearing, including written staff reports, verbal testimony, business plan dated “RECEIVED FEB 4 2025 PLANNING DIV”, and development plans dated “RECEIVED JULY 23 2025 PLANNING DIV.”, the Zoning Administrator hereby specifically finds as follows:

a. **Finding:** The proposed use and development is consistent with the General Plan and any applicable specific plans.

Fact: The proposed sand play therapy and tutoring facility is consistent with the City’s General Plan, because this use within the Civic Center Focus Area will serve workers and residents alike. The use also complies with all applicable operating standards.

- b. **Finding:** The site is adequate in size, shape, topography, location, utilities and other factors, to accommodate the proposed use.
- Fact:** The site is developed with a multi-tenant office building and currently includes a day care use. The site is adequate in size, shape, topography, location, and other factors, to accommodate the proposed sand play therapy and tutoring facility. Based on the hours of operation, and consistency with adjacent parcels and operating restrictions, as conditioned, there will be no conflicts or incompatibility created based on the nature of the proposed use.
- c. **Finding:** Adequate street access and traffic capacity are or will be available to serve the proposed development as well as existing and anticipated development in the surrounding area.
- Fact:** The subject site is located on the northwest corner of Stanton Avenue and 11th Street. Stanton Avenue is considered a Secondary Highway in the City's Mobility Element, within the General Plan. A Secondary Arterial is a four-lane undivided roadway, with a typical right-of-way width of 80 feet and a roadway width of 64 feet. As such, adequate street access and traffic capacity are available to serve the proposed sand play therapy and tutoring facility as well as existing development in the surrounding area.
- d. **Finding:** Adequate utilities and public services will be available to serve the use as well as existing and anticipated development in the surrounding area.
- Fact:** Adequate utilities and public services are available to serve the proposed sand play therapy and tutoring facility use, as well as, existing and anticipated development in the surrounding area. The site is fully developed with a multi-tenant office building, and meets the City standards for public services and utilities to serve the site.
- e. **Finding:** The use and development will be compatible with the intended character of the area.
- Fact:** The proposed sand play therapy and tutoring facility use will be compatible with the existing residential, commercial, and industrial uses and intended character of the area. The proposal, as conditioned, will not create a use inconsistent with established and anticipated area uses due to required operating conditions, existing site and building design, as well as separation and buffering.
- f. **Finding:** Any criteria set forth elsewhere in this Title for the approval of the specific use and development will be satisfied.
- Fact:** Pursuant to Section 19.512.010 Uses Permitted of the Buena Park Municipal Code (BPMC) within the CM Zone, tutoring uses require

approval of a Conditional Use Permit. As conditioned, the proposed facility will complement the multi-tenant office building and surrounding area.

- g. **Finding:** Any adverse effects of the use and development are justified and fully balanced by offsetting benefits to the public interest.

Fact: Any adverse effects that may come from the proposed sand play therapy and tutoring use at this site are justified and fully balanced by offsetting benefits to the public interest in that the primary use of the tenant space will be for sand play therapy purposes. Additionally, there are conditions of approval that shall be implemented to prevent potentially adverse effects on the general public.

3. The Zoning Administrator hereby finds and determines that the project identified above in this Resolution is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA) of 1970, as amended, and the Guidelines promulgated thereunder pursuant to Class 1, Section 15301 (Existing Facilities) of Division 6 of Title 14 of the California Code of Regulations.

4. Based upon the findings and conclusions set forth in paragraphs 1, 2, and 3, above, the Zoning Administrator hereby approves the application subject to the plans dated "RECEIVED JULY 23 2025 PLANNING DIV." as modified herein and the following reasonable conditions set forth in paragraph 5 of this Resolution.

5. The following conditions are deemed necessary to protect the public health, safety, and general welfare and are reasonable and proper in accordance with the purpose and intent of the Buena Park City Code:

PLANNING DIVISION:

1. This approval shall be to allow for the operation of a sand play therapy and tutoring business within an existing approximately 2,040 square-foot tenant space on a property located at 6731 Stanton Avenue, as described and shown on plans dated "RECEIVED JULY 23 2025 PLANNING DIV", except as modified herein.
2. The applicant and/or property owner shall ensure that a copy of the Zoning Administrator Resolution, including all conditions of approval, be reproduced on the first pages of construction drawings and shall be distributed to all design professionals, contractors, and subcontractors participating in the construction phase of the project.
3. This approval shall supersede conditions of approval for Development Agreement No. DA06-001, Site Plan No. SP10-002, and Conditional Use Permit Nos. CU-656 and CU-273.
4. The sand play therapy and tutoring facility shall maintain a business license as required by the Buena Park City Code.

5. The project and/or use authorized by this approval shall at all times comply with all applicable local, state, and federal ordinances, statutes, standards, codes, laws, policies and regulations.
6. The Community and Economic Development Department may, from time to time, conduct a review of this Conditional Use Permit to ascertain compliance with the herein-stated conditions of approval. Any noncompliance with the conditions of approval shall be immediately referred to the Planning Commission for possible action.
7. The business owner/operator shall maintain all necessary permits and licenses to operate the use authorized by this approval.
8. This Conditional Use Permit may be revoked for any violation of or noncompliance with any of these conditions in accordance with Section 19.132.030 (Revocation) of the Buena Park Municipal Code.
9. The use authorized by this Conditional Use Permit shall be commenced within one (1) year of the expiration of the appeal period and thereafter diligently advanced until completion of the project.
10. Any appreciable modifications, including but not limited to conditions of approval shall require the approval of the Zoning Administrator. Minor modifications may be reviewed and approved by the Director of Community and Economic Development Department.
11. The existing trash enclosure shall be painted and finished to match the existing building, and accommodate required bins/carts for organic, recycling, and trash per BPMC Section 19.524.010 (Trash Storage Facilities). All bins/carts for organic, recycling, and trash shall be stored within the trash enclosure at all times, and shall be rolled out to the designated service area within the public right-of-way before 7:00 a.m. on pickup days in order to accommodate the City's trash hauler requirements.
12. Prior to establishment of the uses authorized by this Conditional Use Permit, the property owner shall provide notice to future tenants regarding the conditions of approval.
13. All parking areas and driveways shall be paved and striped in compliance with BPMC Section 19.536.060 (Parking Dimensions and Layout) and Section 19.536.070 (Parking Improvements). All parking areas shall be striped with white double lines separating stalls, with minimum 4-inch-wide stripes and a minimum 8-inch separation. Installation of speed bumps shall not be permitted within required fire lanes, access drives, or driveways of the project site.
14. The property owner or business operator shall submit a separate sign permit application for any new sign to the Planning Division and obtain all the required approvals and permits.
15. Prior to commencement of the approved use, these conditions and all improvements shall be completed to the satisfaction of the City.
16. The applicant and property owner shall sign a notarized Affidavit of Acceptance of all conditions of approval and return it to the Planning Division within thirty (30) days after the effective date of this approval or prior to the issuance of a building permit or certificate of occupancy, whichever may occur first.

17. The applicant shall indemnify, defend and hold harmless City, its officers, agents, and employees from any and all claims and losses, whatsoever, occurring or resulting to any and all persons, firms, or corporations furnishing or supplying work, services, materials, or supplies in connection with the performance of the use permitted hereby or the exercise of the rights granted herein, any and all claims, lawsuits or actions arising from the granting of or the exercise of the rights permitted by this Conditional Use Permit, and from any and all claims and losses occurring or resulting to any person, firm, corporation, or property for damage, injury, or death arising out of or connected with the performance of the use permitted hereby. Applicant's obligation to indemnify, defend, and hold harmless the City as stated hereinabove shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the City in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.

PASSED AND ADOPTED this 7th day of August 2025.

Eddie Fenton
Zoning Administrator

ATTEST:

Harald Luna
Planning Manager

Resolution No.
Conditional Use Permit No. CU-24-11
August 7, 2025

AFFIDAVIT OF ACCEPTANCE:

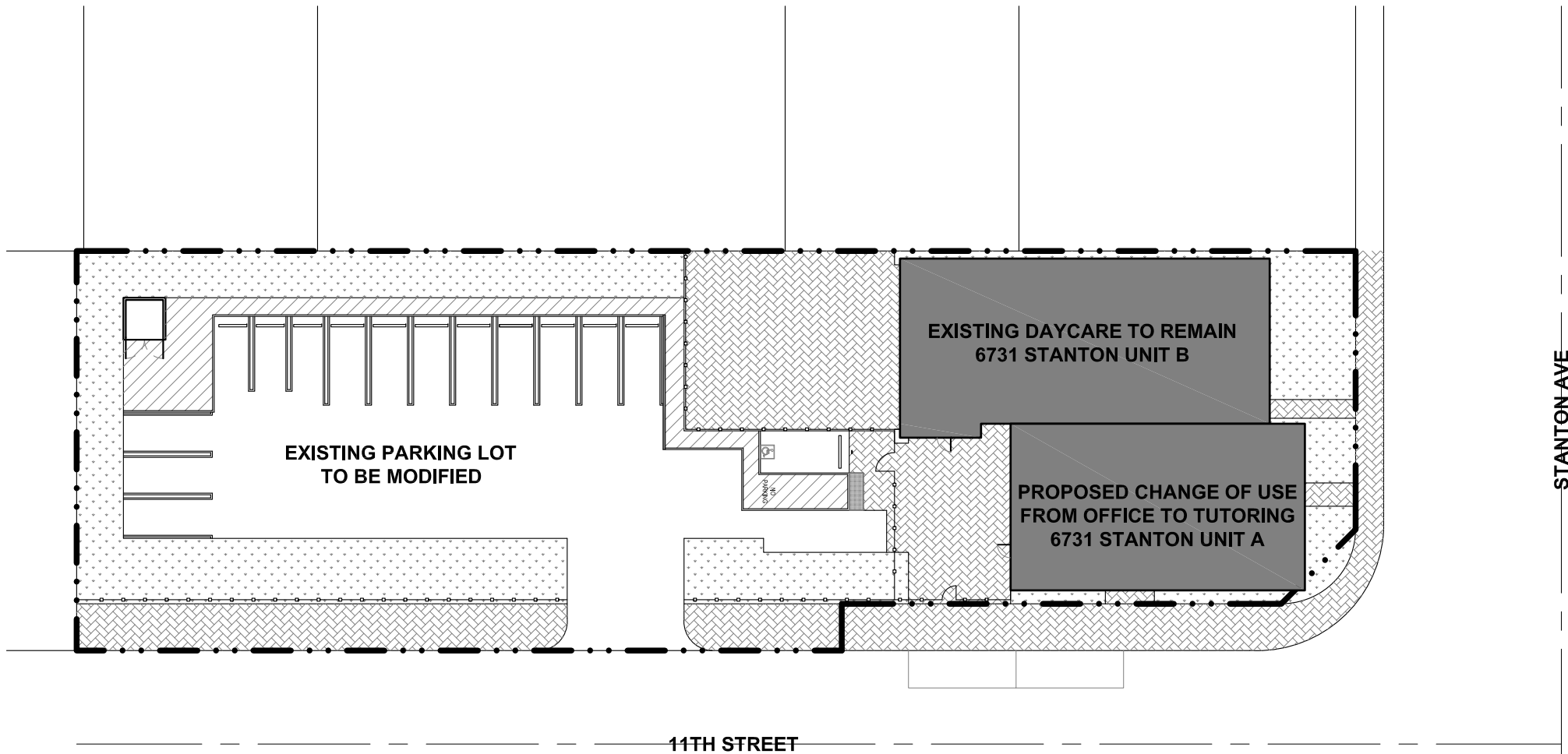
I/We do hereby accept all of the conditions contained in this document and all other conditions imposed by Conditional Use Permit No. CU-24-11 and do agree that I/We shall conform with and abide by all such conditions.

Date: _____

Printed Name and Signature
Owner/Applicant

DRAFT

OVERALL SITE PLAN



TUTORING CUP

CHANGE OF USE FROM OFFICE TO TUTORING



ARCHITECT

INNOARC
6988 BEACH BLVD #B-215
BUENA PARK, CA 90621

PROPOSED
TUTORING CUP

6731 STANTON AVE
BUENA PARK, CA 90621

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CERTIFICATE OF OCCUPANCY.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF FEDERAL, STATE, AND LOCAL CODES, LAWS, RULES, & REGULATIONS OF ALL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION. IN CASE OF CONFLICT BETWEEN REQUIREMENTS, THE MOST RESTRICTIVE SHALL APPLY.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY SHORING AND BRACING FOR ALL STRUCTURAL ELEMENTS AS REQUIRED UNTIL NEW STRUCTURAL MEMBERS ARE PERMANENTLY INSTALLED, WHETHER INDICATED ON THE DRAWINGS OR NOT. IF THE CONTRACTOR IS UNSURE WHETHER OR NOT TO PROVIDE TEMPORARY SHORING AND BRACING HE SHALL ASK THE ARCHITECT OR STRUCTURAL ENGINEER, IN WRITING, PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND CRITICAL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK, AND SHALL NOTIFY OWNER & ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR TO VERIFY FIT & FINISH REQUIREMENTS FOR ALL PROJECT COMPONENTS, WITH OWNER, PRIOR TO ORDERING MATERIALS. REPORT CONFLICTING INFORMATION TO OWNER PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION & CONSTRUCTION DEBRIS AS REQUIRED BY FEDERAL, STATE AND LOCAL ORDINANCES.
- ALL TILE FLOORING IN WET AREAS TO BE OVER WATERPROOF MEMBRANE W/EPOXY GROUT, --TYPICAL.
- CONTRACTOR SHALL STENCIL/LABEL ON ALL RATED WALLS IN CONCEALED AREAS THE FOLLOWING: "FIRE AND SMOKE BARRIER -- PROTECT ALL OPENINGS"
- BY THE USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER REPRESENTS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS, AND THAT THE CONSTRUCTION DOCUMENT PHASE OF THE PROJECT IS COMPLETE.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER CONTRACTORS FURNISHING THE LABOR, MATERIALS, AND ALL WORK, SO THAT THE WORK AS A WHOLE SHALL BE EXECUTED AND COMPLETED WITHOUT CONFLICT OR DELAY.
- CONTRACTOR SHALL COORDINATE THE REQUIREMENTS OF ANY AND ALL DRAWINGS INCLUDING ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT PRIOR TO ANY WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ACQUAINT HIMSELF WITH THE DIMENSIONS OF ALL EQUIPMENT INCLUDED IN THIS PROJECT SO THAT PREPARATIONS CAN BE MADE TO PROVIDE ENTRY INTO THE FACILITY WITH SUFFICIENT CLEARANCE, AND TO ENSURE THAT ADEQUATE FLOOR SPACE IS AVAILABLE.
- CONTRACTOR SHALL NEVER SCALE DRAWINGS. LOCATIONS FOR ALL PARTITIONS, WALLS, CEILINGS, ETC. WILL BE DETERMINED BY DIMENSIONS ON DRAWINGS. ANY SUCH DIMENSIONS MISSING FROM THE PLANS MUST BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL ADHERE TO THE DRAWINGS AND SPECIFICATIONS. SHOULD ANY ERROR OR INCONSISTENCY APPEAR REGARDING THE TRUE MEANING AND/OR INTENT OF THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY REPORT SAME TO THE ARCHITECT WHO WILL MAKE ANY NECESSARY CLARIFICATION, INTERPRETATION, OR REVISION AS REQUIRED.
- IF THE CONTRACTOR DISCOVERS AN ERROR OR INCONSISTENCY AND PROCEEDS WITH WORK WITHOUT NOTIFYING THE OWNER & ARCHITECT OF ANY SUCH DISCREPANCIES, HE SHALL ASSUME ALL CHARGES AND MAKE ANY CHANGES TO HIS WORK MADE NECESSARY BY HIS FAILURE TO OBSERVE AND/OR REPORT THE CONDITION.
- IF THE INTENT OF THE DRAWINGS & SPECIFICATIONS ARE UNCLEAR, THE CONTRACTOR SHALL ASK THE ARCHITECT FOR CLARIFICATION, PRIOR TO PROCEEDING WITH WORK, IN THE FORM OF A WRITTEN R.F.I. (REQUEST FOR INFORMATION). THE ARCHITECT SHALL THEN RESPOND IN WRITING TO ALL APPROPRIATE PARTIES.
- CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF WORK, MATERIALS, FIXTURES, ETC. IN LEASED SPACE FROM LOSS, DAMAGE, FIRE, THEFT, ETC.
- WHEREVER THE TERM "OR EQUAL" IS USED, IT SHALL MEAN EQUAL PRODUCT AS APPROVED IN WRITING BY ARCHITECT.
- IF THE CONTRACTOR PROPOSES A MATERIAL OR EQUIPMENT SUBSTITUTION HE SHALL PROVIDE ALL APPROPRIATE DOCUMENTATION AND INFORMATION REQUIRED FOR THE ARCHITECT TO DETERMINE WHETHER OR NOT THE SUBSTITUTION IS EQUAL TO THE SPECIFICATION.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY IN WALL FRAMING REQUIRED TO CARRY SHELF, HANGING, AND VALANCE LOADS, RAILINGS, ETC. AS PER PLANS.
- PROVIDE SILICONE SEALANT AT ALL JOINTS AND INTERFACES OF ALL COUNTERTOPS, EQUIPMENT, AND WALLS.
- PROJECT SHALL BE LEFT CLEANED AND POLISHED AFTER COMPLETION OF WORK.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EQUIPMENT AND COORDINATE LOCATION OF FLOOR SINKS, FLOOR DRAINS, SLOPES/SLAB DEPRESSIONS AND RAISED CURBS, ELECTRICAL, AND PLUMBING STUB OUTS, AND ALL OTHER WORK UNDER THIS SCOPE OF RESPONSIBILITY RELATED TO THIS EQUIPMENT SUPPLIER FOR SPECIFIC REQUIREMENTS & REFERENCES.
- CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, UNCRATING, INSTALLATION AND HOOK-UP OF ALL EQUIPMENT AND OTHER OWNER FURNISHED ITEMS.
- CONTRACTOR SHALL REFER TO THESE DOCUMENTS, AS WELL AS SPECIFICATIONS, FOR IDENTIFICATION OF ALL OWNER SUPPLIED ITEMS. CONTRACTOR SHALL VERIFY WITH OWNER, PRIOR TO ORDERING, WHICH ITEMS THE OWNER SHALL SUPPLY. ALL ITEMS NOT MARKED AS "OWNER SUPPLIED" ARE TO BE SUPPLIED BY THE CONTRACTOR. UNLESS NOTED OTHERWISE ALL ITEMS ARE TO BE INSTALLED BY GENERAL CONTRACTOR.
- MINIMUM FLAME SPREAD CLASSIFICATION OF INTERIOR FINISHES SHALL CONFORM TO THE BUILDING CODE AND LOCAL GOVERNING BUILDING CODES/ORDINANCES.
- CONTRACTOR SHALL CONTACT THE LOCAL FIRE MARSHALL, AND PROVIDE AND INSTALL FIRE EXTINGUISHERS PER THE FIRE MARSHALLS DIRECTION, INCLUDING: TYPE, QUANTITY, AND LOCATIONS. AS A MINIMUM, CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS HAVING A RATING OF 2--A10--BC FOR EVERY 3,000 S.F. OF FLOOR AREA AND TRAVEL DISTANCE TO AN EXTINGUISHER SHALL NOT EXCEED 75 FEET.
- FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE MANUFACTURER'S STANDARD DETAILS OR APPROVED SHOP

- DRAWINGS/DATA SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF WORK TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES. NOTIFY ARCHITECT IMMEDIATELY IF CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND NEW CONSTRUCTION, PATCH, REPAIR, AND/OR REPLACE ALL ADVERSELY AFFECTED FINISHES AND SURFACES AS REQ'D. UPON COMPLETION OF CONSTRUCTION, ALL PARKING AREA PAVEMENT AND NEW CONCRETE PADS SHALL TRANSITION SMOOTHLY.
 - MECHANICAL, PLUMBING AND ELECTRICAL ARE NOT PART OF THIS PLAN REVIEW AND SUBJECT TO FIELD INSPECTION
 - CONTRACTOR TO NOTIFY THE SPECIAL INSPECTOR OR AGENCY FOR ANY ITEMS REQUIRED BY SECTION 1704 OF THE CBC.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE SPECIAL INSPECTOR ACCESS TO APPROVED PLANS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR RETAINING AT THE JOBSITE ALL SPECIAL INSPECTION RECORDS COMPLETED BY THE SPECIAL INSPECTOR UPON REQUEST.

APPLICABLE CODE

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA GREEN BUILDING CODE
2022 CALIFORNIA ENERGY CODE

CONTACT INFO

OWNER :
SANG AH RHEE
6731 STANTON AVE
BUENA PARK, CA 90621

ARCHITECT OF RECORD :
INNOARC
1440 N HARBOR BLVD. #900
FULLERTON, CA 92835
TEL: 818-939-1415

PROJECT DATA

ADDRESS :
6731 STANTON AVE UNIT A
BUENA PARK, CA 90621

ASSESSOR'S ID NUMBER : 276-312-42

ZONING : CM (COMMERCIAL MANUFACTURING)

LOT/PARCEL AREA : 21,803 SF

EXISTING BUILDING AREA : 2,040 SF

SETBACKS : N/A

MAXIMUM FLOOR AREA : N/A

TYPE OF CONSTRUCTION : VB

FIRE SPRINKLER : NO

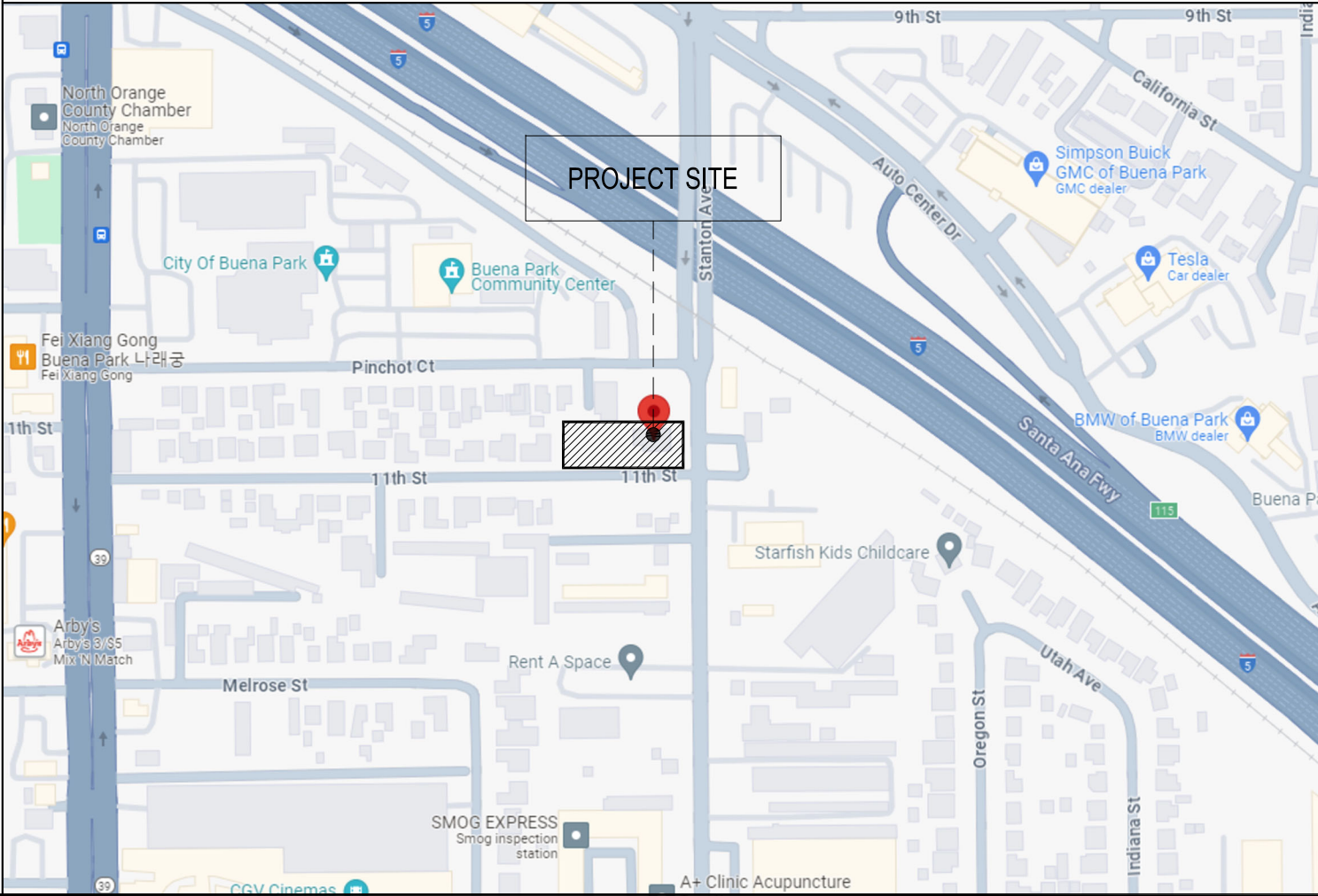
PARKING :
REQUIRED : 17 SPACES
PROVIDED : 17 SPACES

OCCUPANCY GROUP :
EXISTING : B (OFFICE)
PROPOSED : B (TUTORING)

SHEET INDEX

T-1.01	COVER SHEET
A-1.01	EXISTING SITE PLAN
A-1.02	PROPOSED SITE PLAN
A-1.03	TRASH ENCLOSURE DETAIL
A-2.01	FLOOR PLAN

VICINITY MAP

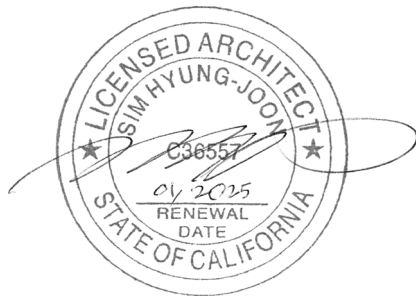


RECEIVED
JUL 23 2025
PLANNING DIV

CU-24-11

T-1.01

PERMIT SET



REVISIONS

NUMBER	ISSUE	DATE
-	PLANNING_1ST	08/26/24
-	PLANNING_2ND	05/12/24

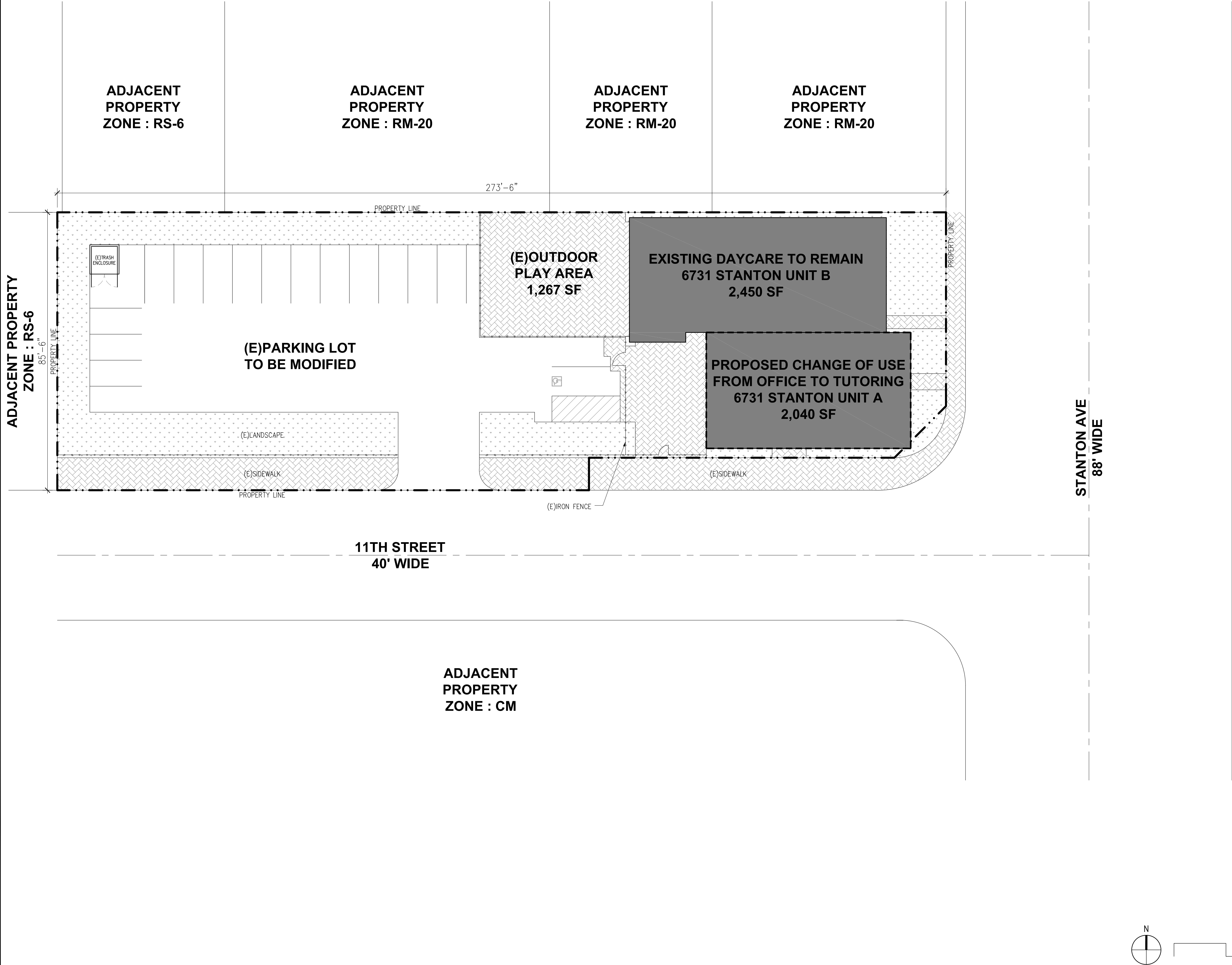
SHEET INFORMATION

DATE	05/12/2024
JOB NUMBER	
SCALE	
DRAWN BY	
CHECKED BY	
APPROVED BY	

TITLE

TITLE SHEET

SHEET



LEGEND

	BUILDING
	LANDSCAPE AREA
	PAVEMENT AREA
	PROPERTY LINE



ARCHITECT
INNOARC
6988 BEACH BLVD #B-215
BUENA PARK, CA 90621

PROPOSED
TUTORING CUP

6731 STANTON AVE
BUENA PARK, CA 90621

PERMIT SET



REVISIONS

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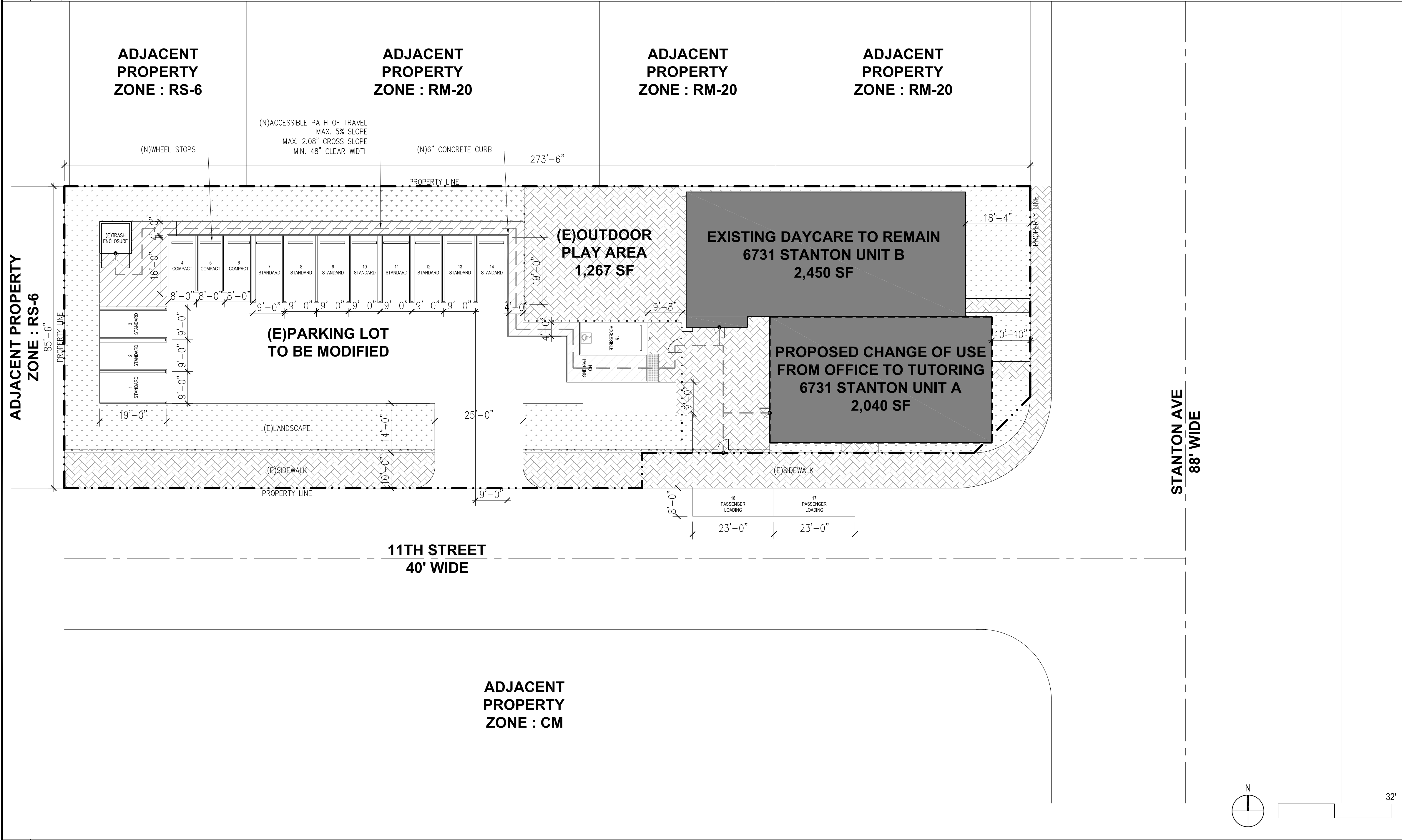
EXISTING
SITE PLAN

SHEET

A-1.01

02 PARKING SPACE DETAIL

SCALE: 1/4"=1'-0"



01 PROPOSED SITE PLAN

SCALE: 1/16"=1'-0"

LEGEND

	BUILDING
	LANDSCAPE AREA
	PAVEMENT AREA
	PROPERTY LINE

REQUIRED PARKING SPACE

NUMBER OF PARKING REQUIRED : 17

UNIT A : 9 SPACES
TOTAL AREA : 2,040 SF (OFFICE USE : 1,447 SF, TUTORING USE : 593 SF)
REQUIRED PARKING FOR OFFICE USE : 1 SPACE PER 250 SF
= 1,447 / 250 = 5.79
REQUIRED PARKING FOR TUTORING USE : 1 SPACE PER 200 SF
= 593 / 200 = 2.97
TOTAL REQUIRED PARKING FOR OFFICE AND TUTORING USE
= 5.79 + 2.97 = 8.76 (9)

UNIT B : 8 SPACES
REQUIRED PARKING FOR DAY CARE : 1 SPACE PER EMPLOYEE PLUS 1 PASSENGER
LOADING SPACE PER 6 CHILDREN
= 3 (3 STAFFS) + 5 (30 CHILDREN/6) = 8

TOTAL NUMBER OF PARING PROVIDED : 17
1 ACCESSIBLE, 11 STANDARD, 3 COMPACT, 2 PASSENGER LOADING

ALLOWED NUMBER OF COMPACT PARKING : 30%
17 X 0.3 = 5.1 (5 MAXIMUM COMPACT PARKING STALLS)



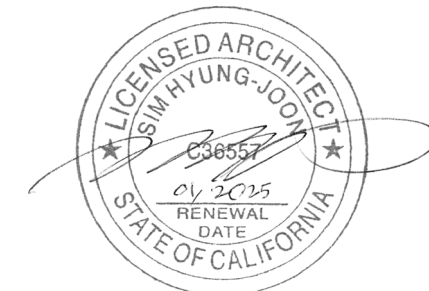
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REVISIONS

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SHEET INFORMATION

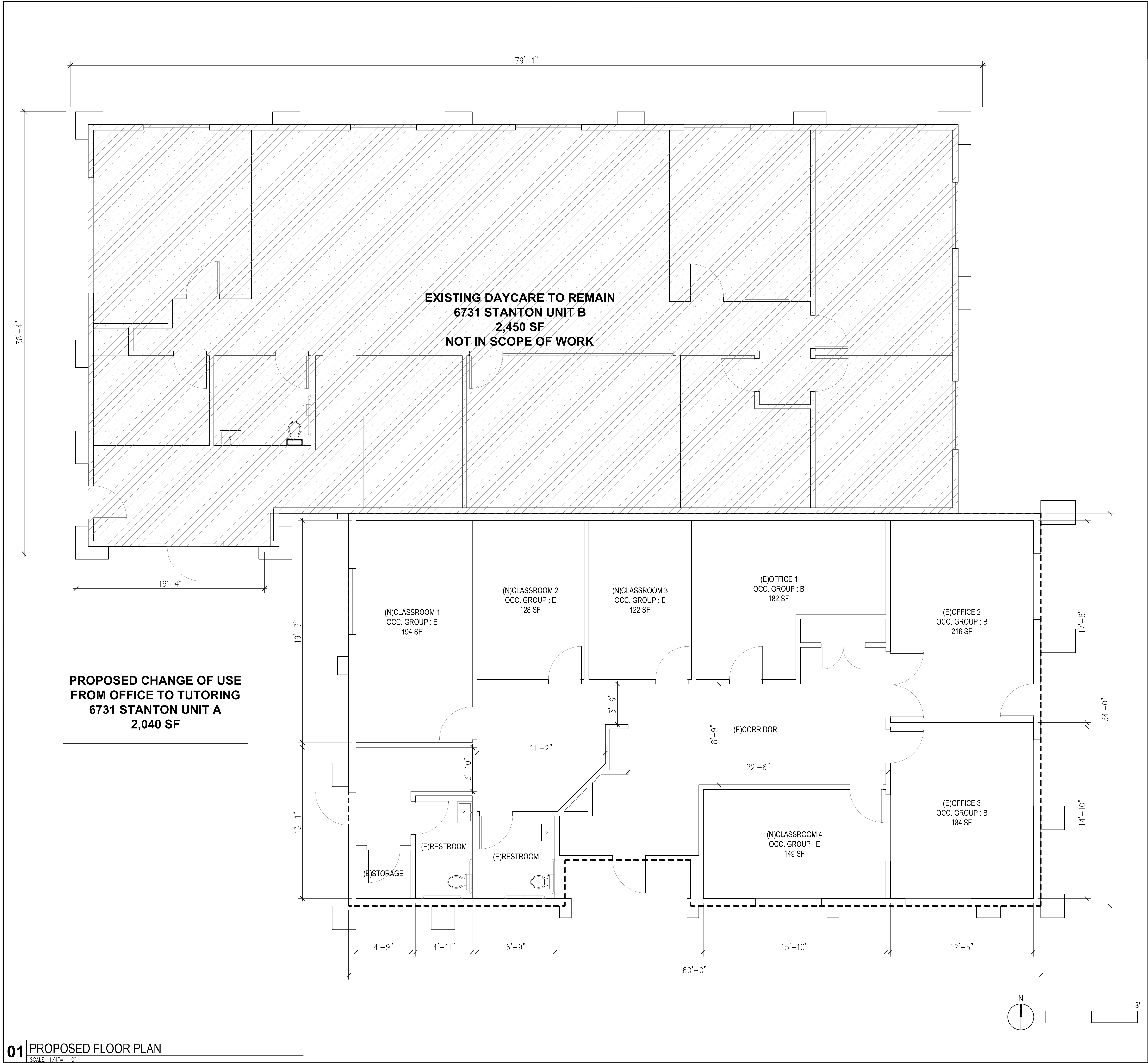
DATE	05/12/2024
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SCALE	
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APPROVED BY	

TITLE

PROPOSED
SITE PLAN

SHEET

A-1.02



LEGEND

EXISTING WALL

(E)EXISTING TO REMAIN

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LICENSED ARCHITECT

W. SHIH-YUNG JOO

01/2015

RENEWAL DATE

STATE OF CALIFORNIA

REVISIONS

NUMBER	ISSUE	DATE
-	INITIAL SET	08/26/24

SHEET INFORMATION

DATE08/26/2024

JOB NUMBER

SCALE

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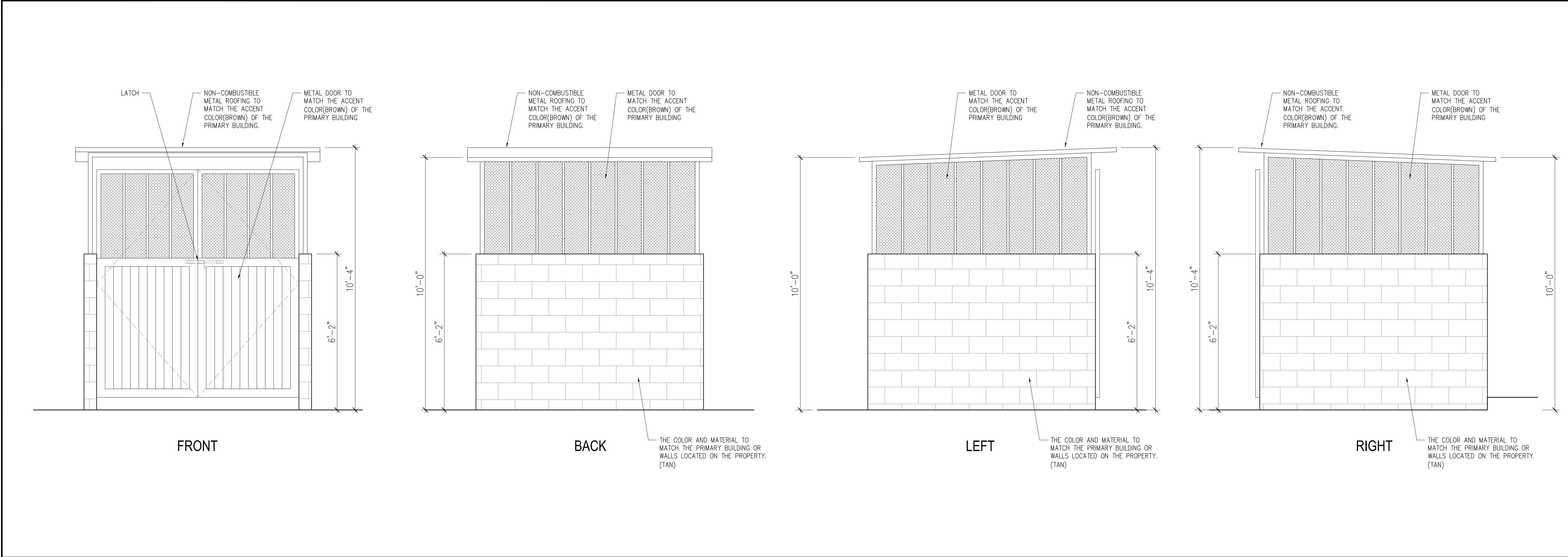
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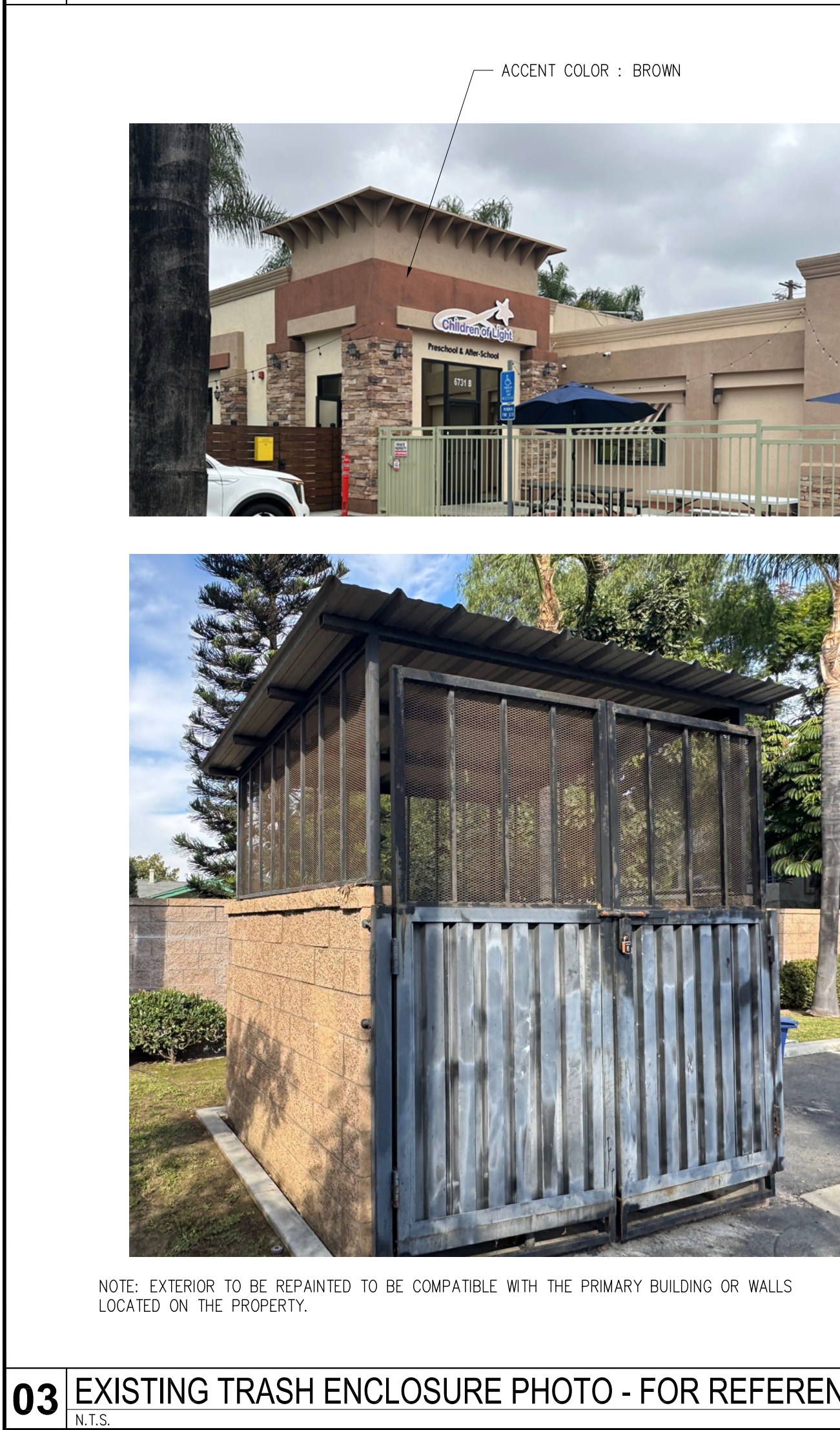
FLOOR PLAN

SHEET

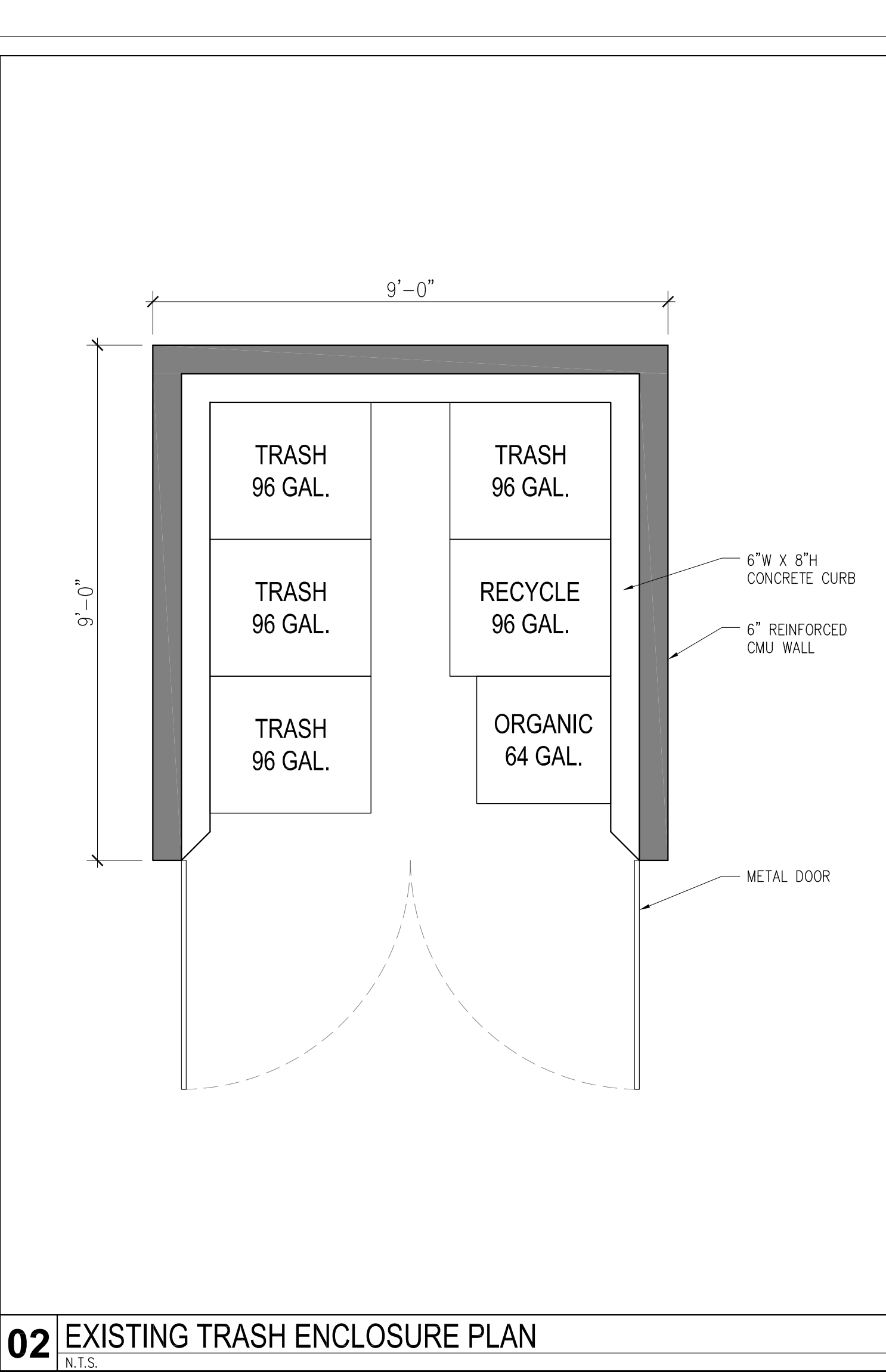
A-2.01



01 TRASH ENCLOSURE ELEVATION



03 EXISTING TRASH ENCLOSURE PHOTO - FOR REFERENCE



02 EXISTING TRASH ENCLOSURE PLAN

BUENA PARK TRASH STORAGE FACILITIES CODE 19.524.010 :

(A) ALL REFUSE SHALL BE STORED WITHIN TRASH CONTAINERS WHICH MEET CITY STANDARDS. EXCEPT WHEN TEMPORARILY PLACED FOR PICKUP, ALL SUCH CONTAINERS SHALL BE LOCATED OR SCREENED SO AS NOT TO BE IN PUBLIC VIEW.

(B) EXCEPT FOR A TEMPORARY USE, ALL NON-RESIDENTIAL USES, AS WELL AS MOBILE HOME PARKS AND GROUP QUARTERS IN THE COMMERCIAL AND INDUSTRIAL ZONES SHALL PROVIDE A TRASH ENCLOSURE FOR THE PURPOSE OF: SCREENING THE TRASH CONTAINER(S) FROM PUBLIC VIEW, MAINTAINING ANY LOOSE DEBRIS WITHIN THE ENCLOSURE, PROVIDING A PERMANENT LOCATION FOR THE CONTAINER(S) THAT WILL NOT ENCROACH UPON DRIVEWAYS, PARKING, PEDESTRIAN, AND EMERGENCY ACCESS AREAS, ELIMINATING THE ACCESSIBILITY OF TRASH TO THE ELEMENTS AND ANIMALS, AND TO PREVENT RAINWATER INFILTRATION INTO THE TRASH STORAGE AREA AND RUN-OFF FROM REACHING STORM DRAINS. THE TRASH ENCLOSURE SHALL CONFORM TO THE FOLLOWING STANDARDS:

1. ALL REQUIRED TRASH ENCLOSURES SHALL INCLUDE ADEQUATE, ACCESSIBLE, AND CONVENIENT AREAS FOR STORING AND LOADING TRASH, RECYCLABLES, AND ORGANIC MATERIALS, AND SHALL MEET THE REQUIREMENTS AS SHOWN IN ILLUSTRATIONS 19.524.010.

2. LOCATION. ENCLOSURES SHALL BE READILY ACCESSIBLE TO BUILDING OCCUPANTS, FACILITY MAINTENANCE PERSONNEL, AND TO THE CITY'S CONTRACTED TRASH HAULER, AND SHALL NOT INTERFERE WITH OTHER ACTIVITIES ON THE SITE. AN ENCLOSURE SHALL BE LOCATED WITHIN 250 FEET OF THE APPROPRIATE DOORWAY OF EACH BUSINESS. ENCLOSURES SHALL PROVIDE ADEQUATE ACCESS SO AS TO MINIMIZE EFFORT IN THE COLLECTION AND REMOVAL OF CONTAINER CONTENTS FROM THE ENCLOSURES. A REAR OR SIDE ACCESS DOOR OR GATE SHALL BE INSTALLED FOR MULTI-TENANT USERS TO EASILY ACCESS BINS. SUCH LOCATION SHALL BE SUBJECT TO THE APPROVAL OF THE PLANNING DIVISION.

3. MAINTENANCE. ALL TRASH ENCLOSURES AND ADJACENT PAVING SHALL BE MAINTAINED.

4. IF THE REQUIRED EXPANSION OF ANY EXISTING TRASH ENCLOSURE REQUIRES THE REMOVAL OF ONE PARKING SPACE OR INCREASE IN THE NUMBER OF COMPACT PARKING SPACES BEYOND WHAT IS ALLOWED UNDER SECTION 19.536.060 (PARKING DIMENSIONS AND LAYOUT), IT MAY BE GRANTED UNDER SECTION 19.128.090 (ZONING COMPLIANCE REVIEW).

5. ALL TRASH ENCLOSURES SHALL OBTAIN APPROVAL FOR CAPACITY, LOCATION, AND DESIGN FROM THE CITY'S FRANCHISE WASTE HAULER BEFORE ISSUANCE OF A BUILDING PERMIT.

(A) UPON WRITTEN ACCEPTANCE FROM THE FRANCHISED AGENT FOR TRASH DISPOSAL, THE REQUIREMENT FOR A TRASH ENCLOSURE MAY BE WAIVED BY THE DIRECTOR FOR A TRASH COMPACTOR, PROVIDED THAT THE STORAGE OF THE COMPACTOR AND ALL TRASH SHALL BE KEPT WITHIN THE BUILDING AND THAT THE TYPE AND AMOUNT OF TRASH WILL NOT CREATE A PUBLIC NUISANCE.

TRASH ENCLOSURE REQUIREMENTS TRASH, RECYCLABLES, AND ORGANIC MATERIAL WASTE BINS

ACCESS/LOCATION REQUIREMENTS:

- MANEUVERING AREAS SHALL MEET THE MINIMUM REQUIREMENTS OF EQUIVALENT SIZE LOADING AREA INCLUDING:
- OVERHEAD CLEARANCE OF 20 FEET MUST BE PROVIDED IN FRONT OF THE ENCLOSURE TO ALLOW CONTAINERS TO BE EMPTIED BY THE FRONT-END LOADER COLLECTION VEHICLES.
- A TURNAROUND MUST BE PROVIDED FOR ANY STREET, DRIVEWAY, OR TRAVEL AISLE THAT WOULD OTHERWISE REQUIRE THE COLLECTION TRUCK TO BACK UP A DISTANCE GREATER THAN 100 FEET. A MINIMUM OF A 42-FOOT TURNING RADIUS IS REQUIRED FOR SOLID WASTE COLLECTION VEHICLES.
- DRIVEWAYS AND TRAVEL AISLES SHALL CONFORM TO SECTION 19.436.040 (RESIDENTIAL DRIVEWAY STANDARDS) FOR MULTIFAMILY PROPERTIES OR SECTION 19.536.030 (DRIVEWAY STANDARDS) FOR COMMERCIAL AND INDUSTRIAL PROPERTIES, OR THE SAME STANDARDS OF ORANGE COUNTY FIRE AUTHORITY'S (OCFA) MASTER PLANS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENT FOR ACCESS AND CLEARANCE, WHICHEVER IS GREATER.

CONSTRUCTION REQUIREMENTS:

- PROVIDE A MINIMUM 6-INCH REINFORCED BLOCK WALL CONSTRUCTION.
- ENCLOSURES SHALL BE CONSTRUCTED OF MASONRY BLOCK OR CONCRETE TILT-UPS AND A HORIZONTAL OR SLOPED NON-COMBUSTIBLE MATERIAL SOLID ROOF, DESIGNED TO SCREEN THE BINS.
- ENCLOSURES SHALL BE APPROPRIATELY LOCATED AND SCREENED FROM VIEW ON AT LEAST 3 SIDES BY A WALL AT LEAST 6 FEET IN HEIGHT, AND ON THE 4TH SIDE BY GATES NOT LESS THAN 5 FEET IN HEIGHT MADE OF A SOLID NON-COMBUSTIBLE MATERIAL WITH LATCHES AND BOLTS.
- THE GATES SHOULD BE MAINTAINED IN GOOD WORKING ORDER AND SHOULD REMAIN CLOSED EXCEPT WHEN IN USE. THE ENCLOSURE OPENING, INCLUDING GATES AND HINGES, MUST PROVIDE A MINIMUM OPENING OF 9 FEET TO ALLOW CONTAINERS TO BE MOVED IN AND OUT OF THE ENCLOSURE.
- THE FLOOR OF THE ENCLOSURE SHALL BE A PORTLAND CEMENT CONCRETE (PCC) PAD, FLUSH WITH ADJACENT DRIVEWAY.
- PROVIDE A MINIMUM 10-FOOT BY 10-FOOT PCC PAD OUTSIDE THE ENTRANCE TO THE ENCLOSURE THAT IS CAPABLE OF WITHSTANDING THE IMPACT OF BINS BEING SET DOWN, AND A 20-TON STATIONARY LOAD, AS NEEDED.
- PROVIDE A 6-INCH-WIDE BY 8-INCH-HIGH CONCRETE CURB AT THE BASE OF INTERIOR WALLS FOR THE PROTECTION OF WALLS FROM TRASH CONTAINERS AND BINS.
- IF MULTIPLE CONTAINERS ARE TO BE STORED IN ANY ONE TRASH ENCLOSURE, SPACE MUST BE PROVIDED TO ALLOW ACCESS TO EACH OF THE BINS OR CARTS. ACCESS AISLES BETWEEN CONTAINERS MUST BE A MINIMUM OF 30 INCHES WIDE.
- THE ROOF SHALL EXTEND SUFFICIENTLY OUTWARD IN ALL DIRECTIONS SO THAT WIND-BLOWN RAIN WILL NOT ENTER THE INTERIOR OF THE STORAGE AREA. A MINIMUM OF 8 FEET OF VERTICAL CLEARANCE WITHIN THE STORAGE AREA SHALL BE PROVIDED TO ALLOW THE CONTAINER LIDS TO BE FULLY OPENED AND CLOSED INSIDE THE TRASH ENCLOSURE. IF FIRE SPRINKLERS OR DROP LIGHTING ARE INSTALLED WITHIN THE ENCLOSURE, THE MINIMUM VERTICAL CLEARANCE OF 8 FEET WILL BE MEASURED FROM THE LOWEST POINT OF THE SPRINKLER HEADS, LIGHTING, OR ANY OTHER FIXTURE.
- ENCLOSURES FOR COMPACTORS LOCATED OUTSIDE THE BUILDING SHALL BE CONSTRUCTED OF MASONRY BLOCK, DESIGNED TO SCREEN THE BINS, HYDRAULIC LINES, AND ACCESSORY COMPONENTS, AND TO BE ARCHITECTURALLY COMPATIBLE WITH OTHER BUILDINGS ON THE SITE.
- STRUCTURAL DETAILS SHALL BE APPROVED BY THE BUILDING DIVISION.
- FOR CONTAINERS EXCEEDING 4 CUBIC YARDS, THE FOLLOWING DESIGN FEATURES SHALL BE FOLLOWED:
- A MINIMUM OF A 15-FOOT VERTICAL CLEARANCE IS REQUIRED WITHIN THE ENCLOSURE SO THE COLLECTION VEHICLE CAN REACH THE BIN.
- DOOR OPENINGS SHALL BE A MINIMUM OF 10 FEET IN WIDTH TO ALLOW FOR DIRECT PICK UP BY THE COLLECTION VEHICLE.
- THE ENTRANCE GATE SHOULD BE CAPABLE OF BEING LATCHED OPEN SO THAT AN 8-FOOT-WIDE TRUCK CAN ACCESS THE ENCLOSURE.
- PROVIDE FOR DIRECT ACCESS BY THE COLLECTION VEHICLE. AT A MINIMUM, A LANE, 10 FEET WIDE BY 30 FEET IN LENGTH, DIRECTLY IN FRONT OF THE ENCLOSURE.

DESIGN/FINISH:

- BLOCK WALLS SHALL BE OF A DECORATIVE FINISH AND COLOR TREATED TO BE COMPATIBLE WITH THE PRIMARY STRUCTURES OR WALLS LOCATED ON THE PROPERTY.
- ROOFS SHALL BE OF A NON-COMBUSTIBLE DECORATIVE MATERIAL AND COLOR TO COMPLEMENT THE DESIGN OF THE PRIMARY STRUCTURE.
- ARCHITECTURAL FEATURES AND DESIGN SHALL BE APPROVED BY THE PLANNING DIVISION.

NOTE:

- DEVIATIONS FROM THESE STANDARDS MAY BE CONSIDERED AT THE DISCRETION OF THE DIRECTOR OF COMMUNITY AND ECONOMIC DEVELOPMENT.

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PERMIT SET

LICENSED ARCHITECT
LUKSHIYUNG-JOO
08655
EXPIRATION DATE
01/30/25
STATE OF CALIFORNIA

REVISIONS

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-	PLANNING_2ND	05/12/24

SHEET INFORMATION

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CHECKED BY	
APPROVED BY	

TRASH ENCLOSURE
DETAIL

SHEET

A-1.03

Project Narrative

Project description : Change of use from office to tutoring (Occ. Group B to B&E)

Business type : Sand play therapy and academic tutoring

Operation hours : 8am – 6pm Mon-Fri

Number of Parking required : 17

Unit A (Sand play therapy and tutoring) 9 spaces

Total area : 2,040 sf (office use : 1,447 sf, tutoring use : 593 sf)

Required parking for office use : 1 space per 250 sf

$$= 1,447 / 250 = 5.79$$

Required parking for tutoring use : 1 space per 200 sf

$$= 593 / 200 = 2.97$$

Total required parking for office and tutoring use

$$= 5.79 + 2.97 = 8.76 (9)$$

Unit B (Existing Daycare, No change) : 8 spaces

Required parking for daycare : 1 space per employee plus 1 space per 6 children

$$= 3 (3 \text{ staffs}) + 5 (30 \text{ children}/6) = 8$$

Number of parking provided : 17



VICINITY MAP



ZONING ADMINISTRATOR

August 7, 2025 – 8:30 a.m.

CONDITIONAL USE PERMIT NO. CU-24-11

6731 Stanton Avenue, Unit A

APN: 276-312-42