



## Planning Commission

---

Tuesday, December 12, 2023, 6:00 PM  
COUNCIL CHAMBERS  
1 Civic Center Circle  
Brea, California 92821

**and via Teleconference - 350 W. Central Avenue #455, Brea CA 92821**

**Bill Madden, Chair**

**Joseph Covey, Vice Chair**

**Tom Donini, Commissioner**

**Blake Perez, Commissioner**

**Melanie Schlotterbeck, Commissioner**

This agenda contains a brief general description of each item the Commission will consider. The Planning Division has on file copies of written documentation relating to each item of business on this Agenda available for public inspection. Contact the Planning Division at (714) 990-7674 or view the Agenda and related materials on the City's website at [www.cityofbrea.net](http://www.cityofbrea.net). Materials related to an item on this agenda submitted after distribution of the agenda packet are available for public inspection in the Planning Division at 1 Civic Center Circle, Brea, CA during normal business hours. Such documents may also be available on the City's website subject to staff's ability to post documents before the meeting.

### **Procedures for Addressing the Commission**

The Commission encourages interested people to address this legislative body by making a brief presentation on a public hearing item when the Chair calls the item or address other items under Matters from the Audience. State Law prohibits the Commission from responding to or acting upon matters not listed on this agenda.

The Commission encourages free expression of all points of view. To allow all persons the opportunity to speak, please keep your remarks to 3 minutes. If others have already expressed your position, you may simply indicate that you agree with a previous speaker. If appropriate, a spokesperson may present the views of your entire group. Commission rules prohibit clapping, booing, or shouts of approval or disagreement from the audience. Please silence all cell phones and other electronic equipment while the Commission is in session. Thank you.

Written comments may be submitted in advance of the meeting by emailing [planner@cityofbrea.net](mailto:planner@cityofbrea.net). Written comments received by 3 p.m. on the day of the meeting will be provided to the Commission, will be made available to the public at the meeting, and will be included in the official record of the meeting.

### **Special Accommodations**

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact Planning at (714) 990-7674. Notification 48 hours prior to the meeting will enable City staff to make reasonable arrangements to ensure accessibility. (28 CFR 35.102.35.104 ADA Title II)

### **Important Notice**

The City of Brea shows a live broadcast of the Planning Commission meeting over the internet at <https://cityofbrea-net.zoom.us/j/89166452644>. Your attendance at the public meeting may result in the recording and broadcast of your image and/or voice as previously described.

**ALL PLANNING COMMISSION DECISIONS MAY BE APPEALED TO THE CITY COUNCIL WITHIN TEN (10) CALENDAR DAYS OF THE MEETING. PLEASE CONTACT THE CITY CLERK AT (714) 990-7756**

**FOR FURTHER INFORMATION ABOUT FILING AN APPEAL OR OBTAINING AN APPEAL APPLICATION.**

**1: CALL TO ORDER/ROLL CALL - COMMISSION**

---

**2: INVOCATION**

---

Pastor Kirk Randolph from Southlands Church

**3: PLEDGE OF ALLEGIANCE**

---

**4: MATTERS FROM THE AUDIENCE**

---

**5: CONSENT CALENDAR**

---

Approval of November 14, 2023 Planning Commission Minutes

5A. Approval of Minutes 11-15-2023

**6: PUBLIC HEARINGS**

---

6A. Tentative Parcel Map No. 2021-189

To allow an office condominium subdivision of existing office buildings at 705-867 Lambert Road

- 1. Continue the public hearing for this Project non-date specific, to be determined in the future.

6B. Conditional Use Permit No. 2023-12 (Second Amendment to Conditional Use Permit 00-16) and Plan Review No. 2023-12

To allow for the construction of two new outdoor patios and expansion of on-sale alcoholic beverages sales (Type 47) into the adjacent tenant suite and new outdoor patios for an existing sit-down restaurant (Macallans Public House) located at 330 West Birch Street, Suite 1.

- 1. Find the Project exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Class 1, Existing Facilities);
- 2. Approve Conditional Use Permit No. 2023-12, amending Conditional Use Permit No. 00-16, to allow for the existing sit-down restaurant to expand the on-sale alcoholic beverage sales (Type 47- On-Sale General) into the 1,289-square-foot adjacent tenant suite and two new outdoor patios, based on the findings and conclusions in the Resolution, and subject to the recommended Conditions of Approval; and,
- 3. Approve Plan Review No. 2023-11 to allow for the expansion of two outdoor patios for dining totaling 275 square feet, based on the findings and conclusions in the Resolution, and subject to the recommended Conditions of Approval.

6C. Conditional Use Permit No. 2023-10

To allow a reduction in the required parking for additional medical office uses located at 330 East Lambert Road

- 1. Find the Project exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Class 1, Existing Facilities); and,
- 2. Approve Conditional Use Permit No. 2023-10 to allow a reduction in the required parking to accommodate additional medical office uses at 330 East Lambert Road, based on the findings and conclusions in the Resolution, and subject to the recommended Conditions of Approval.



6D. Precise Development Plan No. 2023-02 and Conditional Use Permit No. 2023-05

To allow for an addition of 5,143 square feet to the existing building and a reduction in required parking to accommodate the proposed medical use at 721 East Imperial Highway.

- 1. To allow for an addition of 5,143 square feet to the existing building and a reduction in required parking to accommodate the proposed medical use at 721 East Imperial Highway.
- 2. Approve Precise Development No. 2023-02 to allow for the addition of 5,143 square feet to an existing building and exterior façade remodel for the new Align Spine Center at 721 East Imperial Highway, based on the findings and conclusions in the attached Resolution, and subject to the recommended Conditions of Approval; and
- 3. Approve Conditional Use Permit No. 2023-05 to allow reduction of the required parking to accommodate the proposed medical use, based on the findings and conclusions in the attached Resolution, and subject to the recommended Conditions of Approval.

## **7: ADMINISTRATIVE ITEMS**

---

7A. Committee Reports

7B. Informational/Project Updates

## **8: ADJOURNMENT**

---

*Date Posted: December 6, 2023*



## City of Brea

### Planning Commission Communication

---

#### Approval of Minutes 11-15-2023

Meeting	Agenda Group
Tuesday, December 12, 2023, 6:00 PM	CONSENT CALENDAR Item: 6A

Approval of Minutes for Planning Commission held on November 15, 2023

---

#### **Attachments**

Planning Commission-11-15-2023-minutesDraft.pdf

**\*\*The Following Document is a draft of the minutes and not the official approved minutes\*\***

**Minutes for the Planning Commission**

1 Civic Center Circle, Brea, California, 92821

November 14, 2023, 6:15 PM - November 14, 2023, 7:01 PM

**Roll Call:** (The following members were in attendance)

Bill Madden, Chair - Planning Commission

Joseph Covey, Vice Chair - Planning Commission

Tom Donini, Planning Commissioner

Melanie Schlotterbeck, Planning Commissioner

**Absent:**

Blake Perez, Planning Commissioner

**1. CALL TO ORDER/ROLL CALL - COMMISSION**

---

**2. INVOCATION**

---

*Pastor Cindy Ousterhout from The Cause Church*

**3. PLEDGE OF ALLEGIANCE**

---

Commissioner Donini led the Pledge of Allegiance.

**4. MATTERS FROM THE AUDIENCE**

---

None.

**5. CONSENT CALENDAR**

---

*The Planning Commission approves all Consent Calendar matters with one motion unless Commission or Staff requests further discussion of a particular item. Items of concern regarding Consent Calendar matters should be presented during "Matters from the Audience."*

There was Motion to Approve that was motioned by Melanie Schlotterbeck seconded by Tom Donini with a result of 4-0-0-0

**5A. Adoption of 2024 Planning Commission Calendar**

**5B. Receive and File the Quarterly Traffic Monitoring Report for Tentative Parcel Map No. 2016-178 located at the Northwest Corner of Birch Street and State College Boulevard-**

**5C. Approval of September 26, 2023 Planning Commission Minutes-**

**6. PUBLIC HEARINGS**

---

*This portion of the meeting is for matters that legally require an opportunity for public input. Audience participation is encouraged and is limited to 3 minutes per speaker.*

**6A. Tentative Parcel Map No. 2021-189: A Request to Allow an Office Condominium Subdivision of Existing Office Buildings at 705-867 Lambert Road**

Chair Madden stated the Applicant requested the item be continued to January 23, 2024.

Chair Madden opened the Public Hearing and hearing no testimony, he closed it.

There was Motion to Continue the Item that was motioned by Joseph Covey seconded by Tom Donini with a result of 4-0-0-0

**7. ADMINISTRATIVE ITEMS**

---

*This agenda category is for Commission consideration of a wide variety of topics. Public comments regarding items in this section should be presented during "Matters from the Audience."*

## **8. COMMITTEE REPORTS**

---

None.

## **9. INFORMATIONAL/PROJECT UPDATES**

---

### **9A. Project Updates-** 6:19 PM

### **9B. Recently Approved Housing Related Legislation-** 6:20 PM

City Planner Hwang provided a presentation and answered questions about the following legislative bills related to Housing:

- SB 330 (Skinner):
- SB 35 (Wiener):
- AB 2011 (Wicks):
- SB 6 (Caballero):
- SB 4 (Wiener):
- AB 1490 (Lee):
- SB 684 (Caballero):
- AB 1308 (Quirk-Silva):

#### New Legislation - ADU Related

- AB 976 (Ting)
- AB 1033 (Ting)
- AB 1332 (Carillo)

#### New Legislation - State Enforcement Related

- AB 434 (Grayson)
- AB 1485 (Haney)

## **10. ADJOURNMENT**

---

Chair Madden adjourned the meeting at 7:00 pm.



## City of Brea

### Planning Commission Communication

---

#### **Tentative Parcel Map No. 2021-189**

To allow an office condominium subdivision of existing office buildings at 705-867 Lambert Road

Meeting	Agenda Group
Tuesday, December 12, 2023, 6:00 PM	PUBLIC HEARINGS Item: 7A
TO	FROM
Chair and Members of the Planning Commission	Joanne Hwang, City Planner

#### **EXECUTIVE SUMMARY**

On November 14, 2023, the Planning Commission continued this item to the next available meeting on December 12, 2023 at the Applicant's request, who indicated that additional time was needed to submit remaining items. Since then, the Applicant has informed Staff that additional time is needed to submit remaining items. For that reason, the Applicant is requesting the public hearing for the Project be continued non-date specific, where public hearing date would be determined in the future. Once a new public hearing date is set, this item will be re-noticed to the public.

#### **RECOMMENDATION**

Staff recommends that the Planning Commission continue the public hearing for this Project non-date specific, to be determined in the future.

#### **RESPECTFULLY SUBMITTED:**

Joanne Hwang, AICP, City Planner

Prepared by: Esteban Rubiano, Assistant Planner



**Conditional Use Permit No. 2023-12 (Second Amendment to Conditional Use Permit 00-16) and Plan Review No. 2023-12**

To allow for the construction of two new outdoor patios and expansion of on-sale alcoholic beverages sales (Type 47) into the adjacent tenant suite and new outdoor patios for an existing sit-down restaurant (Macallans Public House) located at 330 West Birch Street, Suite 1.

Meeting	Agenda Group
Tuesday, December 12, 2023, 6:00 PM	PUBLIC HEARINGS Item: 7B
TO	FROM
Chair and Members of the Planning Commission	Joanne Hwang, City Planner

**EXECUTIVE SUMMARY**

The Applicant, Douglas Vincent, is requesting approval of Conditional Use Permit No. 2023-12, amending Conditional Use Permit No. 00-16, and Plan Review No. 2023-11 to allow the existing sit-down restaurant, Macallans Public House located at 330 West Birch Street, Suite 1, in the Mixed-Use I (MU-I) Zone, to construct two new outdoor patios and expand the on-sale alcoholic beverage sales (Type 47- On-Sale General) into the 1,289 square-foot adjacent tenant suite at 332 West Birch Street and the new outdoor patios totaling approximately 275 square feet.

The above-mentioned entitlement herein is referred to as the "Project."

**RECOMMENDATION**

Staff recommends that the Planning Commission adopt resolutions (Attachment A and B) taking the following actions:

Find the Project exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301;

Approve Conditional Use Permit (CUP) No. 2023-12, amending CUP No. 00-16, to allow for the existing sit-down restaurant to expand the on-sale alcoholic beverage sales (Type 47- On-Sale General) into the 1,289-square-foot adjacent tenant suite and two new outdoor patios, based on the findings and conclusions in the attached Resolution (Attachment A), and subject to the recommended Conditions of Approval (Attachment C); and,

Approve Plan Review (PR) No. 2023-11 to allow for the expansion of two outdoor patios for dining totaling 275 square feet, based on the findings and conclusions in the attached Resolution (Attachment B), and subject to the recommended Conditions of Approval (Attachment D).

**BACKGROUND**

The Project site, located at 330 West Birch Street, Suite 1, is located directly south of the intersection of Birch Street and Madrona Avenue, along the Birch Street Corridor west of Brea Boulevard. The Birch Street Corridor, located within Downtown Brea, features a wide range of uses including, but not limited to, specialty retail, restaurants, service-oriented businesses, and second floor offices and residences. The Project site has a General Plan Land Use designation of Mixed Use I and zoning designation of MU-I. The surrounding land uses and zoning designation are shown in Tables 1 and 2 below.

**TABLE 1 – SURROUNDING LAND USES**

<b>North</b>	Downtown Brea- restaurants and spa uses ( <i>across Birch Street</i> )
<b>East</b>	Downtown Brea- fitness training and Birch Street Lofts
<b>South</b>	Brea Gateway shopping center
<b>West</b>	Brea Gateway shopping center, and light industrial park ( <i>across the flood control channel and The Tracks at Brea Trail</i> )

**TABLE 2 – SURROUNDING ZONING DESIGNATIONS**

<b>North</b>	MU-I ( <i>across Birch Street</i> )
<b>East</b>	MU-I
<b>South</b>	General Commercial (C-G)
<b>West</b>	C-G, and Commercial Industrial (C-M) ( <i>across the flood control channel and The Tracks at Brea Trail</i> )

The Project site is currently developed with a two-story mixed use building with a sit-down restaurant and a vacant tenant space on the first floor, and office suites and apartment units occupying the second floor. The existing restaurant, Macallans Public House, is approximately 3,600 square feet and has an existing 865-square-foot outdoor dining patio, and offers high-end comfort food and premium whiskeys from its menu. The City-owned parking structure directly across the Project site is one of three parking structures in the Downtown Brea parking district available for public use, including patrons of the Project site. The aerial view of the Project site is Figure 1 below.

**FIGURE 1 - AERIAL VIEW OF THE PROJECT SITE**



#### **Entitlement History**

- In 2000, the Planning Commission adopted Resolution No. 00-41, approving CUP No. 00-16, to allow general alcohol beverage service at a 4,900-square-foot sports bar (Attachment E).
- In 2020, the Planning Commission adopted Resolution No. 2020-21, approving an amendment to CUP No. 00-16, to allow an expansion to an existing restaurant into an adjacent 644-square-foot tenant space and expansion of two patios totaling 856 square feet along Birch Street with alcoholic beverage sales (Attachment F).
- On November 21, 2023, the Hearing Officer approved Entertainment Permit No. 2023-05 and the Statement of Decision, to allow live entertainment of trivia nights, solo performances and small ensembles inside the restaurant for a one-year period (Attachment G).

#### **PROJECT DESCRIPTION**

Macallans Public House is proposing to expand its business, including the on-site alcoholic beverages sale, into the adjacent vacant 1,289-square-foot tenant space at 332 West Birch Street to be used as additional dining space, along with two new outdoor patio areas, totaling



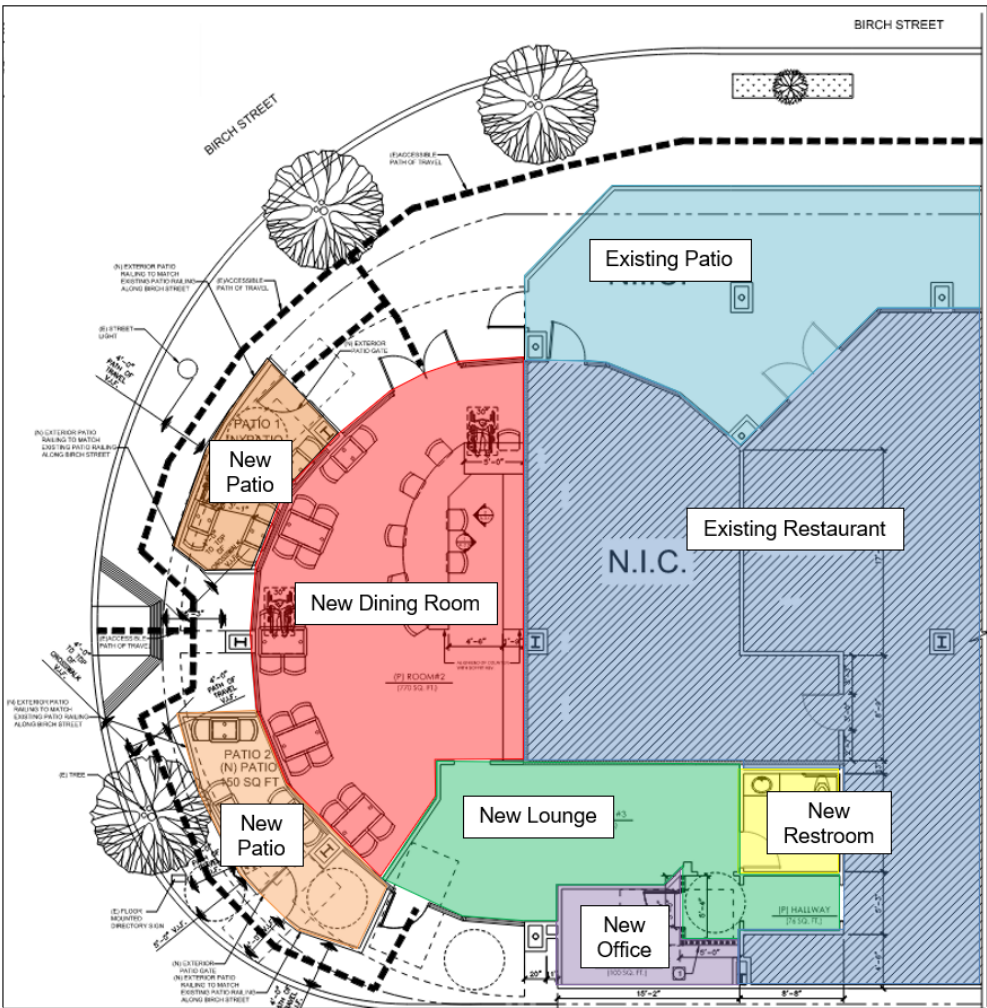
275 square feet. With the proposed expansion, Macallans Public House will occupy the entire 4,900-square-foot first floor area as previously configured in 2000 when a sports bar was the tenant.

The proposed 1,289-square-foot indoor expansion will feature a dining room, a lounge area, an office, and restrooms. The dining room and the lounge area are intended to provide a private dining experience for guests and to occasionally be used for main dining room overflow. The outdoor dining expansion will be in two different sections adjacent to the proposed private dining area. The southern section would be approximately 150 square feet, and the northern section would be approximately 125 square feet. Both patios are accessible through exterior gates fronting the right-of-way. Additional patio improvements include tables, chairs, and minimum three-foot tall metal railings that would match the existing decorative railings for the existing 865-square-foot patio area, located along the north side of the building. The proposed outdoor patio expansion will be located on private property adjacent to the right-of-way.

The current hours of operations, which are Monday through Thursday from 11:30 a.m. to 10:00 p.m., Friday from 11:30 a.m. to 1:00 a.m., Saturday from 11:00 a.m. to 1:00 a.m. and Sunday from 9:30 a.m. to 11:00 p.m., would remain as is.

The proposed floor plan is Figure 2 below and provides an illustration of the proposed improvements.

**FIGURE 2 - PROPOSED FLOOR PLAN**



**DISCUSSION**

CUP No. 2023-12 (second amendment to CUP 00-16): Expansion of on-sale alcoholic beverage sales to the adjacent tenant space and new patio areas.

Pursuant to Brea City Code (BCC) Permitted Land Uses Table 20.11.020.A., while a restaurant land use is permitted by-right, on-sale of alcoholic beverages for restaurants in the MU-I Zone is allowed subject to Planning Commission approval of a CUP. The proposed project



involves an expansion of the existing on-sale alcoholic beverages service into the adjacent vacant tenant space, and will not extend beyond the existing building footprint other than into two small outdoor patios. The existing sit-down restaurant is proposed to occupy the entire ground floor of the building as originally entitled in 2000 to allow general alcoholic beverage sales in conjunction with its dining services.

Downtown Brea is a pedestrian-oriented area providing a variety of retail, service, and dining experiences, and the Project would continue to provide a dining experience compatible with surrounding by uses. The Applicant is not proposing any modifications to the existing hours of operation for the restaurant. Furthermore, the restaurant is located within the Downtown Brea parking district which has several parking structures made available to patrons visiting Downtown Brea.

To further ensure the Project would be compatible with surrounding uses and not adversely affect the public, health or general welfare, staff has prepared draft Conditions of Approval (Attachment C). Notably, a condition of approval is included that requires the business to submit a security policy and procedures plan detailing on-site security procedures and practices for serving alcoholic beverages responsibly and addressing intoxicated behavior.

#### *PR No. 2023-11: Outdoor patio expansion*

Pursuant to BCC Section 20.258.010.D, standalone projects involving façade improvements visible from the right-of-way are subject to review and approval of a Plan Review by the Community Development Director; however, as the Project involves a CUP application for the expansion of the on-sale alcoholic beverage sales, the subject PR application for the construction of two additional patios is also being forwarded to the Planning Commission for its consideration.

The outdoor dining expansion features two new outdoor patios totaling in approximately 275 square feet, located on private property, directly adjacent to the expanded dining room. Both patios will be utilized for dining use and be enclosed by a decorative three-foot tall barrier with gated access. Within the vicinity, there are numerous restaurants with outdoor dining patios and the proposal is consistent with the existing elements in the neighborhood.

The Project was reviewed by various departments, including the Fire Department, Police Department, and the Building & Safety Division. The project is required to meet all Building and Fire codes and standards, thereby assuring public health, safety, and welfare. With the draft Conditions of Approval (Attachments C and D), the expansion of the on-sale alcoholic beverages sale and construction of new patio areas would not be detrimental to the surrounding uses in Downtown Brea, and would continue to provide a dynamic customer dining experience. In addition, the Project would be consistent with the goals and policies of the Downtown Brea Focus Areas of the General Plan. Based on the proposed operations in relation to the expansion of the existing restaurant with alcohol service, staff does not anticipate any negative impacts to adjacent properties. Therefore, the Project, as proposed and conditioned, is not anticipated to negatively affect the health and safety of the surrounding neighborhood.

### **PUBLIC NOTICE AND COMMENTS**

The Project was noticed in accordance with the City's public noticing requirements, which involved mailed notices sent to property owners within 500 feet of the Project site, and publication in the Brea Star-Progress. The public hearing notice for this Project is provided as Attachment L. As of the writing of this report, staff has not received public comments.

### **ENVIRONMENTAL ASSESSMENT**

The project has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines and the environmental regulations of the City. The Project is categorically exempt from the requirements to prepare additional environmental documentation per CEQA Guidelines Section 15301. The Class 1 exemption is applicable to the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, involving negligible or no expansion of existing or former use. The Project is limited to construction of two small patio areas and the expansion of on-sale alcoholic beverages into the adjacent 1,289-square-foot space and new patio areas. Therefore, the Project is categorically exempt from the provisions of CEQA. The draft Notice of Exemption is Attachment M.

### **CONCLUSION**

For the reasons discussed above and the information attached to this report, the Project would conform with all the requirements of the General Plan and the provisions of the BCC. The proposed recommendation would not have an adverse effect on public, health, safety, or

general welfare. Therefore, staff recommends approval of the Project.

**RESPECTFULLY SUBMITTED:**

Joanne Hwang, AICP, City Planner

Prepared by: Jessica Newton

---

**Attachments**

Attachment A- Draft Resolution CUP 2023-12.pdf

Attachment B- Draft Resolution PR No. 2023-11.pdf

Attachment C- Draft Conditions of Approval CUP 2023-12.pdf

Attachment D- Draft Conditions of Approval PR No. 2023-11.pdf

Attachment E- PCR No. 00-41.pdf

Attachment F- PCR No. 2020-21.pdf

Attachment G- Statement of Decision EP 2023-05.pdf

Attachment H- Technical Background.pdf

Attachment I- Vicinity Map.pdf

Attachment J- Project Narrative.pdf

Attachment K- Project Plans.pdf

Attachment L- Project Application.pdf

Attachment M- Public Hearing Notice.pdf

Attachment N- Draft Notice of Exemption.pdf

**(DRAFT) RESOLUTION NO. PC 2023-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BREA APPROVING CONDITIONAL USE PERMIT NO. 2023-12 (A SECOND AMENDMENT TO CONDITIONAL USE PERMIT NO. 00-16): TO ALLOW FOR THE EXPANSION OF ON-SALE ALCOHOLIC BEVERAGE SALES (TYPE 47) INTO THE ADJACENT TENANT SUITE AND NEW OUTDOOR PATIOS AT AN EXISTING SIT-DOWN RESTAURANT (MACALLANS PUBLIC HOUSE) LOCATED AT 330 WEST BIRCH STREET, SUITE 1**

(i) The Planning Commission of the City of Brea (the “Planning Commission”) did receive a verified petition for the approval of Conditional Use Permit (CUP) No. 2023-12, amending CUP No. 00-16, and Plan Review No. 2023-11 to allow for the existing sit-down restaurant (Macallans Public House) to construct two new patios totaling in approximately 275 square feet, and expand the on-sale alcoholic beverage sales (Type 47- On-Sale General) into the adjacent 1,289-square-foot tenant suite at 332 West Birch Street and the two new outdoor patios areas, at that certain real property located at 330 West Birch Street, Suite 1, in the City of Brea, and further legally described as Assessor Parcel Number 296-376-18, as shown in the latest records of the County of Orange Assessor’s Office. For purposes of this Resolution, CUP No. 2023-12 and PR No. 2023-11 are collectively referred to herein as “the Project.”

(ii) Specifically, CUP No. 2023-12 would allow the expansion of on-sale alcoholic beverages services into the adjacent tenant suite and the two new outdoor patio areas.

(iii) The Project applicant is Douglas Vincent, 330 West Birch Street, Suite 1, Brea CA 92821.

(iv) The Project site is zoned Mixed-Use I (MU-I) and designated as Mixed Use I by the General Plan.

(v) On December 12, 2023, the Planning Commission held a duly noticed public hearing on the Project, during which it received and considered all evidence and testimony presented prior to adoption of this resolution.

(vi) All legal prerequisites to the adoption of this Resolution have occurred.

**B. RESOLUTION:**

**NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED** by the Planning Commission of the City of Brea, as follows:

1. In all respects as set forth in Recitals, Part A, of this Resolution.

2. The Project identified above in this Resolution has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines, and the environmental regulations of the City. The Project is categorically exempt from the requirements to prepare additional environmental documentation per CEQA Guidelines Section 15301. Class 1 is applicable to the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, involving negligible or no expansion of existing or former use. The Project is limited to construction of two small patio areas and the expansion of on-sale alcoholic beverages into the adjacent 1,289-square-foot space and new patio areas. Therefore, the Project is categorically exempt from the provisions of CEQA.

3. The Commission further finds in consideration of CUP No. 2023-12 as follows:

a. Finding: That the use applied for at the location set forth in the application is properly one for which a Conditional Use Permit is authorized.

Fact: The Project site is zoned MU-I, Mixed Use. Pursuant to Brea City Code (BCC) Table 20.11.020.A., sit-down restaurants are permitted uses within MU-I zone, while on-sale alcoholic beverage sales is subject to the review and approval of a conditional use permit.

b. Finding: The proposed Project, with conditions as imposed, is desirable for the development of the community, in harmony with the various elements or objectives of the General Plan, and not detrimental to existing uses or uses permitted in the zone.

Fact: The Project is located within an existing mixed-use pedestrian-oriented environment that offers opportunities for people to live, work, shop and recreate. Furthermore, the use of the site as a restaurant with alcohol sales is supported by General Plan Policy CD-4.1 in that it encourages exploration in economic and employment opportunities to diversify the business mix in Downtown Brea. The expansion of this space is an appropriate use of the existing building.

c. Finding: The site is adequate in size and shape to accommodate the proposed development and to accommodate the proposed use.

Fact: The Project will be located within an existing tenant space and is zoned MU-I, where restaurant uses are permitted by right. No expansion to the existing building is proposed, except for the two small outdoor patios, therefore the Project site will remain adequate in size and shape for the Project. Additionally, the Project is located within the Downtown Brea parking

district that will accommodate the parking demand for the proposed and existing uses.

d. Finding: The proposed site relates to streets and highways which are properly designed and improved to carry the type of quantity of traffic generated.

Fact: Vehicular access to the site will continue to be from Brea Boulevard and Imperial Highway, both of which are arterial streets. The Project is not anticipated to result in any traffic impacts to the adjacent uses because the expansion is limited in capacity and there is sufficient parking to accommodate the expansion. The street system in Downtown Brea has been designed to carry the quantity of traffic to the designated parking areas and structures.

e. Finding: That with the conditions stated in the permit, the use will not adversely affect the public, health, safety, or general welfare.

Fact: The Project involves a 1,289 square-foot expansion of an existing restaurant with alcohol sales and two new outdoor patios totaling approximately 275 square feet, and will function similarly to other restaurants in the mixed-use zone. The Project's outdoor areas will operate similarly to other existing restaurants with outdoor dining areas, and does not propose operations that will be harmful to the public health, safety, and welfare of the city. The Project does not include any additional entertainment as part of this request and the business is subject to compliance with the City's Noise Ordinance. The

project is required to meet all Fire codes and standards, thereby assuring the public health, safety, and welfare.

4. CUP No. 2023-12 is hereby approved, subject to the conditions of approval found in Exhibit A of this resolution, which supersedes all conditions of approval associated with original CUP 00-16 and the first amendment to the CUP 00-16.

5. The Secretary of this Commission shall certify to the adoption of this Resolution.

**ADOPTED AND APPROVED** this 12<sup>th</sup> day of December 2023.

---

Chair, Planning Commission

I, Joanne Hwang, Secretary to the Planning Commission of the City of Brea, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Brea held on the 12<sup>th</sup> day of December 2023, and was finally passed at a regular meeting of the Planning Commission of the City of Brea, held on the 12<sup>th</sup> day of December, 2023, by the following votes:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

ATTEST:

---

Secretary, Planning Commission

**(DRAFT) RESOLUTION NO. PC 2023-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BREA APPROVING PLAN REVIEW NO. 2023-11: TO ALLOW FOR NEW OUTDOOR PATIOS AT AN EXISTING SIT-DOWN RESTAURANT (MACALLANS PUBLIC HOUSE) LOCATED AT 330 WEST BIRCH STREET, SUITE 1**

(i) The Planning Commission of the City of Brea (the “Planning Commission”) did receive a verified petition for the approval of Conditional Use Permit (CUP) No. 2023-12, amending CUP No. 00-16, and Plan Review (PR) No. 2023-11 to allow for the existing sit-down restaurant (Macallans Public House) to construct two new outdoor patios totaling approximately 275 square feet, and expand the on-sale alcoholic beverage sales (Type 47- On-Sale General) into the adjacent 1,289-square-foot tenant suite at 332 West Birch Street and the two new outdoor patios areas, at that certain real property located at 330 West Birch Street, Suite 1, in the City of Brea, and further legally described as Assessor Parcel Number 296-376-18, as shown in the latest records of the County of Orange Assessor’s Office. For purposes of this Resolution, CUP No. 2023-12 and PR No. 2023-11 are collectively referred to herein as “the Project.”

(ii) Specifically, PR No. 2023-11 would allow the construction of two new outdoor patio areas.

(iii) The Project applicant is Douglas Vincent, 330 West Birch Street, Suite 1, Brea CA 92821.

(iv) The Project site is zoned Mixed-Use I (MU-I) and designated as Mixed Use I by the General Plan.

(v) On December 12, 2023, the Planning Commission held a duly noticed public hearing on the Project, during which it received and considered all evidence and testimony presented prior to adoption of this resolution.



(vi) All legal prerequisites to the adoption of this Resolution have occurred.

**B. RESOLUTION:**

**NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED** by the Planning Commission of the City of Brea, as follows:

1. In all respects as set forth in Recitals, Part A, of this Resolution.

2. The Project identified above in this Resolution has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines, and the environmental regulations of the City. The Project is categorically exempt from the requirements to prepare additional environmental documentation per CEQA Guidelines Section 15301. Class 1 is applicable to the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, involving negligible or no expansion of existing or former use. The Project is limited to construction of two small patio areas and the expansion of on-sale alcoholic beverages into the adjacent 1,289-square-foot space and new patio areas. Therefore, the Project is categorically exempt from the provisions of CEQA.

3. The Commission finds in consideration of PR No. 2023-11 as follows:

a. Finding: That the Project is in conformity with applicable provisions of Brea City Code and all requirements of law.

Fact: Exterior improvements to the expansion area include new paint and two patios approximately 275 square feet in area located on private property, adjacent to the sidewalk. The patios will be delineated with minimum three-foot tall railing that matches the existing patio wrought iron railing

and gates along Birch Street. The improvements are attractive and complimentary with the existing restaurant exterior and the Downtown Brea.

4. PR No. 2023-11 is hereby approved, subject to the conditions of approval found in Exhibit A of this resolution.

5. The Secretary of this Commission shall certify to the adoption of this Resolution.

**ADOPTED AND APPROVED** this 12<sup>th</sup> day of December 2023.

---

Chair, Planning Commission

I, Joanne Hwang, Secretary to the Planning Commission of the City of Brea, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Brea held on the 12<sup>th</sup> day of December 2023, and was finally passed at a regular meeting of the Planning Commission of the City of Brea, held on the 12<sup>th</sup> day of December, 2023, by the following votes:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

ATTEST:

---

Secretary, Planning Commission

**ATTACHMENT A OF RESOLUTION NO. 2023-XX  
CONDITIONAL USE PERMIT (CUP) NO. 2023-12**

**CONDITIONS OF APPROVAL**

CUP No. 2023-12 is hereby approved, subject to the conditions as set forth herein:

Planning Division – Community Development Department

1. Development and operations shall occur in substantial compliance with the plans and documents reviewed and approved by the Planning Commission on December 12, 2023, which include an operations breakdown, site plan, and floor plan on file with the Planning Division, the conditions contained herein and all applicable Federal, State, County and local regulations. The City Planner may approve minor modifications to the operations and approved project plans.
2. Conditions of approval contained herein shall supersede all previously approved conditions of approval by CUP No. 00-16 and CUP No. 20-14.
3. The Applicant shall prepare and submit a digital copy (suitable for archival storage) of the final plans and specifications to the Brea Planning Division prior to the issuance of any building permits for the Project.
4. The Applicant shall maintain a valid "Type 47" on-sale general license from the State Department of Alcoholic Beverage Control (ABC) for the on-site sales of general alcohol beverages in conjunction with an eating place and shall operate within all applicable State, County, and City regulations governing the sale and consumption of alcoholic beverages.
5. No one under the age of 21 shall be allowed in the area of the bar after 10:00 p.m.
6. No person under the age of 21 shall be allowed in speakeasy area.
7. The Applicant shall comply with the City's Noise Ordinance.
8. At all times when the premise is open for business, the premise shall be maintained as a bona fide restaurant and shall provide a menu containing an assortment of foods normally offered in such restaurant.
9. The Applicant shall hire private security guards to ensure that the patrons of the establishment, specifically the bar area, are of the legal drinking age and that no minors enter the bar area after 10:00 p.m.
10. Dedicated waitstaff shall serve alcoholic beverages in the outdoor patios. Guests shall not enter or exit the restaurant to the patios with their alcoholic beverages.

11. All outdoor patios shall be enclosed by a 3-foot-tall barrier.
12. The service of alcoholic beverages shall not be allowed outside designated dining areas. "No alcohol permitted beyond this point" signs shall be posted at the exits.
13. There shall be no exterior advertising or sign of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages and/or cigars.
14. There shall be no entertainment, amplified music or dancing permitted on the premise at any time unless the proper permits have been obtained from the City of Brea.
15. Smoking shall be limited only to the approved interior designated speakeasy area (CUP No. 20-14) and shall be prohibited in all other areas, including outdoor patio areas.
16. The Applicant is responsible for paying all charges related to the processing of the Project within 30 days of the issuance of the final invoice or prior to the issuance of building permits for the Project, whichever occurs first. Failure to pay all charges shall result in delays in the issuance of required permits or may result in the revocation of the approval of this application.
17. Any permit is subject to expiration and revocation as provided in Chapter 20.412.020, and said provisions are specifically made a part hereof without negating the applicability of any other provision of this title of any other ordinance.
18. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold the City, its elected officials, officers, contractors serving as City officers, agents, and employees ("Indemnitees") free and harmless from: (i) any and all claims, liabilities and losses whatsoever occurring or resulting to any and all persons, firms, entities, or corporations furnishing or supplying work, services, materials, or supplies in connection with, or related to, the performance of work or the exercise of rights authorized by approval of CUP No. 2023-12 and (ii) any and all claims, lawsuits, liabilities, and/or the granting or exercise of the rights authorized by said approval; and (iii) from any and all claims, liabilities and losses occurring or resulting to any person, firm, entity, corporation for property damage, personal injury, or death, arising out of or related to the approval of, or exercise of rights granted by, this permit. Applicant's obligation to indemnify, defend and hold the Indemnitees free and harmless as required hereinabove shall include, but is not limited to, paying all fees and costs incurred by legal counsel of the Indemnitee's choice in representing the Indemnitees in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorney's fees in any such lawsuit or action.

## Building and Safety Division – Community Development Department

19. All designs shall comply with the Codes adopted at the time of permit submittal. Currently the 2022 California Building, Mechanical, Electrical, Plumbing, Cal Green, Energy, Fire Codes, ISPSC, City of Brea Municipal Code, City of Brea & CA state ordinances.
20. Any code deviations will require submittal of Alternative method or Modification request. Applicable code sections and alternatives are required with complete justification for request.
21. A Certificate of Occupancy shall be submitted as part of the restaurant expansion, also noting a change of occupancy to A-2.
22. A building permit is required for the change of occupancy, the interior wall construction, installation of the patio fencing and gates, and dining seating.
  - a. Pursuant to California Building Code (CBC) 2022 Section 1016.2, egress from a room or space shall not pass through adjoining rooms.
  - b. Pursuant to CBC 2022 Sections 1028.2 & 1028.5, an occupant load over 49 requires two exits.
23. Prior to building permit issuance, OC Health Agency approval is required and approval shall be pasted on the construction documents.
24. Full accessibility requirements will be reviewed at the time of permit submittal, including, but not limited to, bathrooms, entrances, counters and doorways.
25. The Applicant shall maintain a smoke ventilation system within the interior area of the speakeasy. The smoke ventilation system shall be regularly serviced and maintained to prevent any smoke from spilling out into the public right of way.
26. All plans must be submitted electronically, and shall include full construction documents, structural calculations, Title 24, and fire and life safety analysis with proposed occupant loads.
27. A minimum of 65% of construction and demolition material are required to be recycled during demolition and construction. A contract with Brea disposal or other proof of recycling must be submitted prior to issuance of building permits.
28. Additional requirements may be imposed when the project is submitted for Building & Safety Department plan check review and approval. Full project review shall be conducted when complete construction documents are submitted to the Building & Safety division.

#### Public Works Department

29. A City of Brea Public Works Encroachment Permit application shall be obtained prior to any construction or construction staging within the public right-of-way or within existing public easement areas.

#### Fire Department

30. Any tenant improvement that impacts the fire alarm system shall be submitted to the Brea Fire Department for review and approval.
31. Additional requirements may be imposed when the project is submitted for fire department plan check review and approval.

#### Police Department

32. Prior to the issuance of the Certificate of Occupancy, submit a security policy and procedures plan for review and approval by the Planning Division and Police Department. Detail existing and proposed security procedures and practices for serving alcoholic beverages responsibly and addressing intoxicated behavior.

**ATTACHMENT A OF RESOLUTION NO. 2023-XX  
PLAN REVIEW (PR) NO. 2023-11**

**CONDITIONS OF APPROVAL**

PR No. 2023-11 is hereby approved, subject to the conditions as set forth herein:

Planning Division – Community Development Department

1. Development and operations shall occur in substantial compliance with the plans and documents reviewed and approved by the Planning Commission on December 12, 2023, which include an operations breakdown, site plan, and floor plan on file with the Planning Division, the conditions contained herein and all applicable Federal, State, County and local regulations. The City Planner may approve minor modifications to the operations and approved project plans.
2. The Applicant shall prepare and submit a digital copy (suitable for archival storage) of the final plans and specifications to the Brea Planning Division prior to the issuance of any building permits for the Project.
3. The Applicant shall comply with the City's Noise Ordinance.
4. All outdoor patios shall be enclosed by a three-foot-tall barrier.
5. All exterior signage shall comply with the Signage Design Criteria for Downtown Brea on file with the City of Brea Planning Division.
6. There shall be no entertainment, amplified music or dancing permitted on the premise at any time unless the proper permits have been obtained from the City of Brea.
7. The Applicant is responsible for paying all charges related to the processing of the Project within 30 days of the issuance of the final invoice or prior to the issuance of building permits for the Project, whichever occurs first. Failure to pay all charges shall result in delays in the issuance of required permits or may result in the revocation of the approval of this application.
8. Any permit is subject to expiration and revocation as provided in Chapter 20.412.020, and said provisions are specifically made a part hereof without negating the applicability of any other provision of this title of any other ordinance.
9. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold the City, its elected officials, officers, contractors serving as City officers, agents, and employees ("Indemnitees") free and harmless from: (i) any and all claims, liabilities and losses whatsoever occurring or resulting to any and all persons, firms, entities, or corporations furnishing or supplying work, services,

materials, or supplies in connection with, or related to, the performance of work or the exercise of rights authorized by approval of PR No. 2023-11 and (ii) any and all claims, lawsuits, liabilities, and/or the granting or exercise of the rights authorized by said approval; and (iii) from any and all claims, liabilities and losses occurring or resulting to any person, firm, entity, corporation for property damage, personal injury, or death, arising out of or related to the approval of, or exercise of rights granted by, this permit. Applicant's obligation to indemnify, defend and hold the Indemnitees free and harmless as required hereinabove shall include, but is not limited to, paying all fees and costs incurred by legal counsel of the Indemnitee's choice in representing the Indemnitees in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorney's fees in any such lawsuit or action.

#### Building and Safety Division – Community Development Department

10. All designs shall comply with the Codes adopted at the time of permit submittal. Currently the 2022 California Building, Mechanical, Electrical, Plumbing, Cal Green, Energy, Fire Codes, ISPSC, City of Brea Municipal Code, City of Brea & CA state ordinances.
11. Any code deviations will require submittal of Alternative method or Modification request. Applicable code sections and alternatives are required with complete justification for request.
12. A building permit is required for the installation of the patio fencing and gates.
13. Project shall fully comply with accessibility (ADA) requirements as prescribed on California Building Code 2022 Chapter 11B, including exterior patios.
14. Exterior patios shall not encroach into the sidewalk path of travel. Patio gates shall not swing into the path of travel.
15. A minimum of 65% of construction and demolition material shall be recycled during demolition and construction. A contract with Brea disposal or other proof of recycling must be submitted prior to issuance of building permits.
16. Additional requirements may be imposed when the project is submitted for Building & Safety Department plan check review and approval. Full project review shall be conducted when complete construction documents are submitted to the Building & Safety division.

#### Public Works Department

17. The Applicant shall be responsible for maintaining the existing exterior hardscape in a clean and orderly state at all times.



18. All existing public utilities and infrastructure located within the public right-of-way or within existing easements are to be protected in place.
19. The Applicant shall be responsible to construct and/or reconstruct damaged or interfered with portions of public improvements to the satisfaction of the City Engineer.
20. A City of Brea Public Works Encroachment Permit application shall be obtained prior to any construction or construction staging within the public right-of-way or within existing public easement areas.

## RESOLUTION NO. PC 00-41

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BREA  
APPROVING CONDITIONAL USE PERMIT APPLICATION NO. CUP 00-16,  
SUBJECT TO CONDITIONS AS SET FORTH HEREIN.****A. Recitals.**

(i). The Planning Commission of the City of Brea has heretofore held a duly noticed public hearing, as required by law, on Conditional Use Permit No. CUP 00-16, a request to provide general alcohol beverage service at a restaurant, in the Brea Towne Plaza Specific Plan zone.

(ii). The project applicant is Perry Johnson of Phat City Entertainment.

(iii). The subject property is located at 330 West Birch Street in the City of Brea and is legally described as a portion of Parcel 8 of Parcel Map 300-45, as shown in the latest records of the County of Orange.

(iv). The property is zoned BTPSP, Brea Towne Plaza Specific Plan, and has a General Plan land use designation of Specific Plan.

(v). All legal prerequisites to the adoption of this Resolution have occurred.

**B. Resolution.** NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED by the Planning Commission of the City of Brea, as follows:

1. In all respects as set forth in Recitals, Part A, of this Resolution.
2. The Planning Commission hereby finds that the project identified above in this Resolution is categorically exempt from the requirements of the California Environmental Quality Act of 1970, as amended, and the Guidelines promulgated thereunder pursuant to Section 15061.b.3 of Division 6 of Title 14 of the California Code of Regulations.
3. It is hereby found that the use applied for at the location set forth in the application is authorized by the Brea Zoning Ordinance, as amended. On-sale general alcohol beverage service at a public premise is permitted with approval of a Conditional Use Permit.
4. It is further found that said use with conditions as imposed is desirable for the development of the community, is in harmony with the various elements and objectives of the

General Plan and is not detrimental to existing uses or to uses specifically permitted in the zone in which the proposed use is to be located. All requirements of the State Alcoholic Beverage Control Office will be observed.

5. It is hereby found that the site is adequate in size and shape to accommodate the proposed use. The revised parking study (Attachment 1) concludes that no significant parking impacts will occur.

6. It is found that the proposed site relates to streets and highways which are properly designed and improved to carry the type and quantity of traffic generated or to be generated by the proposed use. Primary access to the downtown Brea area is provided from fully improved, major arterial streets.

7. It is found that with the conditions stated below, the use will not adversely affect the public health, safety, or general welfare. This project is exempt from further environmental review, consistent with CEQA guidelines.

8. It is found that pursuant to subdivision (b) (2) of Section 23958.4 of the Business and Professions Code that a public convenience or necessity would be served by the issuance of a license for the proposed use. The proposed sports bar will have live entertainment, arcade games, and pool tables, which are unique features. There are no other similar establishments in the area.

9. The Planning Commission finds that facts supporting the above-specified findings are contained in the staff report and exhibits, and the information provided to the Commission during the public hearing conducted with respect to the application.

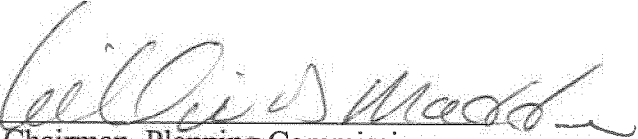
10. It is found that Conditional Use Permit Application No. CUP 00-16 is hereby approved, subject to conditions as set forth herein:

- (a) Development shall occur in substantial conformance with the plans submitted to the Planning commission and dated December 12, 2000, which includes a floor plan on file in the Planning Division, the conditions contained herein, and all applicable City regulations.
- (b) The applicant shall obtain a "Type 48" on-sale general license from the State Department of Alcoholic Beverage Control for the on-site sale of general alcohol beverages.

- (c) The approved use shall operate within all applicable State, County, and City regulations governing the sale and consumption of alcoholic beverages.
- (d) Any violation of the regulations of the Department of Alcoholic Beverage Control, as they pertain to the subject location and the sale and consumption of alcoholic beverages or any conditions of approval as contained in this resolution, may result in the revocation of the subject Conditional Use permit, as provided for in Section 20.412.020 of the Brea Zoning Code.
- (e) Service of alcoholic beverages shall not be allowed outside the bar area, specifically, no alcohol shall be allowed in the "game area" until 10 pm. "No alcohol permitted beyond this point" signs shall be posted at the exits.
- (f) A separate entry for minors into the game area shall be used until 10 pm at which time it will be closed and used only as an emergency exit.
- (g) The applicant shall hire private security guards to ensure that the patrons of the sports bar are of the legal drinking age and that no minors enter the bar area from the designated "game area".
- (h) No one under the age of 21 shall be allowed in any area of the sports bar after 10 pm.
- (i) The applicant shall comply with the City's Noise Ordinance.
- (j) Prior to obtaining building permits for any tenant improvements an acoustical engineer hired by the applicant must show that the Uniform Building Code requirement can be met relating to noise from commercial use to residential use.
- (k) The applicant shall sign a notarized affidavit within ten (10) days after adoption of this Resolution indicating acceptance of all Conditions of Approval.

11. The secretary of this Commission shall certify to the adoption of this Resolution.

ADOPTED AND APPROVED this 12<sup>th</sup> day of December 2000.

  
Chairman, Planning Commission

**Resolution No. 00-41**

**Page 4**

**Applicant: Perry Johnson**

**Conditional Use Permit No. CUP 00-16**

I, David M. Crabtree, Secretary to the Planning commission of the City of Brea, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Brea held on the 12<sup>th</sup> day of December, 2000, and was finally passed at a regular meeting of the Planning Commission of the City of Brea, held on the 12<sup>th</sup> day of December, 2000, by the following votes:

AYES: COMMISSIONERS: MADDEN, GARCIA, PRENOVOST,  
SCHWEITZER

NOES: COMMISSIONERS: NONE

ABSENT: COMMISSIONERS: CREAGH

ABSTAIN: COMMISSIONERS: NONE

ATTEST:



Secretary, Planning Commission

**RESOLUTION NO. 2020-21**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BREA APPROVING AN AMENDMENT TO CONDITIONAL USE PERMIT NO. CUP 00-16 TO ALLOW AN EXPANSION TO AN EXISTING RESTAURANT WITH ALCOHOLIC BEVERAGE SALES AT 330 WEST BIRCH STREET, IN THE MU-I (MIXED USE) ZONE. (TRACKING NO. CONDITIONAL USE PERMIT NO. CUP 20-14)**

**A. RECITALS:**

(i) The Planning Commission of the City of Brea has heretofore held a duly noticed public hearing, as required by law, on Conditional Use Permit No. 20-14 (CUP 20-14). This resolution amends CUP NO. 00-16, and allows the existing restaurant to expand into an adjacent 644 square-foot tenant space; to create a new 177 square-foot outdoor dining area adjacent to the proposed expansion (patio expansion A); to expand the existing outdoor dining area adjacent to the restaurant by 160 square-feet (patio expansion B) (Project).

(ii) The subject property is located at 330 West Birch Street and further legally described as Assessor Parcel No. 296-376-16, as shown in the latest records of the County of Orange Assessor's Office.

(iii) The Project applicant is Douglas Vincent, 2420 East McKittrick Place, Brea, CA 92821.

(iv) The property is zoned MU-I, Mixed Use, and designated as Mixed Use I in the General Plan Land Use element.

(v) All legal prerequisites to the adoption of this Resolution have occurred.

(vi) To the fullest extent permitted by law, the applicant shall indemnify, defend and hold the City, its elected officials, officers, contractors serving as City officers, agents, and employees ("Indemnitees") free and harmless from: (i) any and all claims,

liabilities and losses whatsoever occurring or resulting to any and all persons, firms, entities, or corporations furnishing or supplying work, services, materials, or supplies in connection with, or related to, the performance of work or the exercise of rights authorized by approval of this permit; and (ii) any and all claims, lawsuits, liabilities, and/or actions arising out of, or related to the approval of this Conditional Use Permit and/or the granting or exercise of the rights authorized by said approval; and (iii) from any and all claims, liabilities and losses occurring or resulting to any person, firm, entity, corporation for property damage, personal injury, or death, arising out of or related to the approval of, or exercise of rights granted by, this Conditional Use Permit.

Applicant's obligation to indemnify, defend, and hold the Indemnitees free and harmless as required hereinabove shall include, but is not limited to, paying all fees and costs incurred by legal counsel of the Indemnitees' choice in representing the Indemnitees in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.

**B. RESOLUTION:**

**NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED** by the Planning Commission of the City of Brea, as follows:

1. In all respects as set forth in Recitals, Part A, of this Resolution.
2. The Project identified above in this Resolution has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines, and the environmental regulations of the City. Upon review, the Project qualifies for a Class 1

Categorical Exemption (Existing Facilities) in accordance with the requirements of Section 15301 of the CEQA Guidelines. This exemption is applicable to the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, involving negligible or no expansion of existing or former use. Therefore, the Planning Commission finds the Project exempt from the environmental review requirements of CEQA.

3. The Commission further finds in consideration of CUP No. 20-14 as follows:

a. Finding: That the use applied for at the location set forth in the application is one for which a CUP is authorized by this title.

Fact: The Project site is zoned MU-I, Mixed Use. Pursuant to Code Section 20.258.010.F, restaurants with alcohol sales are permitted uses subject to the review and approval of a CUP. The restaurant will maintain a valid "Type 48" on-sale general license from the State Department of Alcoholic Beverage Control (ABC) for the on-site sales of general alcohol beverages and shall operate within all applicable State, County, and City regulations governing the sale and consumption of alcoholic beverages.

b. Finding: The proposed Project, with conditions as imposed, is desirable for the development of the community, in harmony with the various elements or objectives of the General Plan, and not detrimental to existing uses or uses permitted in the zone.

Fact: The Project is located within an existing mixed-use pedestrian oriented environment that offers opportunities for people to live, work,



shop and recreate. Furthermore, the use of the site as a restaurant with alcohol sales is supported by General Plan Policy CD-4.1 in that it encourages exploration in economic and employment opportunities to diversify the business mix in Downtown Brea. The expansion of this space is an appropriate use of the existing building.

c. Finding: The site is adequate in size and shape to accommodate the proposed development and to accommodate the proposed use.

Fact: The Project will be located within an existing tenant space and is zoned MU-I, where restaurant uses are permitted by right. No expansion to the existing building is proposed, therefore the site will remain adequate in size and shape for the Project. Additionally, the Project is located within the Downtown Brea parking district that will accommodate the parking demand for the proposed and existing uses.

d. Finding: The proposed site relates to streets and highways which are properly designed and improved to carry the type of quantity of traffic generated.

Fact: Vehicular access to the site will continue to be from South Brea Boulevard and Imperial Highway, both of which are arterial streets. The Project is not anticipated to result in any traffic impacts to the adjacent uses because the expansion is limited in capacity and there is sufficient parking to accommodate the expansion. The street system in Downtown Brea has been

designed to carry the quantity of traffic to the designated parking areas and structures.

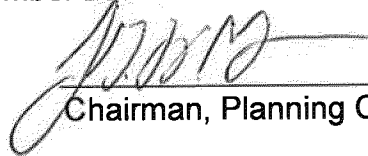
e. Finding: That with the conditions stated in the permit, the use will not adversely affect the public, health, safety, or general welfare.

Fact: The Project involves a 644 square-foot expansion to an existing restaurant with alcohol sales, and will function similarly to other restaurants in the mixed-use zone. The Project's outdoor areas will operate similarly to other existing restaurants with outdoor dining areas, and does not propose operations that will be harmful to the public health, safety, and welfare of the city. The Project does not include any entertainment as part of this request and the business is subject to compliance with the City's Noise Ordinance. The project is required to meet all Fire codes and standards, thereby assuring the public health, safety, and welfare.

4. CUP No. CUP 20-14 is hereby approved, subject to conditions as set forth in Attachment B (Conditions of Approval).

5. The Secretary of this Commission shall certify to the adoption of this Resolution.

**ADOPTED AND APPROVED** this 8<sup>th</sup> day of December 2020.

  
\_\_\_\_\_  
Chairman, Planning Commission

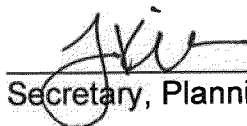
I, Jason Killebrew, Secretary to the Planning Commission of the City of Brea, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Brea held on the 8<sup>th</sup> day of December 2020 and was finally passed at a regular meeting of the Planning Commission of the City of Brea, held on the 8<sup>th</sup> day of December 2020, by the following votes:

AYES: COMMISSIONERS: McGrade, Brattain, Schlotterbeck, Barnes-Ramos, Phu

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

ATTEST:   
\_\_\_\_\_  
Secretary, Planning Commission

**AMENDMENT TO CONDITIONAL USE PERMIT NO. 00-16**

**(CONDITIONAL USE PERMIT NO. CUP 20-14)**

**CONDITIONS OF APPROVAL**

Conditional Use Permit No. CUP 20-14 is hereby approved, subject to conditions as set forth herein:

- a. The Applicant shall maintain a valid "Type 48" on-sale general license from the State Department of Alcoholic Beverage Control (ABC) for the on-site sales of general alcohol beverages and shall operate within all applicable State, County, and City regulations governing the sale and consumption of alcoholic beverages.
- b. The Project shall comply with the conditions contained herein and all applicable Federal, State and City regulations.
- c. Any violation of the regulations of ABC, as they pertain to the Project location and the sale and consumption of alcoholic beverages or any conditions of approval as contained in this resolution, may result in the revocation of this CUP, as provided for in Section 20.412.020 of the Brea Municipal Code.
- d. Service of alcoholic beverages shall not be allowed outside of the bar area, specifically, no alcohol shall be allowed in the 'game area' until 10:00 p.m. "No alcohol permitted beyond this point" signs shall be posted at the exits.
- e. A separate entry for minors into the game area shall be used until 10:00 p.m. at which time it will be closed and used only as an emergency exit.
- f. The Applicant shall hire private security guards to ensure that the patrons of the establishment, specifically the bar area, are of the legal drinking age and that no minors enter the bar area from the designated 'game area'.
- g. No one under the age of 21 shall be allowed in the area of the bar after 10:00 p.m. No person under the age of 21 shall be allowed in speakeasy area.
- h. The Applicant shall comply with the City's Noise Ordinance.

- i. Business operations shall occur in substantial conformance with the plans and project description as approved by the Planning Commission on December 8, 2020, on-file in the Planning Division.
- j. At all times when the premise is open for business, the premise shall be maintained as a bona fide restaurant and shall provide a menu containing an assortment of foods normally offered in such restaurant
- k. There shall be no exterior advertising or sign of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages and cigars.
- l. All exterior signage shall comply with the Signage Design Criteria for Downtown Brea on file with the City of Brea Planning Division.
- m. There shall be no entertainment, amplified music or dancing permitted on the premise at any time unless the proper permits have been obtained from the City of Brea.
- n. Smoking shall be limited only to the approved interior designated speakeasy area and shall be prohibited in any outdoor patio area.
- o. The applicant shall install a smoke ventilation system within the interior area of the speakeasy.
- p. The smoke ventilation system shall be regularly serviced and maintained to prevent any smoke from spilling out into the public right of way.
- q. Plans shall be submitted to Building & Safety and permit shall be obtained prior to occupancy.
- r. Proposed occupancy increase shall comply with exit, disabled access and restroom fixtures per the CA Code adopted at time of permit review/issuance.
- s. If the proposed awning is 4 feet wide or greater, then fire sprinklers will be required. The addition or relocation of any fire sprinklers will require plans to be submitted by a licensed fire protection contractor (C-16) to the Brea Fire Department for review and approval.
- t. Any tenant improvement that impacts the fire alarm system shall be submitted to the Brea Fire Department for review and approval.
- u. Additional requirements may be imposed when the project is submitted for fire department plan check review and approval.

- v. CUP No. 20-14 shall supersede all previously approved conditions of approval by CUP No. 00-16.
- w. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold the City, its elected officials, officers, contractors serving as City officers, agents, and employees ("Indemnitees") free and harmless from: (i) any and all claims, liabilities and losses whatsoever occurring or resulting to any and all persons, firms, entities, or corporations furnishing or supplying work, services, materials, or supplies in connection with, or related to, the performance of work or the exercise of rights authorized by approval of this permit; and (ii) any and all claims, lawsuits, liabilities, and/or actions arising out of, or related to the approval of this Conditional Use Permit and/or the granting or exercise of the rights authorized by said approval; and (iii) from any and all claims, liabilities and losses occurring or resulting to any person, firm, entity, corporation for property damage, personal injury, or death, arising out of or related to the approval of, or exercise of rights granted by, this Conditional Use Permit. Applicant's obligation to indemnify, defend, and hold the Indemnitees free and harmless as required hereinabove shall include, but is not limited to, paying all fees and costs incurred by legal counsel of the Indemnitees' choice in representing the Indemnitees in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.

## STATEMENT OF DECISION

### **A. Recitals**

(i) Tammy Vincent on behalf of Twenty Four Hospitality Group, Applicant herein, operating as Macallan's Public House, has applied for an Entertainment Permit pursuant to Brea City Code ("B.C.C.") Chapter 5.228, requesting live entertainment of trivia nights, solo performance and small ensembles inside the existing restaurant located at 330 West Birch Street, Brea, California.

(ii) On November 21, 2023, a duly noticed Public Hearing was held before the Hearing Officer to consider the granting or denial of said Entertainment Permit.

(iii) An investigation concerning the facts set forth in the application has been conducted by the Hearing Officer, or his designee, and the Brea Police Department.

(iv) All legal prerequisites to the entry of this Statement of Decision have occurred.

### **B. Statement of Decision.**

NOW, THEREFORE, I, PHIL RODRIGUEZ, of the City of Brea and the duly authorized hearing officer pursuant to Chapter 5.228, do hereby find and determine as follows:

1. All of the facts set forth in the Recitals, Part A, of this Statement of Decision are true and correct.

2. Based upon substantial evidence presented during the required public hearing, including the application, written staff reports, verbal testimony, and all

documents which are part of the record herein, it is specifically found and determined, subject to compliance with the findings hereinafter imposed, as follows:

a. The granting of the Permit, as requested in the application, and subject to findings herein, will not be contrary to the public health, safety or welfare;

b. The premises and/or establishment where entertainment is proposed to be conducted is not likely to be operated in an illegal, improper or disorderly manner;

c. Neither the applicant, nor any person associated with the applicant as principal or partner, or in a position or capacity involving either partial or total control over the conduct of the business, has been convicted of any of the crimes specified in BCC § 5.228.280C;

d. The granting of the application will not create a public nuisance;

e. The provisions of entertainment, as conditioned herein, will not interfere with the peace and quiet of any surrounding businesses or neighborhoods; and

f. No false, misleading or fraudulent statement of material fact has been made in the required application.


3. Based upon the substantial evidence and conclusions set forth hereinabove, the application for an Entertainment Permit is hereby approved for a period of one year and shall expire on November 21, 2024. Said Entertainment Permit is subject to the findings set forth in Exhibit A attached hereto and by this reference incorporated herein. Said findings are necessary to protect the public health, safety and



general welfare, are reasonable and proper, and are in accordance with the intent and purposes of Chapter 5.228.

4. Notice is hereby given to the representative and applicant, and any and all persons involved in the operation of the premises for which this Entertainment Permit is granted, that this Permit may be suspended or revoked pursuant to the provisions of BCC § 5.228.340.

ADOPTED AND APPROVED this November 21, 2023.

  
\_\_\_\_\_  
Phil Rodriguez  
Hearing Officer

## **TECHNICAL BACKGROUND**

<b>Case No:</b>	Conditional Use Permit (CUP) No. 2023-12, Plan Review (PR) No. 2023-11
<b>Property Location:</b>	330 West Birch Street, Suite 1
<b>Parcel Size:</b>	12,880 square feet (0.30 acres)
<b>Restaurant Size:</b>	4,900 Square Feet
<b>Applicant:</b>	Douglas Vincent 330 West Birch Street Brea, CA 92821
<b>General Plan Designation:</b>	Mixed Use I
<b>Zoning Designation:</b>	Mixed-Use I (MU-I)
<b>Adjacent Zoning</b>	
<b>North:</b>	MU-I ( <i>across Birch Street</i> )
<b>South:</b>	General Commercial (C-G)
<b>West:</b>	C-G and Commercial Industrial (C-M) ( <i>across the flood control channel</i> )
<b>East:</b>	MU-I
<b>Site and Neighborhood Characteristics:</b>	The Project site is located on the south side of the intersection of Birch Street and Madrona Avenue, at 330 West Birch Street, Suite 1. The site is surrounded by various commercial uses with Downtown Brea.
<b>Public Hearing Notices and Outreach:</b>	Legal Notice was published in the Brea Star Progress on November 30, 2023, and approximately 90 notices were sent to all property owners within a 500-foot radius of the subject property.



## SUBJECT PROPERTY AND VICINITY MAP

DATE: December 12, 2023

CASE NOS:

ACCELA RECORD NO. PLN-2023-00072

CONDITIONAL USE PERMIT (CUP) NO. 2023-12

PLAN REVIEW (PR) NO. 2023-11

# PLANS TITLE PAGE

DATE OF (Initial) SUBMISSION: 10/17/2023

DATE OF COMMENT LETTER **RE-SUBMISSION: 11/21/2023**

ACCELA RECORD NUMBER: PLN-2023-00072

TWENTY FOUR HOSPITALITY GROUP LLC

DBA MACALLANS PUBLIC HOUSE

330 W. BIRCH STREET, BREA CA 92821

SUBJECT: 1<sup>st</sup> Comment Letter: Conditional Use Permit No. 2023-12 – Nine Social Expansion at Macallans Public House at 330 West Birch Street, Brea, CA 92821

APN 296-376-18 / P-BOOK 300 / PAGE 45 / PAR 8

ZONING MIXED-USE I (MU-I) / REQUESTED ENTITLEMENT CUP 2023-12

REQUESTED LICENSE TYPE FOR THE PROPOSED ALCOHOL EXPANSION IS TYPE 47 FOR ON-SITE GENERAL, ISSUED TO RESTAURANTS. FOOD SERVICE WILL BE AVAILABLE IN ALL AREAS THAT ALCOHOLIC BEVERAGES ARE SERVED DURING ALL OPERATING HOURS.

## SCOPE OF WORK:

CUP AMENDMENT TYPE 47 FLOORPLAN EXPANSION / PRIVATE DINING

CUP AMENDMENT SPACE WAS PREVIOUSLY (ALTHOUGH YEARS PRIOR TENANCY) AMENDED TYPE 47 CONDITIONAL USE, THEN BECAME AN ON-LINE SCHOOL, MOST RECENTLY A GYM/SPA HEALTH AND FITNESS FACILITY.

## ARCHITECT:

Carl P Ludwig

American Drafting & Design

101 S. Kraemer Blvd, Suite 100

Placentia, CA 92870

Phone 714-340-5114

[americandrafter@gmail.com](mailto:americandrafter@gmail.com)

CONTACT: TAMMY VINCENT / [TAMMY@MACALLANSPUB.COM](mailto:TAMMY@MACALLANSPUB.COM) / 949-899-7661

## ALCOHOL BEVERAGE COMMISSION/ORANGE COUNTY CALIFORNIA

ALCOHOL CONSUMPTION FOR PREMISE ROOM EXPANSION CONDITIONS MET BY BUSINESS OWNER WITH THE EXCEPTION OF THE CUP TYPE 47 AMENDMENT FROM BREA CITY PLANNING DEPARTMENT.

**PUBLIC NOTIFICATION PACKET:** A map and addressing information for all properties within a 500 foot radius of the subject parcel. Public notification packet completed and included with this re-submission. Electronic copy emailed on 11/21/2023, hard copy labels and data dropped off at City on 11/21/2023.

**Public Notification packet completed by:**

Donna Scales

Donna's Radius Maps

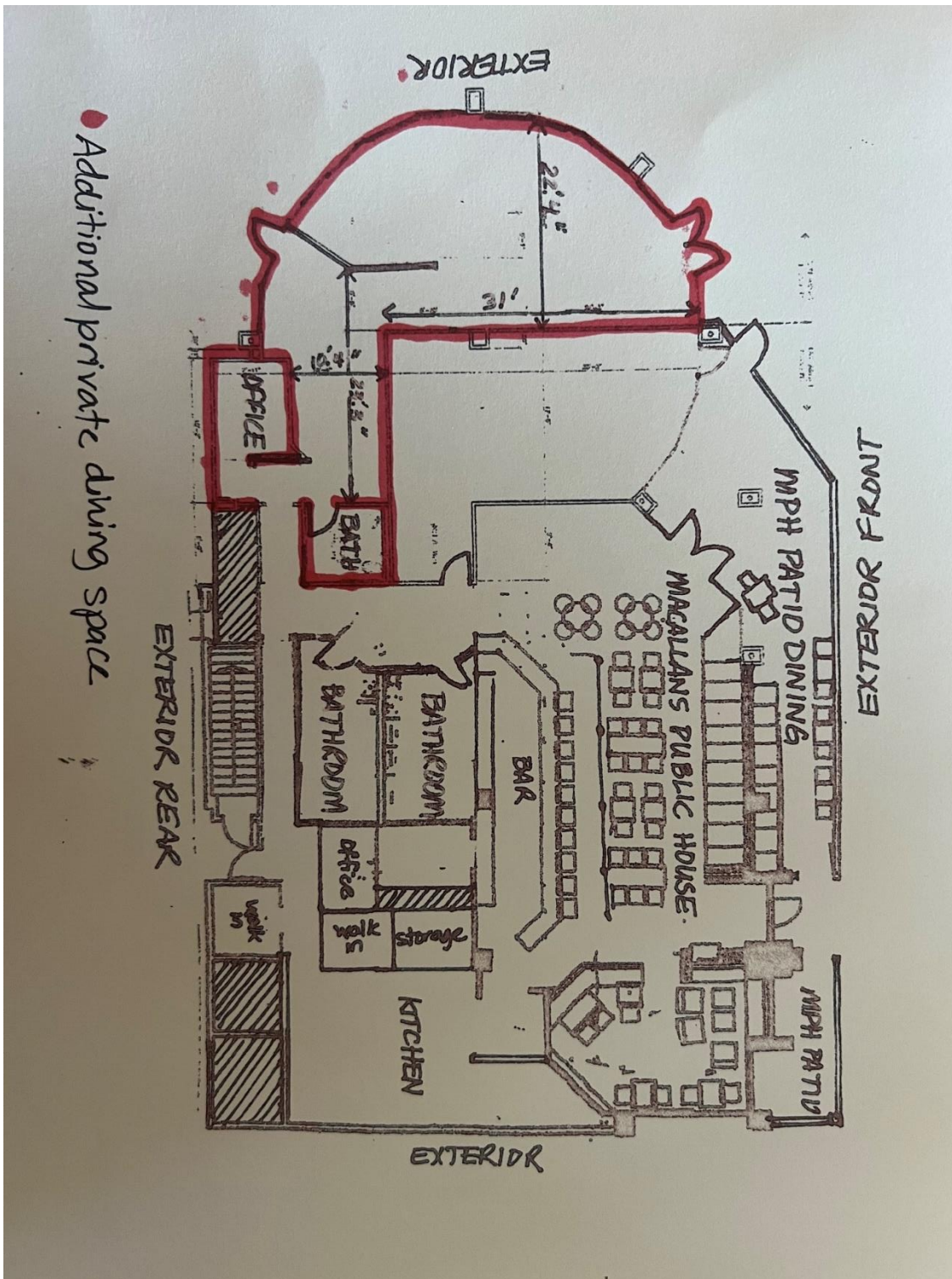
684 S. Gentry Lane

Anaheim, CA 92807

Phone: 714-921-2921

Email: ddradiusmaps@sbcglobal.net





Additional private dining space

### FULL RESTAURANT FLOOR PLAN:

We do not have access to the original full restaurant floorplan. It is recorded with the City and should be available in the City archives. Per Jessica Newton/Senior Planner on this project, original full restaurant floor plan was an (if available) project specific comment and is not a requirement of the re-submission.

## **ROOM EXPANSION/PRIVATE DINING PROJECT NARRATIVE:**

TWENTY FOUR HOSPITALITY GROUP LLC, DBA MACALLANS PUBLIC HOUSE LOCATED AT 330 W BIRCH STREET IN BREA, CA WILL BE EXPANDING THEIR FULL SERVICE RESTAURANT PUB TO INCLUDE AN ADDITIONAL APPROXIMATE 770 SF PRIVATE DINING AREA. DIMENSIONS OF THE ROOM ARE APPROXIMATELY 22' BY 35'. THE ROOM CURRENTLY EXISTS AND IS CURRENTLY CONTIGUOUS TO OUR EXISTING FULL-SERVICE RESTAURANT BUSINESS. WHEN THE PREVIOUS TENANCY WAS RELOCATED ACROSS THE STREET, WE WERE ABLE TO SECURE THE SPACE WITH OUR LANDLORD AND SIGN THE LEASE FOR THE SPACE. THE INTEREST IN ADDING TO OUR EXISTING FOOTPRINT IS TO PROVIDE A PRIVATE DINING ROOM FOR OUR GUESTS AND, ON OCCASION, UTILIZE THE ADDITIONAL SEATING FOR MAIN DINING AREA OVERFLOW. THE PRIVATE DINING SPACE HAS ITS OWN DOUBLE ENTRY FRONT DOOR FROM THE SIDEWALK ON BIRCH STREET AS WELL AS A SINGLE ENTRY/EXIT DOOR IN THE REAR OF THE SPACE TO THE BACK ALLEY/EMERGENCY EXIT.

THERE IS CURRENTLY A FULL SERVICE GENDER NEUTRAL BATHROOM WITHIN THE ADDITIONAL SPACE USED BY ALL PREVIOUS TENANCIES. THIS BATHROOM IS READILY ACCESSIBLE AND WILL SERVICE THE PRIVATE DINING SPACE GUESTS. PRIVATE DINING SPACE GUESTS MAY ALSO STILL READILY ACCESS THE MACALLANS PUBLIC HOUSE MAIN DINING RESTROOMS AS WELL SHOULD THEY DESIRE TO DO SO. THEY CAN ACCESS THE ADDITIONAL MAIN DINING AREA RESTROOMS VIA THE HALLWAY ADJACENT TO THE EXISTING BATHROOM WITHIN THE NINE SOCIAL DINING SPACE OR THEY MAY ACCESS THE MACALLANS PUBLIC HOUSE ADDITIONAL RESTROOMS VIA THE MACALLANS PUBLIC HOUSE PATIO ADJACENT TO THE NINE SOCIAL FRONT DOORS. THIS MAY BE ESPECIALLY USEFUL FOR THE PATIO DINERS AT NINE SOCIAL AS ACCESS TO THE MACALLANS PUBLIC HOUSE RESTROOMS ARE EASILY ACCESSIBLE THROUGH THE MACALLANS PUBLIC HOUSE PATIO DOORS.

THE PRIVATE DINING SPACE WILL BE COSMETICALLY UPDATED IN A VINTAGE FRENCH DINING STYLE. THE ADDITIONAL DINING SPACE IS BEING COSMETICALLY UPDATED IN ITS CURRENT STRUCTURE WITH NO STRUCTURAL MODIFICATIONS NEEDED. THERE ARE NO ELECTRICAL OR PLUMBING MODIFICATIONS NEEDED OR COMPLETED. WE ARE USING ALL EXISTING FIXTURES AS IS.

WE WILL BE ADDING TABLES AND CHAIRS TO THE SPACE WITH A ROOM CAPACITY OF APPROXIMATELY 35. APPROPRIATE ADA ACCOMMODATION WILL BE MADE ONCE TABLES ARE CONFIGURED IN THE SPACE AS IS TRUE WITHIN MACALLANS PUBLIC HOUSE MAIN DINING. THE BATHROOM IS ALREADY ADA ACCESSIBLE AS WAS TRUE FOR ALL PRIOR TENANCIES.

THE SPRINKLER SYSTEM AND ALL EMERGENCY FIRE LIGHTING AND SIGNAGE WAS APPROVED FOR PRIOR TENANCY AND REMAINS IN PLACE AND IN FULL WORKING ORDER.

## **PREVIOUS TENANCY**

CIRKELFIT, GYM, HEALTH SPA FACILITY. VACATED.

PREVIOUS TENANCY INTERIOR/EXTERIOR PHOTOS:









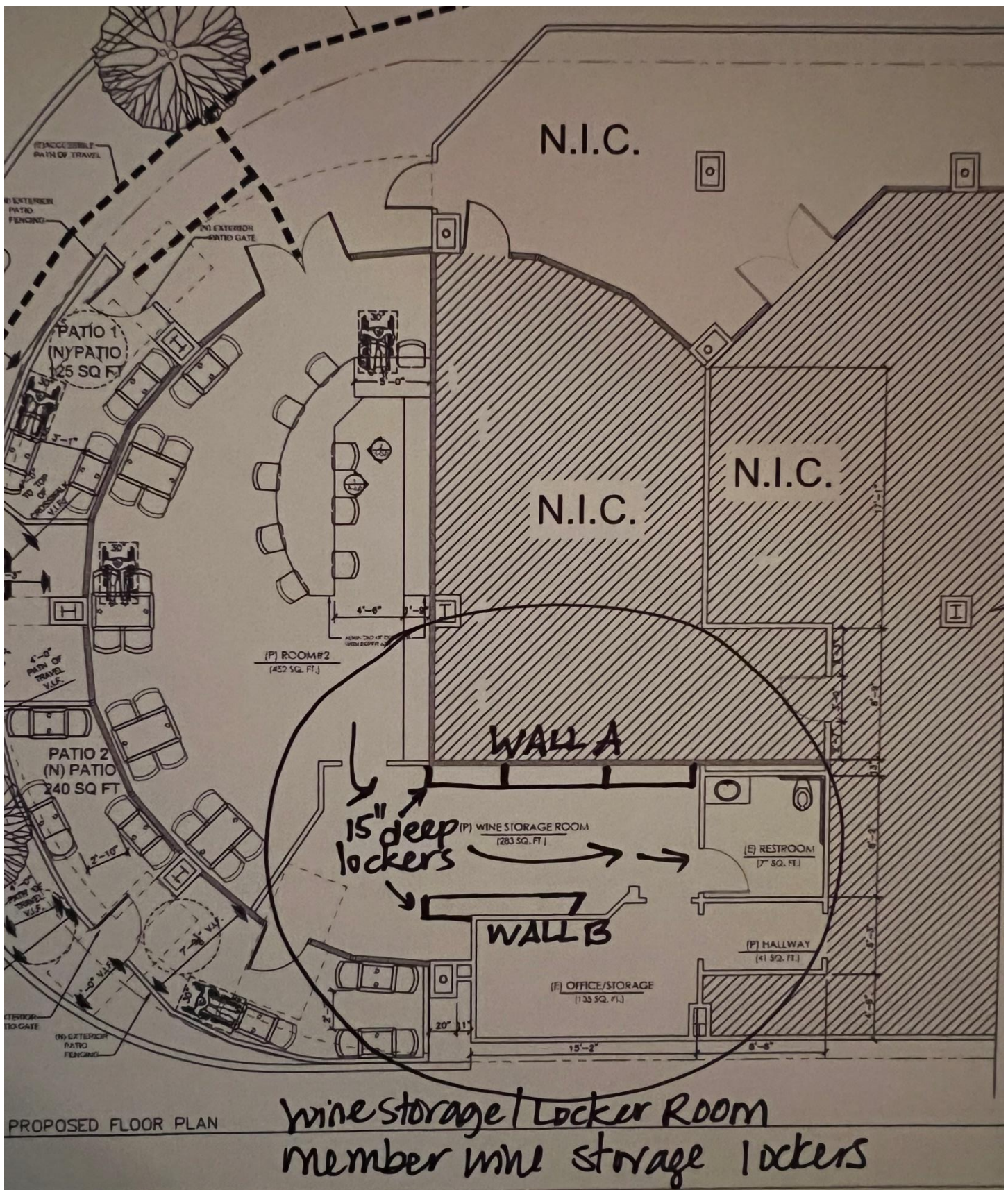




**ROOM EXPANSION USE AND EXPLANATION:**

ROOM 1 (has been re-labeled Wine Storage Room on the re-submission plans): Room 1 on the original submission plans has been re-labeled Wine Storage/Locker Room on the re-submission plans to better explain the room use. The Wine Storage/Locker Room is a decorative room housing locked wine lockers for Nine Social Members. Lockers will be individually labeled. Nine Social guests will have full access to the Wine Locker Room directly from Nine Social and with no obstruction or door. The bathroom is also fully accessible through the Wine Storage/Locker Room. There will be no open, accessible storage items within this room. All stored bottles will be within locked cabinets, and labeled accordingly. The design renderings of the Wine Locker Room, included within the following pages:









Stained concrete floor  
Brown marble

WALL A:

Wine Storage | Locker Room

- no seating
- decorative finish, dark wood lockers - with locks
- Items in locker room secured.





WALL B:

Whin storage | Locker Room

- no seating
- decorative finish, dark wood lockers - with locks
- items in locker room secured.

## **BUSINESS OPERATION PLAN:**

INITIAL OPERATING HOURS FOR THE ADDITIONAL SPACE WILL BE:

MONDAY-FRIDAY 9AM TO 9PM

SATURDAY-SUNDAY 9AM TO 9PM

DOORS SPECIFICALLY ENTERING THE PRIVATE DINING SPACE WILL REMAIN OPEN DURING ANY POSTED OPERATING HOURS AND DURING ANY RESERVED PRIVATE EVENTS. PRIVATE DINING SPACE WILL BE AVAILABLE FOR RESERVED CORPORATE OR PRIVATE FUNCTIONS. DURING PRIVATE RESERVATION EVENTS, THE PRIVATE DINING SPACE WILL BE CLOSED TO THE PUBLIC WITH SIGNAGE INDICATING SUCH.

FOOD SERVICE WILL BE AVAILABLE IN ALL AREAS THAT ALCOHOLIC BEVERAGES ARE SERVED, DURING ALL OPERATING HOURS. ALCOHOL WILL BE SERVED ON THE PROPOSED PATIO SPACE. DINERS WILL NOT HAVE THE ABILITY TO TRANSFER ALCOHOL FROM THE INTERIOR TO THE EXTERIOR PATIO SPACES. ALCOHOL WILL BE SERVED AND TRANSPORTED BY THE SERVERS WITHIN THEIR DESIGNATED SERVICE AREAS.

SERVERS WILL BE SPECIFICALLY ASSIGNED TO THE PRIVATE DINING SPACE WHICH INCLUDES THE SERVICE OF THE EXTERIOR PROPOSED PATIO SPACE. SERVERS WILL UTILIZE THE MACALLANS PUBLIC HOUSE KITCHEN FOR FOOD SERVICE AND THE MACALLANS PUBLIC HOUSE MAIN DINING BAR FOR DRINKS. WINE SERVICE WILL BE AVAILABLE BY THE SERVERS WITHIN THE PRIVATE DINING SPACE. SERVERS HAVE FULL ACCESS TO BOTH THE KITCHEN AND MAIN BAR AS ADDITIONAL SPACE IS CONTINGUOUS TO ALL MACALLANS PUBLIC HOUSE FACILITIES. SERVERS WILL ACCESS THE KITCHEN THROUGH THE HALLWAY THAT ADJOINS THE MACALLANS PUBLIC HOUSE MAIN DINING AREA AND THE WINE STORAGE/LOCKER ROOM. SERVERS MAY ALSO ACCESS MACALLANS THROUGH THE MACALLANS PUBLIC HOUSE PATIO DOORS. THERE ARE NO IMPEDEMENTS WITHIN THIS PASSAGE FOR STAFF OR SERVICE. THIS IS NOT THE PATH INTENDED FOR PRIVATE DINERS. PRIVATE DINERS HAVE DIRECT ACCESS TO A BATHROOM WITHIN THE PRIVATE DINING SPACE. IF ADDITIONAL BATHROOMS ARE NEEDED FOR PRIVATE DINERS, THE MACALLANS PUBLIC HOUSE RESTROOMS CAN BE ACCESSED VIA THE MACALLANS PUBLIC HOUSE PATIO DOOR FROM THE PRIVATE DINING SPACE FRONT ENTRY DOORS DIRECTLY THROUGH THE PATIO DOORS AND TO THE RESTROOMS OR THEY MAY ACCESS ADDITIONAL BATHROOMS VIA THE ADJOINING HALLWAY ADJACENT TO THE EXISTING BATHROOM WITHIN THE WINE LOCKER ROOM WITHIN NINE SOCIAL.

SPECIFIC MENU NOT CREATED YET BUT WILL BE CONSISTENT WITH MACALLANS PUBLIC HOUSE OFFERINGS. FOOD WILL BE AVAILABLE DURING ALL OPENING HOURS AND IN ALL AREAS WHERE ALCOHOL IS SERVED. ALCOHOL MENU WILL BE WINE FOCUSED.



## SEE SAMPLE MENU:

### SOUP & SALADS

#### CREAMY TOMATO SOUP \$10

ORGANIC GREEN SALAD \$11

greens, tomato, red onion, cucumber

#### FRENCH ONION SOUP \$10

#### BRUSSEL SALAD \$13

fried then chilled brussels tossed with cherry tomatoes, onion, mushrooms, bacon and ranch dressing

#### ROASTED CAULIFLOWER SALAD \$13

cauliflower, chick peas, mixed greens, cucumber, fresh herbs, feta cheese and avocado, creamy mustard vinaigrette

### STARTERS & SHARE-ABLES

#### SHISHITO PEPPERS \$8.5

with chipotle honey mustard

#### BRUSSEL SPROUTS \$9.5

with bacon and balsamic glaze

#### CHIPS, SALSA & QUAC \$10

#### 3 WARM PRETZEL STICKS \$11.5

w/bomb ass beer cheese

#### 6 WINGS \$12

choice of buffalo, lemon pepper, flamin' hot cheetos, or cilantro lime

#### FRESH VEGGIES & QUAC \$12

#### SPINACH DIP \$12

warm creamy spinach dip with crustinis

#### POTATOES O'BRIEN \$13

warm potatoes with red and green bell peppers, red onion and a scoop of sour cream

#### CEVICHE \$15

shrimp, cucumber, red onion, tomatoes with dipplin' chips

#### IRISH FLATBREAD \$16

cheesy corned beef, bacon, potatoes

#### VEGAN FLATBREAD \$16

red onion, cherry tomato, spinach, mushroom,

vegan cheddar, balsamic drizzle

\*toppings are marinated together - no modifications

#### ANIMAL-STYLE POUTINE \$16

potato nuggets with corned beef, grilled onions, mac sauce, pickles, cheese and a perfect egg

#### BARBACOA NACHOS \$19

barbacoa, chips, pico de gallo, guacamole, cheeses, sour cream

#### CHARCUTERIE \$26

2 meats, 2 cheeses, fruit, nuts, pickled veggies, apricot jam, dijon mustard, crustinis

### SANDWICHES & BURGERS \$18

#### TUNA WRAP

albacore solid white tuna with cheese, lettuce and tomato wrapped in a tortilla w/house-made potato chips, cold wrap

#### PULLED PORK SANDWICH

pulled pork, coleslaw, bbq sauce with potato wedge fries

#### CHICKEN SANDWICH

Fried chicken breast with pickles, slaw, aioli, 'topped with a drummy' served with fries

#### IRISH WRAP

salami, corned beef, greens, spicy aioli wrapped in a flour tortilla, w/house-made potato chips, cold wrap

#### 2 FRESH FISH SLIDERS

2 beer battered cod sliders topped with pickle and slaw w/potato wedge fries

#### GRILLED CHEESE AND HAM

thick bread, ham, blend of cheeses, with a cup of creamy tomato soup

#### OPEN FACED TUNA MELT

albacore solid white tuna with cheese and tomato on english muffin w/potato wedge fries

#### 8OZ WAGYU CHEESEBURGER

lettuce, tomato, onion, pickle, mac sauce, potato wedge fries

#### 3 PIGGIES BLT

ham, salami, bacon, lettuce and tomato on toasted bread with potato wedge fries

#### GRILLED CHEESE & SHORT RIB

thick bread, short rib, blend of cheeses with a cup of creamy tomato soup

#### REUBEN

corned beef, marble rye, kraut, havarti cheese, mac sauce, potato wedge fries

#### CUBANO SANDWICH

pork, ham, queso blanco, chimichurri, pickles, garlic aioli, w/potato wedge fries

### PLATES

#### SQUASH & BUTTERNUT RAVIOLI \$16

#### BANGERS AND MASH \$18

2 Irish bangers, mashed potatoes and brussels with onion gravy

#### BLUE CHEESE MEATLOAF \$19

over mashed potatoes with onion gravy

#### SHEPHERDS PIE \$19

beef and lamb, onions, peas, carrots under a bed of mashed potatoes, topped with crispy parsnips

#### CLASSIC MUSSELS \$19

Guinness butter broth, chorizo, charred bread

#### FISH-N-CHIPS \$22

fresh beer battered true cod, slaw, tartar, fries

#### LAMB RAGU PAPPARDELLE PASTA \$24

lamb ragu,pappardelle pasta, parmesan, fresh herbs with a slice of charred garlic bread

### PREMIUM PLATES

#### SHORT RIB \$28

short rib, mashed potatoes, baby carrots, onion ring and demi-glaze

#### RACK OF LAMB \$46

rubbed with achote paste, Irish mashed potatoes (bacon & kale), asparagus, carrots, mushroom demi.

#### CRUSTED HALIBUT \$38

served with sautéed corn, mushrooms,broccolini, fresh tarragon with sage butter sauce

#### BEEF WELLINGTON\* \$45

tenderloin with mashed potatoes and brown gravy - takes approximately 30 minutes to prepare.

#### 8OZ FILET MIGNON \$45

fingering potatoes, baby carrots, creamy peppercorn sauce

#### 2LB BONE-IN RIBEYE \$75

mashed potatoes, broccolini, horseradish demi sauce, mushrooms

### FAMILY STYLE SERVES 3-4 / \$75

#### FRIED CHICKEN BASKET

fried chicken breasts, seasoned potato wedge fries, pickles and slaw - choose seasoned or spicy seasoned

#### LAMB RAGU PAPPARDELLE PASTA

served with charred garlic bread

#### 45 WINGS

selection of each of our 4 flavors

#### SHEPHERDS PIE

#### XL CHARCUTERIE

#### TABLE SHARE-ABLES / Serves 3 / \$25

#### ♣ SHISHITO PEPPERS

#### ♣ BRUSSEL SPROUTS

#### ♣ CHIPS, SALSA & QUAC

#### ♣ 15 WINGS

#### ♣ WARM NUTS

### ALL ABOUT THE FINISH

#### CHOCOLATE LAYER CAKE \$10

#### SEASONAL CREME BRULEE \$10

#### CLASSIC NY STYLE CHEESECAKE \$10

#### FRIED ICE CREAM \$13

corn flakes, coconut flakes, caramel, chocolate

#### BREAD PUDDING \$10

warm bacon, maple, banana bread pudding

#### ROOT BEER FLOAT \$8

\*Consuming raw or undercooked foods may increase your risk of foodborne illness.

\*\*Credit Card payments are subject to a 2.75% service charge to offset credit card merchant processing fees.

\*\*\*Groups of 6 or more are subject to a 20% service charge (auto-gratuity).

EXPANDED DINING AREA LOGO DESIGN

NINE SOCIAL

### EXTERIOR SIGNAGE:

There will be no installation of signage affixed to the building, no lighted signage. The signage is intended to be subtle. There will be window decal signage only. The window decals are antique gold lettering with transparent backing with a 4 to 6 inch height of lettering. There will be a decal on each of the windows on the exterior. Decals are outdoor commercial window transfers.

Sample logo:

# NINE SOCIAL

### Window Decal Rendering:

Decal lettering in antique gold, transparent background





## EXTERIOR DESIGN DETAIL

Request of re-submission was to include more color detail regarding the exterior design. See additional exterior design renderings. Renderings A and B were part of the original submission. Exterior design consists of cosmetics. There will be no building, attachments, no alterations to the existing awning structures which were part of the original build design. There are proposed patio exterior improvements as shown on the plans. There are no proposed external utility improvements.

RENDERING A:



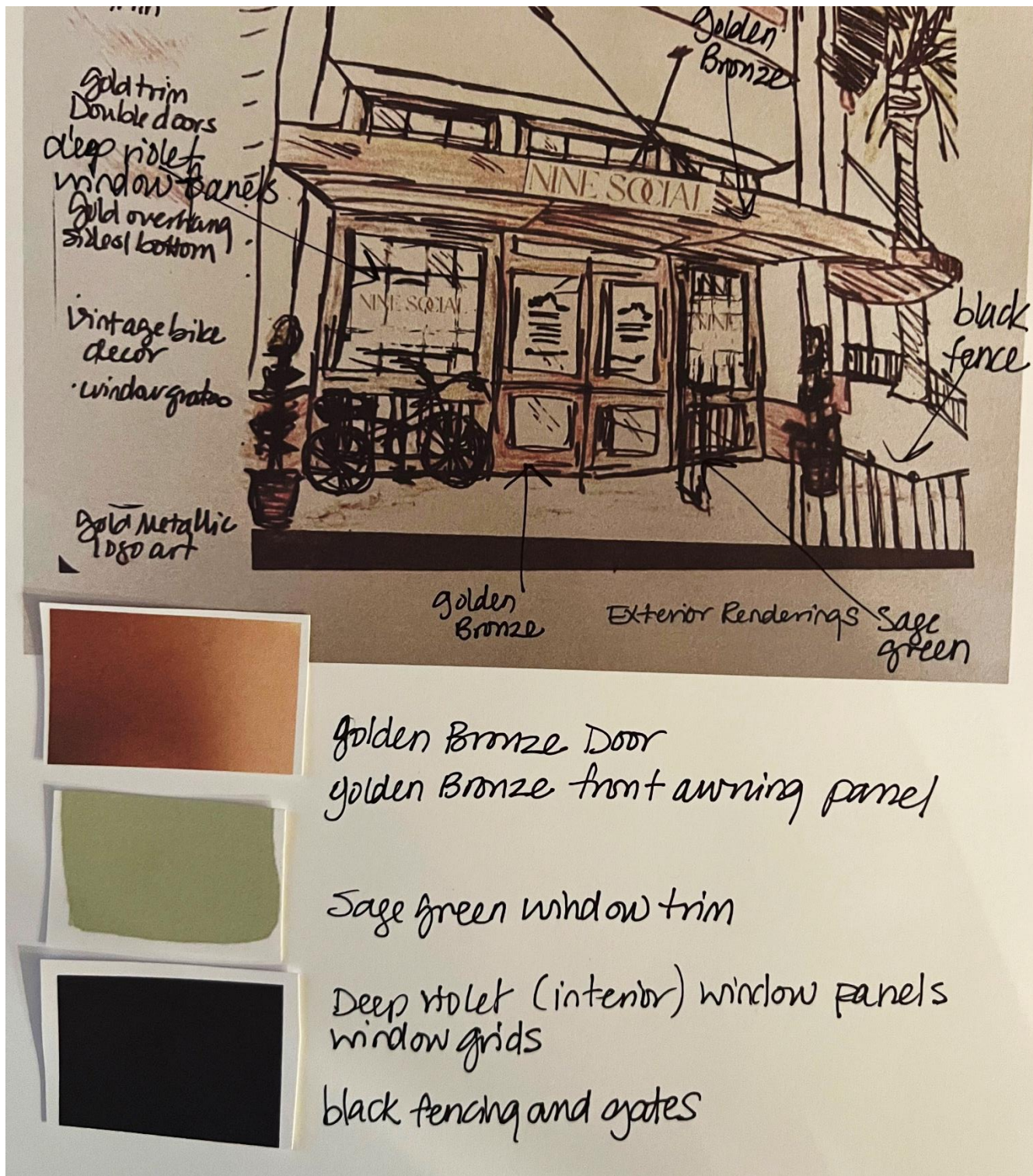


RENDERING B:





RENDERING C:





RENDERING D:



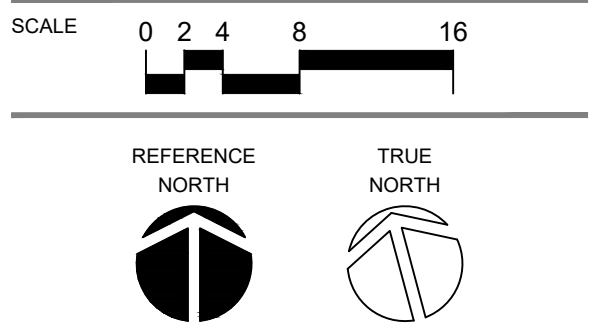


American Drafting & Design  
101 South Kraemer Boulevard  
Suite 100  
Placentia, California 92870  
Tel: (714) 340-5114  
AmericanDrafter@gmail.com

MACALLANS  
PUBLIC HOUSE  
330 West Birch Street  
Brea, CA 92821



REVISIONS			
NO.	DESCRIPTION	BY	DATE
PROJECT NUMBER: 23032			
DATE: 7/26/2023			



COVER SHEET

A - 0.0

# MACALLANS CHANGE OF USE TENANT IMPROVEMENT

330 WEST BIRCH STREET BREA, CA 92821

## PLUMBING SUMMARY

FIRST FLOOR GROSS AREA IS 1,289 S.F.  
PATIO AREA 1 IS 125 S.F.  
PATIO AREA 2 IS 150 S.F.  
USABLE AREA IS 1,428 S.F.

A-2 OCCUPANCY LOAD FACTOR PER 2022 CPC  
CHAPTER 4 TABLE A:  
1,428 SF  
OCCUPANT LOAD FACTOR: 30  
 $1,428 / 30 = 47.6 = 48$   
 $48 / 2 = 24$   
(24) MEN  
(24) WOMEN

FIXTURES REQUIRED AS PER 2022 PLUMBING  
CODE CHAPTER 4, TABLE 422.1:  
MEN: (1) TOILET, (1) SINK  
WOMEN: (1) TOILET, (1) SINK

FIXTURES PROVIDED AT 1ST FLOOR  
RESTROOM:  
(1) TOILET, (1) SINK

ADDITIONAL FIXTURES AVAILABLE AT  
MACALLANS 1ST FLOOR RESTROOM

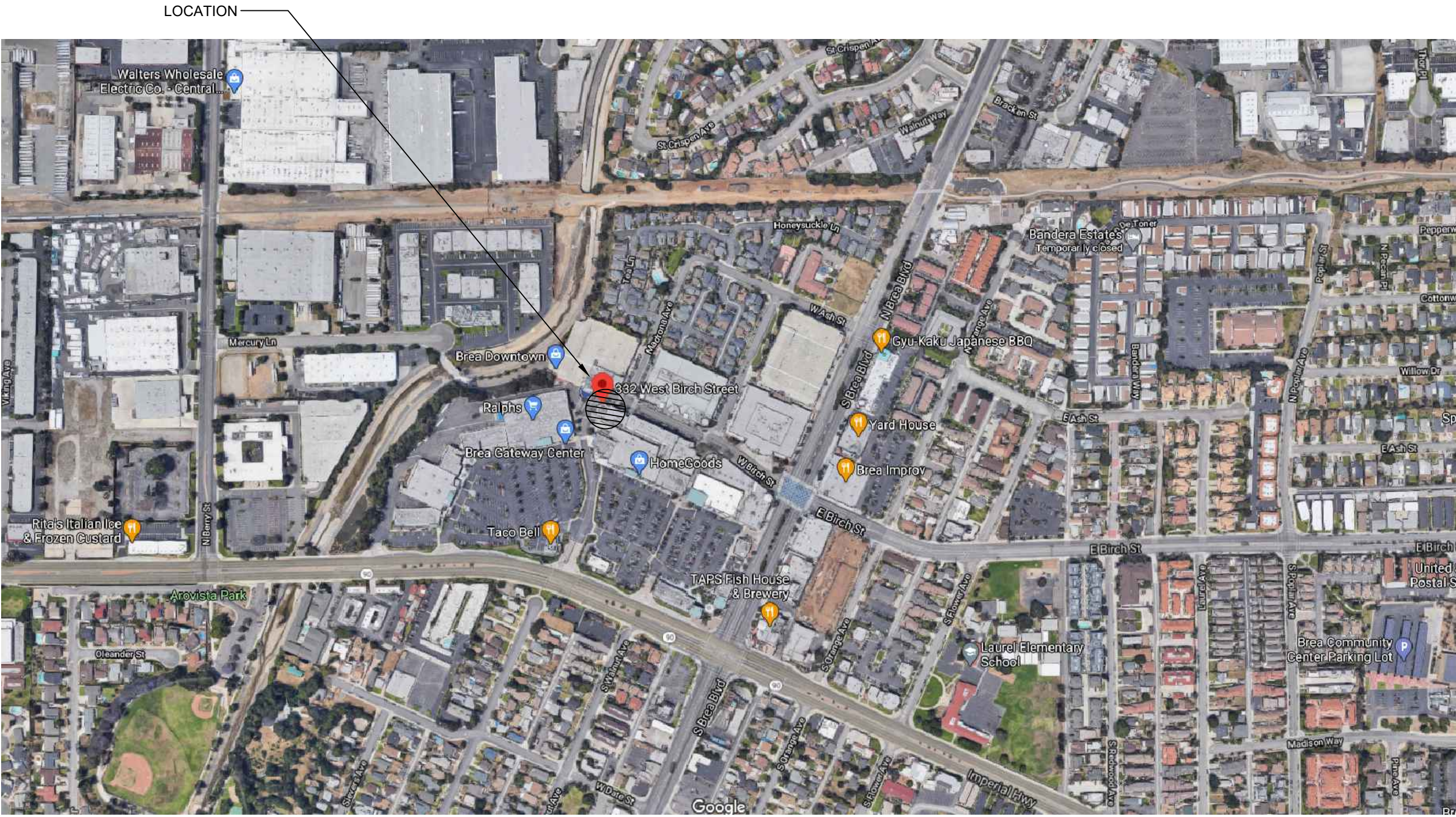
## PLUMBING SUMMARY NOTES

PLUMBING SUMMARY OCCUPANT LOAD FACTOR CALCULATED PER 2022 CALIFORNIA  
PLUMBING CODE CHAPTER 4, TABLE 4-1.

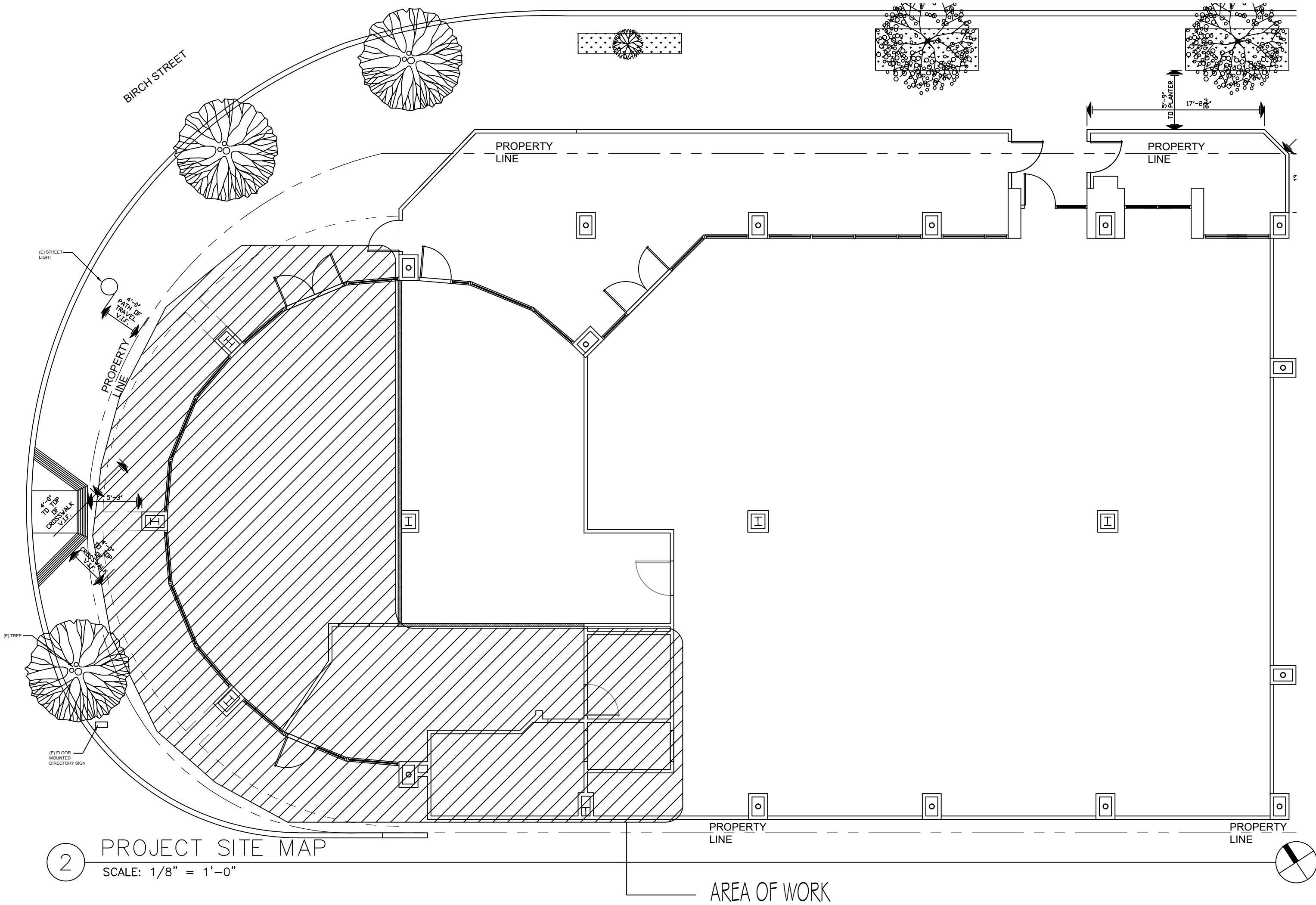
A-2 OCCUPANT LOAD FACTOR: 30

RESTROOMS AND CORRIDORS EXCLUDED FROM TOTAL SF CALCULATIONS

TABLE 4-1 STATES: For a building or space with mixed occupancies, use appropriate  
occupancy group for each area (for example, a school may have an "A" occupancy for the  
gymnasium, a "B" occupancy for the office, an "E" occupancy for the classrooms, etc.).  
Accessory areas such as, but not limited to, hallways/corridors, stairways, ramps, toilet rooms,  
mechanical rooms, closets and fixed equipment, may be excluded.



1 PROJECT VICINITY MAP  
SCALE: NTS



2 PROJECT SITE MAP  
SCALE: 1/8" = 1'-0"

## LEGAL DESCRIPTION

APN 296-376-18  
P-BOOK: 300 PAGE: 45 PAR: 8

## BUILDING TABULATION

ZONING DESIGNATION	MU-I
REQUESTED ENTITLEMENT	CUP2023-12
TOTAL GROSS SQUARE FOOTAGE	4,900 S.F.
ADDED PATIO SQUARE FOOTAGE	275 S.F.
TOTAL SQUARE FOOTAGE	5,175 S.F.
EXISTING ROOM SQUARE FOOTAGE	1,289 S.F.
PATIO AREA 1 SQUARE FOOTAGE	125 S.F.
PATIO AREA 2 SQUARE FOOTAGE	150 S.F.
ALLOWABLE SQUARE FOOTAGE	24,000 S.F. BASIC
ALLOWABLE HEIGHT	35 FEET
OCCUPANCY GROUP(S)	A-2, B, SEE DETAILED INFORMATION A-1.1
TYPE OF CONSTRUCTION	V-B SPRINKLERED
NUMBER OF STORIES	2
FIRE SPRINKLERS	YES
FIRE ALARM	YES
BUILDING / T.I. AREA(S)	SEE SCOPE OF WORK

## BUILDING DEPARTMENT GENERAL NOTES

- ALL WORK AND MATERIAL SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE FOLLOWING CODES AS ADOPTED AND AMENDED BY THE INSPECTING AUTHORITY.  
2022 CALIFORNIA BUILDING CODE (2022 CBC)  
2022 CALIFORNIA ELECTRICAL CODE (2022 CEC)  
2022 CALIFORNIA MECHANICAL CODE (2022 CMC)  
2022 CALIFORNIA PLUMBING CODE (2022 CPC)  
2022 CALIFORNIA FIRE CODE  
2022 CALIFORNIA EXISTING BUILDING CODE  
THE CITY OF BREA MUNICIPAL CODE  
2022 CALIFORNIA ENERGY CODES  
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE  
ASCE 7-16
- PLANS FOR THE MODIFICATIONS TO SPRINKLER/ALARM SYSTEM, (IF ANY) / TO BE UNDER DEFERRED SUBMITTAL.

## PROJECT DESCRIPTION

THE PURPOSE OF THESE DOCUMENTS IS TO CHANGE THE USE OF THE EXISTING SPACE FROM AN "A" OCCUPANCY TO AN "A-2" AND "B" OCCUPANCY. THE SPACE WILL BE A ROOM EXPANSION FOR MACALLANS.

## SCOPE OF WORK

CHANGE OF USE FROM AN "A" OCCUPANCY TO AN "A-2 AND "B" OCCUPANCY.  
PATIO EXPANSION.  
COUNTER AND SHELVING BUILD-OUT OF AN EXISTING SPACE.  
NO PLUMBING, ELECTRICAL OR MECHANICAL WORK IS PROPOSED.

## SHEET INDEX

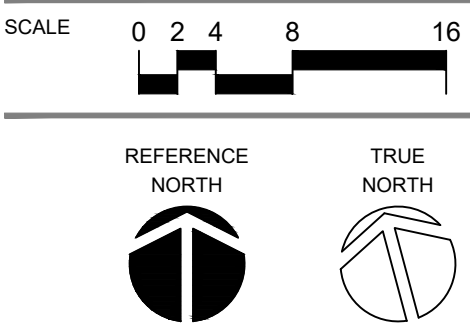
A-0.0	COVER SHEET
A-0.1	FIRST FLOOR EXISTING FLOOR PLAN
A-1.0	FIRST FLOOR PROPOSED FLOOR PLAN
A-1.1	FIRST FLOOR EGRESS PLAN
A-2.0	FIRST FLOOR PROPOSED REFLECTED CEILING PLAN
A-2.1	REFLECTED CEILING NOTES AND WALL DETAILS
A-3.0	ELEVATIONS



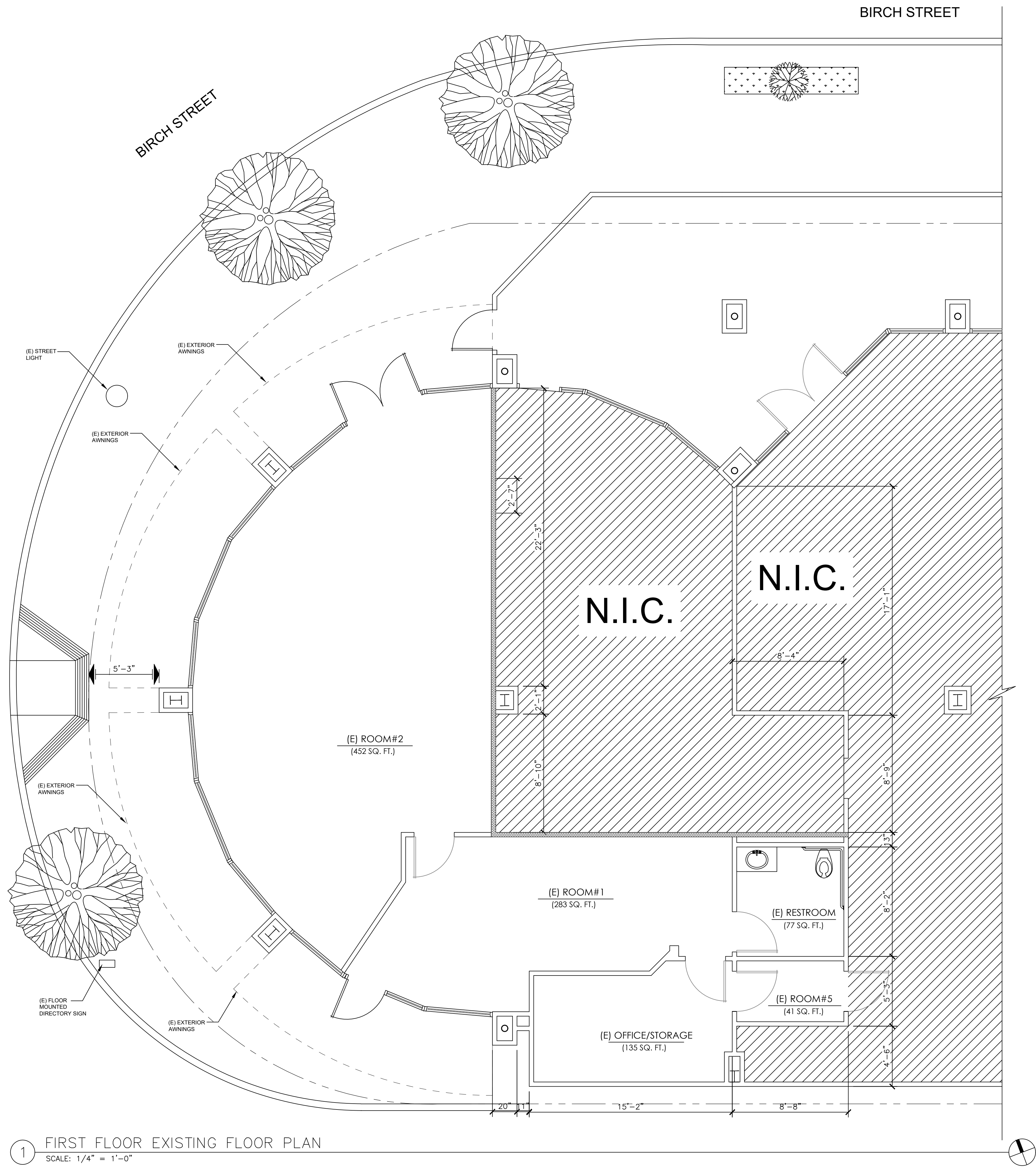
**MACALLANS  
PUBLIC HOUSE**  
330 West Birch Street  
Brea, CA 92821



<b>REVISIONS</b>			
<b>NO.</b>	<b>DESCRIPTION</b>	<b>BY</b>	<b>DATE</b>
<b>PROJECT NUMBER:</b>			<b>23032</b>
<b>DATE:</b>			<b>7/26/2023</b>



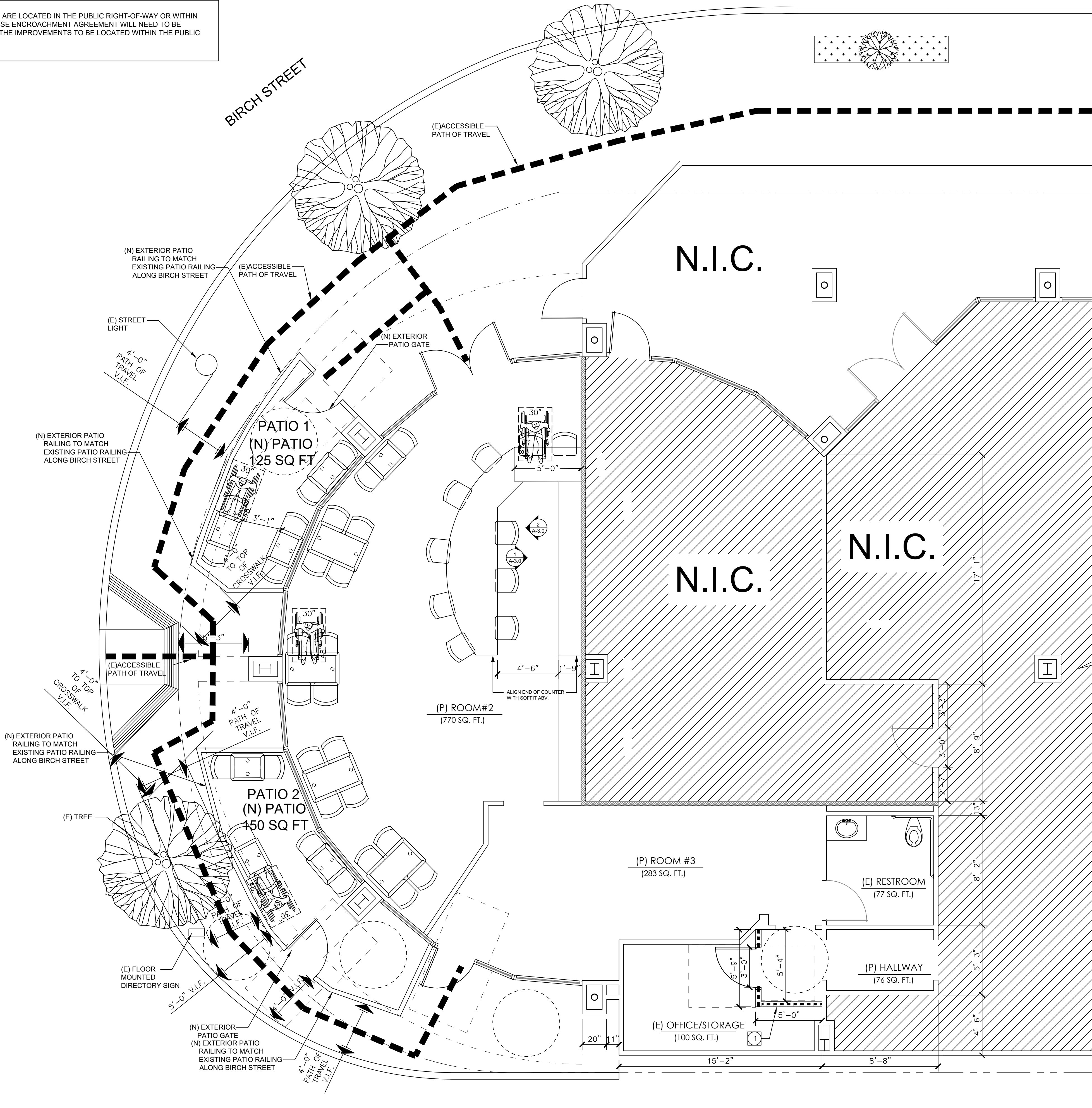
FIRST FLOOR  
EXISTING FLOOR PLAN



1 FIRST FLOOR EXISTING FLOOR PLAN  
SCALE: 1/4" = 1'-0"

BUILDING DEPARTMENT GENERAL NOTES

- IF PRIVATE IMPROVEMENTS ARE LOCATED IN THE PUBLIC RIGHT-OF-WAY OR WITHIN PUBLIC PROPERTY, A LICENSE ENCROACHMENT AGREEMENT WILL NEED TO BE PREPARED TO ALLOW FOR THE IMPROVEMENTS TO BE LOCATED WITHIN THE PUBLIC PROPERTY.



1 FIRST FLOOR PROPOSED FLOOR PLAN  
SCALE: 1/4" = 1'-0"

BIRCH STREET

N.I.C.

N.I.C.

N.I.C.

GENERAL NOTES

- EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED OR SHOWN ON THE PLANS, WORKMANSHIP & MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE C.B.C. (2022) AND LOCAL CITY OF BREA CODES.
- THE PLANS SHALL BE REVIEWED FOR DIMENSIONAL & EXISTING SITE CONFORMANCE BY THE CONTRACTOR PRIOR TO THE START OF ANY CONSTRUCTION. AMERICAN DRAFTING & DESIGN SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- WORKING DIMENSIONS SHALL NOT BE SCALED FROM THESE DRAWINGS.
- ITEMS IDENTIFIED BY TRADE NAMES MAY BE SUBSTITUTED BY APPROVED EQUALS.

REMODELING NOTES

- THE CONTRACTOR SHALL PROVIDE ANY SHORING & BRACING PRIOR TO REMOVING EXISTING WALLS, BEAMS, OR SUPPORTS FOR CONSTRUCTION. REMOVE SHORING ONLY WHEN NEW SUPPORTS ARE IN PLACE AND SECURED.
- THE DESIGN ADEQUACY AND SAFETY OR ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE DURING THE ENTIRE COURSE OF CONSTRUCTION. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR FIELD INSPECTION/OBSERVATION OF THE ABOVE ITEMS.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES WHETHER OR NOT SHOWN ON DRAWINGS AND PROTECT THEM FROM DAMAGE.
- DO NOT CUT POST TENSION SLABS. CONTRACTOR TO DETERMINE EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION.
- USE SIMPSON ST6224 TO TIE-IN TO EXISTING TOP PLATES.
- ALL WALLS TO BE FINISHED AND PAINTED.
- FLOOR MATERIAL WILL BE BARE CONCRETE.
- PATCH CONCRETE IF NEEDED.

LIGHT GAUGE STEEL

- PROVIDE LIGHT GAUGE STEEL FRAMING MEMBERS WHICH CONFORM TO THE STEEL STUD MANUFACTURER'S ASSOCIATION (SSMA) ICC ESR NO. 2054 (OR APPROVED EQUAL)
  - ALL STUD AND TRACK MATERIAL SHALL CONFORM TO THE FOLLOWING, UNLESS OTHERWISE NOTED:

54 MILS (16 GAUGE) AND HEAVY GALVANIZED	50 KSI MIN. YIELD ASTM A570 GRADE 50 ASTM A607 GRADE 50 ASTM A446 GRADE D
43 MILS (18 GAUGE) AND LIGHTER GALVANIZED	33 KSI MIN. YIELD ASTM A570 GRADE 33 ASTM A611 GRADE C ASTM A446 GRADE A
  - ALL MISCELLANEOUS STEELS SHALL CONFORM TO THE FOLLOWING, UNLESS OTHERWISE NOTED:

33 TO 43 MILS (20 TO 18 GAUGE)	33 KSI MIN. YIELD
54 TO 97 MILS (16 TO 12 GAUGE)	50 KSI MIN. YIELD
  - ALL WELDING SHALL BE PERFORMED BY CERTIFIED LIGHT GAUGE WELDERS. CERTIFIED FOR ALL APPROPRIATE DIRECTION PER STRUCTURAL WELDING CODE - SHEET METAL D1.3-98 WELDING RODS SHALL CONFORM TO THE FOLLOWING:

43 MILS (18 GA) AND LIGHTER SHEET TO SHEET	E60XX
54 MILS (16 GA) AND LIGHTER SHEET TO SHEET	E70XX OR E6013
  - SUSPENDED FASTENERS MUST BE USED UNLESS AMERICAN DRAFTING & DESIGN IS NOTIFIED IN WRITING AS TO ACCEPTABLE SUBSTITUTES. SPECIAL INSPECTION SHALL BE USED WHERE REQUIRED. USE "HILTI" POWDER DRIVEN FASTENERS WHERE SPECIFIED.
  - WIRE TYING OF FRAMING COMPONENTS SHALL NOT BE PERMITTED.
  - ALL STUDS FOR SUBMITTAL SHALL BE PUNCHED UNLESS OTHERWISE NOTED.
  - ALL CALCULATED STUD PROPERTIES, PER AISI SPECIFICATION, ARE BASED ON THE FOLLOWING THICKNESS TABLE:

97 MILS (12 GA) 0.1017"	68 MILS (14 GA) 0.0713"
54 MILS (16 GA) 0.0566"	43 MILS (18 GA) 0.0451"
33 MILS (20 GA) 0.0346"	18 MILS (25 GA) 0.0188"
  - LATERAL BRIDGING FOR STEEL STUDS IS REQUIRED WHEN WALL BOARD, INSTALLED PER C.B.C CHAPTER 25. DOES NOT CONTINUE FULL HEIGHT ON BOTH SIDES. BRIDGING SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY SHOWN OTHERWISE WITHIN THE STRUCTURAL DRAWINGS.
  - TEMPORARY BRACING REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- METAL STUD CONSTRUCTION PER ICC # ESR-2054 OR APPROVED EQUAL

WALL LEGEND

- NEW INTERIOR PARTITION WALL.
- EXISTING STOREFRONT WINDOW
- EXISTING INTERIOR PARTITION

DOORS:

NOTE: ALL NEW DOOR HARDWARE IS TO BE INSTALLED AT 34-44" AFF PER CBC 11B-404.2.7.

\*ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT, SECTION 1008.1.9.3.

KEYNOTES

- 1 NEW PARTITION WALL. SEE 2/A-2.1 FOR DETAILS.

American Drafting & Design

101 South Kraemer Boulevard  
Suite 100  
Placentia, California 92870  
Tel: (714) 340-5114  
AmericanDrafter@gmail.com

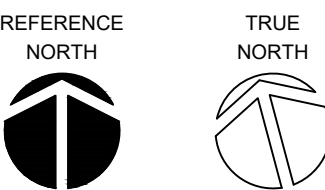
MACALLANS  
PUBLIC HOUSE  
330 West Birch Street  
Brea, CA 92821



REVISIONS

NO.	DESCRIPTION	BY	DATE
PROJECT NUMBER:	23032		
DATE:	7/26/2023		

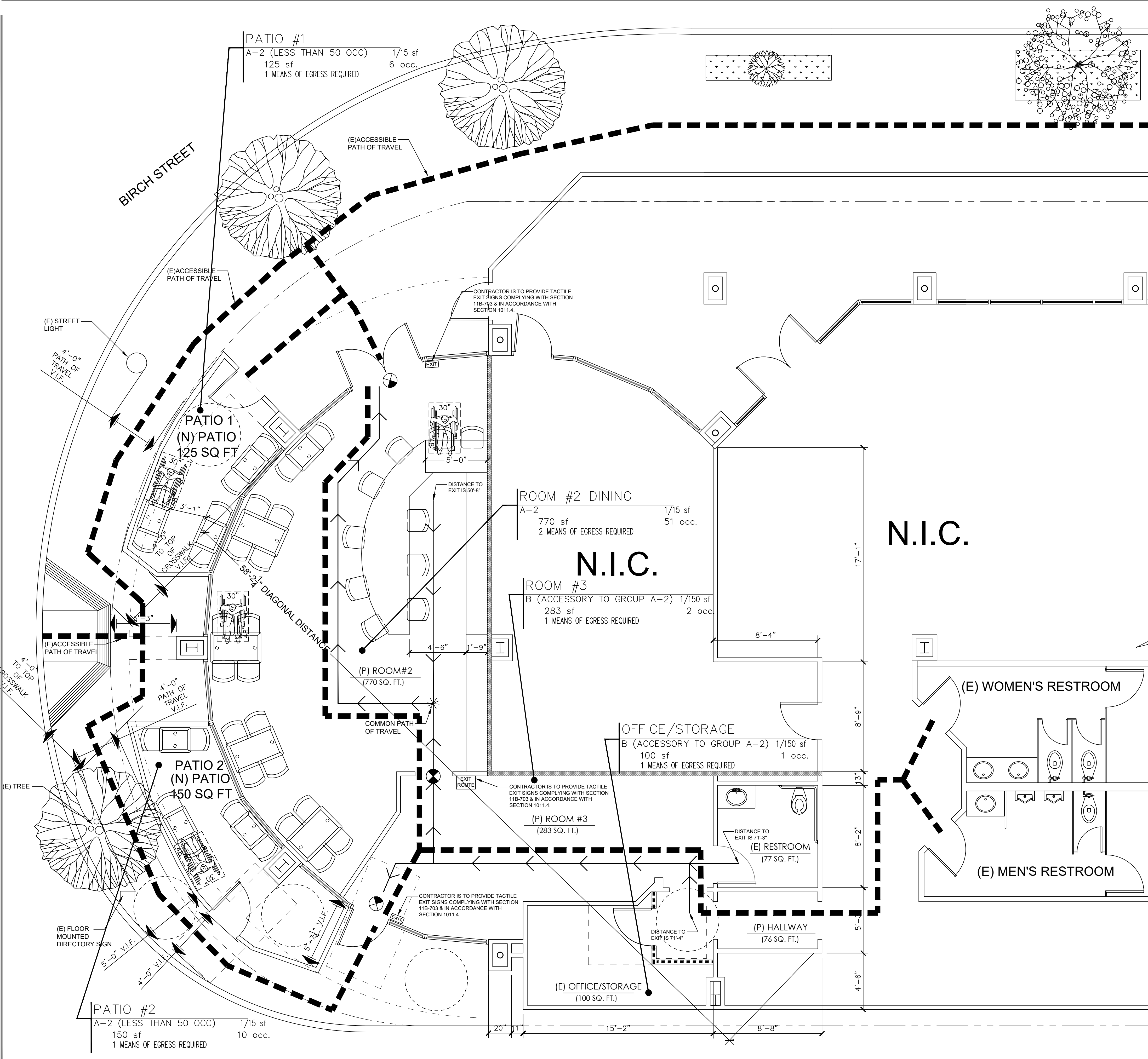
SCALE 0 2 4 8 16



FIRST FLOOR  
PROPOSED FLOOR PLAN

A - 1.0





#### NOTES

- SIGNAGE SHALL BE OF AN APPROVED LEGIBLE DESIGN PERMANENT DESIGN, CONSTRUCTED OF RIGID DURABLE PLASTIC AND SHALL BE MAINTAINED NY THE OWNER.
- PROVIDE CONTRASTING COLORS OF LETTERING AND SIGN BACKGROUND, LETTERS SHALL BE MINIMUM 1" TALL.
- SIGNAGE CONTRACTOR SHALL PROVIDE ANCHORAGE TO WALL OF CEILING AS REQUIRED.
- ACCESS TO ALL RESTROOMS SHALL BE COMPLIANT WITH CPC2022 SEC 422.4.1.

#### 1 FIRST FLOOR PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

#### EGRESS PLAN LEGEND

- EXISTING CEILING MOUNTED LED EXIT SIGN, EDGE LIT WITH 90 MINUTE EMERGENCY BALLAST.
- INDICATES TACTILE EXIT SIGN TO COMPLY WITH SEC. 11B703, REFER TO GENERAL DISABLE NOTES 15,16 AND 17.

#### EGRESS PLAN NOTES

- THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED TO A LEVEL OF NOT LESS THAN ONE FOOT-CANDLE AT THE WALKING SURFACE AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. (SECTIONS 1006.1; 1006.2).
- EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED AT ALL TIMES AND SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM (BATTERIES, UNIT EQUIPMENT OR AN ON SITE GENERATOR) THAT WILL AUTOMATICALLY ILLUMINATE THE EXIT SIGNS FOR A DURATION OF NOT LESS THAN 90 MINUTES (SECTION 1011).
- DOORS EQUIPPED WITH A KEY OPERATED LOCKING DEVICE SHALL HAVE A READILY VISABLE, DURABLE SIGN POST ON THE EGREE SIDE ADJACENT TO THE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" THIS SIGN SHALL HAVE ONE INCH HIGH LETTERS ON A CONTRASTING BACKGROUND CCBC 1008.1.9.3.

#### GENERAL DISABLED ACCESS SIGNAGE:

- When new or additional signs and/or identification devices are provided, or when existing signs and/or identification devices are replaced or altered, the new or altered signs and/or identification devices shall comply with California Building Code Section 11B-703 (11B-703.1.1 and 11B-703.1.1.2).
- The International Symbol of Accessibility shall be the standard used to identify facilities that are accessible to the usable by physically disabled persons as set forth in California Building Code see figure-11B-703.7.2.1. The symbol shall consist of a white figure on a blue background, the blue shall be equal to color number 15090 in Federal Standard 595B. (Sections 11B-703.7.2.1).
- Characters, symbols and their background shall have a non-glare finish. Characters and symbols shall contrast with their background, either light characters on a dark background or dark characters on a light background. (Sec. 11B-703.5.1).
- Characters on signs shall have width to height ratio of between 3:5 and 1:1 and a stroke width to height ratio of between 1:5 and 1:10 (Sec. 11B-703.5, 11B-703.5.4).
- Characters and numbers on signs shall be sized according to the viewing distance from which they are to be read. The minimum height is measured using an upper case "I". Lower case characters are permitted. For signs suspended or projected above the finish floor in compliance with Section 11B-703. The minimum character height shall be 2 inches. (Sections 11b-703.2.5, 11B-703.5.5 and 11B-703.5.6)
- Characters on signs shall be raised  $\frac{3}{32}$ -inch minimum and shall be sans serif uppercase characters accompanied by Grade 2 Brail complying with California Building Code Sections 11B-703.2 and 11B-703.3.
- Pictorial symbol signs shall be accompanied by the verbal description placed directly below the pictogram. The outside dimension of the pictogram field shall be a minimum of 6 inches in height. (Sec. 11B-703.6)
- Characters and Braille shall be in a horizontal format. Braille shall be placed a minimum of  $\frac{3}{8}$  inch and a maximum of  $\frac{1}{2}$  inch directly below the tactile characters; flush left or centered. When tactile text is multi-lined, all Braille shall be placed together below all lines of tactile text. (Sec. 11B-703.2 and 11B-703.3).
- Contracted Grade 2 Brail shall be used wherever Brail is required. Dots shall be  $\frac{1}{16}$  inch on center in each cell with  $\frac{3}{16}$  inch space between cells, measured from the second column of dots in the first cell to first column of dots in the second cell. Dots shall be raised a minimum of  $\frac{3}{16}$  inch above the background, and shall be domed or rounded. (Sec.11B-703.3)
- The mounting height of signs shall be 60 inches above the finish floor to the centerline of the sign. Mounting location shall be determined so that a person may approach within 3 inches of sign age without encountering protruding objects or standing within the swing of a door. (Sec.11B-703.4)
- Brail instructions and information for use are required on an accessible ATM machine. (Sec. 11B-703.7)
- At every primary public entrance and at every major junction along or leading to an accessible route of travel, there shall be a sign displaying the international symbol of accessibility. Signs shall indicate the direction to accessible building entrances and facilities and shall comply with the requirements found in Sections 11B-216.6.
- Where permanent identification is provided for rooms and spaces, signs shall be installed on the wall adjacent to the latch outside of the door. Where there is no wall space on the latch side, including at double leaf doors, signs shall be placed on the nearest adjacent wall, preferably on the right. (Sec.11B-703.4.2)
- Each door providing access to an area of refuge from an adjacent floor area shall be identified by a sign complying with Chapter 11A, Section 1143A and 11B, Section 11B-703.5 and 11B-703.7.2.1, stating: AREA OF REFUGE. Where exit sign illumination is required by Section 1011.2, the signs shall be illuminated. Additionally, raised character and Braille signage complying with Chapter 11A, Section 1143A and Chapter 11B, Sections 11B-703.1, 11B-703.2, 11B-703.3 and 11B-703.5) and the International Symbol of Accessibility complying with Chapter 11B, Section 11B-703.7.2.1, shall be located at each door to an area of refuge. (Sec. 1011.4)
- Tactile exit signs shall be provided at the following locations.
- Each grade level exterior door shall be identified by a tactile exit with the word "EXIT." (Sec. 1011.3-1)
- Each exit door that leads directly to a grade-level exterior exit by means of a stairway or ramp shall be identified by a tactile exit sign with the following words as appropriate. (1011.4)
  - "EXIT STAIR DOWN"
  - "EXIT RAMP DOWN"
  - "EXIT STAIR UP"
  - "EXIT RAMP UP"
- Each exit access door from an interior room or area to a corridor or hallway is required to have a visual exit sign, shall be identified by a tactile exit sign with the words, "EXIT ROUTE." (Sec. 1011.4.4)
- Each exit door through a horizontal exit shall be identified by a sign with the words, "TO EXIT." (Sec. 1011.4.5).

#### OCCUPANCY SCHEDULE

	NAME	AREA	LOAD FACTOR	# OF OCCUPANTS PER S.F.	FINAL OCCUPANT LOAD
ROOM 3	BUSINESS/STORAGE	283 SF	1/150 SF	1.8	2
ROOM 2	ASSEMBLY	770 SF	1/15 SF	51.3	51
OFFICE/STORAGE	OFFICE/STORAGE	100 SF	1/150 SF	0.6	1
ROOM 4	RESTROOM	77 SF	N/A	N/A	0
PATIO 1	ASSEMBLY	125 SF	1/15 SF	6	6
PATIO 2	ASSEMBLY	150 SF	1/15 SF	10	10
TOTAL					70

#### OCCUPANCY SIGN

MAXIMUM OCCUPANCY NOT TO EXCEED 70 PERSONS

#### MACALLANS PATIO 1 OCCUPANCY SIGN

MAXIMUM OCCUPANCY NOT TO EXCEED 6 PERSONS

#### MACALLANS PATIO 2 OCCUPANCY SIGN

MAXIMUM OCCUPANCY NOT TO EXCEED 10 PERSONS

#### American Drafting & Design

101 South Kraemer Boulevard  
Suite 100  
Placentia, California 92870  
Tel: (714) 340-5114  
AmericanDrafter@gmail.com

#### MACALLANS PUBLIC HOUSE

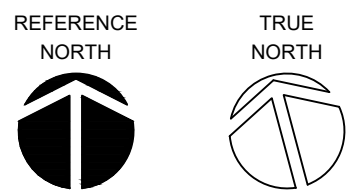
330 West Birch Street  
Brea, CA 92821



#### REVISIONS

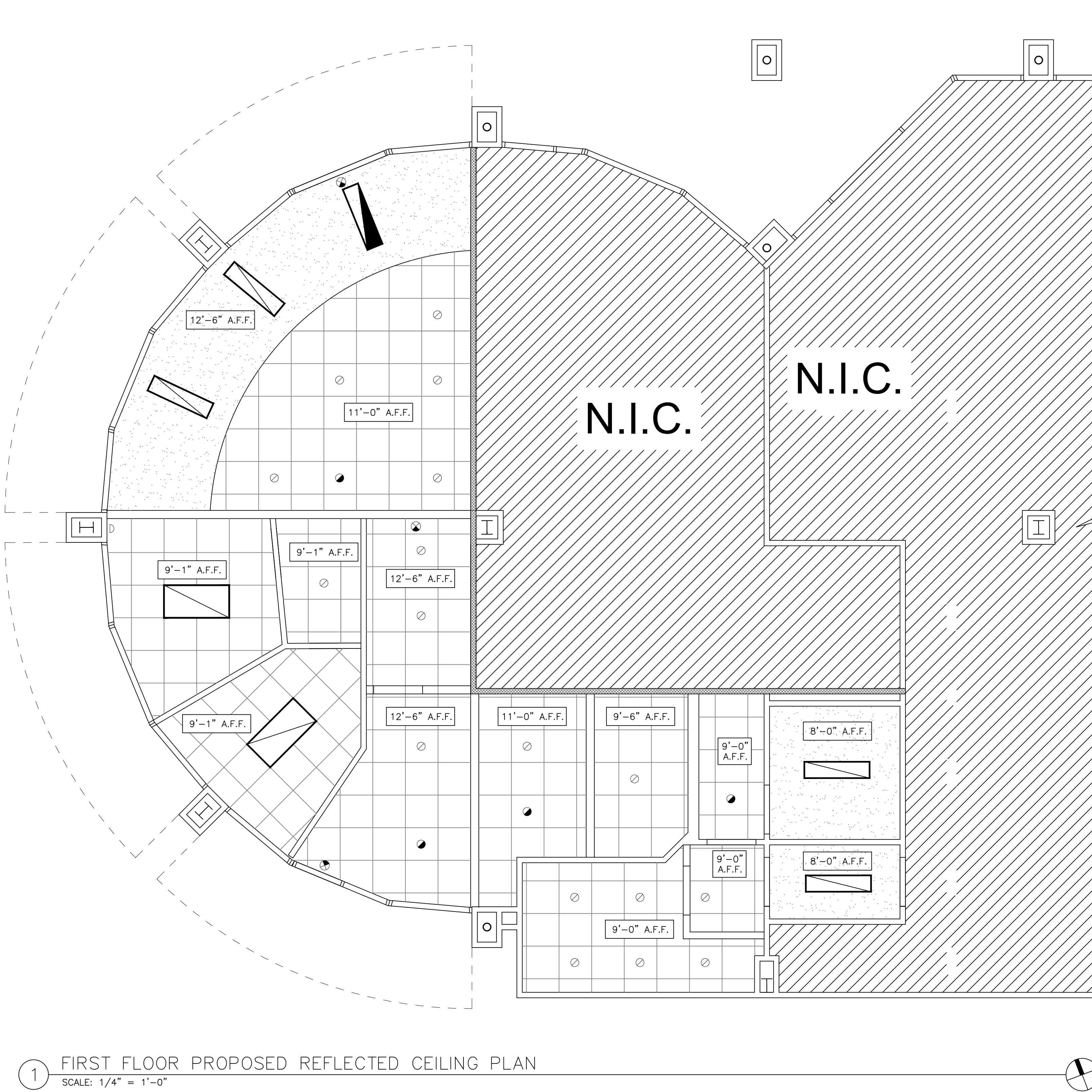
NO.	DESCRIPTION	BY	DATE
PROJECT NUMBER:	23032		
DATE:	7/26/2023		

SCALE 0 2 4 8 16



#### FIRST FLOOR EGRESS PLAN

# A - 1.1



### GENERAL NOTES

- EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED OR SHOWN ON THE PLANS, WORKMANSHIP & MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE C.B.C. (2022) AND LOCAL CITY OF BREA CODES.
- THE PLANS SHALL BE REVIEWED FOR DIMENSIONAL & EXISTING SITE CONFORMANCE BY THE CONTRACTOR PRIOR TO THE START OF ANY CONSTRUCTION. AMERICAN DRAFTING & DESIGN SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- WORKING DIMENSIONS SHALL NOT BE SCALED FROM THESE DRAWINGS.
- ITEMS IDENTIFIED BY TRADE NAMES MAY BE SUBSTITUTED BY APPROVED EQUALS.

### REMODELING NOTES

- THE CONTRACTOR SHALL PROVIDE ANY SHORING & BRACING PRIOR TO REMOVING EXISTING WALLS, BEAMS, OR SUPPORTS FOR CONSTRUCTION. REMOVE SHORING ONLY WHEN NEW SUPPORTS ARE IN PLACE AND SECURED.
- THE DESIGN ADEQUACY AND SAFETY OR ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE DURING THE ENTIRE COURSE OF CONSTRUCTION. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR FIELD INSPECTION/OBSERVATION OF THE ABOVE ITEMS.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES WHETHER OR NOT SHOWN ON DRAWINGS AND PROTECT THEM FROM DAMAGE.
- DO NOT CUT POST TENSION SLABS. CONTRACTRO TO DETERMINE EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION.
- USE SIMPSON ST6224 TO TIE-IN TO EXISTING TOP PLATES.

### LEGEND

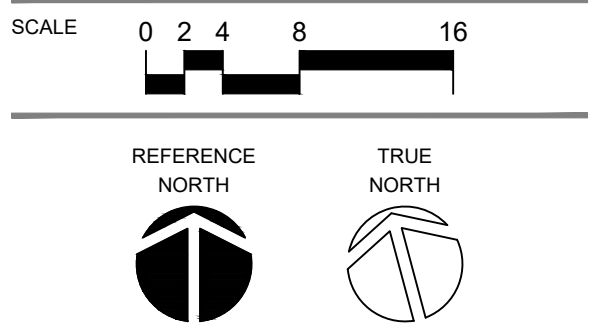
- (E) ILLUMINATED EXIT SIGN
- (E) 6" DOWNLIGHT
- (E) 6" DOWNLIGHT WITH BATTERY BACKUP
- (E) SCONGE

American Drafting & Design  
101 South Kraemer Boulevard  
Suite 100  
Placentia, California 92870  
Tel: (714) 340-5114  
AmericanDrafter@gmail.com

MACALLANS  
PUBLIC HOUSE  
330 West Birch Street  
Brea, CA 92821



REVISIONS			
NO.	DESCRIPTION	BY	DATE
PROJECT NUMBER: 23032			
DATE: 7/26/2023			



FIRST FLOOR  
PROPOSED REFLECTED  
CEILING PLAN

A - 2.0





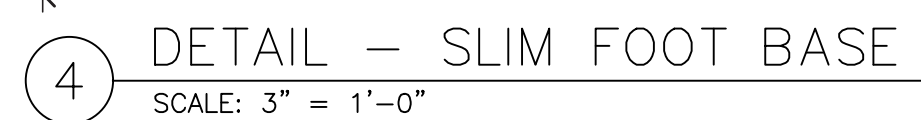
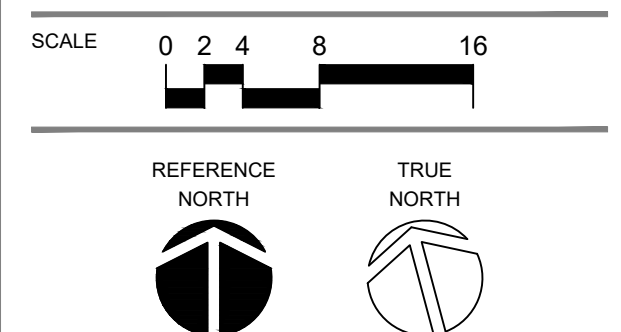
1. ALL LIGHTING & MECHANICAL FIXTURES SHALL BE POSITIVELY ATTACHED TO THE SUSPENDED CEILING SYSTEM. THE ATTACHMENT DEVICE SHALL HAVE A CAPACITY OF 100 PERCENT OF THE LIGHTING FIXTURE WEIGHT ACTING IN ANY DIRECTION. NO. 12 GAGE HANGERS SHALL BE ATTACHED TO THE GRID MEMBERS WITHIN 6 INCHES OF EACH CORNER OF EACH FIXTURE. TANDEM FIXTURES MAY UTILIZE COMMON WIRES.
2. LIGHTING FIXTURE WEIGHING LESS THAN 56 POUNDS SHALL HAVE, IN ADDITION TO THE REQUIREMENTS OUTLINED ABOVE, TWO NO. 12 GAGE HANGERS CONNECTED FROM
3. LIGHTING FIXTURES WEIGHING 56 POUNDS OR MORE SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE ABOVE BY APPROVED HANGERS.
4. PENDANT-HUNG LIGHTING FIXTURES SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE ABOVE USING NO. 9 GAGE WIRE OR APPROVED ALTERNATE SUPPORT WITHOUT USING THE CEILING SUSPENSION SYSTEM FOR DIRECT SUPPORT.

1. VERTICAL HANGERS: SUSPENSION WIRES SHALL NOT BE SMALLER THAN NO. 12 GAGE SPACED AT 4'-0" ON CENTER OR NO. 10 GAGE AT 5'-0" ON CENTER ALONG EACH MAIN RUNNER. EACH VERTICAL WIRE SHALL BE ATTACHED TO THE CEILING SUSPENSION MEMBER AND TO THE SUPPORT ABOVE WITH A MINIMUM OF THREE TURNS. ANY CONNECTION DEVICE AT THE SUPPORTING CONSTRUCTION SHALL BE CAPABLE OF CARRYING NOT LESS THAN 100 POUNDS. SUSPENSION WIRES SHALL BE MORE THAN 1 IN 6 OUT OF PLUMB UNLESS COUNTERSUSPENDING WIRES ARE PROVIDED. WIRES SHALL NOT ATTACH TO OR BEND AROUND INTERFERING MATERIAL OR EQUIPMENT. A TRAPEZE OR EQUIVALENT DEVICE SHALL BE USED WHERE OBSTRUCTIONS PRECLUDE DIRECT SUSPENSION. TRAPEZE SUSPENSIONS SHALL BE A MINIMUM OF BACK TO BACK 1 1/4" COLD - ROLLED CHANNELS FOR SPANS EXCEEDING 48".
2. PERIMETER HANGERS: THE TERMINAL ENDS OF EACH CROSS RUNNER AND MAIN RUNNER SHALL BE SUPPORTED INDEPENDENTLY A MAXIMUM OF 8 INCHES FROM EACH WALL. CEILING DISCONTINUITY WITH NO. 12 GAGE WIRE OR APPROVED WALL SUPPORT.
3. LATERAL FORCE BRACING: HORIZONTAL RESTRAINTS SHALL BE EFFECTED BY FOUR NO. 12 GAGE WIRES SECURED TO THE MAIN RUNNER WITH TWO INCHES OF THE CROSS RUNNER INTERSECTION AND PLAYED 90 DEGREES FROM EACH OTHER AT AN ANGLE NOT EXCEEDING 45 DEGREES FROM THE PLANE OF THE CEILING. A STRUT FASTENED TO THE MAIN RUNNER SHALL BE EXTENDED TO AND FASTENED TO THE STRUCTURAL MEMBERS SUPPORTING THE ROOF OR FLOOR ABOVE. THE STRUT SHALL BE ADEQUATE TO RESIST THE VERTICAL COMPONENT INDUCED BY THE BRACING WIRES. THESE HORIZONTAL RESTRAINT POINTS SHALL BE PLACED 12 FEET ON EACH END WITH DIRECTION OF THE FIRST ANGLE WITHIN 6" FROM EACH WALL. ATTACHMENT OF THE RESTRAINT WIRES TO THE STRUCTURE SHALL BE ADEQUATE FOR THE LOAD IMPOSED. LATERAL FORCE BRACING MEMBERS SHALL BE SPACED A MINIMUM OF 6 INCHES FROM ALL HORIZONTAL PIPING OR DUCT WORK THAT IS NOT PROVIDED WITH BRACING RESTRAINTS FOR HORIZONTAL FORCES. BRACING WIRES SHALL BE ATTACHED TO THE GRID AND THE STRUCTURE IN SUCH A MANNER THAT THEY CAN SUPPORT A DESIGN LOAD OF NOT LESS THAN 200 POUNDS OR THE ACTUAL DESIGN LOAD, WHICHEVER IS GREATER, WITH A SAFETY FACTOR OF 2.
4. PERIMETER MEMBERS: FOR TILE CEILINGS, ENDS OF MAIN RUNNERS AND CROSS MEMBERS SHALL BE TIED TOGETHER TO PREVENT THEIR SPREADING.
5. MAIN RUNNERS AND CROSS RUNNERS MAY BE ATTACHED TO THE PERIMETER MEMBER AT TWO ADJACENT WALLS WITH CLEARANCE BETWEEN THE WALL AND THE RUNNERS MAINTAINED AT THE TWO OTHER WALLS.
6. MIN 2" PERIMETER SUPPORTING CLOSURE ANGLS
7. IN EACH ORTHOGONAL HORIZONTAL DIRECTION, ONE END OF THE CEILING GRID SHALL BE ATTACHED TO THE CLOSURE ANGLE. THE OTHER END IN EACH HORIZONTAL DIRECTION SHALL HAVE A 0.75" CLEARANCE FROM THE WALL AND SHALL REST UPON AND BE FREE TO SLIDE ON A CLOSURE ANGLE.



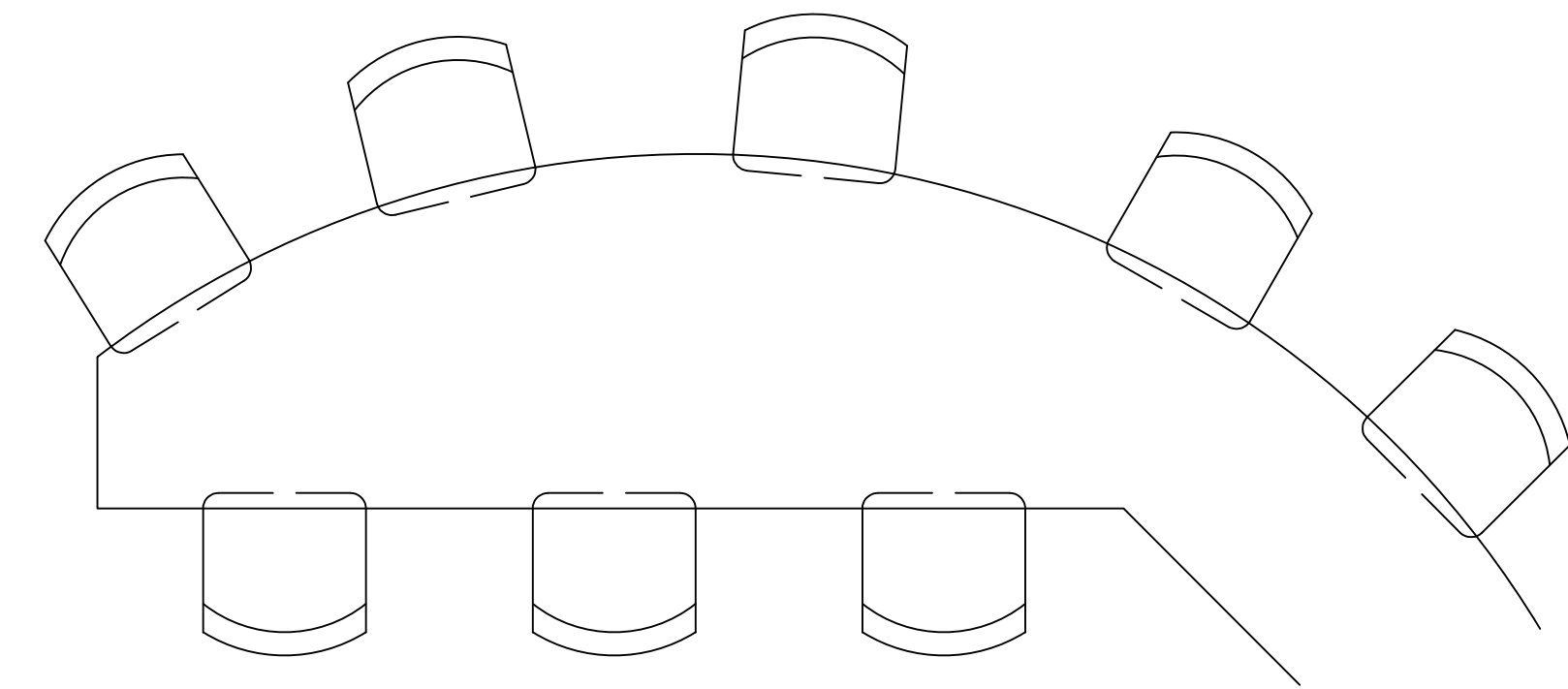
- SUSPENDED CEILING REFLECTED CLG. PLAN

SCALE: 1/4" = 1'-0"

[illegible]

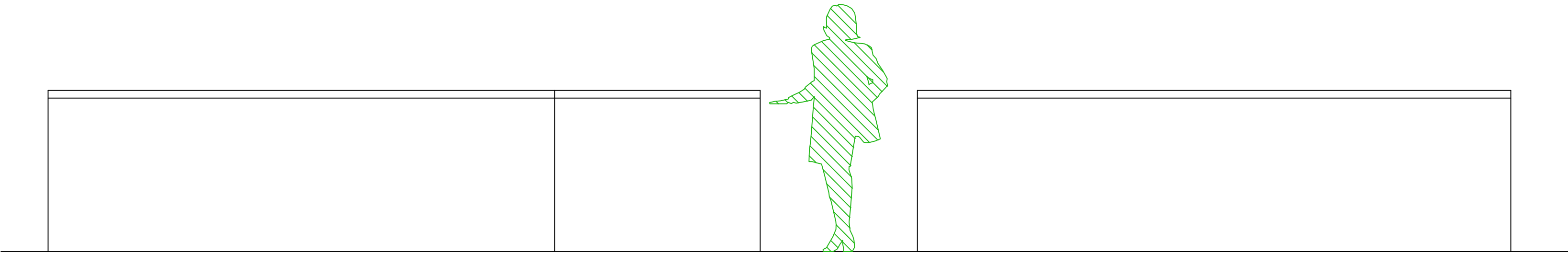
REFLECTED  
CEILING PLAN NOTES  
AND WALL DETAILS

# A - 2.1



GENERAL NOTES

- EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED OR SHOWN ON THE PLANS, WORKMANSHIP & MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE C.B.C. (2022) AND LOCAL CITY OF BREA CODES.
- THE PLANS SHALL BE REVIEWED FOR DIMENSIONAL & EXISTING SITE CONFORMANCE BY THE CONTRACTOR PRIOR TO THE START OF ANY CONSTRUCTION. AMERICAN DRAFTING & DESIGN SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- WORKING DIMENSIONS SHALL NOT BE SCALED FROM THESE DRAWINGS.
- ITEMS IDENTIFIED BY TRADE NAMES MAY BE SUBSTITUTED BY APPROVED EQUALS.



2 ELEVATIONS  
SCALE: 1/2" = 1'-0"

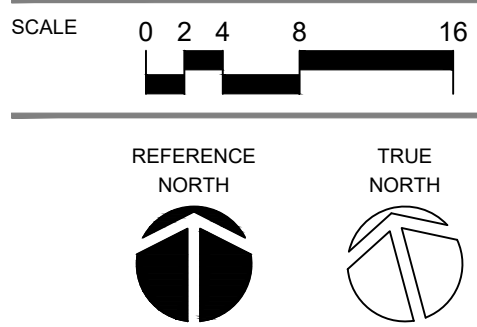
1 ELEVATIONS  
SCALE: 1/2" = 1'-0"

American Drafting & Design  
101 South Kraemer Boulevard  
Suite 100  
Placentia, California 92870  
Tel: (714) 340-5114  
AmericanDrafter@gmail.com

MACALLANS  
PUBLIC HOUSE  
330 West Birch Street  
Brea, CA 92821



REVISIONS			
NO.	DESCRIPTION	BY	DATE
PROJECT NUMBER:			23032
DATE:			7/26/2023



ELEVATIONS

A - 3.0





## PROJECT APPLICATION

### GENERAL INFORMATION REQUIRED: (Print or Type)

Name of Proposed Project: *Macallans Public House*  
*Floor Expansion with Change of Use of Expanded Space*  
 Location of Project (Address Required): *330 W. Birch Street, Ste 1* APN *296-376-18*  
*Brea, CA 92821* P-BOOK: *300* PAGE: *45* PAR: *8*

### APPLICANT INFORMATION:

Applicant's Name: *Douglas Vincent* Phone: *949-899-7661*  
 Email: *tammy@macallanspub.com*  
 Address: *330 W. Birch Street, Suite 1*  
 City: *Brea, CA* Zip Code: *92821*

### TRUST ACCOUNT OWNER: (see page 4 before completing)

Name of Individual or Corporation Financially Responsible for the Project:  
*Douglas Vincent*  
 Address: *330 W. Birch Street, Suite 1*  
 City: *Brea, CA* Zip Code: *92821*  
 Email: *tammy@macallanspub.com* Phone: *949-899-7661*

### PROJECT CONTACT PERSON:

Contact Person: *Tammy Vincent* Phone: *949-899-7661*  
 Email: *tammy@macallanspub.com*

### STAFF USE ONLY

Accela Record Number: PLN-2023-00073

**Project Manager:** Jessica Newton

**Entitlement File Number(s):**

**Related Files:**

CUP No. 2023-12 & PR No. 2023-11

### SUBMITTAL INFO:

Date Time Received: 10/18/2023

Received by: JN

Deposit Received: Yes





**PROJECT INFORMATION:** (Print or Type)

Zoning Designation: Mixed Use-1

General Plan Designation:

Mixed Use-1  
Neighborhood commercial  
Business/commercial

Existing Use: Fitness/Wellness  
Gym

Proposed Use: Private Dining Room  
Expansion of Space

Type of Development:

☐ Residential

☐ Commercial

☐ Industrial

☒ Mixed-Use

Lot Size (square feet): N/A

Lot Width: N/A

Lot Depth: N/A

Existing Floor Area (square feet):  
1200 sf.

Existing FAR: N/A

Existing Lot Coverage: N/A

Proposed No. of Stories: N/A

Proposed Building Height: N/A

Existing Parking Stalls:

Proposed Parking Stalls: N/A

Parking Garage plus street parking

**Project Description:** The project description should include a detailed description of demolition, on-site improvements, proposed use & operations, e.t.c. In addition, please describe all building material and color as well as description of signage and their location. Please provide a separate PDF attachment labeled "Project Description" if more space is needed.

☒ Check if project description is attached.

**TYPE OF REVIEW REQUESTED:** select all that apply

Planning Commission/City Council

☒ Conditional Use Permit

☐ Planned Community

☐ Historic Designation

☐ Development Agreement

☐ Precise Development Plan

☐ Zone Change

☐ General Plan Amendment

☐ Temporary Trailer

☐ Zone Variance

☐ Certificate of Compatibility

☒ Other Floor Expansion

☐ Other \_\_\_\_\_

Administrative/Community Development Director

☐ Administrative Remedy

☐ Large Family Day Care

☐ Pre-Application Review

☐ Certificate of Compatibility

☒ Plan Review

☐ Other \_\_\_\_\_



**PROPERTY OWNER INFORMATION & AUTHORIZATION**

(as listed in the Orange County Assessor's records)

Legal Owner's Name:

2601330 W Birch St, LLC

Company Name: Manley Fanticola Holdings, LLC

Email:

shannon@mfbreac.com

Phone: (714) 990-8748

Address:

330 W Birch St #201

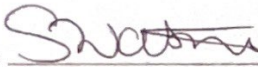
City: Brea

State: CA

Zip Code: 92821

I hereby certify under penalty of perjury under the laws of the State of California that I am the owner(s) of the subject property, or have been authorized to sign on behalf of the property owner, and consent to the filing of this application on the above referenced property. **If the owner did not sign below, a letter of authorization is required.**

By:



Date:

10/17/2023

(Signature)

By:

Shannon Watson

(Printed Name)

**DESIGN PROFESSIONAL OR OWNER OF THE COPYRIGHT IF DIFFERENT (OPTIONAL)**

Name(s): N/A

Email:

Phone:

Address:

City:

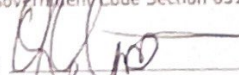
State:

Zip Code:

**AUTHORIZATION TO REPRODUCE PROJECT PLANS- Gov. Code § 65103.5(f)(2)**

I hereby grant permission for the City of Brea to provide the project plans for inspection as a part of the public record, to copy for members of the public, and post the plans online. This permission shall be constituted as the permission for architectural drawings that contain a copyright annotation and are protected by the federal Copyright Act of 1976 (Government Code Section 65103.5(f)(2)).

By:



Date: 10/16/2023

(Signature)

By:

Douglas Vincent

(Printed Name)





### TRUST ACCOUNT OWNER INFORMATION

All project applications require the specified minimum deposit to a Trust Account. Additional funds and/or subsequent deposits may be required depending upon the specified project and level of staff time necessary. All unused funds will be reimbursed following the completion of project and/or review. Staff time devoted to your project will be billed according to our **Development Processing Fees**. The necessary staff time will vary according to the complexity of the project and may include, initial review and ongoing project processing by City staff including, but not limited to:

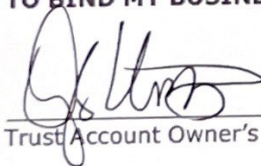
- Reviewing plans / submittal packages.
- Routing plans to, and communicating with other city staff and outside agencies.
- Researching documents relative to site history and site visits/inspections.
- Consulting with applicant and other interested parties (e.g. neighbors, adjacent property or business owners) in person or by phone.
- Preparing environmental documents, staff reports, presentations, and resolutions.
- Preparing pertinent maps, graphs and exhibits.
- Attending meetings / public hearings before the Planning Commission / City Council.
- Review of tentative maps and improvement plans by City staff.
- On-site inspections of the project by City staff.
- Consultant services

### STATEMENT OF UNDERSTANDING AND AGREEMENT

I understand that my initial deposit is a retainer and not a fee. This deposit will be used to set up an account, against which fees shall be charged based on the hourly rate listed in the City fee schedule in effect at the time the work is performed. I understand that should the costs exceed the deposit, I will be billed monthly for any additional deposit amount intended to cover future charges. If I fail to pay the fees when due, I understand approximately that the City will stop working on the application. If the final costs are less, the unused portion of the deposit will be returned to me approximately 60 days after the conclusion of the process or final inspection of the completed project, whichever occurs later.

As the trust account owner, I assume full financial responsibility for all costs incurred by the City in processing this application(s).

**BY SIGNING BELOW, I HEREBY CONSENT THAT I UNDERSTAND THE MATTERS AS DESCRIBED ABOVE AND AGREE TO THE TERMS. I HEREBY FURTHER REPRESENT THAT I HAVE AUTHORITY TO BIND MY BUSINESS BY SIGNING ON ITS BEHALF.**

  
Trust Account Owner's Signature

10/16/2023  
Date

Douglas Vincent  
Trust Account Owner Printed Name

*Staff Use Only*

ACCELA RECORD NUMBER:

TRUST ACCOUNT NUMBER:



**ROOM EXPANSION/PRIVATE DINING PROJECT NARRATIVE:**

TWENTY FOUR HOSPITALITY GROUP LLC, DBA MACALLANS PUBLIC HOUSE LOCATED AT 330 W BIRCH STREET IN BREA, CA WILL BE EXPANDING THEIR FULL SERVICE RESTAURANT PUB TO INCLUDE AN ADDITIONAL APPROXIMATE 770 SF PRIVATE DINING AREA. DIMENSIONS OF THE ROOM ARE APPROXIMATELY 22' BY 35'. THE ROOM CURRENTLY EXISTS AND IS CURRENTLY CONTIGUOUS TO OUR EXISTING FULL-SERVICE RESTAURANT BUSINESS. WHEN THE PREVIOUS TENANCY WAS RELOCATED ACROSS THE STREET, WE WERE ABLE TO SECURE THE SPACE WITH OUR LANDLORD AND SIGN THE LEASE FOR THE SPACE. THE INTEREST IN ADDING TO OUR EXISTING FOOTPRINT IS TO PROVIDE A PRIVATE DINING ROOM FOR OUR GUESTS AND, ON OCCASION, UTILIZE THE ADDITIONAL SEATING FOR MAIN DINING AREA OVERFLOW. THE PRIVATE DINING SPACE HAS ITS OWN DOUBLE ENTRY FRONT DOOR FROM THE SIDEWALK ON BIRCH STREET AS WELL AS A SINGLE ENTRY/EXIT DOOR IN THE REAR OF THE SPACE TO THE BACK ALLEY/EMERGENCY EXIT.

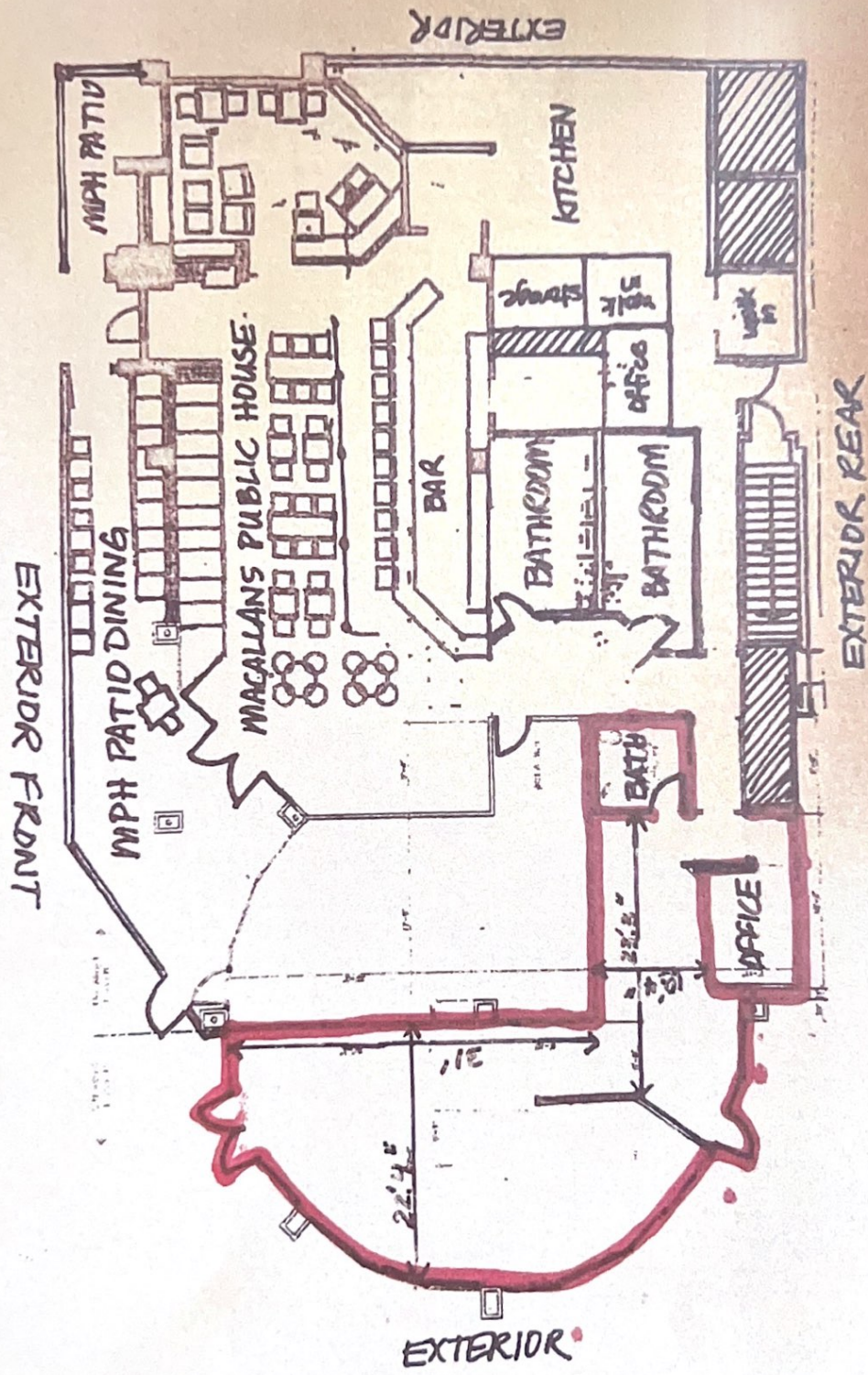
THERE IS CURRENTLY A FULL SERVICE GENDER NEUTRAL BATHROOM WITHIN THE ADDITIONAL SPACE USED BY ALL PREVIOUS TENANCIES. THIS BATHROOM IS READILY ACCESSIBLE AND WILL SERVICE THE PRIVATE DINING SPACE GUESTS. PRIVATE DINING SPACE GUESTS MAY ALSO STILL READILY ACCESS THE MACALLANS PUBLIC HOUSE MAIN DINING RESTROOMS AS WELL SHOULD THEY DESIRE TO DO SO.

THE PRIVATE DINING SPACE WILL BE COSMETICALLY UPDATED IN A VINTAGE FRENCH DINING STYLE. THE ADDITIONAL DINING SPACE IS BEING COSMETICALLY UPDATED IN ITS CURRENT STRUCTURE WITH NO STRUCTURAL MODIFICATIONS NEEDED. THERE ARE NO ELECTRICAL OR PLUMBING MODIFICATIONS NEEDED OR COMPLETED. WE ARE USING ALL EXISTING FIXTURES AS IS.

WE WILL BE ADDING TABLES AND CHAIRS TO THE SPACE WITH A ROOM CAPACITY OF APPROXIMATELY 35. APPROPRIATE ADA ACCOMMODATION WILL BE MADE ONCE TABLES ARE CONFIGURED IN THE SPACE AS IS TRUE WITHIN MACALLANS PUBLIC HOUSE MAIN DINING. THE BATHROOM IS ALREADY ADA ACCESSIBLE AS WAS TRUE FOR ALL PRIOR TENANCIES.

THE SPRINKLER SYSTEM AND ALL EMERGENCY FIRE LIGHTING AND SIGNAGE WAS APPROVED FOR PRIOR TENANCY AND REMAINS IN PLACE AND IN FULL WORKING ORDER.





- Additional private dining space



## PREVIOUS TENANCY

CIRKELFIT, GYM, HEALTH SPA FACILITY. VACATED.

PREVIOUS TENANCY INTERIOR/EXTERIOR PHOTOS:

















**BUSINESS OPERATION PLAN:**

INITIAL OPERATING HOURS FOR THE ADDITIONAL SPACE WILL BE:

MONDAY-FRIDAY 9AM TO 9PM

SATURDAY-SUNDAY 9AM TO 9PM

DOORS SPECIFICALLY ENTERING THE PRIVATE DINING SPACE WILL REMAIN OPEN DURING ANY POSTED OPERATING HOURS AND DURING ANY RESERVED PRIVATE EVENTS. PRIVATE DINING SPACE WILL BE AVAILABLE FOR RESERVED CORPORATE OR PRIVATE FUNCTIONS. DURING PRIVATE RESERVATION EVENTS, THE PRIVATE DINING SPACE WILL BE CLOSED TO THE PUBLIC WITH SIGNAGE INDICATING SUCH.

SERVERS WILL BE SPECIFICALLY ASSIGNED TO THE PRIVATE DINING SPACE AND WILL UTILIZE THE MACALLANS PUBLIC HOUSE KITCHEN FOR FOOD SERVICE AND THE MACALLANS PUBLIC HOUSE MAIN DINING BAR FOR DRINKS. WINE SERVICE WILL BE AVAILABLE BY THE SERVERS WITHIN THE PRIVATE DINING SPACE. SERVERS HAVE FULL ACCESS TO BOTH THE KITCHEN AND MAIN BAR AS ADDITIONAL SPACE IS CONTINGUOUS TO ALL MACALLANS PUBLIC HOUSE FACILITIES.

MENU NOT CREATED YET BUT WILL BE CONSISTENT WITH MACALLANS PUBLIC HOUSE OFFERINGS. FOOD WILL BE AVAILABLE DURING OPENING HOURS. DRINK MENU WILL BE WINE FOCUSED.

SEE SAMPLE MENU:

### SOUP & SALADS

**CREAMY TOMATO SOUP \$10**

**ORGANIC GREEN SALAD \$11**

greens, tomato, red onion, cucumber

**FRENCH ONION SOUP \$10**

**BRUSSEL SALAD \$13**

fried then chilled brussels tossed with cherry tomatoes, onion, mushrooms, bacon and ranch dressing

**ROASTED CAULIFLOWER SALAD \$13**

cauliflower, chick peas, mixed greens, cucumber, fresh herbs, feta cheese and avocado, creamy mustard vinaigrette

### STARTERS & SHARE-ABLES

**SHISHITO PEPPERS \$8.5**

with chipotle honey mustard

**BRUSSEL SPROUTS \$9.5**

with bacon and balsamic glaze

**CHIPS, SALSA & QUAC \$10**

**3 WARM PRETZEL STICKS \$11.5**

w/ bomb ass beer cheese

**6 WINGS \$12**

choice of buffalo, lemon pepper, flamin' hot cheetos, or cilantro lime

**FRESH VEGGIES & QUAC \$12**

**SPINACH DIP \$12**

warm creamy spinach dip with crustinis

**POTATOES O'BRIEN \$13**

warm potatoes with red and green bell peppers, red onion and a scoop of sour cream

**CEVICHE \$15**

shrimp, cucumber, red onion, tomatoes with dipping chips

**IRISH FLATBREAD \$16**

cheesy corned beef, bacon, potatoes

**VEGAN FLATBREAD \$16**

red onion, cherry tomato, spinach, mushroom, vegan cheddar, balsamic drizzle

\*toppings are marinated together - no modifications

**ANIMAL-STYLE POUTINE \$16**

potato nuggets with corned beef, grilled onions, mac sauce, pickles, cheese and a perfect egg

**BARBACOA NACHOS \$19**

barbecue, chips, pico de gallo, guacamole, cheeses, sour cream

**CHARCUTERIE \$26**

2 meats, 2 cheeses, fruit, nuts, pickled veggies, apricot jam, dijon mustard, crustinis

### SANDWICHES & BURGERS \$18

**TUNA WRAP**

albacore solid white tuna with cheese, lettuce and tomato wrapped in a tortilla w/ house-made potato chips, cold wrap

**PULLED PORK SANDWICH**

pulled pork, coleslaw, bbq sauce with potato wedge fries

**CHICKEN SANDWICH**

Fried chicken breast with pickles, slaw, aioli, topped with a drummy served with fries

**IRISH WRAP**

salami, corned beef, greens, spicy aioli wrapped in a flour tortilla, w/ house-made potato chips, cold wrap

**2 FRESH FISH SLIDERS**

2 beer battered cod sliders topped with pickle and slaw w/ potato wedge fries

**GRILLED CHEESE AND HAM**

thick bread, ham, blend of cheeses, with a cup of creamy tomato soup

**OPEN FACED TUNA MELT**

albacore solid white tuna with cheese and tomato on english muffin w/ potato wedge fries

**8OZ WAGYU CHEESEBURGER**

lettuce, tomato, onion, pickle, mac sauce, potato wedge fries

**3 PIGGIES BLT**

ham, salami, bacon, lettuce and tomato on toasted bread with potato wedge fries

### GRILLED CHEESE & SHORT RIB

thick bread, short rib, blend of cheeses with a cup of creamy tomato soup

**REUBEN**

corned beef, marble rye, kraut, havarti cheese, mac sauce, potato wedge fries

**CUBANO SANDWICH**

pork, ham, queso blanco, chimichurri, pickles, garlic aioli, w/ potato wedge fries

### PLATES

**SQUASH & BUTTERNUT RAVIOLI \$16**

**BANGERS AND MASH \$18**

2 Irish bangers, mashed potatoes and brussels with onion gravy

**BLUE CHEESE MEATLOAF \$19**

over mashed potatoes with onion gravy

**SHEPHERDS PIE \$19**

beef and lamb, onions, peas, carrots under a bed of mashed potatoes, topped with crispy parsnips

**CLASSIC MUSSELS \$19**

Guinness butter broth, chorizo, charred bread

**FISH-N-CHIPS \$22**

fresh beer battered true cod, slaw, tartar, fries

**LAMB RAGU PAPPARDELLE PASTA \$24**

lamb ragu, pappardelle pasta, parmesan, fresh herbs with a slice of charred garlic bread

### PREMIUM PLATES

**SHORT RIB \$28**

short rib, mashed potatoes, baby carrots, onion ring and demi-glace

**RACK OF LAMB \$46**

rubbed with achote paste, Irish mashed potatoes (bacon & kale), asparagus, carrots, mushroom demi.

**CRUSTED HALIBUT \$38**

served with sautéed corn, mushrooms, broccolini, fresh tarragon with sage butter sauce

**BEEF WELLINGTON\* \$45**

tenderloin with mashed potatoes and brown gravy - takes approximately 30 minutes to prepare.

**8OZ FILET MIGNON \$45**

fingerling potatoes, baby carrots, creamy peppercorn sauce

**2LB BONE-IN RIBEYE \$75**

mashed potatoes, broccolini, horseradish demi sauce, mushrooms

### FAMILY STYLE

**SERVES 3-4 / \$75**

**FRIED CHICKEN BASKET**

fried chicken breasts, seasoned potato wedge fries, pickles and slaw - choose seasoned or spicy seasoned

**LAMB RAGU PAPPARDELLE PASTA**

served with charred garlic bread

**45 WINGS**

selection of each of our 4 flavors

**SHEPHERDS PIE**

**XL CHARCUTERIE**

**TABLE SHARE-ABLES / Serves 3 / \$25**

♣ **SHISHITO PEPPERS**

♣ **BRUSSEL SPROUTS**

♣ **CHIPS, SALSA & QUAC**

♣ **15 WINGS**

♣ **WARM NUTS**

### ALL ABOUT THE FINISH

**CHOCOLATE LAYER CAKE \$10**

**SEASONAL CREME BRULEE \$10**

**CLASSIC NY STYLE CHEESECAKE \$10**

**FRIED ICE CREAM \$13**

corn flakes, coconut flakes, caramel, chocolate

**BREAD PUDDING \$10**

warm bacon, maple, banana bread pudding

**ROOT BEER FLOAT \$8**

\*Consuming raw or undercooked foods may increase your risk of foodborne illness.

\*\*Credit Card payments are subject to a 2.75% service charge to offset credit card merchant processing fees.

\*\*\*Groups of 6 or more are subject to a 20% service charge (auto-gratuity).



## SOUP & SALADS

### CREAMY TOMATO SOUP \$10

### ORGANIC GREEN SALAD \$11

greens, tomato, red onion, cucumber

### FRENCH ONION SOUP \$10

### BRUSSEL SALAD \$13

fried then chilled brussels tossed with cherry tomatoes, onion, mushrooms, bacon and ranch dressing

### ROASTED CAULIFLOWER SALAD \$13

cauliflower, chick peas, mixed greens, cucumber, fresh herbs, feta cheese and avocado, creamy mustard vinaigrette

## STARTERS & SHARE-ABLES

### SHISHITO PEPPERS \$8.5

with chipotle honey mustard

### BRUSSEL SPROUTS \$9.5

with bacon and balsamic glaze

### CHIPS, SALSA & QUAC \$10

### 3 WARM PRETZEL STICKS \$11.5

w/ bomb ass beer cheese

### 6 WINGS \$12

choice of buffalo, lemon pepper, flamin' hot cheetos, or cilantro lime

### FRESH VEGGIES & QUAC \$12

### SPINACH DIP \$12

warm creamy spinach dip with crustinis

### POTATOES O'BRIEN \$13

warm potatoes with red and green bell peppers, red onion and a scoop of sour cream

### CEVICHE \$15

shrimp, cucumber, red onion, tomatoes with dippin' chips

### IRISH FLATBREAD \$16

cheesy corned beef, bacon, potatoes

### VEGAN FLATBREAD \$16

red onion, cherry tomato, spinach, mushroom,

vegan cheddar, balsamic drizzle

\*toppings are marinated together - no modifications

### ANIMAL-STYLE POUTINE \$16

potato nuggets with corned beef, grilled onions, mac sauce, pickles, cheese and a perfect egg

### BARBACOA NACHOS \$19

barbecue, chips, pico de gallo, guacamole, cheeses, sour cream

### CHARCUTERIE \$26

2 meats, 2 cheeses, fruit, nuts, pickled veggies, apricot jam, dijon mustard, crustinis

## SANDWICHES & BURGERS \$18

### TUNA WRAP

albacore solid white tuna with cheese, lettuce and tomato wrapped in a tortilla w/ house-made potato chips, cold wrap

### PULLED PORK SANDWICH

pulled pork, coleslaw, bbq sauce with potato wedge fries

### CHICKEN SANDWICH

Fried chicken breast with pickles, slaw, aioli, 'topped with a drummy' served with fries

### IRISH WRAP

salami, corned beef, greens, spicy aioli wrapped in a flour tortilla, w/ house-made potato chips, cold wrap

### 2 FRESH FISH SLIDERS

2 beer battered cod sliders topped with pickle and slaw w/ potato wedge fries

### GRILLED CHEESE AND HAM

thick bread, ham, blend of cheeses, with a cup of creamy tomato soup

### OPEN FACED TUNA MELT

albacore solid white tuna with cheese and tomato on english muffin w/ potato wedge fries

### 8OZ WAGYU CHEESEBURGER

lettuce, tomato, onion, pickle, mac sauce, potato wedge fries

### 3 PIGGIES BLT

ham, salami, bacon, lettuce and tomato on toasted bread with potato wedge fries

## GRILLED CHEESE & SHORT RIB

thick bread, short rib, blend of cheeses with a cup of creamy tomato soup

## REUBEN

corned beef, marble rye, kraut, havarti cheese, mac sauce, potato wedge fries

## CUBANO SANDWICH

pork, ham, queso blanco, chimichurri, pickles, garlic aioli, w/ potato wedge fries

## PLATES

### SQUASH & BUTTERNUT RAVIOLI \$16

### BANGERS AND MASH \$18

2 Irish bangers, mashed potatoes and brussels with onion gravy

### BLUE CHEESE MEATLOAF \$19

over mashed potatoes with onion gravy

### SHEPHERDS PIE \$19

beef and lamb, onions, peas, carrots under a bed of mashed potatoes, topped with crispy parsnips

### CLASSIC MUSSELS \$19

Guinness butter broth, chorizo, charred bread

### FISH-N-CHIPS \$22

fresh beer battered true cod, slaw, tartar, fries

### LAMB RAGU PAPPARDELLE PASTA \$24

lamb ragu, pappardelle pasta, parmesan, fresh herbs with a slice of charred garlic bread

## PREMIUM PLATES

### SHORT RIB \$28

short rib, mashed potatoes, baby carrots, onion ring and demi-glace

### RACK OF LAMB \$46

rubbed with achote paste, Irish mashed potatoes (bacon & kale), asparagus, carrots, mushroom demi.

### CRUSTED HALIBUT \$38

served with sautéed corn, mushrooms, broccolini, fresh tarragon with sage butter sauce

### BEEF WELLINGTON\* \$45

tenderloin with mashed potatoes and brown gravy - takes approximately 30 minutes to prepare.

### 8OZ FILET MIGNON \$45

fingering potatoes, baby carrots, creamy peppercorn sauce

### 2LB BONE-IN RIBEYE \$75

mashed potatoes, broccolini, horseradish demi sauce, mushrooms

## FAMILY STYLE SERVES 3-4 / \$75

### FRIED CHICKEN BASKET

fried chicken breasts, seasoned potato wedge fries, pickles and slaw - choose seasoned or spicy seasoned

### LAMB RAGU PAPPARDELLE PASTA

served with charred garlic bread

### 45 WINGS

selection of each of our 4 flavors

### SHEPHERDS PIE

### XL CHARCUTERIE

## TABLE SHARE-ABLES / Serves 3 / \$25

### ♣ SHISHITO PEPPERS

### ♣ BRUSSEL SPROUTS

### ♣ CHIPS, SALSA & QUAC

### ♣ 15 WINGS

### ♣ WARM NUTS

## ALL ABOUT THE FINISH

### CHOCOLATE LAYER CAKE \$10

### SEASONAL CREME BRULEE \$10

### CLASSIC NY STYLE CHEESECAKE \$10

### FRIED ICE CREAM \$13

corn flakes, coconut flakes, caramel, chocolate

### BREAD PUDDING \$10

warm bacon, maple, banana bread pudding

### ROOT BEER FLOAT \$8

\*Consuming raw or undercooked foods may increase your risk of foodborne illness.

\*\*Credit Card payments are subject to a 2.75% service charge to offset credit card merchant processing fees.

\*\*\*Groups of 6 or more are subject to a 20% service charge (auto-gratuity).

SPACE/ROOM LOGO DESIGN

NINE SOCIAL



## EXTERIOR SIGN RENDERINGS





Gold overhang  
front/side/  
underside

Sage Green Trim

Gold/Metallure  
Logo Decals  
Center windows

Window Grates  
Sage Green



Exterior Renderings



CITY OF BREA  
notice of public hearing

CITY OF BREA  
PLANNING COMMISSION NOTICE OF PUBLIC HEARING FOR A SECOND AMENDMENT TO  
CONDITIONAL USE PERMIT NO. 00-16 AND PLAN REVIEW NO. 2023-11: TO ALLOW FOR THE  
EXPANSION OF ON-SALE ALCOHOLIC BEVERAGE SALES (TYPE 47) INTO THE ADJACENT  
TENANT SUITE FOR A NEW PRIVATE DINING ROOM AND OUTDOOR PATIOS AT AN EXISTING  
SIT DOWN RESTAURANT (MACALLANS PUBLIC HOUSE) LOCATED AT 330 WEST BIRCH  
STREET

NOTICE IS HEREBY GIVEN, pursuant to State Law, that a public hearing will be held by the Planning Commission to determine whether or not the subject request shall be approved under the provisions of State Law and the Brea City Code as follows:

DATE AND TIME OF HEARING: **Tuesday, December 12, 2023, 6:00 p.m.**  
*All interested persons may appear and be heard at that time.*

PLACE OF HEARING: Brea Civic & Cultural Center, Council Chambers  
1 Civic Center Circle, Brea, CA 92821

REQUEST: The Applicant, Douglas Vincent, is requesting an approval of Conditional Use Permit (CUP) No. 2023-12, amending CUP No. 00-16, and Plan Review No. 2023-11 to allow for the existing sit-down restaurant (Macallans Public House) to expand the on-sale alcoholic beverage sales (Type 47- On-Sale General) into the 1,289-square-foot adjacent tenant suite at 332 West Birch Street and two new outdoor patios totaling approximately 365 square feet.

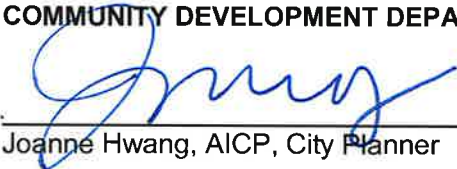
LOCATION: The project site is located on the south side of the intersection of Birch Street and Madrona Avenue, at 330 West Birch Street. The project site has a General Plan Land Use designation of General Commercial and a Zoning designation of Mixed-Use I (MU-I).

ENVIRONMENTAL: The project has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines and the environmental regulations of the City. The Project is categorically exempt from the requirements to prepare additional environmental documentation per CEQA Guidelines Section 15301 (Class 1).

IF YOU CHALLENGE THE PROJECT AND RELATED ENVIRONMENTAL DETERMINATIONS IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE, DELIVERED TO THE COMMISSION AT, OR PRIOR TO, THE PUBLIC HEARING.

FURTHER INFORMATION MAY BE OBTAINED BY CALLING THE PLANNING DIVISION AT (714) 990-7674 OR BY EMAILING [planner@cityofbrea.net](mailto:planner@cityofbrea.net).

COMMUNITY DEVELOPMENT DEPARTMENT

  
Joanne Hwang, AICP, City Planner

AREA MAP





Planning Division  
1 Civic Center Circle  
Brea, California 92821-5732



## CEQA NOTICE OF EXEMPTION

**TO:** Orange County Clerk-Recorder  
601 N. Ross Street  
Santa Ana, CA 92701

**FROM** City of Brea  
Community Development Department  
1 Civic Center Circle  
Brea, CA 92821

**PROJECT TITLE/CASE NO.:**

**SECOND AMENDMENT TO CONDITIONAL USE PERMIT NO. 00-16 AND  
PLAN REVIEW NO. 2023-11**

**PROJECT LOCATION:**

330 West Birch Street, Suite 1, Brea, CA 92821

**PROJECT DESCRIPTION:**

Construction of two new patios totaling in approximately 365 square feet, and expansion of the on-sale alcoholic beverage sales (Type 47- On-Sale General) into the 1,289-square-foot adjacent tenant suite at 332 West Birch Street and two new outdoor patio areas.

**Name of Public Agency Approving Project:**

City of Brea

**Project Applicant & Address:**

Douglas Vincent (Macallans Public House)  
330 West Birch Street, Suite 1  
Brea, CA 92821

**Exempt Status: (Check one)**

- |   |   |
|---|---|
| <input type="checkbox"/> Ministerial (Sec. 21080(b)(1); 15268)              | <input checked="" type="checkbox"/> Categorical Exemption ( <u>Sec. 15301</u> ) |
| <input type="checkbox"/> Declared Emergency (Sec. 21080(b)(3); 15269(a))    | <input type="checkbox"/> Statutory Exemption ( <u>15282(s)</u> )                |
| <input type="checkbox"/> Emergency Project (Sec. 21080(b)(4); 15269 (b)(c)) | <input type="checkbox"/> Other:   |

**Reason why project is exempt:** Class 1 is applicable to the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, involving negligible or no expansion of existing or former use. The construction of two small patios and the expansion of on-sale alcoholic beverages sale into the adjacent tenant space and new patios is a negligible expansion.

\_\_\_\_\_  
Jason Killebrew, Community Development Director

\_\_\_\_\_  
Date





## City of Brea

### Planning Commission Communication

#### Conditional Use Permit No. 2023-10

To allow a reduction in the required parking for additional medical office uses located at 330 East Lambert Road

Meeting	Agenda Group
Tuesday, December 12, 2023, 6:00 PM	PUBLIC HEARINGS Item: 7C
TO	FROM
Chair and Members of the Planning Commission	Joanne Hwang, City Planner

#### **EXECUTIVE SUMMARY**

The Applicant, CGM Development, is requesting a Conditional Use Permit (CUP) No. 2023-10 to allow a reduction in the required parking to accommodate additional medical office uses at an existing office building located at 330 East Lambert Road, in the M-1 (Light Industrial) zone.

The above-mentioned entitlement herein is referred to as the "Project."

#### **RECOMMENDATION**

Staff recommends that the Planning Commission adopt a resolution (Attachment A) taking the following actions:

Find the Project exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Class 1, Existing Facilities); and,

Approve Conditional Use Permit (CUP) No. 2023-10 to allow a reduction in the required parking to accommodate additional medical office uses at 330 East Lambert Road, based on the findings and conclusions in the attached Resolution (Attachment A), and subject to the recommended Conditions of Approval (Attachment B).

#### **BACKGROUND**

The Project site, located at 330 East Lambert Road, is a 2.38-acre property that is currently developed with a three-story, 42,349 square-foot office building, associated surface parking areas, and landscaping. Currently, the office building has four tenants occupying the majority of the building with a remaining square footage of 12,881 square feet that remains vacant.

The Project site is located on the south side of Lambert Road, between Brea Boulevard and Cliffwood Park Street. The Project site has a General Plan Land Use designation of Light Industrial and a zoning designation of Light Industrial (M-1). The surrounding land uses and zoning designation are shown in Tables 1 and 2 below.

**TABLE 1 – SURROUNDING LAND USES**

North	Brea Junior High Park and Brea Junior High School; Single-family and multi-family residences ( <i>across Lambert Road</i> )
East	Self-storage facility
South	Industrial uses
West	Industrial uses

**TABLE 2 – SURROUNDING ZONING DESIGNATIONS**

<b>North</b>	PF (Public Facilities), P/R/OS-PR (Parks / Recreation / Open Space-Parks & Recreation), R-3 (Multiple-Family Residential), and R-1 (Single-Family Residential) ( <i>across Lambert Road</i> )
<b>East</b>	M-1 (Light Industrial)
<b>South</b>	M-1 (Light Industrial)
<b>West</b>	M-2 (General Industrial)

The primary ingress and egress to the site is provided by two driveway approaches on Lambert Road. The site also has reciprocal access with the adjacent property to the east of the Project site. Existing surface parking provides 150 parking spaces, which is 30 spaces less than the minimum parking required for the Project site (180 space). The aerial view of the Project site is Figure 1 below. The Technical Background Summary and Vicinity map are provided as Attachment C, and D respectively. The aerial view of the Project site is Figure 1 below.

**FIGURE 1 – AERIAL VIEW OF THE PROJECT SITE**



#### Entitlement History

- On January 9, 1990, the Planning Commission approved CUP No. 89-40 and adopted Negative Declaration No. 89-25 to allow construction of a three-story office building at the Project site per Resolution No. P.C. 90-3 (Attachment E).
- On November 13, 1990, the Planning Commission approved Tentative Parcel Map No. TPM 90-297 to a subdivision of an existing parcel into two parcels per Resolution No. P.C. 90-66 (Attachment F). This subdivision resulted in the current layout of the Project site, which is one of the two parcels on Final Parcel Map No. 90-297.

- On November 25, 2008, the Planning Commission approved Conditional Use Permit No. 08-10 to allow a medical office use in the M-1 zone per Resolution No. P.C. 08-28 (Attachment G).
- On March 28, 2023, the Planning Commission approved Tentative Parcel Map (TPM) No. 2021-198 for an office condominium subdivision of an existing office building Resolution No. P.C. 2023-01 (Attachment H)

## **PROJECT DESCRIPTION**

The Applicant is requesting a reduction in on-site parking space requirements to accommodate future medical office uses. Currently, the tenant mix of the existing 42,349 square foot office building includes a variety of administrative offices, a financial institution, a medical office, and 12,881 Sq. ft. of vacant suites. As shown on the Table 3 below, the Code-required parking for the existing tenant mix is 180 spaces, which is 30 spaces more than the existing 150 spaces provided on site. As the Applicant is proposing to convert the existing vacant tenant suites into medical office uses, the Code required on-site parking would increase to 198 spaces, which is 48 spaces more than the existing 150 spaces provided on site. Therefore, the Applicant is requesting a reduction in on-site parking requirements for the Project site. Table 3 below shows the existing and proposed parking requirements.

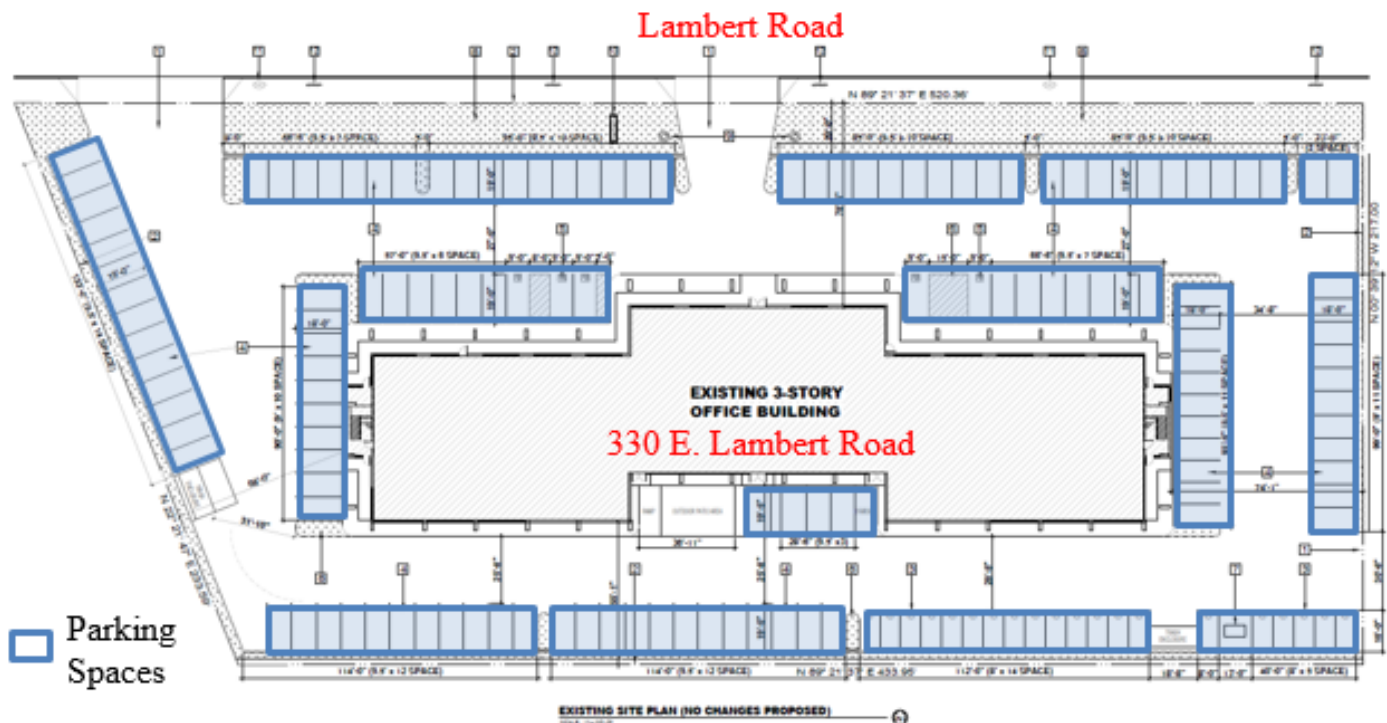
**TABLE 3 – EXISTING AND PROPOSED PARKING REQUIREMENTS**

Land Use	Size		Parking Required per Code	
	Existing	Proposed	Existing	Proposed
Administrative Office (1 per 250 sq. ft.)	33,949 sq. ft.	21,068 sq. ft.	137	84
Medical Office (5.5 per 1,000 sq. ft.)	1,798 sq. ft.	14,679 sq. ft.	10	81
Financial Institution (1 per 200 sq. ft.)	6,602 sq. ft.	6,602 sq. ft.	33	33
Total	42,349 sq. ft.		180	198
Available Parking			150	
Surplus/deficit			-30	-48

The existing 42,349 square-foot office building and the current surface parking provide 150 on-site parking spaces shared among office tenants would remain unchanged, as shown in Figure 2 below.

## **FIGURE 2 – SITE PLAN**





## DISCUSSION

Conditional Use Permit No. 2023-10: request to allow a reduction in the required parking for additional medical office uses.

Pursuant to Table 20.11.020.A - Permitted Land Uses in Brea City Code (BCC), medical offices and administrative offices are permitted uses in the M-1 Zone. However, the proposal to convert the subject administrative office uses into medical office uses at the Project site would increase the Code-required parking from 180 spaces to 198 spaces. This increase in the required parking, coupled with the existing nonconforming parking supply, requires further evaluation per Code requirements. Pursuant to BCC Section 20.08.040.F, modification of the off-street parking requirements may be granted to avoid circumstances where they might be excessive due to the use involved or other relevant circumstances. Such request must be accompanied by a Parking Demand Study, and it requires Planning Commission approval of a CUP. As such, the Applicant has submitted a Parking Demand Study (Michael Baker International, 2023) comparing the existing conditions, the City Code-based parking requirements, and on-site surveying data, which is provided as Attachment K.

Although there is a deficiency in Code-required parking, the Parking Demand Study shows that the allowance of additional medical office use can be supported through the existing 150 parking supply. Based on a two-day on-site survey conducted as part of the analysis, the peak parking demand for existing tenants is 50 spaces, representing a 33 percent utilization rate and a parking rate of 1.7 spaces per 1,000 sq. ft. As such, at full occupancy with vacant suites converted into medical office uses, the total anticipated parking demand for the Project site would be 121, illustrating a surplus of 29 spaces, as shown on Table 4 below. The analysis further explains that the Project site could actually accommodate additional medical uses beyond the current vacant suite spaces (up to 22,428 square feet) if the existing parking demand rate remains unchanged.

**TABLE 4 – ANTICIPATED PARKING DEMAND PER PARKING DEMAND STUDY**

Land Use	Size	Parking Ratio	Parking Required
Existing Professional Office	21,068 Sq. ft.	1.7 spaces per 1,000 Sq. ft. (per survey)	36
Existing Psychotherapy (Medical)	1,798 Sq. ft.		3
Existing Financial Institution	6,602 Sq. ft.		11
New Medical Offices (currently vacant)	12,881 Sq. ft.	5.5 spaces per 1,000 Sq. ft. (per Zoning Code)	71
<b>TOTAL</b>	<b>42,349 Sq. ft.</b>		<b>121</b>
<b>Available Parking</b>			<b>150</b>
<b>Surplus/deficit</b>			<b>+29</b>

The Parking Demand Study also recommends a number of parking management guidelines, which would further ensure adequate parking is provided. Such measures include maintenance of existing parking supply, periodic inspections, and a biannual parking utilization survey.

Based on the findings of the Parking Demand Study, the existing 150 parking spaces are sufficient to accommodate the proposed conversion of the existing vacant suites into medical office uses, resulting in a total of 14,679 sq. ft. of medical office uses. To further ensure the Project would be compatible with surrounding uses and not adversely affect the public, health or general welfare, staff has prepared draft Conditions of Approval (Attachment B). Notable conditions include requiring the property manager to conduct a biannual parking utilization survey to monitor the adequacy of the overall parking supply, and generally limiting the medical office use to 14,679 sq. ft.

Therefore, the Project, as proposed and conditioned, is not anticipated to negatively affect the health and safety of the surrounding neighborhood.

## **PUBLIC NOTICE AND COMMENTS**

This Project was noticed in accordance with the City's public noticing requirements, which involved mailed notices sent to property owners within 500-feet of the Project site, and publication in the Brea Star-Progress. The public hearing notice for this Project is provided as Attachment L. As of the writing of this report, staff has not received public comments.

## **ENVIRONMENTAL ASSESSMENT**

The project has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines and the environmental regulations of the City. The Project is categorically exempt from the requirements to prepare additional environmental documentation per CEQA Guidelines Section 15301 (Existing Facilities, Class 1). The Class 1 exemption applies to the Project as the Project is limited to reducing the Code-required parking for the Project site, and does not propose any physical alteration and the modification to the existing building or the Project site. Therefore, the Project is categorically exempt from the provisions of CEQA. The draft Notice of Exemption is Attachment M.

## **CONCLUSION**

For the reasons discussed above and the information attached to this report, the Project would conform with all the requirements of the General Plan and the provisions of the BCC. The proposed recommendation would not have an adverse effect on the public, health, safety, or general welfare. Therefore, staff recommends approval of the Project.

## **RESPECTFULLY SUBMITTED:**

Joanne Hwang, AICP, City Planner

Prepared by: Esteban Rubiano, Assistant Planner

---

## **Attachments**

Attachment A - Draft PC Resolution No. 2023-XX.pdf

Attachment B - Draft Conditions of Approval.pdf

Attachment C - Technical Background.pdf

Attachment D - Vicinity Map.pdf

Attachment E - Resolution No. PC 90-3.pdf

Attachment F - Resolution No. PC 90-66.pdf

Attachment G - Resolution No. PC 8-25.pdf

Attachment H - Resolution No. PC 2023-01.pdf

Attachment I - Project Plans.pdf

Attachment J - Project Application.pdf

Attachment K - Parking Demand Study.pdf

Attachment L - Public Hearing Notice.pdf

Attachment M - Draft Notice of Exemption.pdf



**(DRAFT) RESOLUTION NO. PC 2023-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BREA  
APPROVING CONDITIONAL USE PERMIT NO. 2023-10: TO ALLOW A  
REDUCTION IN REQUIRED PARKING FOR ADDITIONAL MEDICAL OFFICE  
USES LOCATED AT 330 EAST LAMBERT ROAD.**

**A. RECITALS:**

(i) The Planning Commission of the City of Brea (the “Planning Commission”) did receive a verified petition for the approval of Conditional Use Permit No. 2023-10 to allow a reduction in the required parking to accommodate additional medical office uses (referred to herein as the “Project”) for that certain real property located at 330 East Lambert Road, in the City of Brea, and further legally described as Assessor Parcel Number 319-192-15, as shown in the latest records of the County of Orange Assessor’s Office.

(ii) The Project applicant is CGM Development, 17877 Von Karman Ave. #388, Irvine, CA 92614.

(iii) The Project site is zoned Light Industrial (M-1) and designated as Light Industrial by the General Plan.

(iv) On December 12, 2023, the Planning Commission held a duly noticed public hearing on the Project, during which it received and considered all evidence and testimony presented prior to adoption of this resolution.

(v) All legal prerequisites to the adoption of this Resolution have occurred.

**B. RESOLUTION:**

**NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED** by the Planning Commission of the City of Brea, as follows:

1. In all respects as set forth in Recitals, Part A, of this Resolution.

2. The Project identified above in this Resolution has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines, and the environmental regulations of the City. The Project is categorically exempt from the requirements to prepare additional environmental documentation per CEQA Guidelines Section 15301. Class 1 exemption applies to the Project as the Project is limited to reducing the Code-required parking for the Project site, and does not propose any physical alteration and the modification to the existing building or the Project site. Therefore, the Project is categorically exempt from the provisions of CEQA.

3. The Commission further finds in consideration of Conditional Use Permit No. 2023-10 as follows:

a. Finding: That the use applied for at the location set forth in the application is properly one for which a Conditional Use Permit is authorized by this title.

Fact: The Project site is located within the M-1 (Light Industrial) Zone and has a general plan land use designation of Light Industrial. Exceptions or modifications to off-street parking requirements are permitted pursuant to Brea City Code (BCC) Section 20.08.040.F subject to Planning Commission approval of a Conditional Use Permit.

b. Finding: That said use with any conditions to be imposed is necessary or desirable for the development of the community, in harmony with the various elements or objectives of the General Plan, and not detrimental to existing uses or to uses specifically permitted in the zone in which the proposed use(s) is to be located

Fact: The Project is located within an existing office complex that includes various professional-commercial services. The proposed parking space reduction will allow the expanded use of services, namely medical office/clinics. The Parking Demand Study provided for the Project determined that the existing 150 parking spaces would sufficiently accommodate the anticipated parking demand of the expanded medical office uses, therefore not negatively impacting the businesses in the center. Additionally, the reduction of parking would further support a mixture of businesses within the community aligning with General Plan Policy CD-1.11.

c. Finding: That the site is adequate in size and shape to accommodate the proposed development and all of the yards, setbacks, walls or fences, landscaping, and other features required to bring about conformity with other elements in the neighborhood.

Fact: The Project propose no physical alteration or modification to the office complex. In addition, the current parking supply proportionately accommodates the parking demand necessary for the medical office use. As such, the site is adequate in size to accommodate the Project.

d. Finding: That the proposed site relates to streets and highways which are properly designed and improved to carry the type and quantity of traffic generated or to be generated by the proposed development.

Fact: The Project is not anticipated to exceed the planned traffic standards as it will operate consistent with the provided surface parking within the Project site. The vehicular and pedestrian access from Lambert Road has been designed to support the quantity of traffic expected.

e. Finding: That with the conditions stated in the permit, the uses will not adversely affect the public health, safety, or general welfare



Fact: The Project will not limit the accessibility to parking on any businesses within the center. The Project site will continue to accommodate the necessary parking for expected peak parking demands, preserving the existing conditions of the office complex. As such, with conditions imposed, the proposed operation will not be harmful to the public health, safety, and welfare of the City.

5. Conditional Use Permit No. 2023-10 is hereby approved, subject to the conditions of approval found in Exhibit A of this resolution.

6. The Secretary of this Commission shall certify to the adoption of this Resolution.

**ADOPTED AND APPROVED** this 12<sup>th</sup> day of December, 2023.

---

Chair, Planning Commission

I, Joanne Hwang, Secretary to the Planning Commission of the City of Brea, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Brea held on the 12<sup>th</sup> day of December, 2023 and was finally passed at a regular meeting of the Planning Commission of the City of Brea, held on the 12<sup>th</sup> day of December, 2023, by the following votes:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

ATTEST:

---

Secretary, Planning Commission

**ATTACHMENT A OF RESOLUTION NO. 20XX-XX  
Conditional Use Permit No. 2023-10**

**CONDITIONS OF APPROVAL**

Conditional Use Permit No. 2023-10 is hereby approved, subject to the conditions as set forth herein:

Planning Division – Community Development Department

1. Development and operations shall occur in substantial compliance with the plans and documents reviewed and approved by the Planning Commission on December 12, 2023, which include a, site plan, parking demand study and parking management plan on file with the Planning Division, the conditions contained herein and all applicable Federal, State, County and local regulations. The City Planner may approve minor modifications to the operations and approved project plans.
2. The approved use shall operate within all applicable Federal, State, County, and City regulations.
3. Any future tenant improvement and/or construction plans for a change in tenant uses shall demonstrate compliance with the minimum parking requirements, pursuant to Brea City Code Section 20.08.040 (Off-Street Parking and Loading) and/or the approved Parking Demand Study on file, to the satisfaction of the City Planner.
4. Medical office uses shall be limited to 14,679 sq. ft. of gross floor area of the existing building. The City Planner may approve additional medical office uses up to 22,428 sq. ft. of gross floor area of the existing building if the Applicant demonstrates compliance with the approved Parking Demand Study. Any additional medical office uses beyond 22,428 sq. ft. of gross floor area of the existing building shall require an amended Conditional Use Permit with a new parking demand study.
5. The property manager shall conduct a parking utilization survey biannually to monitor the adequacy of the overall parking supply. If the total utilization exceeds 85%, a more detailed parking demand study would be required to determine to actual demand of each tenant, regardless of use. The property manager shall keep a record of all surveys, and provide copies of such surveys at the request of the City.
6. Any proposed signage shall conform with Brea City Code.
7. The Applicant is responsible for paying all charges related to the processing of the Project within 30 days of the issuance of the final invoice or prior to the issuance

of building permits for the Project, whichever occurs first. Failure to pay all charges shall result in delays in the issuance of required permits or may result in the revocation of the approval of this application.

8. Any permit is subject to expiration and revocation as provided in Brea City Code Chapter 20.412.020, and said provisions are specifically made a part hereof without negating the applicability of any other provision of this title of any other ordinance.
9. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold the City, its elected officials, officers, contractors serving as City officers, agents, and employees ("Indemnitees") free and harmless from: (i) any and all claims, liabilities and losses whatsoever occurring or resulting to any and all persons, firms, entities, or corporations furnishing or supplying work, services, materials, or supplies in connection with, or related to, the performance of work or the exercise of rights authorized by approval of Conditional Use Permit No. CUP 2023-03 and (ii) any and all claims, lawsuits, liabilities, and/or the granting or exercise of the rights authorized by said approval; and (iii) from any and all claims, liabilities and losses occurring or resulting to any person, firm, entity, corporation for property damage, personal injury, or death, arising out of or related to the approval of, or exercise of rights granted by, this permit. Applicant's obligation to indemnify, defend and hold the Indemnitees free and harmless as required hereinabove shall include, but is not limited to, paying all fees and costs incurred by legal counsel of the Indemnitee's choice in representing the Indemnitees in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorney's fees in any such lawsuit or action.



**TECHNICAL BACKGROUND**

**Case No:** Conditional Use Permit (CUP) No.2023-10

**Property Location:** 330 East Lambert Road

**Parcel Size:** 2.38 Acres

**Building Size:** 42,349 Square Feet

**Applicant:** CGM Development  
17877 Von Karman Ave. #388  
Irvine, CA, 92614

**General Plan Designation:** Light Industrial

**Zoning Designation:** Light Industrial (M-1)

**Adjacent Zoning**

**North:** PF (Public Facilities), P/R/OS-PR (Parks / Recreation / Open Space-Parks & Recreation), R-3 (Multiple-Family Residential), and R-1 (Single-Family Residential) (*across Lambert Road*)

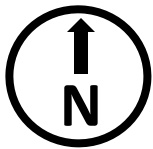
**South:** M-1

**West:** M-2 (General Industrial)

**East:** M-1

**Site and Neighborhood Characteristics:** The project site is located at 330 East Lambert Road, on the south of Lambert Road, between Brea Boulevard and Cliffwood Park Street. Adjacent properties East, West, and South are industrial uses with Brea Junior High School north across Lambert Road along with Multi-Family residences (R-3).

**Public Hearing Notices and Outreach:** Legal Notice was published in the Brea Star-Progress on November 30, 2023, and approximately 89 notices were sent to all property owners within a 500-foot radius of the subject property.



## SUBJECT PROPERTY AND VICINITY MAP

DATE: December 12, 2023

CASE NO:

ACCELA RECORD NO. PLN-2023-00056  
CONDITIONAL USE PERMIT NO. 2023-10

## RESOLUTION NO. P.C. 90-3

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BREA APPROVING CONDITIONAL USE PERMIT APPLICATION NO. C.U.P. 89-40, AND NEGATIVE DECLARATION NO. N.D. 89-25, SUBJECT TO THE CONDITIONS AS SET FORTH HEREIN

A. Recitals.

(i) The Planning Commission of the City of Brea has heretofore held a duly noticed public hearing, as required by law, on Conditional Use Permit No. C.U.P. 89-40, and Negative Declaration No. N.D. 89-25, a request to construct a three-story office building with 49,247 square feet of net floor area, within the M-1 district, in accordance with Sections 263.B.5 and 504 of the Brea Zoning Ordinance.

(ii) The Original Development proposal for the property received approval under Planning Commission Resolution No. P.C. 85-48.

(iii) The property is located at the southwest corner of Lambert Road and Cliffwood Park Street.

(iv) The property is located in the M-1 zone and is further described as Map Book 319, page 19, block 192, parcel 01, of the County of Orange Tax Assessor's Office in the City of Brea.

(v) All legal prerequisites to the adoption of this Resolution have occurred.

B. RESOLUTION. NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED by the Planning Commission as follows:

1. In all respects as set forth in Recitals, Part A, of this Resolution.

2. The Planning Commission hereby finds that Negative Declaration No. 89-25 has been prepared in compliance with the California Environmental Quality Act of 1970, as amended, and the Guidelines promulgated thereunder, and,

RESOLUTION NO. P.C. 90-3

Page two

Applicant: Rossetti Associates - Walter Meyer for Union Federal

Conditional Use Permit No. C.U.P. 89-40 and Negative Declaration No. N.D. 89-25

further, this Commission has reviewed and considered the information contained in said Negative Declaration No. 89-25, with respect to the project identified in this Resolution.

3. The Planning Commission hereby specifically finds and determines that, based upon the findings set forth below, and changes and alterations which have been incorporated into and conditioned upon the proposed project, no significant adverse environmental effects will occur.

4. The Planning Commission finds that facts supporting the above-specified findings are contained in the Negative Declaration, the staff report and exhibits, and the information provided to this Commission during the public hearing conducted with respect to the project and the Negative Declaration, mitigation measures will be made a condition of approval of said project and are intended to mitigate and/or avoid environmental effects identified in the Negative Declaration.

5. It is hereby found that the uses applied for, administrative and professional offices, are authorized by Ordinance No. 425, the Brea Zoning Ordinance, as amended, as set forth in Section 263.B.

6. It is further found that said uses, administrative and professional offices, are in harmony with the various elements and objectives of the General Plan and are not detrimental to existing uses or to uses specifically permitted in the zone in which the proposed uses are to be located.

7. It is hereby found that the site is adequate in size and shape to accommodate the proposed development.



RESOLUTION NO. P.C. 90-3

Page three

Applicant: Rossetti Associates - Walter Meyer for Union Federal

Conditional Use Permit No. C.U.P. 89-40 and Negative Declaration No. N.D. 89-25

8. It is found that the proposed site relates to streets and highways which are properly designed and shall be or are now improved to carry the type and quantity of traffic generated and to be generated by the proposed development.

9. It is found that the requests are necessary as the building design has changed significantly, and the approval granted under Planning Commission Resolution 85-48 has expired.

10. Conditional Use Permit Application No. C.U.P. 89-40 is hereby approved subject to the following conditions:

- A. Development shall occur on the subject property in substantial conformance with plans submitted to the Planning Commission and dated January 9, 1990, which includes site, grading, landscaping plans, architectural elevations, materials and colors on file in the Planning Division, the Conditions contained herein, and all applicable City regulations.
- B. Prior to occupancy, the Applicant shall provide for the following transportation systems management plan:
  - 1) On-site bikeway access shall be provided with convenient bicycle storage facilities.
  - 2) Lease agreements for the project shall provide for a plan to encourage future employees to utilize carpools, vanpools and/or transit uses. Said plans shall be reviewed and approved by the City Planner.
- C. A final landscape and full-coverage automatic irrigation system shall be provided for review and approval by the Planning Division, prior to the issuance of building permits and installed prior to building final. Tree staking, soil preparation and planting details shall be shown on the final landscape plan. Water conservation design and maintenance and drought tolerant landscape planning shall be incorporated wherever feasible into the final design of the landscape and irrigation plans for the site. The final landscape plan shall be in accordance with the approved site and grading plans.

RESOLUTION NO. P.C. 90-3

Page four

Applicant: Rossetti Associates - Walter Meyer for Union Federal

Conditional Use Permit No. C.U.P. 89-40 and Negative Declaration No. N.D. 89-25

- D. Final colors and materials samples shall be provided subject to the review and approval of the City Planner.
- E. The following shall be submitted to and reviewed by the Engineering Division prior to the issuance of building permits:
  - 1) A final grading plan, prepared and signed by a registered civil engineer. Drainage design shall be based on a 25-year storm frequency per current Orange County EMA Hydrology Manual.
  - 2) A soils report prepared by a qualified soils engineer.
  - 3) Information on construction of all retaining walls and required calculations.
- F. The applicant shall pay any and all fees due prior to the issuance of building permits.
- G. All public improvements shall be per the applicable City of Brea Standard drawing and as required by the City Engineer.
- H. All exit doors not opening onto a sidewalk shall be either recessed or protected by guard posts as required by the Development Services and Fire Departments.
- I. An exterior lighting plan shall be prepared in accordance with the requirements of Section 304 of the Brea Zoning Ordinance. The lighting plan shall be submitted for City Planner review and approval prior to the issuance of building permits and shall include the following:
  - 1) Cut-off luminaires shall be installed which will provide true ninety-degree cut-off and prevent projections of light above the horizontal from the lowest point of the lamp or light-emitting refractor or device.
  - 2) All fixtures shall use a flat clear lens energy efficient light source.
  - 3) All project lighting shall be confined to the project site.
  - 4) All lighting shall be on a time clock or photo-sensor system.
  - 5) The maximum pole height for project lighting shall be thirty (30) feet.

RESOLUTION NO. P.C. 90-3

Page five

Applicant: Rossetti Associates - Walter Meyer for Union Federal

Conditional Use Permit No. C.U.P. 89-40 and Negative Declaration No. N.D. 89-25

- J. All on-site signage shall meet or exceed the minimum requirements of Section 404 of the Brea Zoning Ordinance and any subsequent amendments thereto.
- K. All roof-mounted equipment and projections therefrom shall be screened from view of adjacent property. All roof-mounted equipment which generates noise, solid particles, odors, etc., shall cause the objectionable materials to be directed away from residential properties. All screen designs shall be architecturally integrated with the building and shall be subject to the review and approval of the Planning Division.
- L. All proposed screening/retaining walls shall be constructed of a material compatible with the elevations of the building, subject to the review and approval of the City Planner.
- M. All ground-mounted utility and mechanical equipment shall be screened and sound buffered as shown on the final landscape plans, subject to the review and approval of the City Planner.
- N. All grading and exterior construction activity shall be limited to the hours of 7 a.m. to 6 p.m., Monday through Friday, with no grading or exterior construction permitted on Saturdays, Sundays or legal holidays. Interior construction activity shall not be limited. In addition, adequate watering techniques shall be employed to control dust generated during construction activity as required by the Development Services Department.
- O. Fire lanes shall be posted per Brea Fire Department requirements.
- P. All off-street parking, perpendicular and/or adjacent to a street or highway shall be screened in accordance with Section 304.030.4 of the Zoning Ordinance. The final landscape plans shall contain cross-sections illustrating the proposed method of screening.
- Q. The applicant shall provide an art monument in accordance with the City's Art in Public Places Program. The sculpture shall remain on the site in the approved location and shall be maintained in good condition throughout the life of the sculpture.
- R. The applicant shall sign a notarized affidavit within ten (10) days after adoption of this Resolution indicating an acceptance of all Conditions of Approval.

RESOLUTION NO. P.C. 90-3

Page six

Applicant: Rossetti Associates - Walter Meyer for Union Federal

Conditional Use Permit No. C.U.P. 89-40 and Negative Declaration No. N.D. 89-25

9. The Secretary of this Commission shall certify to the adoption of this Resolution.

ADOPTED AND APPROVED this 9th day of January, 1990.

  
Chairman, Planning Commission

I, Konradt Bartlam, Secretary to the Planning Commission of the City of Brea, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Brea held on the 9th day of January, 1990, and was finally passed at a regular meeting of the Planning Commission of the City of Brea, held on the 9th day of January, 1990, by the following votes:

AYES: COMMISSIONERS: DELKESKAMP, WETTLIN, CLAUSEN, DAVIS, SWINDLE

NOES: COMMISSIONERS: NONE

ABSENT: COMMISSIONERS: NONE

ABSTAIN: COMMISSIONERS: NONE

ATTEST:   
Secretary, Planning Commission



## RESOLUTION NO. PC 90-66

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY  
OF BREA APPROVING TENTATIVE PARCEL MAP APPLICATION  
NO. TPM 90-297, SUBJECT TO THE CONDITIONS AS SET  
FORTH HEREIN****A. Recitals.**

(i) The Planning Commission of the City of Brea has heretofore held a duly noticed public hearing, as required by law, on Tentative Parcel Map Application No. TPM 90-297, a request to subdivide an existing parcel into two parcels, in accordance with the City Subdivision Ordinance and the Subdivision Map Act.

(ii) The property is located at 330 and 440 East Lambert Road, legally described as a portion of Map Book 319, page 193, parcel 001, as shown in the latest records of the County of Orange Tax Assessor.

(iii) The property is designated Light Industrial on the General Plan and is zoned M-1, Light Industrial.

(iv) All legal prerequisites to the adoption of this Resolution have occurred.

**B. RESOLUTION.** NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED by the Planning Commission as follows:

1. In all respects as set forth in Recitals, Part A, of this Resolution.
2. The Planning Commission hereby finds and determines that the project identified above in this Resolution is categorically exempt from the requirements of the California Environmental Quality Act of 1970, as amended, and the Guidelines promulgated thereunder pursuant to Section 15315 of Division 6 of Title 14 of the California Code of Regulations.
3. It is further found that both the design and improvements for the proposed subdivision are consistent with applicable general and specific plans.

RESOLUTION NO. PC 90-66

Page two

Applicant: Union Federal Bank

Tentative Parcel Map No. TPM 90-297

4. It is hereby found that the site is physically suitable for the type of development.

5. It is further found that the site is physically suitable for the proposed density of the development.

6. It is found that neither the design of the subdivision nor the improvements are likely to cause substantial environmental damage or substantially and unavoidably injure fish or wildlife or their habitat.

7. It is hereby found that neither the design of the subdivision nor type of improvements are likely to cause serious public health problems.

8. It is further found that, as conditioned, neither the design of the subdivision nor the type of improvements will conflict with easements acquired by the public at large for access through or use of the property within the proposed subdivision.

9. Tentative Parcel Map Application No. TPM 90-297 is hereby approved, subject to the following conditions:

- a. The subdivision shall occur in substantial conformance with Tentative Parcel Map No. TPM 90-297, submitted to the Planning Commission and dated November 13, 1990.
- b. The applicant shall pay all applicable fees prior to the City Council approval of the Final Parcel Map.
- c. The applicant shall record common reciprocal easements for vehicular access, truck maneuvering and circulation, and drainage. The easement agreements shall be as required by the City Engineer and recorded by separate instrument at the time the Final Parcel Map records. The Development Services Department shall be provided with duplicate copies of the recorded agreements within ten (10) days of recordation.
- d. The applicant shall provide the Development Services Department with a duplicate mylar of the Final Parcel Map within thirty (30) days of recordation.

RESOLUTION NO. PC 90-66

Page three

Applicant: Union Federal Bank

Tentative Parcel Map No. TPM 90-297

- e. All other requirements of the City Engineer shall be met prior to approval of the Final Parcel Map.
- f. The applicant shall sign a notarized affidavit within ten (10) days after adoption of this resolution indicating an acceptance of all Conditions of Approval.

10. The Secretary of this Commission shall certify to the adoption of this Resolution.

APPROVED AND ADOPTED this 13th day of November 1990.

  
Chairman, Planning Commission

I, Konradt Bartlam, Secretary to the Planning Commission of the City of Brea, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Brea held on the 13th day of November 1990, and was finally passed at a regular meeting of the Planning Commission of the City of Brea, held on the 13th day of November 1990, by the following votes:

AYES: COMMISSIONERS: DELKESKAMP, WETTLIN, CLAUSEN, DAVIS, SWINDLE

NOES: COMMISSIONERS: NONE

ABSENT: COMMISSIONERS: NONE

ABSTAIN: COMMISSIONERS: NONE

ATTEST:

  
Secretary, Planning Commission

DMC/jr:tpm90-297.reso

1. The first part of the report is a general introduction to the subject of the study. It discusses the importance of the study and the objectives of the research.

2. The second part of the report is a detailed description of the methodology used in the study. It includes information about the sample, the data collection methods, and the statistical analysis.

3. The third part of the report is a discussion of the results of the study. It compares the findings with the previous research and discusses the implications of the study.

4. The fourth part of the report is a conclusion and a list of references. The conclusion summarizes the main findings of the study, and the references list the sources used in the research.

5. The fifth part of the report is a list of appendices. These include additional data, tables, and figures that are not included in the main text of the report.

6. The sixth part of the report is a list of footnotes. These provide additional information about the sources used in the study and the methods used.

7. The seventh part of the report is a list of references. These are the sources of information used in the study, including books, articles, and other documents.

8. The eighth part of the report is a list of references. These are the sources of information used in the study, including books, articles, and other documents.

9. The ninth part of the report is a list of references. These are the sources of information used in the study, including books, articles, and other documents.

10. The tenth part of the report is a list of references. These are the sources of information used in the study, including books, articles, and other documents.

11. The eleventh part of the report is a list of references. These are the sources of information used in the study, including books, articles, and other documents.

12. The twelfth part of the report is a list of references. These are the sources of information used in the study, including books, articles, and other documents.

13. The thirteenth part of the report is a list of references. These are the sources of information used in the study, including books, articles, and other documents.

14. The fourteenth part of the report is a list of references. These are the sources of information used in the study, including books, articles, and other documents.

15. The fifteenth part of the report is a list of references. These are the sources of information used in the study, including books, articles, and other documents.



**RESOLUTION NO. PC 08-25**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BREA APPROVING CONDITIONAL USE PERMIT NO. CUP 08-10 WHICH ALLOWS A MEDICAL OFFICE USE AT 330 E. LAMBERT STREET, SUITE 104, WITHIN THE M-1, LIGHT INDUSTRIAL ZONE .**

**A. RECITALS.**

(i) **WHEREAS**, the Planning Commission of the City of Brea has heretofore held a duly noticed public hearing, as required by law, on Conditional Use Permit No. CUP 08-10. The proposed Conditional Use Permit will establish a medical office use in the M-1, Light Industrial zone.

(ii) **WHEREAS**, the subject property is located at 330 East Lambert Road, Suite 104 and further legally described as a portion of Map Book 319, Page 19, Block 192, Parcel 15, as shown in the latest records of the County of Orange Assessor's Office.

(iii) **WHEREAS**, the project proponent is Tom Metcalf, c/o American Laser Center, 250 El Camino Real, #116, Tustin, CA 92780.

(iv) **WHEREAS**, the property is zoned M-1, Light Industrial and designated as Light Industrial in the General Plan land use element.

(v) **WHEREAS**, Conditional Use Permit No. CUP 89-40 was approved by the Planning Commission on January 9, 1990 to allow construction of a two-story administrative office building.

(vi) **WHEREAS**, all legal prerequisites to the adoption of this Resolution have occurred.

**B. RESOLUTION.**

**NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED** by the Planning Commission of the City of Brea, as follows:

1. In all respects as set forth in Recitals, Part A, of this Resolution.

2. The Planning Commission hereby finds that the project identified above in this Resolution is exempt from the requirements of the California Environmental Quality Act of 1970, as amended, and the Guidelines promulgated thereunder pursuant to Section 15301 Class 1 of said Act.

3. The Commission further finds in consideration of Conditional Use Permit No. CUP 08-10 as follows:

a. Finding: That the use applied for at the location set forth in the application is properly one for which a Conditional Use Permit is authorized by this title.

Fact: The proposed site is zoned M-1, Light Industrial. Medical offices uses are a permitted use in this zone subject to review and approval of a Conditional Use Permit.

b. Finding: The proposed project, with conditions as imposed, is desirable for the development of the community, in harmony with the various elements or objectives of the General Plan, and not detrimental to existing uses or uses permitted in the zone.

Fact: Pursuant to Chapter 20.252, office uses are permitted in the M-1, Light Industrial zone subject to the review and approval of the Planning Commission. The proposed project is located within an existing building approved

for administrative office uses. Further, General Plan Policy CD-1.11 encourages a mixture of business and retail uses within the community.

c. Finding: The site is adequate in size and shape to accommodate the proposed development of to accommodate the proposed use.

Fact: The proposed use will be located within an existing office building and the subject site has been approved in accordance with the City's zoning requirements to accommodate for commercial uses.

d. Finding: The proposed site relates to streets and highways which are properly designed and improved to carry the type of quantity of traffic generated.

Fact: Vehicular access will be provided primarily via Lambert Road which is a fully improved major arterial.

e. Finding: That with the conditions stated in the permit, the uses will not adversely affect the public, health, safety, or general welfare.

Fact: The project is required to provide necessary building and fire life-safety systems to meet all Building and Fire codes and standards, thereby assuring the public health, safety, and welfare. Further, business operations will be conducted wholly within the building.

4. Conditional Use Permit No. 08-10 is hereby approved, subject to conditions as set forth herein:

- a. Business operations shall occur in substantial conformance with the plans and project description submitted to the Planning Commission and dated November 25, 2008, on-file in the Planning Division, the conditions contained herein, and all applicable Federal, State and City regulations.

- b. Any increase in square footage of the tenant space shall be reviewed and approved by the City Planner. Any substantial increase in square footage of the tenant space shall require review and approval of the Planning Commission.
5. The secretary of this Commission shall certify to the adoption of this Resolution.

**ADOPTED AND APPROVED** this 25th day of November 2008.

  
Chairman, Planning Commission

I, David M. Crabtree, Secretary to the Planning Commission of the City of Brea, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Brea held on the 25th day of November 2008, and was finally passed at a regular meeting of the Planning Commission of the City of Brea, held on the 25<sup>th</sup> day of November 2008, by the following votes:

AYES:	COMMISSIONERS:	Prenovost, Clough, Fox, Grosse, Koos
NOES:	COMMISSIONERS:	None
ABSENT:	COMMISSIONERS:	None
ABSTAIN:	COMMISSIONERS:	None

ATTEST:   
Secretary, Planning Commission



## **RESOLUTION NO. PC 2023-01**

### **A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BREA APPROVING A TENTATIVE PARCEL MAP NO. 2021-198 FOR AN OFFICE CONDOMINIUM SUBDIVISION OF AN EXISTING OFFICE BUILDING LOCATED AT 330 EAST LAMBERT ROAD.**

#### **A. RECITALS:**

(i) The Planning Commission of the City of Brea City of Brea (the "Planning Commission") did receive a verified petition for the approval of Tentative Parcel Map No. 2021-198 (referred to herein as the "Project") for the certain real property located at 330 East Lambert Road, in the City of Brea, and further legally described as Assessor Parcel Number 319-192-15, as shown in the latest records of the County of Orange Assessor's Office. This resolution is to allow a one-lot subdivision for condominium purposes for an existing three story 42,707 square foot 32-unit office building (Project).

(ii) The Project application is CGM Development, LLC, 17877 Von Karman Ave #388, Irvine CA 92614.

(iii) The Project site is zoned M-1 (Light Industrial) and designated as Light Industrial by the General Plan.

(iv) On March 28, 2023, the Planning Commission held a duly noticed public hearing on the Project, during which it received and considered all evidence and testimony presented prior to adoption of this resolution.

(v) The property is zoned M-1 (Light Industrial) and designated as Light Industrial in the General Plan Land Use element.

(vi) All legal prerequisites to the adoption of this Resolution have occurred.

#### **B. RESOLUTION:**

**NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED** by the Planning Commission of the City of Brea, as follows:

1. In all respects as set forth in Recitals, Part A, of this Resolution.

2. The Project identified above in this Resolution has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines, and the environmental regulations of the City. The Planning Commission hereby finds and determines the project identified above in this Resolution is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA) of 1970, as amended, and the Guidelines promulgated thereunder, pursuant to Section 15301(k), Class 1 "Existing Facilities" classification, and exempt from further environmental review.

3. The Commission further finds in consideration of TPM 2021-198 as follows:

a. Finding: That the proposed map is consistent with the applicable General Plan and Specific Plans.

Fact: The subject property has a General Plan land use designation of Light Industrial, which allows for light manufacturing, warehousing and storage uses. The subject property existing office building was approved under Conditional Use Permit No. 08-10. The proposed condominium subdivision is consistent with General Plan Goal CD-24 to maintain and expand the city's diverse employment base, including office, retail, manufacturing, and industrial businesses. Retaining and expanding business opportunities through condominium ownership will provide new options and retain businesses. The proposed subdivision will maintain the existing General Plan land use designation on the property, allowing existing uses to continue while offering

ownership opportunities of office units. The proposed subdivision creates 32 new condominium units for future owners and businesses in the City.

b. Finding: The site is physically suitable for the type of development.

Fact: The subject property is 2.38 acres in size and occupied by one three-story, existing office building. The map would subdivide the existing building into 32 individual units without any new construction with the exception of required accessibility (ADA) improvements. The subject property has a zoning designation of M-1 (Light Industrial) that will allow for the continued operation of existing businesses at the project site. In addition, the site has and will maintain proper infrastructure and related city services in place to support the allowed use, including the existing on-site parking. Despite the existing nonconforming parking condition, it is unlikely that the proposed subdivision will result in adverse parking impacts, as there will be no change in the building use or size.

c. Finding: The site is physically suitable for the proposed density of development.

Fact: The proposed density of the office building will comply with the development standards of the BCC, as no new construction or improvements with the exception of those required by the conditions of approval is proposed with this application and as such, the density of the existing office building would remain as is.

d. Finding: The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially unavoidably injure fish or wildlife, or their habitat.

Fact: The design of the Project and the proposed improvements will not cause substantial environmental damage or damage to fish, wildlife, or their habitat in that the subject property is not located on or adjacent to wildlife habitat or protected environmental areas. This Project site and surrounding area have been previously disturbed with existing development and improvements related to the development of subject parcel. This office condominium subdivision will not result in any new development and no adverse impacts to the environment is expected.

e. Finding: The design of the subdivision or type of improvements is not likely to cause serious public health problems.

Fact: The design of the office condominium subdivision and the improvements associated with this project are not likely to cause serious public health problems in that the new subdivision and improvements will be required to comply with the approved plans and development standards as required by the City of Brea. In addition to these development standards, any development will be required to comply with the California Building Code. With implementation of the Conditions of Approval included as part of Tentative Parcel map No. 2021-198, the subdivision will not cause and change or impact to public health.

f. Finding: The design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision.

Fact: The Project will continue to be provided with access from Lambert Road. There is no development proposed with this subdivision and all existing



easements will remain. There will be no changes to the design, layout or function of the development that has existed at this location prior to this subdivision request.

4. The Planning Commission hereby approves Tentative Parcel Map No. 2021-198, subject to the conditions found in Attachment A of this resolution.

5. The Secretary of this Commission shall certify to the adoption of this Resolution.

**ADOPTED AND APPROVED** this 28<sup>th</sup> day of March, 2023.

  
Chairman, Planning Commission

I, Joanne Hwang, Secretary to the Planning Commission of the City of Brea, do hereby certify that the foregoing Resolution was approved at a regular meeting of the Planning Commission of the City of Brea held on the 28th day of March 2023, by the following votes:

AYES: COMMISSIONERS: Madden, Covey, Donini, Perez, Schlotterbeck

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

ATTEST:

  
Secretary, Planning Commission



**ATTACHMENT B OF RESOLUTION NO. 2023-01  
TENTATIVE PARCEL MAP (TPM) NO. 2021-198**

**CONDITIONS OF APPROVAL**

Tentative Parcel Map No. 2021-198 is hereby approved, subject to the conditions as set forth herein:

Planning Division – Community Development Department

1. Development shall occur in substantial conformance with the tentative parcel map, floor plan, site plan and project description submitted and approved by the Planning Commission on March 28, 2023, on-file with the Planning Division, the conditions contained herein, and all applicable local, State and Federal regulations. The City Planner may approve any minor changes to the approved plans.
2. Any future tenant improvement and/or construction plans for an intensification of land use shall demonstrate compliance with minimum parking requirements, pursuant to Brea City Code Section 20.08.040 (Off-Street Parking and Loading), to the satisfaction of the City Planner.
3. The applicant is responsible for paying all charges related to the processing of this discretionary case application within 30 days of the issuance of the final invoice or prior to the issuance of building permits for this project, whichever occurs first. Failure to pay all charges shall result in delays in the issuance of required permits or may result in the revocation of the approval of this application.
4. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold the City, its elected officials, officers, contractors serving as City officers, agents, and employees ("Indemnitees") free and harmless from: (i) any and all claims, liabilities and losses whatsoever occurring or resulting to any and all persons, firms, entities, or corporations furnishing or supplying work, services, materials, or supplies in connection with, or related to, the performance of work or the exercise of rights authorized by approval of TPM No. 2021-198 and (ii) any and all claims, lawsuits, liabilities, and/or the granting or exercise of the rights authorized by said approval; and (iii) from any and all claims, liabilities and losses occurring or resulting to any person, firm, entity, corporation for property damage, personal injury, or death, arising out of or related to the approval of, or exercise of rights granted by, this permit. Applicant's obligation to indemnify, defend and hold the Indemnitees free and harmless as required hereinabove shall include, but is not limited to, paying all fees and costs incurred by legal counsel of the Indemnatee's choice in representing the Indemnitees in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorney's fees in any such lawsuit or action.

Building & Safety Division – Community Development Department

5. All designs shall comply with the Codes adopted at the time of permit submittal. Currently the 2022 CA Building, Mechanical, Electrical, Plumbing, Cal Green, Energy, Fire Codes & City of Brea Municipal Code are in effect.

6. The Applicant shall prepare a declaration of Covenants, Conditions, and Restrictions (CC&R's) which shall be recorded and apply to each owner of the commercial condominium unit within the Project. The CC&Rs shall be subject to the approval of the Community Development Director or their designee and the City Attorney and shall be recorded at, or prior to, the time of Final Map approval, and shall include all applicable conditions of approval and requirements of the City. The CC&Rs shall, at a minimum, provide:
  - a. That any amendment to the CC&Rs related to the conditions of approval or other requirements of this chapter may not be approved without prior consent of the City;
  - b. That there shall be an entity created (e.g. a property or business association) which shall be financially responsible for and shall provide for the effective establishment, operation, management, use, repair and maintenance of all common areas and facilities;
  - c. A provision containing pertinent information regarding the conveyance of units and the assignment of parking, an estimate of any initial assessment fees anticipated for maintenance of common areas and facilities, and an indication of appropriate responsibilities for maintenance of all utility lines and services for each unit;
  - d. A provision that prohibits changes to the fire apparatus access without Brea Fire Department review and approval.
  - e. A provision addressing the payment of water, utilities, gas and electricity by the business or through association;
  - f. A provision requiring that any owner who buys rents his or her condominium unit shall utilize a professional property management company to manage the rental unit or that there exists a property owners' association which is responsible for management of the common areas and enforcement of the CC&Rs.
7. All structures within the project shall conform to the current provisions of Title 24 of the California Code of Regulations, as adopted and/or amended by the city of Brea, and other applicable city building, zoning and municipal codes and ordinances, except as provided herein. The provisions of the State Historic Building Code (California Administrative Code, Title 24, Part 8) shall be applicable in permitting repairs, alterations, and additions necessary for the preservation, restoration and continued use of a historical building or structure.
8. Prior to the issuance of building permits, all common walls of units shall be constructed and maintained in accordance with current building codes. The number and locations of fire extinguishers and hydrants shall be in accordance with current fire codes. Existing fire sprinkler systems shall be verified to be in good working order and meet standards for the system installed.
9. All permanent mechanical equipment (such as motors, compressors, pumps and compactors) which are determined by the Building Official to be a source of structural vibration or structural-borne noise shall be vibration-isolated with inertia blocks or bases or vibration isolator springs in accordance with the standards in effect at the time the last building was constructed on the site.



10. The structures shall conform to all interior and exterior sound transmission standards of the California Code of Regulations and applicable sections of the California Building Code. Where these standards cannot be feasibly met, in the discretion of the building official, reduced requirements may be allowed by the Building Official and the subdivider shall include notice of the deficiency in the final physical needs report.
11. Each unit shall be individually metered for gas and electricity. If this requirement cannot be feasibly met, in the discretion of the Building Official, this requirement may be waived in the conditions of approval and a property owners' association, or similar entity, shall be formed for the payment and billing of the applicable utility. At a minimum, separate exterior shutoff valves for water, gas and electricity shall be provided for each unit.
12. The project site and every unit within the project shall comply with current building codes related to disabled access.
13. No television or radio antennas, dishes, or similar devices may be installed on the exterior of any building, except as required by law. All mechanical equipment and rooftop antennas shall be shielded from view.
14. Security Items identified shall be incorporated into conditions of approval of the application and shall be completed prior to the approval of a final map or issuance of the first building permit, whichever is sooner. The applicant shall implement and complete security improvements prior to the occupancy of the sale of the first unit within the project.
15. Prior to the approval of a parcel or final map, a property owners' association or similar entity shall be formed for any condominium conversion project. The association shall, at a minimum, provide for the administration, management and maintenance of all common areas, including landscaping, drive aisles and parking areas, maintenance of the exterior of all buildings, the collection of dues, payment of public utilities not billed separately to each unit, and enforcement of standards within the project.

Engineering Division - Public Works Department

16. The proposed subdivision shall occur in substantial conformance with the plans and specifications approved through Tentative Parcel Map No. 2021-198, submitted to the Planning Commission, and all conditions of said approval shall be implemented and incorporated herein.
17. Prior to the issuance of any building permits, the Applicant shall submit and obtain approval for the Precise Grading Plans and all applicable technical studies. The Precise Grading Plans and technical studies shall be prepared by a registered Civil Engineer, be in accordance with City of Brea Standard Plans and standards, and be to the satisfaction of the City Engineer. The Precise Grading Plan submittal shall include the following items:
  - a. Construction Document Plans for the review and approval of the City Engineer. The Construction Document Plans shall identify all proposed improvements that are required to facilitate the development and infrastructure improvements to the satisfaction of the City Engineer. Said Construction Document Plans shall include the following items:

- i. Design and specification of all utility infrastructure improvements as identified on Tentative Parcel Map No. 2021-198 and as outlined in the conditions herein;
  - ii. An Erosion and Sediment Control Plan identifying the State issued WDID number and the contact information for the person that is to be reached in case of emergency;
  - iii. The design and specification of proposed 5-foot minimum width sidewalk within the proposed 5-foot public sidewalk easement areas, located adjacent to the existing driveways on Lambert Road, as identified on Tentative Parcel Map No. 2021-198. Said sidewalk improvements shall in accordance with current Americans with Disabilities Act (ADA) and City of Brea Public Works standards;
  - iv. The design and specification of all site, grading, drainage, and utility improvements required to facilitate the proposed 5-foot sidewalk within the public sidewalk easement areas adjacent to Lambert Road.
18. The Applicant shall maintain the Storm Water Pollution Prevention Plan during construction in accordance with NPDES guidelines, which shall incorporate all best management practices to mitigate pollutant runoff during construction.
19. The Applicant shall be responsible for the maintenance of all temporary and permanent Best Management Practices (BMP's) and associated infrastructure located on public or private property.
20. The Applicant shall maintain all public and private drainage facilities associated with Tentative Parcel Map No. 2021-198 in good working order at all times.
21. The Applicant developer shall be responsible to obtain the permission to perform any work on adjacent private properties.
22. All water and fire services shall be per the latest City of Brea Public Works Standards. All proposed domestic and fire services shall include above grade backflow prevention to the satisfaction of the City Engineer and the Brea Fire Department.
23. Prior to the issuance of any occupancy release for the proposed development, the Applicant shall remove the existing below-grade fire backflow prevention device, located on Lambert Road, and replace it with an above-grade backflow prevention device to the satisfaction of the City Engineer and the Brea Fire Department.
24. Prior to the issuance of any occupancy release for the proposed development, the Applicant shall remove the existing domestic backflow prevention device, located on private property adjacent to the existing building, and replace it with an above-grade backflow prevention device, located adjacent to the existing domestic water meter on Cliffwood Park Street, to the satisfaction of the City Engineer.
25. The Applicant shall install all water meters, vaults, fire hydrants, FDC's, and above ground backflow prevention devices for all domestic, irrigation, and fire services and systems, at locations to the satisfaction of the City Engineer and the Brea Fire Department. Easements shall be dedicated to the City for the maintenance, repair, and operation of all water meters, vaults, and fire hydrants.

26. All proposed sewer laterals shall be per City of Brea Public Works Standards, and meet all City Building and Plumbing Code requirements, and be to the satisfaction of the City Engineer and the Building & Safety Division.
27. The proposed development shall only be served by underground distribution utilities.
28. Prior to the issuance of any building permit, the Applicant shall pay all applicable impact fees and connection fees as set forth in the City ordinances and in effect at the time of permit approval.
29. A City of Brea Public Works Encroachment Permit shall be obtained prior to any construction, improvements, or staging in the public right-of-way or within existing public easement areas.
30. All existing public utilities located within the public right-of-way or within existing easements are to be protected in place, unless indicated otherwise by improvement plans approved by the City Engineer.
31. All public improvements, and improvements within the public right-of-way and public easement areas, shall be designed and constructed per current City standards and all other jurisdictional requirements.
32. No proposed trees; lighting structures, utility vaults or cabinets; structures with footing elements; building foundations, structural slabs, or building structural members; shall be located within existing or proposed public easement areas.
33. The Applicant shall submit a Final Map for review and approval of the City Engineer. Said Final Map shall include all right-of-way and easement dedication and/or vacations. The Final Map shall be submitted to the City Engineer for conformance review prior to submittal to the County of Orange Surveyor's Office. The Final Map shall be submitted directly to the County of Orange Surveyor's Office for review and approval of the technical portion of the Final Map. The Final Map shall be approved and recorded with the County of Orange prior to the acceptance of all public improvements. All right-of-way and easement dedications and vacations shall be in accordance with all requirements set forth in the California Streets and Highways Code, the Subdivision Map Act, and the Brea City Code. The Final Map shall include the dedication of two (2) 5-foot wide public sidewalk easements adjacent to the existing driveways on Lambert Road, as identified on Tentative Parcel Map No. 2021-198.
34. Applicant shall be responsible to prepare all documentation and pay for any publication fee (if applicable) for the proposed dedications and/or vacations of right-of-way or easements.
35. The Applicant shall submit a Monumentation Bond as required by the Subdivision Map Act in a form approved by the City Attorney to guarantee payment for the setting of monuments. The bond amount shall be provided before the approval of the Final Map, by the Licensed Surveyor or Registered Civil Engineer preparing the Final Map. The Monumentation Bond shall be provided in an amount to the satisfaction of the City Engineer.

36. Prior to the issuance of any occupancy release and any bond release, the applicant shall complete the construction of all improvements in the public right-of-way and in public easement areas to the satisfaction of the City Engineer.
37. Prior to the release of the Monumentation Bond, the Licensed Surveyor or Registered Civil Engineer who prepared the Final Map shall submit a letter to the City Engineer verifying the setting of all monuments, confirming that all monuments have been set in conformance with the recorded Final Map, and confirming that the applicant/property owner has paid the Licensed Surveyor or Registered Civil Engineer in full for the setting of the monuments.
38. Prior to the issuance of any building permit the Applicant shall provide Covenants, Conditions, and Restrictions (CC&R's) for the review and approval of the Public Works Department, Fire Department, Community Development Department, and City Attorney. The CC&R's shall incorporate a separate set of drawings, or airspace maps, as an attachment to the document for the proposed condominium airspace units. The CC&R's shall incorporate a Maintenance Exhibit map as a separate attachment to the document, that clearly identifies the ownership and responsibilities for maintenance for items on the proposed property. Said CC&R's shall apply to any successors to the property owner at the time of the subdivision. Said CC&R's shall be recorded at the time of recordation of the Final Map(s) for the applicable development phase/area. A copy of the recorded CC&R's shall be provided to the Community Development Department within thirty (30) days of recordation.

#### Fire Department

39. The reciprocal agreement for fire apparatus access onto the property for the north, east and west sides of the building shall be maintained. The CC&R's shall include language that prohibits changes to the fire apparatus access without Brea Fire Department review and approval.



**330 E. LAMBERT ROAD, BREA, CA 92821**



ADDRESS	330 E. LAMBERT RD., BREa, CA 92821		
APN NUMBER	319-192-15		
LOT AREA	103,543 S.F. (APPROX. 2.377 ACRES) APPROX. 477' x 217'		
GENERAL PLAN DESIGNATION	LIGHT INDUSTRIAL		
SCOPE OF WORK	CUP APPLICATION FOR MEDICAL USE		
CURRENT USE	PROFESSIONAL OFFICE		
PROPOSED USE	MEDICAL AND PROFESSIONAL OFFICE		
TYPE OF CONSTRUCTION	TYPE VA: MAINTAIN AS EXISTING		
FIRE SPRINKLER	WET PIPE FIRE SPRINKLER; MAINTAIN AS EXISTING		
OCCUPANCY GROUP	B		
FLOOR AREA	42,349 S.F.		
FLOOR AREA BREAKDOWN	BASEMENT	USE PHARMACEUTICAL LABORATORY OFFICE	AREA 3,378 S.F.
	FIRST FLOOR	OFFICE	18,933 S.F.
	SECOND	OFFICE	20,038 S.F.
BUILDING COVERAGE AREA	<u>MAX. ALLOW</u>	<u>EXISTING</u>	<u>PROPOSED</u>
	50%	42%	SAME AS EXISTING
SET BACK	<u>MIN. REQ'D</u>	<u>EXISTING</u>	<u>PROPOSED</u>
FRONT YARD	50'-0"	78'-5"	SAME AS EXISTING
SIDE	0'-0"	W 68'-0" / E 74'-1"	SAME AS EXISTING
REAR	0'-0"	55'-1"	SAME AS EXISTING
BUILDING SEPARATION	NO REQUIREMENT		SAME AS EXISTING
BUILDING HEIGHT	<u>MAX. ALLOW</u>	<u>EXISTING</u>	<u>PROPOSED</u>
STRUCTURE HEIGHT	60'-0"	28'-0"	SAME AS EXISTING
LANDSCAPE	<u>MIN. ALLOW</u>	<u>EXISTING</u>	<u>PROPOSED</u>
OVERALL SITE	N/A	11.3%	SAME AS EXISTING
PARKING	EXISTING : REGULAR (83%) 125 STALLS COMPACT (13%) 20 STALLS ADA ( 3%) 5 STALLS ----- TOTAL 150 STALLS		

APPLICATION FOR CONDITIONAL USE PERMIT  
TO ALLOW MEDICAL USE IN BUILDING

G-101	TITLE SHEET, SHEET INDEX AND PROJECT DATA
AS-101	EXISTING SITE PLAN
A-100	EXISTING 1ST & 2ND FLOOR PLAN
A-101	EXISTING BASEMENT FLOOR PLAN

**OWNER**  
**BR METRO, LLC**  
**17877 VON KARMAN AVENUE #388**  
**IRVINE, CA 92614**  
**PHONE : (949) 885-9878**  
**CONTACT: GORDON LAU**

**DEVELOPER**  
CGM DEVELOPMENT, LLC  
17877 VON KARMAN AVENUE #388  
IRVINE, CA 92614  
PHONE : (949) 885-9878  
CONTACT: GORDON LAU

**TRAFFIC ENGINEER**  
**MICHAEL BAKER INTERNATIONAL**  
**5 HUTTON CENTRE DRIVE, SUITE 500**  
**SANTA ANA, CA 92707**  
**PHONE : (949) 472-3505**  
**CONTACT: TONY RAI**

PARCEL 1:

PARCEL 2 OF PARCEL MAP NO. 90-297, IN THE CITY OF BREA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 274, PAGES 13, 14 AND 15 OF PARCEL MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM 50% OF ALL OIL, GAS HYDROCARBONS AND ALL MINERALS IN, ON OF UNDER SAID LAND BUT WITH NO RIGHT OF ENTRY UPON THE SURFACE OF SAID LAND, AS RESERVED IN THE DEED FROM EVERETT M. REESE AND ELSIE B. REESE, HUSBAND AND WIFE, RECORDED APRIL 13, 1956 IN BOOK 3472, PAGE 550 OF OFFICIAL RECORDS.

PARCEL 2:

A RECIPROCAL ACCESS EASEMENT AND DRAINAGE EASEMENT APPURTENANT TO PARCEL 1 AS DEDICATED ON MAP FILED IN BOOK 274, PAGES 13, 14 AND 15 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA.

APN: 319-192-15

**SHEET TITLE:**

**TITLE SHEET, PROJECT DATA, & SHEET INDEX**

## REVISIONS

[illegible]

DESIGNER:	PEICHIN LEE
MANAGER:	
DRAFTSMAN:	DANNY TSAI
DATE:	2023-07-18
JOBNO:	
SCALE:	N.T.S.

SHEET NO.

# G-101



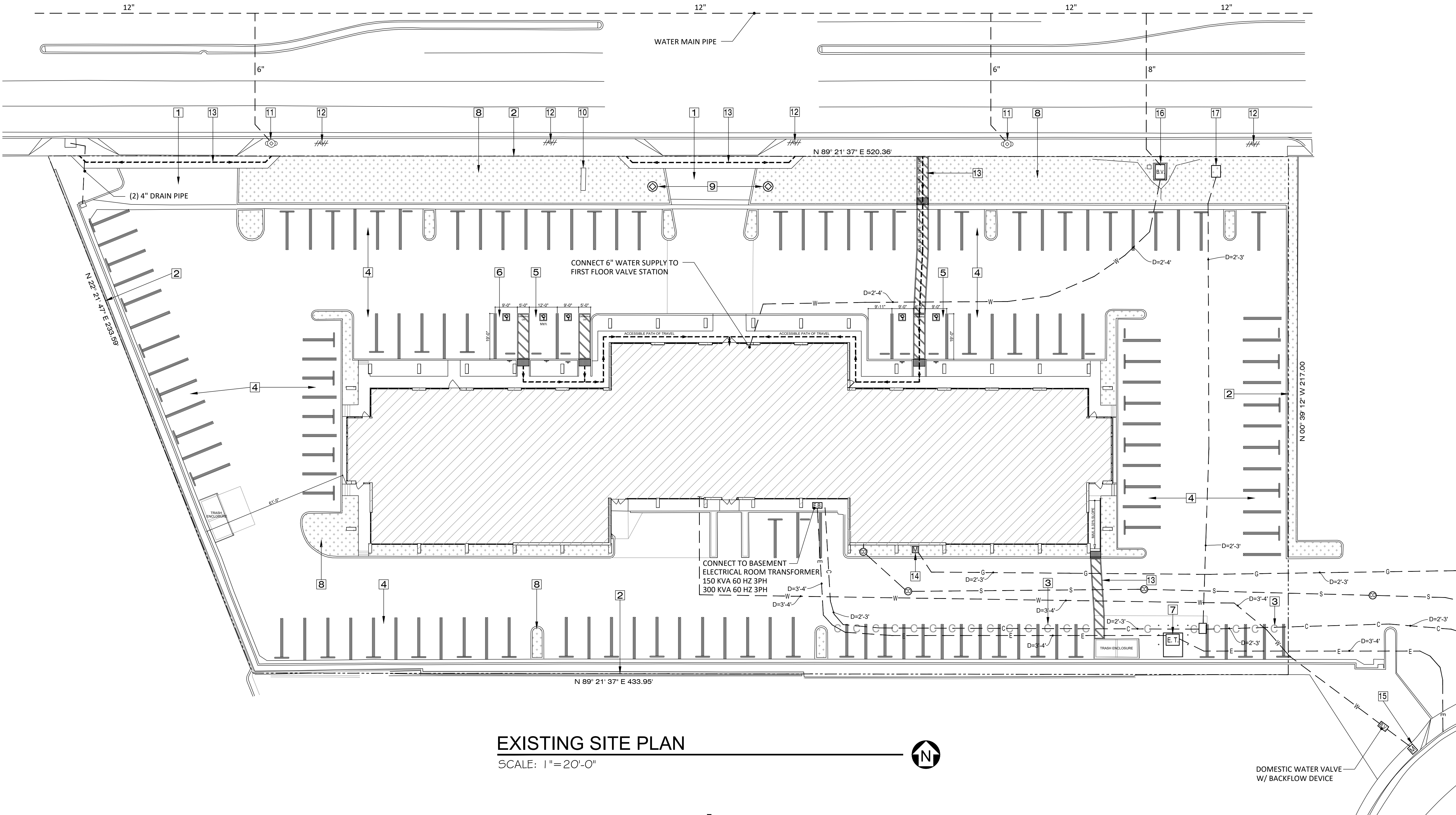
SITE KEY NOTES

- 1 SITE ENTRY / EXIT  
2 PROPERTY LINE  
3 COMPACT PARKING SPACE (8' x 18' MIN.)  
4 STANDARD PARKING SPACE (9'-6" x 19' MIN.)  
5 ACCESSIBLE PARKING SPACE (9' x 19' MIN.)  
6 ACCESSIBLE VAN PARKING SPACE (12' x 19' MIN.)  
7 EXISTING TRANSFORMER (#5319042)  
8 EXISTING LANDSCAPE AREA  
9 EXISTING SCULPTURE LOCATION  
10 EXISTING MONUMENT SIGN

- 11 EXISTING FIRE HYDRANT  
12 EXISTING UTILITY POLES  
13 PROPOSED ACCESSIBLE PATH OF TRAVEL  
14 EXISTING 2" GAS METER  
15 EXISTING 3" WATER METER  
16 EXISTING 6" FIRE BACKFLOW VALVE  
17 EXISTING COMMUNICATION BOX

LEGEND

- C — COMMUNICATION PIPE  
— E — ELECTRICAL PIPE  
— W — WATER PIPE  
— G — GAS PIPE  
— S — SANITARY



EXISTING SITE PLAN

SCALE: 1" = 20'-0"



ADVANCE  
GENERAL CONSTRUCTION  
17877 VON KARMAN AVE. #388  
IRVINE, CA 92614  
TEL: (949) 885-5039 \*705  
CELL: (626) 676-4584  
GENERAL CONTRACTOR: #954683

BREA METRO OFFICE CONDOS  
330 E. LAMBERT RD., BREA, CA 92821



EXISTING SITE PLAN

SHEET TITLE:

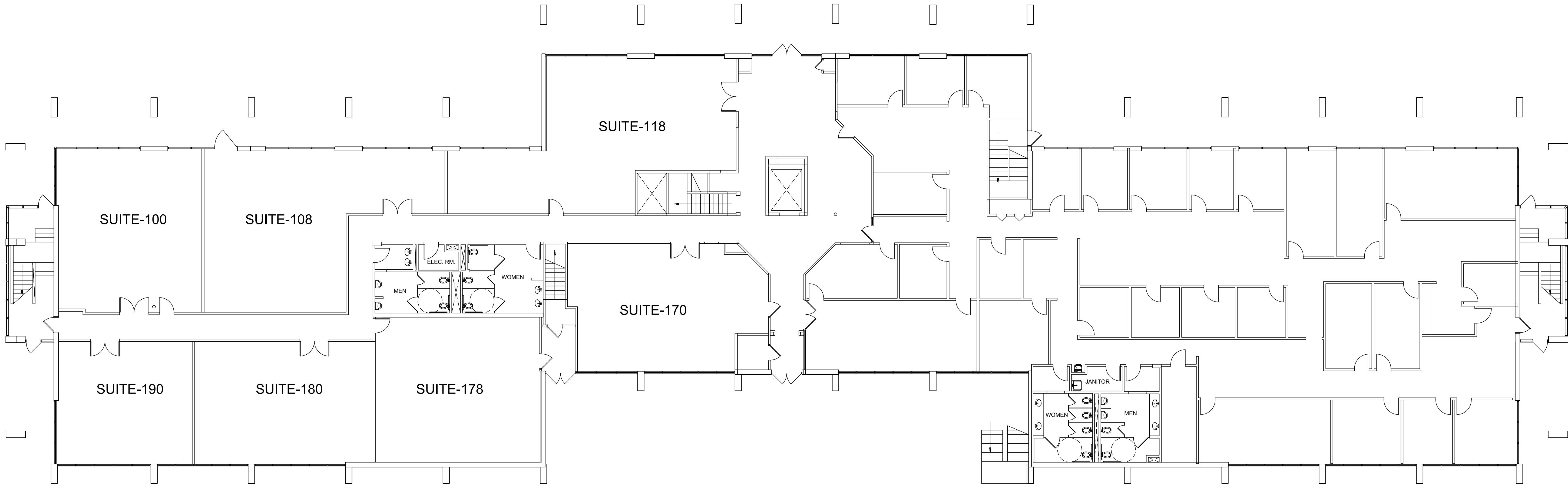
REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

DESIGNER: PEICHIN LEE  
MANAGER:  
DRAFTSMAN: DANNY TSAI  
DATE: 2023-07-18  
JOBNO:  
SCALE: 1" = 20'-0"

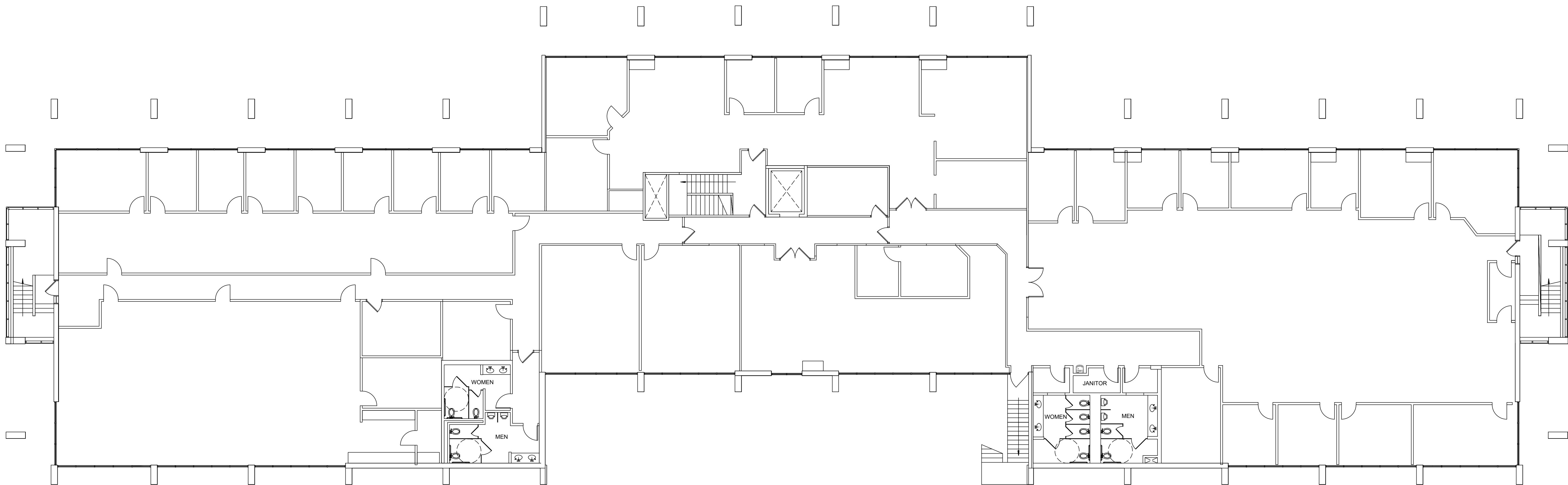
SHEET NO.

AS-101



EXISTING FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"



EXISTING SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"



**ADVANCE  
GENERAL CONSTRUCTION**  
17877 VON KARMAN AVE. #388  
IRVINE, CA 92614  
TEL: (949) 885-5039 \*705  
CELL: (626) 676-4584  
GENERAL CONTRACTOR: #954683

**BREA METRO OFFICE CONDOS**  
330 E. LAMBERT RD., BREA, CA 92821



SHEET TITLE:

**EXISTING 1ST & 2ND  
FLOOR PLANS**

**REVISIONS**

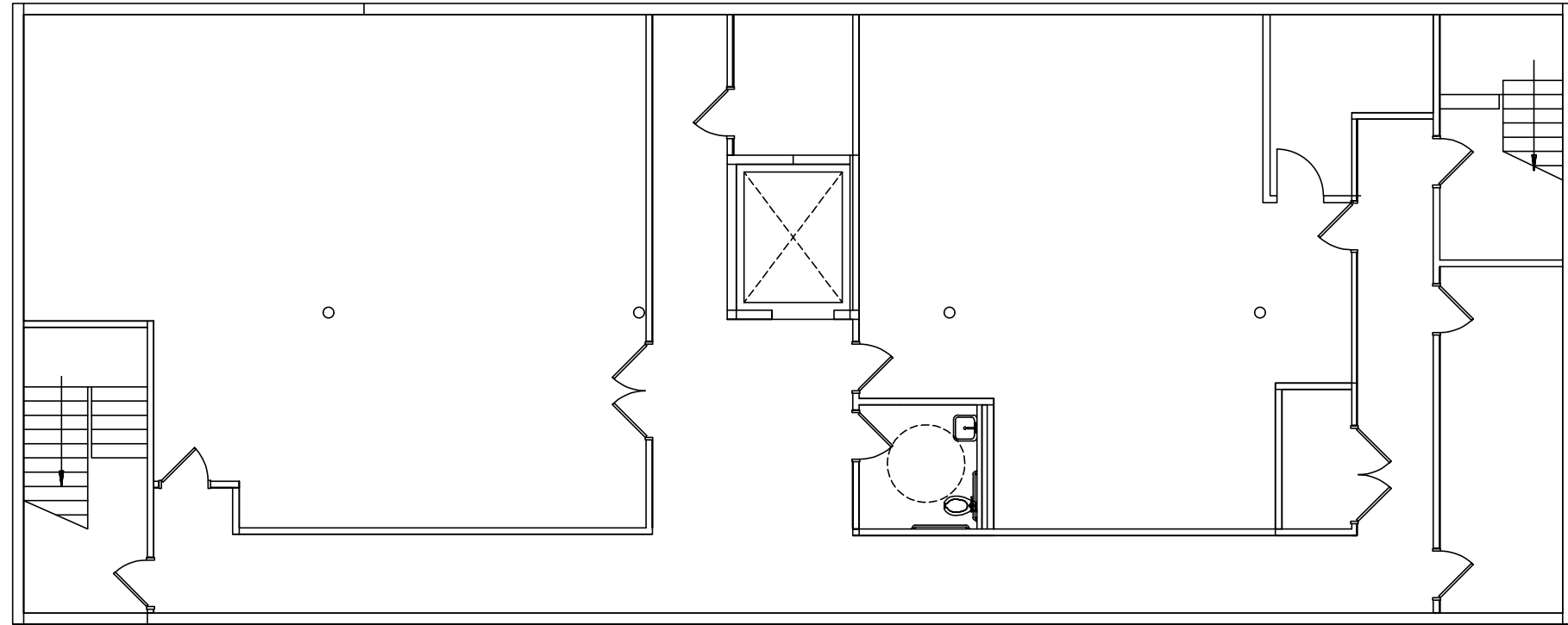
NO.	DATE	DESCRIPTION
-----	------	-------------

1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

DESIGNER:	PEICHIN LEE
MANAGER:	
DRAFTSMAN:	DANNY TSAI
DATE:	2023-07-18
JOBNO:	
SCALE:	3/32" = 1'-0"

SHEET NO.

**A-100**



EXISTING BASEMENT FLOOR PLAN

SCALE: 3/32" = 1'-0"



**ADVANCE  
GENERAL CONSTRUCTION**  
17877 VON KARMAN AVE. #388  
IRVINE, CA 92614  
TEL: (949) 885-5039 \*705  
CELL: (626) 676-4584  
GENERAL CONTRACTOR: #954683

**BREA METRO OFFICE CONDOS**  
**330 E. LAMBERT RD., BREA, CA 92821**



SHEET TITLE:

**EXISTING BASEMENT  
FLOOR PLAN**

REVISIONS		
NO.	DATE	DESCRIPTION
1		
2		

DESIGNER:	PEICHIN LEE
MANAGER:	
DRAFTSMAN:	DANNY TSAI
DATE:	2023-07-18
JOBNO:	
SCALE:	3/32" = 1'-0"

SHEET NO.

**A-101**





## SUBMITTAL INSTRUCTIONS FOR PROJECT APPLICATIONS

Project applications shall be submitted directly to the Planning Division through electronic email. Starting August 15, 2022, the Planning Division is no longer been accepting in-person submittal. Please see instructions below for the electronic project application submission.

### SUBMITTAL INSTRUCTIONS:

By email: Project applications shall be submitted to [planner@cityofbrea.net](mailto:planner@cityofbrea.net). To confirm your application has been received, contact a Planner at 714-990-7674.

*Please see pages 5-8 for submittal requirements.*

**\*\*It is HIGHLY RECOMMENDED to speak with a Planner prior to formal submittal. To speak with a Planner regarding your project, please contact the Planning Division at [planner@cityofbrea.net](mailto:planner@cityofbrea.net) or 714-990-7674.**

No application will be considered submitted for Plan Review until the following is satisfied:

1. The required application deposit has been paid, as outlined in the Development Processing Fees. Check and credit card (Visa or Mastercard) are accepted over the phone at 714-990-7674. Checks can be dropped off at the 3<sup>rd</sup> floor front counter of 1 Civic Center Circle, Brea, CA, 92821 or mailed. If a check is mailed, please address to ATTN: Planning Division.
2. Completed Uniform Application, pages 1-4.
3. Accompanying plans and documents outlined in pages 5-8

### **Application Completeness:**

Once the uniform application has been submitted, no later than thirty (30) days as determined in the [application processing schedule](#), the Director shall determine, in writing, if such application is complete, and immediately transmit such determination to the applicant. If an application is determined not to be complete, the Director determination shall specify the deficiencies and the manner in which the application can be made complete. Upon determination that an application is complete and meets the requirements for acceptance, or expiration of the thirty (30) day period if no determination regarding completeness is made, the application shall be deemed accepted.

### **IMPORTANT UPDATE:**

Starting August 1, 2022, all planning development applications are accepted and reviewed bases on the established application processing schedule, which includes a weekly submittal deadline. View the latest processing schedule on this page: <https://www.ci.brea.ca.us/177/Planning>

**SHOULD YOU HAVE ANY QUESTIONS, PLEASE CONTACT THE  
PLANNING DIVISION AT 714-990-7674 OR  
[PLANNER@CITYOFBREA.NET](mailto:PLANNER@CITYOFBREA.NET)**



# PROJECT APPLICATION

## GENERAL INFORMATION REQUIRED: *(Print or Type)*

Name of Proposed Project: Brea Metro Office Association Medical Use Application

Location of Project *(Address Required)*:  
330 E. Lambert Rd.  
Brea, CA 92821

Legal Description of Project Location *(Assessor's Parcel No.)*:  
319-192-15

## APPLICANT INFORMATION:

Applicant's Name: CGM Development

Phone: 949-885-9878 x701

Email: GordonL@CGMDEV.com

Address: 17877 Von Karman Ave. #388

City: Irvine, CA

Zip Code: 92614

## TRUST ACCOUNT OWNER: *(see page 4 before completing)*

Name of Individual or Corporation Financially Responsible for the Project: Peichin Lee

Address: 17877 Von Karman Ave. #388

City: Irvine, CA

Zip Code: 92614

Email: GordonL@CGMDEV.com

Phone: 626-388-7352

## PROJECT CONTACT PERSON:

Contact Person: Gordon Lau

Phone: 626-388-7352

Email: GordonL@CGMDEV.com

## STAFF USE ONLY

Accela Record Number: **PLN-2023-00056**

**Project Manager:** **Esteban Rubiano**

**Entitlement File Number(s):**

**CUP No. 2023-10**

**Related Files:**

## SUBMITTAL INFO:

Date Time Received:

**August 1, 2023**

Received by:

**Esteban Rubiano**

Deposit Received:

**\$2,000.00**

**PROJECT INFORMATION:** *(Print or Type)*

Zoning Designation: M-1

General Plan Designation: Light Industrial

Existing Use: Administrative and  
Professional Offices

Proposed Use: Medical, Administrative, and Professional Offices

Type of Development:

☐ Residential☒ Commercial☐ Industrial☐ Mixed-Use

Lot Size (square feet): no change

Lot Width: no change

Lot Depth: no change

Existing Floor Area (square feet):  
no changeExisting FAR:  
no changeExisting Lot Coverage:  
no change

Proposed No. of Stories: no change

Proposed Building Height: no change

Existing Parking Stalls: no change

Proposed Parking Stalls: no change

**Project Description:** The project description should include a detailed description of demolition, on-side improvements, proposed use & operations, e.t.c. In addition, please describe all building material and color as well as description of signage and their location. Please provide a separate PDF attachment labeled "Project Description if more space is needed.

☐ Check if project description is attached.

Application for a Conditional Use Permit to address parking deficiency on site introduced by requesting for an intensification of use from administrative and professional office to medical, administrative, and professional office. Applicant requests a variance from City of Brea's Municipal Code Section 20.08.040.D Parking Space Requirements to allow medical office use at the property based on actual on-site conditions as collected and analyzed by a State of California licensed traffic engineer. Engineer will collect data on daily parking demand and analyze the current and future supply conditions to provide a proposed summary of parking adequacy.

**TYPE OF REVIEW REQUESTED:** *select all that apply*Planning Commission/City Council☒ Conditional Use Permit☐ Planned Community☐ Historic Designation☐ Development Agreement☐ Precise Development Plan☐ Zone Change☐ General Plan Amendment☐ Temporary Trailer☐ Zone Variance☐ Certificate of Compatibility☐ Other \_\_\_\_\_☐ Other \_\_\_\_\_Administrative/Community Development Director☐ Administrative Remedy☐ Large Family Day Care☐ Other \_\_\_\_\_☐ Certificate of Compatibility☐ Plan Review

## PROPERTY OWNER INFORMATION & AUTHORIZATION

(as listed in the Orange County Assessor's records)

Legal Owner's Name:

Company Name:

BR Metro, LLC

Email:

Phone:

GordonL@CGMDEV.com

626-388-7352

Address:


17877 Von Karman Ave. #388

City: Irvine

State: CA

Zip Code: 92614

I hereby certify under penalty of perjury under the laws of the State of California that I am the owner(s) of the subject property, or have been authorized to sign on behalf of the property owner, and consent to the filing of this application on the above referenced property. **If the owner did not sign below, a letter of authorization is required.**

By:  Date: July 12, 2023  
(Signature)

By: Peichin Lee, Managing Member of BR Metro, LLC  
(Printed Name)

## DESIGN PROFESSIONAL OR OWNER OF THE COPYRIGHT IF DIFFERENT (OPTIONAL)

Name(s):

Email:

Phone:

Address:


City:

State:

Zip Code:

## AUTHORIZATION TO REPRODUCE PROJECT PLANS- Gov. Code § 65103.5(f)(2)

I hereby grant permission for the City of Brea to provide the project plans for inspection as a part of the public record, to copy for members of the public, and post the plans online. This permission shall be constituted as the permission for architectural drawings that contain a copyright annotation and are protected by the federal Copyright Act of 1976 (Government Code Section 65103.5(f)(2)).

By:  Date: July 12, 2023  
(Signature)

By: Peichin Lee  
(Printed Name)



## TRUST ACCOUNT OWNER INFORMATION

All project applications require the specified minimum deposit to a Trust Account. Additional funds and/or subsequent deposits may be required depending upon the specified project and level of staff time necessary. All unused funds will be reimbursed following the completion of project and/or review. Staff time devoted to your project will be billed according to our [Development Processing Fees](#). The necessary staff time will vary according to the complexity of the project and may include, initial review and ongoing project processing by City staff including, but not limited to:


- Reviewing plans / submittal packages.
- Routing plans to, and communicating with other city staff and outside agencies.
- Researching documents relative to site history and site visits/inspections.
- Consulting with applicant and other interested parties (e.g. neighbors, adjacent property or business owners) in person or by phone.
- Preparing environmental documents, staff reports, presentations, and resolutions.
- Preparing pertinent maps, graphs and exhibits.
- Attending meetings / public hearings before the Planning Commission / City Council.
- Review of tentative maps and improvement plans by City staff.
- On-site inspections of the project by City staff.
- Consultant services

## STATEMENT OF UNDERSTANDING AND AGREEMENT

I understand that my initial deposit is a retainer and not a fee. This deposit will be used to set up an account, against which fees shall be charged based on the hourly rate listed in the City fee schedule in effect at the time the work is performed. I understand that should the costs exceed the deposit, I will be billed monthly for any additional deposit amount intended to cover future charges. If I fail to pay the fees when due, I understand approximately that the City will stop working on the application. If the final costs are less, the unused portion of the deposit will be returned to me approximately 60 days after the conclusion of the process or final inspection of the completed project, whichever occurs later.

As the trust account owner, I assume full financial responsibility for all costs incurred by the City in processing this application(s).

**BY SIGNING BELOW, I HEREBY CONSENT THAT I UNDERSTAND THE MATTERS AS DESCRIBED ABOVE AND AGREE TO THE TERMS. I HEREBY FURTHER REPRESENT THAT I HAVE AUTHORITY TO BIND MY BUSINESS BY SIGNING ON ITS BEHALF.**

  
Trust Account Owner's Signature

July 12, 2023  
Date

Peichin Lee  
Trust Account Owner Printed Name

*Staff Use Only*

ACCELA RECORD NUMBER:

PLN-2023-00056

TRUST ACCOUNT NUMBER:

T240090

## Technical Memorandum

September 27, 2023

**To:** Gordon Lau, CGM Development, LLC

**From:** Jordan Gray, PE TE, Michael Baker International

**CC:** Tony Rai, Michael Baker International  
Robert Davis, Michael Baker International

**Subject: 330 East Lambert Road Parking Assessment**

---

### *Introduction*

Michael Baker has completed the data collection and analysis tasks included in the parking study for the office building located at 330 East Lambert Road in the City of Brea. The project site is located directly south of East Lambert Road approximately 0.25 mile east of Brea Boulevard.

This parking assessment considers existing parking demand and supply conditions as well as future parking conditions with the proposed conversion of a portion of the floor area land use from professional office to medical office use. No new parking is proposed as a part of this project and the modified uses would rely on the existing parking supply. This assessment includes the following components:

- Parking Supply Inventory
- Code-Based Parking Requirements
- Parking Utilization Data Collection
- Existing Parking Demand Rate
- Parking Demand Estimate
- Parking Adequacy Assessment
- Parking Management Plan

**Exhibit 1** shows the project site plan.

### *Existing Parking Conditions*

#### Parking Supply Inventory

As part of this parking study, a detailed parking space inventory and utilization survey of the existing parking facilities was conducted on Thursday, June 15, 2023, to determine the peak weekday parking conditions. The survey was conducted for a total of 12 hours from 7:00 AM to 7:00 PM. The survey included a detailed inventory of parking supply onsite and was broken down by different types of parking including regular and ADA spaces. The parking inventory consists of a total of 150 parking spaces including 145 regular spaces and 5 ADA spaces.

A second survey was conducted on Wednesday, September 13, 2023, however this showed a lower utilization than the June survey. Therefore only the data from the June survey was used to provide a more conservative assessment of the existing parking demand conditions.

### Code-Based Parking Requirements

A breakdown of existing gross floor area (GFA) and gross leasable area (GLA) was provided to Michael Baker and used in this parking assessment. The total GFA of the office building is 42,349 square feet (SF). However, at the time of this parking survey, there were two suites totaling 12,881 SF that were vacant (1<sup>st</sup> Floor = 9,394 SF & 2<sup>nd</sup> Floor = 3,487 SF). Within the office building, tenants include online pharmacy, administrative offices, mortgage lending (financial institution), and a psychotherapy office.

At full occupancy and assuming the City's standard parking requirements as outlined in Section 20.08.040-D of the Brea City Code for office use, the entire office building would require 180 parking spaces assuming general office use at a rate of 4.0 spaces per 1,000 SF. However, the current parking supply of 150 spaces represents an equivalent parking ratio of 3.54 spaces per 1,000 square feet and is 30 spaces short of the code requirement.

In order to provide an overly conservative estimate of the code-based parking requirements, the total office building can be broken into its individual land use components. **Table 1** includes a detailed breakdown of the suites and tenants as well as a summary of the city-code parking requirements as outlined in Section 20.08.040-D of the Brea City Code for each use. As shown, the office building requires 180 parking spaces according to the code-based requirements based on the rates for each individual use. Combined, this represents a composite rate of 4.25 spaces per 1,000 square feet.

*Table 1 – Existing Code-Based Parking Requirements*

Suite(s)	Land Use	Intensity <sup>(1)</sup>	Code Parking Supply Rate <sup>(2)</sup>	Code Parking Required	Parking Provided	Code Surplus (Shortfall)
L-1, L-2	Online Pharmacy	3.378 KSF	4.00 /KSF	14	150	-30
120, 128, 130, 138, 150, 158, 160, 168	Administrative Office	9.540 KSF	4.00 /KSF	38		
200, 208, 210, 280, 288, 290	Administrative Office	8.150 KSF	4.00 /KSF	33		
270, 278	Psychotherapy (medical)	1.798 KSF	5.50 /KSF	10		
230, 238, 250, 258, 268	Mortgage Lending (financial institution)	6.602 KSF	5.00 /KSF	33		
100, 108, 118, 170, 178, 180, 190	VACANT (office)	9.394 KSF	4.00 /KSF	38		
218, 228	VACANT (office)	3.487 KSF	4.00 /KSF	14		
<b>Subtotal Existing</b>		<b>42.349 KSF</b>		<b>180</b>	<b>150</b>	<b>-30</b>

<sup>(1)</sup> All square footages are shown in terms of gross floor area (GFA)

<sup>(2)</sup> Source: Brea City Code Section 20.08.040 - D

### Parking Occupancy Data Collection

As part of the parking utilization survey, occupied spaces were recorded every hour for 12 hours between 7:00 AM and 7:00 PM. This data was used to calculate the parking utilization of the office building as a percent of the total available spaces occupied on site. Detailed parking utilization data is summarized in **Table 2**.

The peak parking demand for the office building, represented by the highest number of parking spaces occupied as a percentage of the total parking supply, occurred at 12:00 PM where a maximum of 50 spaces were occupied. This represents a peak parking demand of 33% of the total parking supply (50/150=33%).

*Table 2 – Parking Utilization Summary*

Space Type	Regular	ADA	Total Occupancy	Percent Utilized	Spaces Remaining
<b>Inventory</b>	<b>145</b>	<b>5</b>	<b>150</b>	<b>-</b>	<b>-</b>
<b>7:00 AM</b>	13	1	14	9%	136
<b>8:00 AM</b>	39	1	40	27%	110
<b>9:00 AM</b>	48	0	48	32%	102
<b>10:00 AM</b>	43	0	43	29%	107
<b>11:00 AM</b>	49	0	49	33%	101
<b>12:00 PM</b>	50	0	50	33%	100
<b>1:00 PM</b>	41	0	41	27%	109
<b>2:00 PM</b>	40	0	40	27%	110
<b>3:00 PM</b>	39	0	39	26%	111
<b>4:00 PM</b>	37	0	37	25%	113
<b>5:00 PM</b>	26	0	26	17%	124
<b>6:00 PM</b>	16	0	16	11%	134

Peak parking demand based on parking survey data for Thursday, June 15th, 2023

ADA = American Disabilities Act

### Parking Demand Estimate

As mentioned previously, Michael Baker was provided the building area (GFA = 42,349 SF)) of the office building; however, it's important to note that the building was not fully occupied at the time of the parking survey. There was a total of 29,468 SF GFA of the total building occupied and approximately 12,881 SF GFA of the total building vacant. This equates to approximately 30% vacancy of the office building.

At full occupancy of the office building, the parking demand is estimated to be 1.44 times the demand ( $1/.695 = 1.439$ ). This equates to a factored peak parking demand of 72 spaces ( $50 \times 1.44 = 72$ ). Based on the relationship between the factored peak parking demand at the time of the survey and the total gross floor area, the office building is estimated to generate a peak parking demand rate of 1.70 spaces per 1,000 square feet of GFA at full occupancy.



As shown in **Table 3**, there would be surplus of 78 parking spaces in the current 150 space supply above what is required to meet the peak hour parking demand at full occupancy based on:

1. The “actual” peak parking demand rate experienced at the time of the survey;
2. The total gross floor area of 42,349 square feet; and
3. An assumed 100% occupancy of the gross leasable area.

### *Parking Adequacy Assessment*

At the time of the parking survey, there was 12,881 SF of vacant GFA within the office building (approximately 30% of the building area). In addition to the existing parking conditions, this assessment also considers the future parking conditions with the proposed conversion of the vacant floor area and parts of the occupied floor area from professional office to medical office use.

*Table 3 – Existing Comparison  
Parking Summary*

Total GFA	42,349 SF
Total Occupied GFA (as of June 15, 2023)	29,468 SF
Total Vacant GFA	12,881 SF
Total Parking Supply	150 spaces
Actual Parking Supply Rate	3.54 spaces per 1,000 SF
Peak Parking Accumulation on Thursday, June 15, 2023	50 spaces
Available (Vacant) Parking Spaces at Peak Time on Thursday, June 15, 2023	100 spaces
Equivalent Parking Demand at Full Occupancy Based on Surveyed Rate	72 spaces
Parking Surplus (Above Peak Demand) at Fully Occupancy	78 spaces
Surveyed Parking Demand Rate on Thursday, June 15, 2023	1.70 spaces per 1,000 SF

SF = square feet

GFA = Gross Floor Area

GLA = Gross Leasable Area (including vacant space)

Surveyed parking demand rate is based on Total GFA and factored peak occupancy data from Thursday, June 15, 2023

As shown in **Table 1**, the code-based parking demand rate for a medical office use (5.5 / 1,000 square feet) is higher than that of regular offices (4.0 / 1,000 square feet). If the vacant suites were fully occupied as regular offices, they would require 52 spaces according to the code-based requirements ( $12,881 \times 4.0 / 1000 = 52$ ). If all of the vacant suites were converted from an office use to medical use (dentist), they would require a total of 71 parking spaces ( $12,881 \times 5.5 / 1000 = 71$ ). This results in a net increase in demand of 19 parking spaces according to the code-based requirements ( $71 - 52 = 19$  spaces).

In combination with the actual parking accumulation at the time of the survey on Thursday, June 15<sup>th</sup>, 2023, the total parking demand estimated for the office building at full occupancy with 12,881 SF of medical offices would be 121 spaces ( $50 + 71 = 121$ ) with a surplus of 29 spaces. Note that this is a conservative estimate of the future demand with the proposed medical offices since the survey results showed that the actual parking demand for the combined professional offices and medical offices is well below the parking need suggested by the city code rates. With the existing psychotherapy use of 1,798 square feet as medical office (Suites 270 & 278), this results in a total medical office use of 14,679 square feet. **Table 4** summarizes the parking calculations for this scenario where the vacant spaces are converted to medical office.

**Table 4** also summarizes an alternative scenario that analyzes the maximum amount of office space that can be converted to medical office. As shown, the existing parking supply of 150 spaces can accommodate a maximum of 22,428 square feet of medical office (including the existing psychotherapy use in Suites 270 & 278 of 1,798 square feet) with the remaining 19,921 square feet reserved as professional office.

*Table 4 – Parking Adequacy Summary*

Land Use	Intensity <sup>(1)</sup>	Code Parking Supply Rate	Parking Required	Parking Provided	Code Surplus (Shortfall)
<i>Vacant Suites Converted to Medical Use</i>					
Existing Professional Office	27.670 KSF	1.70 /KSF <sup>(2)</sup>	47	150	29
Existing Psychotherapy	1.798 KSF		3		
Medical Office	12.881 KSF	5.50 /KSF <sup>(3)</sup>	71		
<b>Subtotal</b>	<b>42.349 KSF</b>		<b>121</b>	<b>150</b>	<b>29</b>
<i>Medical Office Use Cap</i>					
Professional Office	19.921 KSF	1.70 /KSF <sup>(2)</sup>	34	150	0
Existing Psychotherapy	1.798 KSF		3		
Medical Office <sup>(5)</sup>	20.630 KSF	5.50 /KSF <sup>(3)</sup>	113		
<b>Subtotal</b>	<b>42.349 KSF</b>		<b>150</b>	<b>150</b>	<b>0</b>

<sup>(1)</sup> All square footages are shown in terms of gross floor area (GFA)

<sup>(2)</sup> Source: Actual parking demand rate per utilization survey on 6/25/23

<sup>(3)</sup> Source: Brea Municipal Code Section 20.08.040; Table 20.080.040.D

### *Parking Facilities Management Plan*

The following section describes the Parking Facilities Management Plan (PMP) for the 330 East Lambert Road office building and has been prepared at the request of the City of Brea. All owners are to be provided with the Parking Management plan and shall comply with these requirements.

As shown in the parking utilization assessment, the current parking supply is more than adequate to satisfy both the existing parking demand and any future parking demand associated with the proposed conversion of up to 12,881 SF of professional office to medical office use. This PMP is intended to manage the existing parking facilities and not intended to provide recommendations to reduce the parking demand or increase the parking supply.

To help further facilitate access to parking, the following steps should be implemented as a precaution to ensure adequate parking remains on site for all building tenants:

- Surface Parking – Surface parking is available for all owners, employees, guests, and visitors. Oversized recreational vehicles and vehicles with trailers shall not allowed unless prior approval has been obtained from the property management.
- Time Restrictions – The current parking utilization study does not show a need to apply any time restrictions to existing parking. However, this may be considered under future building modifications.
- Overnight Parking – Overnight parking shall be prohibited unless prior approval has been obtained from the property management.

- Reserved Parking – There is currently 5 parking spaces reserved as ADA spaces on site and this number shall not be changed without prior approval from the City of Brea. The parking utilization study does not show a need to reserve any specific parking for specific users (other than the minimum ADA requirements). However, this may be considered under future building modifications. Owners and employees could be encouraged to park furthest away from the building entrances to ensure closest and most desirable are available for guests and visitors.

Parking enforcement shall follow the following guidelines:

- Property owner and/or property management shall be responsible for mitigating any parking related issues pursuant to the approved PMP to the satisfaction of the City.
- Property owner and/or property management shall provide a copy of the approved PMP to tenants to disclose parking arrangements prior to lease or sale.
- Property owner and/or property management shall enforce this PMP.
- Upon the lease of any unit(s) to a Tenant, the Owner shall be responsible for ensuring their tenant's compliance with this PMP.
- All Owners will be assigned the number of parking spaces designated per the composite rate of 3.54 per 1,000 square feet based on the actual parking supply. If a parking issue occurs and the Owner is found to have exceeded allotted parking per code, they may be subject to penalties from the management company if the problem is not resolved.
- The property manager shall perform periodic visual inspections on a weekly basis of the type of vehicles that are parked within the parking facilities to ensure that vehicles are properly parked.
- Property Manager shall have the right to cause the removal of unauthorized vehicles, or any vehicle that is in violation of the posted rules and regulation, or this PMP at the vehicle owners expense.
- The property manager shall conduct a parking utilization survey every six months (bi-annually) to monitor the adequacy of the overall parking supply. If the total utilization exceeds 85%, a more detailed parking demand study would be required to determine the actual demand of each tenant, regardless of use.

Any changes to the PMP shall be submitted, reviewed and approved to the satisfaction of the Brea Planning Division. No changes to the PMP shall occur without consulting the Planning Division.

### ***Conclusion***

As shown in this parking assessment, the existing surveyed parking utilization shows that 50 of the 150 parking spaces were occupied on Thursday, June 15<sup>th</sup>, 2023 which results in a parking utilization of approximately 33%. At full occupancy it is estimated that the parking demand would increase to 72 spaces.

If the 12,881 SF of vacant area were instead converted to medical office use, it is estimated that the parking demand would increase by 19 parking spaces based on the conservative city code-based requirements.

Therefore, the existing parking supply for the 330 East Lambert Road office building is completely adequate to handle both the existing parking demand and any future parking demand associated with the conversion of the proposed 12,881 SF of (vacant) professional office to medical office use which would result in a total 14,679 of medical office (including the existing psychotherapy use in Suites 270 & 278).

This analysis also shows that a maximum of 22,428 SF of medical office use (including the existing psychotherapy use in Suites 270 & 278) in combination with 19,921 SF of professional office could be accommodated within the existing parking supply of 150 spaces. Any additional medical office use above this cap would potentially exceed the total parking supply during the peak time of day.

---

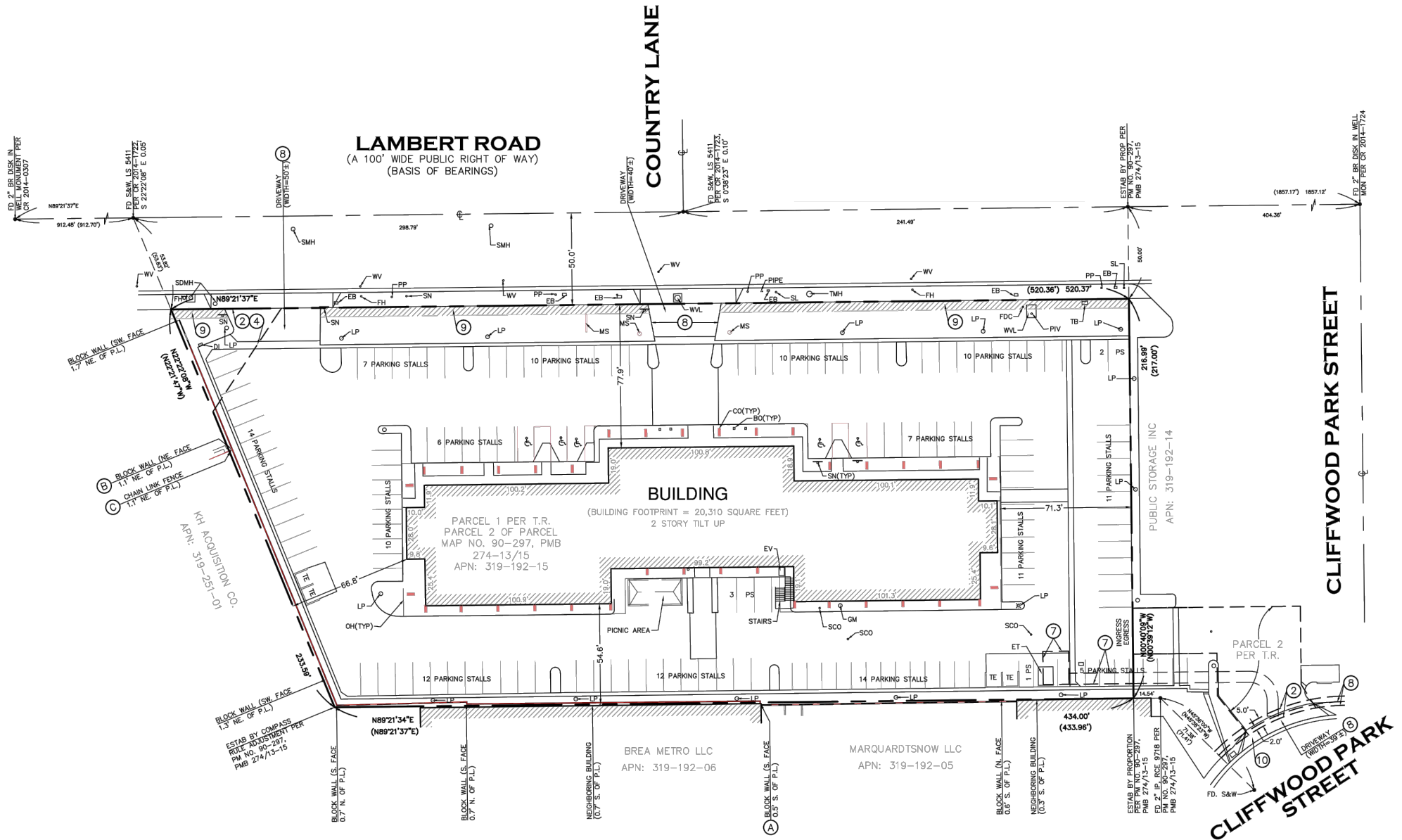
If you have any questions pertaining to the analysis results summarized in this memo, please call me at (760) 603-6245.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jordan Gray', with a stylized flourish at the end.

Jordan Gray, PE TE  
Technical Manager | Transportation Planning





## Parking Study

**Location:** 330 E Lambert Rd

**City:** Brea, CA

**Date:** 6/15/2023

**Day:** Thursday

Space Type	Regular	Handicap
Inventory	145	5
7:00 AM	13	1
8:00 AM	39	1
9:00 AM	48	0
10:00 AM	43	0
11:00 AM	49	0
12:00 PM	50	0
1:00 PM	41	0
2:00 PM	40	0
3:00 PM	39	0
4:00 PM	37	0
5:00 PM	26	0
6:00 PM	16	0

Peak parking demand based on parking survey data for Thursday, June 15th, 2023

Prepared by National Data & Surveying Services

## Parking Study

**Location:** 330 E Lambert Rd

**City:** Brea, CA

**Date:** 9/13/2023

**Day:** Wednesday

Space Type	Regular	Handicap
Inventory	145	5
7:00 AM	6	0
8:00 AM	11	0
9:00 AM	19	0
10:00 AM	19	0
11:00 AM	23	0
12:00 PM	20	0
1:00 PM	18	0
2:00 PM	19	0
3:00 PM	22	0
4:00 PM	19	0
5:00 PM	19	0
6:00 PM	11	0

Peak parking demand based on parking survey data for Wednesday, September 13th, 2023

# CITY OF BREA notice of public hearing

CITY OF BREA

PLANNING COMMISSION NOTICE OF PUBLIC HEARING FOR CONDITIONAL USE PERMIT NO. 2023-10: TO ALLOW REDUCED PARKING SPACE REQUIREMENTS FOR MEDICAL OFFICE USE LOCATED AT 330 EAST LAMBERT ROAD.


NOTICE IS HEREBY GIVEN, pursuant to State Law, that a public hearing will be held by the Planning Commission to determine whether or not the subject request shall be approved under the provisions of State Law and the Brea City Code as follows:

- DATE AND TIME OF HEARING:** **Tuesday, December 12, 2023, 6:00 p.m.**  
*All interested persons may appear and be heard at that time.*
- PLACE OF HEARING:** Brea Civic & Cultural Center, Council Chambers  
1 Civic Center Circle, Brea, CA 92821
- REQUEST:** The Applicant, CGM Development, is requesting the following entitlement: Conditional Use Permit No. 2023-10 to allow reduced parking space requirements for medical office use.
- LOCATION:** The project site is located at 330 E. Lambert Road, on the south of Lambert Road, between Orange Avenue and Cliffwood Park Street. The project site has a General Plan Land Use designation of Light Industrial and a Zoning designation of Light Industrial (M-1).
- ENVIRONMENTAL:** The project has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines and the environmental regulations of the City. The Project is categorically exempt from the requirements to prepare additional environmental documentation per CEQA Guidelines Section 15301.

IF YOU CHALLENGE THE PROJECT AND RELATED ENVIRONMENTAL DETERMINATIONS IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE, DELIVERED TO THE COMMISSION AT, OR PRIOR TO, THE PUBLIC HEARING.

FURTHER INFORMATION MAY BE OBTAINED BY CALLING THE PLANNING DIVISION AT (714) 990-7674 OR BY EMAILING [planner@cityofbrea.net](mailto:planner@cityofbrea.net).

COMMUNITY DEVELOPMENT DEPARTMENT

  
Joanne Hwang, AICP, City Planner

AREA MAP







Planning Division  
1 Civic Center Circle  
Brea, California 92821-5732

330 E Lambert

## CEQA NOTICE OF EXEMPTION

**TO:** Orange County Clerk-Recorder  
601 N. Ross Street  
Santa Ana, CA 92701

**FROM** City of Brea  
Community Development Department  
1 Civic Center Circle  
Brea, CA 92821

**PROJECT TITLE/CASE NO.:**

**CONDITIONAL USE PERMIT NO. 2023-10**

**PROJECT LOCATION:**

330 E Lambert Rd, Brea, CA 92821

**PROJECT DESCRIPTION:**

To allow reduced parking space required for additional medical office uses.

**Name of Public Agency Approving Project:**

City of Brea

**Project Applicant & Address:**

CGM Development  
17877 Von Karman Ave. #388  
Irvine, CA, 92614

**Exempt Status: (Check one)**

- |   |  |
|---|--|
| <input type="checkbox"/> Ministerial (Sec. 21080(b)(1); 15268)              | <input checked="" type="checkbox"/> Categorical Exemption (Sec. 15301) |
| <input type="checkbox"/> Declared Emergency (Sec. 21080(b)(3); 15269(a))    | <input type="checkbox"/> Statutory Exemption (15282(s))                |
| <input type="checkbox"/> Emergency Project (Sec. 21080(b)(4); 15269 (b)(c)) | <input type="checkbox"/> Other:  |

**Reason why project is exempt:** Class 1 is applicable to the operation, repair, maintenance, permitting, leasing, licensing or minor alteration of existing public or private structures, facilities, involving negligible or no expansion of existing or former use. The Project is limited to reducing the Code-required parking for the Project site, and does not proposes any physical alteration and the modification to the existing building or the Project site.

---

Jason Killebrew, Community Development Director

---

Date



**Precise Development Plan No. 2023-02 and Conditional Use Permit No. 2023-05**

To allow for an addition of 5,143 square feet to the existing building and a reduction in required parking to accommodate the proposed medical use at 721 East Imperial Highway.

Meeting	Agenda Group
Tuesday, December 12, 2023, 6:00 PM	PUBLIC HEARINGS Item: 7D
TO	FROM
Chair and Members of the Planning Commission	Joanne Hwang, City Planner

**EXECUTIVE SUMMARY**

The Applicant, California Spine Institute, LLC., requests the approval of Precise Development No. 2023-02 and Conditional Use Permit No. 2023-05 to allow for an addition of 5,143 square feet to the existing building and façade remodel, along with a reduction in required parking to accommodate the proposed medical use at 721 East Imperial Highway, located in a General Commercial (C-G) zone with a Precise Development (P-D) Overlay.

The above-mentioned entitlement herein is referred to as the “Project.”

**RECOMMENDATION**

Staff recommends that the Planning Commission adopt resolutions (Attachment A and B) taking the following actions:

Find the Project exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Class 1, Existing Facilities);

Approve Precise Development (PD) No. 2023-02 to allow for the addition of 5,143 square feet to an existing building and exterior façade remodel for the new Align Spine Center at 721 East Imperial Highway, based on the findings and conclusions in the attached Resolution (Attachment A), and subject to the recommended Conditions of Approval (Attachment C); and

Approve Conditional Use Permit (CUP) No. 2023-05 to allow reduction of the required parking to accommodate the proposed medical use, based on the findings and conclusions in the attached Resolution (Attachment B), and subject to the recommended Conditions of Approval (Attachment D).

**BACKGROUND**

Located at 721 East Imperial Highway, the Project site is a 17,510 square-foot property situated between Poplar and Laurel Avenues on the north side of Imperial Highway. The Project site is currently developed with a 3,580 square-foot building that is occupied by Covered California and Golden Beauty Brown Nail and Spa. The Project site has a General Plan Land Use designation of General Commercial and zoning designation of General Commercial (C-G) with a Precise Development (P-D) overlay. The surrounding land uses and zoning designation are shown in Tables 1 and 2 below.

**TABLE 1 – SURROUNDING LAND USES**

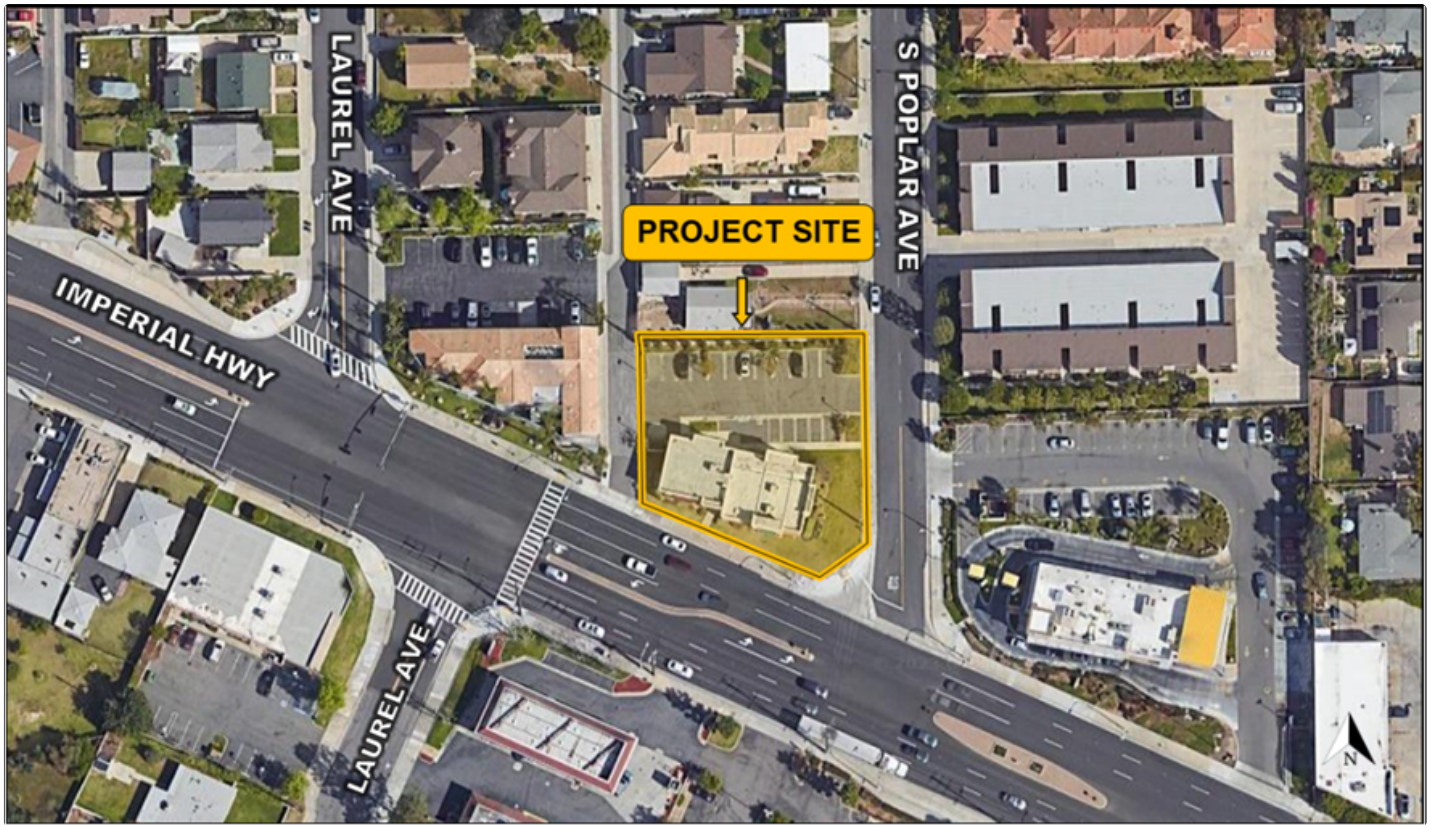
North	Multiple-family residential homes
East	McDonald's and apartments ( <i>across Poplar Avenue</i> )
South	Commercial shopping center and a gas station ( <i>across Imperial Highway</i> )
West	Offices

**TABLE 2 – SURROUNDING ZONING DESIGNATIONS**

<b>North</b>	Multiple Family Residential (R-3)
<b>East</b>	C-G with a P-D Overlay and R-3 ( <i>across Poplar Avenue</i> )
<b>South</b>	C-G with a P-D Overlay ( <i>across Imperial Highway</i> )
<b>West</b>	Administrative and Professional Office (C-P)

In addition to the existing building, the Project site consists of associated surface parking and landscaping areas. Ingress and egress to the site are provided by two access points, which includes the existing driveway approach off Poplar Avenue and one from the alley. The aerial view of the Project site is in Figure 1 below.

**FIGURE 1 – AERIAL VIEW OF THE PROJECT SITE**



#### Entitlement History

- On January 10, 1989, the Planning Commission adopted Resolution No. 89-07 approving PD 89-1 and ND 89-01 to allow for the construction of a 2,229 square foot retail building. The approval of PD 89-1 was contingent upon City Council approval of Zone Change application ZC 89-1.
- On February 7, 1989, the City Council adopted Ordinance No. 860 approving ZC 89-1 amending the zoning designation of the Project site from Commercial, Administrative, and Professional Office (Precise Development) to General Commercial (Precise Development) zone.
- On March 28, 2006, the Planning Commission adopted Resolution No. 06-07 approving PD-03 authorizing the request to expand the building footprint by 1,350 square feet and remodel the exterior façade.

The technical Background Summary and the Vicinity Map are provided in Attachments E and F, respectively.

## **PROJECT DESCRIPTION**



The Applicant proposes to remodel the exterior façade and add approximately 5,143 square feet to the existing building located at the Project site to accommodate a new medical use, Align Spine Center, which is an outpatient orthopedic, spine, and pain musculoskeletal health care practice. In addition, the Applicant requests a reduction in the required parking for the proposed medical use. The following provides details of the Project:

Building Addition

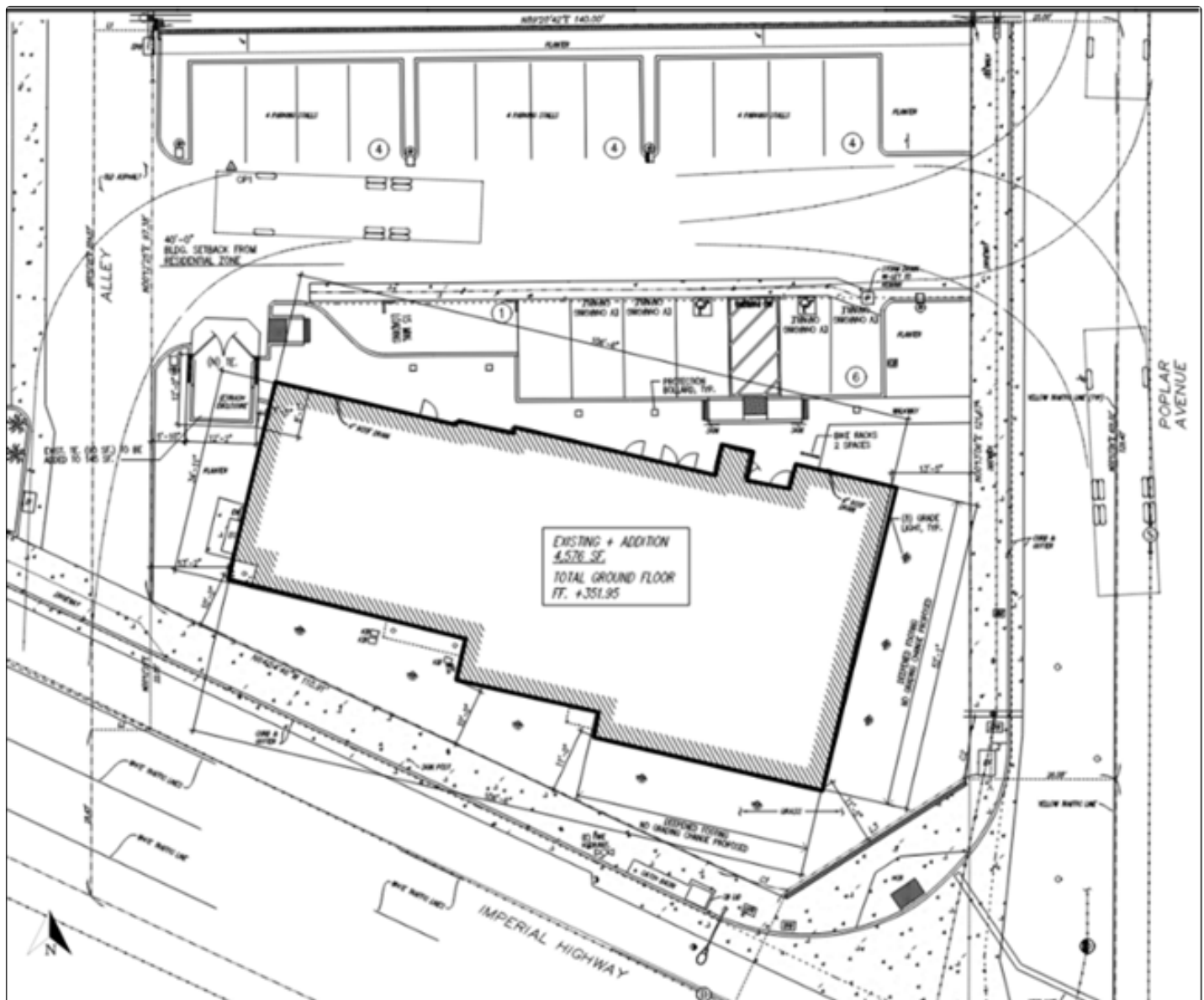
The expansion would result in a two-story 8,723 square-foot building for the Align Spine Center. The square footage breakdown is shown in Table 3 below:

**TABLE 3 – PROPOSED BUILDING SUMMARY**

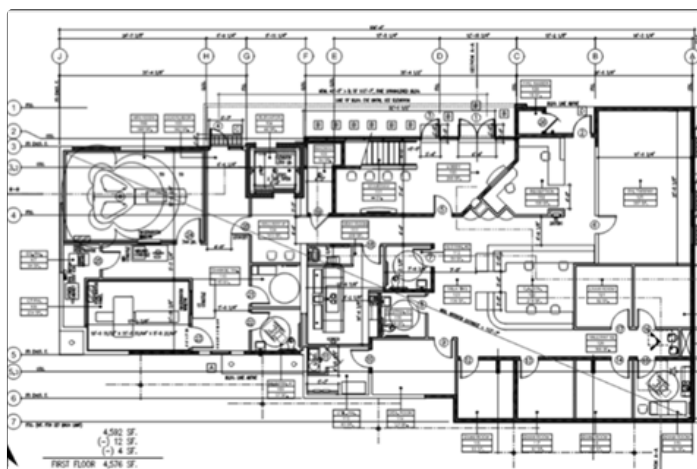
	Existing	Proposed Addition	Total
First Floor	3,580 sq. ft.	996 sq. ft.	8,723 sq. ft. (including the 260 sq. ft. outdoor patio)
Second Floor	N/A	4,147 sq. ft. (including a 260 sq. ft. outdoor patio)	

As part of the Project, the layout of the first floor would be redesigned to include a lobby/reception area, restrooms, an elevator, and rooms for patient evaluation, physical therapy, and diagnostic imaging equipment. The new second floor would consist of offices, surgical and post-op rooms, a break area with lockers, and a 260-square-foot outdoor patio. In addition, new landscaping will be planted along the Imperial Highway frontage. Figures 2 and 3 below are the proposed site plan and floor plans, respectively.

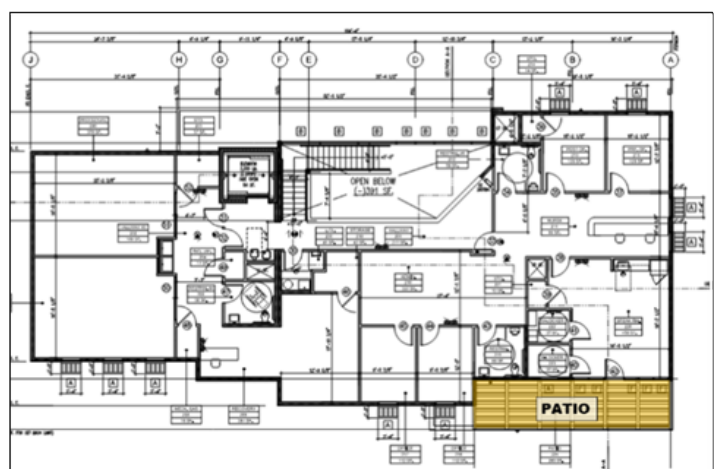
**FIGURE 2 – PROPOSED SITE PLAN**



**FIGURE 3 – PROPOSED FLOOR PLANS**



## First Floor



## Second Floor

### Façade Remodel

The exterior façade of the entire building would be entirely remodeled into a modern and contemporary design. The exterior finish features off-white stucco, brick texture and color, and blue window glazing. Windows would be trimmed in silver to match the metal awnings. A steel trellis will cover the second-story patio that faces Imperial Highway. Figure 4 below is the renderings for the Project.

**FIGURE 4 – BUILDING RENDERINGS**



### Reduction in Parking

As part of the Project, the Applicant is seeking a reduction in the required parking for the proposed medical use. The project proposes 19 parking stalls, which is the existing number of spaces currently available, while the Code-required parking is 48 spaces. The only modification to the parking area would be re-stripping of stalls to meet ADA and EV charging requirements.

The Operational Breakdown, Project Plans, and Project Application are Attachments G, H, and I, respectively.

## **DISCUSSION**

### Precise Development No. 2023-02: Building addition and Façade Remodel

Pursuant to Brea City Code (BCC) Section 20.11.020, medical offices are permitted by right in the C-G Zone; however, BCC Section 20.260.010 requires the Planning Commission review and approval of a Precise Development plan for development within a Precise

Development (P-D) Overlay Zone to ensure the proposal is in conformity with all applicable provisions of the code.

As demonstrated in Table 4 below, the Project as proposed complies with all applicable development standards of the C-G zone and is adequate in size and shape to accommodate the proposed development. The only exception is parking, which is further described in the next section of this report. In addition, the proposed architectural style complements the surrounding neighborhood with its sleek and modern contemporary aesthetics.

**TABLE 4 – COMPLIANCE WITH DEVELOPMENT STANDARDS**

Development Standard	Zoning Code (min./max)	Proposed
Height	35 feet maximum	32 feet - top of parapet
Setbacks	10 feet minimum – from property line to abutting the street 40 feet minimum – from a residential zone	10 feet 60 feet
Lot Coverage	50% maximum	26%
Landscape	15% minimum	26.7%

**Conditional Use Permit No. 2023-05: Parking Reduction**

Pursuant to BCC Section 20.08.040.F, modification of the off-street parking requirements may be granted to avoid circumstances where they might be excessive due to the use involved or other relevant circumstances. Such request must be accompanied by a Parking Demand Study, and it requires Planning Commission approval of a CUP. Pursuant to BCC Section 20.08.040.D, the Project is providing 19 parking stalls, which is 29 spaces less than the Code-required parking (48 spaces). To ensure that the proposed number of parking spaces can accommodate the parking demand of the proposed medical use, a detailed parking analysis was provided by the Applicant and reviewed by Staff.

The provided Parking Demand Study (Attachment J) compared two similar orthopedic surgery facilities in Orange County to generate a more accurate peak parking demand ratio for the proposed medical facility. Parking counts for each location were taken in 15-minute intervals which resulted in an average parking demand of 2.08 parking spaces per 1,000 square feet. Per the parking demand analysis, the proposed 8,723 square feet of gross floor area would require 19 parking spaces, and therefore the existing on-site parking of 19 spaces would be sufficient to accommodate the new medical use. Table 5 below shows the parking demand comparison.

**TABLE 5 – PARKING DEMAND COMPARISON**

	Parking Ratio	Required Parking
BCC Requirements for Medical Clinic/Office	5.5 spaces per 1,000 square feet	48
Peak Parking Demand Rate for Orthopedic Surgery facilities	2.08 spaces per 1,000 square feet	19
<b>Project Quantities</b>		
Proposed Floor Area	8,723 square feet	
Proposed Number of Parking Spaces	19	

In addition, the maximum number of employees and patients expected to be present at the medical facility is 16, which is less than the 19 spaces being provided. According to the Applicant's operational plan, the medical facility will have a maximum of six workers on-site daily which may include an administrator, nurses, physicians, assistants, and technicians. Staffing will be staggered weekly due to the clinic's implementation of telemedicine for patient evaluations and the ability of employees to work remotely. Also, there will be no more than ten patients on-site for in-person services at any given time, which further reduces demand for parking. The increased square footage to



accommodate the medical facility is primarily to enable the operation of large medical equipment and to allow for other services that have minimal parking demand. Based on these reasons, the 19 parking spaces would be adequate for the proposed medical facility.

The Project was reviewed by various departments, including the Fire Department, Police Department, and the Building & Safety Division. The project is required to meet all Building and Fire codes and standards, thereby assuring public health, safety, and welfare. To further ensure the Project would be compatible with surrounding uses and not adversely affect the public, health, or general welfare, staff has prepared draft Conditions of Approval. Notably, a condition of approval is included that requires the business to provide all necessary remedies should parking impacts occur. Such remedies may include but are not limited to the preparation and implementation of a parking management plan, modifying the parking lot, and/or other strategies provided by a parking consultant. In addition, any future tenant would be required to demonstrate compliance with the minimum parking requirements and/or the Parking Demand Study provided as part of the Project. Therefore, the Project, as proposed and conditioned, is not anticipated to negatively affect the health and safety of the surrounding neighborhood.

## **PUBLIC NOTICE AND COMMENTS**

This Project was noticed in accordance with the City's public noticing requirements, which involved mailed notices sent to property owners within 500-feet of the Project site, and publication in the Brea Star-Progress. The public hearing notice for this Project is provided as Attachment K. As of the writing of this report, staff has not received public comments.

## **ENVIRONMENTAL ASSESSMENT**

The project has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines and the environmental regulations of the City. The Project is categorically exempt from the requirements to prepare additional environmental documentation per CEQA Guidelines Section 15301. The Class 1 exemption is applicable because the additions to the existing structure does not exceed 10,000 square feet. Therefore, the Project is categorically exempt from the provisions of CEQA. The draft Notice of Exemption is Attachment L.

## **CONCLUSION**

For the reasons discussed above and the information attached to this report, the Project would conform with all the requirements of the General Plan and the provisions of the BCC. The proposed recommendation would not have an adverse effect on the public, health, safety, or general welfare. Therefore, staff recommends approval of the Project.

## **RESPECTFULLY SUBMITTED:**

Joanne Hwang, AICP, City Planner

Prepared by: Cristal G. Nava

---

## **Attachments**

Attachment A - Draft Resolution PD 2023-02.pdf

Attachment B - Draft Resolution CUP 2023-05.pdf

Attachment C - Draft Conditions of Approval for PD 2023-02.pdf

Attachment D- Draft Conditions of Approval for CUP 2023-05.pdf

Attachment E - Technical Background.pdf

Attachment F - Vicinity Map.pdf

Attachment G - Operations Breakdown.pdf

Attachment H - Project Plans.pdf

Attachment I - Project Application.pdf

Attachment J - Parking Demand Analysis.pdf

Attachment K - Public Hearing Notice.pdf



**(DRAFT) RESOLUTION NO. PC 2023-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BREA  
APPROVING PRECISE DEVELOPMENT NO. 2023-02: TO ALLOW FOR AN  
ADDITION OF 5,143 SQUARE FEET TO THE EXISTING BUILDING AND  
FAÇADE REMODEL AT 721 EAST IMPERIAL HIGHWAY**

**A. RECITALS:**

(i) The Planning Commission of the City of Brea (the “Planning Commission”) did receive a verified petition for the approval of Precise Development (PD) No. 2023-02 and Conditional Use Permit (CUP) No. 2023-05 to allow a façade remodel and an addition of 5,143 square feet to the existing building, which includes a first-floor addition of 996 square feet, a second-floor addition of 4,147 square feet, and a reduction in required parking to accommodate the proposed medical use, for that certain real property located at 721 East Imperial Highway, in the City of Brea, and further legally described as Assessor Parcel Number 319-314-07, as shown in the latest records of the County of Orange Assessor’s Office. For purposes of this Resolution, PD No. 2023-02 and CUP No. 2023-05 are collectively referred to herein as “the Project.”

(ii) Specifically, PD No. 2023-02 would allow a façade remodel and an addition of 5,143 square feet to the existing building.

(iii) The Project applicant is California Spine Institute, LLC., 2720 N. Harbor Blvd, #201, Fullerton CA, 92835.

(iv) The Project site is zoned General Commercial (C-G) with a Precise Development (P-D) Overlay and designated as General Commercial by the General Plan.

(v) On December 12, 2023, the Planning Commission held a duly noticed public hearing on the Project, during which it received and considered all evidence and testimony presented prior to the adoption of this resolution.

(vi) All legal prerequisites to the adoption of this Resolution have occurred.

**B. RESOLUTION:**

**NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED** by the Planning Commission of the City of Brea, as follows:

1. In all respects as set forth in Recitals, Part A, of this Resolution.

2. The Project identified above in this Resolution has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines, and the environmental regulations of the City. The Project is categorically exempt from the requirements to prepare additional environmental documentation per CEQA Guidelines Section 15301. Class 1 is applicable as the Project will not add more than 10,000 square feet to the existing building. Therefore, the Project is categorically exempt from the provisions of CEQA.

3. The Commission further finds in consideration of PD No. 2023-02 as follows:

a. Finding: It is hereby found that the Precise Development application for the location set forth is authorized by Sections 20.236 and 20.260 of the Brea Zoning Ordinance.

Fact: The proposed site is zoned C-G with a P-D Overlay. Pursuant to Brea City Code (BCC) Section 20.11.020, Medical Services, Clinics/ Offices land use is permitted by right in a C-G zone, while the proposed development requires Planning Commission review and approval of a Precise Development plan. The Project would enhance an existing commercial property by

renovating its exterior with a modern architectural style that is harmonious with the surrounding community and in accordance with City requirements.

b. Finding: The site is adequate in size and shape to accommodate the proposed development and all of the yards, setbacks, walls or fences, landscaping, and other features required to bring about conformity with other elements of the neighborhood.

Fact: The proposed project meets the City's zoning requirement and can accommodate the addition to the existing building. The new construction meets all development standards with a C-G zone with a P-D Overlay including setbacks, lot coverage, and height. Only exception is parking, in which a request to reduce the required parking is granted through CUP No. 2023-05, as part of the Project.

c. Finding: The proposed site relates to streets and highways which are properly designed and improved to carry the type and quantity of traffic generated by the proposed development.

Fact: Vehicular access to the Project site will continue to be provided by two access points, which includes the existing driveway approach off Poplar Avenue and one from the alley. The expansion of an existing building on commercial property is not anticipated to have any negative traffic impacts on the surrounding area.

4. Precise Development No. 2023-02 is hereby approved, subject to the conditions of approval found in Exhibit A of this resolution.



5. The Secretary of this Commission shall certify to the adoption of this Resolution.

**ADOPTED AND APPROVED** this 12<sup>th</sup> day of December, 2023.

\_\_\_\_\_  
Chair, Planning Commission

I, Joanne Hwang, Secretary to the Planning Commission of the City of Brea, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Brea held on the 12<sup>th</sup> day of December, 2023, and was finally passed at a regular meeting of the Planning Commission of the City of Brea, held on the 12<sup>th</sup> day of December, 2023, by the following votes:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

ATTEST:

\_\_\_\_\_  
Secretary, Planning Commission

**(DRAFT) RESOLUTION NO. PC 2023-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BREA  
APPROVING CONDITIONAL USE PERMIT NO. CUP 2023-05: TO ALLOW THE  
REDUCTION IN REQUIRED PARKING TO ACCOMMODATE THE PROPOSED  
MEDICAL USE AT 721 EAST IMPERIAL HIGHWAY**

**A. RECITALS:**

(i) The Planning Commission of the City of Brea (the “Planning Commission”) did receive a verified petition for the approval of Precise Development (PD) No. 2023-02 and Conditional Use Permit (CUP) No. 2023-05 to allow a façade remodel and an addition of 5,143 square feet to the existing building, which includes a first-floor addition of 996 square feet, a second-floor addition of 4,147 square feet, and a reduction in required parking to accommodate the proposed medical use, for that certain real property located at 721 East Imperial Highway, in the City of Brea, and further legally described as Assessor Parcel Number 319-314-07, as shown in the latest records of the County of Orange Assessor’s Office. For purposes of this Resolution, PD No. 2023-02 and CUP No. 2023-05 are collectively referred to herein as “the Project.”

(ii) Specifically, CUP No. 2023-05 would allow a reduction in the required parking for the Project.

(iii) The Project applicant is California Spine Institute, LLC., 2720 N. Harbor Blvd, #201, Fullerton CA, 92835

(iv) The Project site is zoned General Commercial (C-G) with a Precise Development (P-D) Overlay and designated as General Commercial by the General Plan.

(v) On December 12, 2023, the Planning Commission held a duly noticed public hearing on the Project, during which it received and considered all evidence and testimony presented prior to the adoption of this resolution.

(vi) All legal prerequisites to the adoption of this Resolution have occurred.

**B. RESOLUTION:**

**NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED** by the Planning Commission of the City of Brea, as follows:

1. In all respects as set forth in Recitals, Part A, of this Resolution.

2. The Project identified above in this Resolution has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines, and the environmental regulations of the City. The Project is categorically exempt from the requirements to prepare additional environmental documentation per CEQA Guidelines Section 15301. Class 1 is applicable as the Project would allow a reduction in the required parking for a new medical facility, where the associated development does not add more than 10,000 square feet to the existing building. Therefore, the Project is categorically exempt from the provisions of CEQA.

3. The Commission further finds in consideration of CUP No. 2023-05 as follows:

a. Finding: That the use applied for at the location set forth in the application is properly one for which a Conditional Use Permit is authorized by this title.

Fact: The Project site is zoned General Commercial (C-G) with a Precise Development (P-D) Overlay and has a General Plan land use designation of General Commercial. Pursuant to Brea City Code (BCC) Section

20.08.040.F, exceptions or modifications of the off-street parking requirements require Planning Commission review and approval of a Conditional Use Permit.

b. Finding: That said use with any conditions to be imposed is necessary or desirable for the development of the community, in harmony with the various elements or objectives of the General Plan, and not detrimental to existing uses or to uses specifically permitted in the zone in which the proposed use(s) is to be located.

Fact: The Project is located on an existing commercial property developed with 19 parking spaces. The proposed parking reduction will allow the Project site to maintain the number of current parking spaces in order to accommodate the expansion of the building for medical usage. A parking analysis concluded that 19 parking spaces would be adequate to meet the anticipated parking demand, and therefore the Project would not be detrimental to the surrounding area.

c. Finding: The site is adequate in size and shape to accommodate the proposed development and to accommodate the proposed use.

Fact: The Project proposes to increase the square footage of the existing building to 8,723 square feet. Based on the parking analysis, 19 parking spaces are required to accommodate the Projects development. The Project proposes 19 parking spaces which is the same number of parking stalls currently available. The site is adequate in size to accommodate the addition and the 19 parking spaces.



d. Finding: The proposed site relates to streets and highways which are properly designed and improved to carry the type and quantity of traffic generated or to be generated by the proposed development.

Fact: Vehicular access to the site will continue to be from Imperial Highway and Poplar Avenue. The Project is not anticipated to result in any traffic impacts to the adjacent uses.

e. Finding: That with the conditions stated in the permit, the uses will not adversely affect the public health, safety, or general welfare

Fact: The Applicant's operational plan offers online services and employees will be able to work remotely, which reduces the demand for parking. In addition, the increase in square footage is primarily to provide enough space to hold large medical equipment and to allow for other uses that have minimal parking demand. For these reasons, the request to reduce parking requirements will not be harmful to the public health, safety, and welfare of the City.

4. Conditional Use Permit No. 2023-05 is hereby approved, subject to the conditions of approval found in Exhibit A of this resolution.

5. The Secretary of this Commission shall certify the adoption of this Resolution.

**ADOPTED AND APPROVED** this 12<sup>th</sup> day of December, 2023.

---

Chair, Planning Commission

I, Joanne Hwang, Secretary to the Planning Commission of the City of Brea, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Brea held on the 12<sup>th</sup> day of December, 2023 and was finally passed at a regular meeting of the Planning Commission of the City of Brea, held on the 12<sup>th</sup> day of December, 2023, by the following votes:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

ATTEST:

\_\_\_\_\_  
Secretary, Planning Commission

**ATTACHMENT A OF RESOLUTION NO. 2023-XX**  
**Precise Development No. 2023-02**

**CONDITIONS OF APPROVAL**

Precise Development No. PD 2023-02 is hereby approved, subject to the conditions as set forth herein:

Planning Division – Community Development Department

1. Development and operations shall occur in substantial compliance with the plans and documents reviewed and approved by the Planning Commission on December 12, 2023, which include an operations breakdown, site plan, and floor plan on file with the Planning Division, the conditions contained herein and all applicable Federal, State, County and local regulations. The City Planner may approve minor modifications to the operations and approved project plans.
2. The approved uses shall operate within all applicable Federal, State, County, and City regulations.
3. The Applicant shall prepare and submit a digital copy (suitable for archival storage) of the final plans and specifications to the Brea Planning Division prior to the issuance of any building permits for the development.
4. Final architectural elevation plans and details shall be provided at time of plan check for the review and approval of the City Planner prior to the issuance of building permits. Architecture and design features shall be substantially consistent with the specifications and details provided in the approved Project plans and shall include high quality materials and finishes. Requests to modify the approved building elevations, materials and details to allow new tenants/business branding, logos, colors and other architectural elevation features may be reviewed and approved by the City Planner.
5. Prior to issuance of any building permits, the Applicant shall submit a detailed final landscaping plan to the Planning Division for review and approval. The final landscaping plan shall comply with the City's Water Efficient Landscaping Requirements.
6. All new landscaping shall be installed in conformance with the approved plans and applicable Brea City Code (BCC) and maintained in perpetuity. Landscaping shall be replaced in a timely manner in an event that it is removed, damaged and/or dead.
7. Final details regarding all window glazing and potentially reflective building surfaces shall be provided for the review and approval of the City Planner prior to the issuance of a construction permit. Said glazing and surfacing shall be treated

or designed in a manner to reduce glare impacts to adjacent uses, motorists, pedestrians, and wildlife (e.g. to reduce bird window strikes).

8. All roof-mounted and ground-mounted equipment shall be screened from public views at ground elevation. Noise generating equipment shall require special consideration in their location and screening in order to avoid creating a nuisance. All uses and operations shall adhere to the City's adopted noise ordinance.
9. Prior to issuance of any building permits, the Applicant shall submit a final photometrics plan illustrating no direct rays or glare shall obstruct the vision of motorists either on the site or on adjacent roads/properties.
10. All outdoor trash facilities shall be shielded from view within a decorative enclosure with walls that is minimum six (6) feet in height, and provided with metal gates. The design of enclosures shall be compatible with the project architecture, is encouraged to include a roof, and shall require a separate review and approval by the City Planner prior to the issuance of building permits.
11. The Applicant shall obtain a separate building permit prior to installing any signage. Detailed sign plans that include structural details and sign specifications shall be submitted for review and approval of the City Planner and Building & Safety Division. All new signage shall be in compliance with Section 20.28 of the Brea City Code, the conditions contained herein, and all applicable regulations.
12. Any reduction of on-site and/or off-site parking, change of tenant spaces/uses, restriping or circulation modifications shall be reviewed and approved by the City Planner prior to any modifications.
13. The Applicant is responsible for paying all charges related to the processing of the Project within 30 days of the issuance of the final invoice or prior to the issuance of building permits for the Project, whichever occurs first. Failure to pay all charges shall result in delays in the issuance of required permits or may result in the revocation of the approval of this application.
14. Any permit is subject to expiration and revocation as provided in Section 20.412.020, and said provisions are specifically made a part hereof without negating the applicability of any other provision of this title of any other ordinance.
15. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold the City, its elected officials, officers, contractors serving as City officers, agents, and employees ("Indemnitees") free and harmless from: (i) any and all claims, liabilities and losses whatsoever occurring or resulting to any and all persons, firms, entities, or corporations furnishing or supplying work, services, materials, or supplies in connection with, or related to, the performance of work or the exercise of rights authorized by approval of Precise Development No. PD 2023-02 and (ii) any and all claims, lawsuits, liabilities, and/or the granting or exercise of the rights authorized by said approval; and (iii) from any and all claims,



liabilities and losses occurring or resulting to any person, firm, entity, corporation for property damage, personal injury, or death, arising out of or related to the approval of, or exercise of rights granted by, this permit. Applicant's obligation to indemnify, defend and hold the Indemnitees free and harmless as required hereinabove shall include, but is not limited to, paying all fees and costs incurred by legal counsel of the Indemnitee's choice in representing the Indemnitees in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorney's fees in any such lawsuit or action.

#### Building and Safety Division – Community Development Department

16. All designs shall comply with the Codes adopted at the time of permit submittal. Currently the 2022 CA Building, Mechanical, Electrical, Plumbing, Cal Green, Energy, Fire Codes, ISPSC, City of Brea Municipal Code, City of Brea & CA state ordinances.
17. Any code deviations will require submittal of an Alternative method or Modification request. Code sections and alternatives are required also with complete justification for request.
18. A building permit is required for all the proposed work.
19. Project shall fully comply with accessibility (ADA) requirements as prescribed on CBC 2022 Chapter 11B.
20. The parallel curb ramp shall be compliant with CBC 2022 Sec. 11B-705.1.2.2.2 (Fig. 11b-705.1.2.2.2).
21. Accessible means of egress continuity and components must comply with CBC2022 1009. Therefore, the illumination level shall not be less than 1 foot-candle at the walking surface at the exterior accessible route (ADA parking, ramps, walks). CBC Sec 1008.2.1. Exterior photometric plan to comply with the requirement above.
22. At the time of building permit submittal, required construction documents include: Architectural, Structural, Mechanical, Electrical, Energy, Plumbing, Civil (Grading, Erosion Control), Landscaping, Structural Calculations, Energy Calculations, MEP related Calculations and equipment Cut Sheets, Specs.

The following requires separate submittal and permit issuance:

- Demo work
- Civil/Grading construction documents
- Landscape construction documents
- Accessory structures

- Signs

23. Geotechnical soil investigation is required upon formal submittal to Building & Safety.
24. The Applicant shall provide written evidence to the City of Brea Building & Safety Division that a geotechnical engineer has been retained to monitor the grading operation and assure implementation of the site grading recommendations. All recommendations shall be implemented to the performance standards specified in the Soil Investigation report and to the satisfaction of the geotechnical engineer and City Engineer and Building Official. Evidence of implementation shall be provided to the Building & Safety Division prior to issuance of a building permit.
25. The geotechnical engineer of record shall review the grading plans, foundation plans and foundation details for conformance with the Geotechnical Investigation Report, stamp and sign plans and details.
26. Upon plan check submittal include the spandrel glass ICC Report number & comply with the installation requirements. Stucco, veneers and exterior finish panels shall be ICC approved.
27. All MEP equipment heavier than 300 lbs. must provide anchorage calculations, details and reference details on plan.
28. All medical equipment shall provide anchorage calculations. Details shall be referenced on plans.
29. Structural anchorage details and calculations are required for storefronts and curtain walls.
30. Full project review shall be conducted when complete construction documents are submitted to the Building & Safety division.
31. Additional requirements may be imposed when the project is submitted for building & safety department plan check review and approval.
32. Once Planning has approved your project please visit <https://www.ci.brea.ca.us/124/Building-Safety-Division>
33. To apply for a building permit, submit for plan check, or apply for a Certificate of Occupancy please email your application and all necessary documents to [Building@cityofbrea.net](mailto:Building@cityofbrea.net).

#### Public Works Department

34. Prior to the issuance of any building permits for proposed building construction, the Applicant shall provide precise grading plans and applicable technical studies,

for the review and approval of the City Engineer. The precise grading plans and technical studies shall be prepared by a registered Civil Engineer, be in accordance with City of Brea Standard Plans and standards, and be to the satisfaction of the City Engineer. The precise grading plan submittal shall include the following items:

- a. Construction Document Plans for the review and approval of the City Engineer. The Construction Document Plans shall identify all proposed improvements included on the property and that is required to facilitate the development and infrastructure improvements of the property to the satisfaction of the City Engineer. Said Construction Document Plans shall include an Erosion & Sediment Control Plan identifying the contact information for the person that is to be reached in case of emergency;
  - b. Sanitary Sewer Capacity Analysis for the review and approval of the City Engineer. Said study shall meet all City requirements as outlined in the City Sewer Master Plan; and
  - c. Solid Waste/Trash Collection Circulation Plan for the review and approval of the City Recycling Coordinator.
35. The Applicant shall maintain all private drainage facilities in good working order at all times.
36. The Applicant shall be responsible for the maintenance of all temporary and permanent Best Management Practices (BMP's), ponds, and detention/retention structures located on public or private property.
37. All sewer laterals serving the proposed development shall be per City of Brea Public Works Standards, shall meet all City Building and Plumbing Code requirements, and be to the satisfaction of the City Engineer.
38. All existing water and fire services shall be removed through the point of connection to the existing public water main.
39. All water and fire services shall be per the latest City of Brea Public Works Standards. All domestic, irrigation, and fire services shall have separate connections to public water line infrastructure, and shall connect to the existing public water lines located within S. Poplar Avenue to the satisfaction of the City Engineer.
40. All proposed domestic, irrigation, and fire services shall include above ground backflow prevention to the satisfaction of the City Engineer and the Brea Fire Department.

41. The Applicant shall install water meters, vaults, and above ground backflow prevention devices for all domestic, irrigation, and fire services and systems. Easements shall be dedicated to the City for the maintenance, repair, and operation of all water meters and vaults as required.
42. The proposed development shall only be served by underground distribution utilities.
43. Prior to the issuance of any building permits in a development phase, the Applicant shall pay all applicable impact fees and connection fees as set forth in the City ordinances and in effect at the time of permit approval. Prior to the issuance of any building permits for any proposed building construction, the Applicant shall prepare public offsite improvement plans for the review and approval of the City Engineer, for all public improvements located within the public right-of-way, including S. Berry Street. The public improvement plans shall be prepared by a registered Civil Engineer and be in accordance with City of Brea Standard Plans and standards. Prior to building permit issuance, the public improvement plans shall be approved by the City Engineer. All improvements shall be constructed, including any field punch list items, prior to the issuance of any occupancy release. The public improvements include but are not limited to the following items:
- a. Removal of all existing water and fire service laterals through the point of connection to the existing public water main.
  - b. Removal and replacement of all existing paving and public facilities required to facilitate the removal of existing water infrastructure.
  - c. Construction of separate connections for proposed domestic, irrigation, and fire service laterals to the existing public water line located within S. Poplar Avenue.
  - d. Removal and replacement of all existing paving and public facilities required to facilitate the construction of the proposed water infrastructure.
  - e. Removal, replacement, and/or relocation of all existing infrastructure or structures interfering with the proposed improvements. This includes, but is not limited to existing water meters, backflow prevention, utility vaults, vent pipes, fire hydrants, signage, street lights, power poles, paving, and sidewalk.
44. All existing public utilities located within the public right-of-way or within existing easements are to be protected in place, unless indicated otherwise by improvement plans approved by the City Engineer.

45. All public improvements, and improvements within the public right-of-way and public easement areas, shall be designed and constructed per current City standards and all other jurisdictional requirements.
46. A City of Brea Public Works Encroachment Permit application shall be obtained prior to any construction or construction staging in the public right-of-way or within existing public easement areas.
47. All construction and traffic control operations located within, or impacting, the right-of-way of Imperial Highway will require separate Caltrans permit approval.

#### Fire Department

48. Any interior tenant improvement that impacts the spacing or coverage of the existing automatic fire sprinkler system requires submitting plans for review and approval by the Brea Fire Department.
49. Additional requirements may be imposed when the project is submitted for fire department plan check review/ approval.
50. Trash enclosure doors to be installed to not obstruct the fire access roadway, including the driveway apron.
51. Fire department access, a minimum 4' wide path of travel, is required around the entire structure. Ensure vegetation does not obstruct access. Also, roadways require a minimum of 13'6" of vertical clearance to be maintained. Keep in mind for trees/vegetation are planted near roads.
52. Provide the address on the structure. Numbers to be a minimum of 6-inch-high with a 1 ½" stroke on a contrasting background.
53. Knox box shall be mounted near the main entrance.
54. Separate submittal of a fire master plan is required for aerial apparatus access location, existing fire hydrant(s) and proposed fire hydrant(s) location, fire department connections, etc.
55. Automatic fire sprinkler system extended to new structures. Sprinkler extension requires a sprinkler plan submittal.
56. Installation of a manual fire alarm system if occupant load is greater than 100 persons above the lowest level of exit discharge.



**ATTACHMENT A OF RESOLUTION NO. 2023-XX**  
**Conditional Use Permit No. 2023-05**

**CONDITIONS OF APPROVAL**

Conditional Use Permit No. CUP 2023-05 is hereby approved, subject to the conditions as set forth herein:

Planning Division – Community Development Department

1. Development and operations shall occur in substantial compliance with the plans and documents reviewed and approved by the Planning Commission on December 12, 2023, which include an operations breakdown, site plan, and floor plan on file with the Planning Division, the conditions contained herein and all applicable Federal, State, County and local regulations. The City Planner may approve minor modifications to the operations and approved project plans.
2. The approved uses shall operate within all applicable Federal, State, County, and City regulations.
3. Any future tenant improvement and/or construction plans for a change in tenant uses shall demonstrate compliance with the minimum parking requirements, pursuant to Brea City Code Section 20.08.040 (Off-Street Parking and Loading) and/or the approved Parking Demand Study on file, to the satisfaction of the City Planner.
4. Should any parking impacts occur, the business owner must immediately remedy the issue to the satisfaction of the Community Development Director and the City Engineer. Remedies may include, but not be limited to, preparation and implementation of a parking management plan, modifying the parking lot, and/or other strategies provided by a parking consultant.
5. Any reduction of on-site and/or off-site parking, change of tenant spaces/uses, restriping or circulation modifications shall be reviewed and approved by the City Planner prior to any modifications.
6. The Applicant is responsible for paying all charges related to the processing of the Project within 30 days of the issuance of the final invoice or prior to the issuance of building permits for the Project, whichever occurs first. Failure to pay all charges shall result in delays in the issuance of required permits or may result in the revocation of the approval of this application.
7. Any permit is subject to expiration and revocation as provided in Section 20.412.020, and said provisions are specifically made a part hereof without negating the applicability of any other provision of this title of any other ordinance.

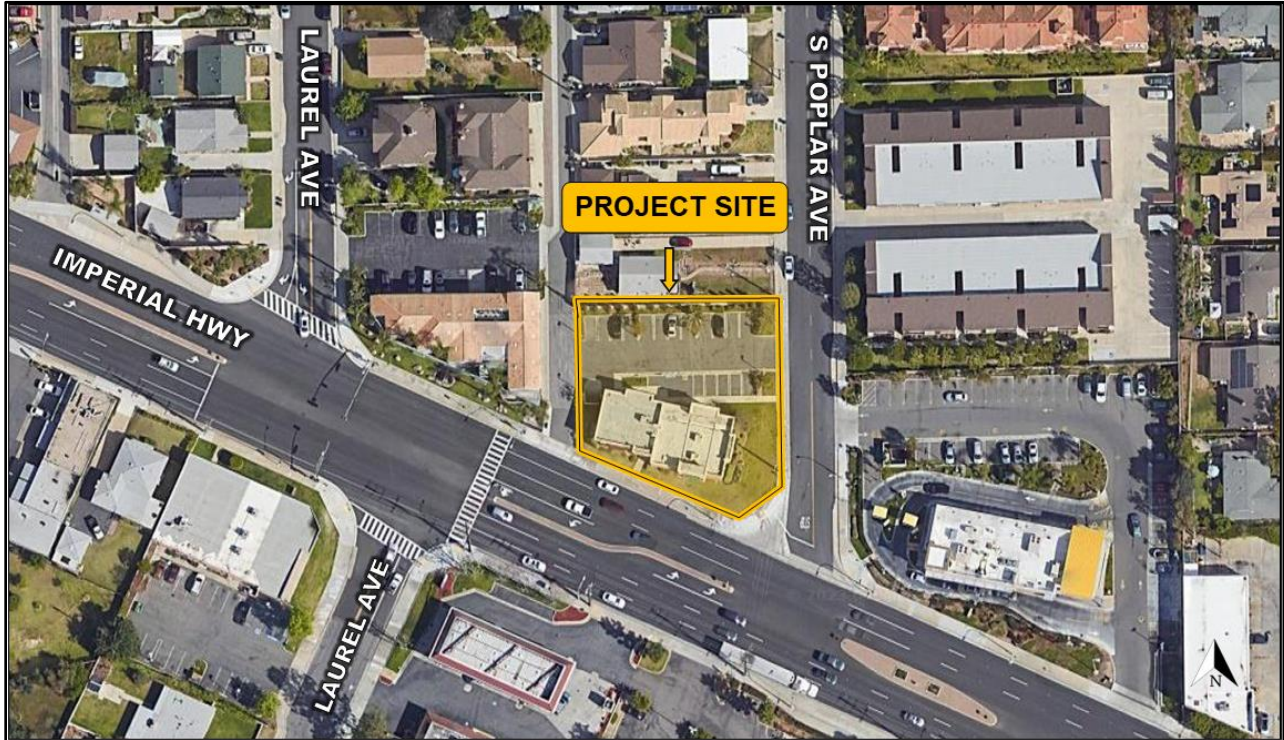
8. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold the City, its elected officials, officers, contractors serving as City officers, agents, and employees ("Indemnitees") free and harmless from: (i) any and all claims, liabilities and losses whatsoever occurring or resulting to any and all persons, firms, entities, or corporations furnishing or supplying work, services, materials, or supplies in connection with, or related to, the performance of work or the exercise of rights authorized by approval of Conditional Use Permit No. CUP 2023-05 and (ii) any and all claims, lawsuits, liabilities, and/or the granting or exercise of the rights authorized by said approval; and (iii) from any and all claims, liabilities and losses occurring or resulting to any person, firm, entity, corporation for property damage, personal injury, or death, arising out of or related to the approval of, or exercise of rights granted by, this permit. Applicant's obligation to indemnify, defend and hold the Indemnitees free and harmless as required hereinabove shall include, but is not limited to, paying all fees and costs incurred by legal counsel of the Indemnitee's choice in representing the Indemnitees in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorney's fees in any such lawsuit or action.

Building and Safety Division – Community Development Department

9. All designs shall comply with the Codes adopted at the time of permit submittal. Currently the 2022 CA Building, Mechanical, Electrical, Plumbing, Cal Green, Energy, Fire Codes, ISPSC, City of Brea Municipal Code, City of Brea & CA state ordinances.
10. Any code deviations will require submittal of an Alternative method or Modification request. Code sections and alternatives are required also with complete justification for request.
11. Project shall fully comply with accessibility (ADA) requirements as prescribed on CBC 2022 Chapter 11B.

## **TECHNICAL BACKGROUND**

<b>Case No:</b>	Precise Development Plan (PD) No. 2023-02 and Conditional Use Permit (CUP) No. 2023-05
<b>Property Location:</b>	721 East Imperial Highway
<b>Existing Building Size:</b>	3,580 square feet
<b>Proposed Building Size:</b>	8,723 square feet
<b>Applicant:</b>	California Spine Institute, LLC. 2720 N. Harbor Blvd, #210 Fullerton, CA 92835
<b>General Plan Designation:</b>	General Commercial
<b>Zoning Designation:</b>	General Commercial (C-G) with a Precise Development (P-D) Overlay
<b>Adjacent Zoning</b>	
<b>North:</b>	Multiple Family Residential (R-3)
<b>South:</b>	C-G with a P-D Overlay (across Imperial Highway)
<b>West:</b>	Commercial, Administrative, and Professional Office (C-P)
<b>East:</b>	C-G with a P-D Overlay and R-3 (across Poplar Avenue)
<b>Site and Neighborhood Characteristics:</b>	The Project site is located at 721 East Imperial Highway, situated north of Imperial Highway, between Poplar and Laurel Avenues. The site is surrounded by various commercial and residential uses.
<b>Public Hearing Notices and Outreach:</b>	Legal Notice was published in the Brea Star-Progress on November 22, 2023, and approximately 91 notices were sent to all property owners within a 500-foot radius of the subject property.



## SUBJECT PROPERTY AND VICINITY MAP

**DATE: December 12, 2023**

**CASE NO:**

**ACCELA RECORD NO. PLN-2023-00030**

**PRECISE DEVELOPMENT NO. 2023-02**

**CONDITIONAL USE PERMIT NO. 2023-05**



2720 N. Harbor Blvd; Suite #310., Fullerton, CA 92835  
Tel: 714-446-5192 Fax: 714-446-5169

November 17, 2023

**RE: ALIGN SPINE CENTER BREA BUILDING PROJECT**

**To Whom It May Concern:**

I am a board-certified orthopaedic surgeon, fellowship trained in Spinal disorders and surgery. Align Spine Center is an established Orthopaedic, Spine and Pain Musculoskeletal Health Care Practice. We are currently based in Fullerton and Irvine, and we are planning to move our Fullerton Practice to the Brea Community to provide the Highest Quality State of the Art Orthopaedic, Spine, Pain and Aesthetic Medical Care available. Our vision is to provide an efficient, accessible outpatient health care service to the local and surrounding communities. The practice is comprised of a very experienced medical/surgical staff, including: TWO Board Certified Orthopaedic and Spinal Surgeons, who are experts in their fields and have a combined nearly 50 years of experience. Also, a Pain Management Physician, along with a staff of Mid-Level Providers that includes a Registered Nurse, a Nurse practitioner, three Certified Physician Assistants, along with medical assistants.

We typically have a staggered staffing rotation, which would comprise of between 4-6 staff member working on-site on any given half day. Remaining staff rotations include work at our other satellite office and the local hospitals for in-patient procedures.

The practice will be open at the minimum: Monday – Friday 8AM – 5PM (with the possibility of extended hours and Saturday Hours.)

We are looking forward to providing EXCELLENT CARE to the BREA COMMUNITY!

**Services Provided-**

- TELEHEALTH SERVICES, where initial and follow – up medical evaluations can be provided by our staff (remotely or from our facility) for all conditions we treat. This service is meant to provide a convenient and time-saving option for patient health care evaluations.
- IN PERSON EVALUATIONS for those who would like to have direct evaluations.
- DIAGNOSTIC IMAGING PROCEDURES (MRI, CT, XRAY, DEXA, Etc)
- PHYSICAL THERAPY – Remote/Telehealth vs. In-Person treatments vs. Hybrid Options available.
- AESTHETIC MEDICINE - Remote/Telehealth vs. In-Person treatments vs. Hybrid Options available.



- **SURGICAL SERVICES** – Minor Orthopaedic, Spine, Pain and Aesthetic Outpatient Procedures are Available On-Site as well. Examples of the Pain Procedures Include: Epidural Steroid Injections, Facet Joint Injections, Disc Injections, Joint Injections, Kyphoplasty, PRP, and Stem Cell Injections, etc., along with minor Aesthetic, Orthopaedic, and Spine Procedures and Surgeries.

We are requesting to expand the current building to a Two-Story Building with 8,723 sf. The Space Utilization in the building will be designed for optimal patient experience and workflow. The traffic study proposed parking ratio shows that the number of parking spaces available are sufficient for the medical purposes. In our proposed medical building large spaces are allotted for Diagnostic medical equipment, such as MRI, CT scan, XRAY, DEXA Scan, and Procedure rooms. These spaces will typically not be used simultaneously, and therefore while one space is being used for one patient, then often the other spaces may be vacant. Also, many of the office spaces are designed to accommodate multiple staff members on the different days they are in the office, such as the nursing station, the break room, and the Physician/Provider Offices. We feel that the building design a space plan will provide an attractive addition to the Brea Medical and Business Community. We are looking forward to working with the city of Brea to move forward with our project as soon as possible.

If you have any further questions regarding this matter, please do not hesitate to contact me at my office. Thank you.

Sincerely,

A handwritten signature in black ink that reads "Raed Ali". The signature is written in a cursive, flowing style with a large initial 'R' and 'A'.

**Raed M. Ali, MD**

**Orthopaedic Spine Surgery**

721 East Imperial Highway, Brea, Ca 92821

Issuance / Revisions		
No.	Date	Description
	3-27-2023	CUP APPLICATION
	8-7-2023	CUP RE-SUBMITTAL 2ND
	9-25-2023	CUP RE-SUBMITTAL 3RD

Project Name : SECOND STORY  
ADDITION FOR

ADDITION FOR  
**align**  
SPINE  
CENTER

721 EAST IMPERIAL HIGHWAY  
BREA, CALIFORNIA 92821

## Consultants

CUP 23-05 & PD 23-02

Seq



Architect

**AREAN**  
a r c h i t e c t

714 990 1200  
[REDACTED] areanplusinc@gmail.com  
3611 EVE CIR., #A, JURUPA VALLEY, CA 91752

NCARB CERTIFIED      ♦ ♦ ♦ ♦ ♦ ♦ ♦ ♦

---

ALABAMA ♦ ARIZONA ♦ CALIFORNIA ♦ GUAM  
HAWAII ♦ NORTH CALIFORNIA ♦ TEXAS

### Drawing Description

COVER SHEET  
& PROJECT INFORMATION

Project No. 2022-09-21 Sheet No.

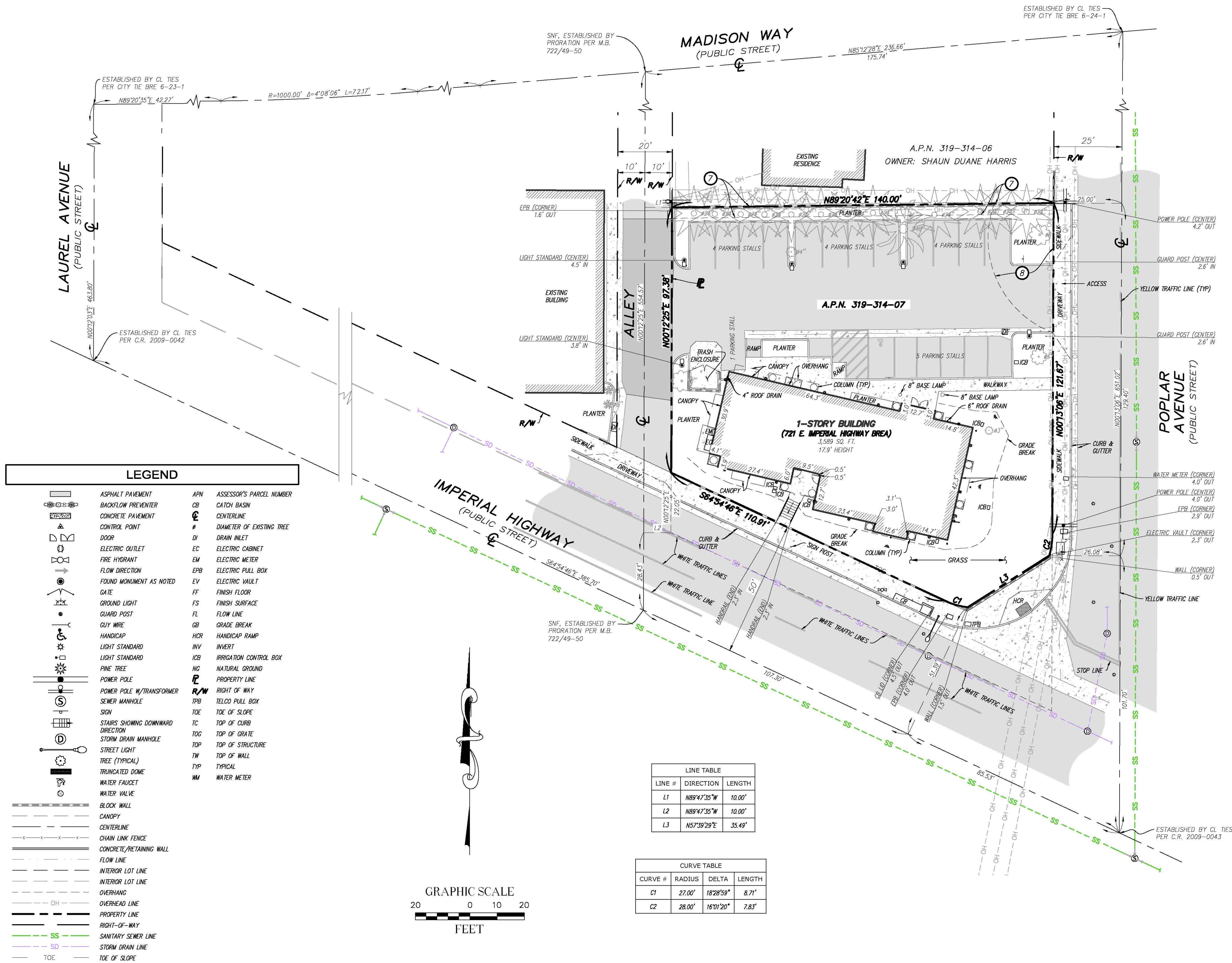
# A 1.0

THE ABOVE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, DISCLOSED, DISTRIBUTED, SOLD, PUBLISHED, OR USED WITHOUT THE PRIOR WRITTEN CONSENT OF AND APPROPRIATE COMPENSATION TO THE ARCHITECT. VISUAL CONTACT WITH THE ABOVE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



# A.L.T.A./N.S.P.S. LAND TITLE SURVEY

## 721 E. IMPERIAL HIGHWAY BREA CA 92821



### SCHEDULE B ITEMS

BASED UPON TITLE REPORT NO. FTY12541598, DATED OCTOBER 27, 2021 AS PREPARED BY GBT CALIFORNIA BEST TITLE.

- GENERAL AND SPECIAL CITY AND/OR COUNTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, FOR THE FISCAL YEAR 2021-2022. (NOT A SURVEY MATTER).
- ASSESSMENTS, IF ANY, FOR COMMUNITY FACILITY DISTRICTS AFFECTING SAID LAND WHICH MAY EXIST BY VIRTUE OF ASSESSMENT MAPS OR NOTICES FILED BY SAID DISTRICTS. SAID ASSESSMENTS ARE COLLECTED WITH THE COUNTY TAXES. (NOT A SURVEY MATTER).
- THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA. (NOT A SURVEY MATTER).
- WATER RIGHTS, CLAIMS OR TITLE TO WATER IN OR UNDER SAID LAND, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. (NOT A SURVEY MATTER).
- COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED AS BOOK 463 PAGE 187 OF DEEDS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR RENDER INVALID THE LIEN OF ANY FIRST MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE, BUT DELETING ANY COVENANT, CONDITION, OR RESTRICTION, IF ANY, INDICATING A PREFERENCE, LIMITATION, OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, GENDER, GENDER IDENTITY, GENDER EXPRESSION, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, VETERAN OR MILITARY STATUS, GENETIC INFORMATION, NATIONAL ORIGIN, SOURCE OF INCOME AS DEFINED IN SUBDIVISION (P) OF SECTION 12955, OR ANCESTRY, TO THE EXTENT THAT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE APPLICABLE STATE OR FEDERAL LAWS. LAWFUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTIONS BASED ON FAMILIAL STATUS. (NOT PLOTTED, EXACT LOCATION AND EXTENT NOT DISCLOSED OVER LOTS 28 AND 29 PER TITLE REPORT).
- COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED AS BOOK 464 PAGE 186 OF DEEDS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR RENDER INVALID THE LIEN OF ANY FIRST MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE, BUT DELETING ANY COVENANT, CONDITION, OR RESTRICTION, IF ANY, INDICATING A PREFERENCE, LIMITATION, OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, GENDER, GENDER IDENTITY, GENDER EXPRESSION, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, VETERAN OR MILITARY STATUS, GENETIC INFORMATION, NATIONAL ORIGIN, SOURCE OF INCOME AS DEFINED IN SUBDIVISION (P) OF SECTION 12955, OR ANCESTRY, TO THE EXTENT THAT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE APPLICABLE STATE OR FEDERAL LAWS. LAWFUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTIONS BASED ON FAMILIAL STATUS. (NOT PLOTTED, EXACT LOCATION AND EXTENT NOT DISCLOSED OVER LOT 30 PER TITLE REPORT).
- AN EASEMENT FOR WIRES, CONDUITS, CABLES AND OTHER APPURTENANT FIXTURES RECORDED AUGUST 5, 974 AS BOOK 11213 PAGE 875 OF OFFICIAL RECORDS. (PLOTTED HEREIN).
- AN IRREVOCABLE OFFER TO DEDICATE A PORTION OF SAID LAND FOR STREET, HIGHWAY, PUBLIC UTILITIES, SEWER, STORM DRAIN, CABLE, TELEVISION AND APPURTENANCES RECORDED NOVEMBER 21, 1999 AS INSTRUMENT NO. 89-638945 OFFICIAL RECORDS. (PLOTTED HEREIN).
- A DEED OF TRUST. (NOT A SURVEY MATTER).
- AN ASSIGNMENT OF RENTS AND LEASES, EXECUTED BY BOO SUP CHAE AND KYUNG SUK CHAE, HUSBAND AND WIFE, AS COMMUNITY PROPERTY WITH RIGHT OF SURVIVORSHIP, TO CENTER BANK, RECORDED MARCH 25, 2005 AS INSTRUMENT NO. 2005000224301, OF OFFICIAL RECORDS. (NOT A SURVEY MATTER).
- RIGHTS OF PARTIES/TENANTS IN POSSESSION. (NOT A SURVEY MATTER).
- RIGHTS OF PARTIES IN POSSESSION OF SAID LAND BY REASON OF ANY UNRECORDED LEASES. (NOT A SURVEY MATTER).
- BEFORE ISSUING ANY INSURANCE, THIS COMPANY WILL REQUIRE AN OWNER'S AFFIDAVIT BE SIGNED AND DELIVERED FOR REVIEW. (NOT A SURVEY MATTER).
- THIS COMPANY WILL REQUIRE THAT A FULL COPY OF ANY UNRECORDED LEASE BE FURNISHED TO THE COMPANY, TOGETHER WITH ALL SUPPLEMENTS AND AMENDMENTS BEFORE ISSUING ANY POLICY OF TITLE INSURANCE. (NOT A SURVEY MATTER).
- RIGHTS OF TENANTS IN POSSESSION OF SAID LAND BY REASON OF UNRECORDED LEASES, KINDLY FORWARD SAID LEASE, OR A CURRENT CERTIFIED TENANT RENT ROLL. (NOT A SURVEY MATTER).
- MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION OR BY A SURVEY OF SAID LAND SATISFACTORY TO THIS COMPANY, OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF. (NOT A SURVEY MATTER).
- AN INSPECTION OF SAID LAND HAS BEEN ORDERED; UPON ITS COMPLETION WE WILL ADVISE YOU OF OUR FINDINGS. (NOT A SURVEY MATTER).
- IF TITLE IS TO BE INSURED IN THE TRUSTEE(S) OF A TRUST OR THEIR ACT IS TO BE INSURED, WE WILL REQUIRE A FULL COPY OF THE TRUST AGREEMENT AND ANY AMENDMENTS THERETO. IN CERTAIN SITUATIONS THE COMPANY MAY ACCEPT A TRUSTEE CERTIFICATE PURSUANT TO SECTION 18100.5 OF THE CALIFORNIA PROBATE CODE FOR THE TRUST AGREEMENT. THE COMPANY RESERVES THE RIGHT TO EXCEPT ADDITIONAL ITEMS AND/OR MAKE ADDITIONAL REQUIREMENTS AFTER REVIEWING SAID DOCUMENTS. (NOT A SURVEY MATTER).
- WE WILL REQUIRE A STATEMENT OF INFORMATION FROM THE PARTIES NAMED BELOW IN ORDER TO COMPLETE THIS REPORT, BASED ON THE EFFECT OF DOCUMENTS, PROCEEDINGS, LIENS, DECREES, OR OTHER MATTER WHICH DO NOT SPECIFICALLY DESCRIBE SAID LAND, BUT WHICH, IF ANY, DO EXIST, MAY AFFECT THE TITLE OR IMPOSE LIENS OR ENCUMBRANCES THEREON. (NOT A SURVEY MATTER).
- IT MAY BE REQUIRED IF WE HAVE NO WAY TO VERIFY THE SELLER OR BORROWERS SIGNATURE DOCUMENTS MUST BE NOTARIZED BY A NOTARY PERSONALLY KNOWN TO ESSOR OR APPROVED BY CALIFORNIA BEST TITLE HARD MONEY LOANS. REQUIRE 2 FORMS OF ID. (NOT A SURVEY MATTER).

**FLOOD NOTE:** BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, PANEL NO. 06059C0042L, PANEL DATED 12/3/2009. THIS PROPERTY IS NOT LOCATED IN AN AREA WHERE FLOOD HAZARDS EXIST AS DETERMINED BY FEMA. BY TELEPHONE CALL TO THE NATIONAL FLOOD INSURANCE PROGRAM (800-638-6620) WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

### VICINITY MAP



### LEGAL DESCRIPTION

THE LAND HEREINAFTER REFERRED TO IS SITUATED IN THE CITY OF BREA, COUNTY OF ORANGE, STATE OF CA, AND IS DESCRIBED AS FOLLOWS:

LOTS 28, 29 AND 30 OF TRACT NO. 161, IN THE CITY OF BREA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12 PAGE 7 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM, THOSE PORTIONS OF SAID LOTS 28 AND 29 MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE EASTERLY LINE OF SAID LOT 28 SOUTH 0° 41' 30" EAST, 21.67 FEET FROM THE NORTHEAST CORNER OF SAID LOT; THENCE ALONG SAID EASTERLY LINE AND THE EASTERLY LINE OF AN EASEMENT AS SET FORTH IN AN INSTRUMENT RECORDED SEPTEMBER 10, 1985 IN BOOK 7661 PAGE 45 OF OFFICIAL RECORDS OF SAID COUNTY, SOUTH 0° 41' 30" EAST 64.77 FEET TO THE SOUTHEAST CORNER OF SAID LOT AND SAID EASEMENT; THENCE ALONG THE SOUTHWESTERLY LINE OF SAID LOT AND EASEMENT NORTH 65° 50' 00" WEST 154.28 FEET TO THE SOUTHWESTERLY CORNER OF SAID LOT AND EASEMENT; THENCE ALONG THE WESTERLY LINE OF SAID LOT AND EASEMENT NORTH 0° 41' 30" WEST 22.04 FEET TO THE NORTHEAST CORNER OF SAID LOT AND EASEMENT; THENCE ALONG THE SOUTHWESTERLY LINE OF SAID LOT AND EASEMENT, MEASURED AT RIGHT ANGLES TO THE SOUTHWESTERLY LINE OF SAID LOT 28; THENCE ALONG SAID PARALLEL LINE AND SAID NORTHEAST EASEMENT LINE SOUTH 65° 50' 00" EAST 110.91 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 22.00 FEET; THENCE ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 18° 28' 12" AN ARC DISTANCE 8.71 FEET TO A NON-TANGENT LINE, A RADIAL THROUGH SAID POINT BEARS SOUTH 5° 40' 48" WEST; THENCE NORTH 56° 44' 15" EAST 35.49 FEET TO A NON-TANGENT CURVE CONCAVE NORTHEASTERLY AND SOUTHWESTERLY, A RADIAL THROUGH SAID POINT BEARS SOUTH 74° 40' 20" EAST; THENCE ALONG SAID CURVE NORTHEASTERLY AND NORTHEASTERLY THROUGH A CENTRAL ANGLE OF 16° 01' 10" AN ARC DISTANCE OF 7.83 FEET TO THE POINT OF BEGINNING.

EXCEPT ALL COAL, LIGNITE, COAL OIL, PETROLEUM, NAPHTHA, ASPHALTUM, BREA, BITUMEN, NATURAL GAS AND OTHER HYDROCARBONS AND LIKE SUBSTANCES IN OR UNDER SAID LAND, BUT WITHOUT RIGHT OF ENTRY UPON THE SURFACE OF SAID LAND FOR THE TAKING OR DEVELOPING OF SAID SUBSTANCES, AS RESERVED BY DEED RECORDED APRIL 5, 1923 IN BOOK 463 PAGE 187 OF DEEDS, RECORDS OF ORANGE COUNTY, CALIFORNIA AND AS RESERVED IN DEED RECORDED APRIL 19, 1923 IN BOOK 464 PAGE 186 OF DEEDS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

### POSSIBLE ENCROACHMENT NOTES

NO APPARENT ENCROACHMENTS

### ITEMS CORRESPONDING TO TABLE A ITEMS

**ITEM 4(a)**  
ZONING INFORMATION NOT PROVIDED BY CLIENT

**ITEM 14**  
THE NEAREST INTERSECTING STREETS TO THE PROPERTY IS IMPERIAL HIGHWAY AND POPLAR AVENUE (TO THE SOUTHEAST AS SHOWN HEREON) AND IT IS 280 FEET.

**ITEM 16**  
NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.

**ITEM 17**  
NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.

### SURVEYOR'S NOTES

- THE UTILITIES SHOWN HEREON ARE BASED ON OBSERVED EVIDENCE ONLY. THIS SURVEY WOULD NOT SHOW UTILITIES COVERED BY CARS/TRUCKS OR RECENTLY PAVED ASPHALT/CONCRETE OR OVERGROWN BRUSH, TREES AND SHRUBS.
- UNLESS THIS PLAN HAS THE SEAL AND SIGNATURE OF THE SURVEYOR AND/OR ENGINEER RESPONSIBLE FOR ITS PREPARATION, THIS IS NOT AN AUTHENTIC COPY OF THE ORIGINAL SURVEY AND SHALL NOT BE DEEMED RELIABLE.

### SURVEYOR'S CERTIFICATE

TO CALIFORNIA BEST TITLE, THE BOO SUP CHAE AND KYUNG SUK CHAE LIVING TRUST, BOO SUP CHAE AND KYUNG SUK CHAE AS TRUSTEES:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 8, 9, 13, 14, 15, 16 & 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 16, 2023.

DATE OF PLAT OR MAP: JULY 10, 2023

### REVISIONS

NO.	DATE	REVISIONS	BY
0	06/28/23	SUBMITTAL	SR
1	07/10/23	COMMENTS	CE

### UTILITY STATEMENT

BURIED UTILITIES AND/OR PIPELINES SHOWN HEREON ARE PER VISIBLE AND APPARENT SURFACE EVIDENCE, RECORD DRAWINGS OF THE CONSTRUCTED UTILITY LINES OBTAINED FROM RELIABLE AND RESPONSIBLE SOURCES NOT CONNECTED WITH CALVADA SURVEYING, INC. OR MARKINGS PROVIDED BY AN INDEPENDENT LOCATING CONTRACTOR. NO GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED, IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF SUCH INFORMATION. IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES OR PIPE LINES ARE REQUIRED, THE UTILITY OR PIPELINE WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING. CALVADA SURVEYING, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE HELD LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES OR PIPELINES.



Call: TOLL FREE 1-800-227-2600

TWO WORKING DAYS BEFORE YOU DIG

### PREPARED FOR

CALIFORNIA SPINE INSTITUTE, LLC  
2720 HARBOR BLVD, SUITE-210  
FULLERTON CA 92835  
PHONE: (714) 474-3367

### BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CCS83, ZONE 6 (2023.25) IN ACCORDANCE TO THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8801-8819; SAID BEARINGS ARE DETERMINED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING LEICA SMARTNET NORTH AMERICA (S.N.A.) CONTINUOUSLY OPERATING REFERENCE STATIONS (C.O.R.S.):

S.N.A. CAGD:  
NORTHING = 2357846.50' EASTING = 6084388.74'

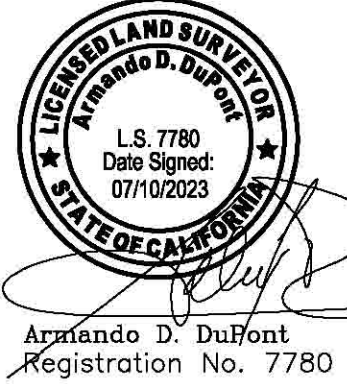
S.N.A. CAHN:  
NORTHING = 2206853.13' EASTING = 6030120.61'

THE COMBINATION FACTOR FOR THIS PROJECT WAS APPLIED AT THE FOLLOWING POINT:  
NORTHING = 2280607.37' EASTING = 6063046.39'

MAPPING ANGLE = -0°54'11" SCALE FACTOR = 1.00000603

### SITE INFORMATION

SITE ADDRESS: 721 E. IMPERIAL HIGHWAY BREA CA 92821  
PROPERTY AREA: 0.407 AC OR 17,737 SQ. FT.  
TOTAL GROUND FLOOR AREA OF BUILDINGS: 3,589 SQ. FT.  
PARKING COUNT:  
18 REGULAR PARKING STALLS  
01 HANDICAP PARKING STALLS  
19 TOTAL PARKING STALLS  
ASSESSOR'S PARCEL NO.: 319-314-07

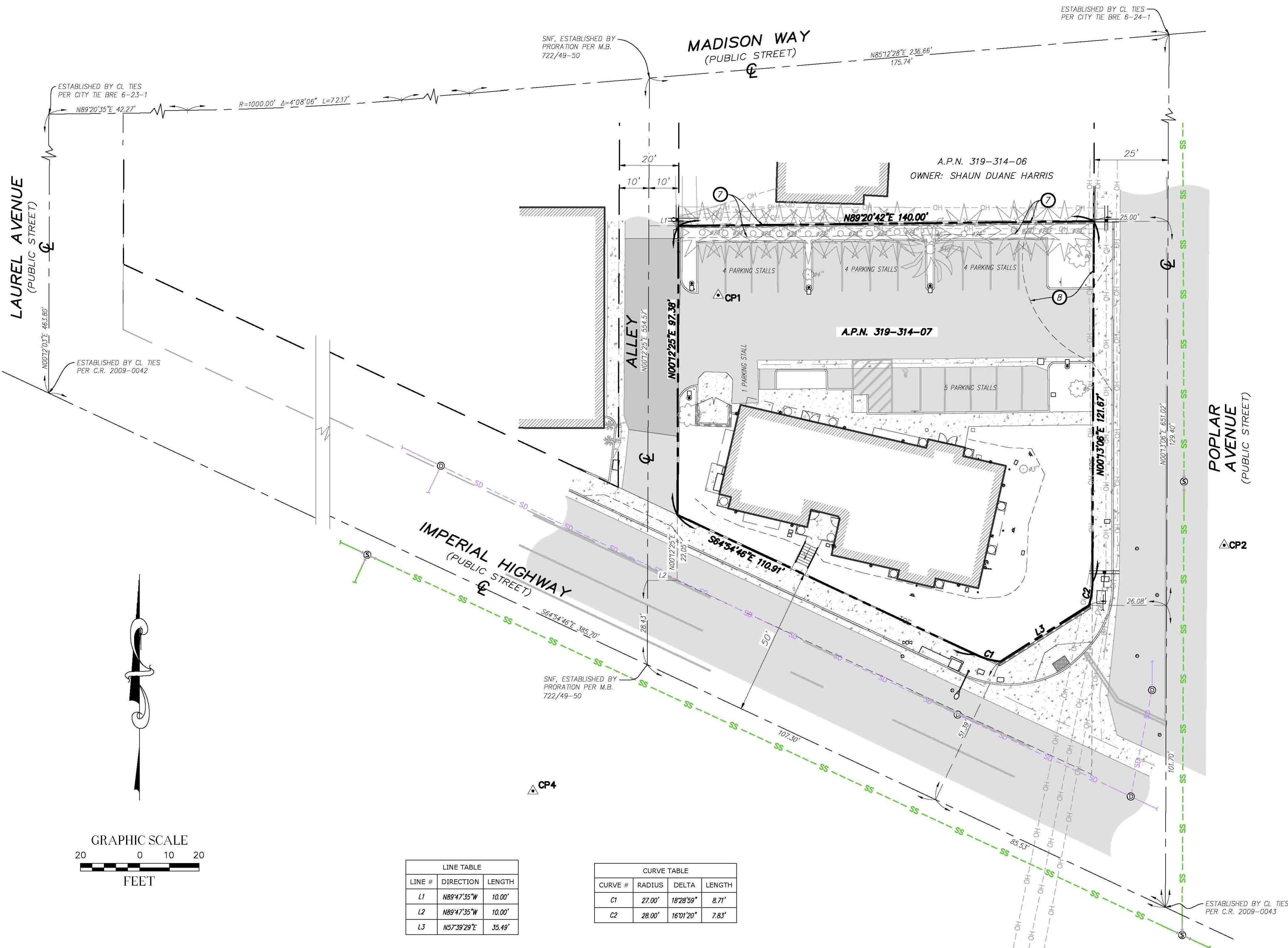


**CAL VADA**  
**SURVEYING, INC.**  
411 Jenks Circle, Suite 205, Corona, CA 92828  
Phone: 951-280-9960 Fax: 951-280-9746  
Toll Free: 800-CALVADA www.calvada.com  
EST. 1989 JOB NO. 23392



# TOPOGRAPHIC SURVEY

## 721 E. IMPERIAL HIGHWAY BREA CA 92821



### LEGAL DESCRIPTION

THE LAND HEREINAFTER REFERRED TO IS SITUATED IN THE CITY OF BREA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOTS 28, 29 AND 30 OF TRACT NO. 161, IN THE CITY OF BREA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12 PAGE 7 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM, THOSE PORTIONS OF SAID LOTS 28 AND 29 MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE EASTERLY LINE OF SAID LOT 28 SOUTH 0° 41' 30" EAST, 21.67 FEET FROM THE NORTHEAST CORNER OF SAID LOT; THENCE ALONG SAID EASTERLY LINE AND THE EASTERLY LINE OF AN EASEMENT AS SET FORTH IN AN INSTRUMENT RECORDED SEPTEMBER 10, 1993 IN BOOK 768 PAGE 45 OF OFFICIAL RECORDS OF SAID COUNTY, SOUTH 0° 41' 30" EAST 64.77 FEET TO THE SOUTHEASTERN CORNER OF SAID LOT AND SAID EASEMENT; THENCE ALONG THE SOUTHWESTERLY LINE OF SAID LOT AND EASEMENT NORTH 65° 50' 00" WEST 154.28 FEET TO THE SOUTHWESTERLY CORNER OF SAID LOT AND EASEMENT; THENCE ALONG THE WESTERLY LINE OF SAID LOT AND EASEMENT NORTH 0° 41' 30" WEST 22.04 FEET TO THE NORTHEASTERN LINE OF SAID EASEMENT BEING PARALLEL AND 20.00 FEET NORTHEASTERLY, MEASURED AT RIGHT ANGLES TO THE SOUTHWESTERLY LINE OF SAID LOT 28; THENCE ALONG SAID PARALLEL LINE AND SAID NORTHEASTERLY EASEMENT LINE SOUTH 65° 50' 00" EAST 110.91 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 27.00 FEET; THENCE ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 18° 29' 12" AN ARC DISTANCE, 8.71 FEET TO A NON-TANGENT LINE, A RADIAL THROUGH SAID POINT BEARS SOUTH 5° 40' 48" WEST; THENCE NORTH 58° 44' 15" EAST 35.49 FEET TO A NON-TANGENT CURVE CONCAVE NORTHEASTERLY AND SOUTHWESTERLY, A RADIAL THROUGH SAID POINT BEARS SOUTH 74° 40' 20" EAST; THENCE ALONG SAID CURVE NORTHEASTERLY AND NORTHEASTERLY THROUGH A CENTRAL ANGLE OF 16° 01' 10" AN ARC DISTANCE OF 7.83 FEET TO THE POINT OF BEGINNING.

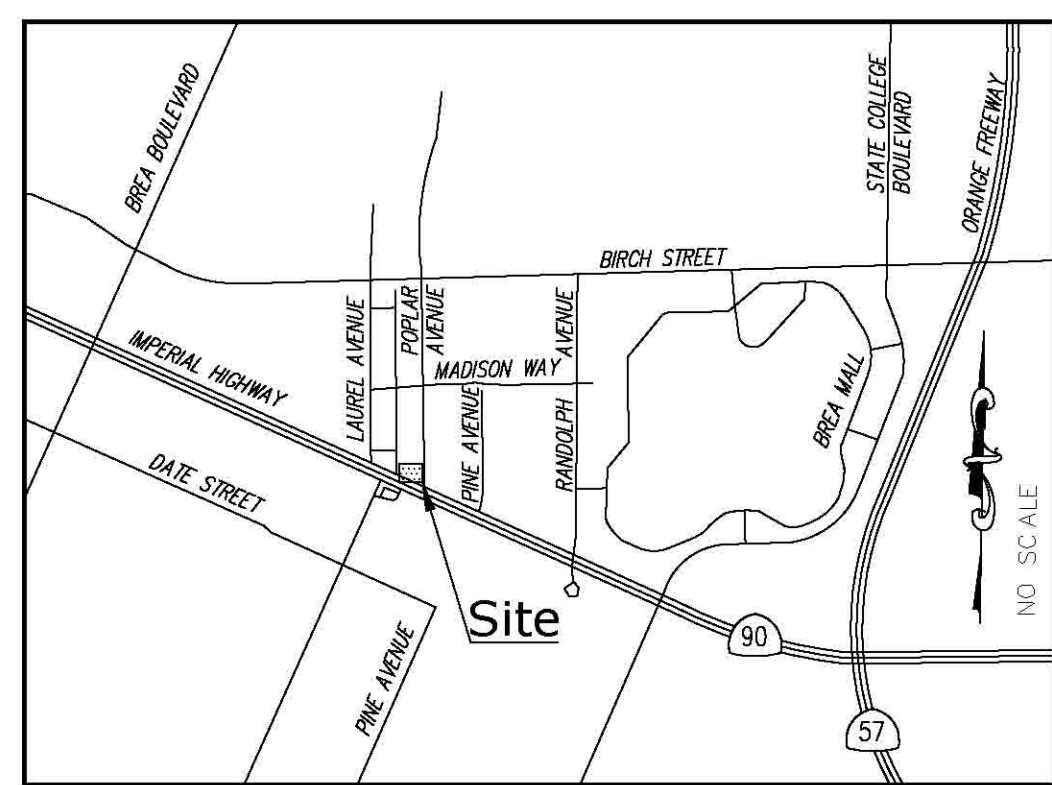
EXCEPT ALL COAL, LIGNITE, COAL OIL, PETROLEUM, NAPHTHA, ASPHALTUM, BREA, BITUMEN, NATURAL GAS AND OTHER HYDROCARBONS AND LIKE SUBSTANCES IN OR UNDER SAID LAND, BUT WITHOUT RIGHT OF ENTRY UPON THE SURFACE OF SAID LAND FOR THE TAKING OR DEVELOPING OF SAID SUBSTANCES, AS RESERVED BY DEED RECORDED APRIL 5, 1923 IN BOOK 463 PAGE 187 OF DEEDS, RECORDS OF ORANGE COUNTY, CALIFORNIA AND AS RESERVED IN DEED RECORDED APRIL 19, 1923 IN BOOK 464 PAGE 186 OF DEEDS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

### SCHEDULE B ITEMS

BASED UPON TITLE REPORT NO. FTY12541598, DATED OCTOBER 27, 2021 AS PREPARED BY GBT CALIFORNIA BEST TITLE.

- GENERAL AND SPECIAL CITY AND/OR COUNTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, FOR THE FISCAL YEAR 2021-2022. **(NOT A SURVEY MATTER)**
- ASSESSMENTS, IF ANY, FOR COMMUNITY FACILITY DISTRICTS AFFECTING SAID LAND WHICH MAY EXIST BY VIRTUE OF ASSESSMENT MAPS OR NOTICES FILED BY SAID DISTRICTS. SAID ASSESSMENTS ARE COLLECTED WITH THE COUNTY TAXES. **(NOT A SURVEY MATTER)**
- THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 753) OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA. **(NOT A SURVEY MATTER)**
- WATER RIGHTS, CLAIMS OR TITLE TO WATER IN OR UNDER SAID LAND, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. **(NOT A SURVEY MATTER)**
- COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED AS BOOK 464 PAGE 186 OF DEEDS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR RENDER INVALID THE LIEN OF ANY FIRST MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE, BUT DELETING ANY COVENANT, CONDITION, OR RESTRICTION, IF ANY, INDICATING A PREFERENCE, LIMITATION, OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, GENDER, GENDER IDENTITY, GENDER EXPRESSION, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, VETERAN OR MILITARY STATUS, GENETIC INFORMATION, NATIONAL ORIGIN, SOURCE OF INCOME AS DEFINED IN SUBDIVISION (P) OF SECTION 12855, OR ANCESTRY, TO THE EXTENT THAT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE APPLICABLE STATE OR FEDERAL LAWS. LAND RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTIONS BASED ON FAMILIAL STATUS. **(NOT PLOTTED, EXACT LOCATION AND EXTENT NOT DISCLOSED OVER LOTS 28 AND 29 PER TITLE REPORT)**
- COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED AS BOOK 464 PAGE 186 OF DEEDS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR RENDER INVALID THE LIEN OF ANY FIRST MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE, BUT DELETING ANY COVENANT, CONDITION, OR RESTRICTION, IF ANY, INDICATING A PREFERENCE, LIMITATION, OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, GENDER, GENDER IDENTITY, GENDER EXPRESSION, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, VETERAN OR MILITARY STATUS, GENETIC INFORMATION, NATIONAL ORIGIN, SOURCE OF INCOME AS DEFINED IN SUBDIVISION (P) OF SECTION 12855, OR ANCESTRY, TO THE EXTENT THAT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE APPLICABLE STATE OR FEDERAL LAWS. LAND RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTIONS BASED ON FAMILIAL STATUS. **(NOT PLOTTED, EXACT LOCATION AND EXTENT NOT DISCLOSED OVER LOT 30 PER TITLE REPORT)**
- AN EASEMENT FOR WIRES, CONDUITS, CABLES AND OTHER APPURTENANT FIXTURES RECORDED AUGUST 5, 974 AS BOOK 11213 PAGE 875 OF OFFICIAL RECORDS. **(PLOTTED HEREON)**
- AN IRREVOCABLE OFFER TO DEDICATE A PORTION OF SAID LAND FOR STREET, HIGHWAY, PUBLIC UTILITIES, SEWER, STORM DRAIN, CABLE TELEVISION AND APPURTENANCES RECORDED NOVEMBER 21, 1989 AS INSTRUMENT NO. 89-636945 OFFICIAL RECORDS. **(PLOTTED HEREON)**
- A DEED OF TRUST. **(NOT A SURVEY MATTER)**
- AN ASSIGNMENT OF RENTS AND LEASES, EXECUTED BY BOO SUP CHAE AND KYUNG SUK CHAE, HUSBAND AND WIFE AS COMMUNITY PROPERTY WITH RIGHT OF SURVIVORSHIP, TO CENTER BANK, RECORDED MARCH 25, 2005 AS INSTRUMENT NO. 2005000224301, OF OFFICIAL RECORDS. **(NOT A SURVEY MATTER)**
- RIGHTS OF PARTIES/TENANTS IN POSSESSION. **(NOT A SURVEY MATTER)**
- RIGHTS OF PARTIES IN POSSESSION OF SAID LAND BY REASON OF ANY UNRECORDED LEASES. **(NOT A SURVEY MATTER)**
- BEFORE ISSUING ANY INSURANCE, THIS COMPANY WILL REQUIRE AN OWNER'S AFFIDAVIT BE SIGNED AND DELIVERED FOR REVIEW. **(NOT A SURVEY MATTER)**
- THIS COMPANY WILL REQUIRE THAT A FULL COPY OF ANY UNRECORDED LEASE BE FURNISHED TO THE COMPANY, TOGETHER WITH ALL SUPPLEMENTS AND AMENDMENTS BEFORE ISSUING ANY POLICY OF TITLE INSURANCE. **(NOT A SURVEY MATTER)**
- RIGHTS OF TENANTS IN POSSESSION OF SAID LAND BY REASON OF UNRECORDED LEASES, KINDLY FORWARD SAID LEASE, OR A CURRENT CERTIFIED TENANT RENT ROLL. **(NOT A SURVEY MATTER)**
- MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION OR BY A SURVEY OF SAID LAND SATISFACTORY TO THIS COMPANY, OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF. **(NOT A SURVEY MATTER)**
- AN INSPECTION OF SAID LAND HAS BEEN ORDERED; UPON ITS COMPLETION WE WILL ADVISE YOU OF OUR FINDINGS. **(NOT A SURVEY MATTER)**
- IF TITLE IS TO BE INSURED IN THE TRUSTEE(S) OF A TRUST OR THEIR ACT IS TO BE INSURED, WE WILL REQUIRE A FULL COPY OF THE TRUST AGREEMENT AND ANY AMENDMENTS THEREOF, IN CERTAIN SITUATIONS THE COMPANY MAY ACCEPT A TRUSTEE CERTIFICATE PURSUANT TO SECTION 18100.5 OF THE CALIFORNIA PROBATE CODE FOR THE TRUST AGREEMENT. THE COMPANY RESERVES THE RIGHT TO EXCEPT ADDITIONAL ITEMS AND/OR MAKE ADDITIONAL REQUIREMENTS AFTER REVIEWING SAID DOCUMENTS. **(NOT A SURVEY MATTER)**
- WE WILL REQUIRE A STATEMENT OF INFORMATION FROM THE PARTIES NAMED BELOW IN ORDER TO COMPLETE THIS REPORT, BASED ON THE EFFECT OF DOCUMENTS, PROCEEDINGS, LIENS, DECREES, OR OTHER MATTER WHICH DO NOT SPECIFICALLY DESCRIBE SAID LAND, BUT WHICH, IF ANY DO EXIST, MAY AFFECT THE TITLE OR IMPOSE LIENS OR ENCUMBRANCES THEREON. **(NOT A SURVEY MATTER)**
- IT MAY BE REQUIRED IF WE HAVE NO WAY TO VERIFY THE SELLER OR BORROWERS SIGNATURE DOCUMENTS MUST BE NOTARIZED BY A NOTARY PERSONALLY KNOWN TO ESCROW OR APPROVED BY CALIFORNIA BEST TITLE HARD MONEY LOANS. REQUIRE 2 FORMS OF ID. **(NOT A SURVEY MATTER)**

### VICINITY MAP



### LEGEND

SYMBOL	DESCRIPTION	APN	ASSESSOR'S PARCEL NUMBER
ASPHALT PAVEMENT	ASPHALT PAVEMENT	CP	CATCH BASIN
BACKFLOW PREVENTER	BACKFLOW PREVENTER	CL	CENTERLINE
CONCRETE PAVEMENT	CONCRETE PAVEMENT	D	DIAMETER OF EXISTING TREE
CONTROL POINT	CONTROL POINT	DI	DRAIN INLET
DOOR	DOOR	EC	ELECTRIC CABINET
ELECTRIC OUTLET	ELECTRIC OUTLET	EM	ELECTRIC METER
FIRE HYDRANT	FIRE HYDRANT	EPB	ELECTRIC PULL BOX
FLOW DIRECTION	FLOW DIRECTION	EV	ELECTRIC VAULT
FOUND MONUMENT AS NOTED	FOUND MONUMENT AS NOTED	FF	FINISH FLOOR
GATE	GATE	FS	FINISH SURFACE
GROUND LIGHT	GROUND LIGHT	FL	FLOW LINE
GUARD POST	GUARD POST	GB	GRADE BREAK
GUY WIRE	GUY WIRE	HCR	HANDICAP RAMP
HANDICAP	HANDICAP	INV	INVERT
LIGHT STANDARD	LIGHT STANDARD	ICB	IRRIGATION CONTROL BOX
LIGHT STANDARD	LIGHT STANDARD	NG	NATURAL GROUND
PINE TREE	PINE TREE	PL	PROPERTY LINE
POWER POLE	POWER POLE	R/W	RIGHT OF WAY
POWER POLE W/TRANSFORMER	POWER POLE W/TRANSFORMER	TPB	TELCO PULL BOX
SEWER MANHOLE	SEWER MANHOLE	TOE	TOE OF SLOPE
SIGN	SIGN	TC	TOP OF CURB
STAIRS SHOWING DOWNWARD	STAIRS SHOWING DOWNWARD	TGG	TOP OF GRADE
DIRECTION	DIRECTION	TOP	TOP OF STRUCTURE
STORM DRAIN MANHOLE	STORM DRAIN MANHOLE	TW	TOP OF WALL
STREET LIGHT	STREET LIGHT	TYP	TYPICAL
TREE (TYPICAL)	TREE (TYPICAL)	WM	WATER METER
TRUNCATED DOME	TRUNCATED DOME		
WATER FAUCET	WATER FAUCET		
WATER VALVE	WATER VALVE		
BLOCK WALL	BLOCK WALL		
CANOPY	CANOPY		
CENTERLINE	CENTERLINE		
CHAIN LINK FENCE	CHAIN LINK FENCE		
CONCRETE/RETAINING WALL	CONCRETE/RETAINING WALL		
FLOW LINE	FLOW LINE		
INTERIOR LOT LINE	INTERIOR LOT LINE		
INTERIOR LOT LINE	INTERIOR LOT LINE		
OVERHANG	OVERHANG		
OVERHEAD LINE	OVERHEAD LINE		
PROPERTY LINE	PROPERTY LINE		
RIGHT-OF-WAY	RIGHT-OF-WAY		
SS	SANITARY SEWER LINE		
SD	STORM DRAIN LINE		
TOE	TOE OF SLOPE		

### CONTROL POINTS

CP#	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP1	2280275.19'	6063004.58'	353.22'	SET MAGNETIC NAIL
CP2	2280190.93'	6063175.13'	348.78'	SET MAGNETIC NAIL
CP4	2280108.13'	6062942.13'	349.62'	SET 60D NAIL

REVISIONS			
NO.	DATE	REVISIONS	BY
0	06/28/23	SUBMITTAL	SR
1	07/10/23	COMMENTS	CE

### UTILITY STATEMENT

BURIED UTILITIES AND/OR PIPELINES SHOWN HEREON ARE PER VISIBLE AND APPARENT SURFACE EVIDENCE, RECORD DRAWINGS OF THE CONSTRUCTED UTILITY LINES OBTAINED FROM RELIABLE AND RESPONSIBLE SOURCES NOT CONNECTED WITH CALVADA SURVEYING, INC. OR MARKINGS PROVIDED BY AN INDEPENDENT LOCATING CONTRACTOR. NO GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED, IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF SUCH INFORMATION. IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES OR PIPE LINES ARE REQUIRED, THE UTILITY OR PIPELINE WILL HAVE TO BE VERIFIED BY FIELD POTHOLES. CALVADA SURVEYING, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE HELD LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES OR PIPELINES.

Underground Service Alert

Call: TOLL FREE 1-800-227-2600

TWO WORKING DAYS BEFORE YOU DIG

### PREPARED FOR

CALIFORNIA SPINE INSTITUTE, LLC  
2720 HARBOR BLVD, SUITE-210  
FULLERTON CA 92835  
PHONE: (714) 474-3367

### BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CCGS3, ZONE 6, (2023.25) IN ACCORDANCE TO THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8801-8819; SAID BEARINGS ARE DETERMINED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING LEICA SMARTNET NORTH AMERICA (S.N.I.A.) CONTINUOUSLY OPERATING REFERENCE STATIONS (C.O.R.S.):

S.N.I.A. CAGD:  
NORTHING = 2357846.50' EASTING = 6084388.74'

S.N.I.A. CAHN:  
NORTHING = 2206653.13' EASTING = 6030120.61'

THE COMBINATION FACTOR FOR THIS PROJECT WAS APPLIED AT THE FOLLOWING POINT:  
NORTHING = 2280607.37' EASTING = 6063046.39'

MAPPING ANGLE = -0°54'11" SCALE FACTOR = 1.00000603

### BENCHMARK

THE ELEVATIONS SHOWN HEREON ARE BASED UPON THE SMARTNET NORTH AMERICA C.O.R.S. CAGD, ELEVATION 929.95 FEET (NAVD 88).

### SITE INFORMATION

SITE ADDRESS: 721 E. IMPERIAL HIGHWAY BREA CA 92821  
ASSESSOR'S PARCEL NO.: 319-314-07

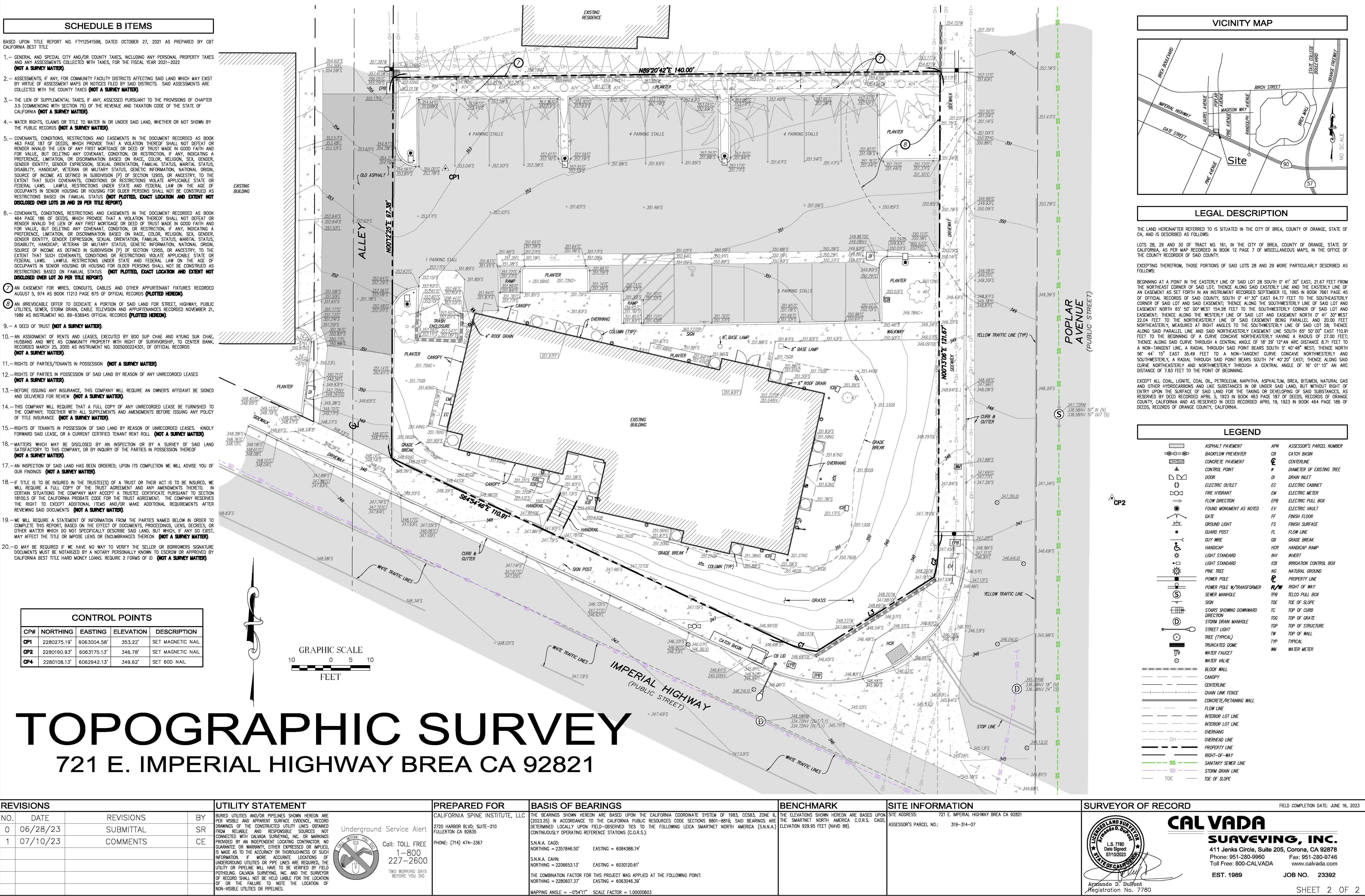
### SURVEYOR OF RECORD

FIELD COMPLETION DATE: JUNE 16, 2023

**CAL VADA**  
**SURVEYING, INC.**  
411 Jenks Circle, Suite 205, Corona, CA 92828  
Phone: 951-280-9960 Fax: 951-280-9746  
Toll Free: 800-CALVADA www.calvada.com  
EST. 1989 JOB NO. 23392

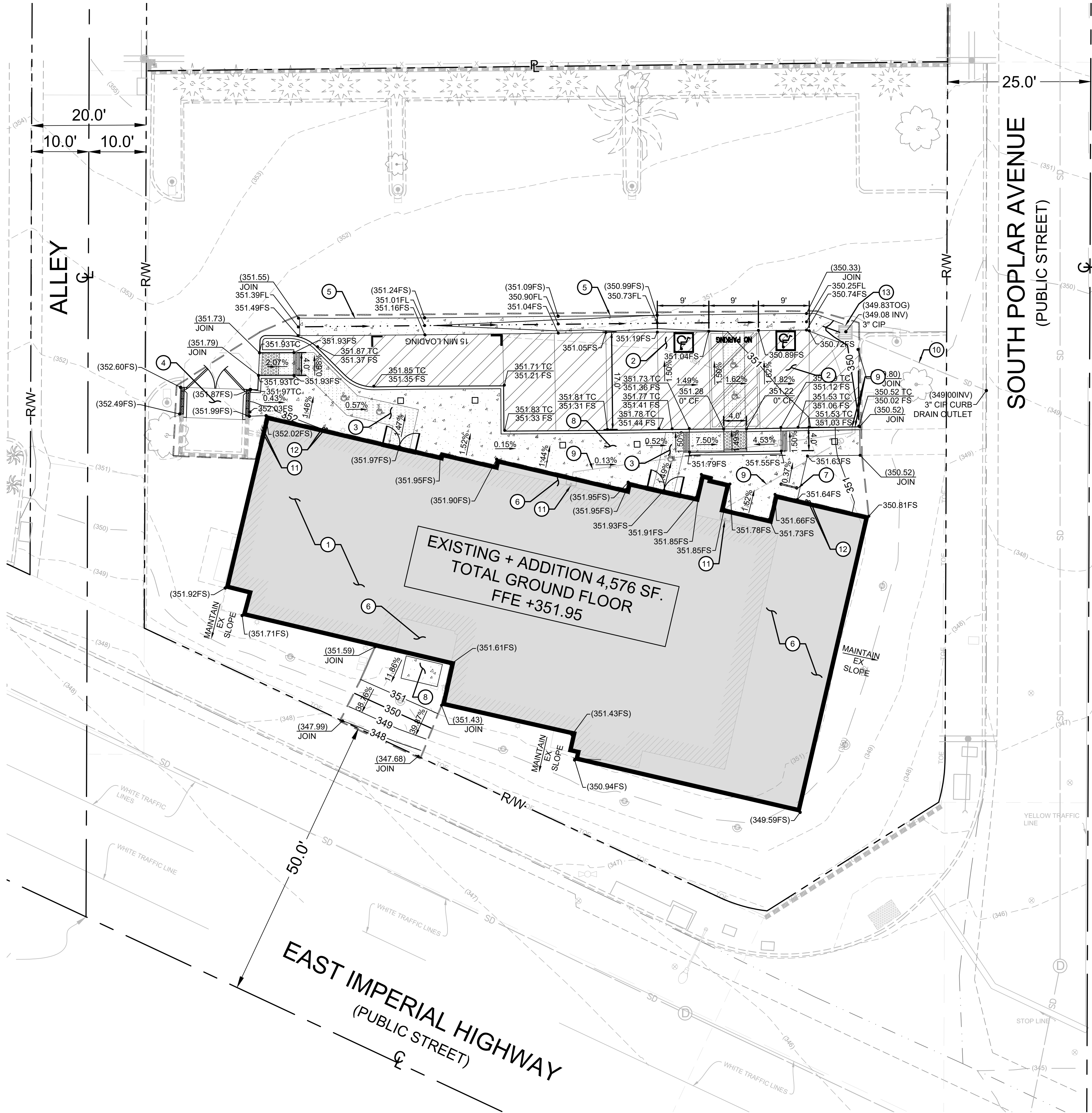
Armando D. DuMont  
Registration No. 7780







Q:\Projects\023-035 - 721 E Imperial Hwy - Commercial Grading\1 - Plans\Sheets\C-1.0 - GRADING AND DRAINAGE PLAN.dwg GRADING AND DRAINAGE PLAN Oct 10, 2023 - 2:17pm



CONSTRUCTION NOTES

- 1 PROPOSED BUILDING STRUCTURE PER ARCHITECTURAL PLANS.
- 2 PROPOSED ADA ACCESSIBLE PARKING PER ARCHITECTURAL PLANS. RECONSTRUCT PAVEMENT TO 2% MAX GRADE IN ALL DIRECTIONS WHERE REQUIRED.
- 3 PROPOSED ADA PATH OF TRAVEL. (SHOWN FOR VISUAL PURPOSES ONLY, DO NOT PAINT MARKINGS ON PAVEMENT.)
- 4 PROPOSED EXTENSION OF EXISTING TRASH ENCLOSURE.
- 5 PROPOSED REALIGNMENT OF RIBBON GUTTER TO EXISTING STORMDRAIN.
- 6 PROPOSED AREA BUILDING ADDITION AT GROUND LEVEL.
- 7 PROPOSED BIKE RACK.
- 8 PROPOSED 4" CONCRETE WALK.
- 9 EXISTING STORM DRAIN PIPE TO BE DEMOLISHED.
- 10 EXISTING 3" STORM DRAIN PIPE CURB DRAIN OUTLET TO CURB FACE TO BE PROTECTED IN PLACE.
- 11 EXISTING 4" ROOF DRAIN DOWNSPOUT TO BE DEMOLISHED. REFER TO ARCHITECTURAL PLANS AND PLUMBING PLANS FOR FURTHER INFORMATION.
- 12 PROPOSED ROOF DRAIN DOWNSPOUT TO SURFACE DRAIN ON PROPOSED FINISH FSURFACE. ROOF DRAINAGE WILL BE CAPTURED VIA ROOF DRAINS AND OUTLET VIA THE NOTED DOWNSPOUTS. REFER TO ARCHITECTURAL PLANS AND PLUMBING PLANS FOR FURTHER INFORMATION.
- 13 EXISTING 12"x12" CATCH BASIN TO BE PROTECTED IN PLACE.

LEGAL DESCRIPTION

THE LAND HEREINAFTER REFERRED TO IS SITUATED IN THE CITY OF BREA, COUNTY OF ORANGE, STATE OF CA, AND IS DESCRIBED AS FOLLOWS:

LOTS 28, 29 AND 30 OF TRACT NO. 161, IN THE CITY OF BREA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12 PAGE 7 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM, THOSE PORTIONS OF SAID LOTS 28 AND 29 MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE EASTERLY LINE OF SAID LOT 28 SOUTH 0° 41' 30" EAST, 21.67 FEET FROM THE NORTHEAST CORNER OF SAID LOT; THENCE ALONG SAID EASTERLY LINE AND THE EASTERLY LINE OF AN EASEMENT AS SET FORTH IN AN INSTRUMENT RECORDED SEPTEMBER 10, 1965 IN BOOK 7661 PAGE 45 OF OFFICIAL RECORDS OF SAID COUNTY, SOUTH 0° 41' 30" EAST 64.77 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT AND SAID EASEMENT; THENCE ALONG THE SOUTHWESTERLY LINE OF SAID LOT AND EASEMENT NORTH 65° 50' 00" WEST 154.28 FEET TO THE SOUTHWESTERLY CORNER OF SAID LOT AND EASEMENT; THENCE ALONG THE WESTERLY LINE OF SAID LOT AND EASEMENT NORTH 0° 41' 30" WEST 22.04 FEET TO THE NORTHEASTERLY LINE OF SAID EASEMENT BEING PARALLEL AND 20.00 FEET NORTHEASTERLY, MEASURED AT RIGHT ANGLES TO THE SOUTHWESTERLY LINE OF SAID LOT 28; THENCE ALONG SAID PARALLEL LINE AND SAID NORTHEASTERLY EASEMENT LINE SOUTH 65° 50' 00" EAST 110.91 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 27.00 FEET; THENCE ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 18° 29' 12" AN ARC DISTANCE 8.71 FEET TO A NON-TANGENT LINE, A RADIAL THROUGH SAID POINT BEARS SOUTH 5° 40' 48" WEST; THENCE NORTH 56° 44' 15" EAST 35.49 FEET TO A NON-TANGENT CURVE CONCAVE NORTHWESTERLY AND SOUTHWESTERLY, A RADIAL THROUGH SAID POINT BEARS SOUTH 74° 40' 20" EAST; THENCE ALONG SAID CURVE NORTHEASTERLY AND NORTHWESTERLY THROUGH A CENTRAL ANGLE OF 16° 01' 10" AN ARC DISTANCE OF 7.83 FEET TO THE POINT OF BEGINNING.

EXCEPT ALL COAL, LIGNITE, COAL OIL, PETROLEUM, NAPHTHA, ASPHALTUM, BREA, BITUMEN, NATURAL GAS AND OTHER HYDROCARBONS AND LIKE SUBSTANCES IN OR UNDER SAID LAND, BUT WITHOUT RIGHT OF ENTRY UPON THE SURFACE OF SAID LAND FOR THE TAKING OR DEVELOPING OF SAID SUBSTANCES, AS RESERVED BY DEED RECORDED APRIL 5, 1923 IN BOOK 463 PAGE 187 OF DEEDS, RECORDS OF ORANGE COUNTY, CALIFORNIA AND AS RESERVED IN DEED RECORDED APRIL 19, 1923 IN BOOK 464 PAGE 186 OF DEEDS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

BASIS OF BEARING

THE BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CCS83, ZONE 6, (2023.25) IN ACCORDANCE TO THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8801-8819; SAID BEARINGS ARE DETERMINED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING LEICA SMARTNET NORTH AMERICA (S.N.N.A.) CONTINUOUSLY OPERATING REFERENCE STATIONS (C.O.R.S.):

S.N.N.A. CAGD:  
NORTHING = 2357846.50' EASTING = 6084388.74'

S.N.N.A. CAHN:  
NORTHING = 2206653.13' EASTING = 6030120.61'

THE COMBINATION FACTOR FOR THIS PROJECT WAS APPLIED AT THE FOLLOWING POINT:  
NORTHING = 2280607.37' EASTING = 6063046.39'

MAPPING ANGLE = -0°54'11" SCALE FACTOR = 1.00000603

BENCHMARK DESCRIPTION

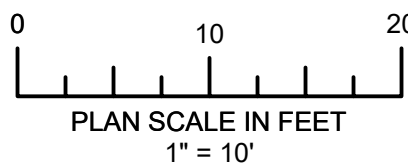
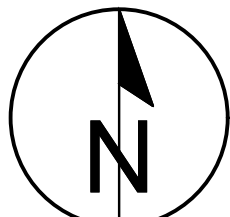
THE ELEVATIONS SHOWN HEREON ARE BASED UPON THE SMARTNET NORTH AMERICA C.O.R.S. CAGD, ELEVATION 929.95 FEET (NAVD 88).

LEGEND & ABBREVIATIONS

- STREET CENTERLINE
- RIGHT-OF-WAY LINE
- PROPERTY LINE
- LIMIT OF ONSITE SCOPE OF WORK
- PROPOSED TRASH ENCLOSURE WALL EXTENSION

- PROPOSED ASPHALT CONCRETE PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- BUILDING FOOTPRINT
- EXISTING CONCRETE PAVEMENT
- EXISTING STORM DRAINAGE INLET
- PROPOSED ADA PATH OF TRAVEL (SHOWN FOR VISUAL PURPOSES ONLY, DO NOT PAINT MARKINGS ON PAVEMENT.)
- PROPOSED ADA PARKING

- AC ASPHALT CONCRETE
- BOT BOTTOM OF PIT
- CF CUBIC FEET / CURBFACE
- CIP CAST IRON PIPE
- CMP CORRUGATED METAL PIPE
- CONC CONCRETE
- CY CUBIC YARDS
- D DRAINAGE (STORM)
- DIA DIAMETER
- DRWY DRIVEWAY
- E EASTING
- EX EXISTING
- FL FLOWLINE
- FS FINISH SURFACE
- G GAS
- INT INTERSECTION
- INV INVERT
- LF LINEAR FEET
- N NORTHING
- OD OUTER DIAMETER
- PA PLANTER AREA
- SD STORM DRAIN
- SF SQUARE FEET
- SS SANITARY SEWER
- TC TOP OF CURB
- TG TOP OF GRATE
- WM WATER METER



CLIENT:



270 N. HARBOR BLVD. #210  
FULLERTON, CA 92635  
714.474.3367



3716 E 3RD STREET  
LOS ANGELES, CA 90063  
323.236.7442

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ENGINEER AND SHALL NOT BE USED FOR ANY OTHER WORK EXCEPT BY AGREEMENT WITH THE ENGINEER

DATE ISSUED:

10/10/2023

REVISIONS

08/07/2023 SECOND CITY SUBMITTAL  
10/10/2023 THIRD CITY SUBMITTAL

SECOND STORY ADDITION  
721 EAST IMPERIAL HIGHWAY  
BREA, CA 92821

JOB NO.:

023-035

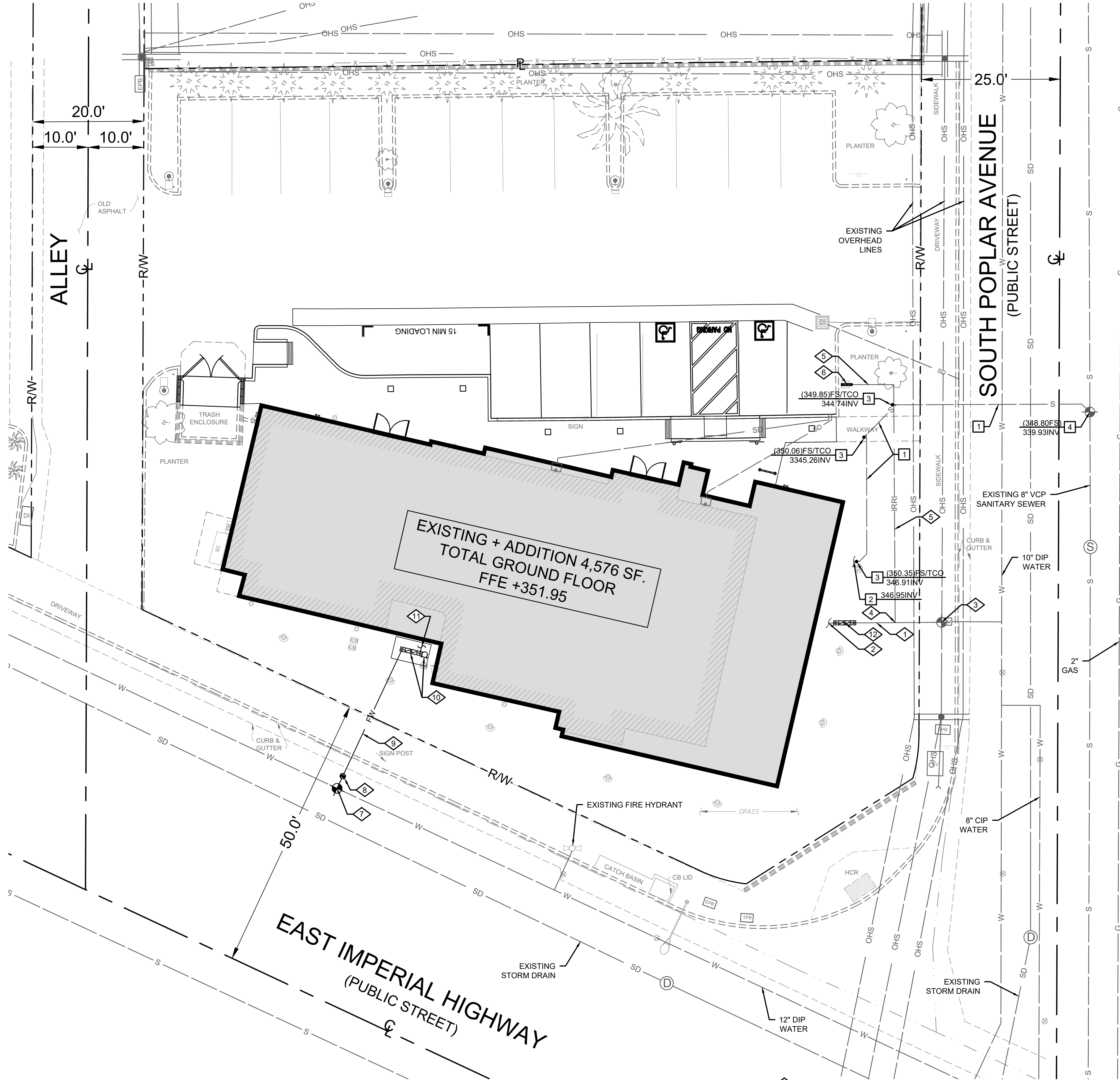
SHEET:

PRELIMINARY  
GRADING AND  
DRAINAGE PLAN

C-1.0



Q:\Projects\023-035 - 721 E Imperial Hwy - Commercial Grading\1 - Plans\Sheets\C2.0 - WET UTILITY PLAN.dwg WET UTILITY PLAN Oct 10, 2023 - 2:17pm



SANITARY SEWER CONSTRUCTION NOTES

- 1 EXISTING 6" PIPE ROUTING FROM EXISTING POINT OF CONNECTION AT BUILDING TO THE EXISTING SANITARY SEWER MAINLINE
- 2 EXISTING POINT OF CONNECTION AT THE STRUCTURE PERIMETER TO BE PROTECTED-IN-PLACE. REFER TO PLUMBING PLANS, ARCHITECTURAL PLANS, AND STRUCTURAL PLANS FOR NEW ROUTINGS WITHIN THE BUILDING.
- 3 PROPOSED SANITARY SEWER CLEANOUT PER CITY OF BREA STANDARD PLAN NUMBER 203-0.
- 4 EXISTING POINT OF CONNECTION TO EXISTING CITY SANITARY SEWER SYSTEM PER CITY AS-BUILT 1895-39.

WATER SYSTEMS CONSTRUCTION NOTES

- 1 EXISTING 2.5" POTABLE WATER PIPE ROUTING FROM EXISTING POINT OF CONNECTION AT BUILDING TO THE EXISTING POTABLE WATER MAINLINE.
- 2 EXISTING POTABLE WATER POINT OF CONNECTION AT THE STRUCTURE PERIMETER TO BE PROTECTED-IN-PLACE. REFER TO PLUMBING PLANS, ARCHITECTURAL PLANS, AND STRUCTURAL PLANS FOR NEW ROUTINGS WITHIN THE BUILDING.
- 3 EXISTING POTABLE WATER POINT OF CONNECTION AT EXISTING METER TO EXISTING CITY OF BREA POTABLE WATER SYSTEM.
- 4 EXISTING IRRIGATION SERVICE POINT OF CONNECTION AT EXISTING ONSITE POTABLE WATER SYSTEM.
- 5 EXISTING 3/4" IRRIGATION SERVICE LINE.
- 6 PROPOSED 3/4" FEBCO LF825YA IRRIGATION BACKFLOW PREVENTER.

- 7 PROPOSED FIRE WATER SERVICE CONNECTION TO THE CITY OF BREA WATER SYSTEM.
- 8 PROPOSED GATE VALVE PER CITY OF BREA STANDARD PLAN NUMBER 309-0.
- 9 PROPOSED DUCTILE IRON PIPE FIRE WATER PIPE TO BE INSTALLED PER CITY OF BREA STANDARD PLAN NUMBER 313-0.
- 10 PROPOSED FEBCO 876 TYPE N FIRE SYSTEM DOUBLE CHECK DETECTOR ASSEMBLY (DCDA) TO BE INSTALLED PER CITY OF BREA STANDARD PLAN NUMBER 320-0. FIRE DEPARTMENT CONNECTION SHALL BE INSTALLED ON THE FIRE SYSTEM DCDA.
- 11 PROPOSED FIRE WATER POINT OF CONNECTION AT THE STRUCTURE PERIMETER. REFER TO ARCHITECTURAL PLANS, AND FIRE SUPPRESSION SUB-CONTRACTOR FOR NEW ROUTINGS WITHIN THE BUILDING.
- 12 PROPOSED 2.5" FEBCO LF860 POTABLE SYSTEM REDUCED PRESSURE PRINCIPLE ASSEMBLY.

CITY GENERAL NOTES: WATER SYSTEM

- I. GENERAL:
- ALL WATER SYSTEM IMPROVEMENTS SHALL BE IN ACCORDANCE WITH APPROVED PLANS, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK) INCLUDING SUPPLEMENTS THERETO, AMERICAN WATER WORKS ASSOCIATION STANDARDS, THESE STANDARD DRAWINGS, THE CONDITIONS OF PERMITS OR LICENSES REQUIRED AND TO THE SATISFACTION OF THE CITY ENGINEER. THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTOR AT LEAST 24 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.
  - THE CONTRACTOR SHALL PROVIDE MATERIAL AS SPECIFIED ON PLANS AND/ OR CALLED FOR IN THE PROJECT SPECIFICATIONS, BY MANUFACTURER AND MODEL OR OFFER AN EQUIVALENT MATERIAL. THE CITY ENGINEER SHALL DETERMINE WHETHER THE EQUIVALENT IS SATISFACTORY BASED ON FUNCTION, DURABILITY AND UNIFORMITY WITHIN THE CITY. THE CITY ENGINEER SHALL BE PROVIDED WITH INFORMATION REGARDING THE ALTERNATIVE MATERIAL AT LEAST 5 WORKING DAYS PRIOR TO USE.
  - THE CONTRACTOR SHALL CONFORM TO THE RULES AND REGULATIONS OF THE STATE OF CALIFORNIA, DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (CAL OSHA).
  - THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (USA) AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING FACILITIES.
  - THE CONTRACTOR SHALL MAKE ALL CONNECTIONS TO EXISTING WATER MAINS AS INDICATED ON THE PLANS. ALL EXISTING WATER VALVES SHALL BE OPERATED ONLY BY THE CITY OF BREA PUBLIC WORKS DEPARTMENT PERSONNEL. ALL RESIDENTS AFFECTED BY SUCH OPERATIONS SHALL BE NOTIFIED AT LEAST 72 HOURS IN ADVANCE. THE CONTRACTOR SHALL PROVIDE TEMPORARY FACILITIES REQUIRED TO PROVIDE WATER TO ANY WATER SERVICE THAT WILL BE WITHOUT WATER FOR AN EXTENDED PERIOD DURING THE CONSTRUCTION PERIOD.
- II. TRAFFIC CONTROL AND PAVEMENT REPLACEMENT:
- THE CONTRACTOR SHALL CONDUCT HIS OPERATION TO CAUSE THE LEAST POSSIBLE OBSTRUCTION AND INCONVENIENCE TO THE PUBLIC. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CITY ENGINEER PRIOR TO THE CLOSURE OF ANY PUBLIC STREET OR LANE OF TRAFFIC. ALL CONDITIONS IMPOSED BY THE CITY ENGINEER SHALL BE IN EFFECT AS THOUGH STATED HEREIN. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SAFETY DEVICES TO CONFORM TO THE CURRENT WORK AREA TRAFFIC CONTROL (WATCH) HANDBOOK.
  - THE CONTRACTOR SHALL SAWCUT THE EXISTING PAVEMENT SECTION TO A DISTANCE OF 12" (INCHES) OUTSIDE OF THE TRENCH WIDTH. THE CONTRACTOR SHALL INSTALL AND REMOVE ANY TEMPORARY ASPHALT PAVEMENT REQUIRED FOR TRAFFIC CONTROL. THE CONTRACTOR SHALL REPLACE THE EXISTING PAVEMENT SECTION PER CITY OF BREA STD PLAN 102. BACKFILL AND BEDDING SHALL BE PLACED PER CITY OF BREA STD PLAN 313.
- III. WATER MAINS AND FITTINGS MATERIALS:
- WATER MAIN PIPE SHALL BE OF DUCTILE IRON MATERIAL, MANUFACTURED IN CONFORMANCE WITH AWWA C151. WATER MAIN PIPE SHALL HAVE BELL AND SPIGOT, PUSH ON, RUBBER GASKET JOINTS IN CONFORMANCE WITH AWWA C111, OR JOINTS AS SHOWN ON THE PLANS. WATER MAIN PIPE SHALL BE CEMENT OR MORTAR LINED AND BITUMINOUS COATED IN CONFORMANCE WITH AWWA C104. ALL WATER MAIN PIPES 12" (INCHES) AND SMALLER IN DIAMETER SHALL BE THICKNESS CLASS 52. WATER MAIN PIPES GREATER THAN 12" (INCHES) IN DIAMETER SHALL BE AS SPECIFIED BY THE IMPROVEMENT PLANS OR BY THE CITY ENGINEER. WATER MAIN PIPE SHALL BE MANUFACTURED BY U.S. PIPE AND FOUNDRY CO. OR PACIFIC STATED IRON PIPE CO., OR APPROVED EQUAL.
  - WATER MAIN FITTINGS SHALL BE OF DUCTILE IRON MATERIAL, MANUFACTURED IN CONFORMANCE WITH AWWA C110 OR C153. ALL FITTINGS SHALL HAVE MECHANICAL JOINT WITH DUCTILE IRON GLANDS IN CONFORMANCE WITH AWWA C111. ALL FITTINGS SHALL BE CEMENT MORTAR LINED AND BITUMINOUS COATED IN CONFORMANCE WITH AWWA C104. ALL BOLTS AND NUTS SHALL BE 316 STAINLESS STEEL.
  - ALL WATER MAINS, FITTINGS, VALVES AND MISCELLANEOUS ASSEMBLIES SHALL BE ENCASED IN POLYETHYLENE MATERIAL IN ACCORDANCE WITH AWWA C105.
  - ALL MATERIALS AND WORK SHALL BE THE PROPERTY OF THE CONTRACTOR UNTIL ACCEPTED BY THE CITY. THE CONTRACTOR SHALL WARRANT THE MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF PROJECT ACCEPTANCE BY THE CITY.
- IV. WATER MAIN CONSTRUCTION:
- WATER MAIN PIPES SHALL BE LOCATED AS SHOWN ON THE PLANS, TYPICALLY SIX FEET (6') OUTSIDE CURB-FACE FOR ALL DIRECTIONS, OR AS DIRECTED BY THE CITY ENGINEER. WATER MAIN AND LATERALS SHALL MAINTAIN VERTICAL AND HORIZONTAL SEPARATION FROM SEWER MAINS AND LATERALS AS REQUIRED BY THE CALIFORNIA DEPARTMENT OF HEALTH SERVICES AND DETAILED ON THIS CITY OF BREA STD PLAN 319.
  - WATER MAIN PIPE SHALL BE CONSTRUCTED WITH A COVER BETWEEN TOP OF PIPE AND FINISHED SURFACE AS FOLLOWS, OR AS DETERMINED BY THE CITY ENGINEER:

PIPE DIAMETER	MINIMUM COVER **
6" TO 12" (LOCAL STREET)	42"
16" TO 24" (LOCAL STREET)	48"
6" TO 24" (ARTERIAL HIGHWAY)	48"
OVER 24"	60"

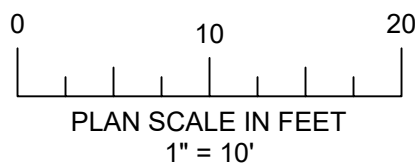
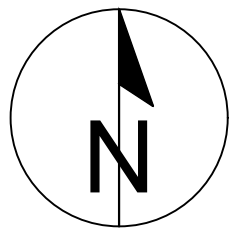
\*\* WATER MAINS LOCATED IN EASEMENTS OR UNPAVED AREAS SHALL HAVE A DEPTH OF 12" (INCHES) GREATER THAN INDICATED ABOVE.
  - WATER MAIN PIPES SHALL BE INSTALLED IN CONFORMANCE WITH AWWA C600. THE PIPE TRENCH BEDDING MATERIAL SHALL BE SHAPED TO PROVIDE CONTINUOUS CONTACT WITH THE WATER MAIN PIPE, EXCEPT AT JOINTS. THE PIPE TRENCH WIDTH, INVERT SHAPE, BEDDING AND BACKFILL MATERIALS SHALL BE IN ACCORDANCE WITH THIS CITY OF BREA STD PLAN 313. THE PIPE TRENCH SHALL BE BACKFILLED OR PLATED AT THE END OF THE WORK DAY.
  - THE TRENCH BACKFILL MATERIAL SHALL BE COMPACTED USING A VIBRATORY TAMPING MACHINE. COMPACTION USING JETTING OR FLOODING METHODS ARE NOT ALLOWED. THE CITY WILL REQUIRE FIELD COMPACTION TESTS TO ENSURE THE ADEQUATE COMPACTION OF THE TRENCH BEDDING AND BACKFILL.
  - AIR RELEASE VALVE ASSEMBLIES PER CITY OF BREA STD PLAN 308 SHALL BE INSTALLED AT ALL HIGH POINTS IN THE WATER SYSTEM. BLOW-OFF HYDRANT PER BREA STD PLAN 307 OR FIRE HYDRANT PER CITY OF BREA STD PLAN 306 SHALL BE INSTALLED AS REQUIRED BY CITY ENGINEER AT THE END OF DEAD END CUL-DE-SACS PER CITY OF BREA STD PLAN 307. ALL PIPES AND FITTINGS SHALL BE CONSTRUCTED WITH THRUST BLOCKS OR RESTRAINT PER CITY OF BREA STD PLAN 312. ALL NEW WATER FACILITIES SHALL BE PRESSURE TESTED AND DISINFECTED PER AWWA STANDARDS.
  - CONCRETE SHALL BE THE CLASS INDICATED ON THE STANDARD PLAN OR CLASS 470-C-2500, PER REQUIREMENTS OF SECTION 201-1, "PORTLAND CEMENT CONCRETE" OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION). ABOVE-GROUND CONCRETE SHALL BE FLOATED TO A FLAT SURFACE, STEEL TROWEL FINISHED, AND EDGED TO A ONE-HALF INCH (1/2") RADIUS.

CITY GENERAL NOTES: SEWER

- THE SEWER CONTRACTOR SHALL HAVE A COPY OF THE PROJECT PLANS AND SPECIFICATIONS, AS WELL AS THE CITY OF BREA DESIGN CRITERIA FOR SEWER FACILITIES ON THE JOB SITE.
- THE CONTRACTOR SHALL OBTAIN A CITY AND/ OR APPLICABLE AGENCY PERMIT FOR WORK DONE IN THE PUBLIC RIGHT-OF-WAY.
- THE CITY OF BREA ENGINEERING DIVISION SHALL BE CALLED FOR INSPECTION FIVE (5) WORKING DAYS BEFORE START OF WORK AT (714) 990-7667.
- A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD 48 HOURS BEFORE STARTING CONSTRUCTION WORK.
- THE CONTRACTOR SHALL EXPOSE ALL JOIN POINTS TO THE EXISTING SEWER SYSTEM FOR VERIFICATION OF LOCATION AND ELEVATION BEFORE CONSTRUCTION.
- STATIONS SHOWN AS 1+00.00 ARE SEWER STATIONS AND ARE INDEPENDENT OF ALL OTHER STATIONS.
- ALL LATERALS SHALL BE STAKED BY A SURVEYOR BEFORE TRENCHING AND A COMPLETE SET OF CUT SHEETS SHALL BE SUPPLIED TO THE CONTRACTOR AND CITY INSPECTOR.
- THE CITY WILL INSPECT AND TEST THE SEWER COLLECTION SYSTEM AND LATERAL SEWERS TO THE PROPERTY CLEAN-OUT. PRIVATELY OWNED SEWER LATERALS FROM THE PROPERTY LINE CLEAN-OUT WILL BE INSPECTED AND TESTED BY AN APPROVED CONTRACTOR SUBJECT TO THE CITY OF BREA BUILDING AND SAFETY DIVISION APPROVAL. MAINTENANCE OF SEWER LATERAL FROM SEWER MAIN TO THE BUILDING SHALL BE THE RESPONSIBILITY OF PROPERTY OWNER.
- ALL SEWER LINES SHALL BE BALLED IN THE PRESENCE OF THE CITY INSPECTOR BEFORE COMPLETION OF ALL LEAKAGE TESTS.
- PIPELINE LEAKAGE TESTS SHALL BE COMPLETED IN THE PRESENCE OF THE CITY INSPECTOR.
- PIPELINE LEAKAGE TESTS SHALL BE MADE IN THE PRESENCE OF THE CITY INSPECTOR, ONLY AFTER BACKFILL HAS BEEN COMPLETED, COMPACTION TESTS ON BACKFILL HAS BEEN MADE, AND THE BACKFILL HAS BEEN ACCEPTED BY THE CITY INSPECTOR.
- ALL SEWER MAIN LINES SHALL BE INSPECTED USING A CLOSED CIRCUIT TELEVISION SYSTEM. TWO RECORDINGS SHALL BE MADE OF INSPECTION ON A DVD DISK IN ACCORDANCE WITH THE CITY OF BREA SPECIFICATIONS FOR VIDEO INSPECTION OF SEWER LINES. ONE RECORDING SHALL INSPECT THE SYSTEM CONSTRUCTED WITH NO FLOW, AND ONE SHALL CONDUCT THE INSPECTION 15 MINUTES AFTER FLOWING WATER IN THE SEWER.
- THE CONTRACTOR SHALL PROVIDE THE CITY OF BREA WITH AN AS-BUILT SET OF JOB PRINTS WITH TIE-DOWN MEASUREMENTS FOR ALL LATERALS AND MANHOLES.
- BEFORE FINAL ACCEPTANCE, THE DEVELOPER'S ENGINEER SIGNING THE PLANS SHALL FURNISH THE CITY OF BREA WITH A SET OF AS-BUILT MYLARS OF THE SEWER PLAN.
- CURBS OR PAVEMENT SURFACES IN ALLEYS WHERE SEWER LATERALS EXIST SHALL BE INSCRIBED WITH AN "S" INDICATING LOCATIONS OF ALL SEWER LATERALS.
- CURBS SHALL BE INSCRIBED WITH TIES FOR ALL MANHOLE LOCATIONS.
- TRENCH BACKFILL, ON ALL SEWER LINES TO BE DEDICATED TO THE CITY, SHALL BE COMPACTED TO A MINIMUM OF 90% (PERCENT) RELATIVE DENSITY AS DETERMINED BY THE FIVE-LAYER TEST METHOD (CALIFORNIA 216 G). TESTS WILL BE REQUIRED EVERY 300-FEET OF TRENCH OR AS DETERMINED BY THE CITY INSPECTOR. THE DEVELOPER SHALL SUBMIT WRITTEN RESULTS OF COMPACTION TESTING TO THE CITY BEFORE ACCEPTANCE. IF IN A COUNTY ROAD OR STATE HIGHWAY, COMPACTION WILL BE AS REQUIRED BY GOVERNMENTAL AGENCY HAVING JURISDICTION, BUT NO LESS THAN 90% (PERCENT) OF RELATIVE COMPACTION.

LEGEND & ABBREVIATIONS

---	STREET CENTERLINE
---	RIGHT-OF-WAY LINE
---	PROPERTY LINE
---OHS---	EXISTING ELECTRIC OVERHANG
---W---	EXISTING WATER LINE
---S---	EXISTING SANITARY SEWER
---G---	EXISTING GAS LINE
---FW---	PROPOSED FIRE WATER LINE
---B2C2B---	PROPOSED BACKFLOW PREVENTION DEVICES
Q	PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
+	PROPOSED GATE VALVE
+	EXISTING POINT OF CONNECTION TO UTILITY MAINLINE
•	PROPOSED SANITARY SEWER CLEANOUTS
S	EXISTING SANITARY SEWER MANHOLE
CMP	CORRUGATED METAL PIPE
CONC	CONCRETE
D	DRAINAGE
DRWY	DRIVEWAY
E	ELECTRICAL
EX	EXISTING
FS	FINISH SURFACE
FW	FIRE WATER
G	GAS
INV	INVERT ELEVATION
LF	LINEAR FEET
M	METER
OD	OUTER DIAMETER
POC	POINT(S) OF CONNECTION
SD	STORM DRAIN
S/SS	SANITARY SEWER
TCO	TOP OF CLEANOUT
W	WATER
WM	WATER METER



CLIENT:



align spine center

270 N. HARBOR BLVD. #210  
FULLERTON, CA 92635  
714.474.3367

Quiroz Associates

3716 E 3RD STREET  
LOS ANGELES, CA 90063  
323.236.7442

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ENGINEER AND SHALL NOT BE USED FOR ANY OTHER WORK EXCEPT BY AGREEMENT WITH THE ENGINEER

DATE ISSUED:

10/10/2023

REVISIONS	
08/07/2023 SECOND CITY SUBMITTAL	
10/10/2023 THIRD CITY SUBMITTAL	

SECOND STORY ADDITION  
721 EAST IMPERIAL HIGHWAY  
BREA, CA 92821

JOB NO.:

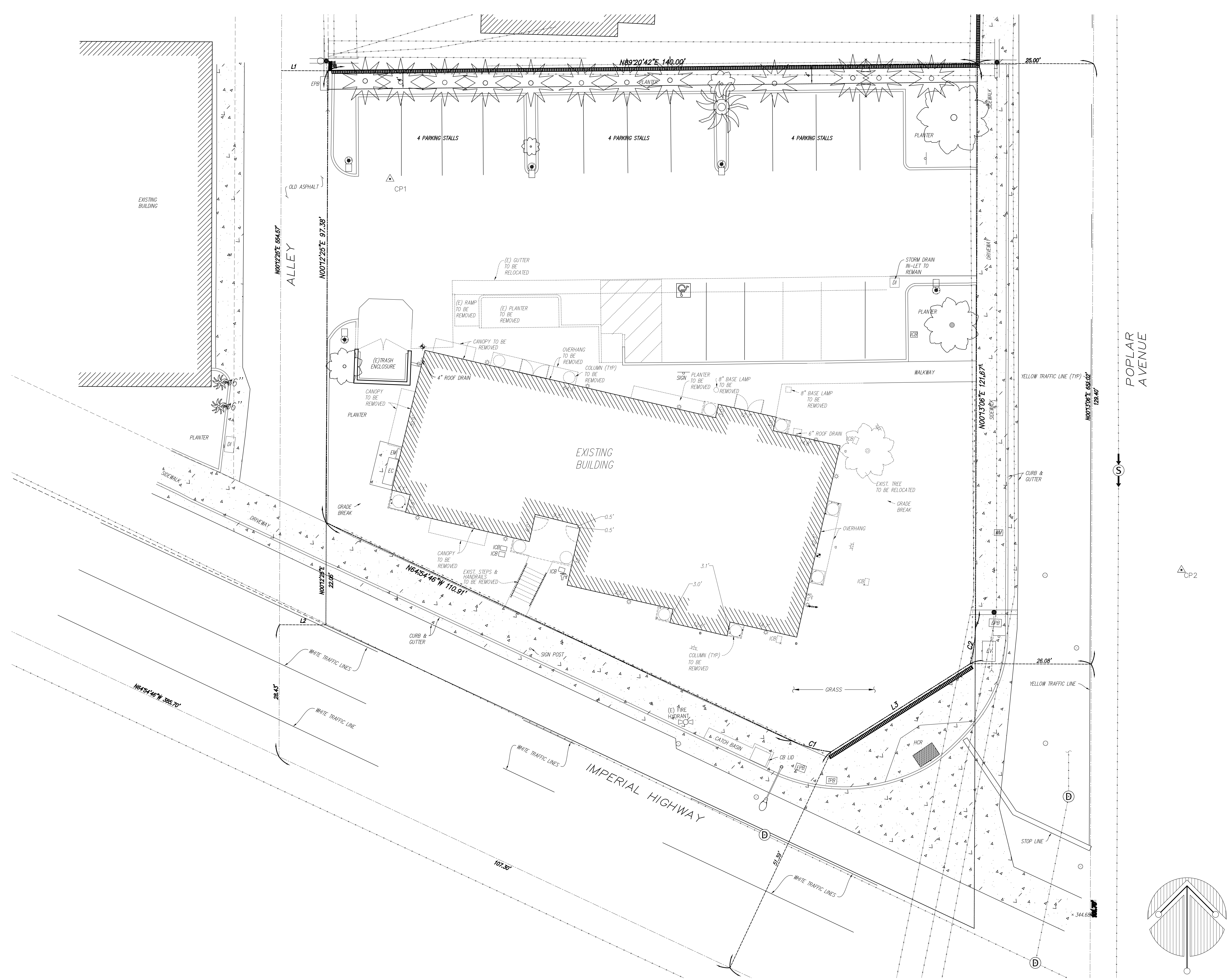
023-035

SHEET:

WET UTILITY PLAN

C-2.0





EXISTING - SITE PLAN

SCALE  
1/8"=1'-0"

1

Issuance / Revisions		
No.	Date	Description
3-27-2023		CUP APPLICATION
8-7-2023		CUP RE-SUBMITTAL 2ND
9-25-2023		CUP RE-SUBMITTAL 3RD

Project Name : SECOND STORY ADDITION FOR  
**align** SPINE CENTER  
721 EAST IMPERIAL HIGHWAY  
BREA, CALIFORNIA 92821  
Consultants

CUP 23-05 & PD 23-02



Architect  
**AREAN** architect

714.990.1200  
areanplusinc@gmail.com  
3611 EVE CIR., #A, JURUPA VALLEY, CA 91752

NCARB CERTIFIED  
ALABAMA • ARIZONA • CALIFORNIA • GUAM  
HAWAII • NORTH CAROLINA • TEXAS

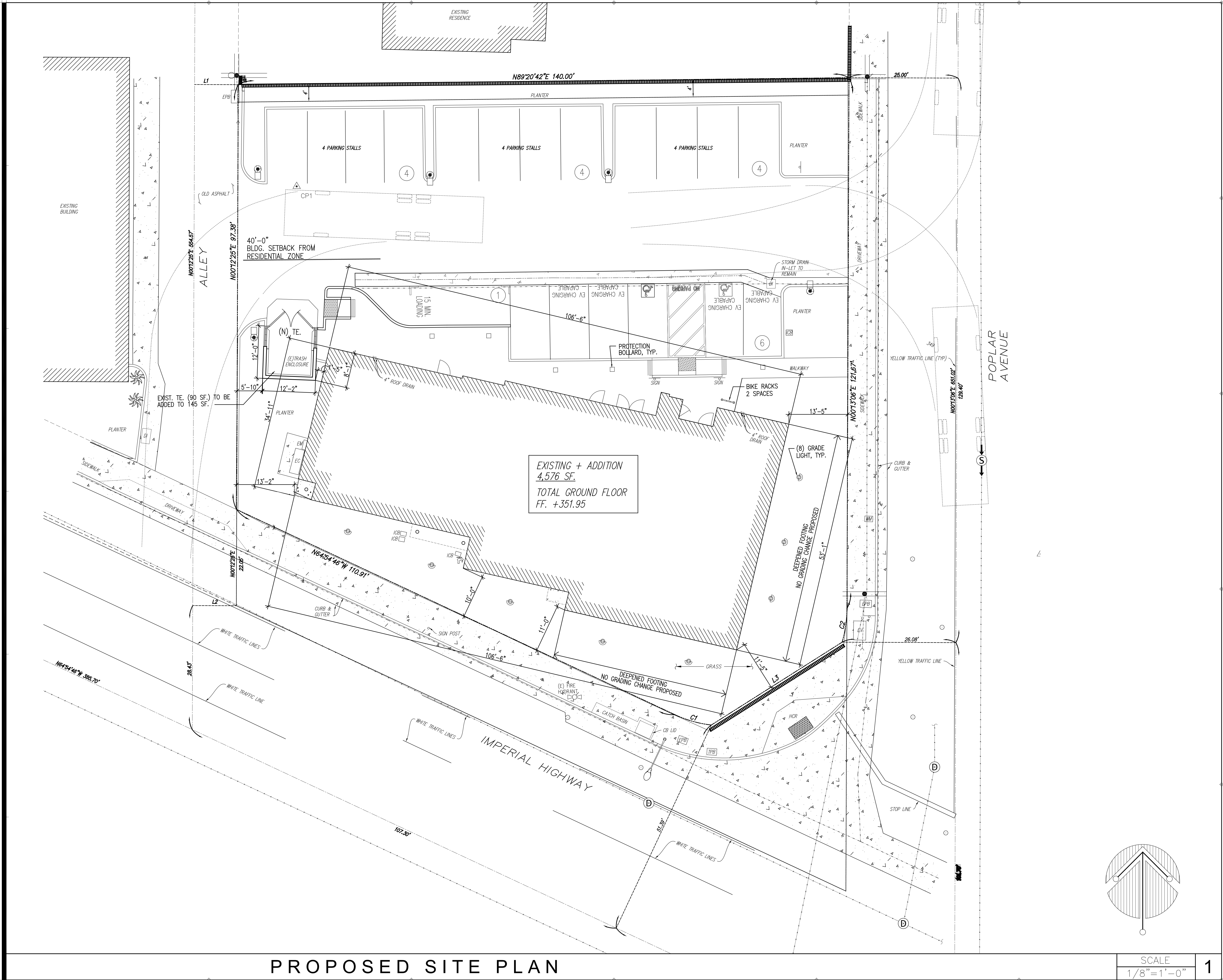
Drawing Description

EXISTING SITE PLAN

Project No. 2022-09-21 Sheet No. A 2.0

THE ABOVE DRAWINGS, SPECIFICATIONS, DESIGN, AND ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, REDESIGNED, DISTRIBUTED, SOLD, PUBLISHED, OR USED WITHOUT THE PRIOR WRITTEN CONSENT OF AND APPROPRIATE COMPENSATION TO THE ARCHITECT. VISUAL CONTACT WITH THE ABOVE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.





Issuance / Revisions		
No.	Date	Description
3-27-2023		CUP APPLICATION
8-7-2023		CUP RE-SUBMITTAL 2ND
9-25-2023		CUP RE-SUBMITTAL 3RD

Project Name : SECOND STORY ADDITION FOR  
**align** SPINE CENTER  
721 EAST IMPERIAL HIGHWAY  
BREA, CALIFORNIA 92821  
Consultants

**LEGEND**  
⊙ (8) NEW LANDSCAPE LIGHT

CUP 23-05 & PD 23-02  
Seal

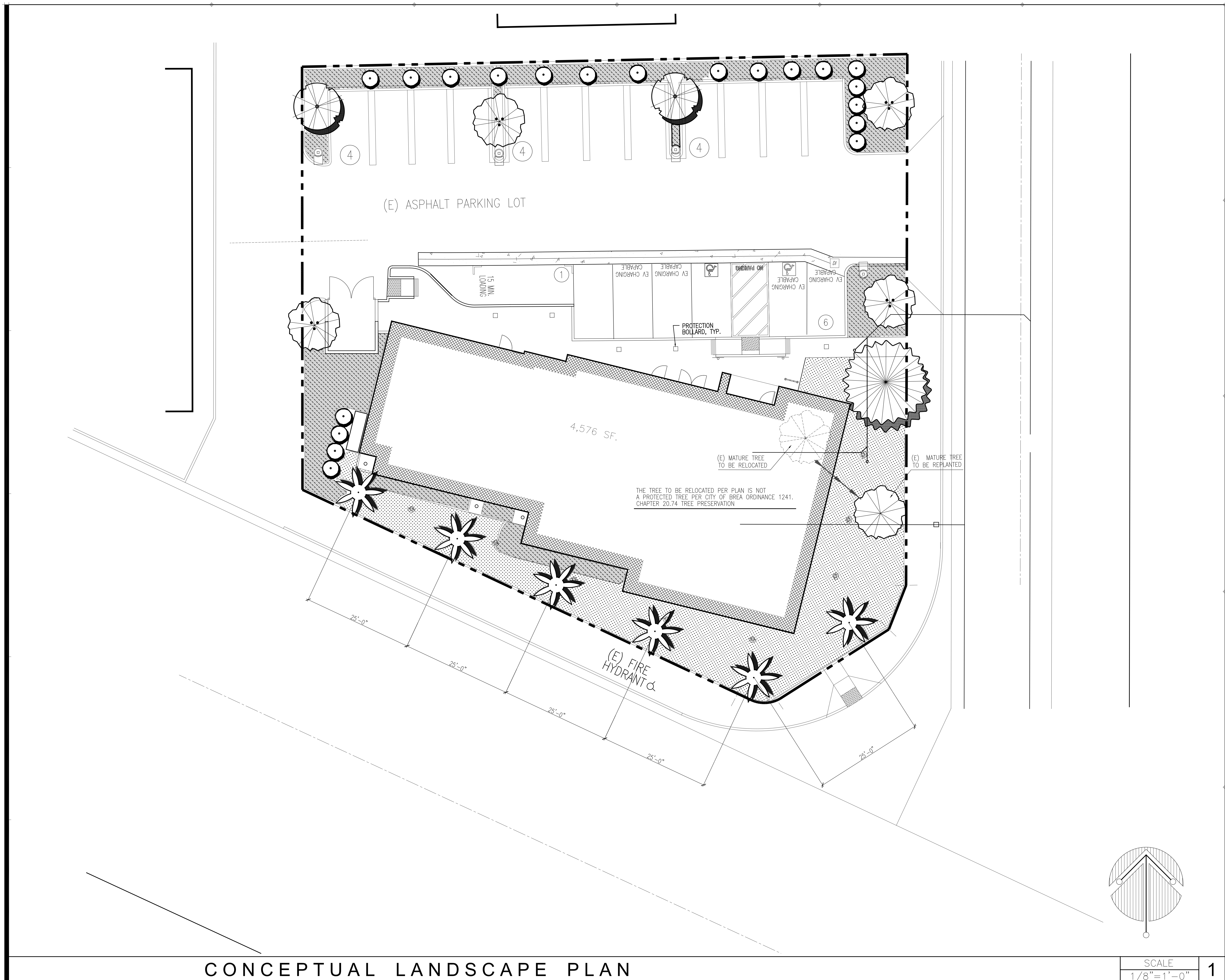


Architect  
**AREAN** architect  
714.990.1200  
areanplusinc@gmail.com  
3611 EVE CIR., #A, JURUPA VALLEY, CA 91752  
NCARB CERTIFIED  
ALABAMA • ARIZONA • CALIFORNIA • GUAM  
HAWAII • NORTH CAROLINA • TEXAS

Drawing Description  
**PROPOSED SITE PLAN**  
Project No. 2022-09-21 Sheet No. **A 2.1**  
SCALE 1/8"=1'-0" 1

THE ABOVE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, REDESIGNED, DISTRIBUTED, SOLD, PUBLISHED, OR USED WITHOUT THE PRIOR WRITTEN CONSENT OF AND APPROPRIATE COMPENSATION TO THE ARCHITECT. VISUAL CONTACT WITH THE ABOVE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.





CONCEPTUAL LANDSCAPE PLAN

SCALE  
1/8"=1'-0"

1

Issuance / Revisions		
No.	Date	Description
3-27-2023		CUP APPLICATION
8-7-2023		CUP RE-SUBMITTAL 2ND
9-25-2023		CUP RE-SUBMITTAL 3RD

Project Name :

SECOND STORY  
ADDITION FOR

# align

SPINE  
CENTER

721 EAST IMPERIAL HIGHWAY  
BREA, CALIFORNIA 92821

Consultants

LEGEND

- EXISTING MATURE TREE  
A TYPE TO REMAIN, TYP.  
CUPANIPOSIS ANACARDIOIDES
- EXISTING MATURE TREE  
A TYPE TO REMIN, TYP.  
CUPRESSUS SEMPERVIRENS
- EXISTING MATURE TREE  
A TYPE TO REMIN, TYP.
- EXISTING MATURE TREE  
B TYPE TO REMIN, TYP.  
AND TO BE RELOCATED
- EXISTING GROUND COVER  
TO REMIN, TYP.  
MARATHONE II - FESCUE
- EXISTING SHRUBS  
TO REMIN, TYP.  
SHINY ZYLOSMG -  
ZYLOSM CONGESTUM
- EXISTING MATURE TREE  
TO BE RELOCATED, TYP.  
LAGERSTROEMIA INDICA  
CRAPERMYRTLE
- PROPOSE CHRISTMAS PALM  
5 LOCATIONS  
ADONIDIA MERRILLII

CUP 23-05 & PD 23-02



Architect

**AREAN**  
architect

714.990.1200  
areanplusinc@gmail.com  
3611 EVE CIR., #A, JURUPA VALLEY, CA 91752

NCARB CERTIFIED

ALABAMA • ARIZONA • CALIFORNIA • GUAM  
HAWAII • NORTH CALIFORNIA • TEXAS

Drawing Description

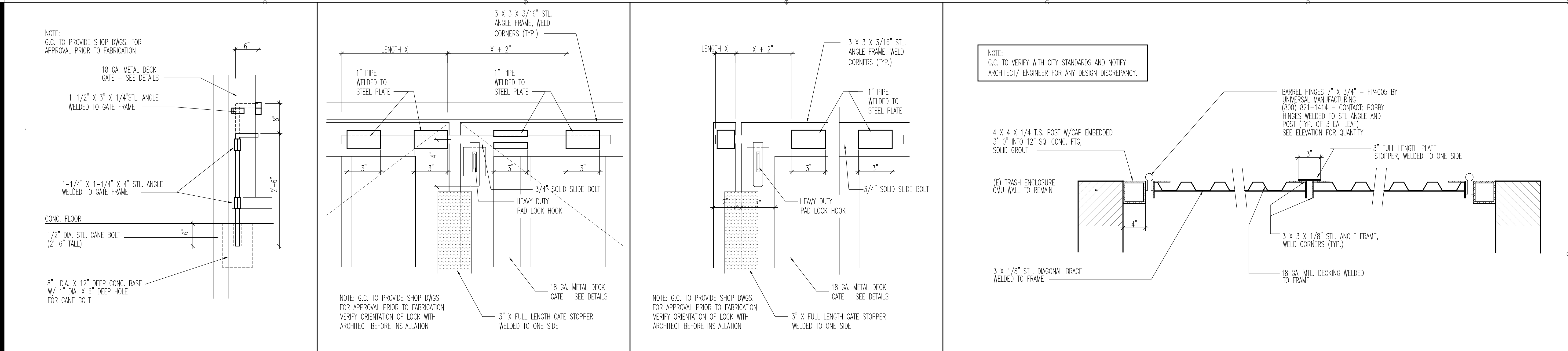
CONCEPTUAL  
LANDSCAPE PLAN

Project No. 2022-09-21 Sheet No.

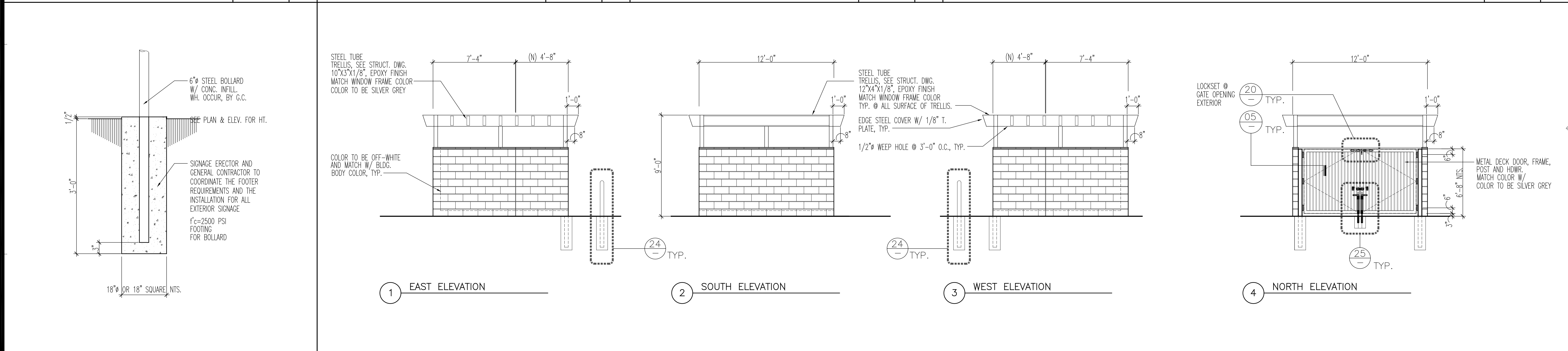
A 2.2

THE ABOVE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, REDESIGNED, DISTRIBUTED, SOLD, PUBLISHED, OR USED WITHOUT THE PRIOR WRITTEN CONSENT OF AND APPROPRIATE COMPENSATION TO THE ARCHITECT. VISUAL CONTACT WITH THE ABOVE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

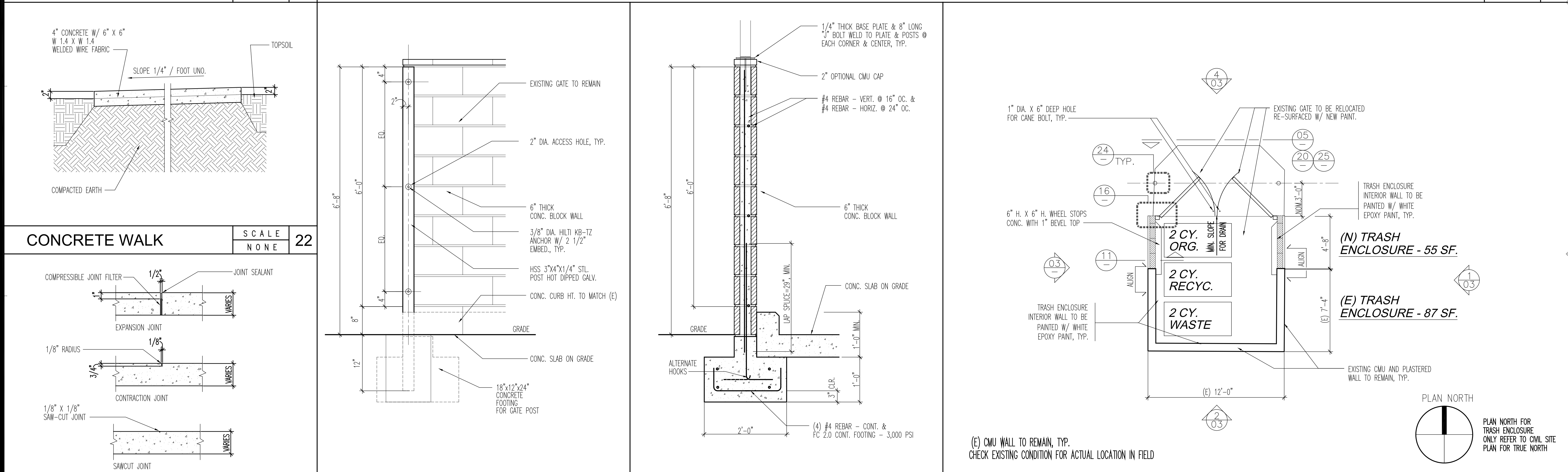




CANE BOLT DETAIL	SCALE 1"=1'-0"	25	GATE LATCH DETAIL	SCALE NONE	20	GATE LATCH DETAIL	SCALE NONE	15	GATE JAMB	SCALE 1 1/2"=1'-0"	05
------------------	-------------------	----	-------------------	---------------	----	-------------------	---------------	----	-----------	-----------------------	----



BOLLARD FOOTER	SCALE NONE	24	ELEVATIONS - TRASH ENCLOSURE				SCALE 1/4"=1'-0"	03
----------------	---------------	----	------------------------------	--	--	--	---------------------	----



TYP. SIDEWALK JOINTS	SCALE NONE	21	STL. GATE POST DETAIL	SCALE 3/4"=1'-0"	16	CONC. BLOCK WALL	SCALE 3/4"=1'-0"	11	TRASH ENCLOSURE - ENLARGED PLAN	SCALE 1/4"=1'-0"	01
----------------------	---------------	----	-----------------------	---------------------	----	------------------	---------------------	----	---------------------------------	---------------------	----

Issuance / Revisions		
No.	Date	Description
3-27-2023	CUP APPLICATION	
8-7-2023	CUP RE-SUBMITTAL 2ND	
9-25-2023	CUP RE-SUBMITTAL 3RD	
Project Name :		
SECOND STORY ADDITION FOR		
align SPINE CENTER		
721 EAST IMPERIAL HIGHWAY BREA, CALIFORNIA 92821		
Consultants		

## CUP 23-05 & PD 23-02

Seal

LICENCED ARCHITECT  
AREAN ARCHITECTS  
C-29662  
RENEWED 1/31/2025  
STATE OF CALIFORNIA

Architect

AREAN architects

714 990 1200 areanplusinc@gmail.com  
3611 EVE CIR., #A, JURUPA VALLEY, CA 91752

NCARB CERTIFIED  
ALABAMA • ARIZONA • CALIFORNIA • GUAM  
HAWAII • NORTH CALIFORNIA • TEXAS

Drawing Description

TRASH ENCLOSURE PLANS AND DETAILS

Project No.

2022-09-21

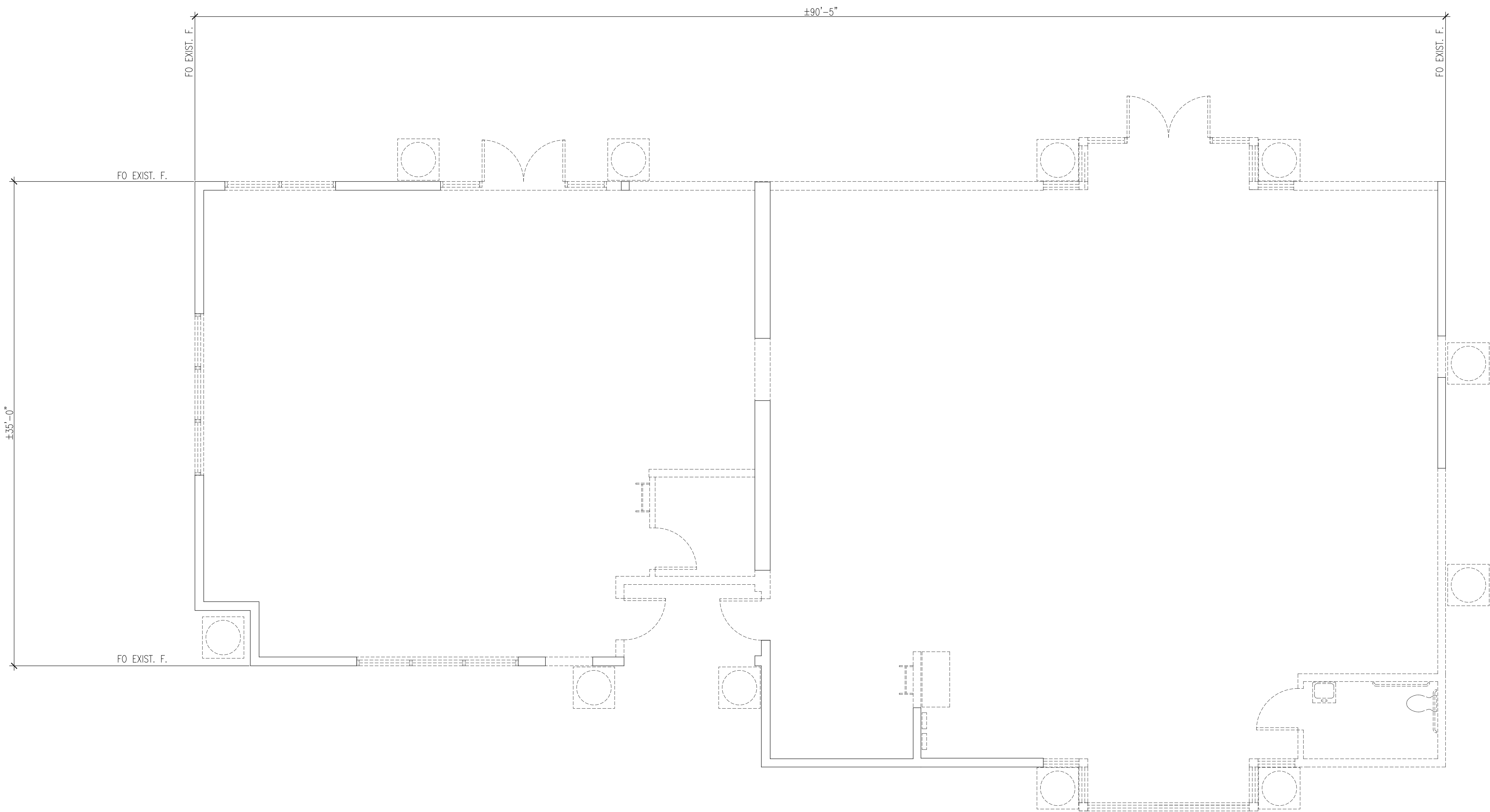
Sheet No.

A 2.3

PLAN NORTH FOR TRASH ENCLOSURE ONLY REFER TO CIVIL SITE PLAN FOR TRUE NORTH

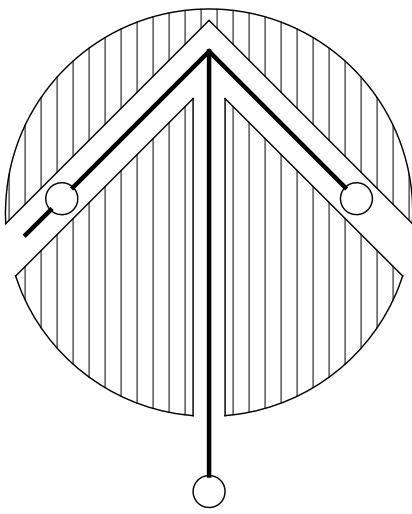
PLAN NORTH

THE ABOVE DRAWINGS, SPECIFICATIONS, DETAILS, RECORDS, AND AMENDMENTS REPRESENTED HEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART HEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, DISCLOSED, DISTRIBUTED, SOLD, PUBLISHED, OR USED WITHOUT THE PRIOR WRITTEN CONSENT OF AND APPROPRIATE COMPENSATION TO THE ARCHITECT. AGAIN, CONSENT AND THE ABOVE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE REPRESENTATIONS.



(E) GROUND FLOOR - ±3,580 SF.

EXISTING GROUND FLOOR PLAN



SCALE  
1/4"=1'-0"


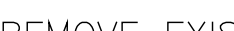

1

Issuance / Revisions		
No.	Date	Description
3-27-2023		CUP APPLICATION
8-7-2023		CUP RE-SUBMITTAL 2ND
9-25-2023		CUP RE-SUBMITTAL 3RD

Project Name :  
SECOND STORY  
ADDITION FOR  
**align** SPINE  
CENTER  
721 EAST IMPERIAL HIGHWAY  
BREA, CALIFORNIA 92821

Consultants

LEGEND

-  EXIST. WOOD STUD WALL TO REMAIN  
5/8" GYP. BD. OR PLYWOOD ON EITHER  
OR BOTH SIDES PER PLAN
-  REMOVE EXIST. STUCCO FIN. & PLYWOOD  
AS SPECIFIED.
-  EXIST. WOOD STUD WALL TO BE  
REMOVED

CUP 23-05 & PD 23-02

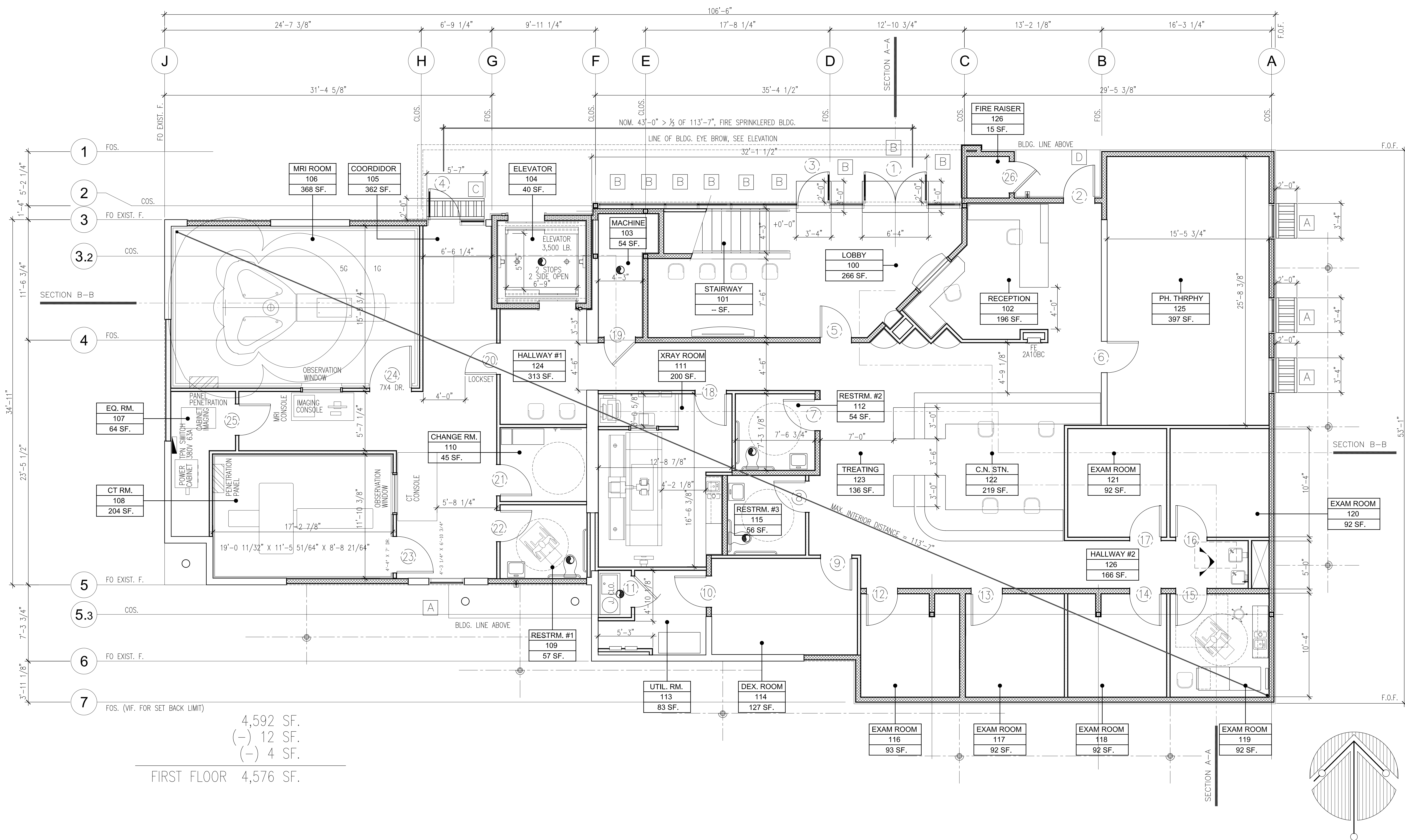


Architect  
**AREAN**   
a r c h i t e c t  
714.990.1200 areanplusinc@gmail.com  
3611 EVE CIR., #A, JURUPA VALLEY, CA 91752  
NCARB CERTIFIED ○ ○ ○ ○ ○ ○ ○ ○ ○ ○  
ALABAMA ○ ARIZONA ○ CALIFORNIA ○ GUAM  
HAWAII ○ NORTH CALIFORNIA ○ TEXAS

Drawing Description  
**EXISTING  
GROUND FLOOR PLAN**  
Project No. 2022-09-21 Sheet No. **A 3.0**

THE ABOVE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, DISCLOSED, DISTRIBUTED, SOLD, PUBLISHED, OR USED WITHOUT THE PRIOR WRITTEN CONSENT OF AND APPROVAL OF THE ARCHITECT. CONTACT WITH THE ABOVE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.





FIRST FLOOR PLAN

SCALE  
1/4"=1'-0" 1

Issuance / Revisions		
No.	Date	Description
3-27-2023	CUP APPLICATION	
8-7-2023	CUP RE-SUBMITTAL 2ND	
9-25-2023	CUP RE-SUBMITTAL 3RD	

Project Name : SECOND STORY ADDITION FOR

**align** SPINE CENTER

721 EAST IMPERIAL HIGHWAY  
BREA, CALIFORNIA 92821

Consultants

### LEGEND

2X4 WOOD STUDS @ 16" O.C.  
5/8" GYP. BD. OR PLYWOOD ON EITHER  
OR BOTH SIDES PER PLAN

2X6 WOOD STUDS @ 16" O.C.  
5/8" GYP. BD. OR PLYWOOD ON EITHER  
OR BOTH SIDES PER PLAN

EXIST. WOOD STUD WALL TO REMAIN  
5/8" GYP. BD. OR PLYWOOD ON EITHER  
OR BOTH SIDES PER PLAN  
REMOVE EXIST. STUCCO FIN. & PLYWOOD  
AS SPECIFIED.

EXIST. WOOD STUD WALL TO BE  
REMOVED

2 HR. RATED SHAFT WALL  
20 GA. 6" CH-STUDS @ 16" O.C.  
1" GYP. BD. ON INTERIOR SIDE  
TYPE 'X' (2)-5/8" GYP. BD. ON  
OUTER SIDE OF ELEV.  
EXTERIOR OF BLDG. TO RECEIVE  
(1) LAYER OF TYPE 'X' & 5/8"  
GYP. BD.

### CUP 23-05 & PD 23-02

Seal



Architect

**AREAN** architects

714 990 1200 areanplusinc@gmail.com  
3611 EVE CIR., #A, JURUPA VALLEY, CA 91752

NCARB CERTIFIED  
ALABAMA • ARIZONA • CALIFORNIA • GUAM  
HAWAII • NORTH CALIFORNIA • TEXAS

Drawing Description

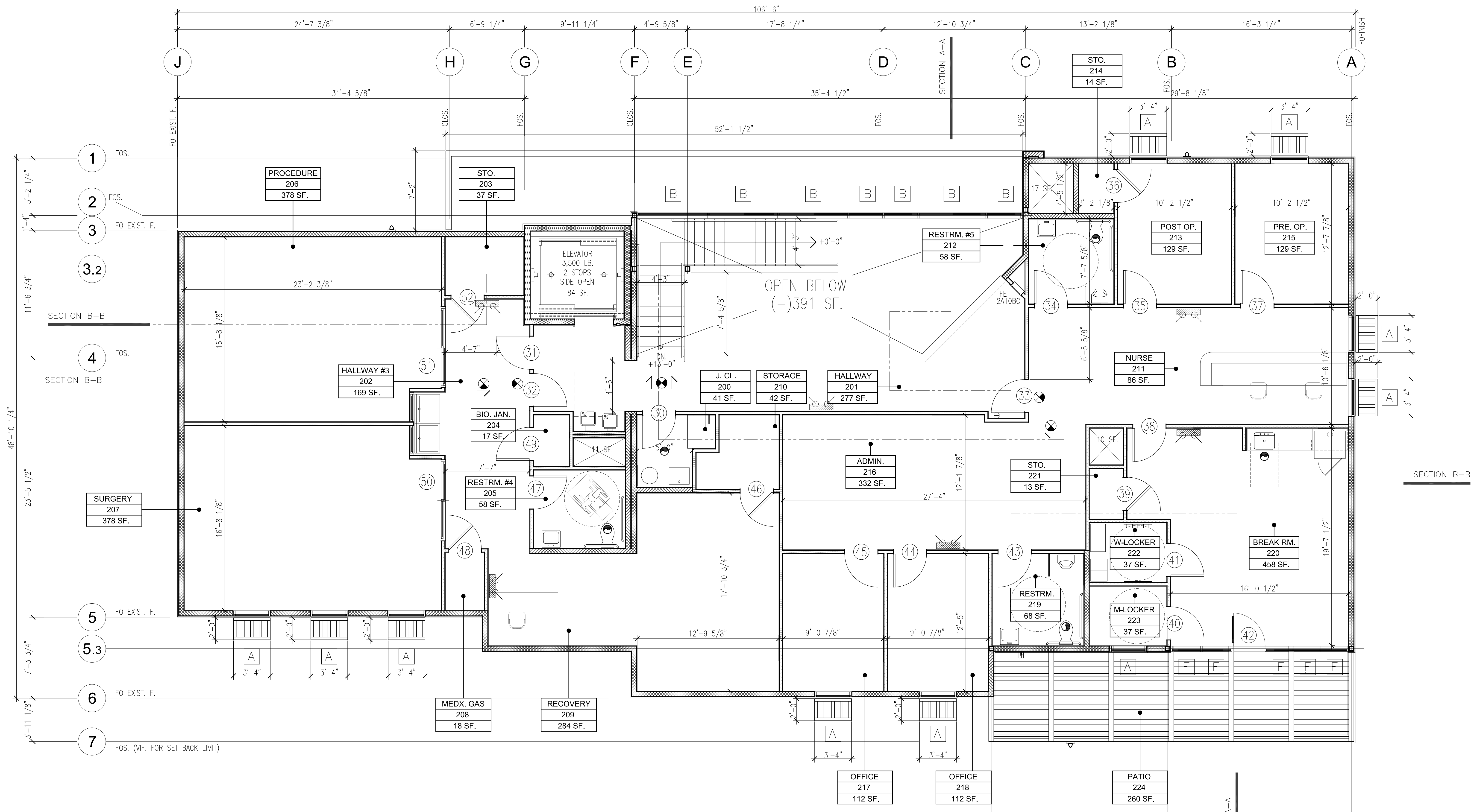
### FIRST FLOOR PLAN

Project No. 2022-09-21 Sheet No.

A 3.1

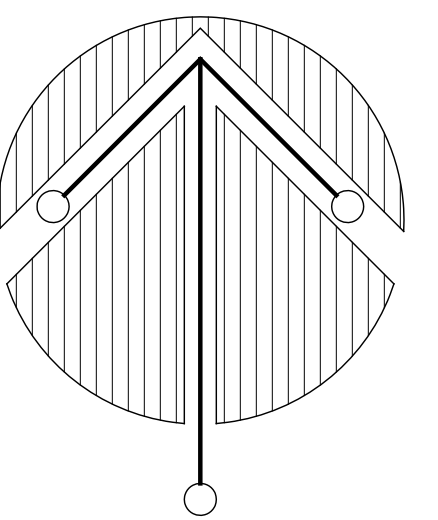
THE ABOVE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, DISCLOSED, DISTRIBUTED, SOLD, PUBLISHED, OR USED WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT. APPROVAL FOR CONSTRUCTION BY THE ARCHITECT SHALL BE IN WRITING. THE ARCHITECT'S SIGNATURE SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.





4,385 SF.  
(-) 391 SF.  
(-) 84 SF.  
(-) 10 SF.  
(-) 13 SF.  
3,887 SF.  
(+) 260 SF. PATIO  
TOTAL 4,147 SF.

## SECOND FLOOR PLAN



SCALE  
1/4" = 1'-0"

1

Issuance / Revisions		
No.	Date	Description
3-27-2023	CUP APPLICATION	
8-7-2023	CUP RE-SUBMITTAL 2ND	
9-25-2023	CUP RE-SUBMITTAL 3RD	

Project Name :  
SECOND STORY  
ADDITION FOR  
**align** SPINE  
CENTER  
721 EAST IMPERIAL HIGHWAY  
BREA, CALIFORNIA 92821

Consultants  
**LEGEND**

2X4 WOOD STUDS @ 16" O.C.  
5/8" GYP. BD. OR PLYWOOD ON EITHER  
OR BOTH SIDES PER PLAN  
2X6 WOOD STUDS @ 16" O.C.  
5/8" GYP. BD. OR PLYWOOD ON EITHER  
OR BOTH SIDES PER PLAN  
EXIST. WOOD STUD WALL TO REMAIN  
5/8" GYP. BD. OR PLYWOOD ON EITHER  
OR BOTH SIDES PER PLAN  
REMOVE EXIST. STUCCO FIN. & PLYWOOD  
AS SPECIFIED.

EXIST. WOOD STUD WALL TO BE  
REMOVED  
2 HR. RATED SHAFT WALL  
20 GA. 6" CH-STUDS @ 16" O.C.  
1" GYP. BD. ON INTERIOR SIDE  
TYPE 'X' (2)-5/8" GYP. BD. ON  
OUTER SIDE OF ELEV.  
EXTERIOR OF BLDG. TO RECEIVE  
(1) LAYER OF TYPE 'X' & 5/8"  
GYP. BD.

CUP 23-05 & PD 23-02

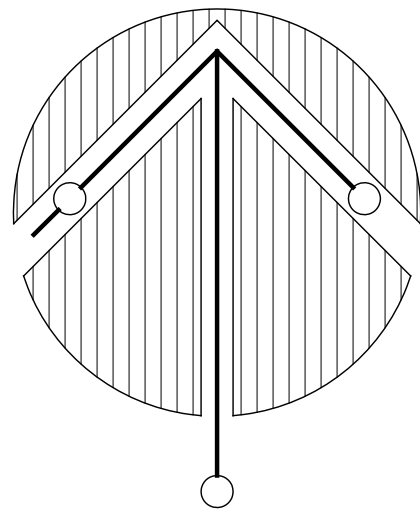


Architect  
**AREAN**  
architect  
714.990.1200  
areanplusinc@gmail.com  
3611 EVE CIR., #A, JURUPA VALLEY, CA 91752  
NCARB CERTIFIED  
ALABAMA • ARIZONA • CALIFORNIA • GUAM  
HAWAII • NORTH CALIFORNIA • TEXAS  
Drawing Description

Project No. Sheet No.  
2022-09-21  
**A 3.2**

THE ABOVE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, DISCLOSED, DISTRIBUTED, SOLD, PUBLISHED, OR USED WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT. CONSENT TO THE ARCHITECT'S REVIEW, CORRECT WITH THE ABOVE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

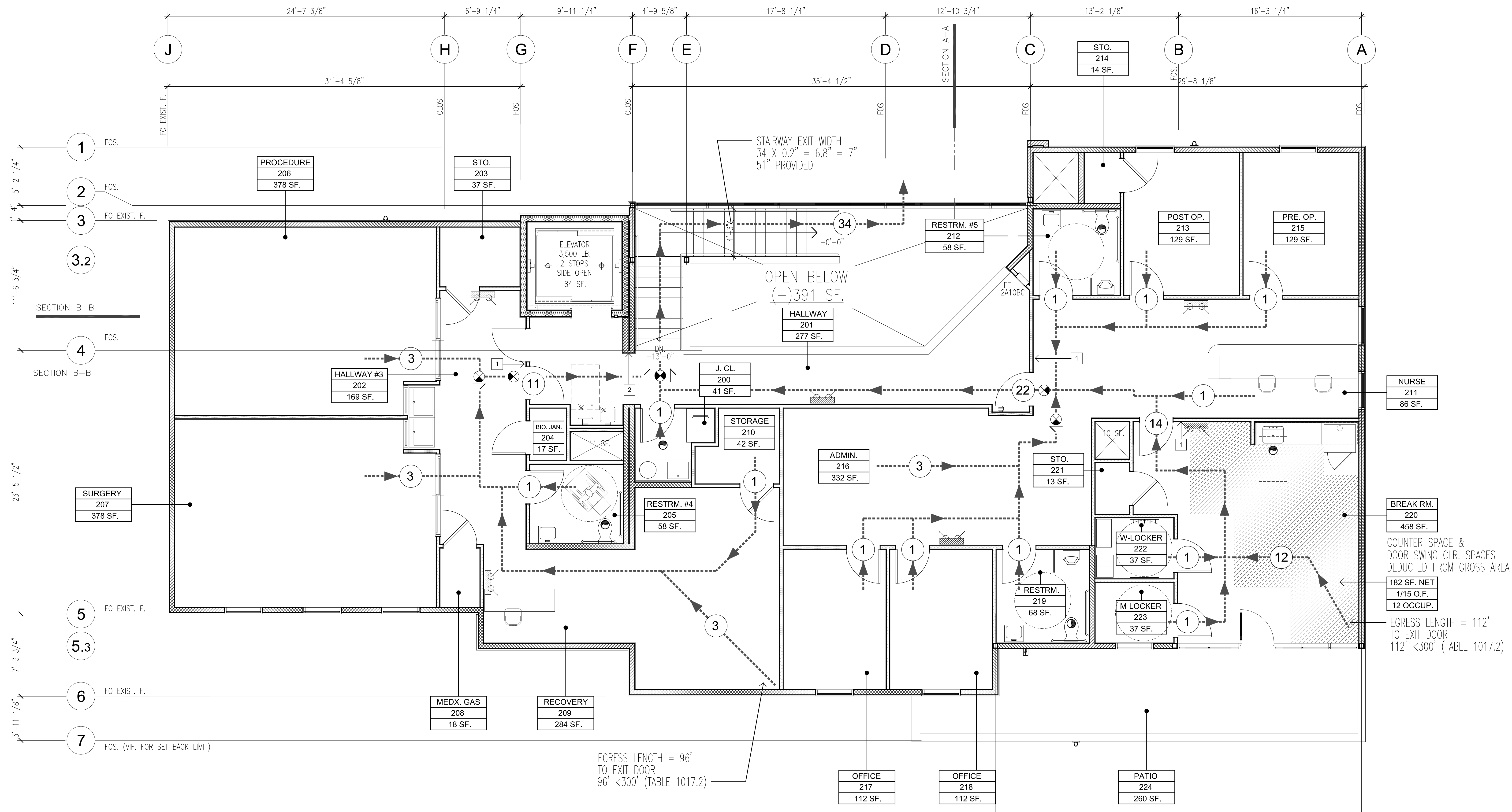




1

THE ABOVE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, DISCLOSED, DISTRIBUTED, SOLD, PUBLISHED, OR USED WITHOUT THE PRIOR WRITTEN CONSENT OF AND APPROPRIATE COMPENSATION TO THE ARCHITECT. VISUAL CONTACT WITH THE ABOVE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.





Issuance / Revisions		
No.	Date	Description
3-27-2023		CUP APPLICATION
8-7-2023		CUP RE-SUBMITTAL 2ND
9-25-2023		CUP RE-SUBMITTAL 3RD

Project Name :  
SECOND STORY  
ADDITION FOR  
**align** SPINE  
CENTER  
721 EAST IMPERIAL HIGHWAY  
BREA, CALIFORNIA 92821

Consultants  
**LEGEND**

- ① NUMBER OF OCCUPANTS/CBC 2022  
TABLE 1004.5
- PROPOSED EGRESS
- ① ↗ DIRECTIONAL EXIT SIGN
- ⊗ EXIT SIGN
- ① EXIT ROUTE
- ② EXIT STAIRWAY DOWN

COUNTER SPACE &  
DOOR SWING CLR. SPACES  
DEDUCTED FROM GROSS AREA  
182 SF. NET  
1/15 O.F.  
12 OCCUP.  
EGRESS LENGTH = 112'  
TO EXIT DOOR  
112' < 300' (TABLE 1017.2)

CUP 23-05 & PD 23-02



Architect  
**AREAN**  
architect  
714.990.1200  
areanplusinc@gmail.com  
3611 EVE CIR., #A, JURUPA VALLEY, CA 91752  
NCARB CERTIFIED  
ALABAMA • ARIZONA • CALIFORNIA • GUAM  
HAWAII • NORTH CALIFORNIA • TEXAS

Drawing Description  
**SECOND FLOOR -  
EGRESS AND EXIT PLAN**  
Project No. 2022-09-21 Sheet No.

**A 3.4**  
THE ABOVE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, DISCLOSED, DISTRIBUTED, SOLD, PUBLISHED, OR USED WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT. ANY VIOLATION OF THIS NOTICE SHALL BE CONSIDERED A VIOLATION OF THE ARCHITECT'S PROFESSIONAL ETHICS AND SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SECOND FLOOR EGRESS AND EXIT PLAN

SCALE  
1/4" = 1'-0"

1



Issuance / Revisions		
No.	Date	Description
3-27-2023		CUP APPLICATION
8-7-2023		CUP RE-SUBMITTAL 2ND
9-25-2023		CUP RE-SUBMITTAL 3RD

Project Name : SECOND STORY ADDITION FOR  
**align** SPINE CENTER  
721 EAST IMPERIAL HIGHWAY  
BREA, CALIFORNIA 92821  
Consultants

CUP 23-05 & PD 23-02



Architect  
**AREAN** architect

714 990 1200 areanplusinc@gmail.com  
3611 EVE CIR., #A, JURUPA VALLEY, CA 91752

NCARB CERTIFIED  
ALABAMA • ARIZONA • CALIFORNIA • GUAM  
HAWAII • NORTH CALIFORNIA • TEXAS

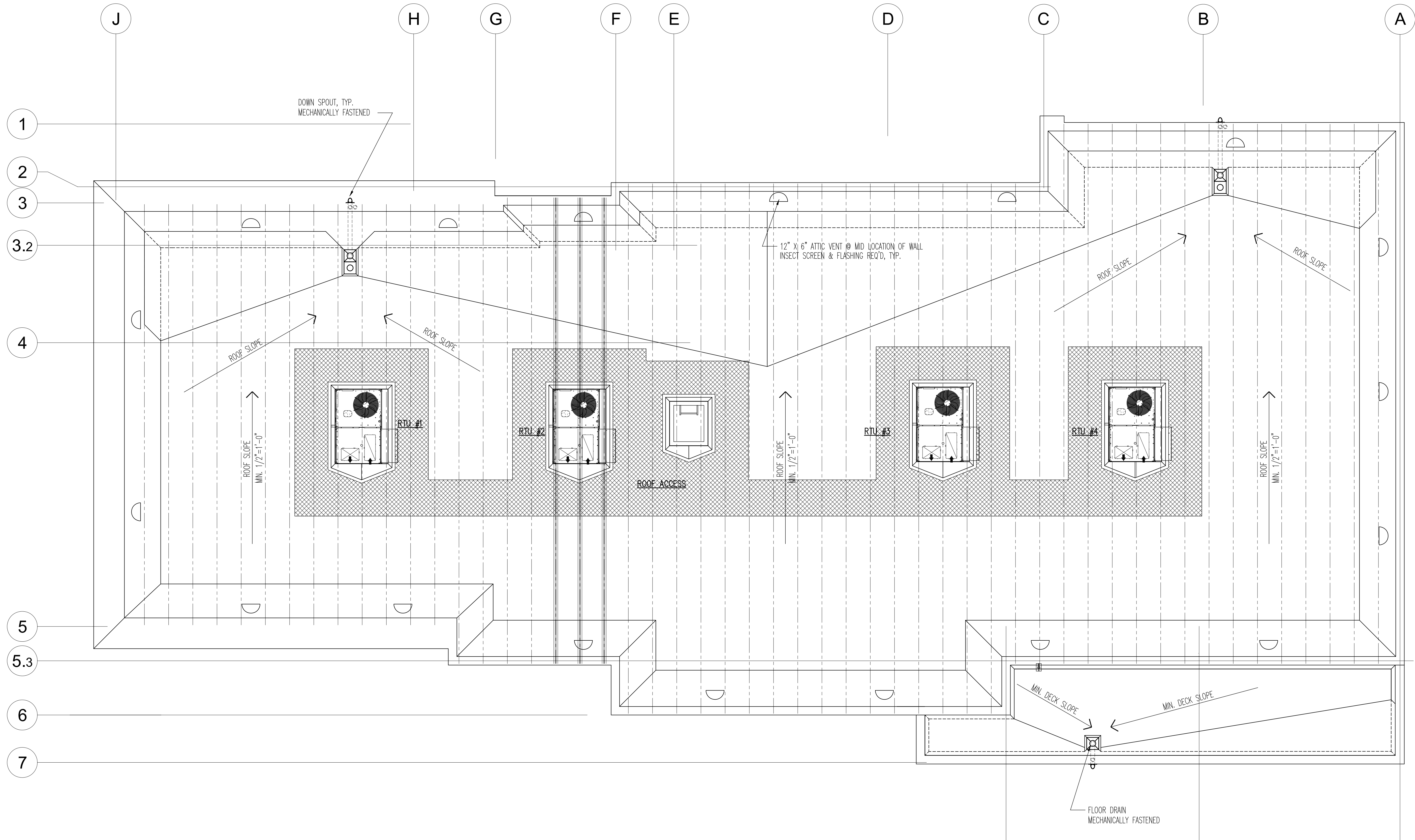
Drawing Description

ROOF PLAN

Project No. 2022-09-21 Sheet No.

A 5.1

THE ABOVE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, DISCLOSED, DISTRIBUTED, SOLD, PUBLISHED, OR USED WITHOUT THE PRIOR WRITTEN CONSENT OF AND APPROPRIATE COMPENSATION TO THE ARCHITECT. REGULAR CONTACT WITH THE ABOVE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



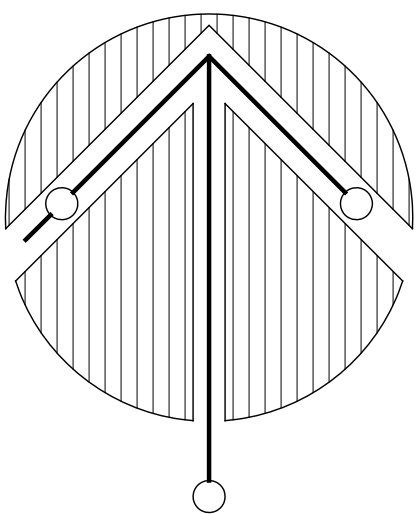
CLASS "A" ROOF  
BUILT-UP ROOFING  
ROOF SPECIFICATION

MANUFACTURER - GAF  
EVERGUARD - TPO 60 MIL. WHITE  
CRRRC PRODUCT ID - 0676-0001

ROOF DRAIN PIPE ANALYSIS  
ROOF SLOPE MIN. 1/2"=1'-0"  
ROOF AREA = 4,400 SF.  
RAINFALL RATE = 4" / HOUR  
SIZE OF ROOF DRAIN PIPE = 4" Ø

VENTILATION - ATTIC @  
3' PARAPET BRACE AREA  
BRACE HT. 3', PARAPET HT. 5' MIN.  
ATTIC AREA - 875 SF. TOTAL

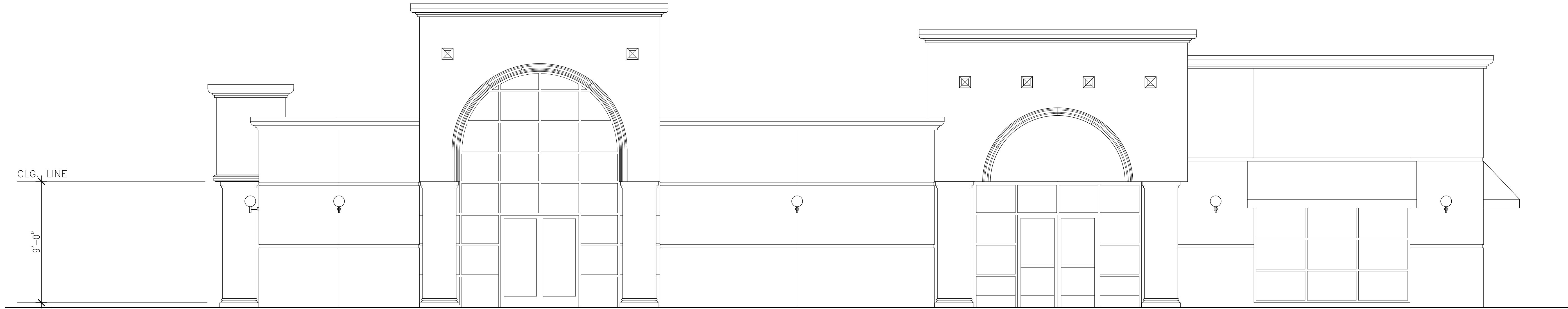
1/150 OF FLOOR AREA =  
875 SF / 150 = 5.8 SF. - REQUIRED  
HALF DOM VENTS @  
(18) X 56.6 SI (0.39 SF.) = 7.2 SF. - PROVIDED



ROOF PLAN

SCALE  
1/4"=1'-0"

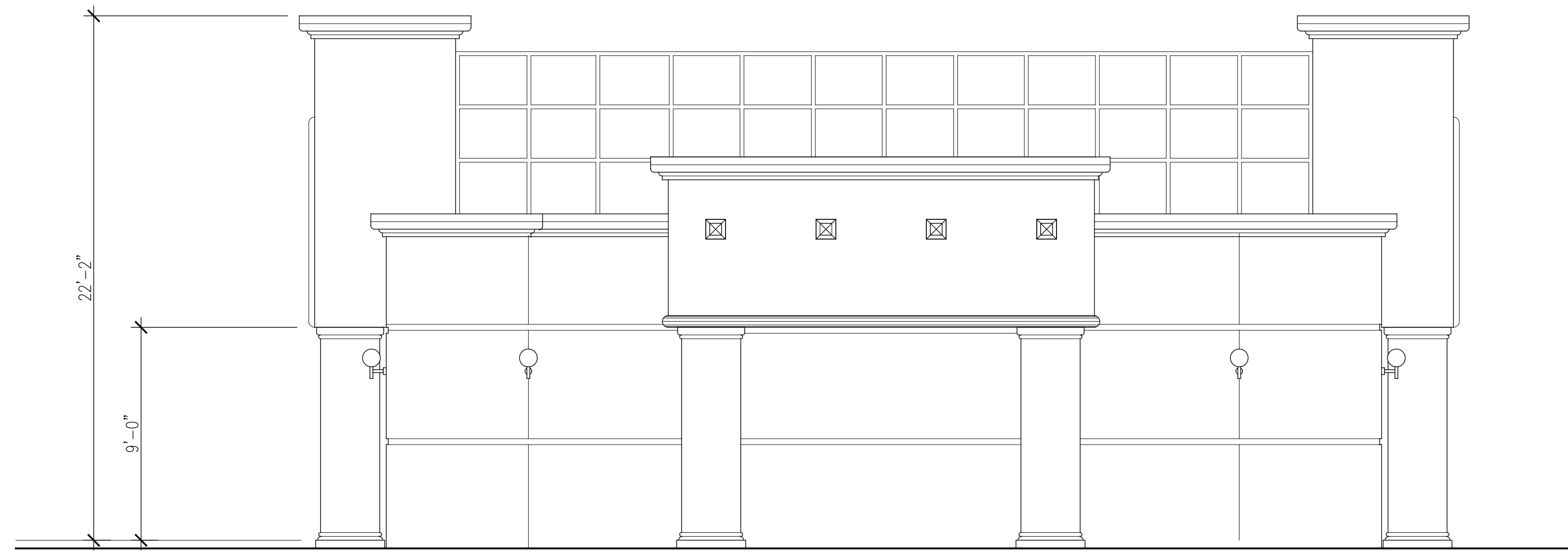
1



NORTH ELEVATION

SCALE  
1/4" = 1'-0"

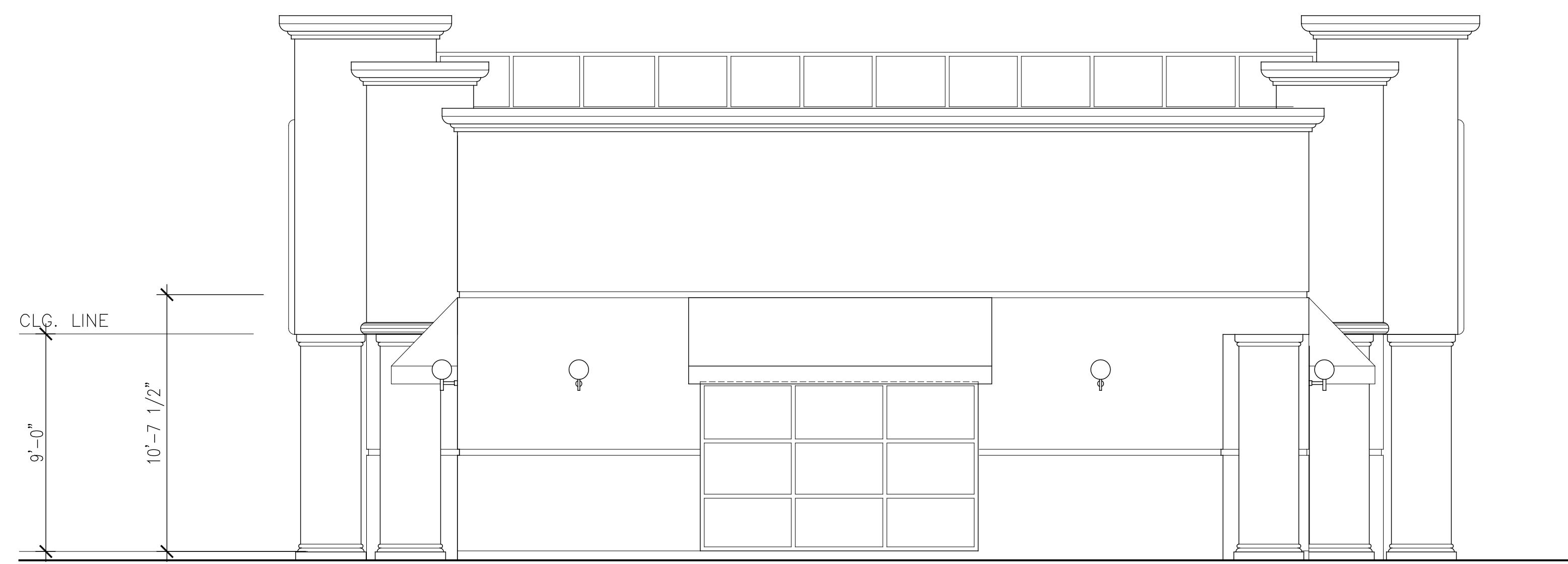
4



EAST ELEVATION

SCALE  
1/4" = 1'-0"

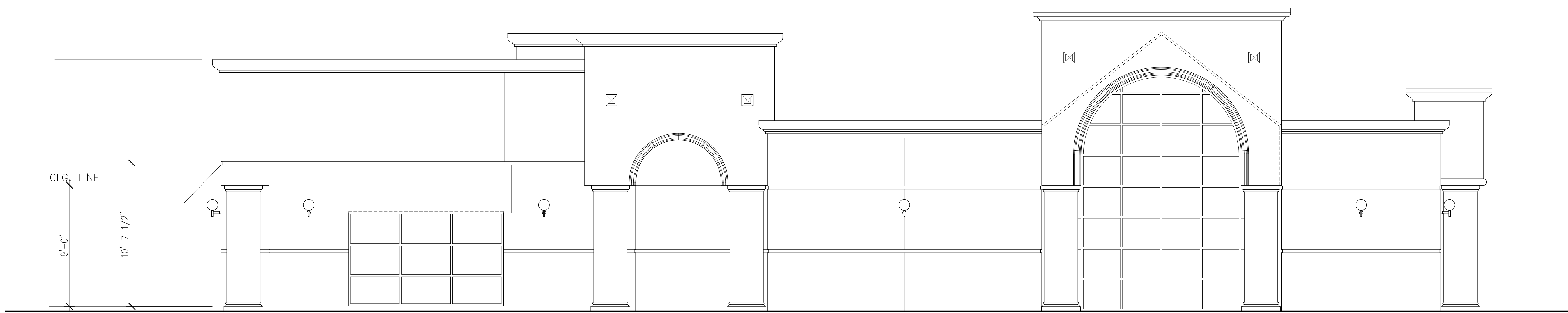
3



WEST ELEVATION

SCALE  
1/4" = 1'-0"

2



SOUTH ELEVATION

SCALE  
1/4" = 1'-0"

1

Issuance / Revisions

No.	Date	Description
3-27-2023		CUP APPLICATION
8-7-2023		CUP RE-SUBMITTAL 2ND
9-25-2023		CUP RE-SUBMITTAL 3RD

Project Name :

SECOND STORY  
ADDITION FOR  
**align**  
SPINE  
CENTER

721 EAST IMPERIAL HIGHWAY  
BREA, CALIFORNIA 92821

Consultants

CUP 23-05 & PD 23-02

Seal



Architect

**AREAN**  
architect

714 990 1200  
areanplusinc@gmail.com  
3611 EVE CIR., #A, JURUPA VALLEY, CA 91752

NCARB CERTIFIED  
ALABAMA • ARIZONA • CALIFORNIA • GUAM  
HAWAII • NORTH CAROLINA • TEXAS

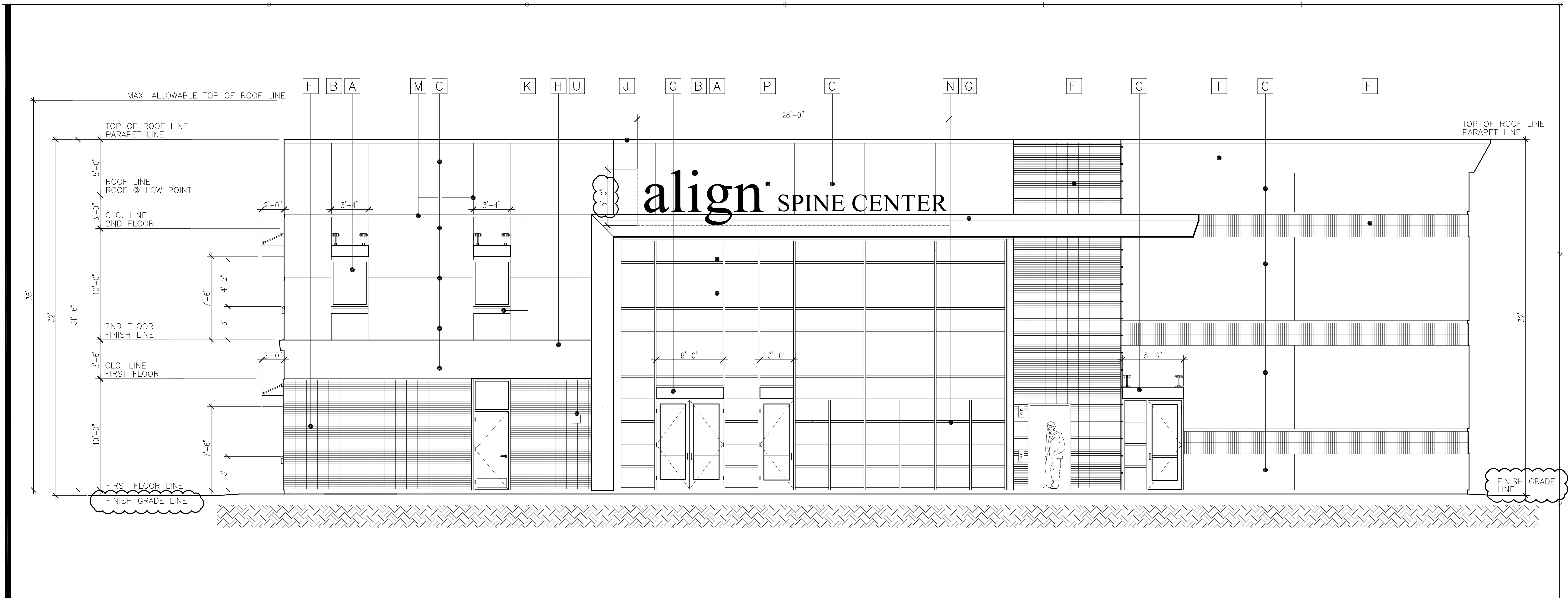
Drawing Description

ELEVATIONS - EXISTING FOR REF.

Project No. 2022-09-21  
Sheet No. A 6.0

THE ABOVE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, DEVELOPED, DISTRIBUTED, SOLD, PUBLISHED, OR USED WITHOUT THE PRIOR WRITTEN CONSENT OF AND APPROPRIATE COMPENSATION TO THE ARCHITECT. VERBAL CONTACT WITH THE ABOVE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

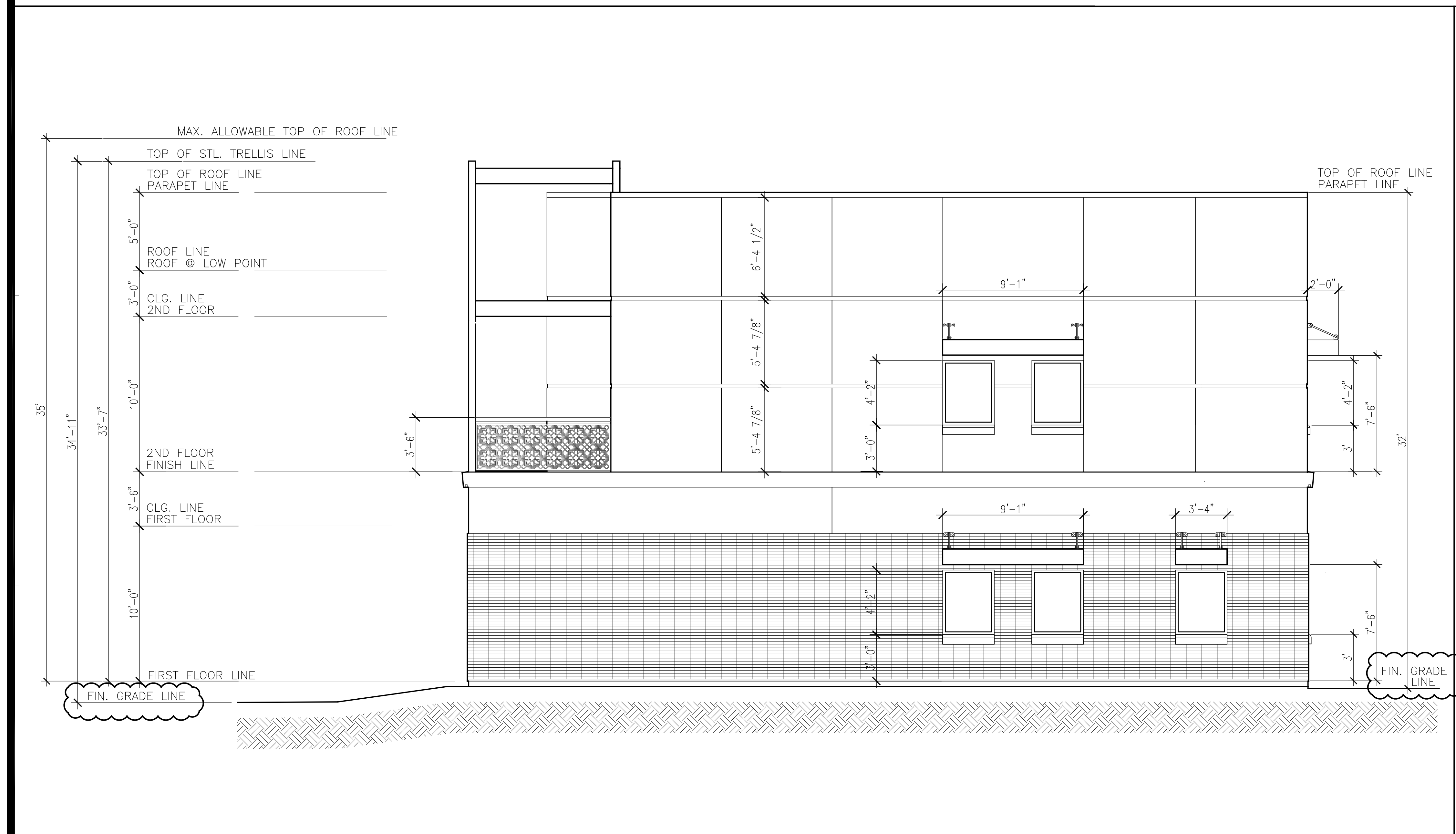




PROPOSED - NORTH ELEVATION

SCALE  
1/4" = 1'-0"

4



PROPOSED - EAST ELEVATION

SCALE  
1/4" = 1'-0"

1

LEGEND / KEY NOTES

- A** WINDOW AND FRAME  
**B** GREEN COLOR, DBL GLAZING, LOW-E  
**C** STUCCO, NOM. 1" THICK CONVENTIONAL 3 COAT STUCCO, TYP. PAINT COLOR "A" OFF WHITE  
**D** -  
**F** THIN SET BRINK 2-1/4" H. 8" L.  
**G** ALUMN. BREAK SHEET - COLOR MATCH W/ WINDOW FRAME  
**H** FOAM TRIM NATURAL CONC. COLOR  
**J** PARAPET COUPLING COLOR TO MATCH W/ STUCCO, TYP.  
**K** FOAM TRIM NATURAL CONC. COLOR  
**M** 1/4" CONTROL JOINT- MATCH W BLDG. BODY COLOR FRY REGLET  
2" REVEAL- BRUSHED ALUMN. COLOR FRY REGLET  
**N** SPANDREL GLASS -  
**P** SIGN BOARD SIGNS - UNDER SEPARATE PERMIT  
**Q** DELETED  
**R** STREET NUMBER SIGN - 12" H. MIN. 1-12/16" STROKE ON A CONTRASTING BACKGROUND  
**S** ALUMN. COLUMN COVER TO MATCH WINDOW FRAME COLOR  
**T** FOAM CORNICE MATCH W/ STUCCO COLOR  
**U** KNOX BOX  
**V**  
**W**  
**X**

Issuance / Revisions

No.	Date	Description
3-27-2023		CUP APPLICATION
8-7-2023		CUP RE-SUBMITTAL 2ND
9-25-2023		CUP RE-SUBMITTAL 3RD

Project Name :

SECOND STORY ADDITION FOR

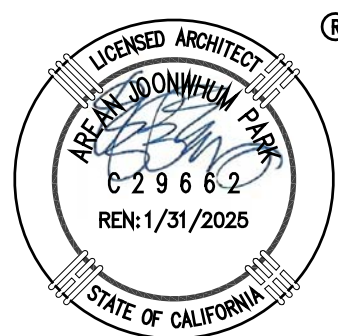
**align** SPINE CENTER

721 EAST IMPERIAL HIGHWAY  
BREA, CALIFORNIA 92821

Consultants

CUP 23-05 & PD 23-02

Seal



Architect

**AREAN** architect

714 990 1200 areanplusinc@gmail.com  
3611 EVE CIR., #A, JURUPA VALLEY, CA 91752

NCARB CERTIFIED  
ALABAMA • ARIZONA • CALIFORNIA • GUAM  
HAWAII • NORTH CAROLINA • TEXAS

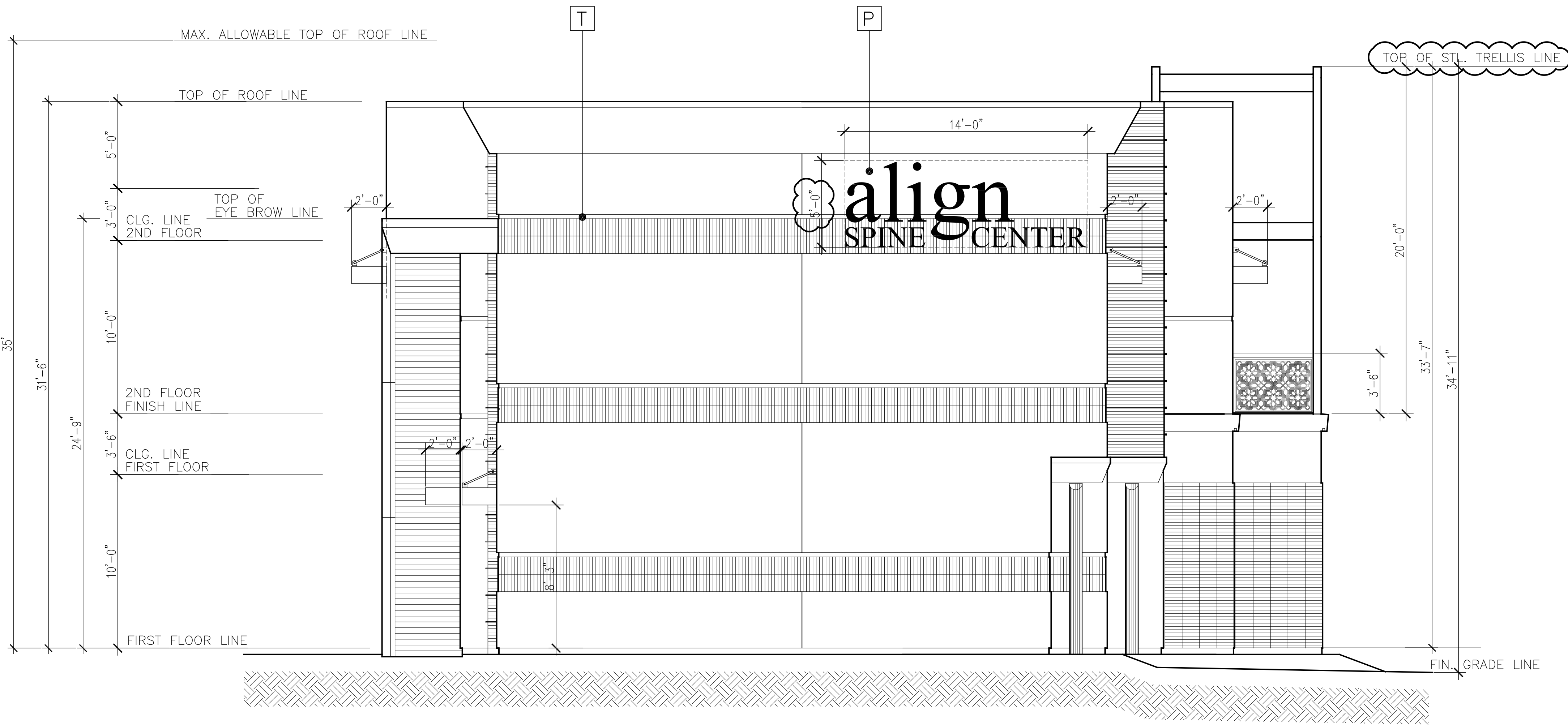
Drawing Description

ELEVATIONS

Project No. 2022-09-21 Sheet No.

A 6.1

THE ABOVE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, OR OTHERWISE USED WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THE ARCHITECT OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



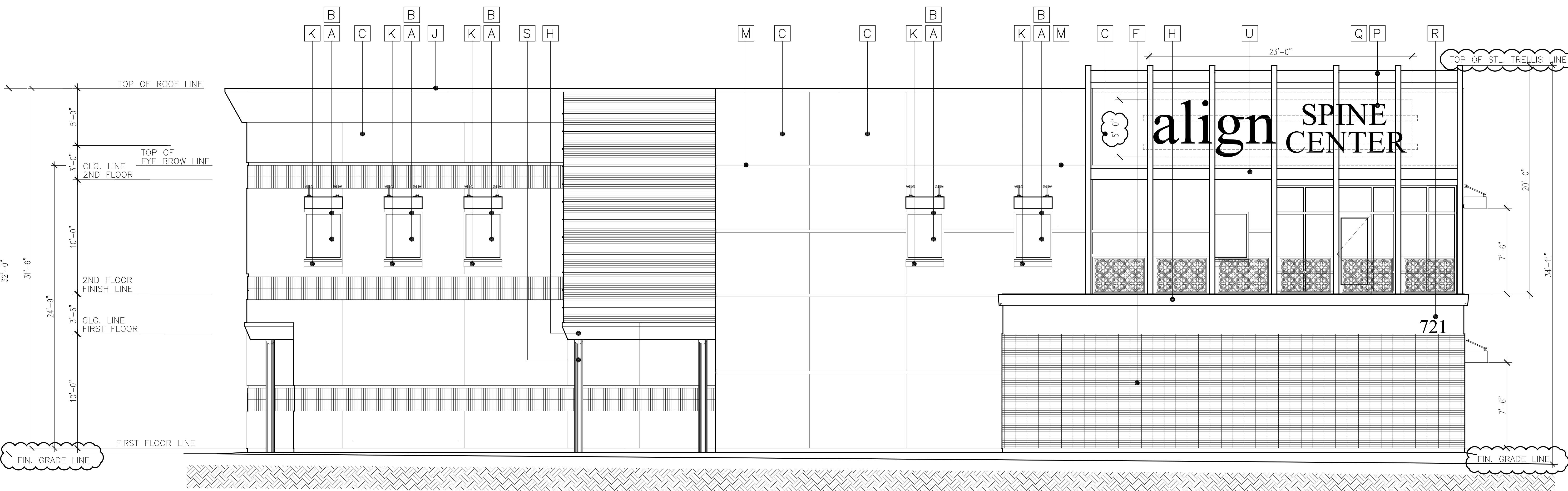
- LEGEND / KEY NOTES**
- |          |  |          |  |
|----------|--|----------|--|
| <b>A</b> | WINDOW AND FRAME   | <b>N</b> | SPANDREL GLASS   |
| <b>B</b> | GREEN COLOR, DBL GLAZING, LOW-E  | <b>P</b> | SIGN BOARD<br>SIGNS - UNDER SEPARATE PERMIT                                    |
| <b>C</b> | STUCCO<br>NOM. 1" THICK, CONVENTIONAL 3 COAT STUCCO, TYP.<br>PAINT COLOR 'A' OFF WHITE                                   | <b>Q</b> | DELETED  |
| <b>D</b> | -  | <b>R</b> | STREET NUMBER SIGN - 12" H., MIN. 1-1/2" STROKE<br>ON A CONTRASTING BACKGROUND |
| <b>F</b> | THIN SET BRINK<br>2-1/4" H. 8" L.  | <b>S</b> | ALUMN. COLUMN COVER<br>TO MATCH WINDOW FRAME COLOR                             |
| <b>G</b> | ALUMN. BREAK SHEET - COLOR MATCH W/<br>WINDOW FRAME  | <b>T</b> | FOAM CORNICE<br>MATCH W/ STUCCO COLOR  |
| <b>H</b> | FOAM TRIM<br>NATURAL CONC. COLOR   | <b>U</b> | KNOX BOX   |
| <b>J</b> | PARAPET COUPLING<br>COLOR TO MATCH W/ STUCCO, TYP.   | <b>V</b> |  |
| <b>K</b> | FOAM TRIM<br>NATURAL CONC. COLOR   | <b>W</b> |  |
| <b>M</b> | 1/4" CONTROL JOINT-<br>MATCH W BLDG. BODY COLOR<br>FRY REGLET<br>3" CONTROL JOINT-<br>BRUSHED ALUMN. COLOR<br>FRY REGLET | <b>X</b> |  |

PROPOSED - WEST ELEVATION

SCALE  
1/4" = 1'-0"

2

LEGEND / KEY NOTES



PROPOSED - SOUTH ELEVATION

SCALE  
1/4" = 1'-0"

1

Issuance / Revisions		
No.	Date	Description
3-27-2023		CUP APPLICATION
8-7-2023		CUP RE-SUBMITTAL 2ND
9-25-2023		CUP RE-SUBMITTAL 3RD
Project Name :		
SECOND STORY ADDITION FOR		
align SPINE CENTER		
721 EAST IMPERIAL HIGHWAY BREA, CALIFORNIA 92821		
Consultants		

CUP 23-05 & PD 23-02

Seal



Architect

**AREAN**  
architect

714 990 1200 areanplusinc@gmail.com  
3611 EVE CIR., #A, JURUPA VALLEY, CA 91752

NCARB CERTIFIED  
ALABAMA • ARIZONA • CALIFORNIA • GUAM  
HAWAII • NORTH CAROLINA • TEXAS

Drawing Description

ELEVATIONS

Project No. 2022-09-21 Sheet No. A 6.2

THE ABOVE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREIN ARE  
SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED,  
DISSEMINATED, DISTRIBUTED, SOLD, PUBLISHED, OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THE ABOVE DRAWINGS OR SPECIFICATIONS  
SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



LOCATION			DOOR TYPE	FRAME	HINGES	LATCH-CATCHES	ACC.	FIN.	REMARK
	TYPE	LEAF SIZE							
			GLASS	WOOD	20 VAL. RATED ALUM.	TOP & BOTTOM TRACK	DOOR NOTE *	PAINT FINISH	
			SOLID CORE	ALUMINUM	PANO HINGE	LOWER	THRESHOLD	RC WHITE BRCH	
			HOLLOW CORE	STEEL	BUTT 4-1/2" (3)	PRIVACY	SWEEP & WEATHER STOP	BAKED ALUM. ANODZ	
			VIEW PANEL		BUTT 4-1/2" (2)	KEYED LOCK	H.C. ACCESSIBLE SIGN	U.S. KICK PAIR	
			STEEL			SELF CLOSER	H.C. MORTISE SIGN	BRUSHED FINISH	
						DOOR STOP	H.C. RESTROOM SIGN		
						PUSH-PULL			
						LATCH W/ DOOR PULL			

FIRST FLOOR																									
(1)	A	(2) 3'-0" X 8'-0"	o					o		o				o	o		o	o	o	o			o	PANIC HARDWARE	
(2)	B	3'-0" X 8'-0"	o					o		o				o	o		o	o	o	o			o	PANIC HARDWARE	
(3)	B	3'-0" X 7'-0"	o					o		o				o	o		o	o	o	o			o	PANIC HARDWARE	
(4)	D	3'-0" X 7'-0"				o			o					o	o		o	o	o	o		o		PANIC HARDWARE	
(5)	D	3'-0" X 7'-0"	o					o						o	o	o	o			o		o	o	LEVER TYPE HARDWARE	
(6)	H	3'-0" X 7'-0"	o	o				o		o				o	o							o	o	LEVER TYPE HARDWARE	
(7)	G	3'-0" X 7'-0"	o					o		o			o	o	o			o	o	o		o	o	LEVER TYPE HARDWARE	
(8)	G	3'-0" X 7'-0"	o					o		o			o	o	o			o	o	o		o	o	LEVER TYPE HARDWARE	
(9)	D	3'-0" X 7'-0"	o					o		o				o	o	o						o	o	LEVER TYPE HARDWARE	
(10)	D	3'-0" X 7'-0"	o					o		o				o	o	o						o	o	LEVER TYPE HARDWARE	
(11)	F	3'-0" X 7'-0"		o				o			o	o	o	o	o	o						o		LEVER TYPE HARDWARE	
(12)	D	3'-0" X 7'-0"	o					o		o				o	o	o						o	o	LEVER TYPE HARDWARE	
(13)	D	3'-0" X 7'-0"	o					o		o				o	o	o						o	o	LEVER TYPE HARDWARE	
(14)	D	3'-0" X 7'-0"	o					o		o				o	o	o						o	o	LEVER TYPE HARDWARE	
(15)	D	3'-0" X 7'-0"	o					o		o				o	o	o						o	o	LEVER TYPE HARDWARE	
(16)	D	3'-0" X 7'-0"	o					o		o				o	o	o						o	o	LEVER TYPE HARDWARE	
(17)	D	3'-0" X 7'-0"	o					o		o				o	o	o						o	o	LEVER TYPE HARDWARE	
(18)	D	3'-0" X 7'-0"	o					o		o				o	o	o						o	o	LEVER TYPE HARDWARE	
(19)	D	3'-0" X 7'-0"	o					o		o				o	o	o						o	o	LEVER TYPE HARDWARE	
(20)	D	3'-0" X 7'-0"	o					o		o				o	o	o						o	o	LEVER TYPE HARDWARE	
(21)	D	3'-0" X 7'-0"	o					o		o			o	o	o	o						o	o	LEVER TYPE HARDWARE	
(22)	G	3'-0" X 7'-0"	o					o		o			o	o	o	o		o	o	o		o	o	LEVER TYPE HARDWARE	
(23)	D	3'-0" X 7'-0"	o					o		o				o	o	o						o	o	LEVER TYPE HARDWARE	
(24)	D	3'-0" X 7'-0"	o					o		o				o	o	o						o	o	LEVER TYPE HARDWARE	
(25)	D	3'-0" X 7'-0"	o					o		o				o	o	o						o	o	LEVER TYPE HARDWARE	
(26)	D	3'-0" X 7'-0"				o				o				o	o	o		o	o			o		LEVER TYPE HARDWARE, PIVOTED HINGE	

				DOOR	TYPE		FRAME		HINGES		LATCH-CATCHES		ACC.		FIN.		REMARK
LOCATION	TYPE	LEAF SIZE		GLASS	SOLID CORE HOLLOW CORE VIEW PANEL STEEL SLIDING GLASS	WOOD ALUMINUM STEEL 20 MIN. RATED ALUM. PANO HINGE BUTT 4-1/2" (3) BUTT 4-1/2" (2) TOP & BOTTOM TRACK LOWER				PRIVACY KEYED LOCK SELF CLOSER DOOR STOP PUSH-PULL LATCH W/ DOOR PULL	DOOR NOTE *	THRESHOLD SWEEP & WEATHER STRIP H.C. ACCESSIBLE SIGN H.C. TACTILE SIGN H.C. RESTROOM SIGN	PANT FINISH	R/C WHITE BRCH BAKED ALUM. ALUM. ANODZ. S.S. KICK PLATE BRUSHED FINISH			
(30)	F	3'-0" X 7'-0"							O						O		LEVER TYPE HARDWARE
(31)	H	3'-0" X 7'-0"		O	O		O				O				O	O	LEVER TYPE HARDWARE
(32)	H	3'-0" X 7'-0"		O	O		O				O	O			O	O	LEVER TYPE HARDWARE
(33)	H	3'-0" X 7'-0"		O			O			O	O	O			O		LEVER TYPE HARDWARE / MAGNETIC HOLD OPEN
(34)	G	3'-0" X 7'-0"					O				O		O		O	O	LEVER TYPE HARDWARE
(35)	D	3'-0" X 7'-0"		O			O				O	O	O		O	O	LEVER TYPE HARDWARE
(36)	D	3'-0" X 7'-0"			O		O		O		O	O	O		O		LEVER TYPE HARDWARE
(37)	D	3'-0" X 7'-0"		O			O		O		O	O	O		O	O	LEVER TYPE HARDWARE
(38)	H	3'-0" X 7'-0"		O	O		O				O	O			O	O	LEVER TYPE HARDWARE
(39)	D	3'-0" X 7'-0"			O		O		O		O	O	O		O		LEVER TYPE HARDWARE
(40)	D	3'-0" X 7'-0"		O			O			O	O	O	O		O	O	LEVER TYPE HARDWARE
(41)	D	3'-0" X 7'-0"		O			O			O	O	O	O		O	O	LEVER TYPE HARDWARE
(42)	B	3'-0" X 7'-0"		O			O	O			O	O	O		O	O	LEVER TYPE HARDWARE
(43)	G	3'-0" X 7'-0"			O		O		O		O	O	O	O	O	O	LEVER TYPE HARDWARE
(44)	D	3'-0" X 7'-0"		O			O			O	O	O			O	O	LEVER TYPE HARDWARE
(45)	D	3'-0" X 7'-0"		O			O			O	O	O			O	O	LEVER TYPE HARDWARE
(46)	D	3'-0" X 7'-0"			O		O		O		O	O	O		O		LEVER TYPE HARDWARE
(47)	G	3'-0" X 7'-0"		O			O		O		O	O	O	O	O	O	LEVER TYPE HARDWARE
(48)	D	3'-0" X 7'-0"			O		O		O		O	O	O		O		LEVER TYPE HARDWARE
(49)	D	3'-0" X 7'-0"		O			O		O		O	O	O		O		LEVER TYPE HARDWARE
(50)	C	6'-10" X 7'-0"				O	O			O						O	
(51)	C	6'-10" X 7'-0"				O	O			O						O	
(52)	D	3'-0" X 7'-0"		O			O		O		O	O	O		O		LEVER TYPE HARDWARE

**VIRACON GLASS - SOLARSCREEN, REFLECTIVE GLASS OR APPROVED EQUIVALENT**  
VRE 26-38, SHGC : 0.18  
SHADING COEFFICIENT : 0.21  
LSG : 1.39  
NRFC U-VALUE : WINTER - 0.25 / SUMMER - 0.21

**Window Schedule:**

- A** FIXED WINDOW 12 EACH - SEE PLANS FOR LOCATION  
 PROPOSED NEW WINDOW LOW-E, 1" CLEAR GLASS DOUBLE GLAZING BLUE COLOR PER SPEC. TYP.  
 3'-4" x 4'-2"
- B** FIXED WINDOW  
 PROPOSED NEW WINDOW LOW-E, 1" CLEAR GLASS DOUBLE GLAZING BLUE COLOR PER SPEC. TYP.  
 8'-1" x 10'-0 5/8"  
 SEE DR. SCHED.  
 SPANDREL GLASS PROPOSED NEW WINDOW LOW-E, 1" CLEAR GLASS DOUBLE GLAZING BLUE COLOR PER SPEC., TYP.
- C** FIXED WINDOW 1 EACH  
 PROPOSED NEW WINDOW LOW-E, 1" CLEAR GLASS DOUBLE GLAZING BLUE COLOR PER SPEC. TYP.  
 3'-4" x 2'-3 1/4"
- D** FIXED WINDOW 1 EACH  
 PROPOSED NEW WINDOW LOW-E, 1" CLEAR GLASS DOUBLE GLAZING BLUE COLOR PER SPEC. TYP.  
 3'-4" x 2'-4"
- F** FIXED WINDOW 1 EACH  
 PROPOSED NEW WINDOW LOW-E, 1" CLEAR GLASS DOUBLE GLAZING BLUE COLOR PER SPEC. TYP.  
 3'-4" x 4'-2"

**Elevation Details:**

- Overall Dimensions:** 34'-10 5/8" (width), 22'-6 3/4" (height).
- Window Grid:** 12 columns, 10 rows.
- Window Sizes:**
  - Columns 1-4: 3'-2 1/8" x 10'-0 5/8"
  - Column 5: 6'-1 1/4" x 10'-0 5/8"
  - Column 6: 3'-2 1/8" x 10'-0 5/8"
  - Column 7: 3'-2 1/8" x 10'-0 5/8"
  - Column 8: 6'-4" x 10'-0 5/8"
  - Column 9: 6'-4" x 10'-0 5/8"
  - Column 10: 6'-4" x 10'-0 5/8"
- Spandrel Glass:** 8'-1" x 10'-0 5/8" (width), 10'-0 5/8" (height).
- Window Spacing:** 5 EQ. SPACES = 10'-0 5/8" (width), 5 EQ. SPACES = 22'-6 3/4" (height).
- Window Details:**
  - Window A: 3'-4" x 4'-2"
  - Window B: 8'-1" x 10'-0 5/8"
  - Window C: 3'-4" x 2'-3 1/4"
  - Window D: 3'-4" x 2'-4"
  - Window F: 3'-4" x 4'-2"

VIRACON GLASS – SOLARSCREEN, REFLECTIVE GLASS OR APPROVED EQUIVALENT  
VRE 26–38, SHGC : 0.18  
SHADING COEFFICIENT : 0.21  
LSC : 1.39  
NRFC U-VALUE : WINTER – 0.25 / SUMMER – 0.21

---

(A) SWING / DOUBLE (GLASS)

(B) SWING (GLASS)

(C) SLIDING (GLASS)

(D) SWING

(E) SWING

(F) SWING

(G) SWING  
RESTROOM DOOR

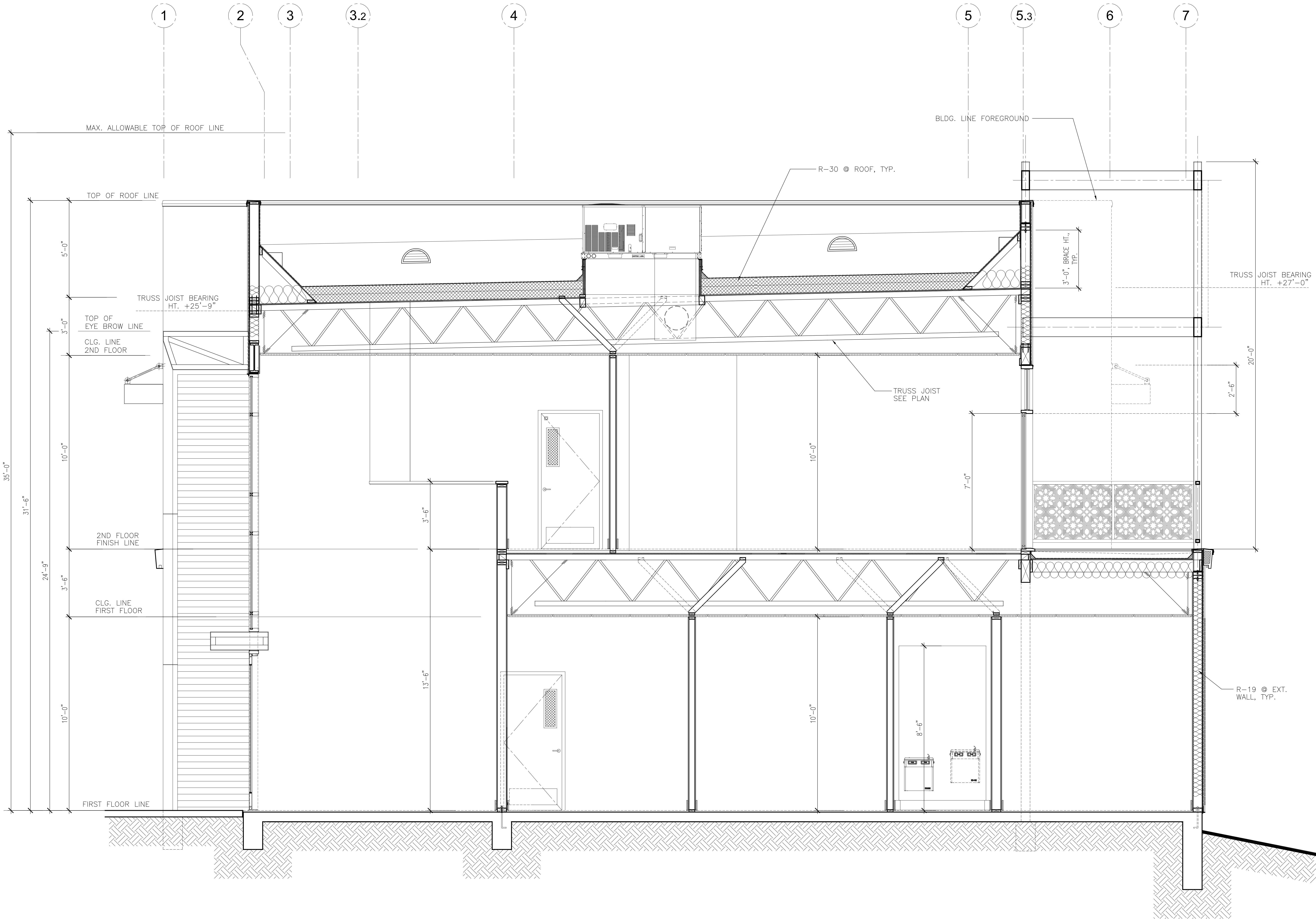
(H) SWING

## Consultants

## A 7.1

THE ABOVE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, DISCLOSED, DISTRIBUTED, SOLD, PUBLISHED, OR USED WITHOUT THE PRIOR WRITTEN CONSENT OF AND WITHOUT APPROPRIATE COMPENSATION TO THE ARCHITECT. VISUAL CONTACT WITH THE ABOVE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.





BUILDING SECTION A - A

SCALE  
1/2" = 1'-0"

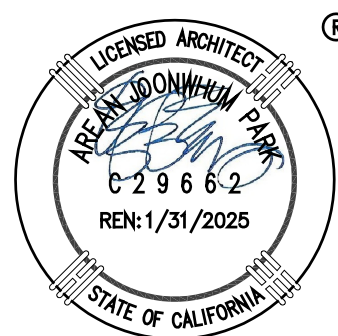
1

Issuance / Revisions		
No.	Date	Description
3-27-2023		CUP APPLICATION
8-7-2023		CUP RE-SUBMITTAL 2ND
9-25-2023		CUP RE-SUBMITTAL 3RD

Project Name :  
SECOND STORY  
ADDITION FOR  
**align** SPINE  
CENTER  
721 EAST IMPERIAL HIGHWAY  
BREA, CALIFORNIA 92821  
Consultants

CUP 23-05 & PD 23-02

Seal



Architect  
**AREAN** architect

714.990.1200 areanplusinc@gmail.com  
3611 EVE CIR., #A, JURUPA VALLEY, CA 91752

NCARB CERTIFIED  
ALABAMA • ARIZONA • CALIFORNIA • GUAM  
HAWAII • NORTH CALIFORNIA • TEXAS

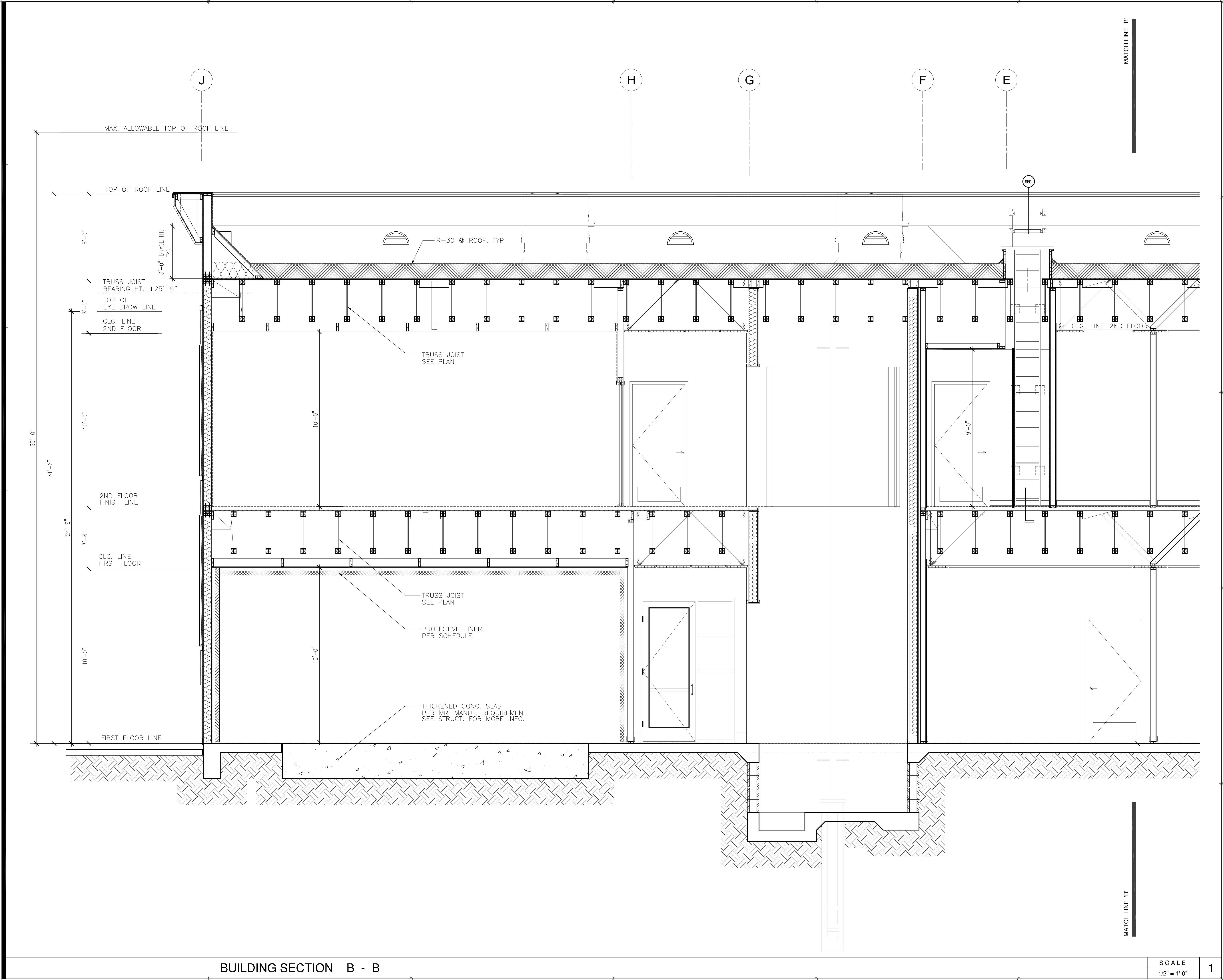
Drawing Description  
BUILDING SECTIONS  
A' - A'

Project No. 2022-09-21 Sheet No.

A 8.1

THE ABOVE DRAWINGS, SPECIFICATIONS, IDEAL DESIGNS, AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, MODIFIED, DISTRIBUTED, SOLD, PUBLISHED, OR USED WITHOUT THE PRIOR WRITTEN CONSENT OF AND APPROPRIATE COMPENSATION TO THE ARCHITECT. VISUAL CONTACT WITH THE ABOVE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.





Issuance / Revisions		
No.	Date	Description
3-27-2023		CUP APPLICATION
8-7-2023		CUP RE-SUBMITTAL 2ND
9-25-2023		CUP RE-SUBMITTAL 3RD

Project Name : SECOND STORY ADDITION FOR

# align

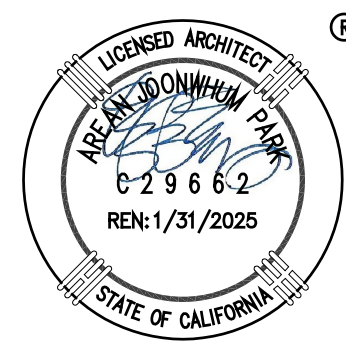
SPINE CENTER

721 EAST IMPERIAL HIGHWAY  
BREA, CALIFORNIA 92821

Consultants

CUP 23-05 & PD 23-02

Seal



Architect

## AREAN

architect

714.990.1200 areanplusinc@gmail.com  
3611 EVE CIR., #A, JURUPA VALLEY, CA 91752

NCARB CERTIFIED ○ ○ ○ ○ ○ ○ ○ ○ ○ ○

ALABAMA ○ ARIZONA ○ CALIFORNIA ○ GUAM  
HAWAII ○ NORTH CAROLINA ○ TEXAS

Drawing Description

**BUILDING SECTION**  
**B - B**

Project No. 2022-09-21 Sheet No.

# A 8.2

THE ABOVE DRAWINGS, SPECIFICATIONS, IDEAL DESIGNS, AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, MODIFIED, DISTRIBUTED, SOLD, PUBLISHED, OR USED WITHOUT THE PRIOR WRITTEN CONSENT OF AND APPROPRIATE COMPENSATION TO THE ARCHITECT. VISUAL CONTACT WITH THE ABOVE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

BUILDING SECTION B - B

SCALE  
1/2" = 1'-0"

1

Project Name : SECOND STORY  
ADDITION FOR

---

**align** SPINE  
CENTER

---

721 EAST IMPERIAL HIGHWAY  
BREA, CALIFORNIA 92821

---

Consultants

Seal



AREAN   
a r c h i t e c t

NCARB CERTIFIED    ♦   ♦   ♦   ♦   ♦   ♦   ♦

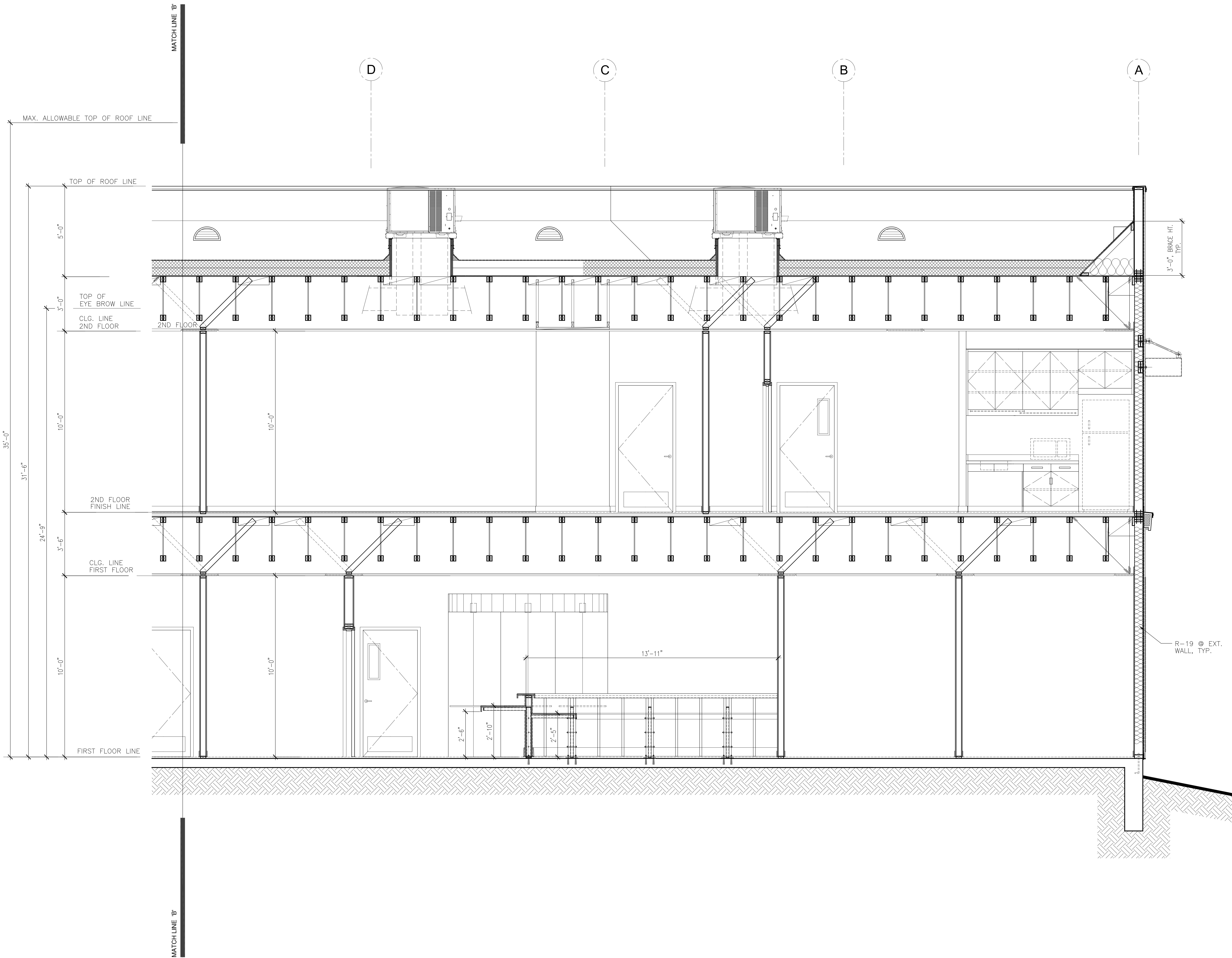
---

ALABAMA ♦ ARIZONA ♦ CALIFORNIA ♦ GUAM  
HAWAII ♦ NORTH CALIFORNIA ♦ TEXAS

BUILDING SECTION  
B - B

## A 8.3

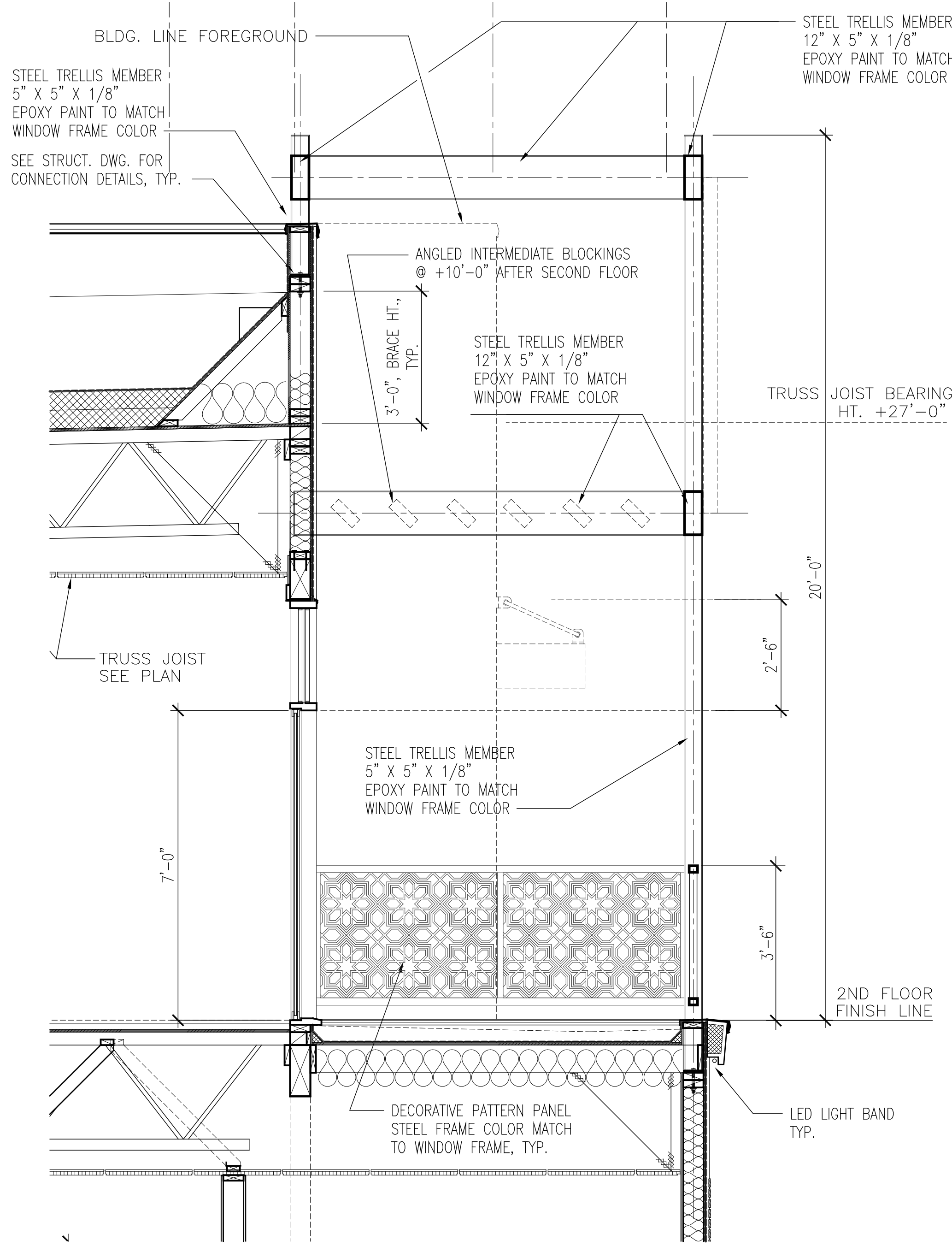
THE ABOVE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, DISCLOSED, DISTRIBUTED, SOLD, PUBLISHED, OR USED WITHOUT THE PRIOR WRITTEN CONSENT OF AND APPROPRIATE COMPENSATION TO THE ARCHITECT. VISUAL CONTACT WITH THE ABOVE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



BUILDING SECTION B - B

SCALE	1
1/2" = 1'-0"	





TRELLIS ELEVATION / SECTION

SCALE  
1/2" = 1'-0"

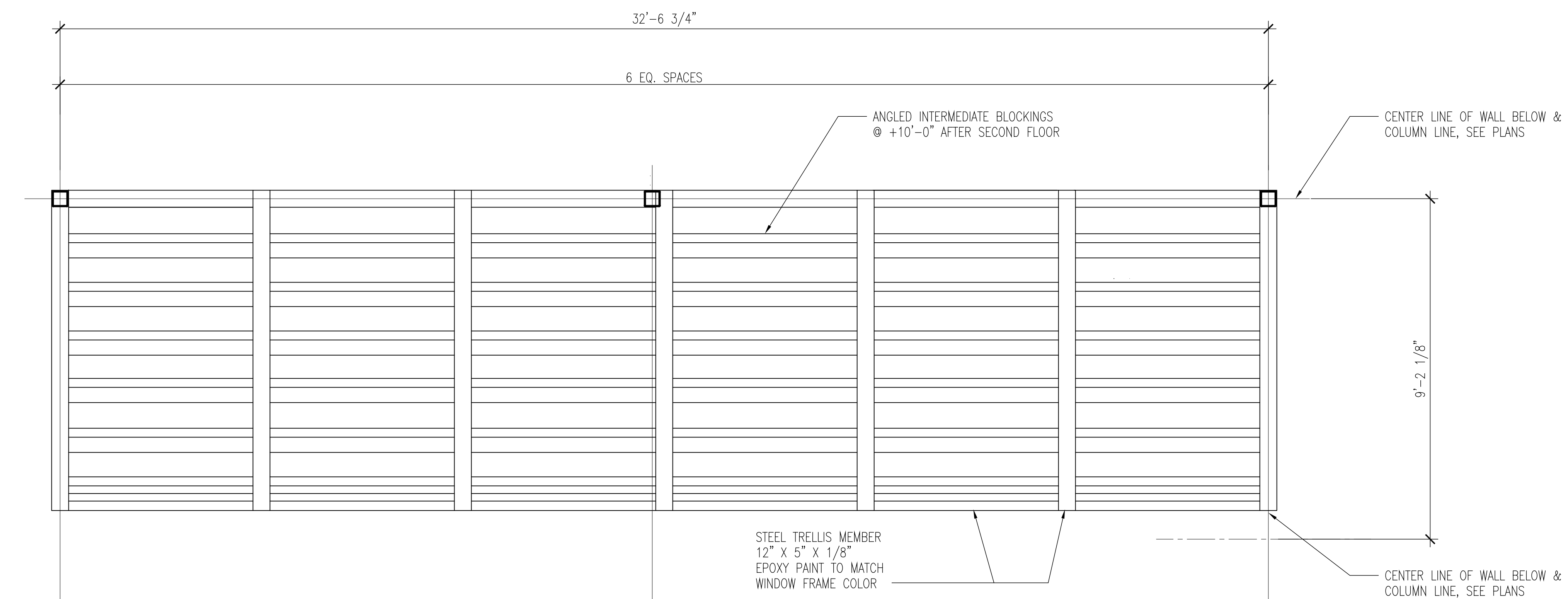
4



TRELLIS ELEVATION

SCALE  
1/2" = 1'-0"

2



TRELLIS PLAN

SCALE  
1/2" = 1'-0"

3

SCALE  
1/2" = 1'-0"

1

Issuance / Revisions

No.	Date	Description
3-27-2023		CUP APPLICATION
8-7-2023		CUP RE-SUBMITTAL 2ND
9-25-2023		CUP RE-SUBMITTAL 3RD

Project Name :

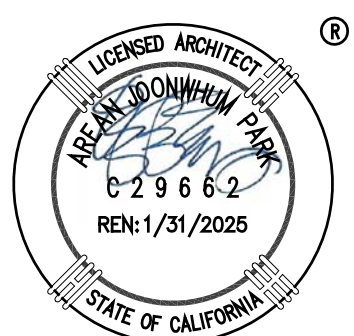
SECOND STORY  
ADDITION FOR  
**align** SPINE  
CENTER

721 EAST IMPERIAL HIGHWAY  
BREA, CALIFORNIA 92821

Consultants

CUP 23-05 & PD 23-02

Seal



Architect



714 990 1200  
areanplusinc@gmail.com  
3611 EVE CIR., #A, JURUPA VALLEY, CA 91752

NCARB CERTIFIED  
ALABAMA • ARIZONA • CALIFORNIA • GUAM  
HAWAII • NORTH CAROLINA • TEXAS

Drawing Description

TRELLIS DETAILS

Project No. 2022-09-21 Sheet No.

A 10.3

THE ABOVE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, DISSEMINATED, ESTIMATED, SCALE, PUBLISHED, OR USED WITHOUT THE PRIOR WRITTEN CONSENT OF AND APPROPRIATE COMPENSATION TO THE ARCHITECT. VISUAL CONTACT WITH THE ABOVE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.







# PROJECT APPLICATION

## GENERAL INFORMATION REQUIRED: *(Print or Type)*

Name of Proposed Project: California Spine Institute, LLC.

Location of Project *(Address Required)*: Legal Description of Project Location *(Assessor's Parcel No.)*:

721 E. Imperial Hwy., Brea, CA 92821 319-312-25

## APPLICANT INFORMATION:

Applicant's Name: Raed Ali & Eric Lin Phone: 714-474-3367, 714-331-7950

Email: raedalimd@gmail.com, ericloulin@gmail.com

Address: 2720 N. Harbor Bl., #210

City: Fullerton

Zip Code: 92835

## TRUST ACCOUNT OWNER: *(see page 4 before completing)*

Individual Financially Responsible for the Project:

Address: 2720 N. Harbor Bl., #210

City: Fullerton

Zip Code: 92835

Email: raedalimd@gmail.com

Phone: 714-331-7950

## PROJECT CONTACT PERSON:

Contact Person: Areean Park, Architect

Phone: 714-990-1200

Email: arean@arean.us

## STAFF USE ONLY

Accela Record Number: PLN-2023-00030

Project Manager: CN

Entitlement File Number(s):

PD 2023-02

CUP 2023-05

Related Files:

## SUBMITTAL INFO:

Date Time Received:

Received by:

Deposit Received: ✓

CN



**PROJECT INFORMATION:** (Print or Type)

Zoning Designation: C-G

General Plan Designation: General Commercial

Existing Use: Retail / professional office

Proposed Use: Professional office

Type of Development:

☐ Residential☒ Commercial☐ Industrial☐ Mixed-Use

Lot Size (square feet): ±17,982

Lot Width: 146 Ft.

Lot Depth: 122 FT AVERAGE.

Existing Floor Area (square feet):  
± 3,580 SF

Existing FAR: 20 %

Existing Lot Coverage: 22 %

Proposed No. of Stories: 2

Proposed Building Height: 35'

Existing Parking Stalls: 18.

Proposed Parking Stalls: 19 STALLS

**Project Description:** The project description should include a detailed description of demolition, on-site improvements, proposed use & operations, e.t.c. In addition, please describe all building material and color as well as description of signage and their location. Please provide a separate PDF attachment labeled "Project Description if more space is needed.

☒ Check if project description is attached.**TYPE OF REVIEW REQUESTED:** select all that applyPlanning Commission/City Council

- |  |  |  |
|--|--|--|
| <input checked="" type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Planned Community                   | <input type="checkbox"/> Historic Designation                |
| <input type="checkbox"/> Development Agreement             | <input checked="" type="checkbox"/> Precise Development Plan | <input type="checkbox"/> Zone Change                         |
| <input type="checkbox"/> General Plan Amendment            | <input type="checkbox"/> Temporary Trailer                   | <input checked="" type="checkbox"/> <del>Zone Variance</del> |
| <input type="checkbox"/> Certificate of Compatibility      | <input type="checkbox"/> Other _____                         | <input type="checkbox"/> Other _____                         |

Administrative/Community Development Director

- |  |  |                                      |
|--|--|--------------------------------------|
| <input checked="" type="checkbox"/> <del>Administrative Remedy</del> | <input type="checkbox"/> Large Family Day Care | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Certificate of Compatibility                | <input type="checkbox"/> Plan Review           |                                      |

## PROPERTY OWNER INFORMATION & AUTHORIZATION

Legal Owner's Name (as listed in the Orange County Assessor's records):

Raed Ali and Eric Lin (California Spine Institute, LLC)

Address:

2720 Harbor Bl., #210

City: Fullerton

State: CA

Zip Code: 92835

Home/Office Phone:

714-906-2009


Cell Phone:

714-474-3367

Email:

raedalimd@gmail.com

I hereby certify under penalty of perjury under the laws of the State of California that I am the owner(s) of the subject property, or have been authorized to sign on behalf of the property owner, and consent to the filing of this application on the above referenced property. **If the owner did not sign below, a letter of authorization is required.**

By:  Date: **4-8-23**  
(Signature)

By: **Raed Ali**  
(Printed Name)

## PROPERTY OWNER REPRESENTATIVE – (ARCHITECT, ENGINEER, CONTRACTOR, CONSULTANT)

Name(s): Arian Park, Architect

Address: 3611 Eve Cir., #A

City:

Jurupa Valley

State:

CA

Zip Code:

91752

Home/Office Phone:

714-990-1200

Cell Phone:

714-401-2656

Email:

arean@arean.us



## TRUST ACCOUNT OWNER INFORMATION

All project applications require the specified minimum deposit to a Trust Account. Additional funds and/or subsequent deposits may be required depending upon the specified project and level of staff time necessary. All unused funds will be reimbursed following the completion of project and/or review. Staff time devoted to your project will be billed according to our [Development Processing Fees](#). The necessary staff time will vary according to the complexity of the project and may include, initial review and ongoing project processing by City staff including, but not limited to:

- Reviewing plans / submittal packages.
- Routing plans to, and communicating with other city staff and outside agencies.
- Researching documents relative to site history and site visits/inspections.
- Consulting with applicant and other interested parties (e.g. neighbors, adjacent property or business owners) in person or by phone.
- Preparing environmental documents, staff reports, presentations, and resolutions.
- Preparing pertinent maps, graphs and exhibits.
- Attending meetings / public hearings before the Planning Commission / City Council.
- Review of tentative maps and improvement plans by City staff.
- On-site inspections of the project by City staff.
- Consultant services

## STATEMENT OF UNDERSTANDING AND AGREEMENT

I understand that my initial deposit is a retainer and not a fee. This deposit will be used to set up an account, against which fees shall be charged based on the hourly rate listed in the City fee schedule in effect at the time the work is performed. I understand that should the costs exceed the deposit, I will be billed monthly for any additional deposit amount intended to cover future charges. If I fail to pay the fees when due, I understand approximately that the City will stop working on the application. If the final costs are less, the unused portion of the deposit will be returned to me approximately 60 days after the conclusion of the process or final inspection of the completed project, whichever occurs later.

As the trust account owner, I assume full financial responsibility for all costs incurred by the City in processing this application(s).

**BY SIGNING BELOW, I HEREBY CONSENT THAT I UNDERSTAND THE MATTERS AS DESCRIBED ABOVE AND AGREE TO THE TERMS. I HEREBY FURTHER REPRESENT THAT I HAVE AUTHORITY TO BIND MY BUSINESS BY SIGNING ON ITS BEHALF.**



4/9/23

Trust Account Owner's Signature

Date

Raed Ali (partner for California Spine Institute,  
LLC)

Trust Account Owner Printed Name

Staff Use Only

ACCELA RECORD NUMBER:

TRUST ACCOUNT NUMBER:



**DESIGN PROFESSIONAL OR OWNER OF THE COPYRIGHT IF DIFFERENT (OPTIONAL)**

Name(s): AREAN PARK

Email: areanplusinc@gmail.com Phone: 714-990-1200

Address: 36542 GERANIUM DR.

City: LAKE ELSINORE State: CA Zip Code: 92532

**AUTHORIZATION TO REPRODUCE PROJECT PLANS- Gov. Code § 65103.5(f)(2)**

I hereby grant permission for the City of Brea to provide the project plans for inspection as a part of the public record, to copy for members of the public, and post the plans online. This permission shall be constituted as the permission for architectural drawings that contain a copyright annotation and are protected by the federal Copyright Act of 1976 (Government Code Section 65103.5(f)(2)).

By: [Signature] Date: 11/20/23  
(Signature)

By: AREAN PARK  
(Printed Name)



## TECHNICAL MEMORANDUM

**TO:** For Submittal to CITY OF BREA

**FROM:** Bryan Crawford, Giancarlo Ganddini  
GANDDINI GROUP, INC.

**DATE:** November 15, 2023

**SUBJECT:** Parking Analysis for the 721 East Imperial Highway Project  
Project No. 19516

---

Ganddini Group, Inc. is pleased to provide this Parking Analysis for the proposed 721 East Imperial Highway Project located on the northwest corner of South Poplar Avenue and East Imperial Highway, addressed 721 East Imperial Highway, in the City of Brea, California. The project location map is shown on Figure 1.

The proposed Project involves expansion and occupancy of an existing approximately 3,580 square foot commercial office building with a proposed orthopedic surgery facility ["Project"]. The proposed project involves expansion of the existing building to a total of 8,723 square feet. The project site plan is shown on Figure 2.

### PROJECT DESCRIPTION

The proposed Project involves redevelopment of an existing commercial office building with a proposed orthopedic surgery facility located at 721 East Imperial Highway, in the City of Brea, California. The total square footage of the building is proposed to be expanded to 8,723 square feet. This parking analysis has been prepared to determine if the existing parking supply of 19 on-site parking spaces is adequate to service the proposed expansion.

The redeveloped facility at 721 East Imperial Highway is proposed as a subspecialty medical office space with multiple services provided. The facility will be open Monday to Friday from 8:00 AM to 5:00 PM. Peak hours are anticipated to be on Monday, Tuesday, and Thursday from 9:00 AM to 11:00 AM and 2:00 PM to 4:00 PM. The average number of staff/providers within the facility on a typical day is between 4-6 employees.

On a typical day staff may include one (1) administrator, two (2) medical assistants, one (1) physician, one (1) physician's assistant or nurse practitioner, and one (1) XRAY/MRI technician.

The project applicant has another satellite office in the City of Irvine (113 Waterworks Way, Suites 225 & 240, Irvine, CA 92618) where staff/providers will also be occasionally working from throughout the week and where patients will also be seen. The following services will be offered: Patient Evaluation by Physician and Mid-Level Providers, Diagnostic Imaging (X-RAYS, Fluoroscopy, DEXA, CT, MRI), Interventional Pain Procedures (Epidural Steroid Injections, Facet Joint Injections, Disc Injections, Joint Injections, Kyphoplasty, PRP, and Stem Cell Injections, etc.), along with related medical/surgical services.

This orthopedic practice has transformed operations permanently due to the COVID-19 pandemic. Staffing, workflow, and patient traffic has been transformed relative to pre-pandemic conditions. The basic practice makeup is that there are two Orthopedic Spine Surgeon Partners that each work in the office 1-2 days per week. The other 3-4 days per week they work at local hospitals and surgery centers performing surgeries and other types of procedures. The days they are in the facility they evaluate patients for their spine, pain, and other medical conditions.

During the COVID-19 pandemic, this practice, like many other medical practices, were required to see patients remotely via telemedicine (Zoom, Microsoft Teams, etc.). Therefore, vehicular traffic to their facility diminished greatly as did the number of vehicles parked on-site at any time. Typical daily operations only included staff on-site as well as the occasional patient that required an in-office procedure.

During the pandemic amongst both staff and patients, a realization occurred that a major convenience, efficiency, and mutual benefit was present when evaluating patients via telemedicine. Post-pandemic, 50-60% of patient evaluations are conducted via telemedicine, not requiring in-person patient evaluation. This has decreased on-site traffic flow by more than 50% of their historical averages. A portion of staff (about one-third) work remotely from a satellite office or home, as they are not required to be physically present to perform their work duties. Additionally, since the two Partners are only in the office 1-2 days a week, traffic flow and parking needs from staff and patients have decreased as a result of post-pandemic business operations.

The facility is planning to provide many types of services to offer patients when the services are required. For about 90% of their patients, the practice can provide recommendations and order services (such as surgeries or chiropractic/acupuncture/physical therapy at outside facilities without them needing to come to the facility). The other 10% of patients may require services that they provide in-office, such as Interventional Pain Injections and DEXA Scans.

The plan is for more than half of the medical office space to be utilized for procedural rooms, a therapy gym, diagnostic imaging equipment space, and office space. These services require ample square footage and combined would be utilized less than 50% of the time during open office hours. When utilized (not simultaneously) only two people (one patient and one provider) would be in these spaces for approximately 30 minutes at a time. Including the total medical office space, no more than 10 patients are expected to be on-site at any given time, per the project applicant.

To accommodate for ample space for the services being provided with ample space for staff, providers, and patients, the project applicant would like to expand the facility from 3,580 square feet to 8,723 square feet.

## **CITY OF BREA PARKING REQUIREMENTS**

The City of Brea Municipal Code off-street parking requirements are included in Appendix A. Municipal Code Section 20.08.040 specifies that "medical services, clinics/offices" shall provide five and one half (5.5) parking spaces per one thousand (1,000) square feet. This equates to one parking space per 181.82 square feet. It is noted that the City of Brea Municipal Code requirements for medical clinic/office land uses cover a wide range of medical uses and are therefore not necessarily representative of the proposed subspecialty use for orthopedic surgery practice.

Table 1 shows the off-street parking requirements. As shown in Table 1, an 8,723 square foot general medical clinic/office facility would require 48 parking spaces based on City of Brea Municipal Code off-street parking requirements.



## PARKING DEMAND SURVEYS FOR MEDICAL SURGERY CENTERS

Two comparable orthopedic surgery facilities, both consisting of outpatient medical surgery uses, in the County of Orange were evaluated to develop a more representative peak parking demand ratio for the proposed project. It is noted that the applicant's existing facility in the City of Irvine is located within a multi-tenant office building with shared parking and mix of tenants that makes the facility unsuitable for accurately measuring the parking demand associated solely with the applicant's business. The two survey locations are shown on Figures 3 and 4:

- 26921 Crown Valley Parkway, Mission Viejo, CA 92691
  - An approximately 14,475 square foot orthopedic surgical building containing at least one orthopedic surgery tenant (Orange County Orthopedic Center).
- 16611 – 16615 Yorba Linda Boulevard, Yorba Linda, CA 92886
  - An approximately 6,370 square foot medical building containing multiple orthopedic surgery tenants.

The parking demand at each location was derived from parking counts taken in 15-minute intervals from 9:00 AM to 5:00 PM on Tuesday, May 24, 2022. These parking counts are included in Appendix B.

Table 2 shows the number of regular and disabled parking spaces occupied at each location in 15-minute intervals within the surveyed period. As shown in Table 2, parking demand surveys of comparable orthopedic surgery facilities in the County of Orange resulted in an average peak parking demand of 2.08 parking spaces per thousand square feet.

## PROJECT PARKING DEMAND ANALYSIS

Table 3 shows the maximum proposed expansion potential for the project site based on the peak parking demand rate calculated from the parking counts at comparable outpatient surgery centers. As shown in Table 3, the project site currently provides 19 on-site parking spaces. The peak parking demand ratio of 2.08 parking spaces per thousand square feet results in an expected peak parking demand of 19 parking spaces for the proposed expansion to 8,723 square feet of gross floor area; therefore, the existing on-site parking supply of 19 parking spaces is expected to be sufficient.

## PARKING DEMAND COMPARISON

Table 4 shows a parking demand comparison for the project site with and without the requested exemption. The parking demand without the exemption is based on City of Brea Municipal Code off-street parking code requirements for general medical clinic/office and equates to a total of 48 parking spaces required. The parking demand with the exemption is based on empirical data for the more specific subspecialty use of an orthopedic surgery facility and equates to a total of 19 parking spaces.

## CONCLUSION

Parking demand surveys of comparable outpatient orthopedic surgery uses in the County of Orange resulted in an average peak parking demand of 2.08 parking spaces per thousand square feet.

The peak parking demand ratio of 2.08 parking spaces per thousand square feet results in an expected peak parking demand of 19 parking spaces for the proposed expansion to 8,723 square feet of gross floor area; therefore, the existing on-site parking supply of 19 parking spaces is expected to be sufficient.

CITY OF BREA  
November 15, 2023

It has been a pleasure to assist you with this project. Should you have any questions or if we can be of further assistance, please do not hesitate to call at (714) 795-3100.

Sincerely,

GANDDINI GROUP, INC.  
Bryan Crawford | Senior Associate  
Giancarlo Ganddini, PE, PTP | Principal



**Table 1**  
**Off-Street Parking Requirements**

Land Use	Quantity	Units <sup>1</sup>	Parking Code Requirement <sup>2</sup>	Parking Spaces
Proposed Use: Medical Services, Clinics/Offices	8,723	SF	5.5 Spaces : 1,000 SF	48

Notes:

1. SF = Square Feet
2. Source: City of Brea Municipal Code Section 20.08.040.



**Table 2**  
**Parking Demand Survey Data for Orthopedic Surgery Facilities**

Time	Number of Occupied Parking Spaces					
	26921 Crown Valley Parkway, Mission Viejo, CA 92691			16611 - 16615 Yorba Linda Boulevard, Yorba Linda, CA 92886		
	Regular	Disabled	Total	Regular	Disabled	Total
9:00 AM - 9:15 AM	22	0	22	10	0	10
9:15 AM - 9:30 AM	23	0	23	11	0	11
9:30 AM - 9:45 AM	27	0	27	12	0	12
9:45 AM - 10:00 AM	30	1	31	10	0	10
10:00 AM - 10:15 AM	31	1	32	10	0	10
10:15 AM - 10:30 AM	32	1	33	9	0	9
10:30 AM - 10:45 AM	33	0	33	10	0	10
10:45 AM - 11:00 AM	24	0	24	9	0	9
11:00 AM - 11:15 AM	19	0	19	8	0	8
11:15 AM - 11:30 AM	20	0	20	6	0	6
11:30 AM - 11:45 AM	19	1	20	8	1	9
11:45 AM - 12:00 PM	18	0	18	9	1	10
12:00 PM - 12:15 PM	16	0	16	8	1	9
12:15 PM - 12:30 PM	15	0	15	7	1	8
12:30 PM - 12:45 PM	19	0	19	5	1	6
12:45 PM - 1:00 PM	16	0	16	6	1	7
1:00 PM - 1:15 PM	15	0	15	5	1	6
1:15 PM - 1:30 PM	12	0	12	7	0	7
1:30 PM - 1:45 PM	11	1	12	6	0	6
1:45 PM - 2:00 PM	8	0	8	5	0	5
2:00 PM - 2:15 PM	9	0	9	5	0	5
2:15 PM - 2:30 PM	9	0	9	5	0	5
2:30 PM - 2:45 PM	9	0	9	6	0	6
2:45 PM - 3:00 PM	8	0	8	6	0	6
3:00 PM - 3:15 PM	8	0	8	6	1	7
3:15 PM - 3:30 PM	6	0	6	7	1	8
3:30 PM - 3:45 PM	6	0	6	5	1	6
3:45 PM - 4:00 PM	6	0	6	4	1	5
4:00 PM - 4:15 PM	6	0	6	3	0	3
4:15 PM - 4:30 PM	8	0	8	3	0	3
4:30 PM - 4:45 PM	7	0	7	2	0	2
4:45 PM - 5:00 PM	5	0	5	2	0	2
Maximum	33	1	33	12	1	12
Gross Floor Area (Thousand Square Feet) <sup>1</sup>	14.475			6.370		
Peak Parking Demand Per Thousand Square Feet	2.28			1.88		
Average Peak Parking Demand Per Thousand Square Feet	2.08					

Notes:

(1) Building square footage obtained from LoopNet for 26921 Crown Valley Parkway, Mission Viejo

**Table 3**  
**Expected Project Peak Parking Demand with Expansion**

Descriptor	Quantities <sup>1</sup>
Number of Parking Spaces Provided	19
Gross Floor Area (Thousand Square Feet)	8.723
Peak Parking Demand Rate for Orthopedic Surgery Facilities (Spaces per Thousand Square Feet) <sup>1</sup>	2.08
Minimum Number of Parking Spaces Necessary to Accommodate Peak Parking Demand	19

Notes:

(1) See Table 2.

**Table 4**  
**Parking Demand Comparison**

<b>Project Quantities</b>	
Number of Parking Spaces On-Site	19
Gross Floor Area (Thousand Square Feet)	8.723
<b>Parking Requirements Without Exemption</b>	
City of Brea Parking Code Requirements for General Medical Clinic/Office (Parking Spaces per Thousand Square Feet)	5.5
Total Number of Parking Spaces Required for General Medical Office Use	48
<b>Parking Requirements With Exemption</b>	
Peak Parking Demand Rate for Orthopedic Surgery Facilities (Spaces per Thousand Square Feet) <sup>1</sup>	2.08
Minimum Number of Parking Spaces Necessary to Accommodate Peak Parking Demand	19

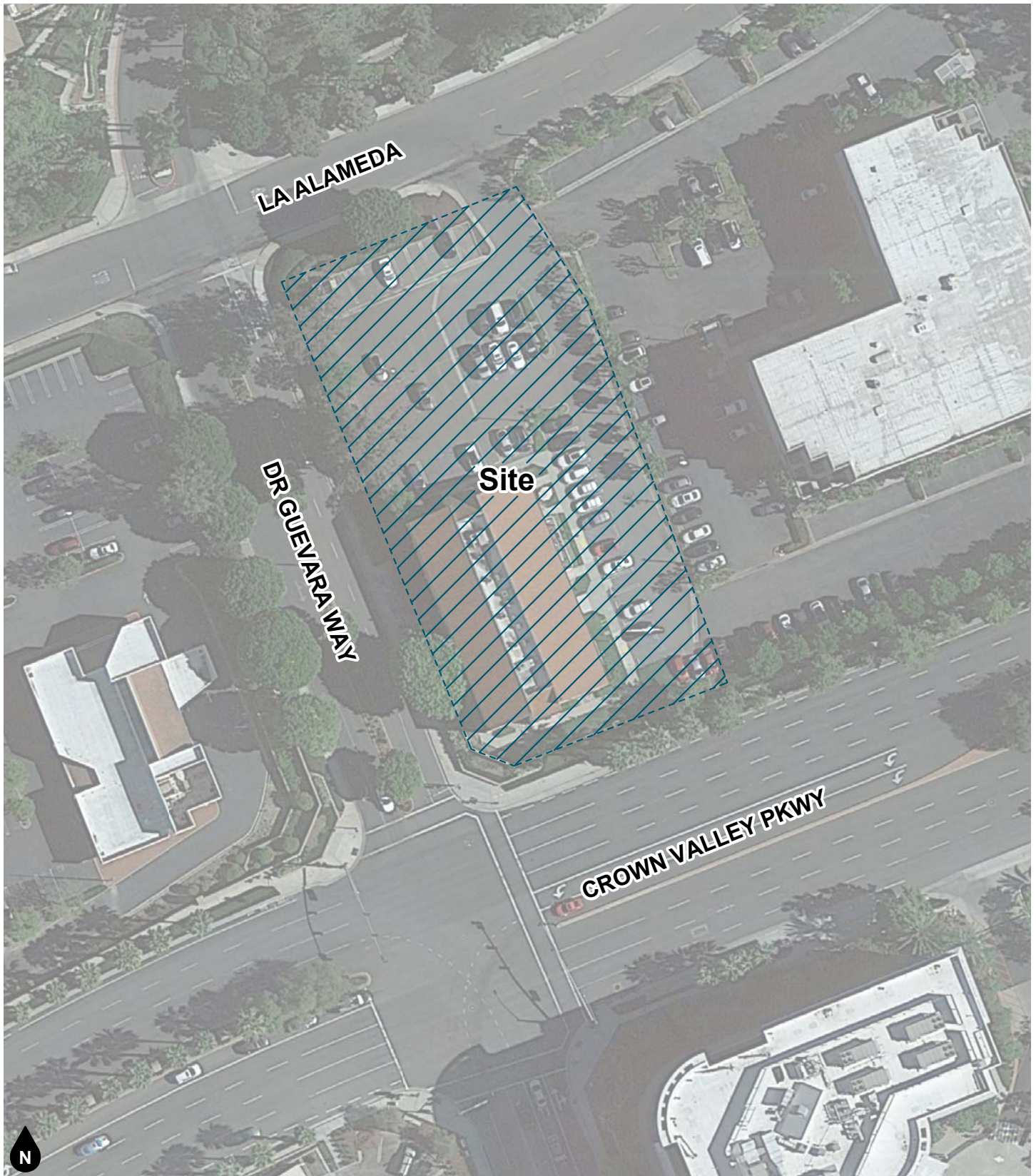




**Figure 1**  
**Project Location Map**







**Figure 3**  
**26921 Crown Valley Parkway, Mission Viejo, CA 92691 Facility**





**Figure 4**  
**16611 - 16615 Yorba Linda Boulevard, Yorba Linda, CA 92886 Facility**

**APPENDIX A**

**CITY OF BREA MUNICIPAL PARKING CODE**

## § 20.08.040 OFF-STREET PARKING AND LOADING.

A. *Intent and purpose.* These regulations are established to provide for on-site maneuvering and parking of motor vehicles that are attached to and generated by land uses within the city. The parking requirements contained herein are assumed to be minimums only. It is the responsibility of the developer, owner or operator of any specific use to provide adequate off-street parking and maneuvering facilities. The following requirements are designed to lessen traffic congestion and contribute to public safety by providing sufficient on-site parking facilities.

### B. *General requirements.*

#### 1. *Application.*

a. These standards shall apply when:

- (1) A main building is constructed.
- (2) An existing building is enlarged for any purpose.
- (3) The occupancy or use of any premises is changed to a different use or occupancy.

b. Parking (or additional parking) to meet the requirements of this section shall be provided for:

(1) An existing building that is enlarged.

(2) When the category of use listed in paragraph D. of this section is changed to a different category of use.

c. Where insufficient parking is serving a building or use existing at the time this zoning code became effective, said building may be enlarged only if adequate parking is provided for the total building in accordance with the requirements of this section. If the category of use is listed in paragraph D. of this section, changes to a category of use which requires more parking stalls, additional parking stalls must be provided meeting all requirements of this section.

#### 2. *Location.*

a. All required parking spaces and garages shall be located on the same lot, or the same building site in the case of a shopping center. Where a parking lot owned by the city is located within four hundred (400) feet of the front door or main entry of the building, parking requirements listed in paragraph D. of this section may be reduced as determined by the Development Services Director.

b. All required parking spaces shall be located not more than two hundred (200) feet from the building or use to be served. Buildings with floor area in excess of ten thousand (10,000) square feet shall be exempt from this requirement except that all required parking shall be located on the same or contiguous lots.

c. All required parking spaces for individual tenants of shopping centers, shall have his or her required parking within a two hundred (200) foot radius of the main entrance. Parking immediately in front of a tenant space, if not required for fire access, may be reserved for customers of that tenant.

3. *Computation of required parking.* Whenever the computation of the number of off-street parking spaces required by this section results in a fractional parking space, one (1) additional parking space shall be required for one-half ( $\frac{1}{2}$ ) or more fractional parking space, and any



fractional space less than one-half ( $\frac{1}{2}$ ) of a parking space shall not be counted.

a. All access to a parking area from a public street, alley or highway shall be designed so that motor vehicles leaving the driveway or parking area will enter the highway traveling in a forward direction. This shall not apply to single family subdivisions, or multiple family residential properties serving four (4) units or less.

b. The parking area shall be designed so that a vehicle within the parking area will not have to enter a public street to move from one location to any other location within the parking area.

c. Vehicular access to arterial streets and highways will be permitted only in accordance with driveway locations and access design to be approved by the Traffic Engineer of the city.

4. *Surfacing.* All parking spaces, driveways, and maneuvering areas shall be paved and permanently maintained with asphaltic concrete or cement concrete, with a structural section to be approved by the City Engineer.

5. *Striping.* All parking stalls and directional arrows and instructions shall be delineated with paint, as required by the Traffic Engineer.

### C. *Design.*

#### 1. *Maximum grades permitted.*

a. Entrance - four (4) or less dwelling units. The driveway or accessway shall have a maximum grade of plus fifteen percent (+15%) or minus six percent (-6%) measured along the driveway centerline, for a distance of not less than twenty (20) feet from the ultimate right-of-way line of the street or alley.

b. Entrance - five (5) or more dwelling units, industrial, commercial, office and parking areas serving buildings or recreation areas owned or operated by any governmental agency. The driveway or accessway shall have a maximum grade of plus fifteen percent (+15%) or minus two percent (-2%), measured along the driveway centerline, for a distance not less than twenty (20) feet from the ultimate right-of-way line of the street or alley.

c. *Parking spaces.* All parking spaces and abutting access aisle shall have a maximum grade of five percent (5%), measured in any direction.

d. *Interior driveways.* Ramps or driveways within the interior of a parking area (beyond twenty (20) feet from ultimate right-of-way line) shall have a maximum grade of twenty percent (20%). If such a ramp or driveway exceeds ten percent (10%), the ramp or driveway design shall include transitions (at each end of the ramp) not less than eight (8) feet in length, having a slope equal to one-half ( $\frac{1}{2}$ ) the ramp or driveway slope.

#### 2. *Parking spaces.*

a. All parking stalls shall be double or "hairpin" striped. (*Please see Diagram "A" in the Appendix following this chapter.*)

#### b. *Sizes.*

##### (1) Perpendicular or angular stalls.

##### (a) *Residential.*

(i) Covered - ten (10) feet wide by twenty (20) feet long (interior clear dimension to be nine (9) feet wide by nineteen (19) feet long), minimum seven (7) feet height clearance.

(ii) Uncovered - nine (9) feet wide by nineteen (19) feet long.

(b) *Commercial and office uses and community facilities.* Nine and one-half (9½) feet wide by nineteen (19) feet long, minimum eight (8) feet height clearance.

(c) *Industrial uses.* Nine (9) feet wide by nineteen (19) feet long.

(2) *Parallel stalls.* Eight (8) feet wide by twenty-three (23) feet long.

(3) *Handicapped stalls.* Nine (9) feet wide by nineteen (19) feet long with a minimum five (5) foot ramp at the side and front of the stall.

(4) Compact stalls shall be a minimum of eight (8) feet wide by sixteen (16) feet long.

(a) Compact stalls may be permitted in multiple family residential projects of five (5) or more units in accordance with the provisions of this paragraph C.

(b) Compact stalls may be permitted in commercial and industrial projects requiring a minimum of forty (40) parking spaces in accordance with the following conditions:

(i) A maximum of fifteen percent (15%) of the required number of parking spaces may be compact stalls.

(ii) The maximum number of compact parking stalls may be increased upon approval of a conditional use permit, but in no event shall the number of compact stalls exceed thirty percent (30%).

(iii) Each compact stall approved hereunder shall be individually designated as a compact stall per the City of Brea Public Works Standards.

(c) All parking areas containing compact stalls shall be approved by the Development Services Director and the City Traffic Engineer.

(5) *Overhang.* Parking stall lengths, except parallel spaces, may be reduced by two (2) feet [seventeen (17) feet for standard size stalls; fourteen (14) feet for compact stalls] where the front of the parking stall abuts a landscaped area or sidewalk which is a minimum of four (4) feet clear. Said landscape area shall be enclosed with a minimum of six (6) inch high curb and no trees or shrubs shall be planted in the two (2) foot reduced area.

c. *Locations.*

(1) The point of exit or entry from any off-street parking space shall not be closer than fifteen (15) feet from the ultimate right-of-way line of a street and five (5) feet in the case of an alley.

(2) Industrially zoned facilities on arterial streets and commercially zoned facilities providing parking for fifty (50) or more vehicles shall be designed with access driveways which shall not be intersected by a parking aisle, parking space, or another access driveway for a minimum distance of fifty (50) feet from the street right-of-way line. (*Please see Diagram "C" in the Appendix following this chapter.*)

(3) Required off-street parking in residential zones shall not be provided in areas required for ingress and egress to other parking spaces; no tandem parking is permitted, except with properties associated with an accessory dwelling unit pursuant to the standards as set forth in Section 20.208.040 of this title.

(4) Off-street parking spaces when located below living quarters shall be provided in garages.

### 3. *Driveways and parking aisles.*

#### a. *Driveway approaches (curb cuts).*

##### (1) *Residential.*

(a) One way - sixteen (16) feet minimum, twenty-four (24) feet maximum.

(b) Two way - twenty-four (24) feet minimum, forty (40) feet maximum.

##### (2) *Commercial/Office/Industrial.* Refer to City of Brea Public Works Standards 210-A.

b. *Access driveways.* Access driveways shall have a minimum width of twenty-eight (28) feet. Access driveways are defined as those that provide access into and through a parking area from a street access point providing access to the parking aisles, and those driveways providing interior circulation between parking areas. *(Please see Diagram "C" in the Appendix following this chapter.)*

c. *Parking aisles.* Parking aisles are defined as driveways which have parking spaces taking access from either or both sides and which are intended primarily to provide direct access to parking spaces. Parking aisles shall be designed in accordance with Diagrams "A" and "B" in the Appendix following this chapter.

4. *Screening.* Open parking spaces and parking structures shall be screened with a solid wall, mounded landscaping or evergreen shrubs of not less than three (3) feet nor more than three and one-half (3½) feet in height whenever such parking is adjacent to a street right-of-way. Walls shall be located adjacent to the inside edge of any required boundary landscaping and to the outside edge of the paved parking area when there is no landscaping. When evergreen shrubs are used as a screen they shall be planted in quantity and location so as to form a screen which is a minimum of seventy-five percent (75%) opaque within eighteen (18) months after installation. It shall be the responsibility of the owner to maintain such shrubbery so that it does not exceed three and one-half (3½) feet in height, nor encroach into limited use areas outlined in § 20.08.060 of this chapter.

### 5. *Lighting.*

a. All off-street parking areas within commercially zoned projects shall be provided with exterior lighting meeting the following minimums:

(1) The equivalent of one (1) foot candle of illumination shall be maintained on the average throughout the parking area.

(2) All lighting shall be on a time-clock or photo-sensor system.

(3) All lighting shall be designed to confine direct rays to the premises. No spillover beyond the property line shall be permitted.

(4) Parking lot luminaries shall be high pressure sodium vapor with ninety degree (90°) horizontal cut-off flat lenses.

b. All off-street parking areas within industrially zoned areas shall meet all standards in paragraph C.5.a. of this section, except that the equivalent of three fourths (0.75) foot candle of illumination shall be maintained on the average throughout the parking area.

D. *Parking space requirements.* All land uses shall provide off-street parking in conformity with the requirements listed in Table 20.080.040.D, unless otherwise modified by the provisions contained herein. The term floor area used in the Table 20.080.040.D shall mean gross floor area.



<i>Use</i>	<i>Minimum Parking Stalls Required</i>
<i>Use</i>	<i>Minimum Parking Stalls Required</i>
<b>Residential</b>	
Accessory dwelling unit	<p>1 space required, which may be provided as tandem parking, including on a paved driveway; however, no parking shall be required if the accessory dwelling unit meets any of the following criteria:</p> <ul style="list-style-type: none"> <li>- The accessory dwelling unit is located within mile walking distance of, and has a path of travel that is always publicly accessible to, Public Transit. The mile distance shall be measured on actual walking routes between the Accessory Dwelling Unit and the public transit, rather than a straight line between points;</li> <li>- The accessory dwelling is located within an architecturally and historically significant district;</li> <li>- The accessory dwelling is part of the proposed or existing primary residence, or within, or part of, an existing accessory building;</li> <li>- When on-street parking permits are required but not offered to the occupant of the accessory dwelling; or</li> <li>- When there is a car-share vehicle located within one (1) block of the accessory dwelling unit.</li> </ul> <p>Note: (1) When a garage, carport, or covered parking structure is demolished or converted in conjunction with the construction of an accessory dwelling unit, any off-street parking spaces that were provided by such garage, carport, or covered parking structure are not required to be replaced.</p>
Accessory dwelling unit, junior	None required
Accessory buildings and structures	None required, except for the spaces required for the underlying use.
Caretakers unit	1 space per unit
Community care facility, small	Subject to the same parking requirement applicable to the residential dwelling unit of the same type in the same zone that the use occupies.
Dwelling, multi-family	<ul style="list-style-type: none"> <li>- Studio units: 1.5 spaces per unit, of which 1 space shall be located within a garage or a carport.</li> <li>- 1-bedroom units: 1.75 spaces per unit, of which 1 space shall be located within a garage or a carport.</li> <li>- 2-bedroom units: 2 spaces per unit, of which 1 space shall be located within a garage or a carport.</li> <li>- 3-bedroom and larger units: 2.5 spaces per unit plus 0.5 spaces for each bedroom in excess of 3, of which 2 spaces shall be located within a garage or a carport.</li> <li>- Guest spaces: If the development consists of 5 or more units, 0.2 covered or uncovered guest parking space</li> </ul>

	shall be provided per unit, in addition to the required number of parking spaces for each unit. A maximum of 25% of the required guest spaces may be of compact stalls.
Dwelling, single-family attached	2 covered parking spaces for each unit plus 0.5 covered or uncovered parking spaces for each dwelling unit for guest spaces.
Dwelling, single-family detached	2 covered parking spaces for each unit.
Employee housing	Subject to the same parking requirement applicable to the residential dwelling unit of the same type in the same zone that the use occupies.
Fraternity/sorority house	Subject to the same parking requirement applicable to the residential dwelling unit of the same type in the same zone that the use occupies.
Home occupations	None required, except for the spaces required for the underlying use.
Live/work units	Subject to the same parking requirement applicable to the residential dwelling unit of the same type in the same zone that the use occupies.
Mobile home parks	Same requirements as Dwelling, Multi-Family.
Room rental	None required, except for the spaces required for the underlying use.
Planned residential unit development	Subject to the same parking requirement applicable to the residential dwelling unit of the same type in the same zone that the development proposes
Senior living facility, small	Subject to the same parking requirement applicable to the residential dwelling unit of the same type in the same zone that the use occupies.
Supportive housing	Subject to the same parking requirement applicable to the residential dwelling unit of the same type in the same zone that the use occupies.
Transitional housing	Subject to the same parking requirement applicable to the residential dwelling unit of the same type in the same zone that the use occupies.
Two-unit development	<p>1 covered parking space per unit required; however, no parking shall be required if the development meets any of the following criteria:</p> <ul style="list-style-type: none"> <li>- The unit is located within mile walking distance of either a high-quality transit corridor, as defined in 21155(b) of the Cal. Public Resources Code, or a major transit stop, as defined in 21064.3 of the Cal. Public Resources Code. The mile distance shall be measured on actual walking routes between the unit and the high-quality transit corridor or a major transit stop, rather than a straight line between points;</li> <li>- When there is a car-share vehicle located within one (1)</li> </ul>

	block of the development.
<b>Non-Residential</b>	
Accessory buildings and structures	None required, except for the spaces required for the underlying use.
Adult entertainment business	1 space per 75 square feet of floor area up to 6,000 square feet plus 1 space per 55 square feet over 6,000 square feet, or 1 space per 3 seats, whichever is greater.
Agriculture, industrial	1 space per 2 acres of area used for agricultural operation plus required spaces for any additional accessory uses, as required by this Chapter.
Agriculture, limited	<ul style="list-style-type: none"> <li>- If accessory to a primary residential use: None required, except for the spaces required for the underlying use.</li> <li>- As a primary use: 2 spaces</li> </ul>
Agriculture, major	<ul style="list-style-type: none"> <li>- Agricultural Operation: 1 space for each employee during the largest shift plus 1 space per motor vehicle used in conjunction with the use.</li> <li>- Accessory Retail (e.g. roadside stands): 1 space per 200 square feet of the retail area</li> </ul>
Agriculture, minor	<ul style="list-style-type: none"> <li>- Agricultural Operation: 1 space for each employee during the largest shift plus 1 space per motor vehicle used in conjunction with the use.</li> <li>- Accessory Retail (e.g. roadside stands): 1 space per 200 square feet of the retail area</li> </ul>
Alcoholic beverage sale, off-sale	None required, except for the spaces required for the underlying use.
Alcoholic beverage sale, on-sale	None required, except for the spaces required for the underlying use.
Alcoholic beverages manufacturing	<ul style="list-style-type: none"> <li>- Manufacturing: 1 space per 500 square feet of floor area, which may include a maximum of 10% office space, plus 1 space per 250 square feet of office floor area that is in excess of 10%</li> <li>- Tasting or Tap Room and outside patios: 1 space per 35 square feet of floor area.</li> </ul>
Ambulance service	1 space per 250 square feet plus 1 space for each ambulances/emergency vehicle.
Animals, stable	1 space for every 5 horses kept on the premises plus the required spaces for any additional accessory uses, as required by this Chapter
Animals, ranch	1 space per 2 acres of area used for grazing plus required spaces for any additional accessory uses, as required by this Chapter.
Animals, boarding/kennel (commercial)	1 space per employee plus 1 space per 10 animals.



Animals, boarding/kennel (noncommercial)	None required, except the spaces required for the underlying use.
Animals, grooming and daycares	1 space per 250 square feet.
Animals, veterinary clinic/hospital	5.5 spaces per 1,000 square feet.
Auditoriums and meeting places	1 space per 3 fixed seats or 1 space per 35 square feet of the assembly areas without fixed seats.
Automated teller machines	2 spaces per machine. Notes: (1) No parking spaces are required when located on the exterior building wall of an existing business use, within the interior of any other type of business establishment, or when free-standing machines are located on properties developed with other retail or office uses. (2) No parking spaces are required for drive-up facilities.
Automotive, washing and detailing	Parking demand study required
Automotive, parking lots/structures	None required
Automotive, parts/supply sales	1 space per 200 square feet.
Automotive, repair (major)	1 space per 250 square feet.
Automotive, repair (minor)	1 space per 250 square feet.
Automotive, sales and leasing	1 space per 400 square feet.
Automotive, sales and leasing (limited)	1 space per 250 square feet.
Automotive, service stations	5 spaces plus 1 additional space for each service bay, if any.
Automotive, towing service	1 space per 250 square feet plus 1 space for each tow-truck to be parked at the site.
Automotive, recharging facilities	1 space per charging station
Bars and nightclubs	1 space per 7 square feet of dance floor area plus 1 per 35 square feet of assembly area.
Boarding house	1 space per bedroom, 1 space per each nonresident employee, plus 1 guest space. For purposes of this provision, "bedroom" means any room designed, intended or primarily used for sleeping purposes.
Borrow pit	Requires parking demand study.
Catering services	1 space per 250 square feet plus 1 space for each catering/food truck.
Cemetery	Requires parking demand study.
Clubs and lodges	1 space per 75 square feet.
Community care facilities, large	5.5 spaces per 1,000 square feet.
Community facilities, public	1 space per 300 square feet
Computer internet facilities	1 space per 200 square feet.
Convalescent and rest homes	5.5 spaces per 1,000 square feet.

Convenience stores and mini markets	1 space per 200 square feet.
Day care centers	1 space per 200 square feet of floor area designated for office and classroom use.
Drive-through facilities	<p>None required, except for the spaces required for the underlying use.</p> <p>Notes:</p> <p>(1) A use with a drive-through facility may include stacking credit for drive-through window on the basis of 1 car for every 23 lineal feet of striped stacking lanes. A maximum credit not to exceed 30% of the total required parking for the site or no more than 20 spaces for stacked credit, whichever is less.</p> <p>(2) Drive through lanes for a non-restaurant use shall provide a minimum of 115 feet per lane for required stacking space, as measured from the pick-up window, for each drive through lane.</p> <p>(3) Drive through lanes for any restaurant use, including a Drive-In, shall provide a minimum of 160 feet of stacking space, as measured from the pick-up window, for each drive through lane.</p>
Educational institution, general	<p>- 8th grade or lower: 1 space per classroom, plus 1 space per non-office employee, plus 1 space per 250 square feet of office use, plus parking required for assembly halls and auditoriums (see Auditoriums and Meeting Halls).</p> <p>- 9th grade or higher: 1 space per non-office employee, plus 1 space per 6 students, plus 1 space per 250 square feet of office use, plus parking required for assembly halls and auditoriums (see Auditoriums and Meeting Halls).</p>
Educational institution, trade	1 space per 35 square feet of floor area designated for instruction plus 1 space per 250 square feet of floor area designated for office use.
Educational institution, tutoring	1 space per 250 square feet.
Emergency shelter	1 space per staff member
Financial institution	1 space per 200 square feet
Garden centers and nurseries	1 space per 200 square feet.
Golf course	8 spaces per hole, 1 space per tee for driving ranges (if any), and required spaces for additional accessory uses (e.g. restaurant, bar, offices, etc.), as required by this Chapter.
Government facilities	1 space per 250 square feet.
Hazardous waste facility	Parking demand study required
Health/fitness center	1 space per 150 square feet
Helipads and heliports	Parking demand study required

Hotels	1 space per guest unit.
Industrial, limited	<ul style="list-style-type: none"> <li>- Wholesale: 1 space per 1,000 square feet, which may include up to 10% office space, 1 space per 250 square feet of office floor area that is in excess of 10%, plus 1 space per 250 square feet of sales area</li> <li>- Others: 1 space per 500 square feet, which may include up to 10% office space, plus 1 space per 250 square feet of office floor area that is in excess of 10%.</li> </ul>
Industrial, major	<ul style="list-style-type: none"> <li>- Warehouse/Storage/Wholesale: 1 space per 1,000 square feet, which may include up to 10% office space, plus 1 space per 250 square feet of office floor area that is in excess of 10%.</li> <li>- Others: 1 space per 500 square feet, which may include up to 10% office space plus 1 space per 250 square feet of office floor area that is in excess of 10%.</li> </ul>
Industrial, minor	<ul style="list-style-type: none"> <li>- Warehouse/Storage/Wholesale: 1 space per 1,000 square feet, which may include up to 10% office space, plus 1 space per 250 square feet of office floor area that is in excess of 10%.</li> <li>- Others: 1 space per 500 square feet, which may include up to 10% office space plus 1 space per 250 square feet of office floor area that is in excess of 10%.</li> </ul>
Industrial, outdoor operations	1 space per 500 square feet of lot area devoted to outdoor use, excluding parking areas and vehicular accessways, plus 1 space per 250 square feet of floor area for enclosed spaces used for administrative purposes (e.g. offices, employee lounge, etc.).
Industrial, outdoor storage yards	1 space per 3,000 square feet of lot area
Liquor stores	1 space per 200 square feet.
Massage establishments	1 space per 250 square feet
Medical services, clinics/offices	5.5 spaces per 1,000 square feet.
Medical services, equipment/laboratories	1 space per 250 square feet.
Medical services, hospitals	1.75 spaces per bed.
Mortuary	1 space per 3 fixed seats or 1 space per 25 square feet of assembly area, where there are no fixed seats.
Motels	1 space per guest unit.
Offices, administrative & professional	1 space per 250 square feet.
Oil and hydrocarbon activities	2 spaces per well
Parks, public	As determined by the City Planner
Personal services, general	1 space per 250 square feet
Personal services, limited	1 space per 250 square feet
Pharmacies/drug stores	1 space per 200 square feet



Recreation, indoor	<ul style="list-style-type: none"> <li>- Bowling Alleys: 4 spaces per lane</li> <li>- Billiard Halls: 2 spaces per table</li> <li>- Racquetball/Tennis: 3 spaces per court</li> <li>- Swimming Pools: 1 space per 500 square feet</li> <li>- Skating rinks (ice/roller): 1 space per 100 square feet</li> <li>- Other uses: Requires parking demand study</li> </ul> <p>Note: (1) If an indoor recreation facility has other uses (e.g. restaurant, bar, etc.), spaces required for those additional uses shall also be required.</p>
Recreation, open space	None required
Recreation, outdoor	<ul style="list-style-type: none"> <li>- Golf - Driving Range Only: 1 space per tee</li> <li>- Golf - Miniature Golf Course: 3 spaces per hole</li> <li>- Tennis: 3 spaces per court</li> <li>- Other uses: Requires parking demand study</li> </ul> <p>Note: (1) If an outdoor recreation facility has other uses (e.g. restaurant, bar, etc.), spaces required for those additional uses shall also be required.</p>
Recycling facilities, consumer	<ul style="list-style-type: none"> <li>- 500 square feet or smaller: None required, except for the spaces required for the underlying use. However, such facility shall not occupy more than 5 existing parking spaces.</li> <li>- Larger than 500 square feet: Parking demand study required.</li> </ul>
Recycling facilities, processing	1 space per 500 square feet, which may include up to 10% office space, plus 1 space per 250 square feet of office space in excess of 10%.
Religious assembly	<p>1 space per 3 fixed seats or 1 space per 35 square feet of the assembly areas with no fixed seats. A Religious Assembly facility with 300 seats or above shall require a parking study.</p> <p>Notes: (1) Every 18 inches of bench shall be considered as a fixed seat.</p> <p>(2) Any off-site parking, if proposed, shall be within 1,000 feet of the site it serves, as measured from closest property line.</p>
Repair services, major	5.5 spaces per 1,000 square feet of floor area for first 100,000 square feet, plus 4.5 spaces per 1,000 square feet of floor area over 100,000 square feet.
Repair services, minor	5.5 spaces per 1,000 square feet of floor area for first 100,000 square feet, plus 4.5 spaces per 1,000 square feet of floor area over 100,000 square feet.
Research and development	1 space per 250 square feet
Restaurants, drive-in	Same requirements as Restaurants, Sit Down. Also subject to the minimum stacking requirements as specified under Drive-Through Facilities requirements.
Restaurants, quick service	Same requirements as Restaurants, Sit Down

Restaurants, sit down	<p>- Indoor: Minimum of 10 spaces; or 1 space per 75 square feet of floor area up to 6,000 square feet, plus 1 space per 55 square feet over 6,000 square feet, or 1 space per 3 seats, whichever is greater.</p> <p>- Accessory outdoor dining/seating areas: No additional parking spaces required for if the outdoor dining/seating area is smaller than 300 square feet or has less than 20 seats. For outdoor dining/seating areas that is not exempt from additional parking, 1 space per 75 square feet of area over 300 square feet or 1 spacer per 3 seats over 20 seats, whichever is greater.</p> <p>Note: (1) If a restaurant only consists of an outdoor dining/seating area, parking requirements applicable to indoor space shall apply to such outdoor dining/seating area.</p>
Restaurants, specialty	Same requirements as Restaurants, Sit Down
Retail sales, general	1 space per 200 square feet
Retail sales, outdoor	1 space per 200 square feet
Retail sales, warehouse stores	1 space per 200 square feet
Salvage yard	1 space per 3,000 square feet of the parcel where the use is located
Senior living facility, large	5.5 spaces per 1,000 square feet.
Shopping center	5.5 spaces per 1,000 square feet.
Stadiums and sports arena complexes	Requires a parking demand study
Studios, instruction/service	1 space per 250 square feet or based on a parking demand study.
Entertainment venues	1 space per 3 fixed seats or 1 space per 35 square feet of the assembly areas without fixed seats.
Transit facilities	Requires a parking demand study
Utilities	<p>- Manned Facilities: Requires parking demand study</p> <p>- Un-manned facilities: None required</p>
Wireless communication facilities, major	None required
Wireless communication facilities, minor	None required

#### E. *Truck loading and maneuvering area.*

1. All industrial and commercially zoned developments shall be designed so as to prevent truck back-up maneuvering within public right-of-way.

2. a. All industrial and commercially zoned developments designed with dock high approaches and/or truck wells shall be provided with at least one (1) back-up area to said dock or well in accordance with the below schedule. The driveway aisle between parking stalls may be

used for said approach provided the forty-eight (48) foot wheel track turning radius is maintained, as outlined in Diagrams “E” and “F” in the Appendix following this chapter.

<b>Berth or Aisle Width (feet)</b>	<b>Dock Approach (feet)</b>
------------------------------------	-----------------------------

10	120
12	117
14	113

b. The dock approach may not be encumbered by parking stalls or physical obstructions and shall be measured perpendicular to the dock or door as shown in accompanying Diagram “E” in the Appendix following this chapter. The minimum dock or door overhead clearance (excluding pipes, lights, etc.) is twelve (12) feet.

3. Unless otherwise provided for in paragraph E.2. above, all commercial and industrially zoned buildings must provide at least one (1) identified loading area (twelve (12) feet by twenty (20) feet with ramp). Access to said loading area must be designed as a minimum to provide a forty-eight (48) foot wheel track turning radius for a fifty-five (55) foot long semitrailer truck maneuvering, in accordance with Diagram “F” in the Appendix following this chapter. Parking aisles and access driveways adjacent to loading doors without dock high approaches or truck wells shall have a minimum width of eight (8) feet plus the aisle width required in Diagram “B” in the Appendix following this chapter, except for ninety degree (90°) parking in which the parking aisle shall be thirty-two (32) feet minimum. Designated fire lanes shall provide fire ladder truck maneuvering in accordance with Diagram “G” in the Appendix following this chapter.

4. All developments zoned commercial and industrial shall be designed with the following:

a. At least one (1) driveway approach capable of accommodating a forty-eight (48) foot wheel track turning radius. *(Please see accompanying Diagram “D” in the Appendix following this chapter.)*

b. At least one (1) on-site maneuvering area which provides a forty-eight (48) foot turning radius wheel track through the parking area. *(Please see accompanying Diagram “E” in the Appendix following this chapter.)*

c. All loading doors shall not be visible from a public street.

**F. Exceptions or modifications to off-street parking requirements.** An exception to or modification of the off-street parking requirements of this section may be granted to avoid circumstances where they might be excessive due to the use involved or other relevant circumstances, but only if such exemption or modification is consistent with the intent and purpose of this section.

1. Exceptions or modifications for multi-family developments require approval of a minor modification in accordance with the provisions of § 20.408.020 of this title. Pursuant to § 20.408.020.B.2., such requests shall be subject to the review and approval of the Director of Community Development.

a. Notice of decision shall be sent by first class mail or delivered by a city employee to property owners within five-hundred (500) feet of the subject property. Pursuant to § 20.424, all decisions of the Director made under this provision of this title are appealable to the Planning Commission.

2. Exceptions or modifications for all projects that are not multi-family developments require approval of a conditional use permit in accordance with the provisions of § 20.408.030 of this title.



3. All requests for an exception or modification must be accompanied by a Parking Demand Study prepared by a licensed professional that demonstrates approval of the exception or modification will not result in insufficient or inadequate parking and meets the following requirements:

a. The Parking Demand Study must at a minimum include: (1) the otherwise applicable parking requirements under § 20.08.040 of this title; (2) any otherwise applicable parking requirements under any entitlement, zoning requirement, or other approval previously approved by the City; (3) a comparative analysis of parking on the site with and without the requested exception or modification; and (4) a Parking Management Plan and/or Transportation Demand Management program, if deemed necessary by the Director of Community Development.

b. A Parking Demand Study for a multi-family development may utilize the Urban Land Institute's Shared Parking methodology or any other reasonably similar methodology shown to be applicable if the project: (1) is either part of a mixed-use development or located in a mixed-use setting conducive to shared parking; and (2) incorporates both features that promote active transportation (e.g., walking and cycling) and convenient access to public transit.

G. *Parking requirements not specified.* In the event this section does not specify any parking space requirement for any specific use otherwise allowed under this title, the Planning Commission, upon recommendation of the city staff, shall determine the parking requirements for said use. There shall be no application fee for this procedure.

(Ord. 425, passed 10-14-68; Am. Ord. 707, passed 12-23-80; Am. Ord. 708, passed 1-20-81; Am. Ord. 720, passed 10-6-81; Am. Ord. 741, passed 6-21-83; Am. Ord. 782, passed 10-15-85; Am. Ord. 916, passed 2-18-92; Am. Ord. 965, passed 4-4-95; Am. Ord. 1092, passed 5-16-06; Am. Ord. 1128, passed 10-20-09; Am. Ord. 1154, passed 6-21-11; Am. Ord. 1203, passed 2-20-18; Am. Ord. 1222, passed 11-2-21; Am. Ord. 1241, passed 8-15-23)

**APPENDIX B**

**PARKING COUNT WORKSHEETS**

## PARKING OCCUPANCY STUDY

**LOCATION:** 26921 Crown Valley Parkway  
**City:** Mission Viejo  
**Day:** Tuesday **Prepared by AimTD LLC**  
**Date:** 5/24/2022 [cs@aimtd.com](mailto:cs@aimtd.com)

Time	Parking Category	
	Regular	Disabled
<b>Inventory</b>	<b>51</b>	<b>5</b>
9:00 AM	22	0
9:15 AM	23	0
9:30 AM	27	0
9:45 AM	30	1
10:00 AM	31	1
10:15 AM	32	1
10:30 AM	33	0
10:45 AM	24	0
11:00 AM	19	0
11:15 AM	20	0
11:30 AM	19	1
11:45 AM	18	0
12:00 PM	16	0
12:15 PM	15	0
12:30 PM	19	0
12:45 PM	16	0
1:00 PM	15	0
1:15 PM	12	0
1:30 PM	11	1
1:45 PM	8	0
2:00 PM	9	0
2:15 PM	9	0
2:30 PM	9	0
2:45 PM	8	0
3:00 PM	8	0
3:15 PM	6	0
3:30 PM	6	0
3:45 PM	6	0
4:00 PM	6	0
4:15 PM	8	0
4:30 PM	7	0
4:45 PM	5	0
5:00 PM	4	0

NOTES: at 11:30 a small truck was illegally parked at the blue "No Parking" zone



## PARKING OCCUPANCY STUDY

**LOCATION:** 16611 Yorba Linda Blvd.  
**City:** Yorba Linda  
**Day:** Tuesday **Prepared by** AimTD LLC  
**Date:** 5/24/2022 [cs@aimtd.com](mailto:cs@aimtd.com)

Time	Parking Category	
	Regular	Disabled
<b>Inventory</b>	<b>28</b>	<b>2</b>
9:00 AM	10	0
9:15 AM	11	0
9:30 AM	12	0
9:45 AM	10	0
10:00 AM	10	0
10:15 AM	9	0
10:30 AM	10	0
10:45 AM	9	0
11:00 AM	8	0
11:15 AM	6	0
11:30 AM	8	1
11:45 AM	9	1
12:00 PM	8	1
12:15 PM	7	1
12:30 PM	5	1
12:45 PM	6	1
1:00 PM	5	1
1:15 PM	7	0
1:30 PM	6	0
1:45 PM	5	0
2:00 PM	5	0
2:15 PM	5	0
2:30 PM	6	0
2:45 PM	6	0
3:00 PM	6	1
3:15 PM	7	1
3:30 PM	5	1
3:45 PM	4	1
4:00 PM	3	0
4:15 PM	3	0
4:30 PM	2	0
4:45 PM	2	0
5:00 PM	2	0

CITY OF BREA  
notice of public hearing

CITY OF BREA  
PLANNING COMMISSION NOTICE OF PUBLIC HEARING FOR PRECISE DEVELOPMENT PLAN NO. 2023-02 AND A CONDITIONAL USE PERMIT NO. 2023-05 FOR THE NEW ALIGN SPINE CENTER LOCATED AT 721 EAST IMPERIAL HIGHWAY

NOTICE IS HEREBY GIVEN, pursuant to State Law, that a public hearing will be held by the Planning Commission to determine whether or not the subject request shall be approved under the provisions of State Law and the Brea City Code as follows:

- DATE AND TIME OF HEARING: Tuesday, December 12, 6:00 p.m.  
*All interested persons may appear and be heard at that time.*
- PLACE OF HEARING: Brea Civic & Cultural Center, Council Chambers  
1 Civic Center Circle, Brea, CA 92821
- REQUEST: The Applicant, California Spine Institute, LLC., is requesting the following entitlements: (1) Precise Development Plan No. 2023-02 for an addition of 5,143 square feet to the existing building, including a second-floor addition and façade remodel; and (2) Conditional Use Permit No. 2023-05 for the reduction in required parking to accommodate the proposed medical use.
- LOCATION: The Project site is located at 721 East Imperial Highway, situated north of Imperial Highway, between Poplar and Laurel Avenues. The Project site has a General Plan Land Use designation of General Commercial and a Zoning designation of General Commercial (C-G) with the Precise Development (P-D) Overlay.
- ENVIRONMENTAL: The project has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines and the environmental regulations of the City. The Project is categorically exempt from the requirements to prepare additional environmental documentation per CEQA Guidelines Section 15301 (Class 1).

FURTHER INFORMATION MAY BE OBTAINED BY CALLING THE PLANNING DIVISION AT (714) 990-7674 OR BY EMAILING [planner@cityofbrea.net](mailto:planner@cityofbrea.net).

IF YOU CHALLENGE THE PROJECT AND RELATED ENVIRONMENTAL DETERMINATIONS IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE, DELIVERED TO THE COMMISSION AT, OR PRIOR TO, THE PUBLIC HEARING.

COMMUNITY DEVELOPMENT DEPARTMENT

  
Joanne Hwang, AICP, City Planner

AREA MAP





Planning Division  
1 Civic Center Circle  
Brea, California 92821-5732





## CEQA NOTICE OF EXEMPTION

**To:** Orange County Clerk-Recorder  
601 N. Ross Street  
Santa Ana, CA 92701

**From:** City of Brea  
Community Development Department  
1 Civic Center Circle  
Brea, CA 92821

**PROJECT TITLE/CASE NO.:** PRECISE DEVELOPMENT NO. 2023-02 AND CONDITIONAL USE PERMIT NO. 2023-05 FOR THE ALIGN SPINE CENTER IN A GENERAL COMMERCIAL (C-G) ZONE WITH A PRECISE DEVELOPMENT (P-D) OVERLAY

**PROJECT LOCATION:** 721 East Imperial Highway, Brea, CA 92821

**PROJECT DESCRIPTION:** To allow for an addition of 5,143 square feet to an existing building, including a second-floor addition and façade remodel, and for the reduction in the required parking to accommodate the proposed medical.

**Name of Public Agency Approving Project:** City of Brea

**Project Applicant & Address:** California Spine Institute, LLC  
2720 N. Harbor Blvd, #210  
Fullerton, CA 92835

**Exempt Status: (Check one)**

- ☐ Ministerial (Sec. 21080(b)(1); 15268)  
☐ Declared Emergency (Sec. 21080(b)(3); 15269(a))  
☐ Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))  
☒ Categorical Exemption (Sec. 15301)  
☐ Statutory Exemption (15282(s))  
☐ Other:

**Reason why project is exempt:** Class 1 applies to the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, and facilities, involving negligible or no expansion of existing or former use. This exemption applies to this Project as the Project is does not result in an increase of more than 10,000 square feet.

---

*Jason Killebrew, Community Development Director*

---

*Date*

# City of Brea

---

## Project Updates

December 4, 2023

## **CONTENTS**

### • IN PROCESS/UNDER REVIEW

Story Map ID	Project Name	Address
1	Lambert Road Office Condo Tentative Parcel Map	700-800 W. Lambert Road
2	Amazon Facility	275 Valencia Avenue
3	Pet Aquamation	580 W. Lambert Road
4	AT&T Wireless Rooftop Facility	380 W. Central Avenue
5	Albertson's Distribution Center Office Building	200 N. Puente Street
6	California Spine Institute	721 E. Imperial Highway
7	Corazon Modern Kitchen – Expansion of on-site Alcohol	120 S. Brea Boulevard #106
8	Mills Act Contract	321 S. Madrona Avenue
9	Wireless Modification	185 E. Alder Street
10	Loading Dock Addition	750 Challenger Street
11	Medical Use Parking Modification	330 E. Lambert Road
12	South Brea Townhomes	685 S. Brea Boulevard
13	Super Juicy Dumpling – On-Site Alcohol	2445 E. Imperial Highway #A
14	Brea Plaza Sign Program Amendment	1639 E. Imperial Highway
15	Light Industrial Building	Northwest corner of Nasa Street and Surveyor Avenue
16	Mills Act Contract	315 S. Flower Avenue
17	Macallans Public House – Expansion of On-Site Alcohol and New Outdoor Patios	330 W. Birch Street, Suite 1
18	New warehouse building (Preliminary Plan Review)	3350 E. Birch Street
19	Imperial Mariner Tentative Parcel Map (Preliminary Plan Review)	915-975 W. Imperial Hwy
20	New Industrial Building (Preliminary Plan Review)	424 Berry Way



• **APPROVED/ENTITLED**

Story Map ID	Project Name	Address
1	Mercury Lane Apartments	SE corner of Mercury Lane and Berry Street
2	Brea Imperial Center Remodel	SW corner of State College Boulevard and Imperial Highway
3	Transwestern	285 N. Berry Street; 711 W. Imperial Highway
4	The Phoenix Club	375 W. Central Avenue
5	Brea Regional Animal Hospital	2500 E. Imperial Highway, Suite 200
6	Starbucks Drive-Thru	2 Pointe Drive
7	UFC Gym	220 S. Brea Boulevard
8	Brea 265 Specific Plan	Valencia Ave; Lambert Rd; Carbon Canyon Rd; Rose Dr
9	Brea 265 Tentative Tract Map	Valencia Ave; Lambert Rd; Carbon Canyon Rd; Rose Dr
10	Medical Training Facility	910 E. Birch Street, Unit 380
11	Accessory Dwelling Unit	527 E. Elm Street
12	Personal Training Facility	650 N. Berry Street
13	Brea Metro Office Condo Tentative Parcel Map	330 E. Lambert Road
14	Industrial Building	2727 E. Imperial Highway
15	Brea Mall Mixed Use Project	100 Brea Mall Road
16	Gaslight Square Redevelopment	255 E. Imperial Highway
17	Southlands Church Fence Height	2950 E. Imperial Highway
18	Boiling Crab – Outdoor Patio	120 S. Brea Boulevard #106
19	The Craft Beauty Bar	3000 E. Birch Street, Suite 109
20	Dr. Squatch Screening Wall	114 S. Berry Street
21	Brea Plaza Remodel (Buildings E-G)	1639 E. Imperial Highway
22	Popping Yolk – On-site Alcohol	1160 E. Imperial Highway Suite J
23	Origami Handroll Bar – On-site Alcohol	1080 E. Imperial Highway Suite E-2
24	Boiling Crab – On-site Alcohol	120 S. Brea Boulevard
25	Westmoreland Wall Height	1944 Westmoreland Drive
26	Smart Parke Pet Daycare	835 E. Birch Street
27	Brea Place Sign Program Amendment	100-145 S. State College Boulevard
28	Wireless Co-location	145 S. State College Boulevard
29	Ulta Façade Modification	2395 E. Imperial Highway

- **REPEALED/DENIED**

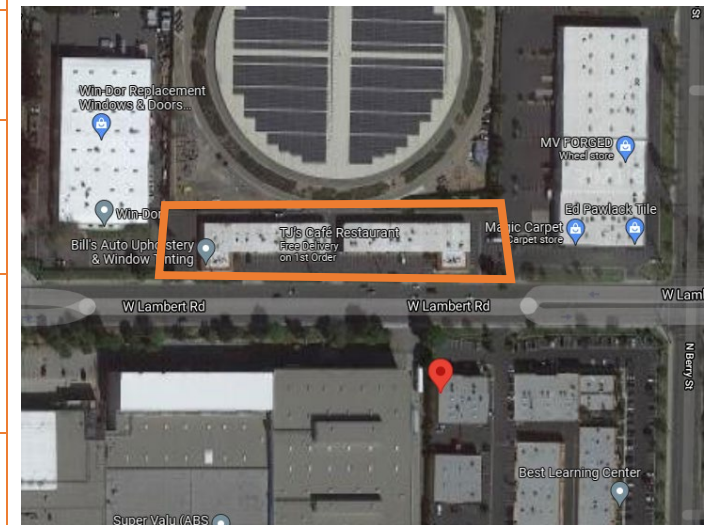
Story Map ID	Project Name	Address
1	Shoot SoCal	524 E. Imperial Highway
2	Brea Plaza Mixed Use	1639 E. Imperial Highway

## In-Process/Review

### LAMBERT ROAD OFFICE CONDO TENTATIVE PARCEL MAP (MAP ID: 1)

Case Type:	<ul style="list-style-type: none"> <li>Tentative Parcel Map</li> <li></li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>TPM 2021-189; Accela No.: <b>PLN-2021-00061</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Accessor's Parcel Number (APN): 296-223-13</li> <li>700-800 W Lambert Road.</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to convert two existing 12-unit buildings (total 24 units) into 24 office condominium units. No new construction is proposed; existing unit boundaries, floor plans and floor areas will not change.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>801 Lambert LLC, A California Limited Liability Company (Mark Blumenthal)</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>October 25, 2021</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Application was deemed complete on October 12, 2023.</li> <li>Planning Commission review continued to December 15, 2023.</li> </ul>

### PROJECT MAP:





**AMAZON FACILITY (MAP ID: 2)**

Case Type:	<ul style="list-style-type: none"> <li>Plan Review</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PR No. 2022-09; <b>ACCELA No. PLN 2022-00042</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>275 W. Valencia</li> <li>Assessor's Parcel Number (APN): 320-233-17</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The Project proposes to demolish the existing 3-story, 637,503 square-foot, 60-foot high office building (previously occupied by Bank of America) and construct a new 181,500 square-foot, 44-foot high warehouse building that will be used as Amazon's parcel delivery facility.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jessica Newton, Senior Planner (<a href="mailto:jessican@cityofbrea.net">jessican@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Tim Reed of Ware Malcomb</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>May 31, 2022</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Pending resubmittal from the applicant.</li> <li>EIR NOP was issued on July 13, 2023, and the public comment period ended on August 11, 2023.</li> <li>EIR Scoping Meeting was held on July 24, 2023.</li> </ul>

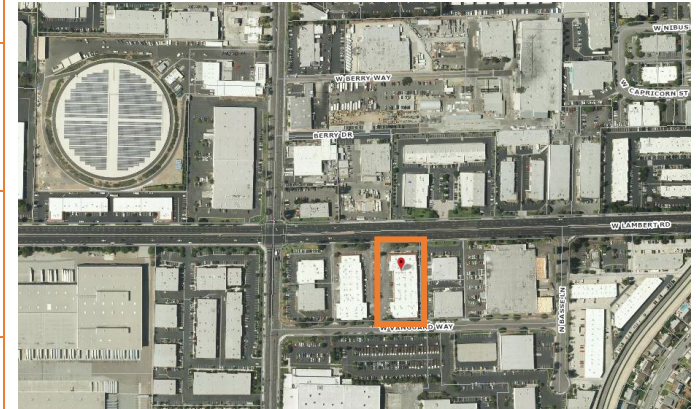
**PROJECT MAP:**



### PET AQUAMATION BUSINESS (MAP ID: 3)

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2022-15; <b>ACCELA No. PLN 2022-00053</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>580 W Lambert Road, Unit E</li> <li>Assessor's Parcel Number (APN): 296-081-07</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to establish a pet aquamation (cremation) facility with mobile after-life care veterinary services. No live animals are proposed on-site.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano, Assistant Planner (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Dr. Annie Forslund (Home Pet Euthanasia of Southern California)</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>July 19, 2022</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Pending resubmittal from the applicant.</li> </ul>

## PROJECT MAP:




**AT&T WIRELESS ROOFTOP FACILITY (MAP ID: 4)**

Case Type:	<ul style="list-style-type: none"> <li>Plan Review</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PR No. 2022-12; PR No. 2022-13; <b>ACCELA No: PLN-2022-00074</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 296-241-10</li> <li>380 W Central Ave</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to install a new rooftop wireless communication facility on an existing commercial office building.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Graham Bultema, Assistant Planner (<a href="mailto:grahamb@cityofbrea.net">grahamb@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>New Cingular Wireless PCS, LLC dba AT&amp;T Wireless</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>November 22, 2022</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Pending resubmittal from the applicant.</li> </ul>

**PROJECT MAP:**





<i>ALBERTSON'S DISTRIBUTION CENTER OFFICE BUILDING (MAP ID: 5)</i>		
Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit, Precise Development, Administrative Remedy</li> </ul>	<b>PROJECT MAP:</b>  
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2023-02; PD No. 2023-01; AR No. 2023-03; <b>ACCELA No: PLN-2023-00027</b></li> </ul>	
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 296-231-12</li> <li>200 N Puente St</li> </ul>	
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing a new two-story office building for an Albertson's distribution center.</li> </ul>	
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano, Assistant Planner (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>	
Applicant:	<ul style="list-style-type: none"> <li>John Doan</li> </ul>	
Application submittal Date:	<ul style="list-style-type: none"> <li>April 25, 2023</li> </ul>	
Current Status:	<ul style="list-style-type: none"> <li>Pending resubmittal from the applicant.</li> </ul>	

**CALIFORNIA SPINE INSTITUTE (MAP ID: 6)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit, Administrative Remedy</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2023-05; AR No. 2023-04; <b>ACCELA No: PLN-2023-00030</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 319-314-07</li> <li>721 E Imperial Hwy</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing a second story addition to an existing office building along with related site improvements.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Raed Ali and Eric Lin</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>April 27, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Application deemed complete on November 30, 2023.</li> <li>Planning Commission review is scheduled on December 12, 2023.</li> </ul>

**PROJECT MAP:**



**CORAZON MODERN KITCHEN – EXPANSION OF ON-SITE ALCOHOL (MAP ID: 7)**


Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2023-09; <b>ACCELA No: PLN-2023-00045</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 296-364-25</li> <li>120 S. Brea Blvd #106</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to expand the on-site alcohol from beer and wine to full service, and into the patio area.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano, Assistant Planner (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Mariara Lazae</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>July 11, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Pending resubmittal from the applicant.</li> </ul>

**PROJECT MAP:**





<b>MILLS ACT CONTRACT (MAP ID: 8)</b>		
Case Type:	<ul style="list-style-type: none"> <li>Mills Act</li> </ul>	<b>PROJECT MAP:</b>  
Project No.:	<ul style="list-style-type: none"> <li>MA2023-01; <b>ACCELA No: PLN-2023-00042</b></li> </ul>	
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 284-251-06</li> <li>321 S. Madrona Avenue</li> </ul>	
Project Description:	<ul style="list-style-type: none"> <li>The applicant is requesting an approval of a Mills Act for the property.</li> </ul>	
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano, Assistant Planner (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>	
Applicant:	<ul style="list-style-type: none"> <li>Kathryn Demesa Sebastian</li> </ul>	
Application submittal Date:	<ul style="list-style-type: none"> <li>June 6, 2023</li> </ul>	
Current Status:	<ul style="list-style-type: none"> <li>Finance Committee review was conducted on November 28, 2023.</li> <li>City Council review is scheduled on December 5, 2023</li> </ul>	

<i>WIRELESS FACILITY MODIFICATION (MAP ID: 9)</i>		
Case Type:	<ul style="list-style-type: none"> <li>Plan Review</li> </ul>	<b>PROJECT MAP:</b>  
Project No.:	<ul style="list-style-type: none"> <li>PR 2023-02; <b>ACCELA No: PLN-2023-00012</b></li> </ul>	
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 284-333-42</li> <li>185 E. Alder</li> </ul>	
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to modify an existing wireless facility to replace antennas and ancillary equipment.</li> </ul>	
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano, Assistant Planner (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>	
Applicant:	<ul style="list-style-type: none"> <li>Stephanie Rudolph</li> </ul>	
Application submittal Date:	<ul style="list-style-type: none"> <li>February 22, 2023</li> </ul>	
Current Status:	<ul style="list-style-type: none"> <li>Pending resubmittal from the applicant</li> </ul>	


**LOADING DOCK ADDITION (MAP ID: 10)**

Case Type:	<ul style="list-style-type: none"> <li>Plan Review</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PR 2023-05; <b>ACCELA No: PLN-2023-00031</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 296-223-19</li> <li>750 Challenger Street</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to add a secondary loading dock and restripe parking stalls.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano, Assistant Planner (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Esther Yang</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>April 27, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Pending resubmittal from the applicant</li> </ul>

**PROJECT MAP:**



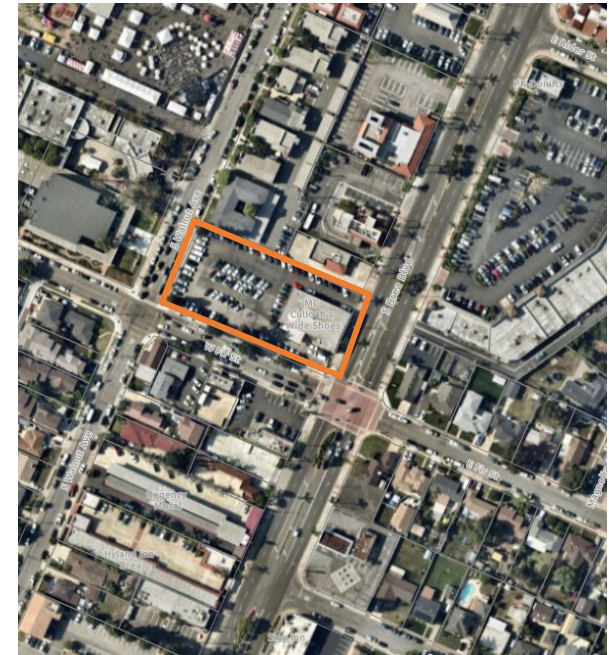


<i><b>MEDICAL USE PARKING MODIFICATION (MAP ID: 11)</b></i>		
Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>	<b>PROJECT MAP:</b>  
Project No.:	<ul style="list-style-type: none"> <li>CUP 2023-10; <b>ACCELA No: PLN-2023-00056</b></li> </ul>	
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 319-192-15</li> <li>330 E. Lambert Road</li> </ul>	
Project Description:	<ul style="list-style-type: none"> <li>The applicant is requesting a reduction in the required on-site parking for the new parking deficiency to be created due to introduction of medical office uses</li> </ul>	
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano, Assistant Planner (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>	
Applicant:	<ul style="list-style-type: none"> <li>Gordon Lau</li> </ul>	
Application submittal Date:	<ul style="list-style-type: none"> <li>August 1, 2023</li> </ul>	
Current Status:	<ul style="list-style-type: none"> <li>The Application was deemed complete on October 26, 2023.</li> <li>The Planning Commission review is scheduled on December 12, 2023.</li> </ul>	

***SOUTH BREA TOWNHOMES (MAP ID: 12)***

Case Type:	<ul style="list-style-type: none"> <li>Precise Development, Tentative Tract Map, Tree Removal Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PD 2023-03, TTM 2023-01 and TRP 2023-01; <b>ACCELA No: PLN-2023-00081</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 284-282-06</li> <li>685 S. Brea Boulevard</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing a new 32-unit, 3 story residential development <i>NOTE: This is based on a SB 330 preliminary application that was previously submitted on August 1, 2023</i></li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jessica Newton, Senior Planner (<a href="mailto:jessican@cityofbrea.net">jessican@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Patrick Chien of City Ventures</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>November 21, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Under review</li> </ul>

**PROJECT MAP:**



***SUPER JUICY DUMPLING – ON-SITE ALCOHOL (MAP ID: 13)***

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP 2023-11; <b>ACCELA No: PLN-2023-00058</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 320-331-05</li> <li>2445 E. Imperial Highway #A</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing on-sale beer and wine alcohol license at an existing sit-down restaurant (Super Juicy Dumpling).</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Graham Bultema, Assistant Planner (<a href="mailto:grahamb@cityofbrea.net">grahamb@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Mingfeng Liu</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>August 17, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Pending resubmittal from the Applicant</li> </ul>

**PROJECT MAP:**





**BREA PLAZA SIGN PROGRAM AMENDMENT (MAP ID: 14)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP 2023-10; <b>ACCELA No: PLN-2023-00054</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 319-102-25</li> <li>1639 East Imperial Highway</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing amend the existing comprehensive sign program for Brea Plaza shopping center.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jessica Newton, Senior Planner (<a href="mailto:jessican@cityofbrea.net">jessican@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Jahn Nguyen</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>August 1, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Pending resubmittal from the Applicant.</li> </ul>

**PROJECT MAP:**




**LIGHT INDUSTRIAL BUILDING (MAP ID: 15)**

Case Type:	<ul style="list-style-type: none"> <li>Plan Review</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PR 2023-08; <b>ACCELA No: PLN-2023-00049</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 320-303-11</li> <li>NW corner of Nasa Street and Surveyor Avenue</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to construct a new 56,000 square-foot industrial building.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Dennis Roy</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>July 25, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Pending resubmittal from the Applicant.</li> </ul>

**PROJECT MAP:**



<b>MILLS ACT CONTRACT (MAP ID: 16)</b>		
Case Type:	<ul style="list-style-type: none"> <li>Mills Act Contract</li> </ul>	<b>PROJECT MAP:</b>  
Project No.:	<ul style="list-style-type: none"> <li>MA 2023-02; <b>ACCELA No: PLN-2023-00059</b></li> </ul>	
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 284-234-18</li> <li>315 Flower Avenue</li> </ul>	
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to enter into a Mills Act Contract with the City.</li> </ul>	
Project Planner:	<ul style="list-style-type: none"> <li>Graham Bultema, Assistant Planner (<a href="mailto:grahamb@cityofbrea.net">grahamb@cityofbrea.net</a>)</li> </ul>	
Applicant:	<ul style="list-style-type: none"> <li>Shoepe Trust</li> </ul>	
Application submittal Date:	<ul style="list-style-type: none"> <li>September 5, 2023</li> </ul>	
Current Status:	<ul style="list-style-type: none"> <li>Finance Committee review was conducted on November 28, 2023.</li> <li>City Council review is scheduled on December 5, 2023</li> </ul>	



MACALLANS PUBLIC HOUSE – EXPANSION OF ON-SITE ALCOHOL AND NEW OUTDOOR PATIOS (MAP ID: 17)	
Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit and Plan Review</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP 2023-12; PR 2023-12 <b>ACCELA No: PLN-2023-00072</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 296-376-18</li> <li>330 W. Birch Street, Suite 1</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to expand the on-site alcohol service to a new private dining space and construct two new outdoor patio areas.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jessica Newton, Senior Planner (<a href="mailto:jessican@cityofbrea.net">jessican@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Douglas Vincent</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>October 16, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>The Planning Commission review is scheduled on December 12, 2023.</li> </ul>

**PROJECT MAP:**

An aerial photograph of a commercial area in Brea, California. A small building complex, identified as the project site, is outlined with an orange rectangle. The surrounding area includes various other buildings, parking lots, and streets. Labels on the map include "Brea", "Orange", "Irvine", "Costa Mesa", "Foothill", "San Juan Capistrano", "Anaheim", "Tustin", "Santa Ana", "Fullerton", "Garden Grove", "Westminster", "Beverly Hills", "Encino", "Van Nuys", "Sherman Oaks", "North Hollywood", "Hollywood", "Los Angeles", "Pasadena", "Glendale", "San Gabriel", "Arcadia", "Pomona", "Ontario", "Riverside", "Corona", "Norwalk", "Long Beach", "Compton", "Inglewood", "Watts", "East Los Angeles", "South Gate", "Bell", "El Monte", "Rosemead", "San Dimas", "Claremont", "Upland", "Fontana", "Rancho Cucamonga", "Redlands", "Azusa", "San Jose", "Sunnyvale", "Milpitas", "Fremont", "Union City", "Hayward", "Berkeley", "Oakland", "Alameda", "Contra Costa", "Solano", "Yuba", "Sutter", "Colusa", "Butte", "Placer", "Yuba County", "Siskiyou", "Curry", "Humboldt", "Klamath", "Del Norte", "Coos", "Josephine", "Lane", "Douglas", "Jackson", "Clatsop", "Multnomah", "Washington", "Clark", "Columbia", "Chelan", "Franklin", "Grant", "Lincoln", "Okanagan", "Pend Oreille", "Shawano", "Stevens", "Thurston", "Washoe", "Boone", "Carroll", "Franklin", "Idaho", "Blaine", "Bonanza", "Burley", "Caldwell", "Camden", "Coeur d'Alene", "Ellensburg", "Emmett", "Grain Valley", "Hammond", "Harrison", "Heppner", "Kennewick", "Kelso", "Lacey", "Liberty", "Lynden", "Maple Valley", "Mossburn", "Newport", "Olympia", "Port Townsend", "Rainier", "Richland", "Scappoose", "Seaside", "Silver Lake", "The Dalles", "Vernonia", "Warrenton", "Astoria", "Gearhart", "Hood River", "La Grande", "Medford", "Reedsport", "Seaside", "Tillamook", "Trask", "Veneta", "Astoria", "Gearhart", "Hood River", "La Grande", "Medford", "Reedsport", "Seaside", "Tillamook", "Trask", "Veneta".

**NEW WAREHOUSE BUILDING (MAP ID: 18)**

Case Type:	<ul style="list-style-type: none"> <li>Preliminary Plan Review</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li><b>ACCELA No: PLN-2023-00046</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 320-233-21</li> <li>3350 E. Birch Street</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to demolish existing office building and construct a 86,145 sq. ft. warehouse building</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano, Assistant Planner (<a href="mailto:Estebanr@cityofbrea.net">Estebanr@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Scot A. Finch</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>July 3, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Preliminary comment letter was issued on August 3, 2023. No further action will be taken. The Applicant may submit a full application if they want to pursue the project.</li> </ul>

**PROJECT MAP:**



**IMPERIAL MARINER TENTATIVE PARCEL MAP (MAP ID: 19)**

Case Type:	<ul style="list-style-type: none"> <li>Preliminary Plan Review</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li><b>ACCELA No: PLN-2023-00078</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 296-342-05 and 296-114-01</li> <li>915 – 975 W. Imperial Hwy</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to subdivide the existing property into four parcels, and increase in the percentage of medical office space allowed at the project site.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jessica Newton, Senior Planner (<a href="mailto:jessican@cityofbrea.net">jessican@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>James McGrade of Imperial Mariner, LLC</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>November 7, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Under review.</li> </ul>

**PROJECT MAP:**





**NEW INDUSTRIAL BUILDING (MAP ID: 20)**

Case Type:	<ul style="list-style-type: none"> <li>Preliminary Plan Review</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li><b>ACCELA No: PLN-2023-00082</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 296-251-04</li> <li>424 Berry Way</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The Applicant is proposing to demo existing industrial buildings and construct a new 147,500 sq. ft. warehouse.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Brianna Co, Planning Technician (<a href="mailto:briannac@cityofbrea.net">briannac@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Brian Garcia of Rexford Industrial</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>November 28, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Under review</li> </ul>

**PROJECT MAP:**



# Approved/Entitled

## MERCURY LANE APARTMENTS (Map ID: 1)

Case Type:	<ul style="list-style-type: none"> <li>Planned Community Master Plan, Zone Change, Development Agreement, Environmental Impact Report</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PCMP No. 19-01, ZC No. 19-01, DA No 19-01, FEIR 19-01</li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 296-141-05</li> <li>Southeast corner of Mercury Lane and Berry Street</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project is a new 5-story building with 114 workforce residential units.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:Planner@cityofbrea.net">Planner@cityofbrea.net</a>)</li> </ul>
Applicant	<ul style="list-style-type: none"> <li>Dwight Manely</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Planning Commission recommended approval of the project to the City council on April 28, 2020</li> <li>City Council approved the project on June 2, 2020</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>In building permit plan check process</li> </ul>

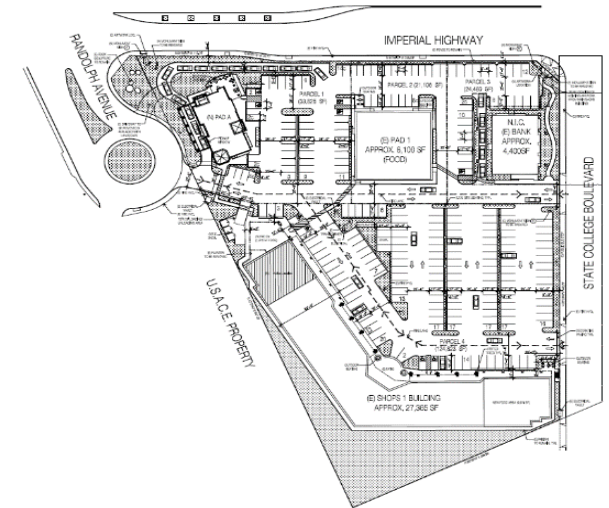
### RENDERING:



**BREA IMPERIAL CENTER (Map ID: 2)**

Case Type:	<ul style="list-style-type: none"> <li>Amendment to Conditional Use Permit 18-06, Precise Development, Conditional Use Permits, Tentative Parcel Map</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP 18-05, PD 17-03, CUP 18-07, TPM 2017-01</li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 029-331-22, -28</li> <li>311-391 South State College &amp; 1130-1160 Imperial Highway</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project includes façade improvements, demolition and reconstruction of a portion of the Brea Imperial Center and parking modifications to the center with a new comprehensive sign program. In addition, a Tentative Parcel Map to subdivide the 4.1-acre site into two parcels.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:Planner@cityofbrea.net">Planner@cityofbrea.net</a>)</li> </ul>
Applicant	<ul style="list-style-type: none"> <li>Winston Liu of JLJ (USA) Investments, LLC</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>The Planning Commission approved the project on July 24, 2018.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Under construction</li> </ul>

**PROJECT MAP:**





**TRANSWESTERN (MAP ID: 3)**

Case Type:	<ul style="list-style-type: none"> <li>Precise Development, Mitigated Negative Declaration, Conditional Use Permit, Tentative Parcel Map</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PD No. 21-01; MND No. 21-01, CUP 21-08, TPM 2021-140; <b>ACCELA No. PLN-2021-00007</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>285 N Berry Street and 711 W Imperial Hwy</li> <li>Assessor's Parcel Number (APN): 296-101-08; 296-101-05; 296-101-03</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project is a development of a new 126,797 square foot industrial building with associated parking and landscaping.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:Planner@cityofbrea.net">Planner@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Transwestern Company (Sara Santomauro)</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Approved by Planning Commission on September 28, 2021</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Under construction</li> </ul>

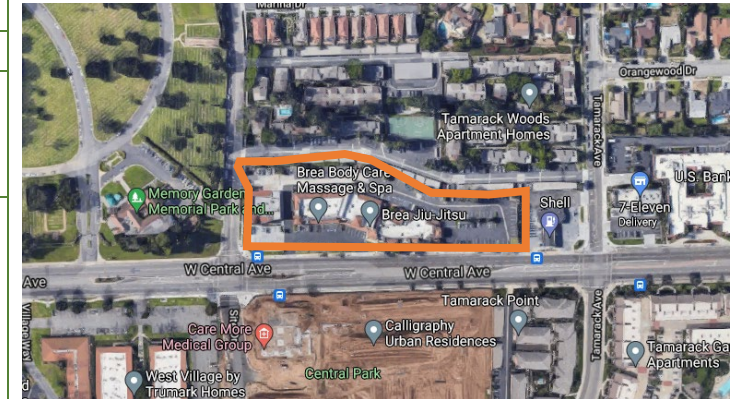
**PROJECT MAP:**



**THE PHOENIX CLUB (MAP ID: 4)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit for banquet hall, parking modification, and on-site alcohol license.</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP 21-04, -05, -06; <b>ACCELA No. PLN-2021-00046</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>375 W Central Ave</li> <li>Assessor's Parcel Number (APN): 304-041-10</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project is a new restaurant/bar with a banquet hall. In addition, the applicant will also occupy three tenant spaces for office and multi-purpose rooms for member only classes, meeting, etc.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>The Phoenix Club (Linda Kriestant)</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Approved by Planning Commission on April 26, 2022.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Under construction</li> </ul>

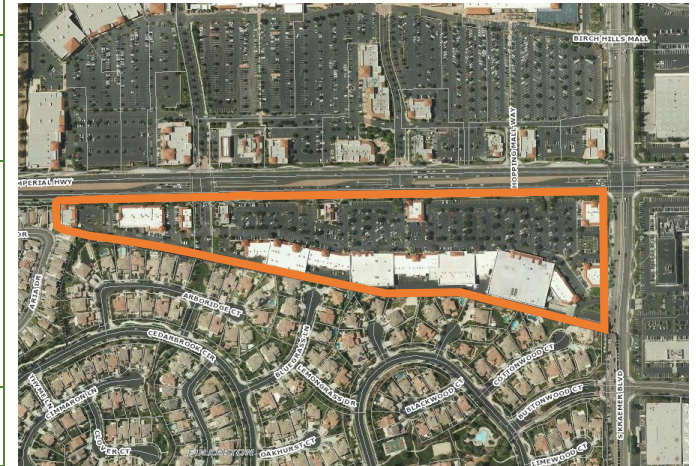
**PROJECT MAP:**



**BREA REGIONAL ANIMAL HOSPITAL (MAP ID: 5)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2022-02; <b>ACCELA No. PLN 2022-00010</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>2500 E. Imperial Highway, Unit 200</li> <li>Assessor's Parcel Number (APN): 336-541-30</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project establishes an animal hospital with no changes to the exterior of the building and no building expansion</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:planner@acityofbrea.net">planner@acityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Richard Wright</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Approved by Planning Commission on June 28, 2022.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Under construction</li> </ul>

**PROJECT MAP:**

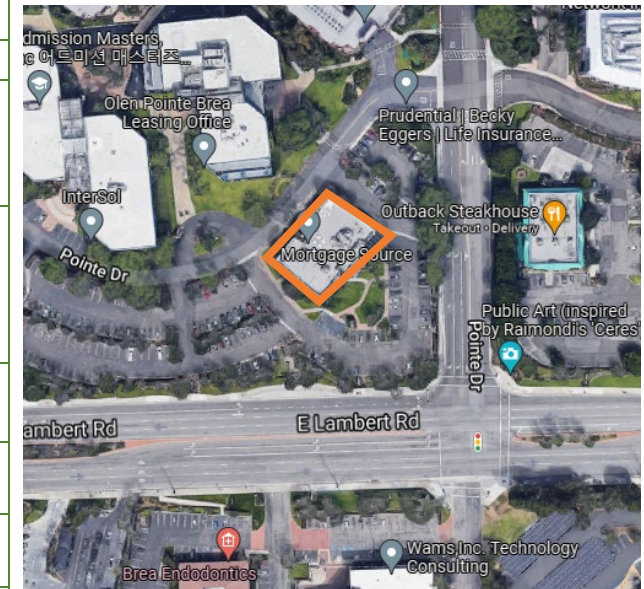




**STARBUCKS DRIVE-THRU (MAP ID: 6)**

Case Type:	<ul style="list-style-type: none"> <li>Amendment to Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP 2021-10; Accela No: <b>PLN-2021-00051</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Accessor's Parcel Number (APN): 319-381-05</li> <li>2 Pointe Drive</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project is new Starbucks with a drive-thru &amp; retail tenant space. The location was previously occupied by Souplantation.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:planner@cityofbrea.net">planner@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Dale Lyon</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Approved by Planning Commission July 26, 2022</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>In operation</li> </ul>

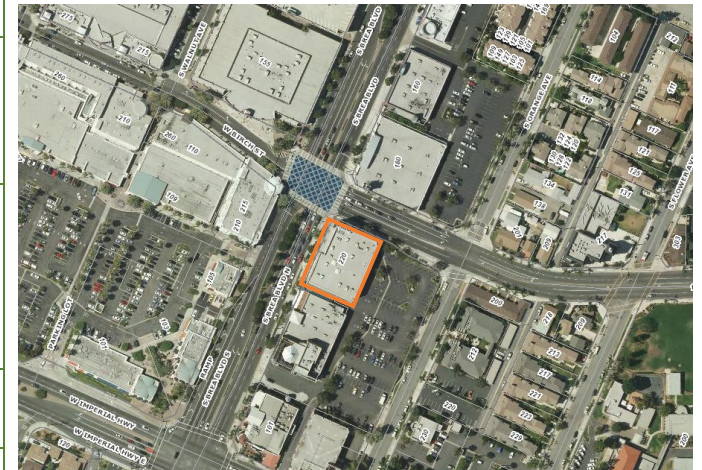
**PROJECT MAP:**



**UFC GYM (MAP ID: 7)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2022-06; <b>ACCELA No. PLN 2022-00020</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>220 S. Brea Boulevard</li> <li>Assessor's Parcel Number (APN): 319-291-36</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project establishes a UFC gym within an existing 27,903 square foot two-story commercial building in Brea Downtown.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:Planner@cityofbrea.net">Planner@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Bryan Montoya</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Approved by the Planning Commission on July 26, 2022.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>In operation</li> </ul>

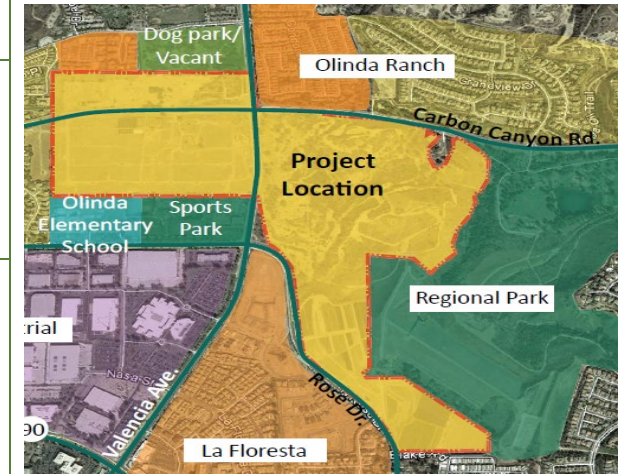
**PROJECT MAP:**



**BREA 265 SPECIFIC PLAN (MAP ID: 8)**

Case Types:	<ul style="list-style-type: none"> <li>Specific Plan, General Plan Amendment, Zone Change, and Development Agreement</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li><b>ACCELA No. PLN-2020-00011</b>; ENV No. 22-01, GPA No. 22-01, ZC No. 22-01, DA No. 22-01, SP No. 22-01</li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Accessor's Parcel Map (APN): 322-031-24; 322-031-23; 322-031-31; 322-031-04; 322-031-12; 322-031-01; 322-031-10; 322-031-15; 322-031-14; 322-031-13; 322-031-13; 3200-070-02I; 322-072-02; 322-031-21; 322-031-121; 322-031-19; 320-071-29; 320-073-07</li> <li>The 262-acre site, commonly known as Brea 265, is generally bounded by Lambert Road/Carbon Canyon Road to the north, Carbon Canyon Regional Park to the east, Birch Street and Rose Drive to the South, and residential uses to the west.</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project includes the following: (1) General Plan Amendment to change the General Plan Land Use designation of the site from Hillside Residential and Low Density Residential to Brea 265 Specific Plan; (2) Zone Change to change the zoning of the site from HR and R-1 to Brea 265 Specific Plan; (3) Specific Plan for the adoption of a new specific plan providing up to 1,100 residential dwelling units, parks and recreational amenities, and open space and right of way improvements; (4) Tentative Tract Map for the subdivision of the project site for residential, parks and open space uses; and (5) Development Agreement defining terms of development by vesting the City's approval and specifying public benefits and improvements</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:Planner@cityofbrea.net">Planner@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>AERA ENERGY</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Planning Commission recommended approval of the project to the City Council on May 24, 2022.</li> <li>City Council reviewed the SP, GPA, ZC, and DA for the Project on June 21, 2022. The project was continued to July 19, 2022, where it was approved by City Council.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>N/A</li> </ul>

**PROJECT MAP:**

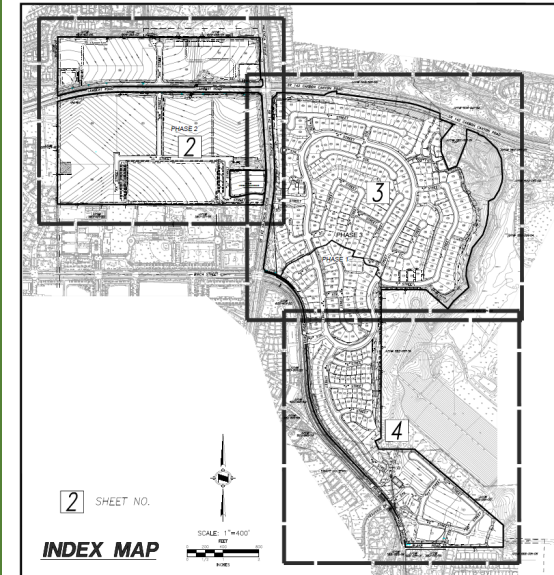




**BREA 265 TENTATIVE TRACT MAP (MAP ID: 9)**

Case Types:	<ul style="list-style-type: none"> <li>Tentative Tract Map</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li><b>ACCELA No. PLN 2020-00011; TTM 16423</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Accessor's Parcel Map (APN): 322-031-24; 322-031-23; 322-031-31; 322-031-04; 322-031-12; 322-031-01; 322-031-10; 322-031-15; 322-031-14; 322-031-13; 322-031-13; 3200-070-02; 322-072-02; 322-031-21; 322-03-121; 322-031-19; 320-071-29; 320-073-07</li> <li>The 262-acre site, commonly known as Brea 265, is generally bounded by Lambert Road/Carbon Canyon Road to the north, Carbon Canyon Regional Park to the east, Birch Street and Rose Drive to the South, and residential uses to the west.</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>A Tentative Tract Map for the subdivision of the project site for residential, parks and open space uses. The TTM would implement the approved Brea 265 Specific Plan.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:Planner@cityofbrea.net">Planner@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>AERA ENERGY</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Planning Commission approved the TTM for the project on September 27, 2022.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>N/A</li> </ul>

**PROJECT MAP:**



**MEDICAL TRAINING FACILITY (MAP ID: 10)**

Case Types:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2022-08; <b>ACCELA No. PLN 2022-00024</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>910 E Birch Street, Unit 380</li> <li>Assessor's Parcel Number (APN): 319-101-46</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project establishes a medical training facility, and a tenant improvement of an existing 2,400 square foot commercial tenant space to facilitate such use.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:Planner@cityofbrea.net">Planner@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Aesthetic Immersion (Brian Robertson)</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Planning Commission approved the project on September 27, 2022.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>In operation</li> </ul>

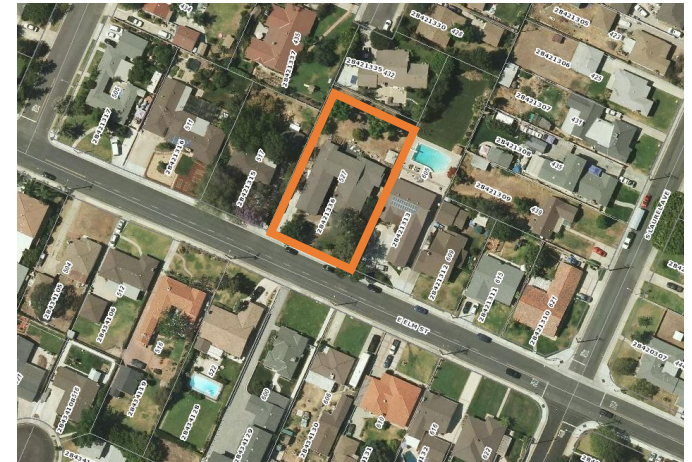
**PROJECT MAP:**



**ACCESSORY DWELLING UNIT AT 527 E ELM STREET (MAP ID: 11)**

Case Type:	<ul style="list-style-type: none"> <li>Certificate of Compatibility</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CC No. 2022-01; <b>ACCELA No. PLN 2022-00019</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>527 E. Elm Street</li> <li>Assessor's Parcel Number (APN): 284-213-36</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project establishes a new 1,496 square foot detached ADU.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:planner@cityofbrea.net">planner@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Frederick Talactac</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Planning Commission approved the project on October 25, 2022.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>In building permit plan check process</li> </ul>

**PROJECT MAP:**

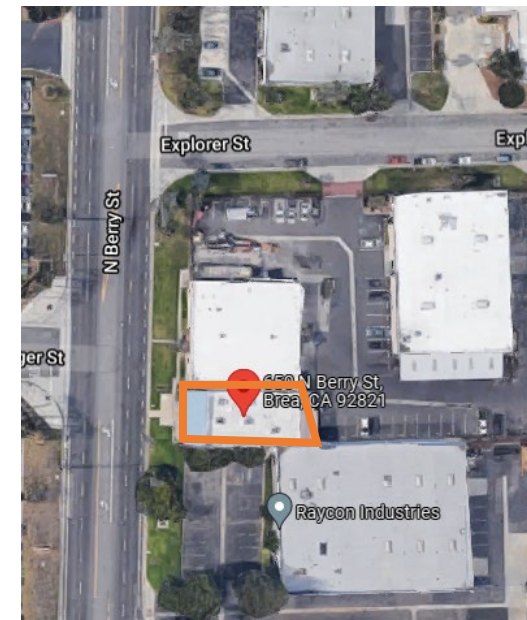




**PERSONAL TRAINING FACILITY (MAP ID: 12)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2021-15; <b>Accela No: PLN-2021-00056</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 296-132-01</li> <li>650 N Berry St</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project establishes a new personal training facility (gym) with ancillary office space.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jessica Newton, Senior Planner (<a href="mailto:JessicaN@cityofbrea.net">JessicaN@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Adela Miller</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Planning Commission approved the project on December 13, 2022.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Under construction</li> </ul>

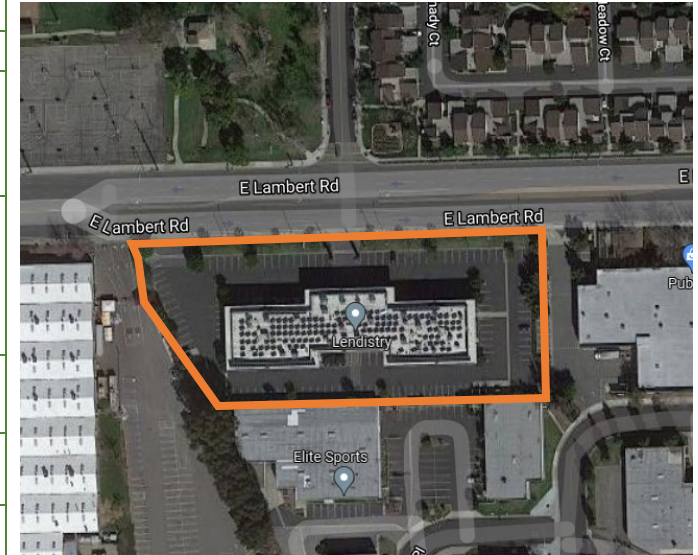
**PROJECT MAP:**



**BREA METRO OFFICE CONDO TENTATIVE PARCEL MAP (MAP ID: 13)**

Case Type:	<ul style="list-style-type: none"> <li>Tentative Parcel Map</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>TPM No. 2021-198; <b>Accela No: PLN-2021-00057</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Accessor's Parcel Number (APN): 319-192-15</li> <li>330 E Lambert Rd</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project subdivides the property into approximately 32 individual office condominiums. No change of use, demolition or on-site improvements.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:planner@cityofbrea.net">planner@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>CGM Development LLC (Gordon Lau)</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Planning Commission approved the project on March 28, 2023.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>N/A</li> </ul>

**PROJECT MAP:**



**INDUSTRIAL BUILDING (MAP ID: 14)**

Case Type:	<ul style="list-style-type: none"> <li>Plan Review, Environmental Impact Report Addendum</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PR No. 2022-04; EIR No. 5-81 Addendum No. 1; <b>ACCELA No. PLN 2022-00012</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>2727 E. Imperial Highway</li> <li>Assessor's Parcel Number (APN): 320-091-66</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project includes demolition of an existing office building and development of a new warehouse with related site improvements. The building would be a total of 113,700 SF.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Prologis</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Brea Community Development Director approved the project on March 27, 2023.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>In building permit plan check process</li> </ul>

**PROJECT MAP:**

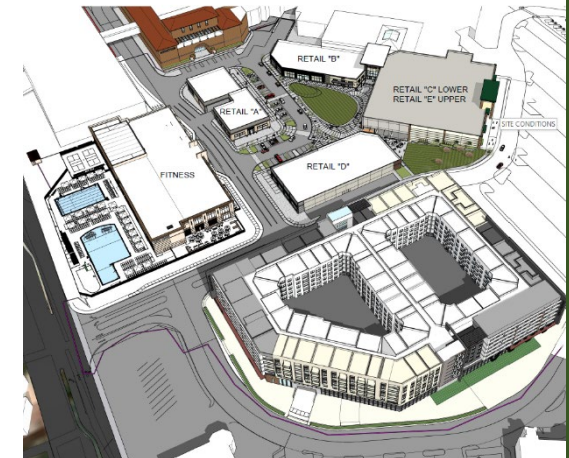




**BREA MALL MIXED USE PROJECT (MAP ID: 15)**

Project:	<ul style="list-style-type: none"> <li>EIR, General Plan Amendment, Zone Change, Development Agreement, Precise Development Plan, Tentative Parcel Map, and Conditional Use Permits</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>EIR 20-01, GPA No. 20-01; ZC No. 20-01, DA No. 20-01, TPM 22-113, PD No. 20-02, and CUP Nos. 20-06, 22-17, 22-18 and 22-19 <b>ACCELA No. PLN 2021-00008</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>100 Brea Mall;</li> <li>Assessor's Parcel Number (APN): 319-101-37 19-100-26, -62, -63, -64, -71, -73, -75 -76, -79, -89 and 319-103-22 (Note: GPA No. 2020-01 and ZC No. 2020-01 apply to the entire Brea Mall site)</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project includes: (1) General Plan Amendment to change the General Plan Land Use designation of the Project site and the Brea Mall from Regional Commercial to Mixed Use I; (2) Zone Change to change the zoning designation of the site from Major Shopping Center (C-C) with a Precise Development (P-D) overlay to Mixed Use I (MU-I); (3) Development Agreement to define the terms of development proposed by vesting the City's approval while specifying public benefits and improvements; (4) Precise Development Plan to demolish the former Sears building and surface parking lot and allow a new mixed-use development that includes retail, restaurants, for-rent residential apartments, a resort-type fitness center and an outdoor gathering space; (5) Tentative Parcel Map for subdivision; and (6) Conditional Use Permits for shared parking, to establish the Brea Mall sign program, to allow on-site alcohol consumption of beer, wine and distilled spirits within dining establishments and to allow a fitness center</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano, Assistant Planner (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Simon Properties</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Planning Commission Study Session (Project Preview) was held on September 27, 2022.</li> <li>Planning Commission Public Hearing (Project Introduction) was held on October 25, 2022.</li> <li>Planning Commission recommended approval of the project to the City Council on December 13, 2022.</li> <li>City Council Public Hearing (1<sup>st</sup> reading) was held on May 2, 2023.</li> <li>City Council approved the project during the 2<sup>nd</sup> reading on May 16, 2023.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Demolition of the former Sears building in process.</li> <li>In building permit plan check process</li> </ul>

**PROJECT MAP:**

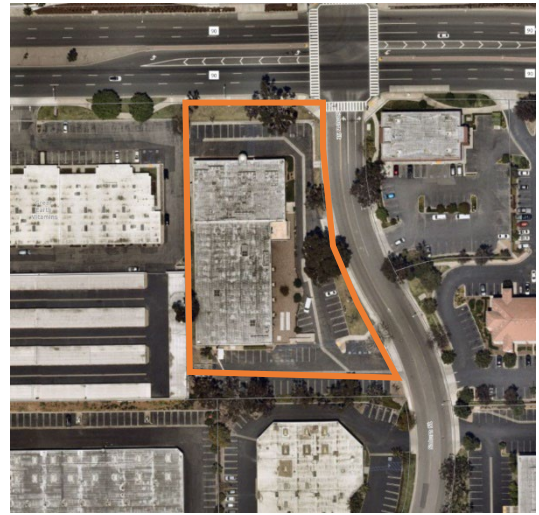


**GASLIGHT SQUARE REDEVELOPMENT (MAP ID: 16)**

Case Type:	<ul style="list-style-type: none"> <li>Precise Development, Conditional Use Permit, General Plan Amendment, Zone Change, Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PD No. 22-01; CUP No. 22-03; GPA No. 22-02; ZC No. 22-02; CUP 22-13 (Amend CUP 90-20); <b>ACCELA No. PLN 2022-00011</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>255 E. Imperial Highway</li> <li>Assessor's Parcel Number (APN): 319-292-31, 319-292-33, 319-292-35, 319-292-36</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The Project retains two of the existing five buildings that are currently used for medical uses. The remaining three commercial buildings totaling 18,286 square feet would be demolished and a new 2,000 square foot drive-through restaurant with an outdoor seating area and a 6,000 square foot commercial building consisting of 2,400 square feet of restaurant and 3,600 square feet of medical or retail space would be constructed.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Dwight Manley</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Planning Commission Public Hearing (Intro to Project) held on January 24, 2023.</li> <li>Planning Commission recommended approval of the project to City Council on April 11, 2023.</li> <li>City Council Public Hearing (1<sup>st</sup> reading) held on May 16, 2023.</li> <li>City Council approved the project during the 2<sup>nd</sup> reading on June 6, 2023.</li> </ul>
Current Status	<ul style="list-style-type: none"> <li>In building permit plan check process</li> </ul>

**PROJECT MAP:**



<i>SOUTHLANDS CHURCH FENCE HEIGHT (MAP ID: 17)</i>		
Case Type:	<ul style="list-style-type: none"> <li>Administrative Adjustment</li> </ul>	<b>PROJECT MAP:</b> 
Project No.:	<ul style="list-style-type: none"> <li>AR 2023-01; <b>ACCELA No. PLN 2022-00027</b></li> </ul>	
Project Location:	<ul style="list-style-type: none"> <li>2950 E. Imperial Highway</li> <li>Assessor's Parcel Number (APN): 336-631-21</li> </ul>	
Project Description:	<ul style="list-style-type: none"> <li>The Project increases the height of the fence along Imperial Highway from 30 inches to 42 inches.</li> </ul>	
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:planner@cityofbrea.net">planner@cityofbrea.net</a>)</li> </ul>	
Applicant:	<ul style="list-style-type: none"> <li>Southlands Church</li> </ul>	
Approval Dates:	<ul style="list-style-type: none"> <li>Community Development Director approved the application on February 1, 2023</li> </ul>	
Current Status	<ul style="list-style-type: none"> <li>In building permit plan check process</li> </ul>	



**BOILING CRAB OUTDOOR PATIO (MAP ID: 18)**

Case Type:	<ul style="list-style-type: none"> <li>Plan Review</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PR 2023-03; <b>ACCELA No. PLN 2023-00017</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>120 S. Brea Boulevard, Suite 106</li> <li>Assessor's Parcel Number (APN): 296-364-25</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The Project include a new outdoor patio for a new business, Boiling Crab</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Aejandra Zoquipa</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Community Development Director approved the application on June 6, 2023</li> </ul>
Current Status	<ul style="list-style-type: none"> <li>In building permit plan check process</li> </ul>

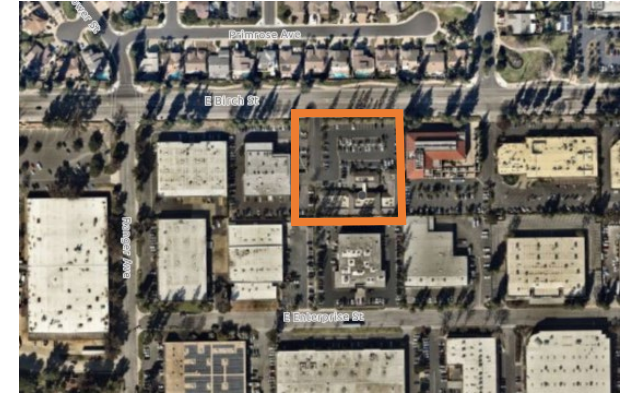
**PROJECT MAP:**



**THE CRAFT BEAUTY BAR (MAP ID: 19)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2023-03; <b>ACCELA No: PLN-2023-00028</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 330-222-23</li> <li>3000 E Birch St, Suite 109</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project establishes a beauty salon that offers services such as facials, lash extensions, and waxing on an appointment-only basis at a suite located within an existing office building.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano, Assistant Planner (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Gabriela Cortes</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Planning Commission approved the project on June 13, 2023.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>In operation.</li> </ul>

**PROJECT MAP:**



**DR. SQUATCH SCREENING WALL (MAP ID: 20)**

Case Type:	<ul style="list-style-type: none"> <li>Plan Review</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PR 2023-04; <b>ACCELA No. PLN 2023-00019</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>114 S Berry Street</li> <li>Assessor's Parcel Number (APN): 296-141-01</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The Project include a screening wall for equipment on the east side of the building</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jessica Newton, Senior Planner (<a href="mailto:jessican@cityofbrea.net">jessican@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Robert Lieu</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Community Development Director approved the application on June 22, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>In building permit plan check process</li> </ul>

**PROJECT MAP:**





**BREA PLAZA REMODEL (BUILDINGS E – G) (MAP ID: 21)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit, Precise Development</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2022-23; PD No. 2022-12; <b>ACCELA No: PLN-2022-00078</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 319-391-01</li> <li>1639 E Imperial Hwy</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project includes demolition of a 18,425 square foot theater (Building F) and remodeling Buildings E &amp; G for retail ground floor use and a new second floor for office use. Building E would add 7,787 square feet to the ground floor and a new 6,500 square foot second floor with a 3,028 square foot outdoor patio, and a new loading area to the rear of the building. Building G would add a new 8,480 square foot second floor with a 1,048 square foot outdoor patio.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jessica Newton, Senior Planner (<a href="mailto:jessican@cityofbrea.net">jessican@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Waad J. Nadhir</li> </ul>
Approval Dates	<ul style="list-style-type: none"> <li>The Planning Commission approved the application on August 8, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>In building permit plan check process</li> </ul>

**PROJECT MAP:**



**POPPING YOLK CAFÉ – ON-SITE ALCOHOL (MAP ID: 22)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2023-01; <b>ACCELA No: PLN-2023-00014</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 029-331-28</li> <li>1160 E Imperial Hwy, Suite J</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project includes an on-sale beer and wine alcohol license at a sit-down restaurant (Popping Yolk Café).</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>PYC Brea (Jason Tsai)</li> </ul>
Approval Dates	<ul style="list-style-type: none"> <li>The Planning Commission approved the application on August 8, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>In operation</li> </ul>

**PROJECT MAP:**



**ORIGAMI HANDROLL BAR – ON-SITE ALCOHOL (MAP ID: 23)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2023-04; <b>ACCELA No: PLN-2023-00029</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 284-181-01</li> <li>1080 E Imperial Hwy, Suite E-2</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project includes an on-sale beer and wine alcohol license at a sit-down restaurant (Origami Handroll Bar).</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Jay Yim</li> </ul>
Approval Dates	<ul style="list-style-type: none"> <li>The Planning Commission approved the application on September 12, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Restaurant under construction</li> </ul>

**PROJECT MAP:**





**BOILING CRAB – ON-SITE ALCOHOL (MAP ID: 24)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>	<p><b>PROJECT MAP:</b></p> 
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2023-07; <b>ACCELA No: PLN-2023-00039</b></li> </ul>	
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 296-364-25</li> <li>120 S Brea Blvd, Suite 103</li> </ul>	
Project Description:	<ul style="list-style-type: none"> <li>The project includes an on-sale beer and wine alcohol license at a sit-down restaurant (Boiling Crab).</li> </ul>	
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>	
Applicant:	<ul style="list-style-type: none"> <li>Isac Uravo</li> </ul>	
Approval Dates	<ul style="list-style-type: none"> <li>The Planning Commission approved the application on September 12, 2023</li> </ul>	
Current Status:	<ul style="list-style-type: none"> <li>Restaurant is under construction</li> </ul>	

**WESTMORELAND WALL HEIGHT (MAP ID: 25)**

Case Type:	<ul style="list-style-type: none"> <li>Administrative Remedy</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>AR 2023-05; <b>ACCELA No: PLN-2023-00038</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 320-013-23</li> <li>1944 Westmoreland Drive</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project increases the height of the existing wall with a fence from 6 feet to 8 feet.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Marcia &amp; Ed Munson</li> </ul>
Approval Dates	<ul style="list-style-type: none"> <li>The Community Development Director approved the application on September 14, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Pending construction of the fence extension.</li> </ul>

**PROJECT MAP:**



**SMARTE PARKE PET DAYCARE (MAP ID: 26)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2023-06; <b>ACCELA No: PLN-2023-00035</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 319-104-14</li> <li>835 E Birch St</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project establishes a luxury pet daycare and boarding facility (Smart Parke) within an existing commercial building.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Josh Drake (Smart Parke)</li> </ul>
Approval Dates	<ul style="list-style-type: none"> <li>The Planning Commission approved the application on September 26, 2023.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>In building permit plan check process</li> </ul>

**PROJECT MAP:**





**BREA PLACE SIGN PROGRAM AMENDMENT (MAP ID: 27)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2023-08; <b>ACCELA No: PLN-2023-00042</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 319-322-07, 319-322-08, 319-322-02, 319-331-18, 319-332-03, 319-331-19, 319-331-17</li> <li>100-145 S State College Blvd</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to amend the existing Brea Place master sign program.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jessica Newton, Senior Planner (<a href="mailto:jessican@cityofbrea.net">jessican@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Ashley Yu (JB3D)</li> </ul>
Approval Dates	<ul style="list-style-type: none"> <li>The Planning Commission approved the application on September 26, 2023.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Pending submittal of a building permit plan check</li> </ul>

**PROJECT MAP:**



**WIRELESS FACILITY CO-LOCATION (MAP ID: 28)**

Case Type:	<ul style="list-style-type: none"> <li>Plan Review</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PR 2023-07; <b>ACCELA No: PLN-2023-00047</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 319-331-12</li> <li>145 S. State College Boulevard</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to modify an existing wireless facility to add additional antennas and support equipment.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Meghan Graham</li> </ul>
Approval Dates	<ul style="list-style-type: none"> <li>The Community Development Director approved the application on October 10, 2023.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Under Building plan check process.</li> </ul>

**PROJECT MAP:**



<i>ULTA FAÇADE MODIFICATION (MAP ID: 29)</i>		
Case Type:	<ul style="list-style-type: none"> <li>Plan Review</li> </ul>	<b>PROJECT MAP:</b>  
Project No.:	<ul style="list-style-type: none"> <li>PR 2023-10; <b>ACCELA No: PLN-2023-00051</b></li> </ul>	
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 320-331-18</li> <li>2395 E. Imperial Highway Suite B</li> </ul>	
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing an exterior façade improvements to an existing building.</li> </ul>	
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>	
Applicant:	<ul style="list-style-type: none"> <li>Tom Pytel</li> </ul>	
Approval Dates	<ul style="list-style-type: none"> <li>The Community Development Director approved the application on October 4, 2023.</li> </ul>	
Current Status:	<ul style="list-style-type: none"> <li>Under construction</li> </ul>	



# REPEALED/DENIED

## SHOOT SOCAL (MAP ID: 1)

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2022-19; <b>ACCELA No. PLN 2020-00065;</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>524 E Imperial Highway</li> <li>Assessor's Parcel Map (APN): 284-211-04</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project included a request to establish a new business - a retail sale of firearms and ammunition in conjunction with the retail sale of sporting goods.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jason Killebrew, Community Development Director (<a href="mailto:jasonk@cityofbrea.net">jasonk@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>David Anderson</li> </ul>
Decision Date:	<ul style="list-style-type: none"> <li>Planning Commission Public Hearing was held on October 25, 2022.</li> <li>Planning Commission denied project on December 13, 2022.</li> </ul>
Final Decision	Denied

## PROJECT MAP:



**BREA PLAZA (MAP ID: 2)**

Case Type:	<ul style="list-style-type: none"> <li>General Plan Amendment, Zone Change, Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>GPA No. 2021-04-; ZC No. 2021-02, CUP No. 2021-17; CUP No. 2021-18, <b>ACCELA No. PLN 2020-00034</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>1639 East Imperial Highway</li> <li>Assessor's Parcel Number (APN): 319-102-25</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project included a demolition of 18,450 square feet of the Brea Plaza 5 Cinemas and 139 surface parking spaces, to construct a six-story, mixed-use building with up to 155 residential units, 13,800 square-feet of office space, and a new parking structure. A General Plan Amendment and Zone Change was also included.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:Planner@cityofbrea.net">Planner@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>BOSC Realty Advisors</li> </ul>
Decision Dates:	<ul style="list-style-type: none"> <li>On October 26, 2021, the Planning Commission held a public hearing on the project. At this meeting the project was continued to November 9, 2021.</li> <li>Recommended for Approval by the Planning Commission on January 25, 2022.</li> <li>On May 3, 2022, the City Council voted to approve the project.</li> <li>On July 19, 2022, the project was rescinded by the City Council.</li> <li></li> </ul>
Final Decision:	Approval Rescinded; No longer a project

**PROJECT MAP:**

