



Planning Commission Agenda

Tuesday, February 25, 2025, 6:00 PM
COUNCIL CHAMBERS
1 Civic Center Circle
Brea, California 92821

Also via teleconference:

350 W Central Ave #455, Brea, CA 92821

Melanie Schlotterbeck, Chair

Blake Perez, Vice Chair

Tom Donini, Commissioner **Ted Gribble**, Commissioner **Bill Madden**, Commissioner

This agenda contains a brief general description of each item the Commission will consider. The Planning Division has on file copies of written documentation relating to each item of business on this Agenda available for public inspection. Contact the Planning Division at (714) 990-7674 or view the Agenda and related materials on the City's website at www.cityofbrea.gov Materials related to an item on this agenda submitted after distribution of the agenda packet are available for public inspection in the Planning Division at 1 Civic Center Circle, Brea, CA during normal business hours. Such documents may also be available on the City's website subject to staff's ability to post documents before the meeting.

Procedures for Addressing the Commission

The Commission encourages interested people to address this legislative body by making a brief presentation on a public hearing item when the Chair calls the item or addresses other items under Matters from the Audience. State Law prohibits the Commission from responding to or acting upon matters not listed on this agenda.

The Commission encourages free expression of all points of view. To allow all persons the opportunity to speak, please keep your remarks to 3 minutes. If others have already expressed your position, you may simply indicate that you agree with a previous speaker. If appropriate, a spokesperson may present the views of your entire group. Commission rules prohibit clapping, booing, or shouts of approval or disagreement from the audience. Please silence all cell phones and other electronic equipment while the Commission is in session. Thank you.

Written comments may be submitted in advance of the meeting by emailing planner@cityofbrea.gov Written comments received by 3 p.m. on the day of the meeting will be provided to the Commission, will be made available to the public at the meeting, and will be included in the official record of the meeting.

Special Accommodations

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact Planning at (714) 990-7674. Notification 48 hours before the meeting will enable City staff to make reasonable arrangements to ensure accessibility. (28 CFR 35.102.35.104 ADA Title II)

Important Notice

The City of Brea shows a live broadcast of the Planning Commission meeting over the internet at <https://cityofbrea-net.zoom.us/j/89166452644> Your attendance at the public meeting may result in the recording and broadcast of your image and/or voice as previously described.

ALL PLANNING COMMISSION DECISIONS MAY BE APPEALED TO THE CITY COUNCIL WITHIN TEN (10) CALENDAR DAYS OF THE MEETING. PLEASE CONTACT THE CITY CLERK AT (714) 990-7756 FOR FURTHER INFORMATION ABOUT FILING AN APPEAL OR OBTAINING AN APPEAL APPLICATION.

1. GENERAL SESSION

- 1A. Call to Order/Roll Call - Commission
- 1B. Invocation
- 1C. Pledge of Allegiance
- 1D. Matters from the Audience

2. CONSENT CALENDAR

- 2A. January 28, 2025 Planning Commission Meeting Minutes
 - 1. Approve.

3. ADMINISTRATIVE ITEMS

- 3A. Project Introduction - Greenbriar Residential Development at 1698-1700 Greenbriar Lane
 - 1. Receive Project information from staff and the Project Applicant; and
 - 2. Provide Project related feedback to staff, if any.
- 3B. Committee Reports
- 3C. Informational/Project Updates
 - 1. Receive and file.

4. ADJOURNMENT

Date Posted: February 20, 2025



Planning Commission Communication

A. January 28, 2025 Planning Commission Meeting Minutes

Meeting	Agenda Group
Tuesday, February 25, 2025, 6:00 PM	CONSENT CALENDAR Item: 2A.
FROM	
Joanne Hwang, City Planner	

RECOMMENDATION

Staff recommends that the Planning Commission approve the January 28, 2025 Planning Commission meeting minutes (Attachment A).

RESPECTFULLY SUBMITTED:

Joanne Hwang, AICP, City Planner

Attachments

[Planning Commission DRAFT Minutes 1_28_2025.pdf](#)

**** The following document is a draft of the minutes and the not the official approved minutes ****

Minutes for the Planning Commission

1 Civic Center Circle, Brea, California 92821

January 28, 2025

Roll Call: *(The following members were in attendance)*

- **Melanie Schlotterbeck**, Planning Commission Chair
- **Blake Perez**, Planning Commission Vice Chair
- **Tom Donini**, Planning Commissioner
- **Theodore Gribble**, Planning Commissioner
- **Bill Madden**, Planning Commissioner

1. CALL TO ORDER/ROLL CALL - COMMISSION

Vice Chair Schlotterbeck called the meeting to order at 6:00 pm.

2. INVOCATION

Pastor Eddy Vera with the Friends Community Church led the invocation.

3. PLEDGE OF ALLEGIANCE

Commissioner Madden led the Pledge of Allegiance.

4. COMMISSION REORGANAZATION

Motion was made by Commissioner Madden and seconded by Commissioner Perez to nominate Commissioner Perez as Vice Chair and Vice Chair Schlotterbeck as the Chair. Motion passed 5-0.

Commissioner Madden volunteered to be on the Cultural Art Commission.

5. MATTERS FROM THE AUDIENCE

City Planner, Joanne Hwang, noted staff received two additional comment letters for Item 7A, which had been provided to the commission and the public.

6. CONSENT CALENDAR

Motion was made by Commissioner Donini and seconded by Commissioner Madden to approve the consent calendar. Motion passed 5-0.

6A. December 10, 2024 Planning Commission Meeting Minutes

6B. 2024 Administrative Remedy and Minor Conditional Use Permit Annual Report

7. PUBLIC HEARINGS

7A. Conditional Use Permit 2024-06; Saint Matthew Ecumenical Catholic Church

Planning Technician, Brianna Co, provided a presentation of the project.

The Planning Commission asked questions regarding the following topics:

- Potential impact to the neighboring apartment complex and potential parking overflow
- Number of available parking spaces
- Shared parking spaces with surrounding businesses and related off-site parking agreement
- Parking signage for church attendees
- Off-site parking plan vs. parking management plan
- Enforcement of conditions of approval
- Types of remedy that would apply to resolve nuisance issues
- Potential crosswalk across Sycamore Avenue.

Ms. Co, City Planner Joanne Hwang, and City Engineer Ryan Chapman responded to Commission questions.

Chair Schlotterbeck Opened the Public Hearing by inviting the applicant to speak.

The applicant, Deacon Tony, responded to the Commission's questions.

Seeing no members of the public wishing to address the Commission, Chair Schlotterbeck closed the Public Hearing.

Motion was made by Commissioner Madden and seconded by Vice Chair Perez to approve Conditional Use Permit 2024-06 for the project as presented. Motion passed 5-0.

7B. Omnibus Code Update ZOTA No. 2024-01

Assistant Planner, Esteban Rubiano, provided a presentation of proposed Omnibus Zoning Code updates amending the following chapters of Brea City Code.

The Planning Commission had comments and questions on the following items:

- Clarification of SB9 Lot Splits
- Increase of the allowable amount of detached ADU's on existing multifamily lots
- Time limits associated with special events permitted through Temporary Use Permits (i.e. Pumpkin Patch and Christmas Tree Lots)
- Impact of ADU Design Standards on ADU projects
- Parking Standards for various restaurant classifications
- Residential landscape standards
- Request for allowing additional time for further review of the proposed amendments

Mr. Rubiano and Ms. Hwang responded to the Planning Commissions inquiries and provided further clarification.

Chair Schlotterbeck opened the public hearing. Seeing no one from the public wishing to address the Commission, she then closed it.

Motion was made by Vice Chair Perez and seconded by Madden to approve with a direction for staff to add clarification on what constitutes as landscaping and the motion carried 5-0.

8. ADMINISTRATIVE ITEMS

8A. Committee Reports

Vice Chair Perez provided an update regarding the General Plan Steering Committee meeting held in January.

8B. Informational/Project Updates

The Commission asked questions regarding the following topics:

- Potential implementation of the new State Law regarding Open Space/ Conservation Elements
- Status of Brea 265 Specific Plan, closure of the oil wells, and project site ownership
- TPM No. 2024-135 (411 Sievers Avenue)
- February meeting schedule

9. ADJOURNMENT

Chair Schlotterbeck adjourned the meeting at 7:34 PM.



Planning Commission Communication

A. Project Introduction - Greenbriar Residential Development at 1698-1700 Greenbriar Lane

Meeting	Agenda Group
Tuesday, February 25, 2025, 6:00 PM	ADMINISTRATIVE ITEMS Item: 3A.
TO	FROM
Chair and Members of the Planning Commission	Joanne Hwang, City Planner

EXECUTIVE SUMMARY

The Applicant, Lennar Homes of California, Inc., has submitted planning entitlements for a project that would demolish an existing 164,908 square foot office building, a three-level parking structure, and surface parking and associated landscape areas, and construct a residential development consisting of 179 single-family units (detached and attached) with a private recreational area, on a 9.7-acre property located at 1698-1700 Greenbriar Lane. The entitlements necessary to facilitate the proposed project are as follows:

1. Environmental Impact Report (EIR) No. 2024-01: to analyze the environmental impacts resulting from construction and operation of the proposed project, which is prepared pursuant to the California Environmental Quality Act (CEQA) and CEQA Guidelines;
2. Vesting Tentative Tract Map (TTM) No. 2024-01: to allow for a condominium map;
3. General Plan Amendment (GPA) No. 2024-02: to modify the project site's General Plan land use designation from General Commercial to a Mixed-Use II land use designation;
4. Zone Change (ZC) No. 2024-02: to modify the project site from C-G General Commercial Zone to a Mixed-Use II (MU-II) Zone;
5. Development Agreement (DA) No. 2024-01: for a contract between the Applicant and the City, defining terms of development proposed by vesting the City's approval while specifying public benefits; and
6. Precise Development (PD) No. 2024-2: to demolish an existing 164,908 square foot office building, a three-level parking structure, and surface parking and associated landscape areas, and construct a residential development consisting of 179 single-family units (detached and attached) with a private recreational area.

The above-mentioned entitlements herein are referred to as the "Project."

RECOMMENDATION

Staff recommends that the Planning Commission take the following actions:

1. Receive Project information from staff and the Project Applicant; and
2. Provide Project related feedback to staff, if any.

BACKGROUND

Project Location

The Project site, located at 1698-1700 Greenbriar Lane, is a 9.7-acre property that is situated west of South Associated Road, south of Greenbriar Lane, and north of the Brea Plaza Shopping Center. The Project site is currently developed with a 164,908 square foot office building, a three-level parking structure, and surface parking and associated landscape areas, and was most recently occupied by Mercury Insurance. Vehicle access to the Project site is currently provided by one driveway approach on Greenbriar Lane and an internal access road that connects the Project site to the Brea Plaza Shopping Center along the southern property line. The Project site has a General Plan Land Use designation of General Commercial and a zoning designation of C-G General Commercial. The Project Vicinity Map, the surrounding land uses and zoning designations are shown in Figure 1 and Tables 1 and 2 below.

Figure 1. Project Vicinity Map



TABLE 1 – Surrounding Land Uses

North	Single-family residential uses
East	Single-family residential uses (across the Fullerton Creek drainage channel & S. Associated Road)
South	Brea Plaza Shopping Center
West	Brea Mall (across State Route SR-57 & State College Avenue)

TABLE 2 – Surrounding Zoning Designations

North	Multiple Family Residential (R-2)
East	Single-Family Residential (R-1) (across the Fullerton Creek drainage channel & S. Associated Road)
South	General Commercial (C-G)

West	Regional Commercial (C-C) and Mixed-Use I (MU-I) (<i>across State Route SR-57 & State College Avenue</i>)
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Entitlement History

- In 1975, the existing 164,908 square foot office building was approved under Precise Development (PD No. 19-75) and Parcel Map (PM No. 3-75) as part of the Brea Plaza Office Park, which included the Project site and the site that is now occupied by the Brea Plaza Shopping Center.
- In 2005, the construction of the three-level parking structure was approved under Conditional Use Permit (CUP No. 05-02), Precise Development (PD No. 05-01), and Mitigated Negative Declaration (ND No. 05-01).
- Private agreement: The Project site and Brea Plaza Shopping Center are currently under an existing memorandum of understanding (MOU) that allows customers of the Brea Plaza Shopping Center to use approximately 180 parking spaces located at the Project site during normal business hours, and all of the surface parking spaces (approximately 500 spaces) after 5:00 p.m. and on weekends. The MOU expires in April 2026, unless voluntarily terminated by both parties sooner.

PROJECT DESCRIPTION

The Applicant proposes to demolish an existing 164,908 square foot office building, a three-level parking structure, and surface parking and associated landscape areas, and construct a residential development consisting of 179 single-family units (detached and attached) including landscaping and common open space areas, which would include a private park.

General Plan Amendment and Zone Change

To accommodate the 179-unit residential development, the Project would require a General Plan Amendment to modify the site’s General Plan land use designation from General Commercial to Mixed-Use II as well as a Zone Change to modify the zoning designation from C-G General Commercial Zone to a Mixed-Use II (MU-II) Zone.

Site Plan and Circulation

The Project layout proposes a row of buildings along the northern, eastern, and southern property lines as well as smaller vertical rows of buildings towards the center of the development. The site would be accessed via two new vehicular connections along Greenbriar Lane (one at the eastern end and one at the western end of the Project site). Per the City’s roadway standards, Greenbriar Lane would be reconfigured and the two new internal access roads would connect at “t-intersections” to accommodate the Project. Additionally, the existing internal access road that connects the Project site and the Brea Plaza Shopping Center would be closed. However, the existing pedestrian accessway connecting the Project site and the Brea Plaza Shopping Center, located at the southeast corner of the Project site, would remain. To accommodate the proposed residential development, the Project includes a Tentative Tract Map for condominium purposes.

The Project would include eight internal streets (A through H Drive) and 11 cul-de-sacs (I through J Court and L through T Court). Attachment A is the Project’s Tentative Tract Map, and Figure 2 below illustrates the proposed Project Layout (Attachment B – Illustrative Site Plan).

Figure 2. Proposed Project Layout



Building Types

The Project would include 67 buildings consisting of three different housing products. Table 3 below provides a breakdown of the proposed building and unit summary, and the below narrative provides descriptions of each housing product:

TABLE 3 – Proposed Building & Unit Summary

Housing Product	Number of Buildings	Number of Units
The Courts	16	80
The Villas	37	73
The Yards	14	26
Residential Subtotal	67	179

- The Courts: The Courts would consist of a total of 16 three-story buildings (80 units), which would be either 36'-9" or 36'-11" in height. The majority of the Courts buildings would be oriented in a "U" shape to provide an internal garden courtyard for residents. The floor plans would range in size from approximately 964 to 1,946 square feet and would provide one-, two-, three-, and four-bedroom units. Each unit would have an enclosed two-car garage, except the one-bedroom units, which would have an enclosed one-car garage.
- The Villas: The Villas would consist of a total of 37 four-story buildings (73 units) and would include a rooftop terrace on the fourth floor (48'-11" or 44'-2" in height, depending on style option). The majority of the Villas buildings would be attached duplexes, which the exception of one stand-alone unit. The floor plans would range in size from approximately 2,294 to 2,503 square feet and would provide three- and four-bedroom units. Each unit would have an enclosed two-car garage.
- The Yards: The Yards would consist of a total of 14 three-story buildings (26 units), which would be 41'-5" or 35'-7" in height, depending on style option. The majority of the Yards buildings would be attached duplexes, which the exception of two stand-alone units. The floor plans would range in size from approximately 1,846 to 2,450 square feet and would provide three-bedroom units. Each unit would have an enclosed two-car garage.

The Floors Plans and Elevation Drawings are provided as Attachment C.

Building Design

The proposed building designs includes a mixture of farmhouse and contemporary architecture that would be complimentary to one another and the surrounding areas. The elevations of the proposed housing products utilize color schemes involving white, beige and gray with accent tones in black and brown, along with varying materials such as stone, brick, and wood planks, as shown in Figures 3, 4, and 5 below.

Figure 3. Proposed Building Renderings – The Courts



Figure 4. Proposed Building Renderings – The Villas





Figure 5. Proposed Building Renderings – The Yards



Development Standards

The Project complies with a majority of the development standards established for the MU-II zoning district. Table 4 below provides a breakdown of the Project’s zoning conformance:

TABLE 4 – Compliance with Development Standards

Development Standard	Zoning Code Standards (min./max.)	Proposed
Minimum Project Size	2,500 sq. ft.	422,478 sq. ft. (approximately 9.7 acres)
Density	6.1 to 40 du/ac	18.4 units per acre
Floor Area Ratio (FAR)	2.00	1.20

Height	60 ft.	<u>The Courts</u> – 36'-11" for the five-unit buildings & 36'-9" for the 10-unit buildings <u>The Villas</u> – 44'-2" or 48'-11", depending on style option <u>The Yards</u> – 35'-7" or 41'-5", depending on style option
Building Setbacks		
Front (S. Associated Road)	15 ft.	155'-7"
Street Side (Greenbriar Lane)	15 ft.	*12'-3" to 23'-4"
Interior Side	10 ft.	10'
Rear (State Route SR-57)	20 ft.	*16'-7" to 61'-9"
Landscape Setbacks		
Front (S. Associated Road)	Front: 8 ft.	29'-9"
Street Side (Greenbriar Lane)	Street Side: 8 ft.	12'-3" to 23'-4"
Interior Side	Interior Side: 5 ft.	10'
Rear (State Route SR-57)	Rear: 5 ft.	5'-8"
Common Open Space	100 sq. ft. per unit (Minimum dimension shall be 15 feet.)	Approximately 39,995 sq. ft.
Private Open Space	75 sq. ft. per unit (Minimum dimension shall be 8' feet)	Ranges in size from approximately 96 sq. ft. to 347 sq. Ft. (balconies, roof top deck, private courtyards)
Parking	448 (358 garage spaces; 90 guest spaces)	*397 (342 garage spaces; 55 guest spaces)
*The project would either have to meet the standards or obtain approval of Minor Conditional Use Permit (MCUP) to modify the required minimum development standard.		

As shown on Table 4 above, there are three development standards that are not being met (i.e. minimum street side setback, minimum rear setback, minimum parking requirements). As such, the Applicant would either be required to update the Project plans to comply with the applicable development and/or obtain subsequent approval of a MCUP or any other available administrative permit for the requested modification of standards.

Landscaping and Open Space

The Project would provide 104,785 square feet of ornamental landscaping throughout the site, including both parameter and internal landscaping areas, and 35,423 square feet of common hardscape areas. The Project would be required to comply with the minimum landscaping requirement standards. In addition, the proposed landscaping area would include a 7,569 square-foot private park. A conceptual park plan is shown on Figure 6 below.

Figure 6. Conceptual Park Plan



Parking

The Project provides a total of 397 parking spaces, of which 342 spaces are enclosed garage spaces and 55 spaces are exterior guest parking spaces. The 55 guest parking spaces would be located throughout the Project site and would include four accessible parking spaces and six electric vehicle charging spaces. The guest parking areas would be screened by landscape hedges or retaining walls, or a combination thereof. No on-street or driveway parking is provided as part of the proposal.

As previously mentioned in the Development Standards section of this report, the minimum required parking per BCC is a total of 448 off-street parking spaces (358 enclosed garages and 90 guest parking spaces). As such, the Project would be required to obtain an approval of a MCUP to allow a reduction in the number of required parking spaces as allowed by BCC Section 20.408.030.B.2.a.2, or any other available administrative permit.

Construction Phasing

If approved, construction activities (e.g. demolition, rough grading, infrastructure and offsite improvements, building construction, etc.) are anticipated to commence in April 2026. The construction is estimated to take approximately 31 months, with the anticipated completion date in late 2028.

Development Agreement

The Project requires a DA to define the terms of the proposed development by vesting the City's approval while specifying public benefits and improvements. Additionally, the Applicant as indicated that they intend to satisfy the City's affordable housing requirements either by: 1) providing affordable housing on-site consistent with State Density Bonus Law; 2) providing land to the City for the construction of affordable units by the City; or 3) providing affordable housing at an off-site location.

REQUIRED ENTITLEMENTS

The Project requires the following entitlements:

- Environmental Impact Report (EIR) No. 2024-01: to analyze the environmental impacts resulting from construction and operation of the proposed project, which is prepared pursuant to the California Environmental Quality Act (CEQA) and CEQA Guidelines;
- Vesting Tentative Tract Map (TTM) No. 2024-01: to allow for a condominium map;
- General Plan Amendment (GPA) No. 2024-02: to modify the project site's General Plan land use designation from General Commercial to a Mixed-Use II land use designation;
- Zone Change (ZC) No. 2024-02: to modify the project site from C-G General Commercial Zone to a Mixed-Use II (MU-II) Zone;
- Development Agreement (DA) No. 2024-01: for a contract between the Applicant and the City, defining terms of development proposed by vesting the City's approval while specifying public benefits; and
- Precise Development (PD) No. 2024-2: to demolish an existing 164,908 square foot office building, a three-level parking structure, and surface parking and associated landscape areas, and construct a residential development consisting of 179 single-family units (detached and attached) with a private recreational area.

ENVIRONMENTAL REVIEW

The City, as the lead agency with the assistance of PlaceWorks, prepared the EIR in accordance with the authority and criteria contained in the CEQA Guidelines and the environmental regulations of the City. The EIR is the highest level of environmental review under CEQA. The purpose of an EIR is to: 1) Evaluate a Project to determine if the Project may have significant effect on the environment; 2) Identify mitigation and analyze alternatives; and 3) Disclose the reasoning behind considering a Project although significant impacts are unable to be avoided or reduced. These specific objective and purpose are required through the EIR process to consider the environmental consequences of discretionary actions before approving plans, policies, or projects.

EIR Timeline:

- On July 31, 2024, the City issued a Notice of Preparation (NOP) informing the public that an EIR is being prepared for the Project and provided information on the planned scoping meeting. The public comment period concluded on September 3, 2024, and a total of six agencies and interested parties responded to the NOP and provided written comments.
- On August 21, 2024, the City held a scoping meeting on the Project's EIR. A total of six individuals were in attendance, where the majority were residents of the Glenbrook community. At the end of the meeting, one written comment card was submitted. In general, the comments expressed during the meeting were concerns regarding traffic, street parking, noise, and aesthetics (height/massing).
- On December 12, 2024, the City issued a Notice of Availability (NOA) to provide the public and agency review of the Draft EIR (DEIR).

- On December 13, 2024, the DEIR was released for public review. The public comment period concluded on January 28, 2025, and a total of three agencies and interested parties responded to the DEIR and provided written comments. Response to comments will be provided as a part of the Final EIR.

Draft EIR Summary:

- Topics that were found not to be significant:
 - Agriculture and Forest Resources
 - Biological Resources
 - Geology and Soils
 - Hydrology and Water Quality
 - Mineral Resources
 - Wildfires
- Topics that resulted in less than significant/no impact without mitigation:
 - Aesthetics
 - Energy
 - Land Use and Planning
 - Noise
 - Transportation
 - Utilities and Services Systems
 - Population and Housing
 - Public Services (Fire Protection and Emergency Services, Police Protection, School and Library Services)
 - Recreation
- Topics that resulted in a less than significant impact with mitigation incorporated:
 - Air Quality
 - Cultural and Paleontological Resources
 - Tribal Cultural Resources
 - Greenhouse Gas Emissions
 - Hazards and Hazardous Material

There are no topics analyzed that resulted in significant and unavoidable impacts. Details of these conclusions, associated mitigation, technical assessments and the environmental narrative are outlined in the DEIR, which can be found on the City's Website at <https://www.cityofbrea.gov/166/Projects-in-Process>.

NEXT STEPS

Once the Final EIR is prepared, the Project and the Final EIR will be presented to the Planning Commission as a public hearing item. As required, public notices will be sent to property owners within 500 feet of the Project site and to interested parties for such meeting. The Public Notice will also be published in the local newspaper. The public and all interested parties will have opportunities to testify before the Planning Commission at that time. At such public hearing, staff would be requesting the Planning Commission to make a recommendation to the City Council following the review of the requested entitlements, public comments received, and Planning Commission discussion, as the required Project Entitlements require the City Council approval (i.e. General Plan Amendment and Zone Change).

Prepared by:

Rebecca M. Pennington

Senior Planner

Concurrence by:

Joanne Hwang, AICP, City Planner

ATTACHMENTS

- A. TTM Plans
- B. Illustrative Site Plan
- C. Floor Plans & Elevations
- D. Applicant's Project Description

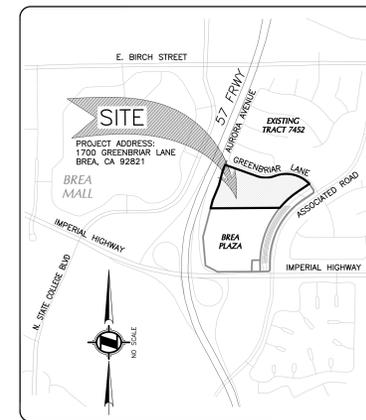
Attachments

[Attachment A - Tentative Tract Map TTM.pdf](#)

[Attachment B - Illustrative Site Plan.pdf](#)

[Attachment C - Floor Plans & Elevations.pdf](#)

[Attachment D - Project Description.pdf](#)



VICINITY MAP

**VESTING TENTATIVE TRACT NO. XXXXX
FOR CONDOMINIUM PURPOSES
CIVIL ENTITLEMENT PACKAGE
1700 GREENBRIAR LANE
BREA, CA. 92821**

SHEET INDEX

- SHEET 1 - TITLE SHEET
- SHEET 2 - TENTATIVE TRACT MAP - PLAN VIEW, SUMMARIES, NOTES, AND EXISTING STREET SECTIONS
- SHEET 3 - TENTATIVE TRACT MAP - EXISTING & PROPOSED EASEMENTS, TYPICAL STREET SECTIONS
- SHEET 4 - SITE PLAN
- SHEET 5 - MASTER SEWER & WATER PLAN
- SHEET 6 - FIRE ACCESS PLAN
- SHEET 7 - TRASH PLAN EXHIBIT
- SHEET 8 - TRUCK TURNING EXHIBIT

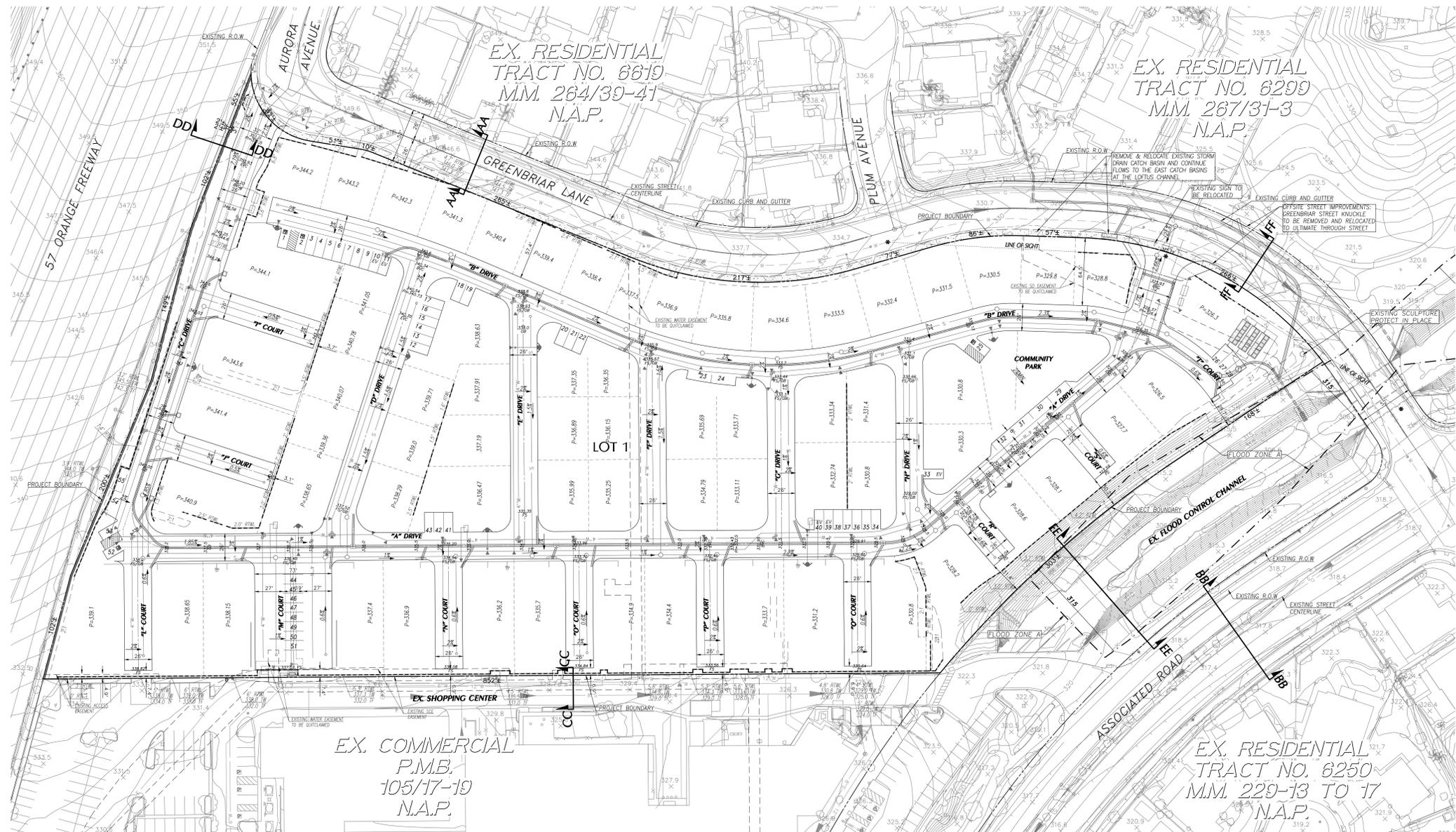
REVISION	
DATE	DESCRIPTION

<p>PREPARED FOR: LENNAR IRVINE, CA 92618 (949) 343-8000 ATTN: GARY JONES</p>	<p>PREPARED BY: HUNSAKER & ASSOCIATES PLANNING • ENGINEERING • SURVEYING Three Hagues • Irvine, CA 92618 • PH: (949) 261-0700 • FX: (949) 261-0799</p>
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CITY OF BREA

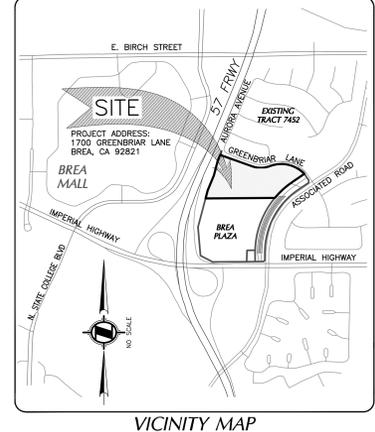
**VESTING TENTATIVE TRACT NO. XXXXX
FOR CONDOMINIUM PURPOSES
1700 GREENBRIAR LANE BREA, CA 92821
TITLE SHEET**

DESIGNED BY: SS	DATE: 1/28/2025	CITY FILE NO.:	SHEET 1 OF 8
DRAFTED BY: DP/JS			
CHECKED BY: SS			



NOTES

- EXISTING LAND USE: GENERAL COMMERCIAL
- PROPOSED LAND USE: MIXED-USE
- PROPOSED AND EXISTING PROPERTY AREA: 9.7 ACRES
- EXISTING ZONING: C-G
- PROPOSED ZONING: MU-II
- THIS TENTATIVE TRACT MAP IS FOR CONDOMINIUM PURPOSES.
- ASSESSOR PARCEL NUMBERS: 319-102-34
- PROPOSED GRADING AND DRAINAGE SHALL COMPLY WITH GRADING AND EXCAVATION CODE OF THE CITY OF BREA MUNICIPAL CODES.
- WATER, SEWER, AND DRY UTILITIES WILL BE PRIVATE FACILITIES.
- SEWER SIZE WILL BE DETERMINED PER TTM.
- ALL PROPOSED UTILITIES TO BE UNDERGROUND.
- DRAINAGE FACILITIES IN ACCORDANCE WITH THE CITY OF BREA STANDARDS AND O.C.F.C.D. STANDARDS.
- GRADING PER CITY OF BREA GRADING CODE.
- THE PROPERTY IS LOCATED WITHIN BREA OLINDA UNIFIED SCHOOL DISTRICT.
- ALL PROPOSED IMPROVEMENTS SHALL COMPLY WITH THE CITY OF BREA STANDARDS AND SPECIFICATIONS OR AS SPECIFIED IN THIS TENTATIVE MAP.
- AREA CALCULATIONS ARE APPROXIMATE AND PRELIMINARY, AND ARE SUBJECT TO CHANGE IN FINAL DESIGN.
- MAXIMUM SLOPE RATIO IS 2:1, UNLESS OTHERWISE NOTED.
- UTILITIES PROVIDED BY:
 - WATER & SEWER: CITY OF BREA, 545 BERRY STREET, BREA, CA 92821, (714) 990-7891
 - ELECTRIC: SOUTHERN CALIFORNIA EDISON (SCE), 1400 S BENSON AVENUE, CHINO, CA, (909) 548-7047
 - GAS: SOUTHERN CALIFORNIA GAS COMPANY, 1919 STATE COLLEGE BLVD., ANAHEIM, CA 92806, (877) 238-0092
 - TELEPHONE: AT&T, 1452 EDINGER AVENUE, 3RD FLOOR, TUSTIN, CA 92780, (714) 815-9170
 - CABLE/INTERNET: SPECTRUM, 2430 E MIRALOMA AVENUE, ANAHEIM, CA 92806, (714) 414-1454
 - STORM DRAIN: CITY OF BREA PUBLIC WORKS, 1 CMC CENTER CIRCLE, BREA, CA 92821, (714) 990-7891



LEGAL DESCRIPTION:

PARCEL 2, IN THE CITY OF BREA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED JUNE 3, 1976 IN BOOK 80, PAGES 42 AND 43 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, CALIFORNIA, AND AMENDED BY CERTIFICATE OF CORRECTION RECORDED OCTOBER 15, 1992 AS INSTRUMENT NO. 92-700294, OFFICIAL RECORDS.

EXCEPT THEREFROM THAT PORTION OF SAID LAND DESCRIBED IN THE DEED TO THE STATE OF CALIFORNIA, RECORDED JANUARY 14, 2011 AS INSTRUMENT NO. 2011000028720, OF OFFICIAL RECORDS.

ALSO EXCEPT THEREFROM ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, MINERALS AND WATER UNDERLYING A PLANE PARALLEL TO AND 500 FEET MEASURED VERTICALLY DOWNWARD BELOW THE SURFACE OF THE LAND, WHICH PORTION IS HERINAFTER REFERRED TO AS "SUBSURFACE LAND", TOGETHER WITH RIGHTS OF WAY, EASEMENTS AND SERVITUDES IN AND THROUGH SUBSURFACE LAND FOR THE PURPOSE OF EXERCISING THE RIGHTS HERIN RESERVED AND SUBSTANCES AND OTHERWISE TO DRILL, COMPLETE AND MAINTAIN WELLS INTO AND THROUGH SUBSURFACE LAND FROM SURFACE LOCATIONS OUTSIDE THE BOUNDARIES OF REAL PROPERTY HERIN CONVEYED, PROVIDED, HOWEVER, THAT THE RIGHT HERIN RESERVED AND RETAINED DO NOT INCLUDE THE RIGHT TO ENTER UPON THE SURFACE OF THE REAL PROPERTY HERIN CONVEYED OR WITHIN 500 FEET, MEASURED VERTICALLY DOWNWARD BELOW THE SURFACE OF THE LAND, AS RESERVED BY UNION OIL COMPANY OF CALIFORNIA, IN DEED RECORDED APRIL 20, 1973 IN BOOK 10654 PAGE 243, OFFICIAL RECORDS.

APN: 319-102-34

NUMBERED LOT SUMMARY

LOT NO.	S.F.	ACRES	LAND USE
1	422,478	9.70	FUTURE RESIDENTIAL, ACCESS, PUBLIC AND PRIVATE UTILITIES

UTILITY SUMMARY

WATER	4,837 LF
FIRE WATER	4,034 LF
SEWER	4,292 LF
STORM DRAIN	3,298 LF

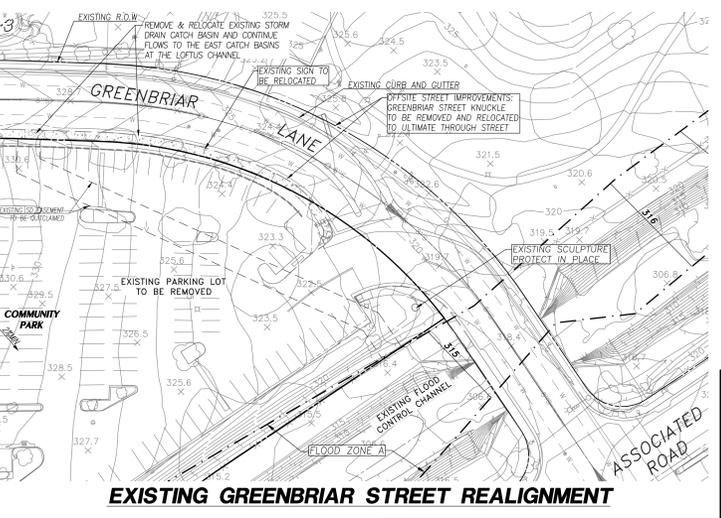
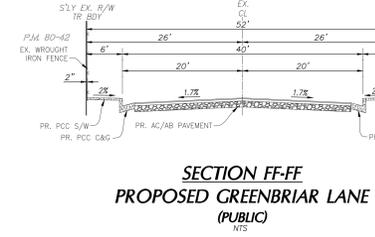
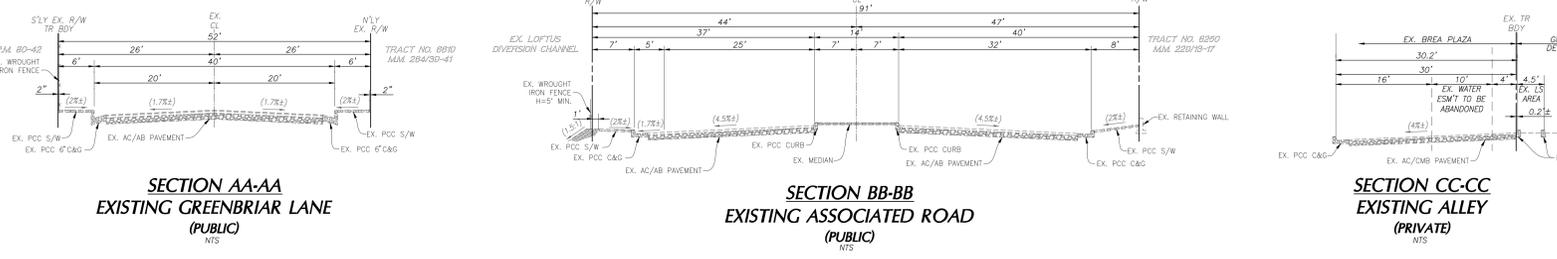
UNIT COUNT

179 UNITS

LEGEND

- PROJECT BOUNDARY
- PROPOSED RIGHT OF WAY
- PROPOSED CENTER LINE
- FLOOD ZONE A
- LOT 1
- NUMBERED LOT
- LETTERED LOT
- PAD ELEVATION
- PROPOSED STREET ELEVATION
- RATE OF GRADE
- COUNTOUR & ELEVATION
- SLOPE
- RETAINING WALL
- RETAINING WALL HEIGHT
- GRAVITY SEWER
- WATER
- STORM DRAIN
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- EXISTING SEWER
- EXISTING WATER
- EXISTING STORM DRAIN
- EXISTING ELECTRIC
- EXISTING GAS
- EXISTING TELEPHONE
- EXISTING CABLE TV

EXISTING STREET SECTIONS



OWNER'S STATEMENT

I HEREBY ACKNOWLEDGE THE SUBMISSION OF THE PARCEL MAP AND REQUEST THE CITY TO PROCESS IT.

SIGNATURE _____ DATE _____

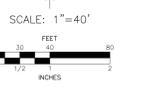
STATEMENT BY ENGINEER OF RECORD

I HEREBY STATE THAT THIS MAP WAS PREPARED UNDER MY SUPERVISION AND THAT THE OWNER OF RECORD HAS KNOWLEDGE OF AND CONSENTS TO THE FILING OF THIS MAP.

SEAN SWANSON _____ DATE 6/27/2024



SEE TYPICAL PROPOSED STREET SECTIONS ON SHEET 3



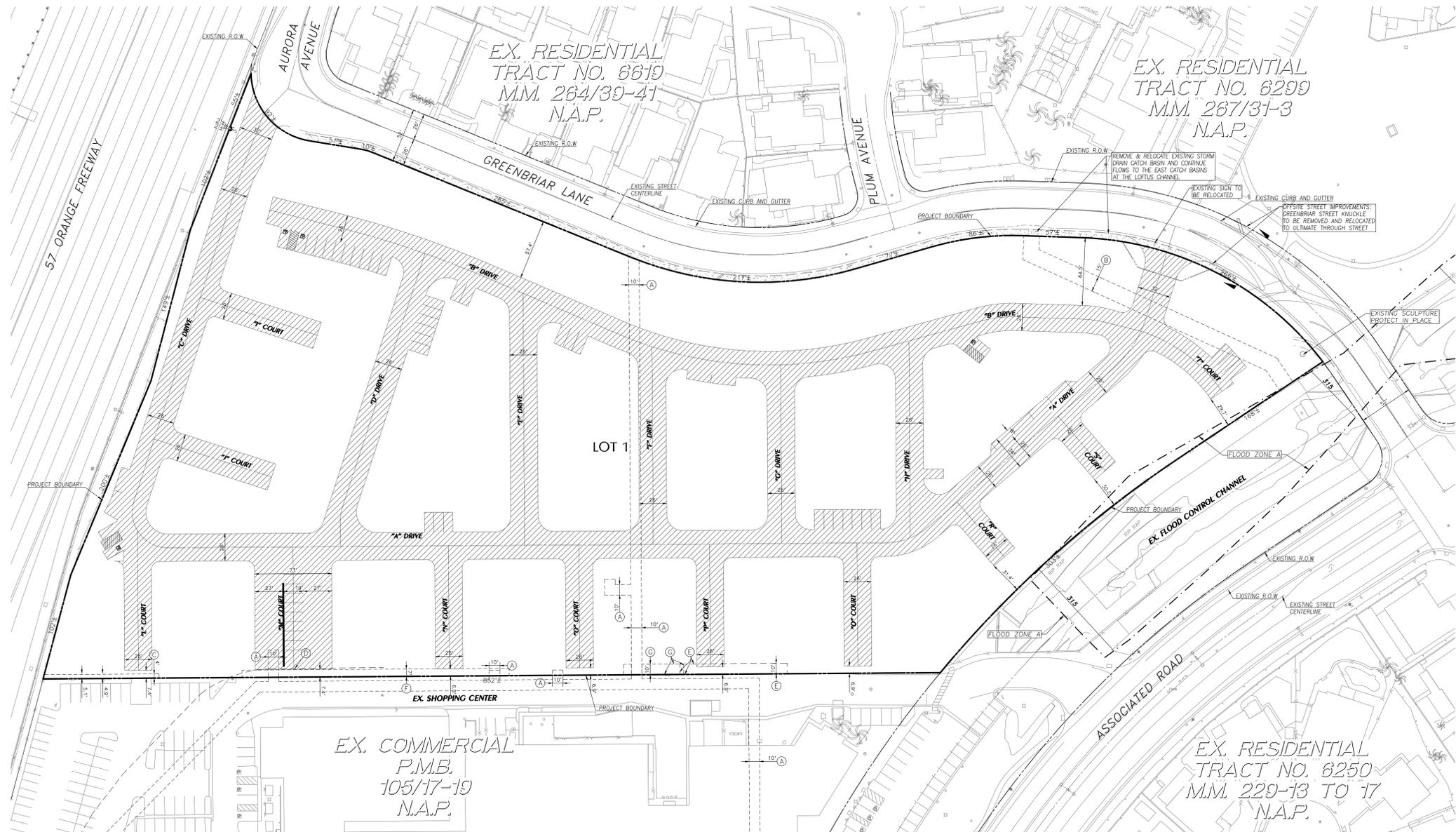
DATE	REVISION	DESCRIPTION

PREPARED FOR: **LENNAR**
2000 FIVEPOINT, 3RD FLOOR
IRVINE, CA 92618
(949) 343-8000
ATTN: GARY JONES

PREPARED BY: **HUNSAKER & ASSOCIATES**
PLANNING & ENGINEERING & SURVEYING
Three Hagens • Irvine, CA 92618 • PH (949) 583-8700 • FX (949) 303-0979

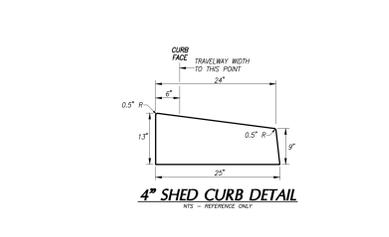
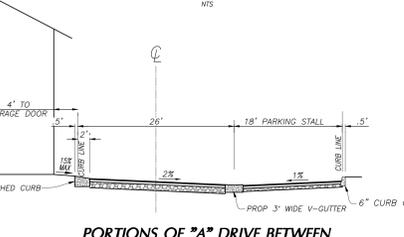
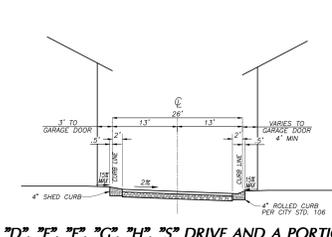
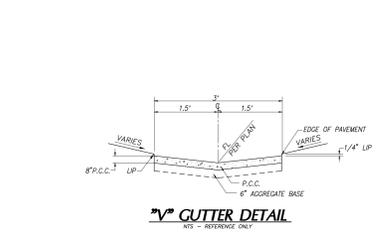
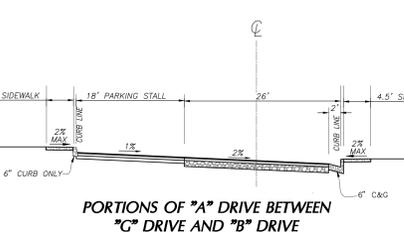
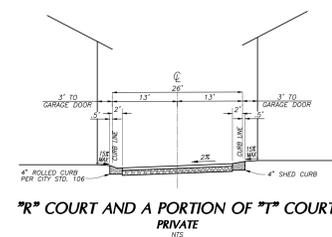
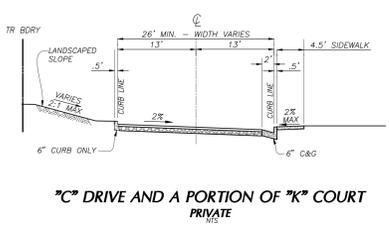
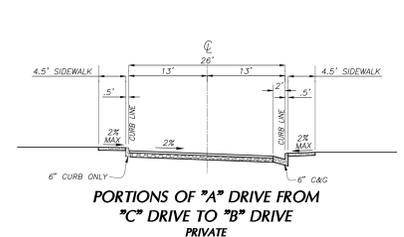
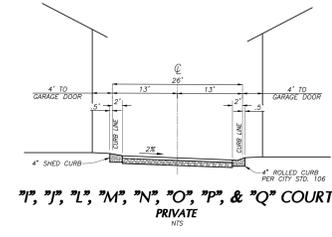
CITY OF BREA
VESTING TENTATIVE TRACT NO. XXXXX
FOR CONDOMINIUM PURPOSES
SITE ADDRESS: 1700 GREENBRIAR LANE BREA, CA 92821
PARCEL MAP: 80-42

DESIGNED BY: SS DATE: 1/29/2025 CITY FILE NO.: SHEET 2 OF 8
DRAFTED BY: BP/TS
CHECKED BY: SS
DATE: Jan. 29, 2025 02:33:01 PM FILE: F:\1285\Engineering\SA_VTM\VTM_SHT01.dwg

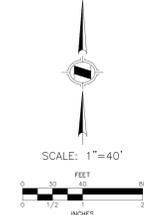


- ### EXISTING EASEMENTS
- TITLE REPORT:**
THIS SURVEY WAS BASED ON THE DESCRIPTION FURNISHED IN LENNAR TITLE COMPANY ORDER NO. 192002-001623, DATED AUGUST 2, 2023.
- SCHEDULE B EXCEPTIONS:**
- GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2023-2024, A LIEN NOT YET DUE OR PAYABLE.
 - GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2022-2023.
 - THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.
 - WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
 - ADJUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM THE STREET, HIGHWAY, OR FREEWAY ADJUTING SAID LAND, SUCH RIGHTS HAVE BEEN RELINQUISHED IN THE DOCUMENT RECORDED AUGUST 7, 1969 IN BOOK 9042 PAGE 549; APRIL 28, 1976 IN BOOK 11719 PAGE 282; AND MAY 14, 1976 IN BOOK 11736 PAGE 605, ALL OF OFFICIAL RECORDS.
 - COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED AS BOOK 10654, PAGE 243 OF OFFICIAL RECORDS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR RENDER INVALID THE LIEN OF ANY FIRST MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE, BUT DELETING ANY COVENANT, CONDITION, OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, GENETIC INFORMATION, GENDER, GENDER IDENTITY, GENDER EXPRESSION, SOURCE OF INCOME (AS DEFINED IN CALIFORNIA GOVERNMENT CODES 12955(P)) OR ANCESTRY, TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 U.S.C. § 3604(C) OR CALIFORNIA GOVERNMENT CODE § 12955. LAWFUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTIONS BASED ON FAMILIAL STATUS.
 - THE TERMS AND PROVISIONS IN THE DOCUMENT ENTITLED AGREEMENT, EXECUTED BY AND BETWEEN BERGUM CONSTRUCTION COMPANY AND UNION OIL COMPANY OF CALIFORNIA, RECORDED APRIL 20, 1973, AS INSTRUMENT NO. BOOK 10654, PAGE 248 OF OFFICIAL RECORDS.
 - COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED AS BOOK 10654, PAGE 252 OF OFFICIAL RECORDS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR RENDER INVALID THE LIEN OF ANY FIRST MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE, BUT DELETING ANY COVENANT, CONDITION, OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, GENETIC INFORMATION, GENDER, GENDER IDENTITY, GENDER EXPRESSION, SOURCE OF INCOME (AS DEFINED IN CALIFORNIA GOVERNMENT CODES 12955(P)) OR ANCESTRY, TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 U.S.C. § 3604(C) OR CALIFORNIA GOVERNMENT CODE § 12955. LAWFUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTIONS BASED ON FAMILIAL STATUS.
 - AN EASEMENT SHOWN OR DEDICATED ON THE MAP FILED OR RECORDED JUNE 3, 1976 AS BOOK 80 AND PAGES 42 AND 43 OF MAPS FOR: WATER LINES AND INCIDENTAL PURPOSES PORTION TO BE QUITCLAIMED. SHOWN HEREON AS (A)
 - AN EASEMENT SHOWN OR DEDICATED ON THE MAP FILED OR RECORDED JUNE 3, 1976 AS BOOK 80 PAGES 42 AND 43 OF MAPS FOR: STORM DRAINS AND INCIDENTAL PURPOSES TO BE QUITCLAIMED. SHOWN HEREON AS (B)
 - THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "DECLARATION OF RESTRICTIONS AND GRANT OF EASEMENTS" RECORDED JUNE 17, 1976 AS BOOK 11776 PAGE 1757 OF OFFICIAL RECORDS.
 - MODIFICATION(S) OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED: IN BOOK 12368 PAGE 1865; IN BOOK 12424 PAGE 1336; JUNE 22, 2006 AS INSTRUMENT NO. 2006-418325; DECEMBER 22, 2009 AS INSTRUMENT NO. 2009-684872, ALL OF OFFICIAL RECORDS.
 - INTENTIONALLY DELETED.
 - INTENTIONALLY DELETED.
 - AN EASEMENT FOR INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED JULY 18, 1977 AS BOOK 12294, PAGE 1569 OF OFFICIAL RECORDS.
IN FAVOR OF: HAROLD BUTLER, A MARRIED MAN
AFFECTS: HEREIN DESCRIBED LAND. SHOWN HEREON AS (C)
 - AN EASEMENT FOR: UNDERGROUND TELEPHONE, TELEGRAPH AND COMMUNICATION SYSTEMS AND INCIDENTAL PURPOSES, RECORDED JANUARY 13, 1978 AS BOOK 12531, PAGE 12 OF OFFICIAL RECORDS.
IN FAVOR OF: THE PACIFIC TELEPHONE & TELEGRAPH COMPANY
AFFECTS: HEREIN DESCRIBED LAND. APPROXIMATE LOCATION SHOWN HEREON AS (D)
 - INTENTIONALLY DELETED.
 - INTENTIONALLY DELETED.
 - AN EASEMENT FOR WATER SYSTEMS AND INCIDENTAL PURPOSES, RECORDED JULY 28, 2010 AS INSTRUMENT NO. 2010-360183 OF OFFICIAL RECORDS.
IN FAVOR OF: CALIFORNIA BP LLC, A DELAWARE LIMITED LIABILITY COMPANY
AFFECTS: HEREIN DESCRIBED LAND. SHOWN HEREON AS (E)
 - THE EFFECT OF A MAP PURPORTING TO SHOW THE LAND AND OTHER PROPERTY, FILED BOOK 250, PAGE 1 TO 30, INCLUSIVE, OF RECORD OF SURVEYS.
 - AN EASEMENT FOR UNDERGROUND ELECTRICAL SUPPLY SYSTEMS AND COMMUNICATION SYSTEMS AND INCIDENTAL PURPOSES, RECORDED AUGUST 15, 2011 AS INSTRUMENT NO. 2011-394211 OF OFFICIAL RECORDS.
IN FAVOR OF: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION AFFECTS: HEREIN DESCRIBED LAND. SHOWN HEREON AS (F)
 - AN EASEMENT FOR WATER SYSTEM AND INCIDENTAL PURPOSES, RECORDED AUGUST 15, 2011 AS INSTRUMENT NO. 2011-401471 OF OFFICIAL RECORDS.
IN FAVOR OF: THE CITY OF BREA, A MUNICIPAL CORPORATION
AFFECTS: HEREIN DESCRIBED LAND. SHOWN HEREON AS (G)
 - THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "WATER SYSTEMS PUBLIC SERVICE EASEMENT AGREEMENT" RECORDED AUGUST 15, 2011 AS 2011-404978 OF OFFICIAL RECORDS.
 - INTENTIONALLY DELETED.
 - WITH RESPECT TO MERCURY CASUALTY COMPANY, A CALIFORNIA CORPORATION:
a. A CERTIFICATE OF GOOD STANDING OF RECENT DATE ISSUED BY THE SECRETARY OF STATE OF THE CORPORATION'S STATE OF DOMICILE.
b. A CERTIFIED COPY OF A RESOLUTION OF THE BOARD OF DIRECTORS AUTHORIZING THE CONTEMPLATED TRANSACTION AND DESIGNATING WHICH CORPORATE OFFICERS SHALL HAVE THE POWER TO EXECUTE ON BEHALF OF THE CORPORATION.
c. OTHER REQUIREMENTS WHICH THE COMPANY MAY IMPOSE FOLLOWING ITS REVIEW OF THE MATERIAL REQUIRED HEREIN AND OTHER INFORMATION WHICH THE COMPANY MAY REQUIRE.
 - NO KNOWN MATTERS OTHERWISE APPROPRIATE TO BE SHOWN HAVE BEEN DELETED FROM THIS REPORT, WHICH IS NOT A POLICY OF TITLE INSURANCE BUT A REPORT TO FACILITATE THE ISSUANCE OF A POLICY OF TITLE INSURANCE. FOR PURPOSES OF POLICY ISSUANCE, ITEMS (NONE) MAY BE ELIMINATED ON THE BASIS OF AN INDEMNITY AGREEMENT OR OTHER AGREEMENT SATISFACTORY TO THE COMPANY AS INSURER.

TYPICAL STREET SECTIONS



LEGEND



DATE	REVISION	DESCRIPTION

PREPARED FOR:
LENNAR
2000 FIFTHPOINT, 3RD FLOOR
IRVINE, CA 92618
(949) 343-8000
ATTN: GARY JONES

PREPARED BY:
HUNSAKER & ASSOCIATES
PLANNING • ENGINEERING • SURVEYING
Three Hedges • Irvine, CA 92618 • PH: (949) 383-9370 • FX: (949) 383-9399

CITY OF BREA

VESTING TENTATIVE TRACT NO. XXXXX
FOR CONDOMINIUM PURPOSES
SITE ADDRESS: 1700 GREENBRIAR LANE BREA, CA 92821
PARCEL MAP: 80-42

FLOOR AREA RATIO (FAR)	
TOTAL AREA (ALL UNITS)	505,265 SF
TOTAL SITE AREA	422,478 SF
FLOOR AREA RATIO (FAR)	1.20

PRODUCT SUMMARY & MIX TABLE (COMBINED):		
	BUILDINGS	UNITS
THE COURTS	16	80
THE YARDS	12	24
THE YARDS - HALF BLDG	2	2
THE VILLAS	36	72
THE VILLAS - HALF BLDG	1	1
TOTAL	67	179

PARKING SUMMARY	
REQUIRED RESIDENT PARKING (BMC 20.08.040)	
REQUIRED GUEST PARKING 0.5 SPACES PER UNIT	90
FOR SINGLE-FAMILY ATTACHED	360
TOTAL REQUIRED	450

PROVIDED PARKING	
GARAGE SPACES	342
DRIVEWAY SPACES	N/A
PARKING STALLS	46
ADA PARKING	4
ELECTRICAL VEHICLE PARKING (10%)	5
TOTAL PROVIDED PARKING	397



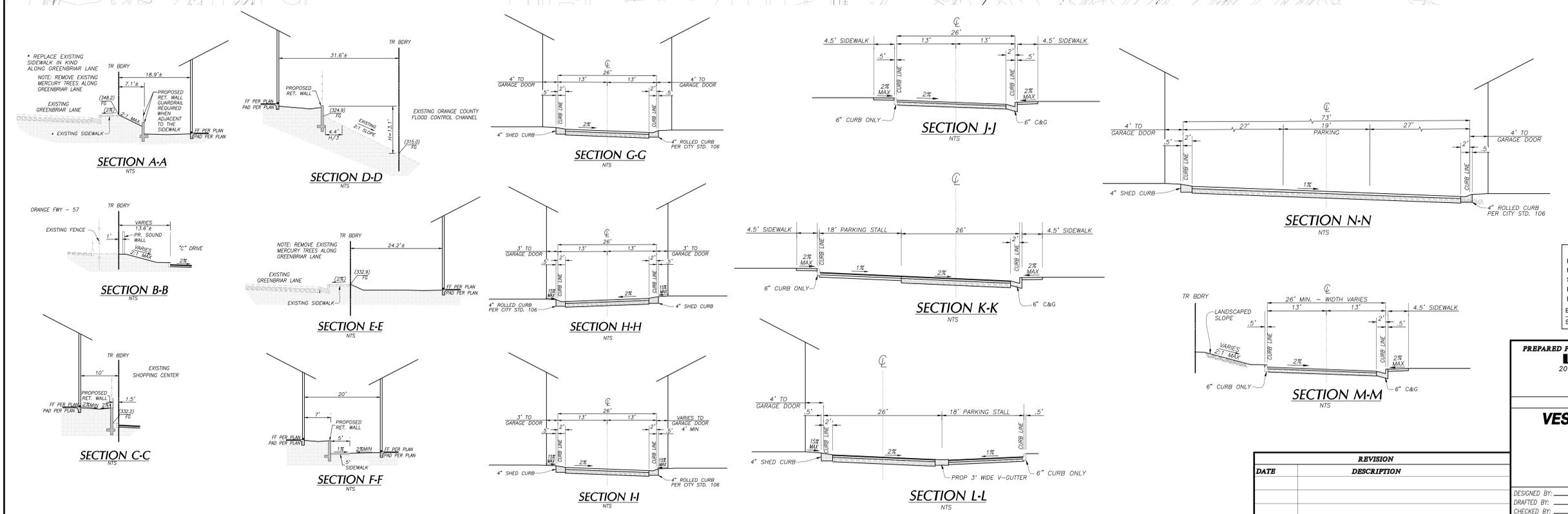
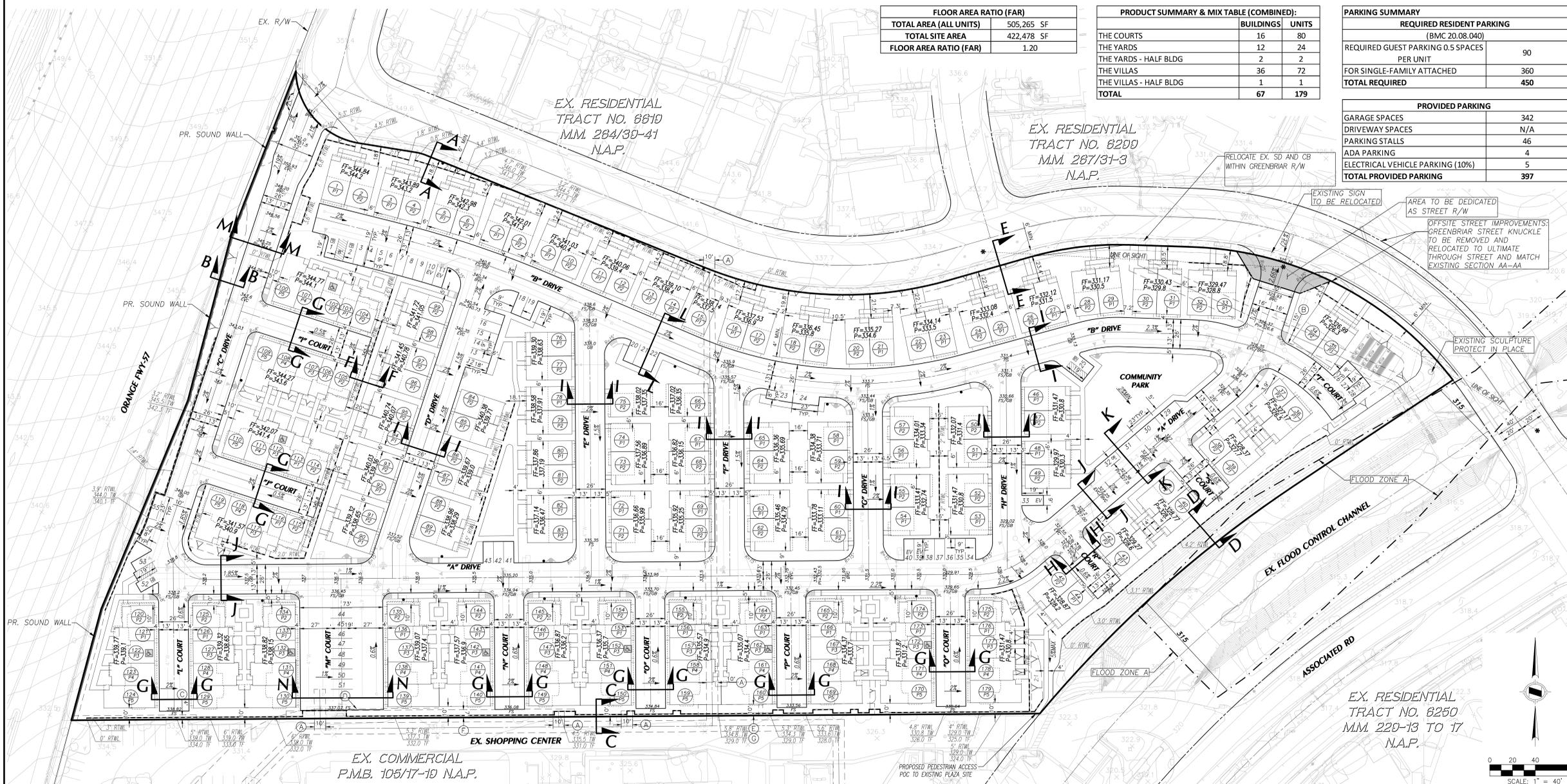
LOCATION MAP
N.T.S.

EASEMENT NOTES:

- AN EASEMENT SHOWN OR DEDICATED ON THE MAP FILED OR RECORDED JUNE 3, 1976 AS BOOK 80 AND PAGES 42 AND 43 OF MAPS FOR: WATER LINES AND INCIDENTAL PURPOSES. SHOWN HEREON AS (A)
- AN EASEMENT SHOWN OR DEDICATED ON THE MAP FILED OR RECORDED JUNE 3, 1976 AS BOOK 80 PAGES 42 AND 43 OF MAPS FOR: STORM DRAINS AND INCIDENTAL PURPOSES. SHOWN HEREON AS (B)
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- AN EASEMENT FOR: UNDERGROUND TELEPHONE, TELEGRAPH AND COMMUNICATION SYSTEMS AND INCIDENTAL PURPOSES, RECORDED JANUARY 13, 1978 AS BOOK 12531, PAGE 12 OF OFFICIAL RECORDS. IN FAVOR OF: THE PACIFIC TELEPHONE & TELEGRAPH COMPANY AFFECTS: HEREIN DESCRIBED LAND. APPROXIMATE LOCATION SHOWN HEREON AS (D)
- AN EASEMENT FOR WATER SYSTEMS AND INCIDENTAL PURPOSES, RECORDED JULY 28, 2010 AS INSTRUMENT NO. 2010-360183 OF OFFICIAL RECORDS. IN FAVOR OF: CALIFORNIA BP LLC, A DELAWARE LIMITED LIABILITY COMPANY AFFECTS: HEREIN DESCRIBED LAND. SHOWN HEREON AS (E)
- AN EASEMENT FOR UNDERGROUND ELECTRICAL SUPPLY SYSTEMS AND COMMUNICATION SYSTEMS AND INCIDENTAL PURPOSES, RECORDED AUGUST 10, 2011 AS INSTRUMENT NO. 2011-394211 OF OFFICIAL RECORDS. IN FAVOR OF: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION AFFECTS: HEREIN DESCRIBED LAND. SHOWN HEREON AS (F)
- AN EASEMENT FOR WATER SYSTEM AND INCIDENTAL PURPOSES, RECORDED AUGUST 15, 2011 AS INSTRUMENT NO. 2011-401471 OF OFFICIAL RECORDS. IN FAVOR OF: THE CITY OF BREA, A MUNICIPAL CORPORATION AFFECTS: HEREIN DESCRIBED LAND. SHOWN HEREON AS (G)

LEGEND OF ABBREVIATIONS & SYMBOLS

T.C.	TOP OF CURB	(100)	EXIST. CONTOUR
F.L.	FLOORING ELEV.	100	PROP. CONTOUR
T.G.	TOP OF GRATE	---	PROPERTY LINE
G.B.	GRADE BREAK	---	DAYLIGHT LINE
F.G.	FINISH GRADE	2%	SHEET FLOW RATE
R.G.	ROUGH GRADE	---	GRADED SWALE
F.S.	FINISH SURFACE	---	CENTRLINE
IN.V.	INVERT OF DRAIN	---	SWALE HIGH POINT
P.	PAD ELEVATION	---	FLOWLINE
F.F.	FINISH FLOOR ELEV.	---	SUBDRAIN
G.F.F.	GARAGE FINISH FLOOR	---	AREA DRAIN
B.V.C.	BEGIN VERTICAL CURVE	---	TOP OF SLOPE
E.V.C.	END VERTICAL CURVE	---	TOE OF SLOPE
P.I.	POINT OF INTERSECTION	---	RETAINING WALL
E.P.	EDGE OF PAVEMENT	---	FIRE HYDRANT
T.W.	TOP OF WALL ELEV.	---	STREET LIGHT
T.F.	TOP OF FOOTING ELEV.	---	SOUND OR SCREEN WALL
D.F.	DEEPEN FOOTING	---	WATER METER
L.	LENGTH	---	CATCH BASIN & LOCAL DEPRESSION
D.W.	DRIVEWAY	---	PHASE LINE (FOR PRECISE GRADING)
N.T.S.	NOT TO SCALE	---	TRACT BODY
P.U.E.	PUBLIC UTILITY EASEMENT	---	R/W
ADA SYMBOL	ADA SYMBOL	---	FLOOD ZONE A
STREET R/W DEDICATION	STREET R/W DEDICATION	---	
MAILBOX LOCATIONS	MAILBOX LOCATIONS	---	



EARTHWORK SUMMARY

	CUT	FILL
RAW VOLUMES	24,786 CYS	9,652 CYS
R/R (5) UNSUITABLE MATERIAL	78,005 CYS	78,005 CYS
SHRINKAGE (8%)		8,223 CYS
EXISTING BUILDINGS (2) PAD REMOVAL		10,628 CYS
EXISTING PARKING PAVEMENT (8) REMOVAL		4,204 CYS
ESTIMATED TOTAL	102,791 CYS	110,712 CYS
SHORT		7,921 CYS

PREPARED FOR: **LENNAR**
2000 FIVEPOINT, 3RD FLOOR
IRVINE, CA 92618
(949) 349-8000
ATTN: GARY JONES

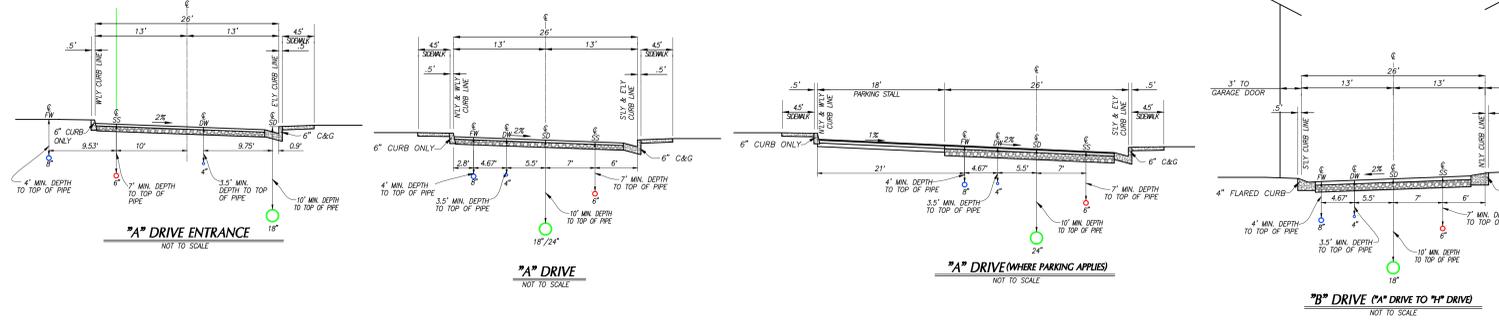
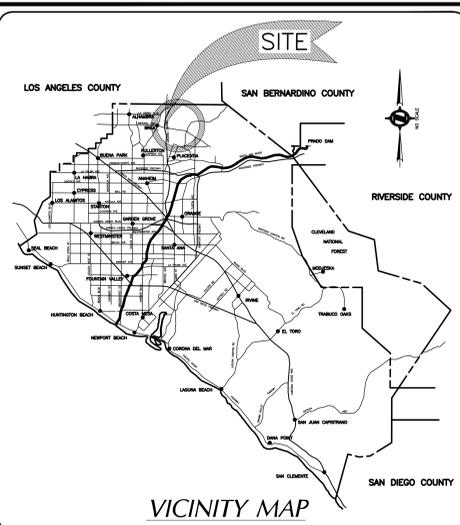
PREPARED BY: **HUNSAKER & ASSOCIATES**
IRVINE, INC.
PLANNING • ENGINEERING • SURVEYING
Three Hughes • Irvine, CA 92618 • P: (949) 553-9100 • F: (949) 553-0799

CITY OF BREA
VESTING TENTATIVE TRACT NO. XXXXX
GREENBRIAR - BREA
179 UNITS
SITE PLAN

DATE	REVISION DESCRIPTION

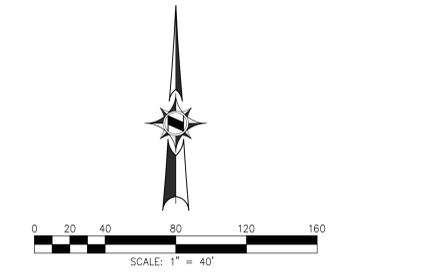
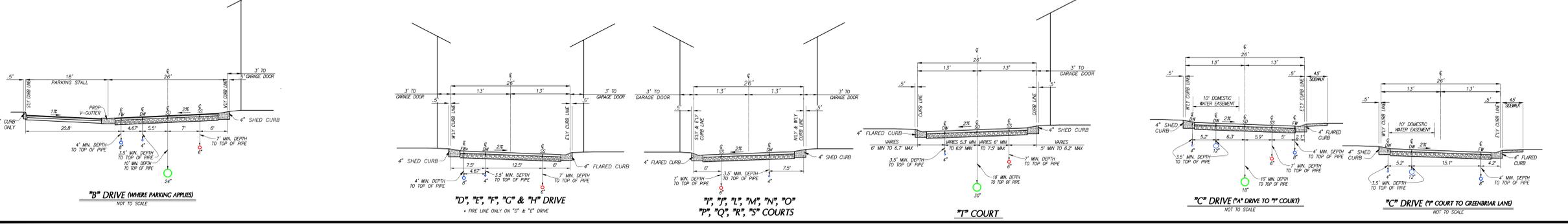
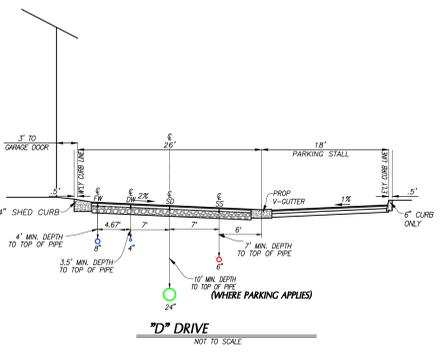
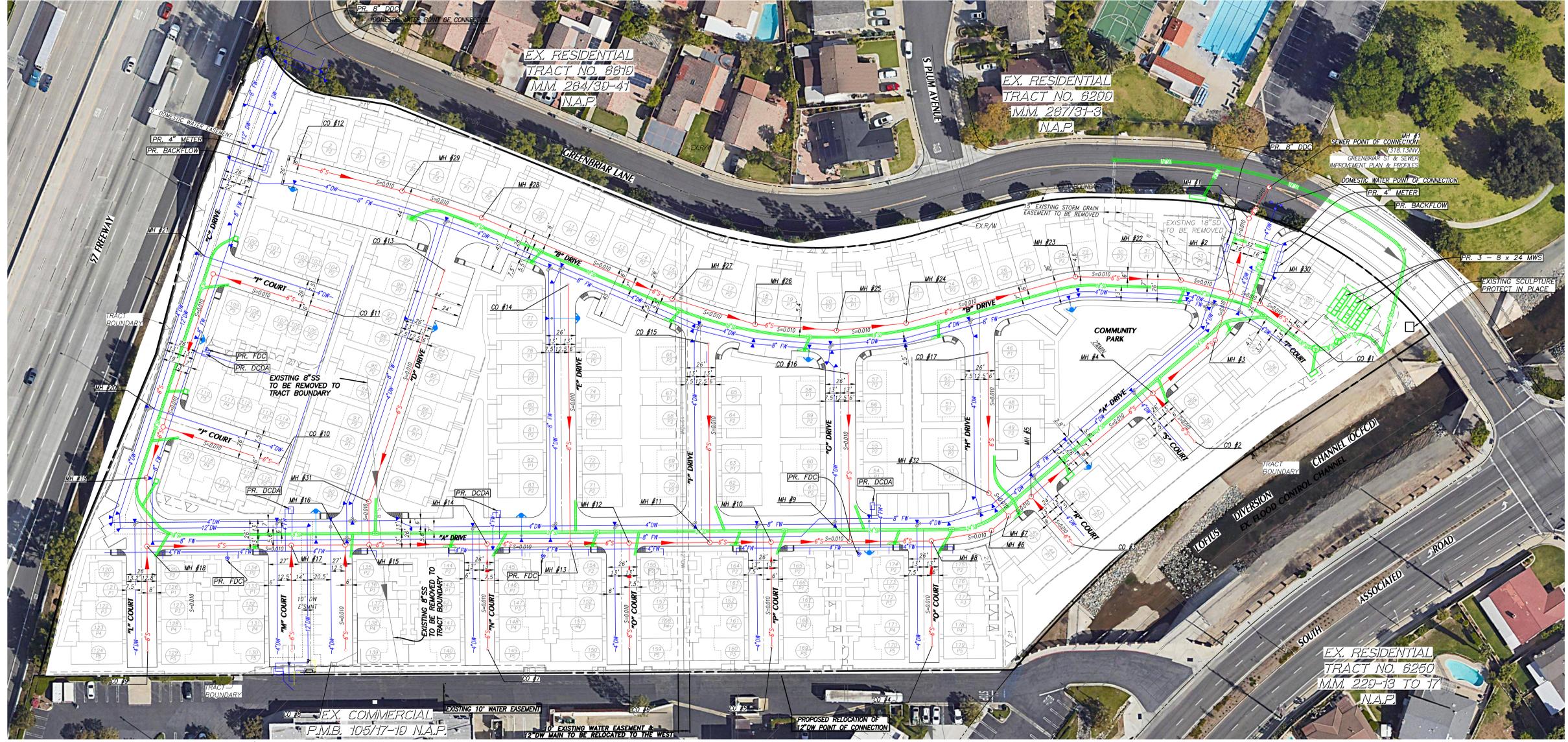
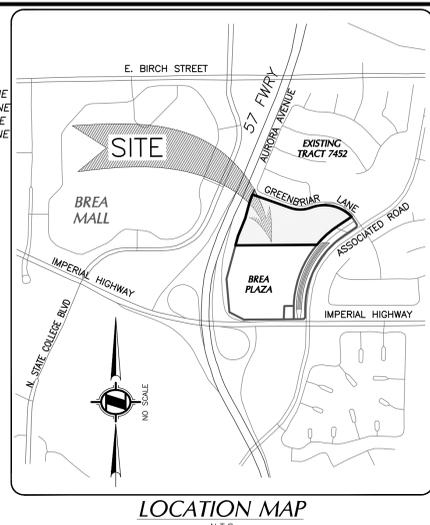
DESIGNED BY: SS/MR/TS DATE: 2/7/2025 CITY FILE NO.: SHEET 4 OF 8
DRAFTED BY: MR/TS
CHECKED BY: SS

MASTER SEWER & WATER PLAN GREENBRIAR - BREA, CA



LEGEND

- EXISTING RIGHT OF WAY
- TRACT BOUNDARY
- EXISTING EASEMENT
- PROPOSED 6" PRIVATE SANITARY SEWER LINE
- PROPOSED 12" PUBLIC DOMESTIC WATER LINE
- PROPOSED 8" PUBLIC DOMESTIC WATER LINE
- PROPOSED 4" PRIVATE DOMESTIC WATER LINE
- PROPOSED 8" PRIVATE FIRE WATER LINE
- PROPOSED STORM DRAIN LINE
- PROPOSED CATCH BASIN
- PROPOSED WALLS
- TOP OF SLOPE
- TOE OF SLOPE
- DOMESTIC WATER VALVES
- DOMESTIC WATER THRUSTBLOCKS
- LOT NUMBER
- PLAN TYPE
- EXISTING 12" DOMESTIC WATER LINE
- EXISTING 8" SANITARY SEWER LINE
- EXISTING 12" DOMESTIC WATER LINE
- ABANDONED 8" DOMESTIC WATER LINE
- EXISTING ELECTRICAL LINE
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- EXISTING CATV LINE



PREPARED FOR:

LENNAR

2000 FIVEPOINT, 3RD FLOOR
IRVINE, CA 92618
(949) 349-8000

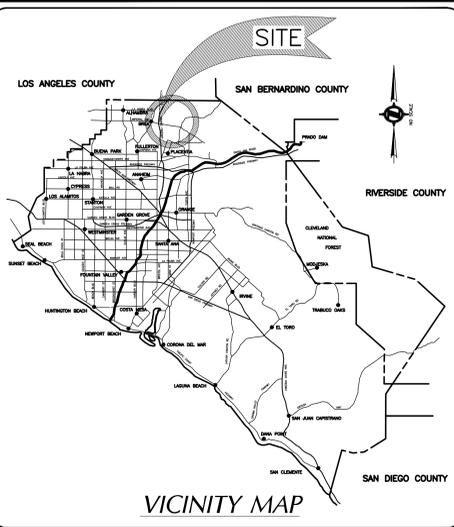
PREPARED BY:

HUNSAKER & ASSOCIATES IRVINE, INC.

PLANNING ■ ENGINEERING ■ SURVEYING
Three Hughes • Irvine, CA 92618 • PH: (949) 583-1010 • FX: (949) 583-0759

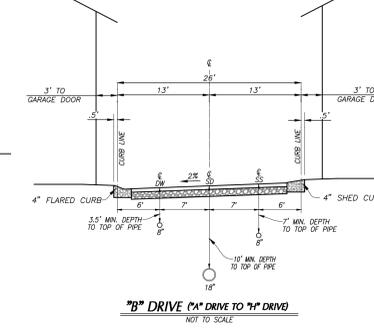
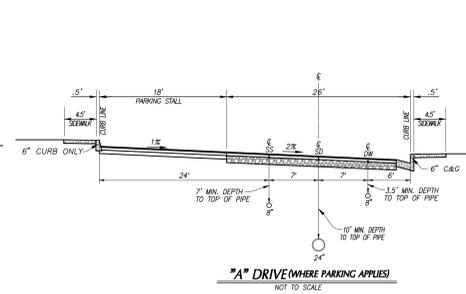
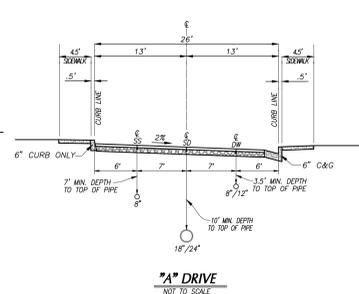
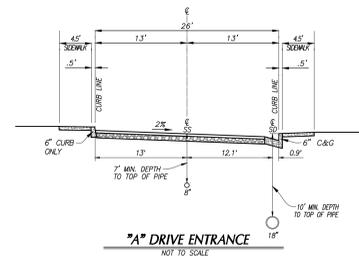
VESTING TENTATIVE TRACT NO. XXXXX
Master Sewer & Water Plan
 GREENBRIAR - BREA, CA
 SHEET 5 OF 8

FIRE ACCESS PLAN GREENBRIAR - BREA, CA



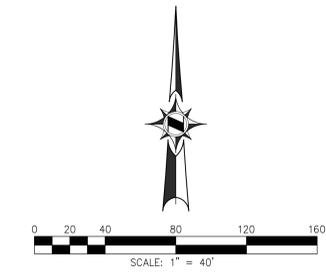
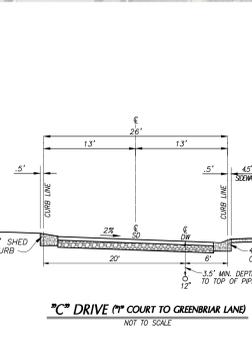
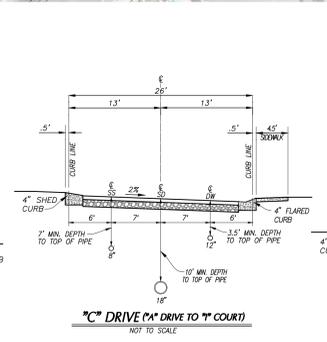
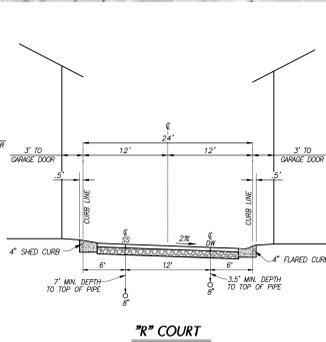
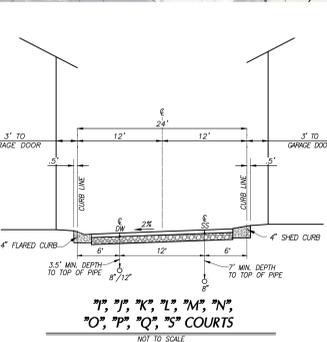
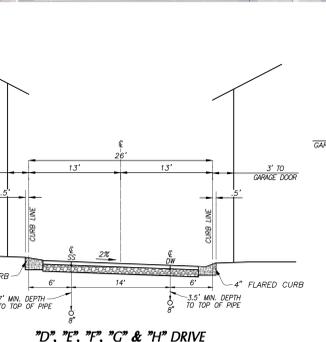
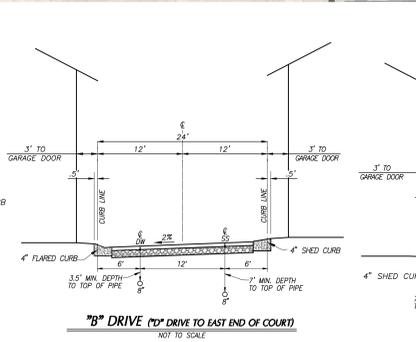
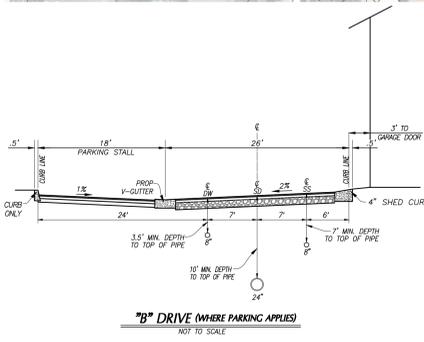
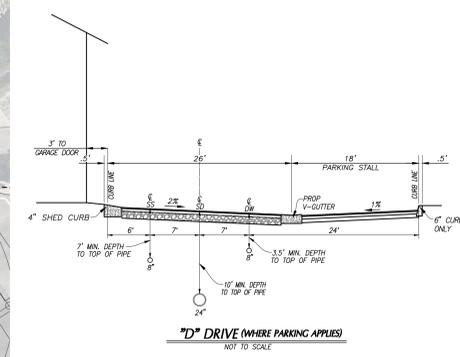
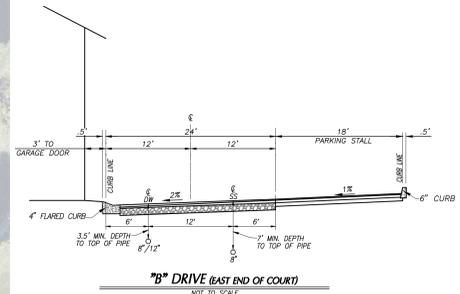
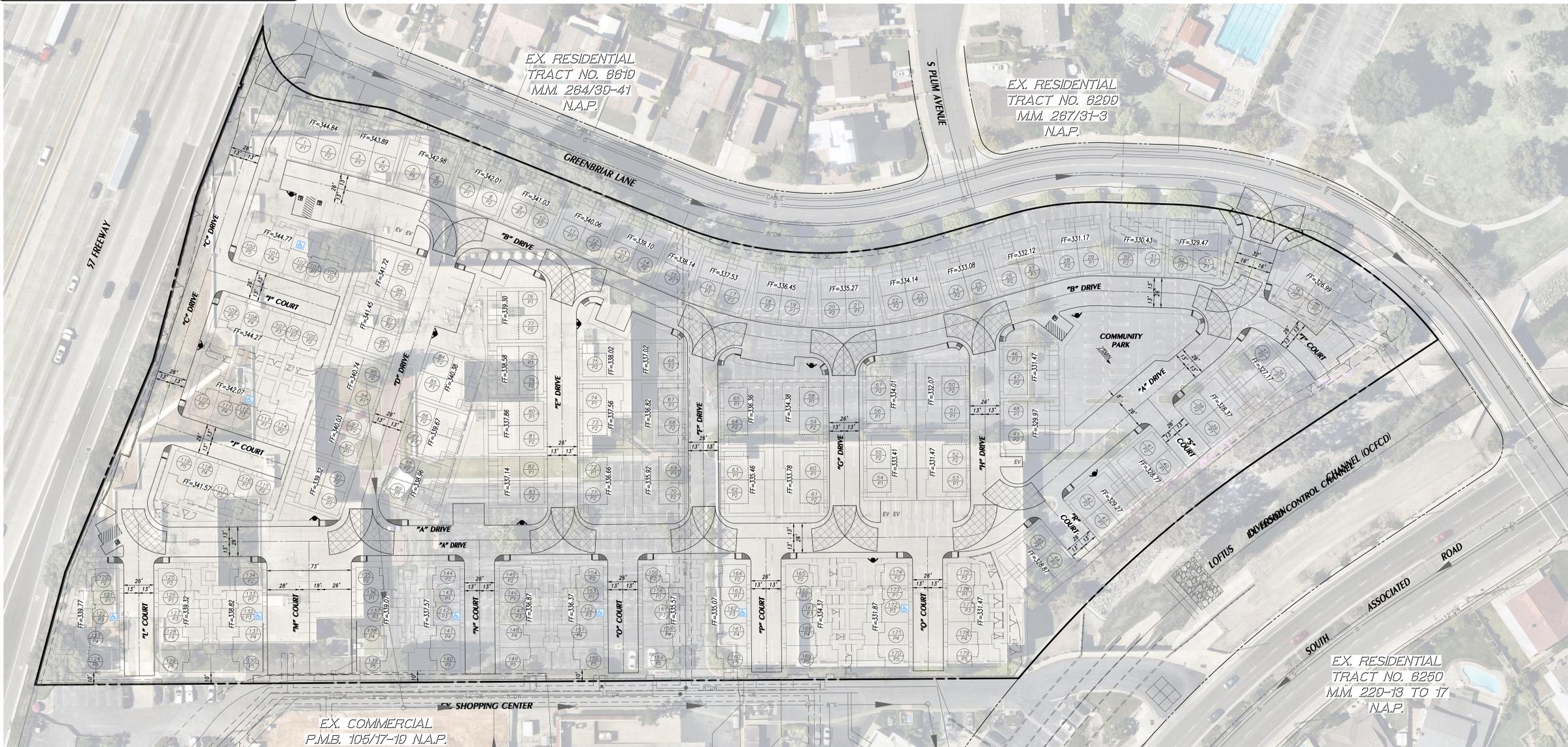
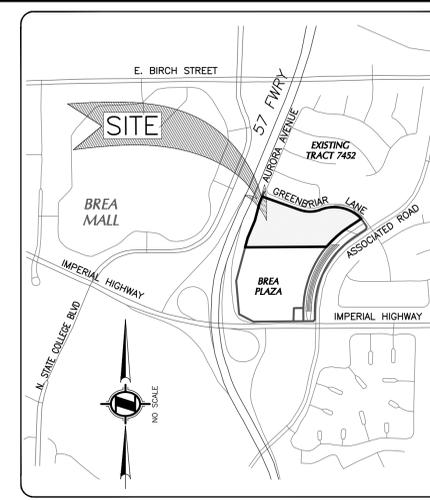
NOTE:

THE ADOPTED EDITION OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 24, PARTS 1 THROUGH 12, AND THE BREA MUNICIPAL CODE SHALL APPLY AT THE TIME THE ARCHITECTURAL PLANS ARE SUBMITTED FOR CONSTRUCTION PERMITS.



LEGEND

- EXISTING RIGHT OF WAY
- TRACT BOUNDARY
- EXISTING EASEMENT
- PROPOSED FIRE HYDRANT
- FIRE TRUCK TURN PATH



PREPARED FOR:

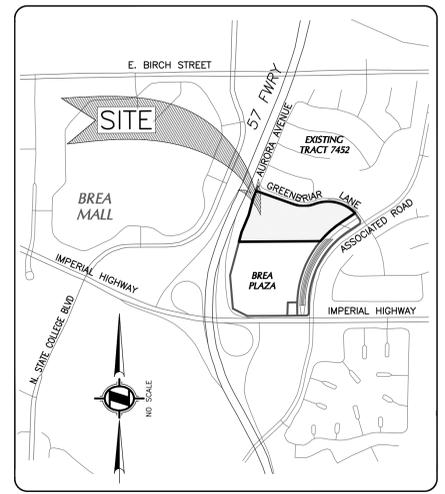
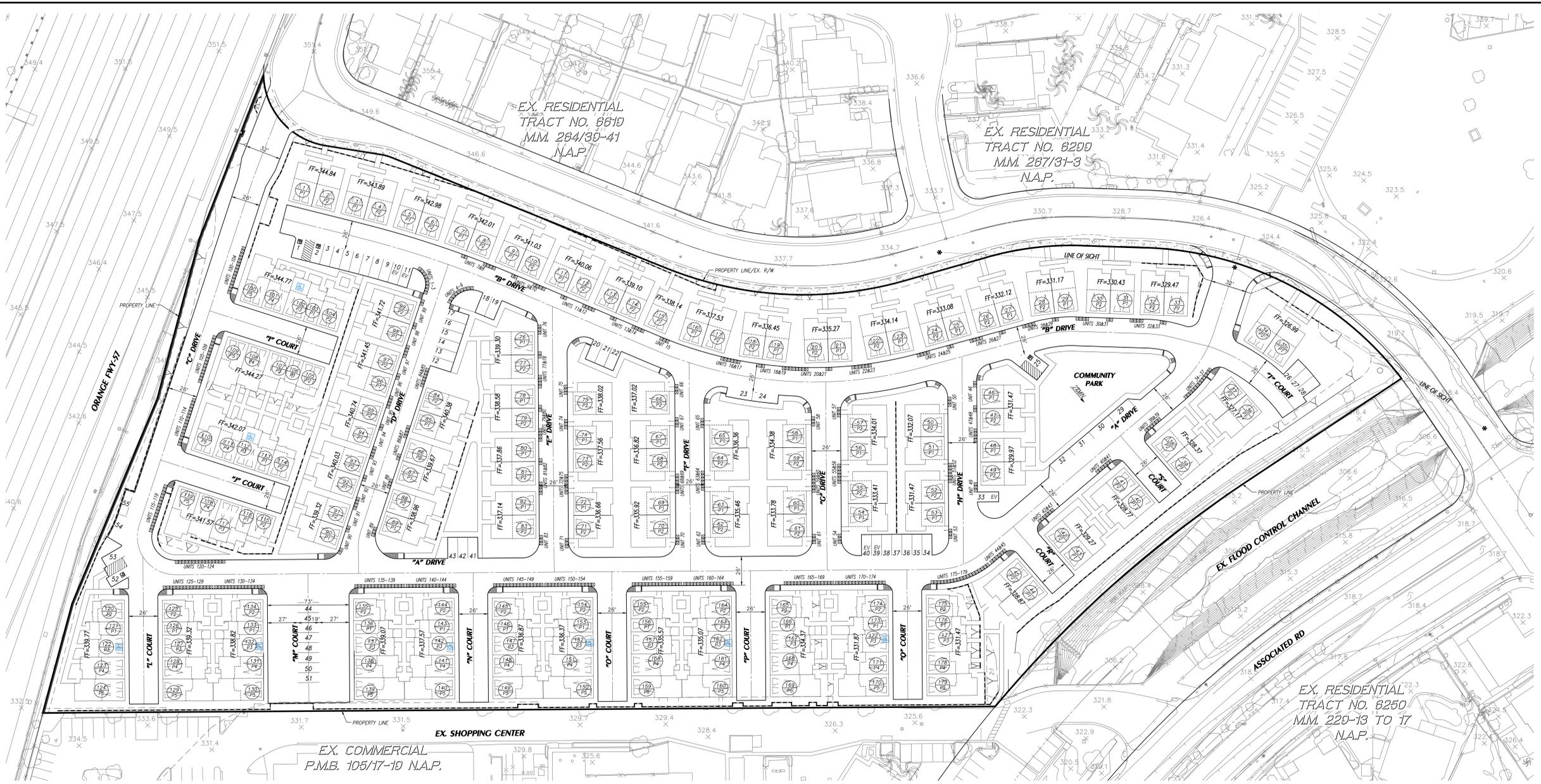
LENNAR

2000 FIVEPOINT, 3RD FLOOR
IRVINE, CA 92618
(949) 349-8000

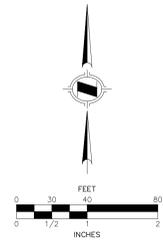
PREPARED BY:

HUNSAKER & ASSOCIATES
IRVINE, CA
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Three Hughes • Irvine, CA 92618 • PH: (949) 583-1010 • FX: (949) 583-0759

VESTING TENTATIVE TRACT NO. XXXXX
FIRE ACCESS PLAN
GREENBRIAR - BREA, CA
SHEET 6 OF 8

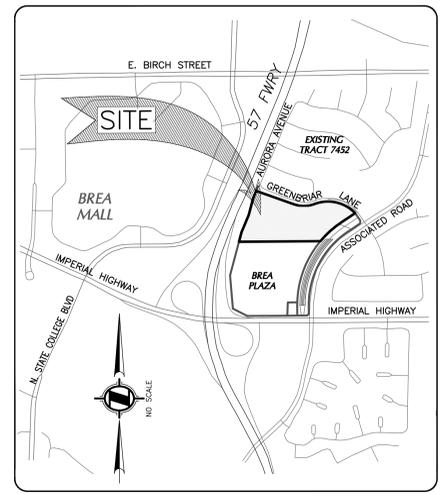
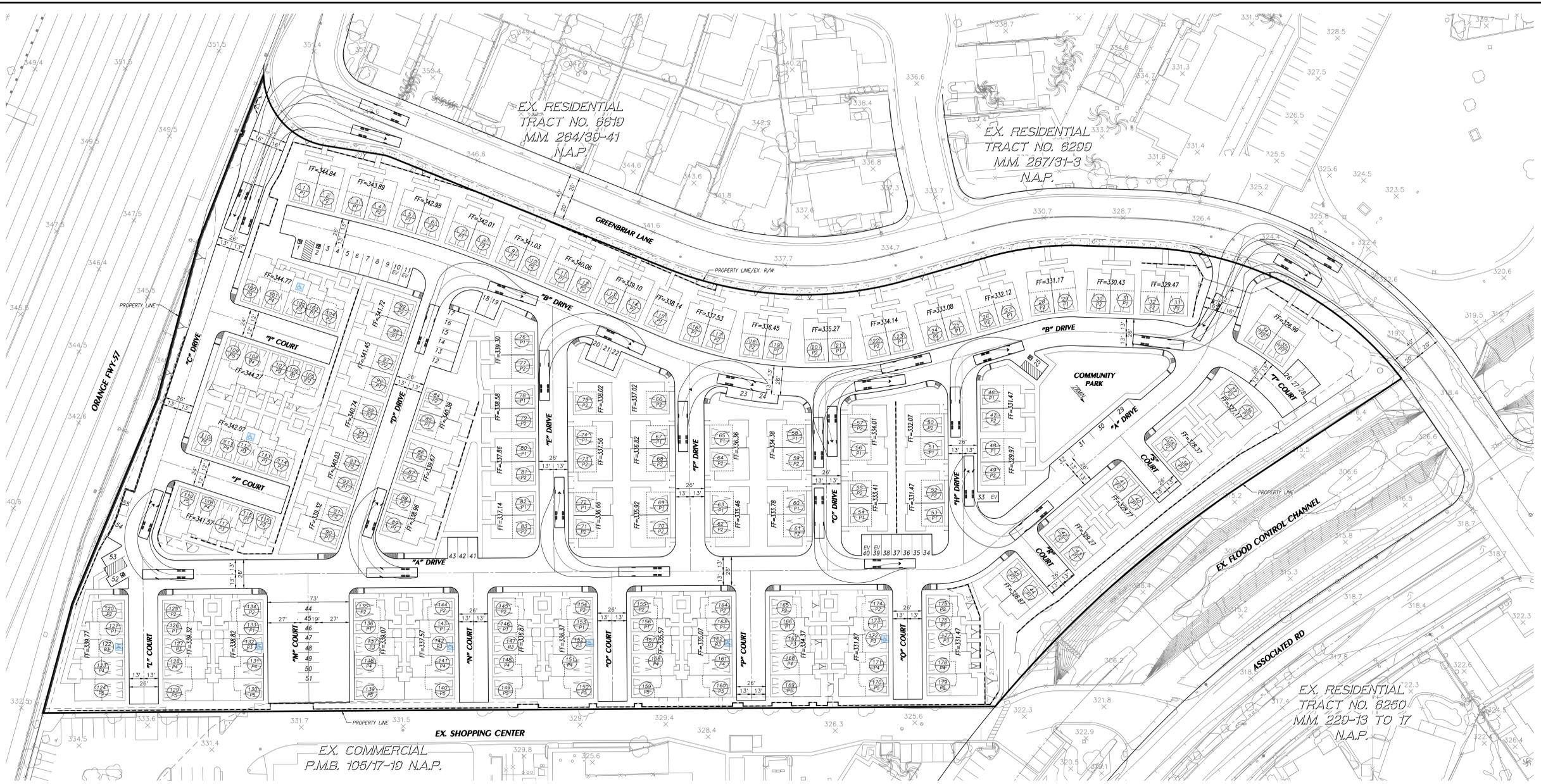


LEGEND
 ■■■ WASTE CONTAINERS (3 PER UNIT)



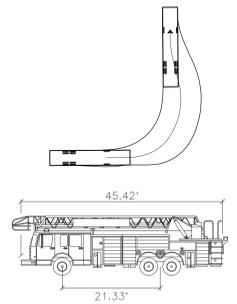
DATE	REVISION DESCRIPTION

PREPARED FOR: LENNAR 2000 FIVEPOINT, 3RD FLOOR IRVINE, CA 92618 (949) 349-8000 ATTN: GARY JONES	PREPARED BY: HUNSAKER & ASSOCIATES IRVINE, INC. PLANNING • ENGINEERING • SURVEYING Three Hughes • Irvine, CA 92618 • FX (949) 253-5110 • FX (949) 253-0759
CITY OF BREA VESTING TENTATIVE TRACT NO. XXXXX GREENBRIAR - BREA 179 UNITS TRASH PLAN EXHIBIT	
DESIGNED BY: TS DRAFTED BY: TS CHECKED BY: SS	DATE: 1/29/25 CITY FILE NO.: SHEET 7 OF 8

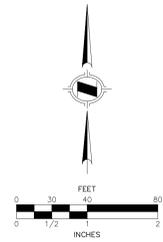


LOCATION MAP
N.T.S.

LEGEND



FIRE TRUCK TURNING MOVEMENTS



DATE	REVISION DESCRIPTION

PREPARED FOR: **LENNAR**
 2000 FIVEPOINT, 3RD FLOOR
 IRVINE, CA 92618
 (949) 349-8000
 ATTN: GARY JONES

PREPARED BY: **HUNSAKER & ASSOCIATES**
 IRVINE, CA
 PLANNING • ENGINEERING • SURVEYING
 Three Hughes • Irvine, CA 92618 • TEL: (949) 263-5110 • FAX: (949) 263-0759

CITY OF BREA
VESTING TENTATIVE TRACT NO. XXXXX
GREENBRIAR - BREA
179 UNITS
TRUCK TURNING EXHIBIT

DESIGNED BY: TS/JC DATE: 1/29/2025 CITY FILE NO.:
 DRAFTED BY: NJ/ZC
 CHECKED BY: SS

SHEET **8 OF 8**



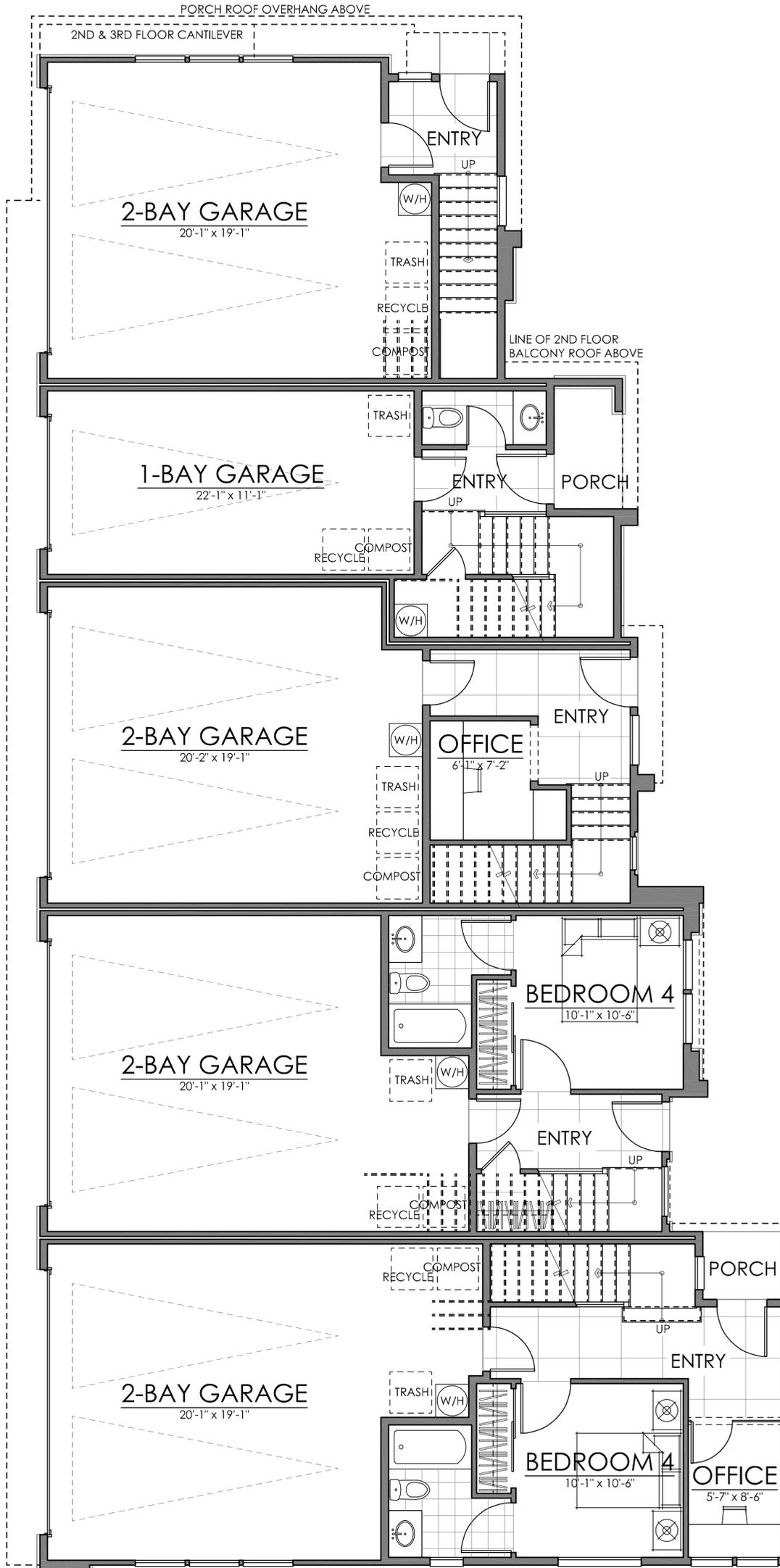
UNIT TWO
 FIRST FLOOR 102 SQ. FT.
 SECOND FLOOR 548 SQ. FT.
 THIRD FLOOR 562 SQ. FT.
TOTAL LIVING 1212 SQ. FT.

UNIT ONE
 FIRST FLOOR 169 SQ. FT.
 SECOND FLOOR 433 SQ. FT.
 THIRD FLOOR 362 SQ. FT.
TOTAL LIVING 964 SQ. FT.

UNIT THREE
 FIRST FLOOR 206 SQ. FT.
 SECOND FLOOR 637 SQ. FT.
 THIRD FLOOR 643 SQ. FT.
TOTAL LIVING 1486 SQ. FT.

UNIT FOUR
 FIRST FLOOR 298 SQ. FT.
 SECOND FLOOR 730 SQ. FT.
 THIRD FLOOR 716 SQ. FT.
TOTAL LIVING 1744 SQ. FT.

UNIT FIVE
 FIRST FLOOR 397 SQ. FT.
 SECOND FLOOR 664 SQ. FT.
 THIRD FLOOR 885 SQ. FT.
TOTAL LIVING 1946 SQ. FT.



UNIT TWO
 FIRST FLOOR 102 SQ. FT.
 SECOND FLOOR 548 SQ. FT.
 THIRD FLOOR 562 SQ. FT.
TOTAL LIVING 1212 SQ. FT.

UNIT ONE
 FIRST FLOOR 169 SQ. FT.
 SECOND FLOOR 433 SQ. FT.
 THIRD FLOOR 362 SQ. FT.
TOTAL LIVING 964 SQ. FT.

UNIT THREE
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 SECOND FLOOR 637 SQ. FT.
 THIRD FLOOR 643 SQ. FT.
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 SECOND FLOOR 730 SQ. FT.
 THIRD FLOOR 716 SQ. FT.
TOTAL LIVING 1744 SQ. FT.

UNIT FIVE
 FIRST FLOOR 397 SQ. FT.
 SECOND FLOOR 664 SQ. FT.
 THIRD FLOOR 885 SQ. FT.
TOTAL LIVING 1946 SQ. FT.



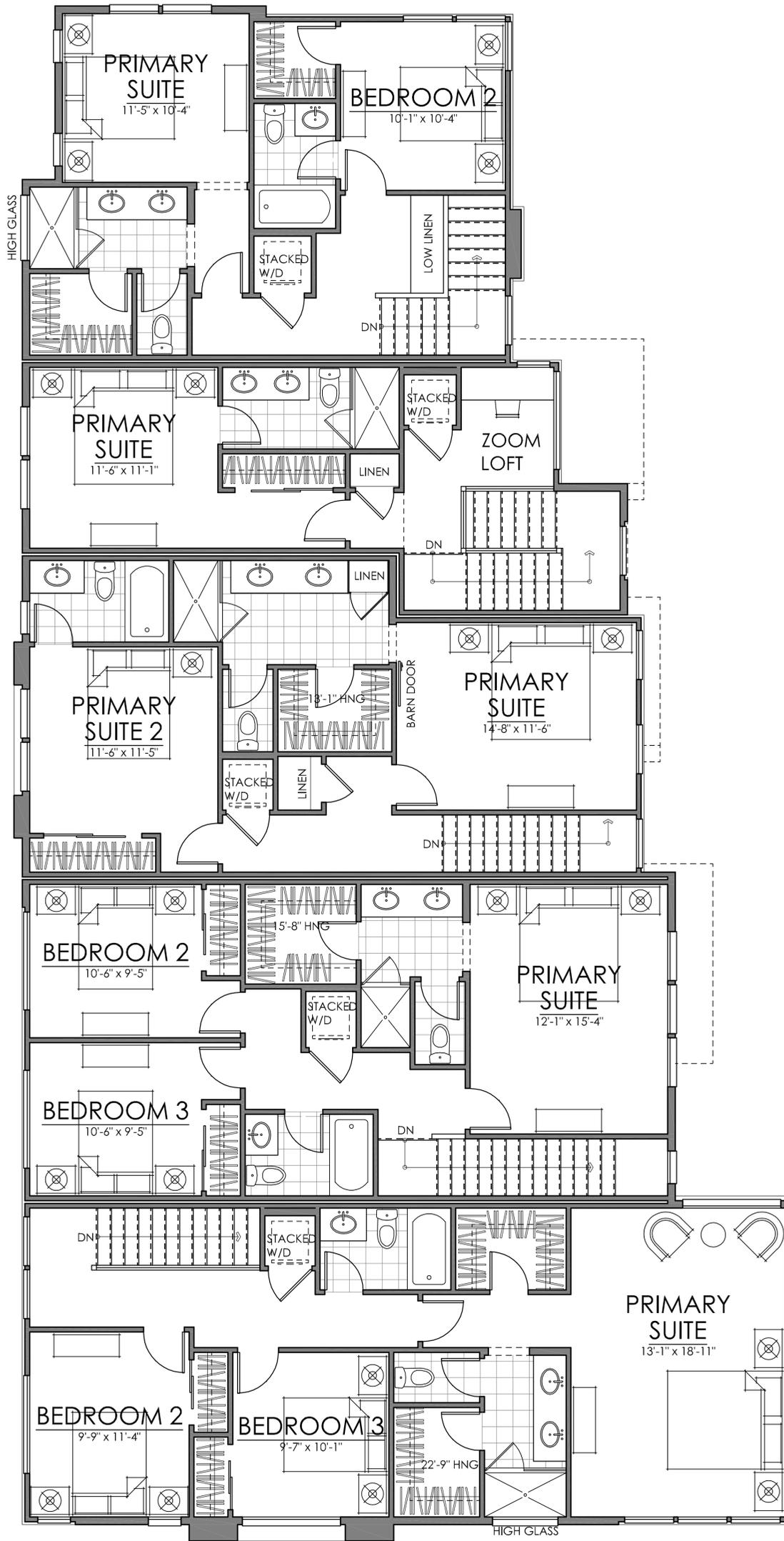
UNIT TWO
 FIRST FLOOR 102 SQ. FT.
 SECOND FLOOR 548 SQ. FT.
 THIRD FLOOR 562 SQ. FT.
TOTAL LIVING 1212 SQ. FT.

UNIT ONE
 FIRST FLOOR 169 SQ. FT.
 SECOND FLOOR 433 SQ. FT.
 THIRD FLOOR 362 SQ. FT.
TOTAL LIVING 964 SQ. FT.

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 THIRD FLOOR 716 SQ. FT.
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UNIT FIVE
 FIRST FLOOR 397 SQ. FT.
 SECOND FLOOR 664 SQ. FT.
 THIRD FLOOR 885 SQ. FT.
TOTAL LIVING 1946 SQ. FT.





COURTYARD ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

scheme 3 | stone a

5-UNIT BUILDING | CONCEPT ELEVATION
GREENBRIAR LANDING | COURTS | LENNAR
 BREA, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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 littleton, co 80120 / 303 683.7231
 california // 2943 pullman st. suite A
 santa ana, ca 92705 / 949 553.8919



ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

scheme 3 | stone a

5-UNIT BUILDING | CONCEPT ELEVATION
GREENBRIAR LANDING | COURTS | LENNAR
 BREA, CALIFORNIA

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MOTOR COURT ELEVATION

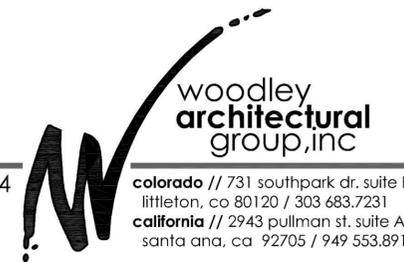
SCALE: 1/4" = 1'-0"

07.01.24

scheme 3 | stone a

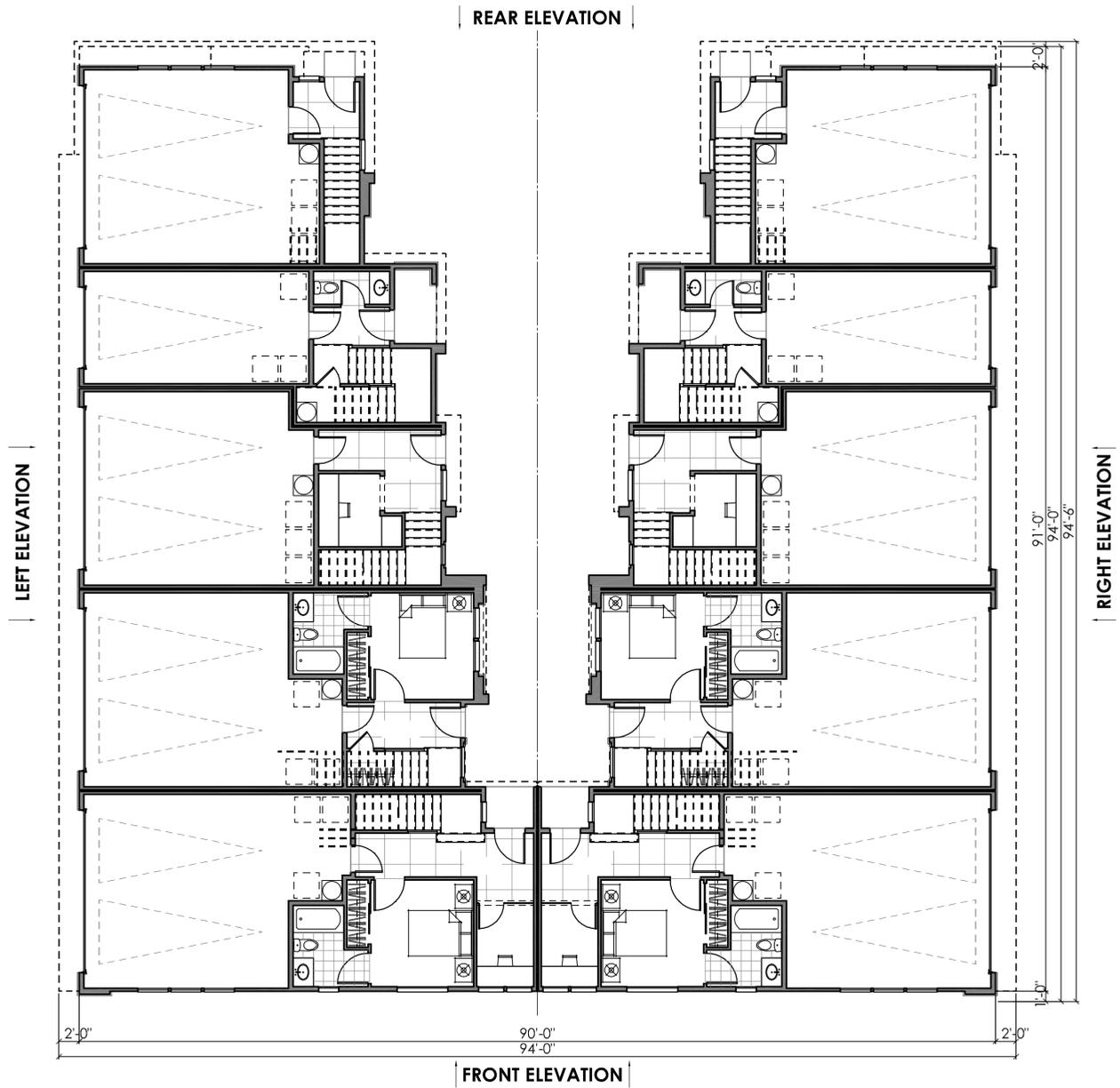
5-UNIT BUILDING | CONCEPT ELEVATION
GREENBRIAR LANDING | COURTS | LENNAR
 BREA, CALIFORNIA

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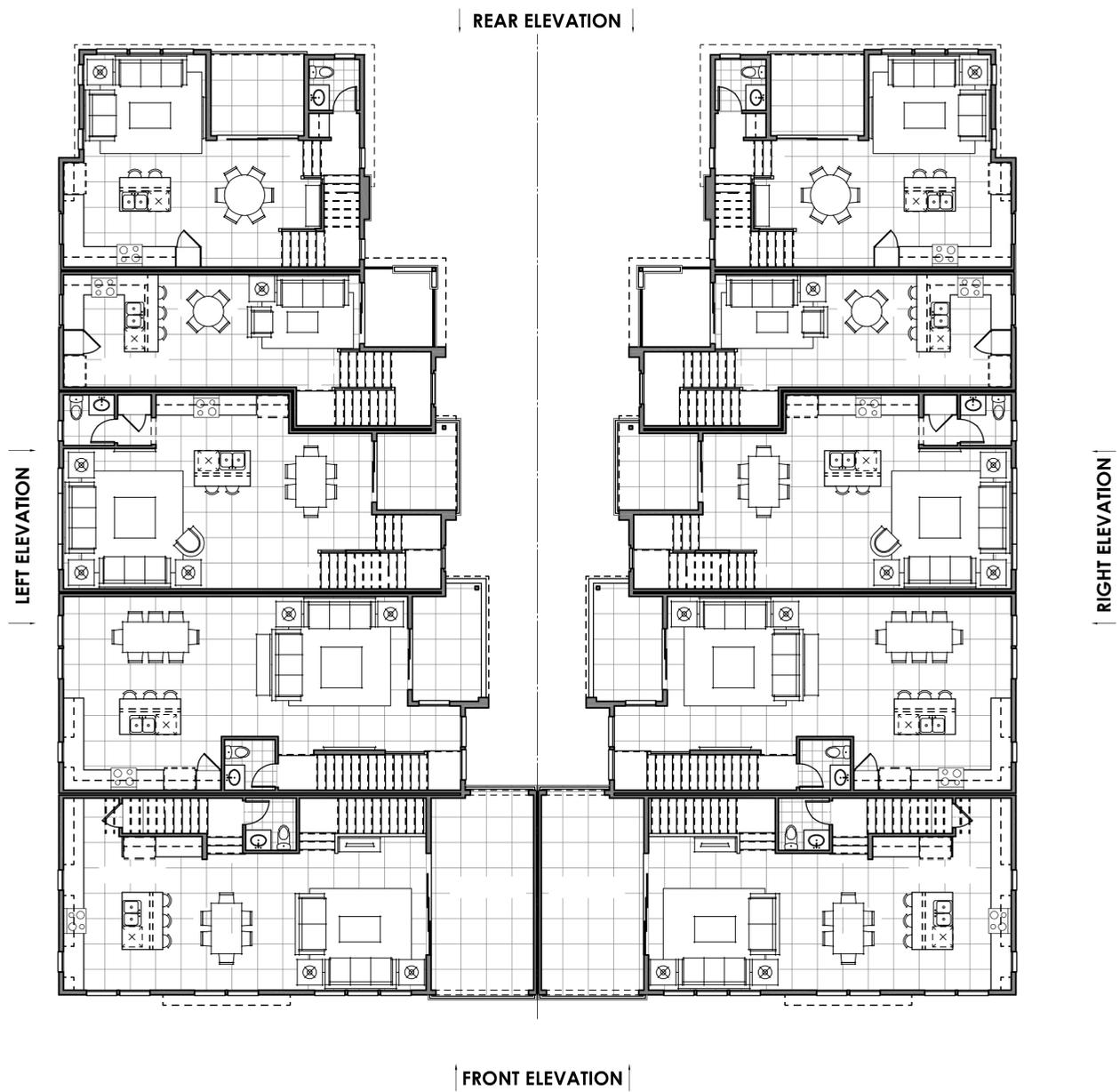
colorado // 731 southpark dr. suite B
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 california // 2943 pullman st. suite A
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FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

07.01.24

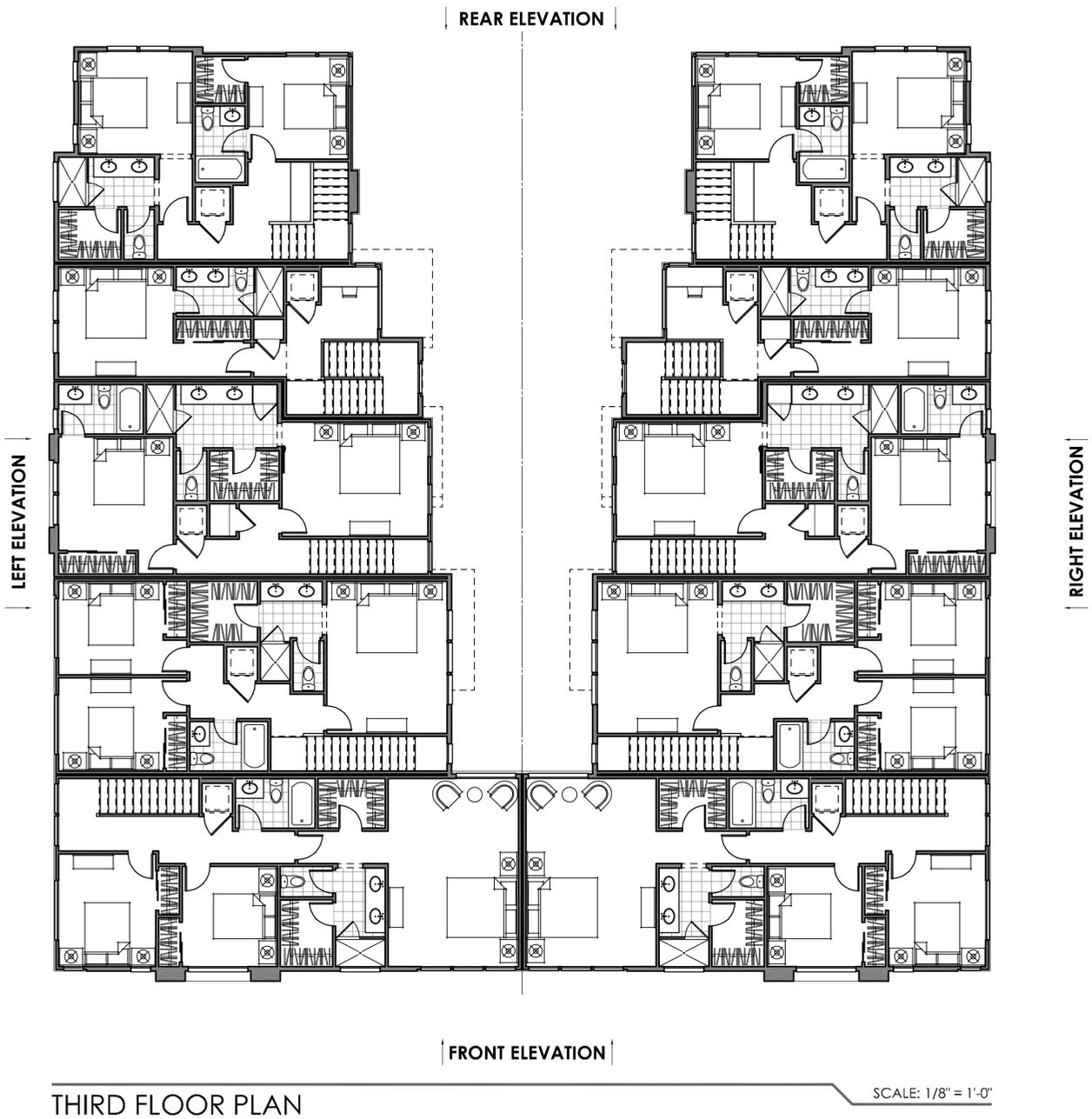
FLOOR ONE & TWO

GREENBRIAR LANDING | COURTS | LENNAR LNLA2303
BREA, CALIFORNIA

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THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

scheme 3 | stone a

10-UNIT BUILDING | CONCEPT ELEVATION
GREENBRIAR LANDING | COURTS | LENNAR
 BRE, CALIFORNIA

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MOTOR COURT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

scheme 3 | stone a

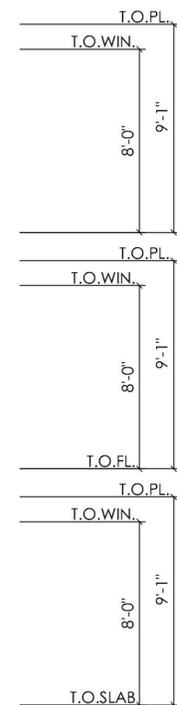
10-UNIT BUILDING | CONCEPT ELEVATION
GREENBRIAR LANDING | COURTS | LENNAR
 BREA, CALIFORNIA

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 littleton, co 80120 / 303 683.7231
 california // 2943 pullman st. suite A
 santa ana, ca 92705 / 949 553.8919

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MOTOR COURT ELEVATION

SCALE: 1/4" = 1'-0"

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scheme 3 | stone a

10-UNIT BUILDING I CONCEPT ELEVATION
GREENBRIAR LANDING | COURTS | LENNAR
 BRE, CALIFORNIA

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 littleton, co 80120 / 303 683.7231
 california // 2943 pullman st. suite A
 santa ana, ca 92705 / 949 553.8919



ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

scheme 3 | stone a

10-UNIT BUILDING | CONCEPT ELEVATION
GREENBRIAR LANDING | COURTS | LENNAR
 BREA, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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COURTYARD - LEFT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

scheme 3 | stone a

10-UNIT BUILDING I CONCEPT ELEVATION
GREENBRIAR LANDING | COURTS | LENNAR
 BREA, CALIFORNIA

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 california // 2943 pullman st. suite A
 santa ana, ca 92705 / 949 553.8919



COURTYARD - RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

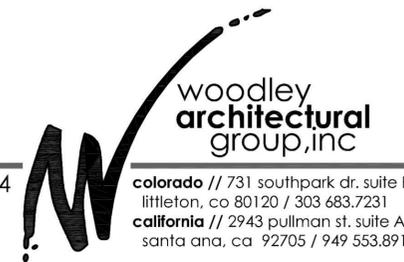
scheme 3 | stone a

10-UNIT BUILDING I CONCEPT ELEVATION
GREENBRIAR LANDING | COURTS | LENNAR
 BREA, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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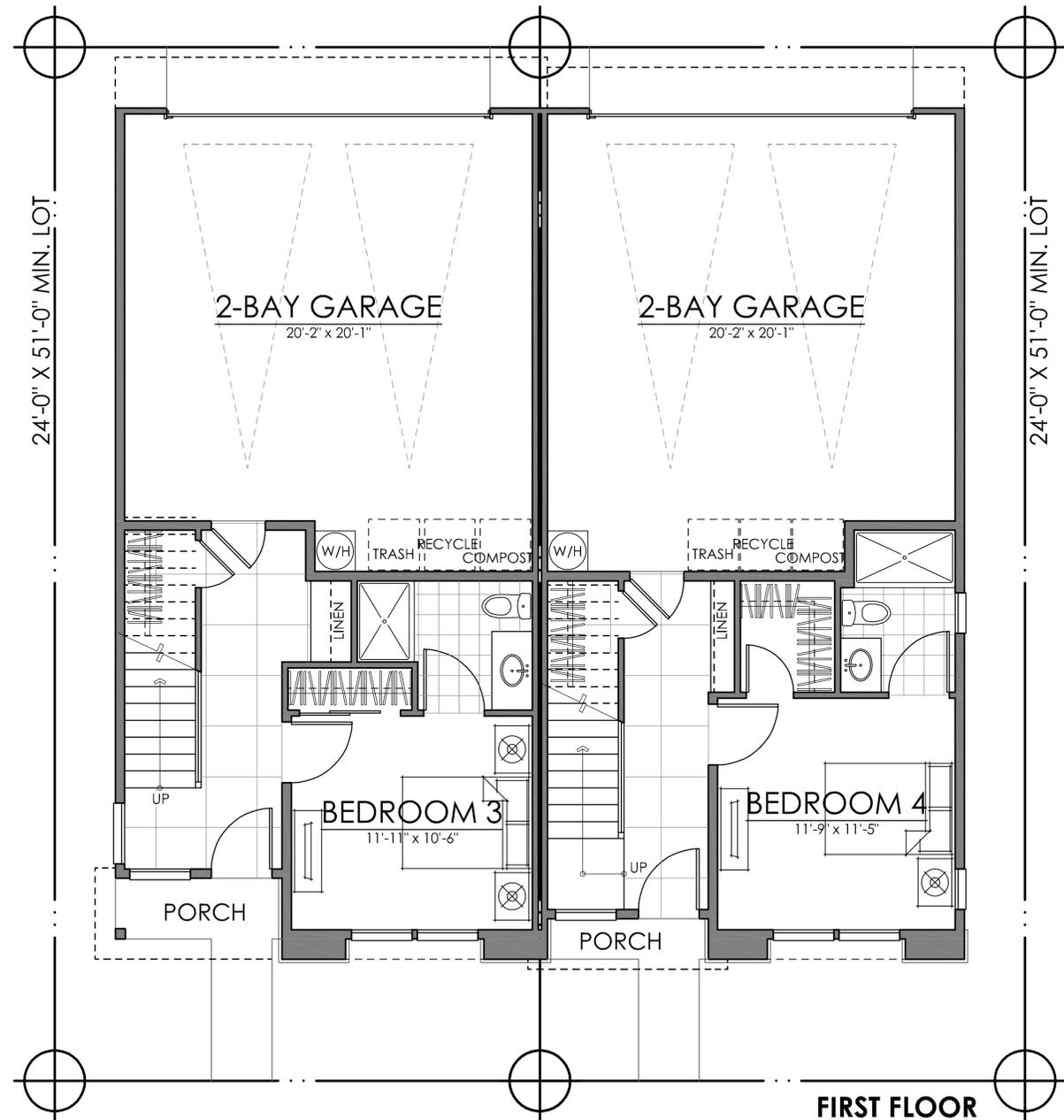
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 littleton, co 80120 / 303 683.7231
 california // 2943 pullman st. suite A
 santa ana, ca 92705 / 949 553.8919



SECOND FLOOR

UNIT ONE
 FIRST FLOOR 380 SQ. FT.
 SECOND FLOOR 698 SQ. FT.
 THIRD FLOOR 837 SQ. FT.
 ROOF TERRACE 379 SQ. FT.
TOTAL LIVING 2294 SQ. FT.



FIRST FLOOR

UNIT TWO
 FIRST FLOOR 386 SQ. FT.
 SECOND FLOOR 771 SQ. FT.
 THIRD FLOOR 899 SQ. FT.
 ROOF TERRACE 447 SQ. FT.
TOTAL LIVING 2503 SQ. FT.

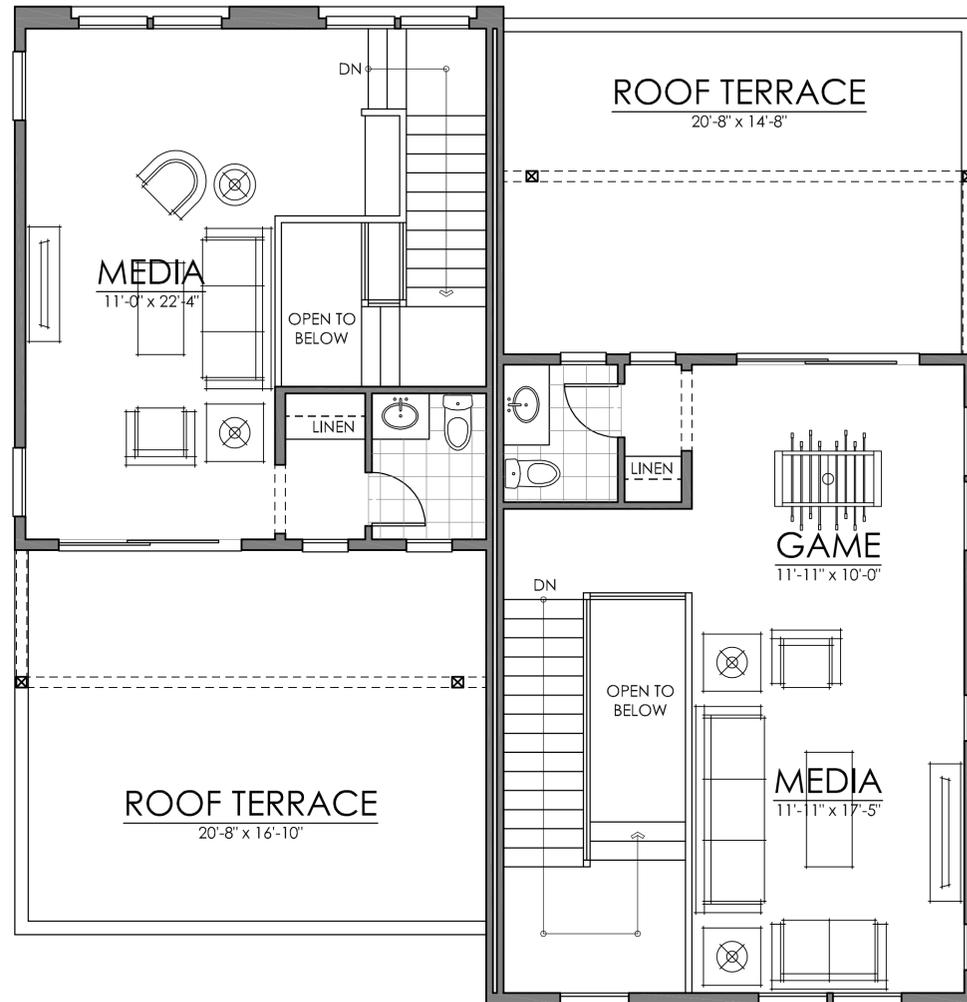
07.01.24

DUETS | ELEVATION A
GREENBRIAR LANDING | VILLAS | LENNAR
 BREA, CALIFORNIA

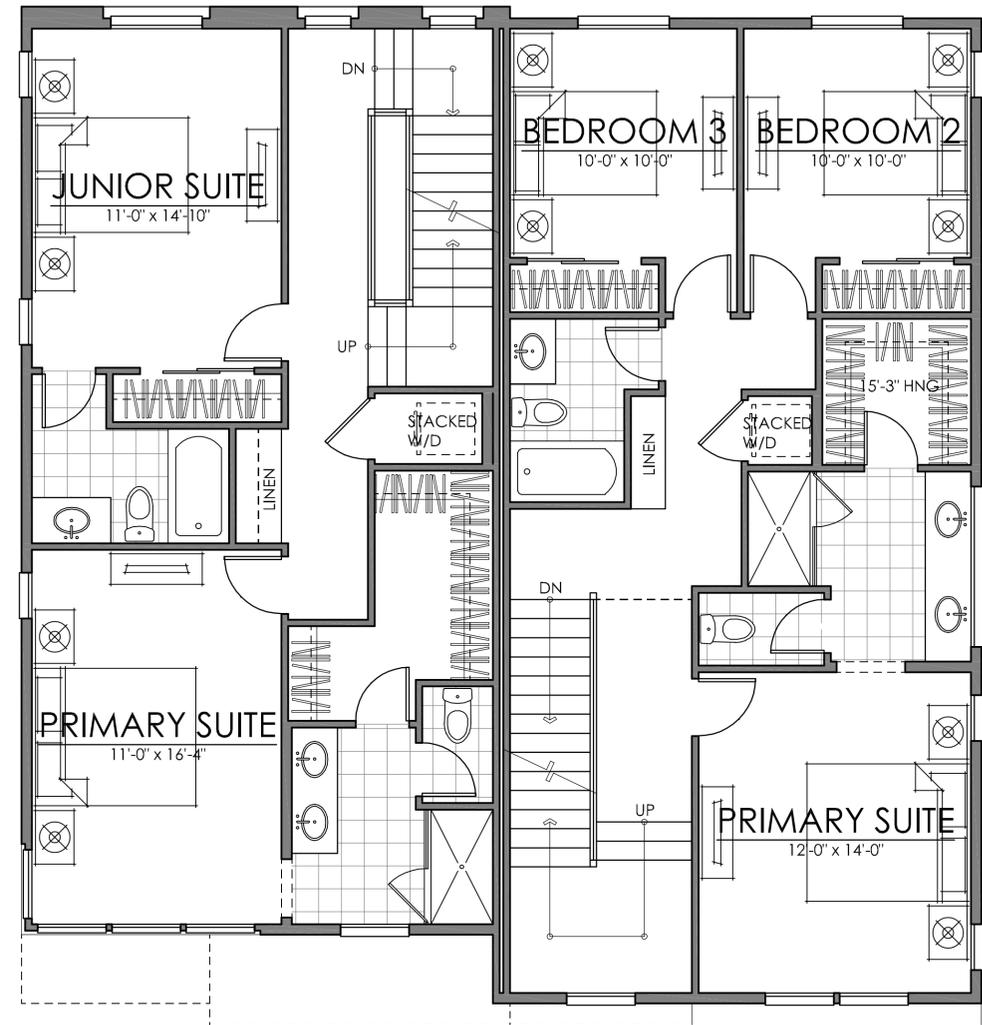
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ROOF TERRACE



THIRD FLOOR

UNIT ONE

FIRST FLOOR	380 SQ. FT.
SECOND FLOOR	698 SQ. FT.
THIRD FLOOR	837 SQ. FT.
ROOF TERRACE	379 SQ. FT.
TOTAL LIVING	2294 SQ. FT.

UNIT TWO

FIRST FLOOR	386 SQ. FT.
SECOND FLOOR	771 SQ. FT.
THIRD FLOOR	899 SQ. FT.
ROOF TERRACE	447 SQ. FT.
TOTAL LIVING	2503 SQ. FT.

07.01.24

DUETS | ELEVATION A

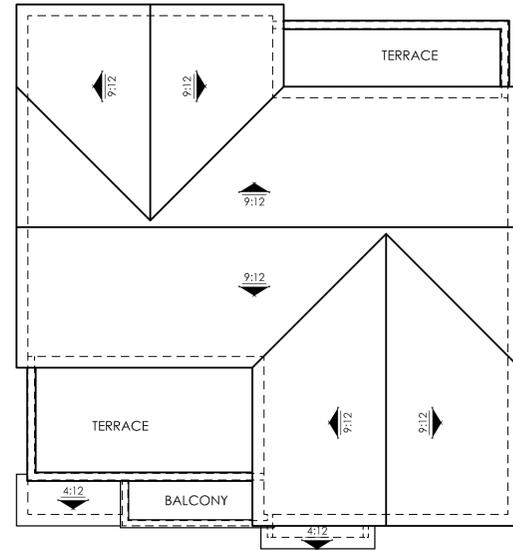
GREENBRIAR LANDING | VILLAS | LENNAR
BREA, CALIFORNIA

LNLA2304



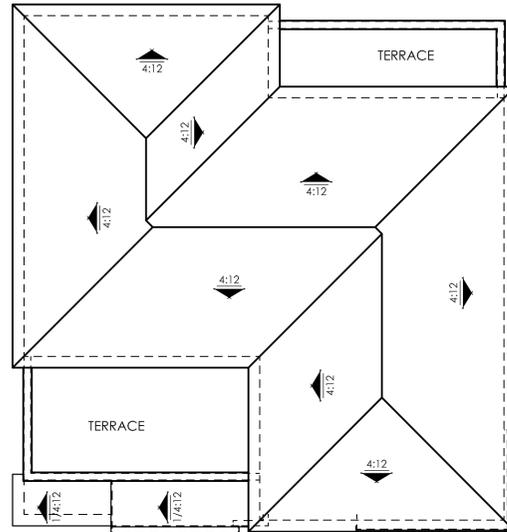
colorado // 731 southpark dr. suite B
littleton, co 80120 / 303 683.7231
california // 2943 pullman st. suite A
santa ana, ca 92705 / 949 553.8919

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS
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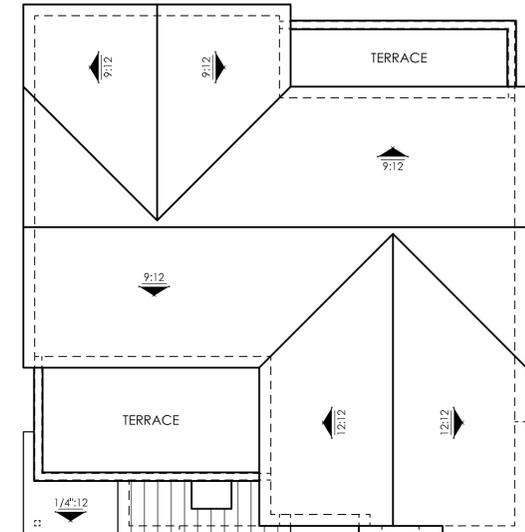
ROOF PLAN - ELEV. A

SCALE: 1/8" = 1'-0"



ROOF PLAN - ELEV. B

SCALE: 1/8" = 1'-0"



ROOF PLAN - ELEV. C

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

DUET | ELEVATION A

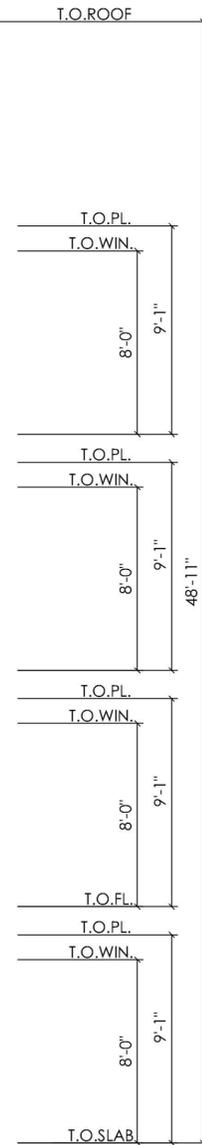
GREENBRIAR LANDING | VILLAS | LENNAR
BREA, CALIFORNIA

LNLA2304



SCHEME 9 | BRICK X

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FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

SCHEME 9 | BRICK X

DUET | ELEVATION A | ENHANCED
GREENBRIAR LANDING | VILLAS | LENNAR
 BREA, CALIFORNIA

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REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

DUET | ELEVATION A | ENHANCED
GREENBRIAR LANDING | VILLAS | LENNAR
 BRE, CALIFORNIA

LNLA2304

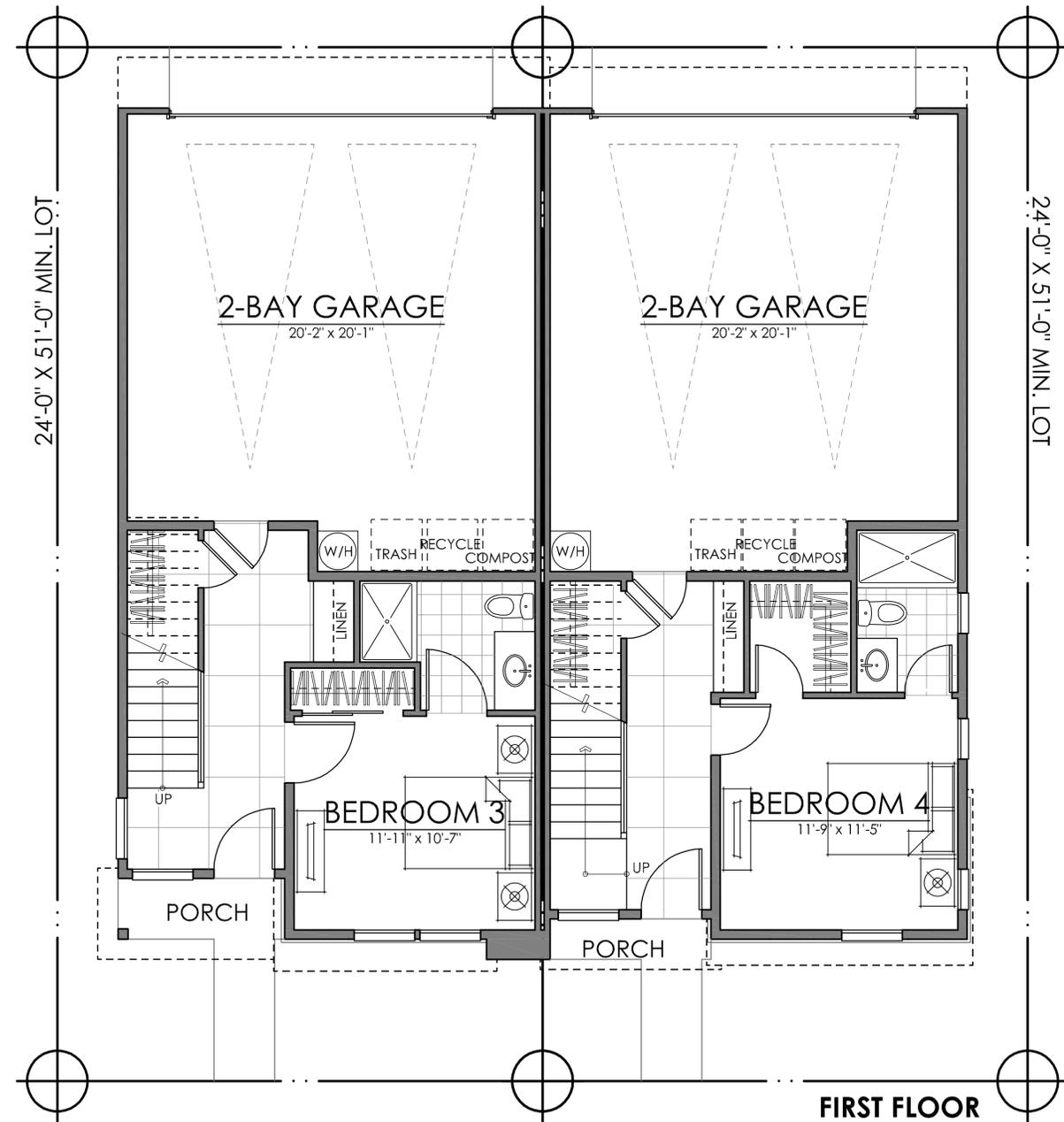


SCHEME 9 | BRICK X

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SECOND FLOOR



FIRST FLOOR

UNIT ONE
 FIRST FLOOR 380 SQ. FT.
 SECOND FLOOR 698 SQ. FT.
 THIRD FLOOR 837 SQ. FT.
 ROOF TERRACE 379 SQ. FT.
TOTAL LIVING 2294 SQ. FT.

UNIT TWO
 FIRST FLOOR 386 SQ. FT.
 SECOND FLOOR 771 SQ. FT.
 THIRD FLOOR 899 SQ. FT.
 ROOF TERRACE 447 SQ. FT.
TOTAL LIVING 2503 SQ. FT.

07.01.24

DUETS | ELEVATION B

GREENBRIAR LANDING | VILLAS | LENNAR
 BREA, CALIFORNIA

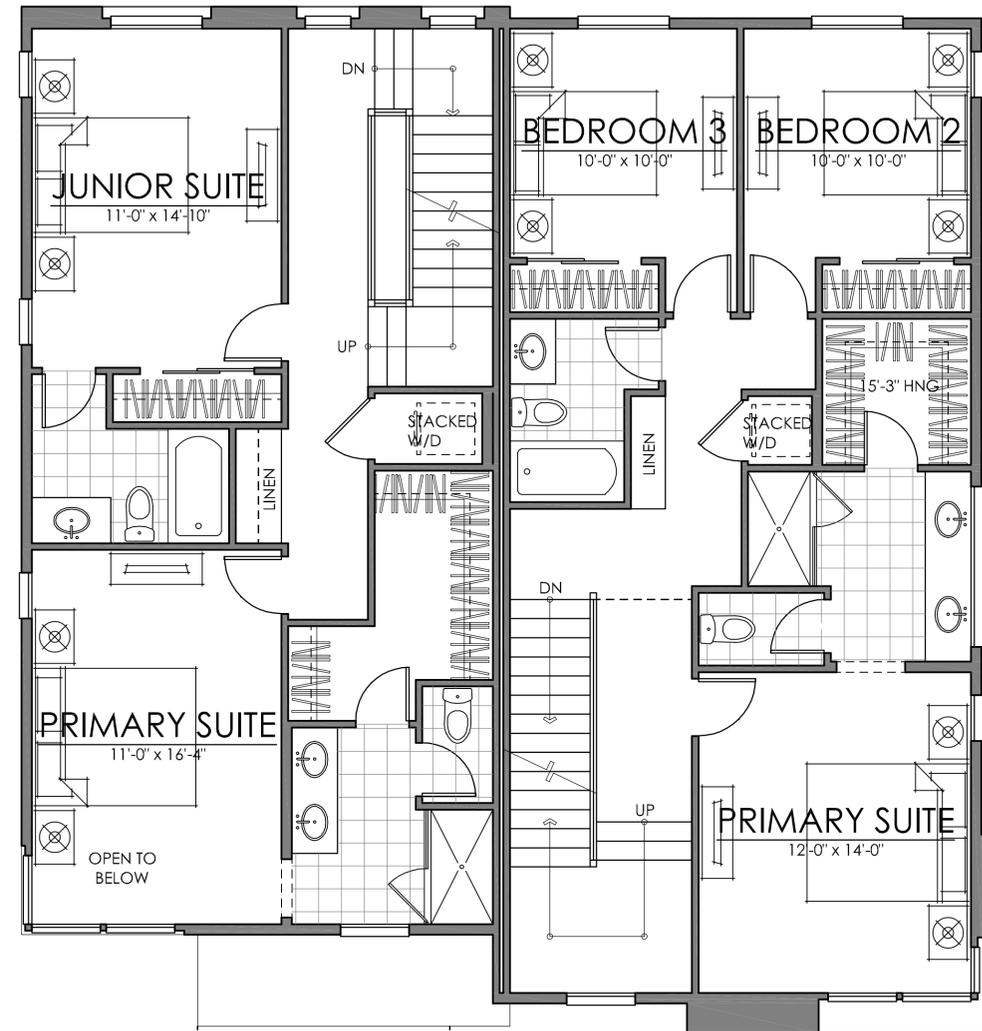
LNLA2304



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ROOF TERRACE



THIRD FLOOR

UNIT ONE	
FIRST FLOOR	380 SQ. FT.
SECOND FLOOR	698 SQ. FT.
THIRD FLOOR	837 SQ. FT.
ROOF TERRACE	379 SQ. FT.
TOTAL LIVING	2294 SQ. FT.

UNIT TWO	
FIRST FLOOR	386 SQ. FT.
SECOND FLOOR	771 SQ. FT.
THIRD FLOOR	899 SQ. FT.
ROOF TERRACE	447 SQ. FT.
TOTAL LIVING	2503 SQ. FT.

07.01.24

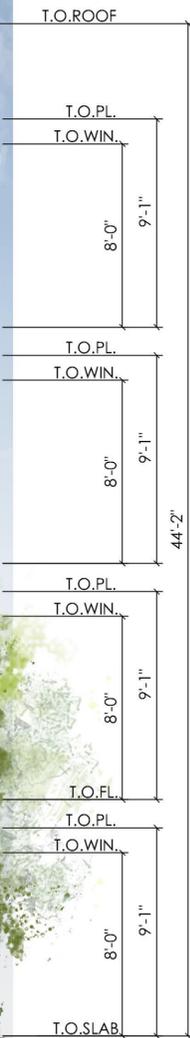
DUETS | ELEVATION B

GREENBRIAR LANDING | VILLAS | LENNAR
BREA, CALIFORNIA

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FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

SCHEME 10 | STONE A

DUET | ELEVATION B

GREENBRIAR LANDING | VILLAS | LENNAR
BREA, CALIFORNIA

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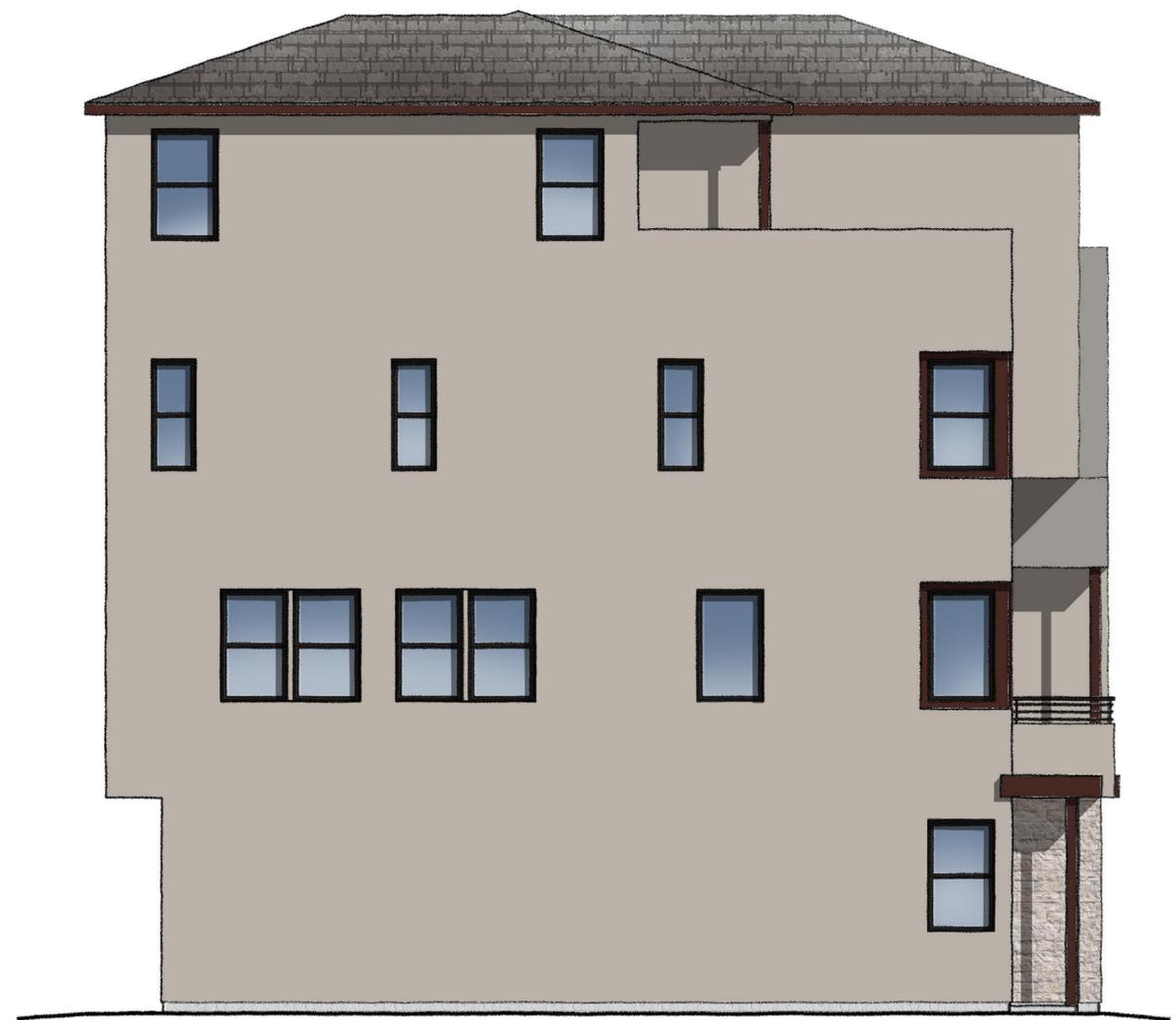
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california // 2943 pullman st. suite A
santa ana, ca 92705 / 949 553.8919



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

SCHEME 10 | STONE A

DUET | ELEVATION B

GREENBRIAR LANDING | VILLAS | LENNAR
BREA, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

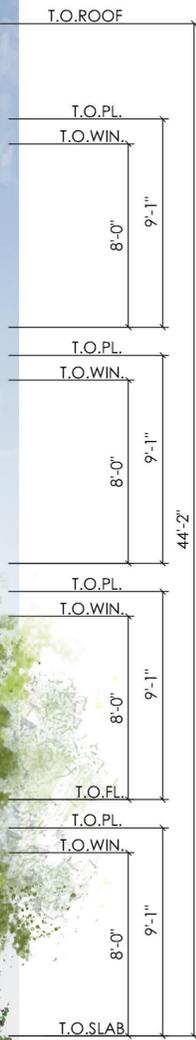
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FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

SCHEME 10 | STONE A

DUET | ELEVATION B | ENHANCED
GREENBRIAR LANDING | VILLAS | LENNAR
 BREA, CALIFORNIA

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REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

SCHEME 10 | STONE A

DUET | ELEVATION B | ENHANCED
GREENBRIAR LANDING | VILLAS | LENNAR
 BRE, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

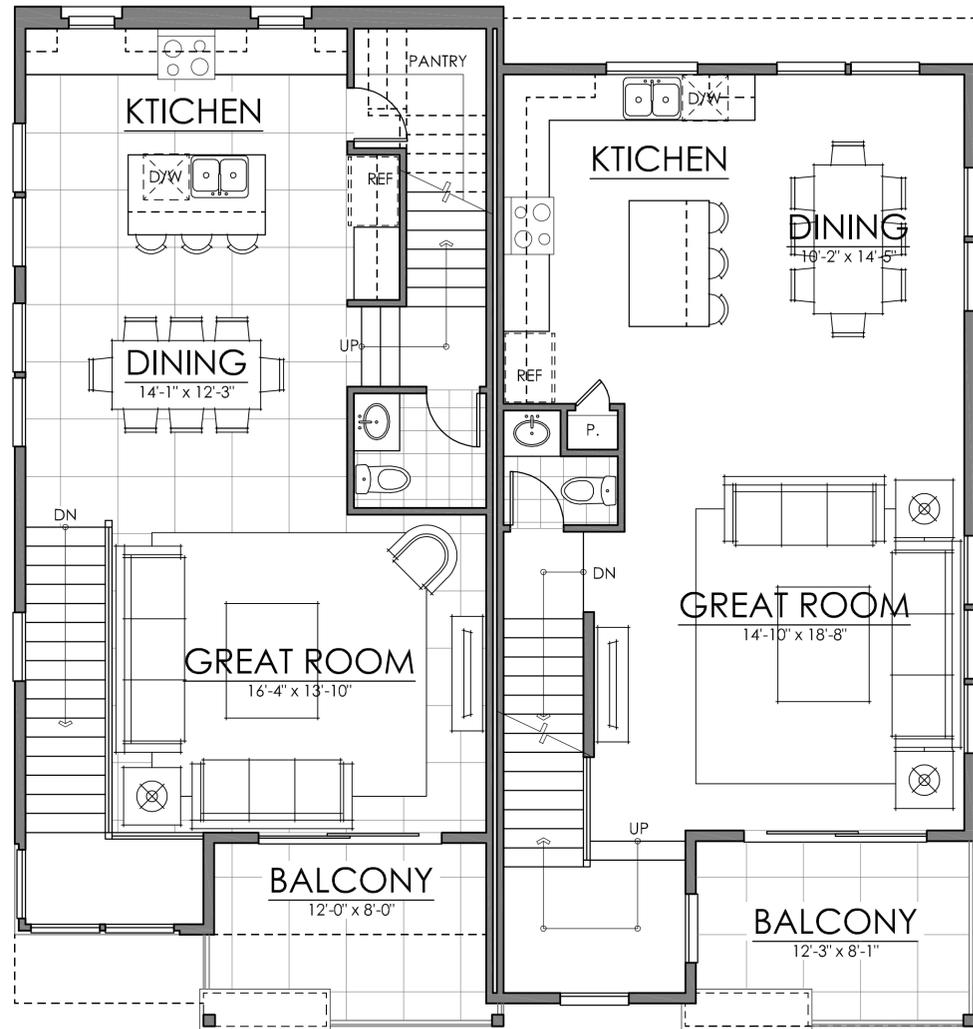
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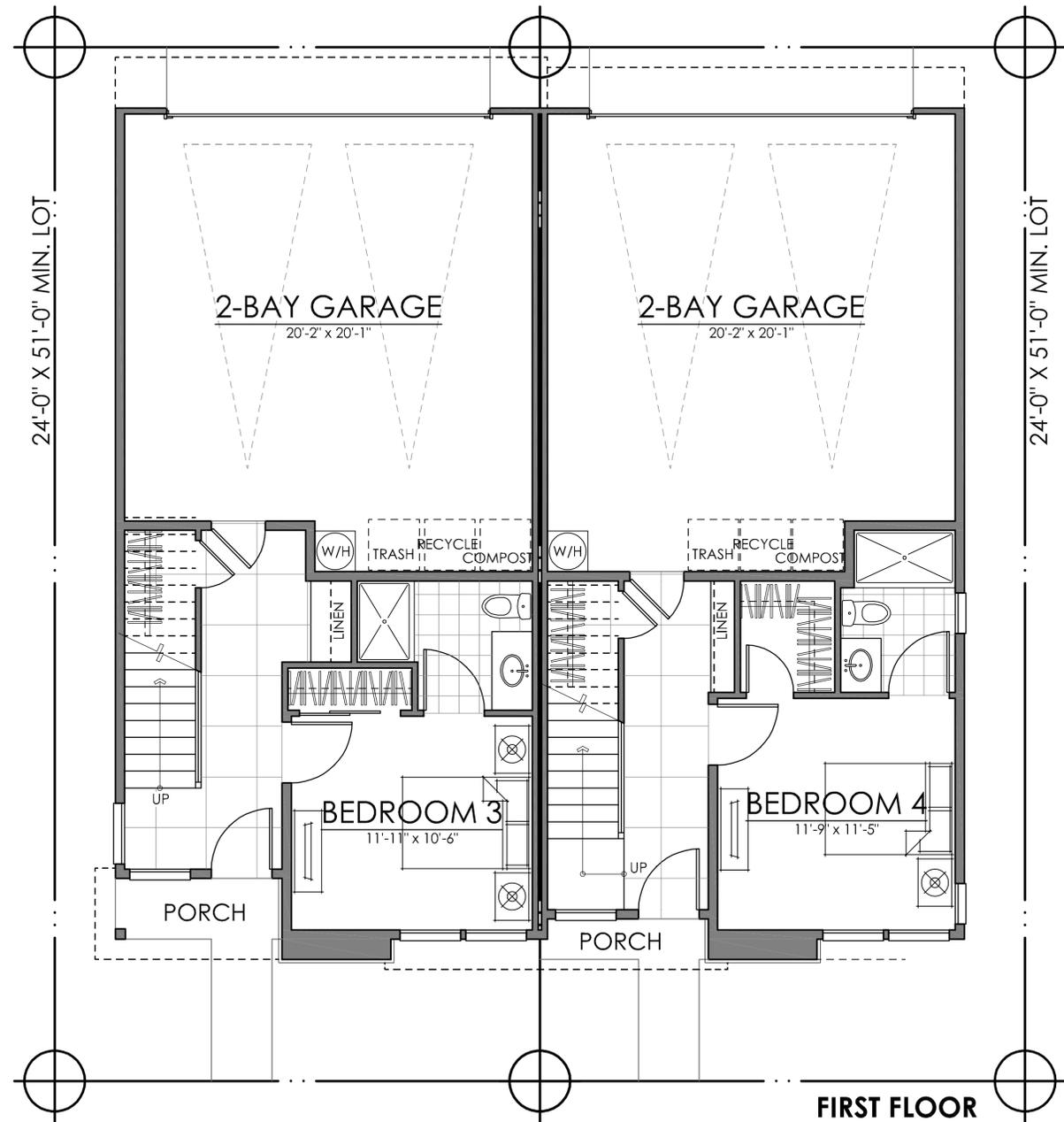
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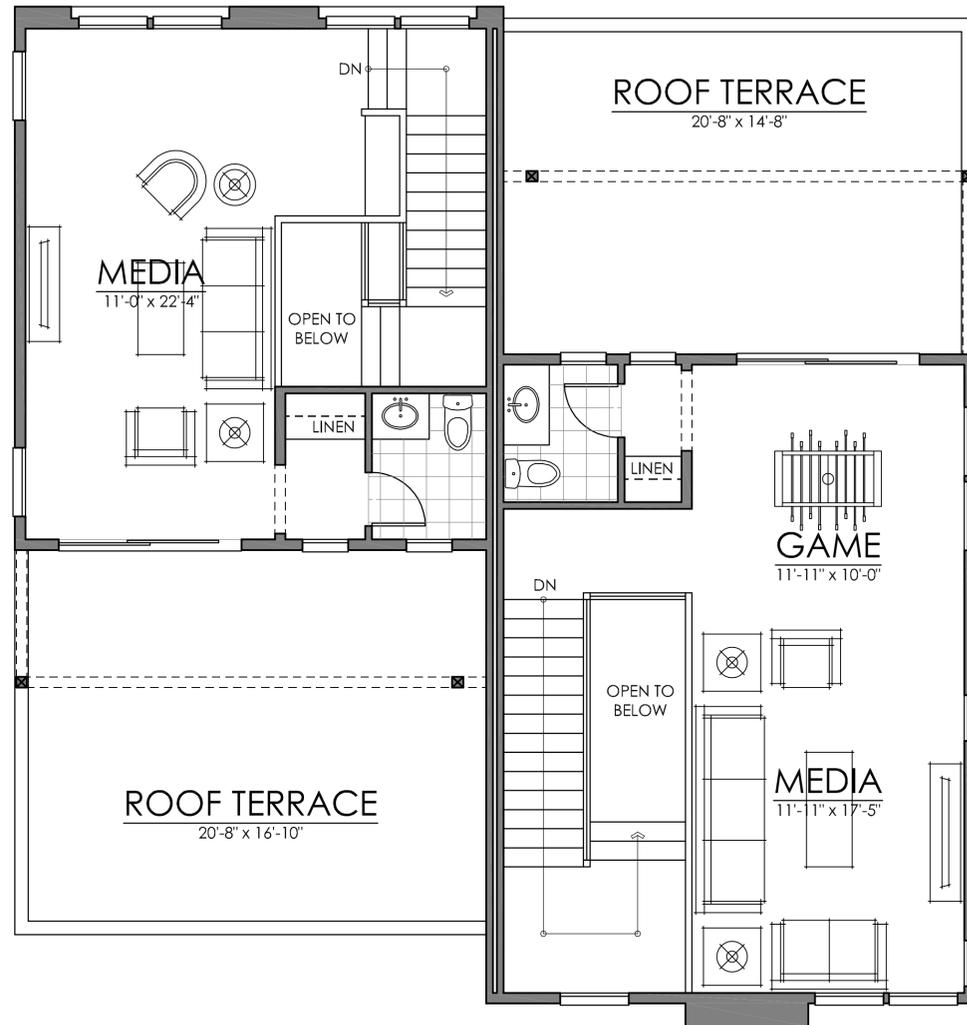


SECOND FLOOR

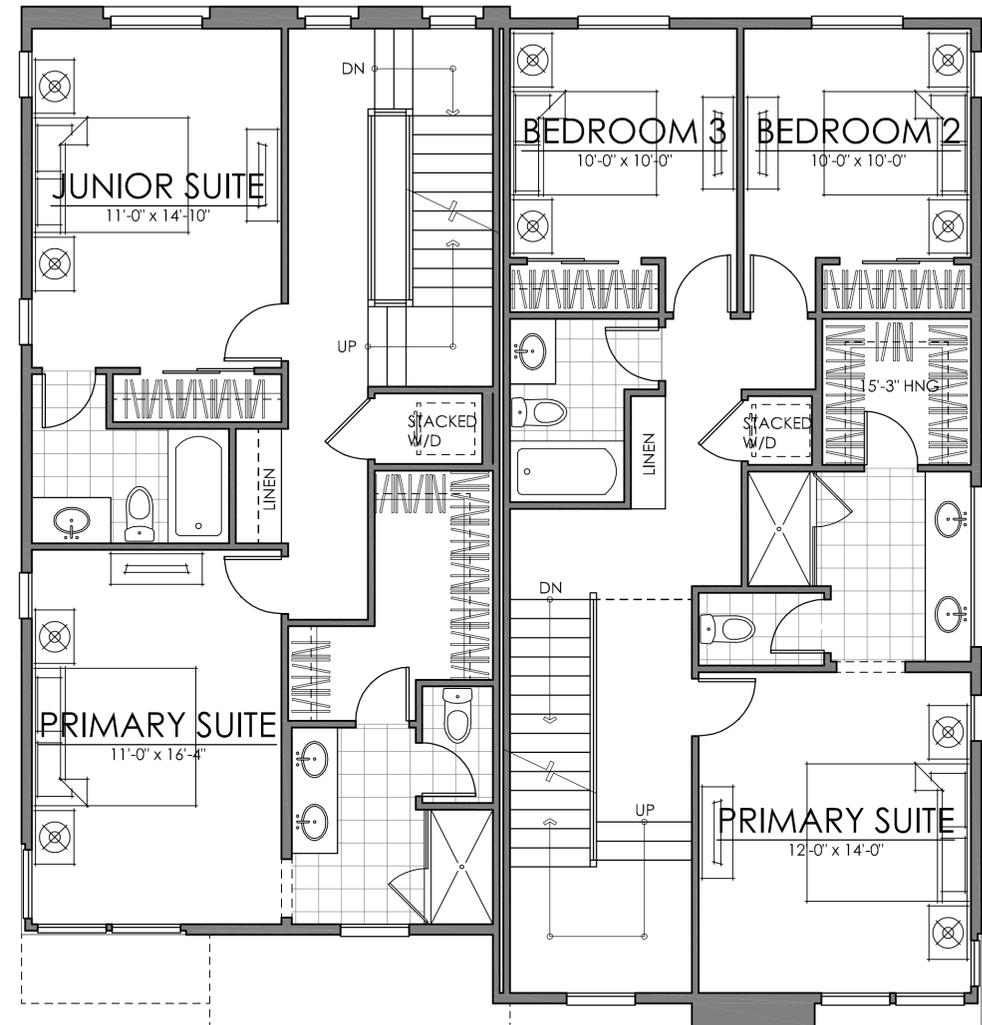
UNIT ONE
 FIRST FLOOR 380 SQ. FT.
 SECOND FLOOR 698 SQ. FT.
 THIRD FLOOR 837 SQ. FT.
 ROOF TERRACE 379 SQ. FT.
TOTAL LIVING 2294 SQ. FT.



UNIT TWO
 FIRST FLOOR 386 SQ. FT.
 SECOND FLOOR 771 SQ. FT.
 THIRD FLOOR 899 SQ. FT.
 ROOF TERRACE 447 SQ. FT.
TOTAL LIVING 2503 SQ. FT.



ROOF TERRACE



THIRD FLOOR

UNIT ONE	
FIRST FLOOR	380 SQ. FT.
SECOND FLOOR	698 SQ. FT.
THIRD FLOOR	837 SQ. FT.
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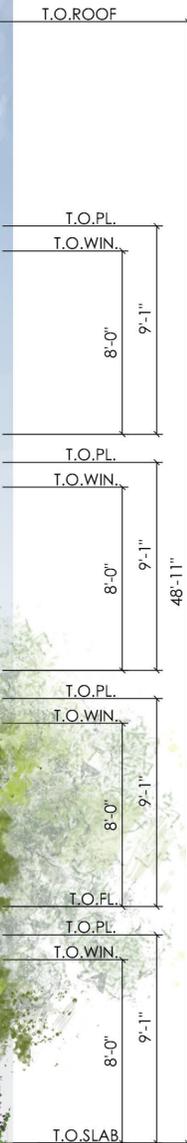
DUETS | ELEVATION C

GREENBRIAR LANDING | VILLAS | LENNAR
BREA, CALIFORNIA

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FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

DUET | ELEVATION C

GREENBRIAR LANDING | VILLAS | LENNAR
BREA, CALIFORNIA

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SCHEME 11 | BRICK Z

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REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

DUET | ELEVATION C

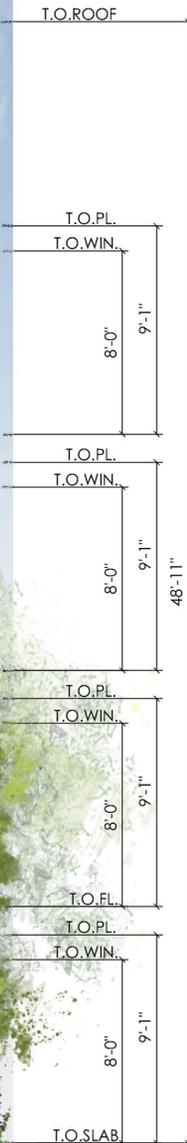
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SCHEME 11 | BRICK Z

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FRONT ELEVATION

SCALE: 1/4" = 1'-0"



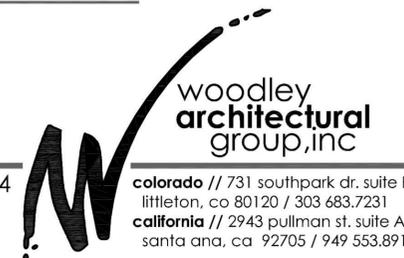
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

DUET | ELEVATION C | ENHANCED
GREENBRIAR LANDING | VILLAS | LENNAR
 BREA, CALIFORNIA

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 california // 2943 pullman st. suite A
 santa ana, ca 92705 / 949 553.8919

SCHEME 11 | BRICK Z

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REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

DUET | ELEVATION C | ENHANCED
GREENBRIAR LANDING | VILLAS | LENNAR
 BRE, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

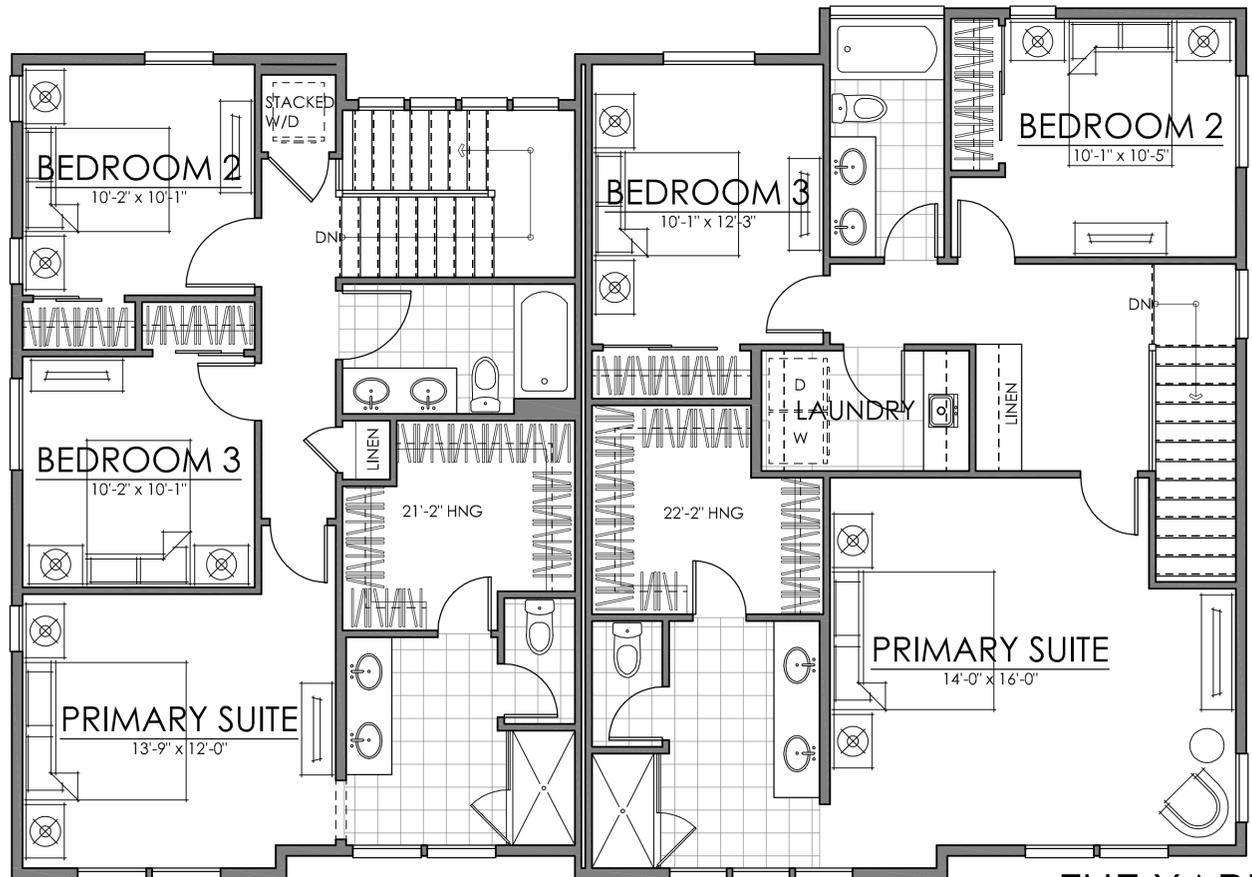
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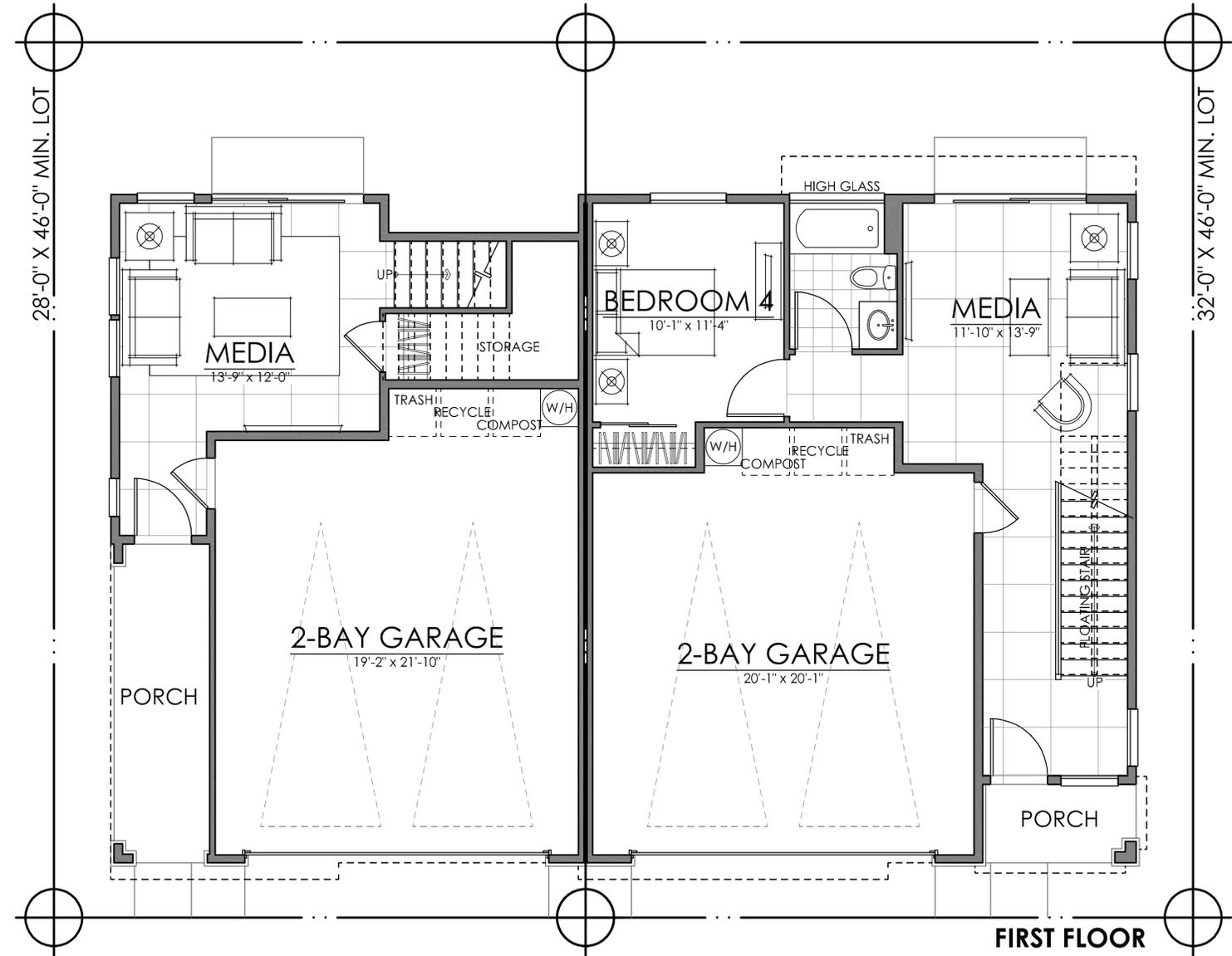




SECOND FLOOR



THIRD FLOOR



FIRST FLOOR

UNIT ONE
 FIRST FLOOR 303 SQ. FT.
 SECOND FLOOR 760 SQ. FT.
 THIRD FLOOR 783 SQ. FT.
TOTAL LIVING 1846 SQ. FT.

UNIT TWO
 FIRST FLOOR 539 SQ. FT.
 SECOND FLOOR 923 SQ. FT.
 THIRD FLOOR 1010 SQ. FT.
TOTAL LIVING 2472 SQ. FT.

07.01.24

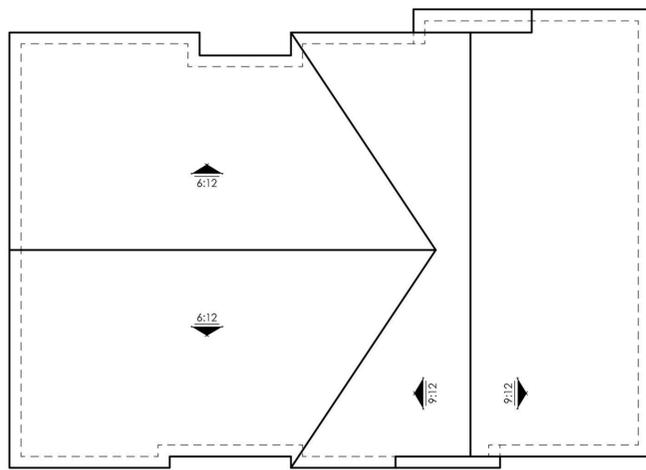
THE YARDS | DUETS | ELEVATION A

GREENBRIAR LANDING | THE YARDS | LENNAR
 BREA, CALIFORNIA

LNLA2305



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ROOF PLAN

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

DUET | ELEVATION A

GREENBRIAR LANDING | THE YARDS | LENNAR
BREA, CALIFORNIA

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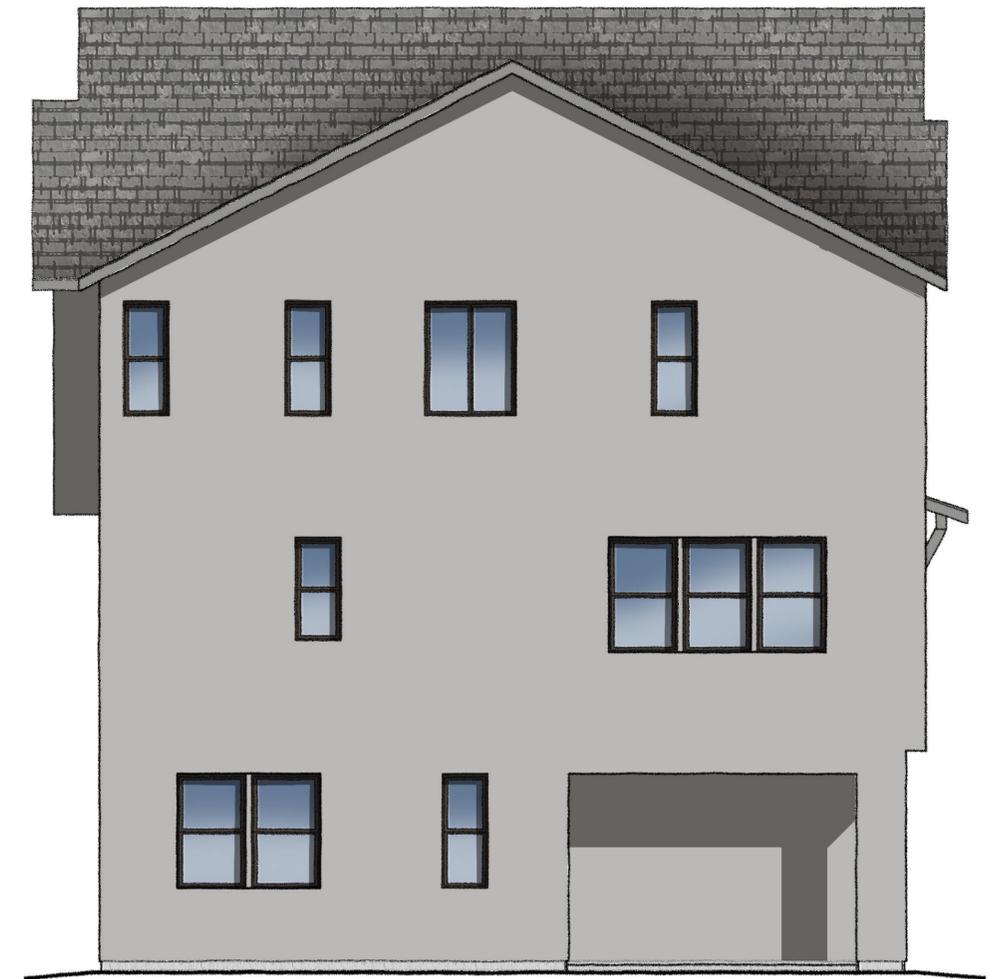
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littleton, co 80120 / 303 683.7231
california // 2943 pullman st. suite A
santa ana, ca 92705 / 949 553.8919



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

DUET | ELEVATION A

GREENBRIAR LANDING | THE YARDS | LENNAR
BREA, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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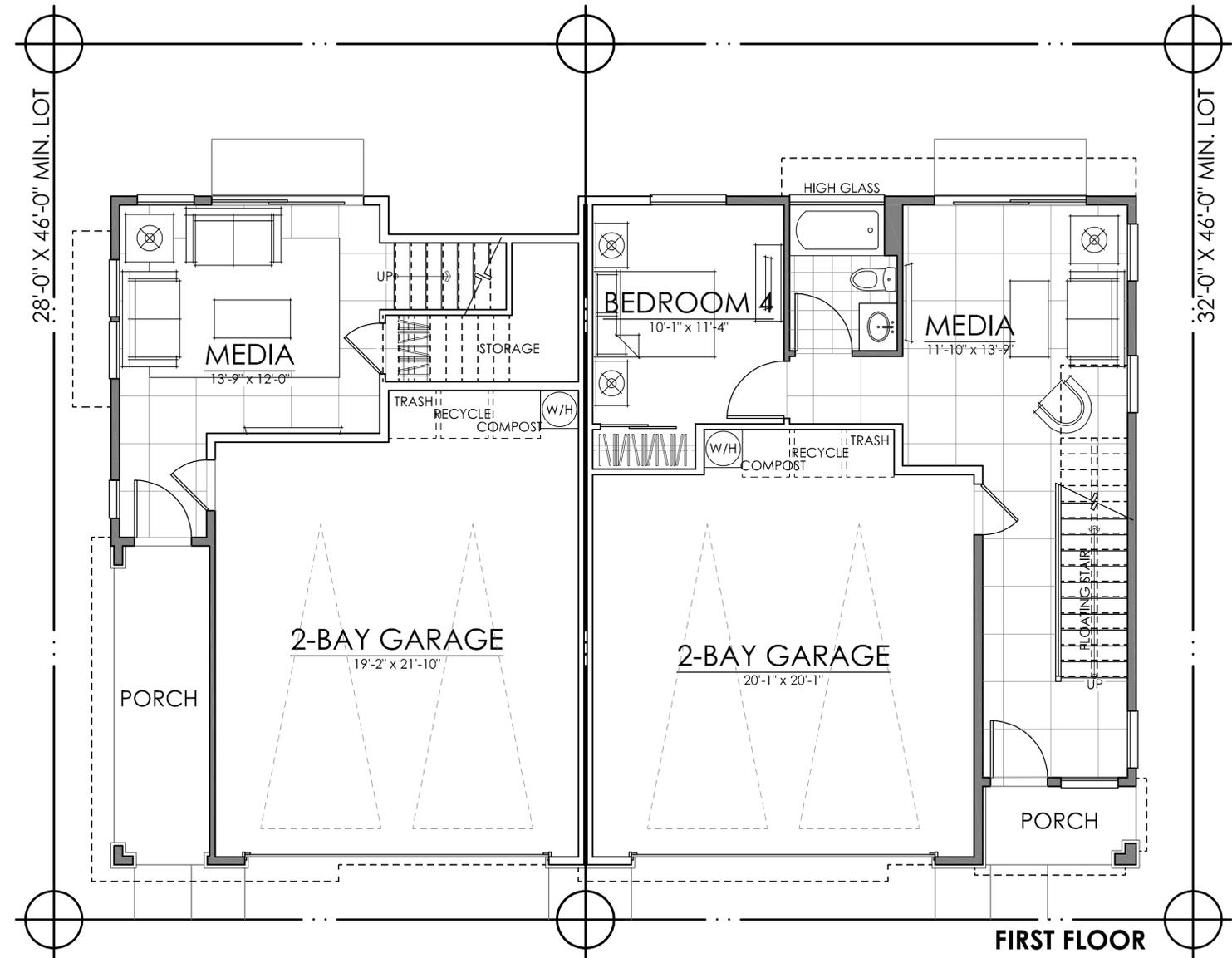
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 california // 2943 pullman st. suite A
 santa ana, ca 92705 / 949 553.8919



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR

UNIT ONE
 FIRST FLOOR 303 SQ. FT.
 SECOND FLOOR 760 SQ. FT.
 THIRD FLOOR 783 SQ. FT.
TOTAL LIVING 1846 SQ. FT.

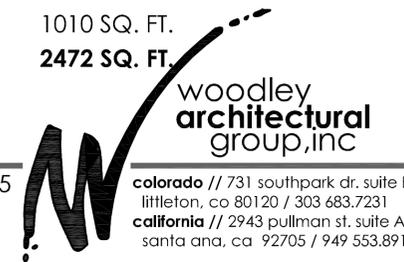
UNIT TWO
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 THIRD FLOOR 1010 SQ. FT.
TOTAL LIVING 2472 SQ. FT.

07.01.24

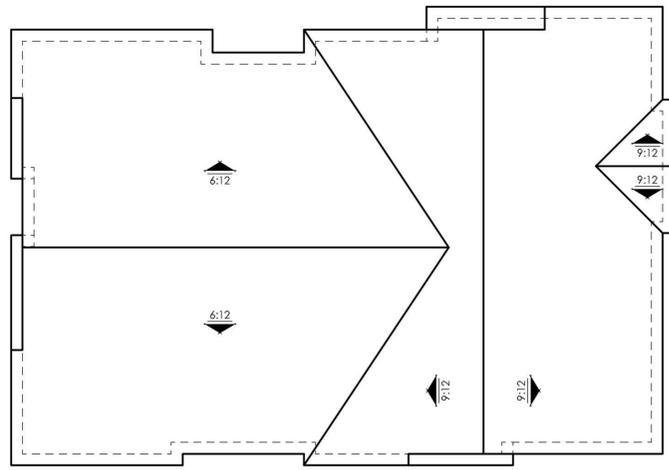
THE YARDS | DUETS | ENAHNCED ELEV. A

GREENBRIAR LANDING | THE YARDS | LENNAR
 BREA, CALIFORNIA

LNLA2305



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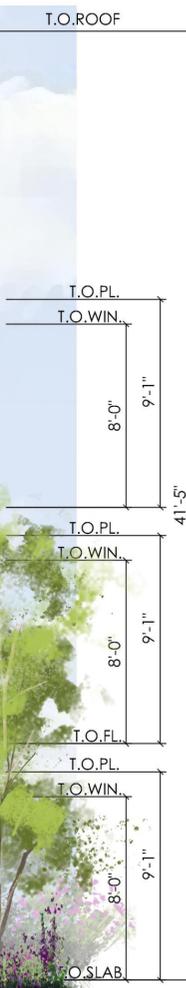
ROOF PLAN

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

DUET | ELEVATION A | ENHANCED
GREENBRIAR LANDING | THE YARDS | LENNAR
 BREA, CALIFORNIA

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REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

DUET | ELEVATION A | ENHANCED
GREENBRIAR LANDING | THE YARDS | LENNAR
 BREA, CALIFORNIA

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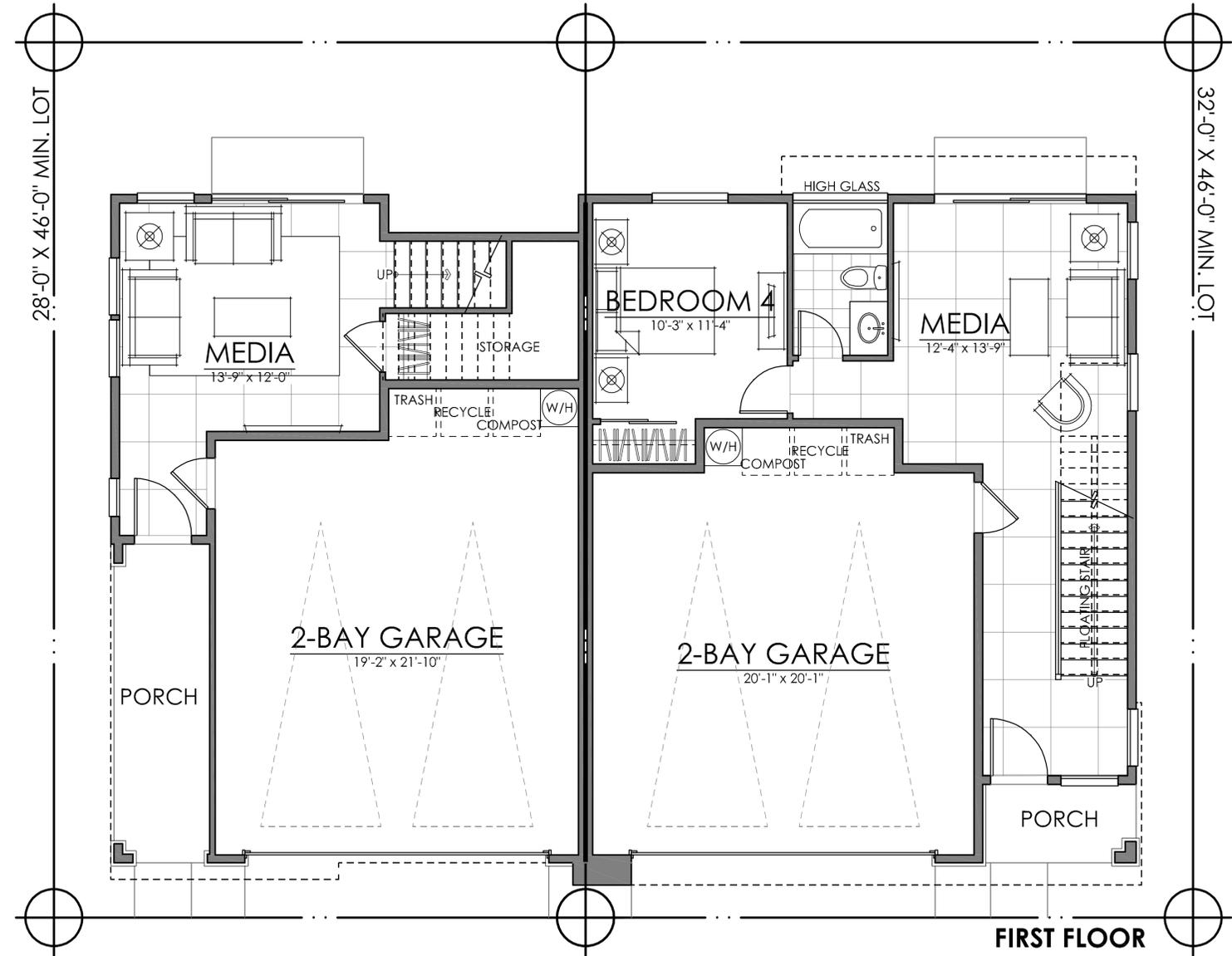




SECOND FLOOR



THIRD FLOOR



FIRST FLOOR

UNIT ONE
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07.01.24

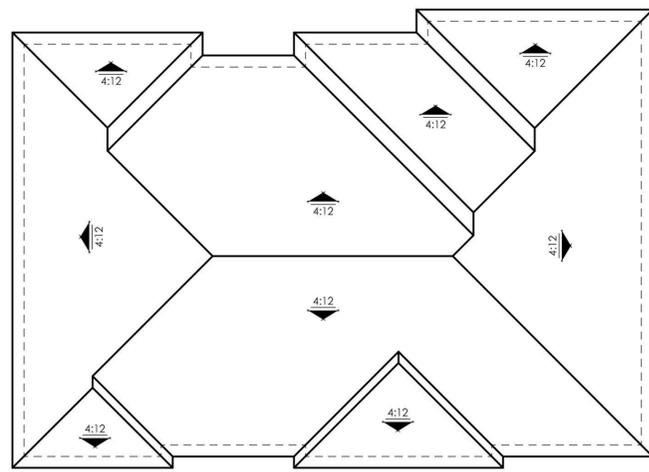
THE YARDS | DUETS | ELEVATION B

GREENBRIAR LANDING | THE YARDS | LENNAR
 BRE, CALIFORNIA

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ROOF PLAN

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

SCHEME 5 | STONE B

DUET | ELEVATION B

GREENBRIAR LANDING | THE YARDS | LENNAR
BREA, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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colorado // 731 southpark dr. suite B
littleton, co 80120 / 303 683.7231
california // 2943 pullman st. suite A
santa ana, ca 92705 / 949 553.8919



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

DUET | ELEVATION B

GREENBRIAR LANDING | THE YARDS | LENNAR
BREA, CALIFORNIA

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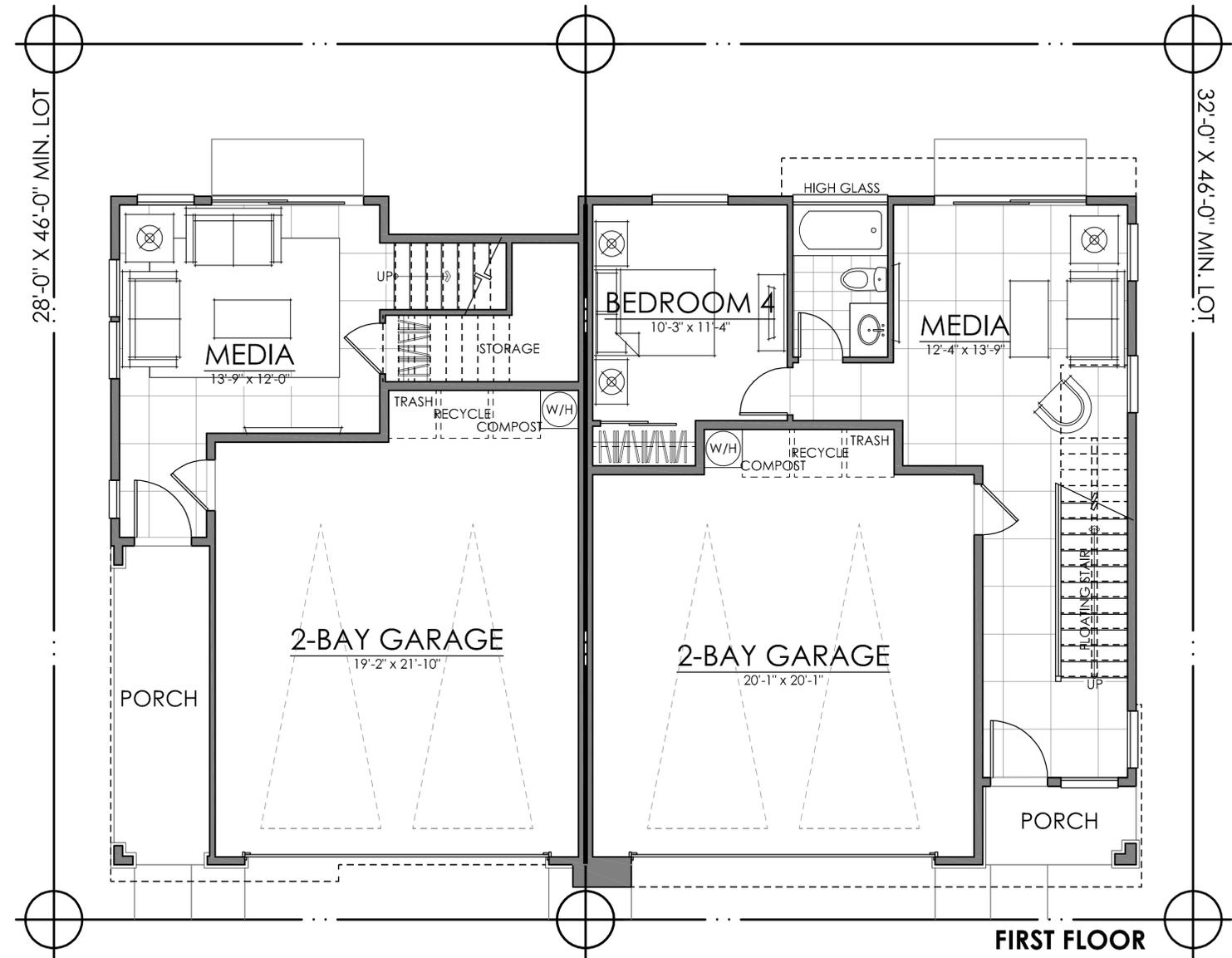
colorado // 731 southpark dr. suite B
littleton, co 80120 / 303 683.7231
california // 2943 pullman st. suite A
santa ana, ca 92705 / 949 553.8919



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR

UNIT ONE
 FIRST FLOOR 303 SQ. FT.
 SECOND FLOOR 760 SQ. FT.
 THIRD FLOOR 783 SQ. FT.
TOTAL LIVING 1846 SQ. FT.

UNIT TWO
 FIRST FLOOR 539 SQ. FT.
 SECOND FLOOR 923 SQ. FT.
 THIRD FLOOR 1010 SQ. FT.
TOTAL LIVING 2472 SQ. FT.

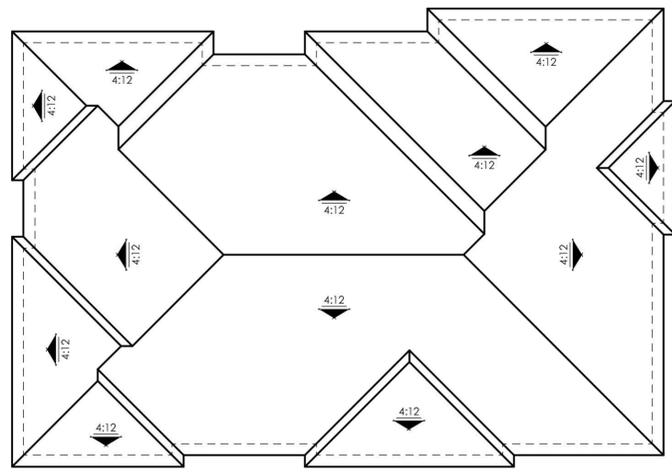
07.01.24

THE YARDS | DUETS | ENHANCED ELEV. B
GREENBRIAR LANDING | THE YARDS | LENNAR
 BRE, CALIFORNIA

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ROOF PLAN

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

SCHEME 5 | STONE B

DUET | ELEVATION B | ENHANCED
GREENBRIAR LANDING | THE YARDS | LENNAR
 BREA, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

07.01.24

DUET | ELEVATION B | ENHANCED
GREENBRIAR LANDING | THE YARDS | LENNAR
 BRE, CALIFORNIA

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CARLSON STRATEGIC LAND SOLUTIONS, INC.

February 7, 2025

Rebecca M. Pennington
Senior Planner
City of Brea
1 Civic Center Circle
Brea, CA 92821

Subject: Greenbriar Residential Development Project Description

Dear Ms. Pennington,

On behalf of Gary Jones of Lennar Homes of California, Inc. attached is an application for the Greenbriar Residential Development project located at 1698 - 1700 Greenbriar Lane, Brea, California.

The project site is approximately 9.7 acres and currently developed with office use (Mercury Insurance) and associated infrastructure, including a two-story parking structure and surface parking.

This letter provides a description of the proposed project. Attached is the Uniform Application and accompanying plans.

Entitlements

The project site currently has General Plan land use designation and zoning of GC - General Commercial. The proposal is a residential development project. Therefore, the following entitlements are requested.

- General Plan Amendment
- Zone Change
- Development Agreement
- Condominium Map
- Precise Development
- EIR

The Applicant proposes a GPA and ZC to Mixed Use 2.

Proposed Project

The proposed project includes the demolition of the existing office building and parking structure and construction of 179 residential dwellings.

Site Plan

Key features of the proposed site plan include:

- Modify Greenbriar Lane to eliminate the existing knuckle into the project site and create a standard roadway configuration for Greenbriar Lane from Associated Road into the existing neighborhood.
- Two entries into the new community. The main entry would occur across from the existing driveway to the Greenbriar HOA Recreation facility. The secondary access would occur along the western boundary and intersect Greenbriar Lane at its curve, adjacent to the freeway.
- Pedestrian access to the neighboring commercial center.
- The existing trees along Greenbriar Lane, including the ficus species, will be removed. New trees and landscaping will be provided.
- Street sections are provided on the enclosed site plan.
- Proposed dwellings will front onto Greenbriar Lane, providing architecture forward.

Housing Types

- Three housing products are being provided in a range of sizes to accommodate a range of buyers.
- One product type is referred to as The Courts. This product has 5-plex buildings with alley access and a courtyard with paseo separating the buildings. The dwellings include one-, two-, and three-bedroom units. Each unit has an enclosed two car garage, except the one-bedroom units have an enclosed one car garage. The buildings are three-story. The floor plans range from approximately 900 to 2,000 square feet and provide one- to four-bedroom units.
- The second product type are attached duplexes referred to as The Yards. This product is a three-story duplex with side entry and rear yards. Each dwelling has a two-car garage. The floor plans range in size from approximately 1,700 to 1,900 square feet and three bedrooms.
- The third product type are attached duplexes referred to as The Villas. This product is a three-story duplex with a roof-top deck. The units are alley loaded, with a paseo front entry. Each dwelling has a two-car garage. The floor plans range in size from approximately 1,800 to 2,300 square feet and provide three and four bedrooms.
- Complimentary architectural styles are provided for each product type.

Recreation

- Paseos, sidewalks, and open space areas provide space for pedestrian activities, including walking, dog walking, etc.

- Fire pits and other gathering areas are being considered for different areas throughout the site. One idea being explored is including different gathering area elements, such as fire pits, etc. within the courtyard areas of the Garden Courts.
- A passive park is located near the main entrance to the neighborhood. This park provides a community gathering area with large shade trees and seating areas. This park also provides an aesthetic entry into the community.
- The Applicant will pay Quimby fees.

Engineering

- The attached plans provide a conceptual alignment of sewer, water and storm drain infrastructure.
- The plan proposes a looped domestic water system and a separate system for fire sprinklers. An existing 12" water line from Greenbriar Lane through the Project site serves the Brea Plaza. This water line will be relocated within "C Drive" parallel to the freeway and through "M Court" to connect back to Brea Plaza within an existing utility easement.
- The plan proposes a sewer connection to the existing sewer line within Greenbriar Lane.
- The plan proposes to use an underground modular wetland system and discharge storm water through an existing 18" storm drain connection to the County-maintained storm channel.
- All dry utilities (electrical, cable, fiber, etc.) will be underground.

Affordable Housing

- The Applicant proposes to satisfy its affordable housing requirement either by 1) providing affordable housing on-site consistent with State Density Bonus Law (SDBL), or 2) providing land to the City for the construction of affordable units by the City, or 3) by providing affordable housing at an off-site location, in-lieu of paying the City's housing fee.
- The Applicant requests waivers to development standards in return for providing affordable housing, such as modifications to parking and setback standards.

Parking

- Each dwelling unit contains an enclosed garage. The one-bedroom units have one enclosed garage space. All other units have a two-car enclosed garage. Enclosed garage parking totals 342 parking spaces.

- Guest parking is provided throughout the proposed community. A total of 55 guest spaces are provided, of which four are designated for handicap spaces and five spaces for electric vehicle charging.
- No on-street or driveway parking is provided as part of this proposal.
- The BMC (20.08.040) requires two spaces per unit plus 0.5 spaces per unit for guest parking. The 179 units would require 448 spaces. A total of 397 parking spaces are provided on site. The Applicant requests a modification of development standards to permit the reduced parking standard.

Trash

- Each dwelling will have trash carts.
- Carts will be stored in the enclosed garages. Sufficient space is designed for cart storage within each garage.
- Residents will be responsible for pulling trash carts to the street. Trash trucks will not drive down the Court streets, therefore residents of The Courts would need to place the trash carts on the loop road. A Trash Plan is included in the submittal package.

We look forward to working with you on the entitlement of this project. If you have any questions, please contact me at pcarlson@carlsonsls.com or 949-289-3625.

Sincerely,

Peter K. Carlson
President



City of Brea

Planning Commission Communication

Informational/Project Updates

Meeting	Agenda Group
Tuesday, February 25, 2025, 6:00 PM	ADMINISTRATIVE ITEMS Item: 3C.

RECOMMENDATION

Staff recommends that the Planning Commission receive and file the Planning Division Updates, dated February 6, 2025 (Attachment A).

RESPECTFULLY SUBMITTED:

Joanne Hwang, AICP, City Planner

Attachments

[Planning Update - Updated 02.06.2025.pdf](#)

City of Brea

Project Updates

February 6, 2025

CONTENTS

• IN PROCESS/UNDER REVIEW

Story Map ID	Project Name	Address
1	Lambert Road Office Condo Tentative Parcel Map	700-800 W. Lambert Road
2	Amazon Facility	275 Valencia Avenue
3	Albertson's Distribution Center Office Building	200 N. Puente Street
4	Loading Dock Addition	750 Challenger Street
5	New Industrial Building	424 Berry Way
6	Affordable housing development (Preliminary Plan Review)	323 N. Brea Blvd
7	Brea Plaza Apartments	1639 E. Imperial Highway
8	Greenbriar residential development	1698-1700 Greenbriar Lane
9	New residential development (Preliminary Plan Review)	112 Bracken Street
10	Urban Lot Split (Preliminary Plan Review)	125 E. Olinda Place
11	A 2 nd story ADU height increase	401 Sycamore Avenue
12	Sievers Avenue Tentative Parcel Map	411 Sievers Avenue
13	Affordable Senior Housing Project (Preliminary Plan Review)	SEC Mercury Lane & Berry Street
14	Pace & Pint on-site alcohol	1040 E. Imperial Hwy Suite F2
15	A 2 nd story ADU modification of standards	414 Sievers
16	Raising Canes Drive-through	200 S. State College Boulevard
17	Mills Act Contract	420 S. Madrona Avenue
18	7-Eleven off-site alcohol sale	3310 E. Imperial Highway
19	Main Event	245 W. Birch Street
20	420 Apollo office use	420 Apollo Street, Unit A

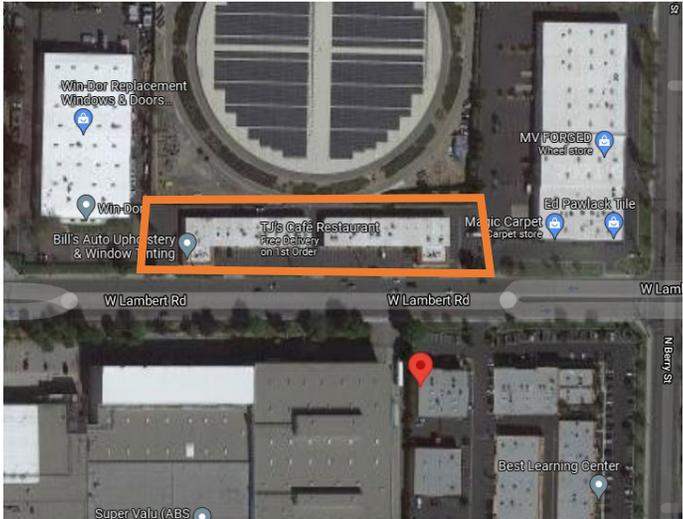
• APPROVED/ENTITLED

Story Map ID	Project Name	Address
1	Mercury Lane Apartments	SE corner of Mercury Lane and Berry Street
2	Brea 265 Specific Plan	Valencia Ave; Lambert Rd; Carbon Canyon Rd; Rose Dr
3	Brea 265 Tentative Tract Map	Valencia Ave; Lambert Rd; Carbon Canyon Rd; Rose Dr
4	Accessory Dwelling Unit	527 E. Elm Street
5	Industrial Building	2727 E. Imperial Highway
6	Brea Mall Mixed Use Project	100 Brea Mall Road
7	Gaslight Square Redevelopment	255 E. Imperial Highway
8	Southlands Church Fence Height	2950 E. Imperial Highway
9	Boiling Crab – Outdoor Patio and On-site Alcohol	120 S. Brea Boulevard #106
10	Brea Plaza Remodel (Buildings E-G)	1639 E. Imperial Highway
11	Wireless Co-location	145 S. State College Boulevard
12	California Spine Institute	721 E. Imperial Highway
13	Dr. Squatch Fence Height	114 N. Berry Street
14	Wireless Facility Modification	185 E. Alder Street
15	New Wireless Facility	724 N. Brea Boulevard
16	Brea Plaza Sign Program Amendment	1639 E. Imperial Highway
17	Imperial Mariner tentative parcel map	915, 955, 975 W. Imperial Hwy
18	Light Industrial Building	3200 Nasa Street
19	South Brea Townhomes	685 S. Brea Boulevard
20	Imperial Mariner parking reduction	915, 955, 975 W. Imperial Hwy
21	AT&T Wireless Rooftop Facility	380 W. Central Avenue
22	Pet Aquamation	580 W. Lambert Road
23	Sushi Club on-site alcohol	437 S. Associated Road
24	Shake Shack on-site alcohol	103 W. Imperial Highway #C
25	Increase in wall height	839 Mango Street
26	Bruxie's on-site alcohol	215 W. Birch Street
27	Finney's Crafthouse & Kitchen exterior modification	215 S. Brea Boulevard
28	Ausletics fitness studio	2868 E. Imperial Highway
29	Our Nest on-site alcohol	732 N. Brea Boulevard
30	Reduction in required parking spaces	440 S. Brea Boulevard
31	Saint Matthew Ecumenical Catholic Church	500 E. Imperial Highway

- **REPEALED/DENIED (within one year)**

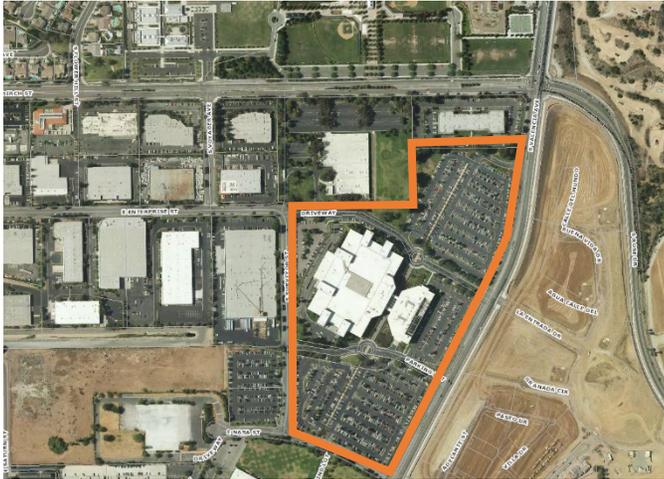
N/A

In-Process/Review

LAMBERT ROAD OFFICE CONDO TENTATIVE PARCEL MAP (MAP ID: 1)		PROJECT MAP:
Case Type:	<ul style="list-style-type: none"> Tentative Parcel Map 	
Project No.:	<ul style="list-style-type: none"> TPM 2021-189; Accela No.: PLN-2021-00061 	
Project Location:	<ul style="list-style-type: none"> Accessor's Parcel Number (APN): 296-223-13 700-800 W Lambert Road 	
Project Description:	<ul style="list-style-type: none"> The applicant is proposing to convert two existing 12-unit buildings (total 24 units) into 24 office condominium units. No new construction is proposed; existing unit boundaries, floor plans and floor areas will not change. 	
Project Planner:	<ul style="list-style-type: none"> Esteban Rubiano (estebanr@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> 801 Lambert LLC, A California Limited Liability Company (Mark Blumenthal) 	
Application submittal Date:	<ul style="list-style-type: none"> October 25, 2021 	
Current Status:	<ul style="list-style-type: none"> Application was deemed complete on October 12, 2023. Planning Commission review TBD pending applicant response. 	

AMAZON FACILITY (MAP ID: 2)	
Case Type:	<ul style="list-style-type: none"> Plan Review
Project No.:	<ul style="list-style-type: none"> PR No. 2022-09; ACCELA No. PLN 2022-00042
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 320-233-17 275 W. Valencia
Project Description:	<ul style="list-style-type: none"> The Project proposes to demolish the existing 3-story, 637,503 square-foot, 60-foot high office building (previously occupied by Bank of America) and construct a new 181,500 square-foot, 44-foot high warehouse building that will be used as Amazon's parcel delivery facility.
Project Planner:	<ul style="list-style-type: none"> Jessica Newton, Senior Planner (jessican@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> Tim Reed of Ware Malcomb
Application submittal Date:	<ul style="list-style-type: none"> May 31, 2022
Current Status:	<ul style="list-style-type: none"> Pending EIR Process <ul style="list-style-type: none"> EIR NOP was issued on July 13, 2023, and the public comment period ended on August 11, 2023. EIR Scoping Meeting was held on July 24, 2023. EIR NOA was issued on October 30, 2024 – the Draft EIR was available for public review starting November 6, 2024 and the public review period closed on January 6, 2025.

PROJECT MAP:



ALBERTSON'S DISTRIBUTION CENTER OFFICE BUILDING (MAP ID: 3)		PROJECT MAP:
Case Type:	<ul style="list-style-type: none"> Conditional Use Permit, Precise Development, Administrative Remedy 	
Project No.:	<ul style="list-style-type: none"> CUP No. 2023-02; PD No. 2023-01; AR No. 2023-03; ACCELA No: PLN-2023-00027 	
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 296-231-12 200 N Puente St 	
Project Description:	<ul style="list-style-type: none"> The applicant is proposing a new two-story office building for an Albertson's distribution center. 	
Project Planner:	<ul style="list-style-type: none"> Esteban Rubiano, Assistant Planner (estebanr@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> John Doan 	
Application submittal Date:	<ul style="list-style-type: none"> April 25, 2023 	
Current Status:	<ul style="list-style-type: none"> Pending resubmittal from the applicant. 	

LOADING DOCK ADDITION (MAP ID: 4)		PROJECT MAP: 
Case Type:	<ul style="list-style-type: none"> Plan Review 	
Project No.:	<ul style="list-style-type: none"> PR 2023-05; ACCELA No: PLN-2023-00031 	
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 296-223-19 750 Challenger Street 	
Project Description:	<ul style="list-style-type: none"> The applicant is proposing to add a secondary loading dock and restripe parking stalls. 	
Project Planner:	<ul style="list-style-type: none"> Esteban Rubiano, Assistant Planner (estebanr@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> Esther Yang 	
Application submittal Date:	<ul style="list-style-type: none"> April 27, 2023 	
Current Status:	<ul style="list-style-type: none"> Pending resubmittal from the applicant 	

NEW INDUSTRIAL BUILDING (MAP ID: 5)		PROJECT MAP:
Case Type:	<ul style="list-style-type: none"> Plan Review 	
Project No.:	<ul style="list-style-type: none"> PR No. 2024-01; ACCELA No: PLN-2024-00009 	
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 296-251-04 424 Berry Way 	
Project Description:	<ul style="list-style-type: none"> The Applicant is proposing to demolish existing industrial buildings located at the eastern portion of the parcel and construct a new 147,500 sq. ft. warehouse. 	
Project Planner:	<ul style="list-style-type: none"> Graham Bultema, Assistant Planner (grahamb@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> Rexford Industrial, Berry, LLC. 	
Application submittal Date:	<ul style="list-style-type: none"> February 6, 2024 	
Current Status:	<ul style="list-style-type: none"> Pending resubmittal from the applicant 	



AFFORDABLE HOUSING DEVELOPMENT (MAP ID: 6)	
Case Type:	<ul style="list-style-type: none"> Preliminary Plan Review; Density Bonus
Project No.:	<ul style="list-style-type: none"> PPR No. 2024-01, DB No. 2024-01; ACCELA No: PLN-2024-00014/PLN-2024-00031
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 296-301-02 323 N. Brea Blvd.
Project Description:	<ul style="list-style-type: none"> The Applicant is proposing a new multi-family affordable/permanent supporting housing development, which could include between 28 and 40 dwelling units.
Project Planner:	<ul style="list-style-type: none"> Marie Dao, Senior Management Analyst (maried@cityofbrea.net)
Applicant:	<ul style="list-style-type: none"> Tish Kelly of Jamboree Housing Corp.
Application submittal Date:	<ul style="list-style-type: none"> March 12, 2024
Current Status:	<ul style="list-style-type: none"> Preliminary comment letter was issued on April 10, 2024. No further action will be taken. The Applicant may submit a full application if they want to pursue the project.; Density Bonus application is currently under review

PROJECT MAP:



BREA PLAZA APARTMENTS (MAP ID: 7)

Case Type:	<ul style="list-style-type: none"> General Plan Amendment, Zone Change and Precise Development
Project No.:	<ul style="list-style-type: none"> GPA 2024-01, ZC 2024-01, PD 2024-01; ACCELA No: PLN-2024-00017
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 319-102-25 1639 East Imperial Highway
Project Description:	<ul style="list-style-type: none"> The applicant is proposing a General Plan Amendment and a Zone Change to amend the project site's General Plan and Zoning Designation from General Commercial to Mixed Use II, and construct a new 6 story, 122-unit apartment building at the northwest corner of the property.
Project Planner:	<ul style="list-style-type: none"> Jessica Newton, Senior Planner (jessican@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> Jahn Nguyen of AO
Application submittal Date:	<ul style="list-style-type: none"> March 19, 2024
Current Status:	<ul style="list-style-type: none"> Under review

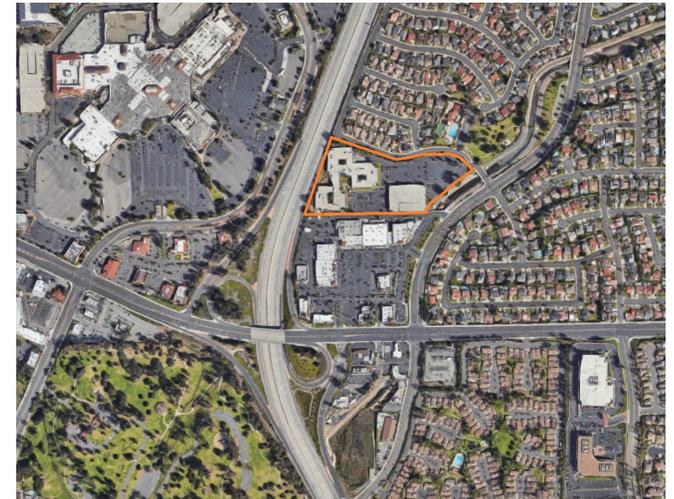
PROJECT MAP:



GREENBRIAR RESIDENTIAL DEVELOPMENT (MAP ID: 8)

Case Type:	<ul style="list-style-type: none"> • General Plan Amendment, Zone Change, Plan Review, Conditional Use Permit, Development Agreement, Precise Development, Tentative Tract Map
Project No.:	<ul style="list-style-type: none"> • GPA 2024-02, ZC 2024-02, PR 2024-03, CUP 2024-02, DA 2024-01, PD 2024-02, TTM 2024-01; ACCELA No: PLN-2024-00020
Project Location:	<ul style="list-style-type: none"> • Assessor’s Parcel Number (APN): 319-102-34 • 1698-1700 Greenbriar Lane
Project Description:	<ul style="list-style-type: none"> • The Applicant is proposing to demolish existing office building and a parking structure and construct 180 single-family attached dwelling unit development.
Project Planner:	<ul style="list-style-type: none"> • Rebecca Pennington, Senior Planner (rebeccap@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> • Gary Jones of Lennar Homes of California, Inc.
Application submittal Date:	<ul style="list-style-type: none"> • March 26, 2024
Current Status:	<ul style="list-style-type: none"> • Under review • Pending EIR Process <ul style="list-style-type: none"> ○ EIR NOP was issued on July 31, 2024, and the public comment period ended on September 3, 2024. ○ EIR Scoping Meeting was held on August 21, 2024 ○ EIR NOA was issued on December 12, 2024 – the Draft EIR was available for public review starting December 13, 2024 and the public review period closed on January 28, 2025. • Project introduction (not a public hearing) to the Planning Commission tentatively scheduled on February 25, 2025.

PROJECT MAP:



NEW RESIDENTIAL DEVELOPMENT (MAP ID: 9)	
Case Type:	<ul style="list-style-type: none"> Preliminary Plan Review
Project No.:	<ul style="list-style-type: none"> PPR No. 2024-02; ACCELA No: PLN-2024-00018
Project Location:	<ul style="list-style-type: none"> Assessor’s Parcel Number (APN): 296-332-17 112 Bracken Street
Project Description:	<ul style="list-style-type: none"> The Applicant is proposing to construct a 4 unit, for-sale residential development with one ADU attached for one of the units.
Project Planner:	<ul style="list-style-type: none"> Brianna Co, Planning Technician (briannac@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> Eric Gonsalves of The Cirrus Company, LLC
Application submittal Date:	<ul style="list-style-type: none"> March 26, 2024
Current Status:	<ul style="list-style-type: none"> 1st round of preliminary comment letter was issued on April 25, 2024. Subsequently, at the request of the applicant, a 2nd round of review was conducted and the 2nd preliminary comment letter was issued on October 31, 2024. No further action will be taken. The Applicant may submit a full application if they want to pursue the project.

PROJECT MAP:



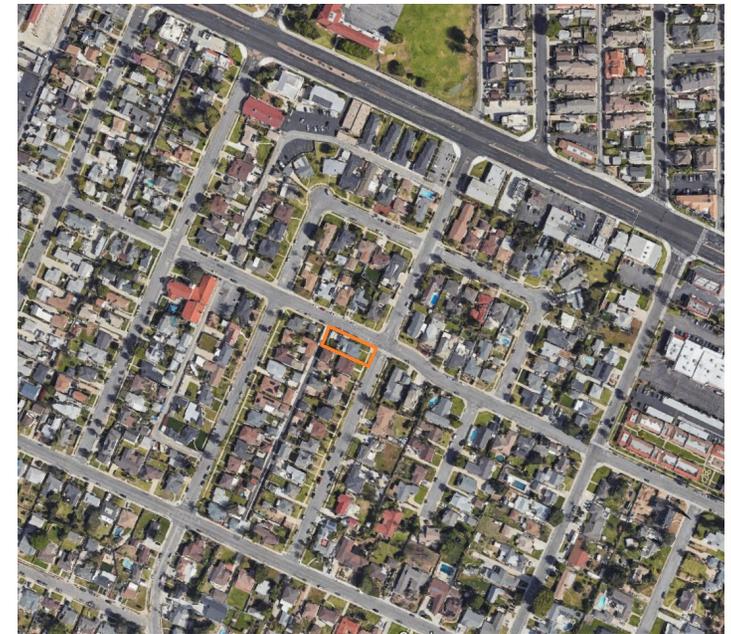
URBAN LOT SPLIT – PRELIMINARY PLAN REVIEW (MAP ID: 10)

Case Type:	<ul style="list-style-type: none"> Preliminary Plan Review
Project No.:	<ul style="list-style-type: none"> PPR No. 2024-03; ACCELA No: PLN-2024-00021
Project Location:	<ul style="list-style-type: none"> Assessor’s Parcel Number (APN): 315-051-03 125 E Olinda Place
Project Description:	<ul style="list-style-type: none"> The Applicant is proposing to subdivide the existing vacant lot into 2 lots using the Urban Lot Split provisions and construct 2 units on each lot.
Project Planner:	<ul style="list-style-type: none"> Graham Bultema, Assistant Planner (grahamb@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> Jordan Byers
Application submittal Date:	<ul style="list-style-type: none"> April 9, 2024
Current Status:	<ul style="list-style-type: none"> Preliminary comment letter was issued on May 9, 2024. No further action will be taken. The Applicant may submit a full application if they want to pursue the project.

PROJECT MAP:

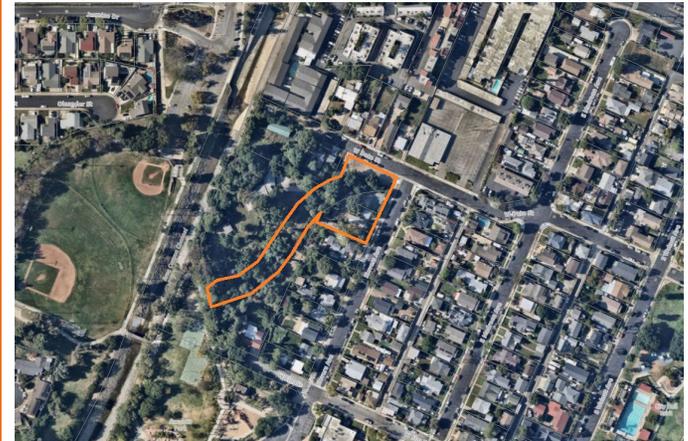


A 2nd STORY ADU HEIGHT INCREASE (MAP ID: 11)		PROJECT MAP:
Case Type:	<ul style="list-style-type: none"> • Certificate of Compatibility 	
Project No.:	<ul style="list-style-type: none"> • CC No. 2024-01; ACCELA No: PLN-2024-00027 	
Project Location:	<ul style="list-style-type: none"> • Assessor’s Parcel Number (APN): 284-223-01 • 401 Sycamore Avenue 	
Project Description:	<ul style="list-style-type: none"> • The Applicant is requesting an increase in maximum height of a 2nd story ADU from 16 feet to 23 feet 	
Project Planner:	<ul style="list-style-type: none"> • Graham Bultema, Assistant Planner (grahamb@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> • Jasmeet Gill Kennington 	
Application submittal Date:	<ul style="list-style-type: none"> • June 11, 2024 	
Current Status:	<ul style="list-style-type: none"> • Pending resubmittal from the applicant 	



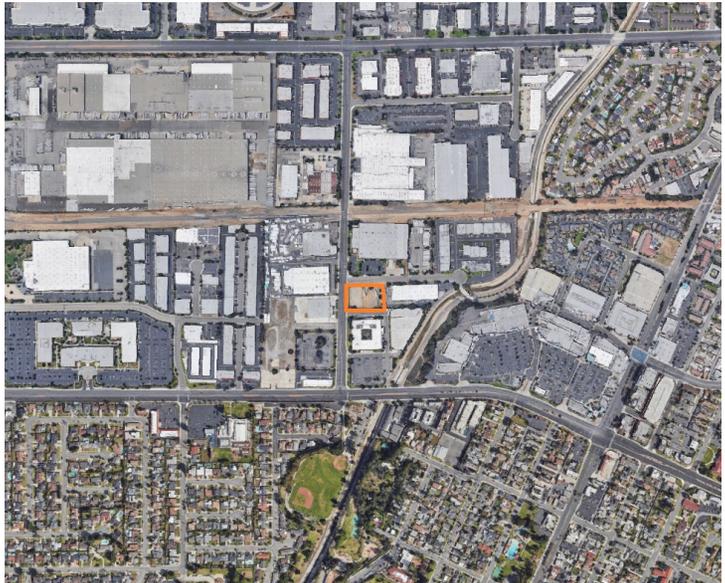
<i>SIEVERS AVENUE TENTATIVE PARCEL MAP (MAP ID: 12)</i>	
Case Type:	<ul style="list-style-type: none"> Tentative Parcel Map
Project No.:	<ul style="list-style-type: none"> Tentative Parcel Map No. 2024-135; ACCELA No: PLN-2024-00036
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): APNs 284-251-26, 284-251-27, 284-251-040, 284-251-041 411 Sievers Avenue
Project Description:	<ul style="list-style-type: none"> The Applicant is proposing to subdivide/reorganize 5 existing lots into 4 new lots
Project Planner:	<ul style="list-style-type: none"> Cristal Nava, Assistant Planner (cristaln@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> Michael Jelensky
Application submittal Date:	<ul style="list-style-type: none"> July 23, 2024
Current Status:	<ul style="list-style-type: none"> Pending resubmittal from the applicant

PROJECT MAP:



AFFORDABLE SENIOR HOUSING PROJECT (MAP ID: 13)	
Case Type:	<ul style="list-style-type: none"> Preliminary Plan Review
Project No.:	<ul style="list-style-type: none"> PPR No. 2024-04; ACCELA No: PLN-2024-00057
Project Location:	<ul style="list-style-type: none"> Assessor’s Parcel Number (APN): 296-143-01 SEC of Mercury Lane and Berry Street
Project Description:	<ul style="list-style-type: none"> The Applicant is requesting a substantial conformance review of a new 85-unit, 5-story affordable senior housing project with the previously approved project at the project site (Mercury Lane workforce housing project – a 114-unit apartment)
Project Planner:	<ul style="list-style-type: none"> Esteban Rubiano, Assistant Planner (estebanr@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> Todd Cottle
Application submittal Date:	<ul style="list-style-type: none"> October 29, 2024
Current Status:	<ul style="list-style-type: none"> Preliminary comment letter was issued on November 27, 2024. No further action will be taken. The Applicant may submit a full application if they want to pursue the project.

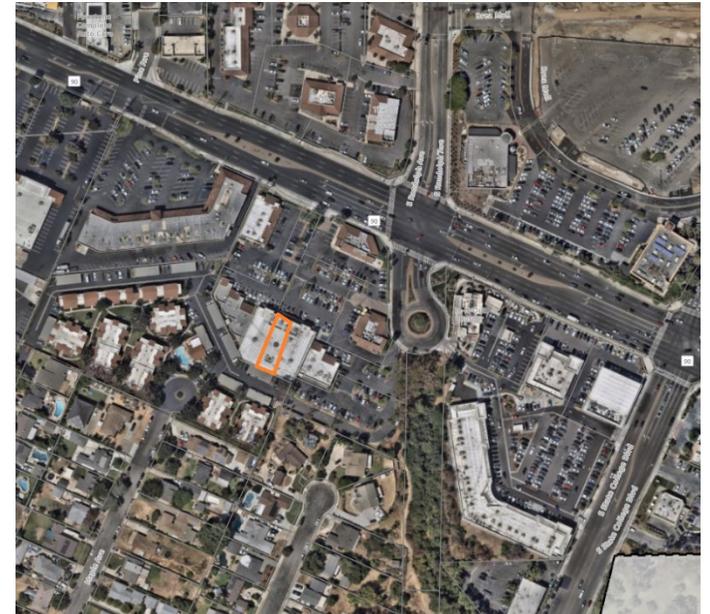
PROJECT MAP:



PACE & PINT ON-SITE ALCOHOL (MAP ID: 14)

Case Type:	<ul style="list-style-type: none"> Conditional Use Permit
Project No.:	<ul style="list-style-type: none"> CUP No. 2024-05; ACCELA No: PLN-2024-00051
Project Location:	<ul style="list-style-type: none"> Assessor’s Parcel Number (APN): 284-252-21 1040 E. Imperial Hwy, Suite F2
Project Description:	<ul style="list-style-type: none"> The Applicant is proposing on-site beer service at an existing retail store (Snails Pace)
Project Planner:	<ul style="list-style-type: none"> Esteban Rubiano, Assistant Planner (estebanr@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> Raul Cueva
Application submittal Date:	<ul style="list-style-type: none"> October 21, 2024
Current Status:	<ul style="list-style-type: none"> Pending resubmittal from the applicant

PROJECT MAP:



<i>A 2nd STORY ADU MODIFICATION OF STANDARDS (MAP ID: 15)</i>	
Case Type:	<ul style="list-style-type: none"> • Certificate of Compatibility
Project No.:	<ul style="list-style-type: none"> • CC No. 2024-02; ACCELA No: PLN-2024-00063
Project Location:	<ul style="list-style-type: none"> • Assessor's Parcel Number (APN): 284-252-21 • 414 Sievers Avenue
Project Description:	<ul style="list-style-type: none"> • The Applicant is requesting modification of standards (i.e. height, design standards related to exterior staircase) for a new 2nd story ADU
Project Planner:	<ul style="list-style-type: none"> • Esteban Rubiano, Assistant Planner (estebanr@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> • Tony Vega
Application submittal Date:	<ul style="list-style-type: none"> • December 4, 2024
Current Status:	<ul style="list-style-type: none"> • Pending resubmittal from the applicant

PROJECT MAP:



RAISING CANES DRIVE-THROUGH (MAP ID: 16)	
Case Type:	<ul style="list-style-type: none"> • Conditional Use Permit, Plan Review, Precise Development
Project No.:	<ul style="list-style-type: none"> • CUP No. 2024-08, PR No. 2024-06, PD No. 2024-04; ACCELA No: PLN-2024-00067
Project Location:	<ul style="list-style-type: none"> • Assessor's Parcel Number (APN): 319-103-26 • 200 S. State College Boulevard
Project Description:	<ul style="list-style-type: none"> • The Applicant is requesting a new drive-through restaurant (Raising Canes)
Project Planner:	<ul style="list-style-type: none"> • Graham Bultema, Assistant Planner (grahamb@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> • Raising Canes
Application submittal Date:	<ul style="list-style-type: none"> • December 17, 2024
Current Status:	<ul style="list-style-type: none"> • Pending resubmittal from the applicant

PROJECT MAP:



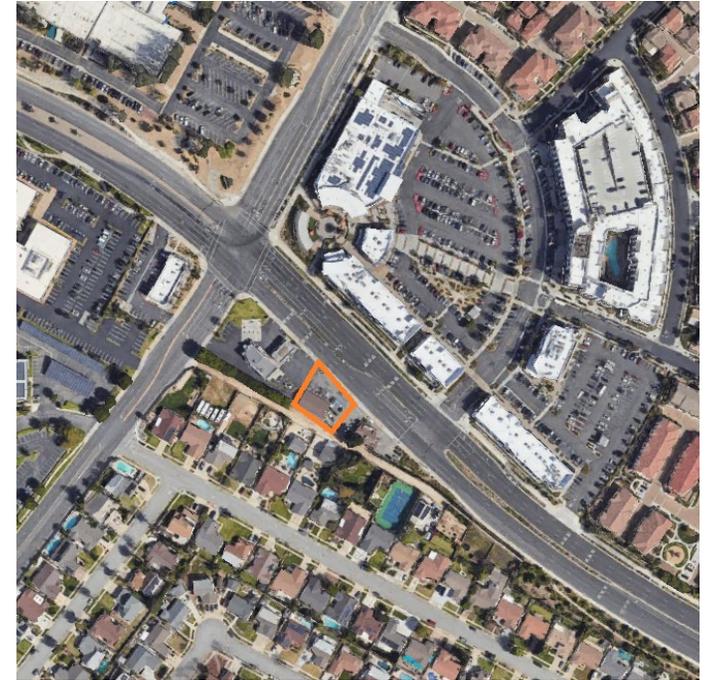
MILLS ACT CONTRACT (MAP ID: 17)		PROJECT MAP:
Case Type:	<ul style="list-style-type: none"> Mills Act Contract 	
Project No.:	<ul style="list-style-type: none"> MA No. 2025-01; ACCELA No: PLN-2025-00004 	
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 284-241-06 420 S. Madrona Avenue 	
Project Description:	<ul style="list-style-type: none"> The Applicant is requesting to enter into a Mills Act Contract with the City 	
Project Planner:	<ul style="list-style-type: none"> Cristal Nava, Assistant Planner (cristaln@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> Jeff Jordan 	
Application submittal Date:	<ul style="list-style-type: none"> January 28, 2025 	
Current Status:	<ul style="list-style-type: none"> Under review 	



7-ELEVEN OFF-SITE ALCOHOL SALE (MAP ID: 18)

Case Type:	<ul style="list-style-type: none"> Conditional Use Permit
Project No.:	<ul style="list-style-type: none"> CUP No. 2025-01; ACCELA No: PLN-2025-00003
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 336-203-13 3310 E. Imperial Highway
Project Description:	<ul style="list-style-type: none"> The Applicant is requesting to expand the existing off-site alcohol sale from beer and wine (ABC Type 20) to full alcohol (ABC Type 21)
Project Planner:	<ul style="list-style-type: none"> Brianna Co, Planning Technician (briannac@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> Dayna Epley of 7-Eleven
Application submittal Date:	<ul style="list-style-type: none"> January 28, 2025
Current Status:	<ul style="list-style-type: none"> Under review

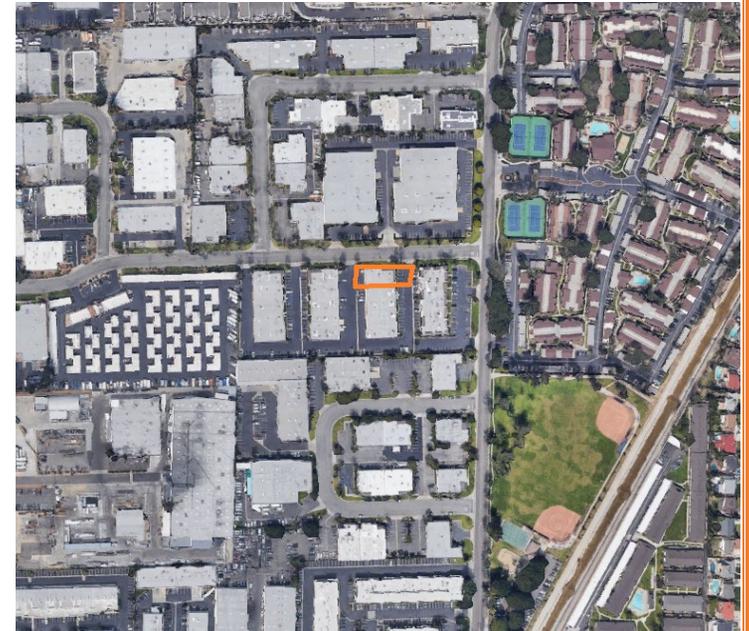
PROJECT MAP:



MAIN EVENT (MAP ID: 19)		PROJECT MAP:
Case Type:	<ul style="list-style-type: none"> Conditional Use Permit 	
Project No.:	<ul style="list-style-type: none"> CUP No. 2025-02 and CUP No. 2025-03; ACCELA No: PLN-2025-00005 	
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 296-362-25 245 W. Birch Street 	
Project Description:	<ul style="list-style-type: none"> The Applicant is requesting an on-site full alcohol sale (Type 47) and a new comprehensive sign program for a new business, Main Event 	
Project Planner:	<ul style="list-style-type: none"> Esteban Rubiano, Assistant Planner (estebanr@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> Main Event Entertainment 	
Application submittal Date:	<ul style="list-style-type: none"> February 4, 2025 	
Current Status:	<ul style="list-style-type: none"> Under review 	

420 APOLLO OFFICE USE (MAP ID: 20)	
Case Type:	<ul style="list-style-type: none"> Conditional Use Permit
Project No.:	<ul style="list-style-type: none"> CUP No. 2025-04; ACCELA No: PLN-2025-00006
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 296-251-20 420 Apollo Street, Unit A
Project Description:	<ul style="list-style-type: none"> The Applicant is requesting to establish an office use within an existing industrial complex
Project Planner:	<ul style="list-style-type: none"> Cristal Nava, Assistant Planner (cristaln@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> F.P.L Evergreen LLC
Application submittal Date:	<ul style="list-style-type: none"> February 4, 2025
Current Status:	<ul style="list-style-type: none"> Under review

PROJECT MAP:



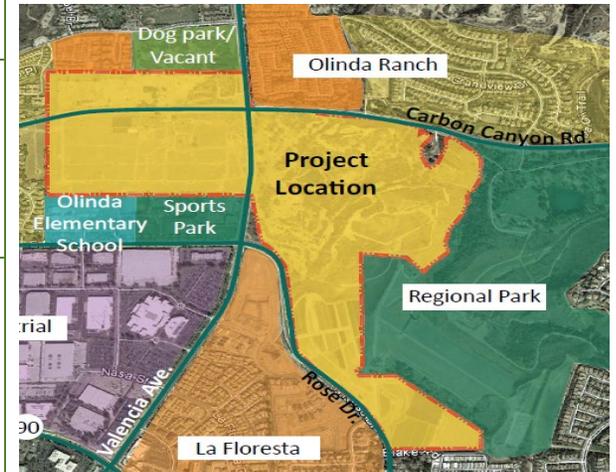
Approved/Entitled

MERCURY LANE APARTMENTS (Map ID: 1)		RENDERING: 
Case Type:	<ul style="list-style-type: none"> Planned Community Master Plan, Zone Change, Development Agreement, Environmental Impact Report 	
Project No.:	<ul style="list-style-type: none"> PCMP No. 19-01, ZC No. 19-01, DA No 19-01, FEIR 19-01 	
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 296-141-05 Southeast corner of Mercury Lane and Berry Street 	
Project Description:	<ul style="list-style-type: none"> The project is a new 5-story building with 114 workforce residential units. 	
Project Planner:	<ul style="list-style-type: none"> Esteban Rubiano, Assistant Planner (estebanr@cityofbrea.gov) 	
Applicant	<ul style="list-style-type: none"> Dwight Manely 	
Approval Dates:	<ul style="list-style-type: none"> Planning Commission recommended approval of the project to the City council on April 28, 2020 City Council approved the project on June 2, 2020 	
Current Status:	<ul style="list-style-type: none"> In building permit plan check process 	

BREA 265 SPECIFIC PLAN (MAP ID 2)

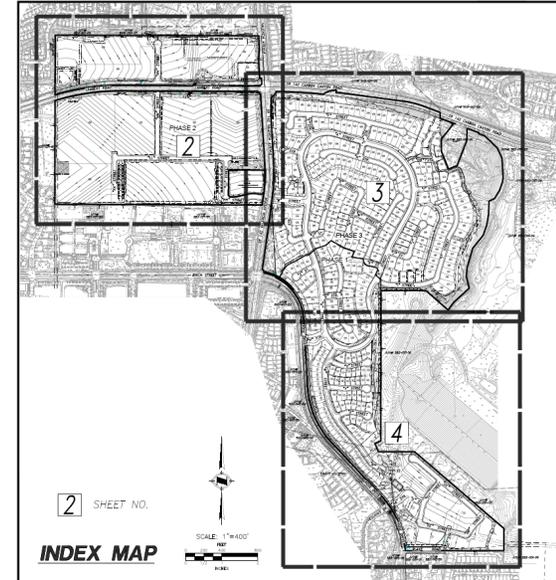
Case Types:	<ul style="list-style-type: none"> • Specific Plan, General Plan Amendment, Zone Change, and Development Agreement
Project No.:	<ul style="list-style-type: none"> • ACCELA No. PLN-2020-00011; ENV No. 22-01, GPA No. 22-01, ZC No. 22-01, DA No. 22-01, SP No. 22-01
Project Location:	<ul style="list-style-type: none"> • Accessor’s Parcel Map (APN): 322-031-24; 322-031-23; 322-031-31; 322-031-04; 322-031-12; 322-031-01; 322-031-10; 322-031-15; 322-031-14; 322-031-13; 322-031-13; 3200-070-02I; 322-072-02; 322-031-21; 322-03-121; 322-031-19; 320-071-29; 320-073-07 • The 262-acre site, commonly known as Brea 265, is generally bounded by Lambert Road/Carbon Canyon Road to the north, Carbon Canyon Regional Park to the east, Birch Street and Rose Drive to the South, and residential uses to the west.
Project Description:	<ul style="list-style-type: none"> • The project includes the following: (1) General Plan Amendment to change the General Plan Land Use designation of the site from Hillside Residential and Low Density Residential to Brea 265 Specific Plan; (2) Zone Change to change the zoning of the site from HR and R-1 to Brea 265 Specific Plan; (3) Specific Plan for the adoption of a new specific plan providing up to 1,100 residential dwelling units, parks and recreational amenities, and open space and right of way improvements; (4) Tentative Tract Map for the subdivision of the project site for residential, parks and open space uses; and (5) Development Agreement defining terms of development by vesting the City’s approval and specifying public benefits and improvements
Project Planner:	<ul style="list-style-type: none"> • Jessica Newton, Senior Planner (jessican@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> • AERA ENERGY
Approval Dates:	<ul style="list-style-type: none"> • Planning Commission recommended approval of the project to the City Council on May 24, 2022. • City Council reviewed the SP, GPA, ZC, and DA for the Project on June 21, 2022. The project was continued to July 19, 2022, where it was approved by City Council.
Current Status:	<ul style="list-style-type: none"> • N/A

PROJECT MAP:



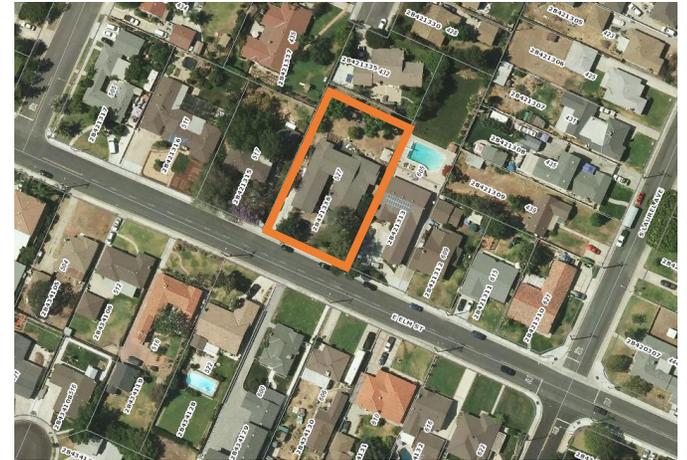
BREA 265 TENTATIVE TRACT MAP (MAP ID: 3)	
Case Types:	<ul style="list-style-type: none"> Tentative Tract Map
Project No.:	<ul style="list-style-type: none"> ACCELA No. PLN 2020-00011; TTM 16423
Project Location:	<ul style="list-style-type: none"> Accessor's Parcel Map (APN): 322-031-24; 322-031-23; 322-031-31; 322-031-04; 322-031-12; 322-031-01; 322-031-10; 322-031-15; 322-031-14; 322-031-13; 322-031-13; 3200-070-02; 322-072-02; 322-031-21; 322-03-121; 322-031-19; 320-071-29; 320-073-07 The 262-acre site, commonly known as Brea 265, is generally bounded by Lambert Road/Carbon Canyon Road to the north, Carbon Canyon Regional Park to the east, Birch Street and Rose Drive to the South, and residential uses to the west.
Project Description:	<ul style="list-style-type: none"> A Tentative Tract Map for the subdivision of the project site for residential, parks and open space uses. The TTM would implement the approved Brea 265 Specific Plan.
Project Planner:	<ul style="list-style-type: none"> Jessica Newton, Senior Planner (jessican@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> AERA ENERGY
Approval Dates:	<ul style="list-style-type: none"> Planning Commission approved the TTM for the project on September 27, 2022.
Current Status:	<ul style="list-style-type: none"> N/A

PROJECT MAP:



ACCESSORY DWELLING UNIT AT 527 E ELM STREET (MAP ID: 4)	
Case Type:	<ul style="list-style-type: none"> • Certificate of Compatibility
Project No.:	<ul style="list-style-type: none"> • CC No. 2022-01; ACCELA No. PLN 2022-00019
Project Location:	<ul style="list-style-type: none"> • 527 E. Elm Street • Assessor’s Parcel Number (APN): 284-213-36
Project Description:	<ul style="list-style-type: none"> • The project establishes a new 1,496 square foot detached ADU.
Project Planner:	<ul style="list-style-type: none"> • Planning Division (planner@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> • Frederick Talactac
Approval Dates:	<ul style="list-style-type: none"> • Planning Commission approved the project on October 25, 2022.
Current Status:	<ul style="list-style-type: none"> • Under construction

PROJECT MAP:



INDUSTRIAL BUILDING (MAP ID: 5)		PROJECT MAP: 
Case Type:	<ul style="list-style-type: none"> Plan Review, Environmental Impact Report Addendum 	
Project No.:	<ul style="list-style-type: none"> PR No. 2022-04; EIR No. 5-81 Addendum No. 1; ACCELA No. PLN 2022-00012 	
Project Location:	<ul style="list-style-type: none"> 2727 E. Imperial Highway Assessor’s Parcel Number (APN): 320-091-66 	
Project Description:	<ul style="list-style-type: none"> The project includes demolition of an existing office building and development of a new warehouse with related site improvements. The building would be a total of 113,700 SF. 	
Project Planner:	<ul style="list-style-type: none"> Cristal Nava, Assistant Planner (cristaln@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> Prologis 	
Approval Dates:	<ul style="list-style-type: none"> Brea Community Development Director approved the project on March 27, 2023. 	
Current Status:	<ul style="list-style-type: none"> Demolition complete; under building permit review process 	

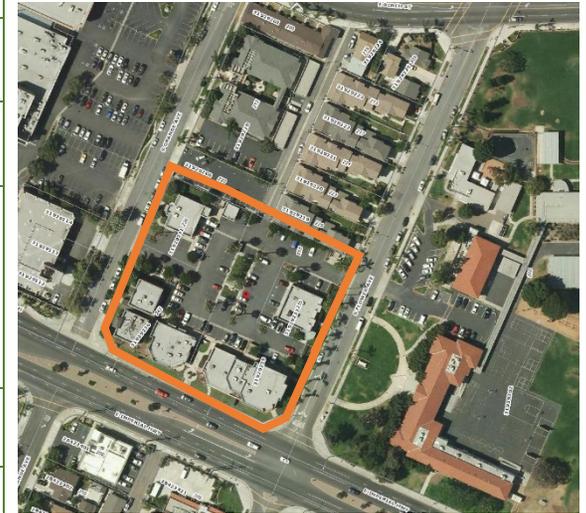
BREA MALL MIXED USE PROJECT (MAP ID. 6)	
Project:	<ul style="list-style-type: none"> EIR, General Plan Amendment, Zone Change, Development Agreement, Precise Development Plan, Tentative Parcel Map, and Conditional Use Permits
Project No.:	<ul style="list-style-type: none"> EIR 20-01, GPA No. 20-01; ZC No. 20-01, DA No. 20-01, TPM 22-113, PD No. 20-02, and CUP Nos. 20-06, 22-17, 22-18 and 22-19 ACCELA No. PLN 2021-00008
Project Location:	<ul style="list-style-type: none"> 100 Brea Mall; Assessor's Parcel Number (APN): 319-101-37 19-100-26, -62, -63, -64, -71, -73, -75 -76, -79, -89 and 319-103-22 (Note: GPA No. 2020-01 and ZC No. 2020-01 apply to the entire Brea Mall site)
Project Description:	<ul style="list-style-type: none"> The project includes: (1) General Plan Amendment to change the General Plan Land Use designation of the Project site and the Brea Mall from Regional Commercial to Mixed Use I; (2) Zone Change to change the zoning designation of the site from Major Shopping Center (C-C) with a Precise Development (P-D) overlay to Mixed Use I (MU-I); (3) Development Agreement to define the terms of development proposed by vesting the City's approval while specifying public benefits and improvements; (4) Precise Development Plan to demolish the former Sears building and surface parking lot and allow a new mixed-use development that includes retail, restaurants, for-rent residential apartments, a resort-type fitness center and an outdoor gathering space; (5) Tentative Parcel Map for subdivision; and (6) Conditional Use Permits for shared parking, to establish the Brea Mall sign program, to allow on-site alcohol consumption of beer, wine and distilled spirits within dining establishments and to allow a fitness center
Project Planner:	<ul style="list-style-type: none"> Esteban Rubiano, Assistant Planner (estebanr@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> Simon Properties
Approval Dates:	<ul style="list-style-type: none"> Planning Commission Study Session (Project Preview) was held on September 27, 2022. Planning Commission Public Hearing (Project Introduction) was held on October 25, 2022. Planning Commission recommended approval of the project to the City Council on December 13, 2022. City Council Public Hearing (1st reading) was held on May 2, 2023. City Council approved the project during the 2nd reading on May 16, 2023.
Current Status:	<ul style="list-style-type: none"> Under construction

PROJECT MAP:



<i>GASLIGHT SQUARE REDEVELOPMENT (MAP ID: 7)</i>	
Case Type:	<ul style="list-style-type: none"> Precise Development, Conditional Use Permit, General Plan Amendment, Zone Change, Conditional Use Permit
Project No.:	<ul style="list-style-type: none"> PD No. 22-01; CUP No. 22-03; GPA No. 22-02; ZC No. 22-02; CUP 22-13 (Amend CUP 90-20); ACCELA No. PLN 2022-00011
Project Location:	<ul style="list-style-type: none"> 255 E. Imperial Highway Assessor's Parcel Number (APN): 319-292-31, 319-292-33, 319-292-35, 319-292-36
Project Description:	<ul style="list-style-type: none"> The Project retains two of the existing five buildings that are currently used for medical uses. The remaining three commercial buildings totaling 18,286 square feet would be demolished and a new 2,000 square foot drive-through restaurant with an outdoor seating area and a 6,000 square foot commercial building consisting of 2,400 square feet of restaurant and 3,600 square feet of medical or retail space would be constructed.
Project Planner:	<ul style="list-style-type: none"> Cristal Nava, Assistant Planner (cristaln@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> Dwight Manley
Approval Dates:	<ul style="list-style-type: none"> Planning Commission Public Hearing (Intro to Project) held on January 24, 2023. Planning Commission recommended approval of the project to City Council on April 11, 2023. City Council Public Hearing (1st reading) held on May 16, 2023. City Council approved the project during the 2nd reading on June 6, 2023.
Current Status	<ul style="list-style-type: none"> Under construction

PROJECT MAP:



<i>SOUTHLANDS CHURCH FENCE HEIGHT (MAP ID: 8)</i>	
Case Type:	<ul style="list-style-type: none"> Administrative Adjustment
Project No.:	<ul style="list-style-type: none"> AR 2023-01; ACCELA No. PLN 2022-00027
Project Location:	<ul style="list-style-type: none"> 2950 E. Imperial Highway Assessor's Parcel Number (APN): 336-631-21
Project Description:	<ul style="list-style-type: none"> The Project increases the height of the fence along Imperial Highway from 30 inches to 42 inches.
Project Planner:	<ul style="list-style-type: none"> Planning Division (planner@cityofbrea.net)
Applicant:	<ul style="list-style-type: none"> Southlands Church
Approval Dates:	<ul style="list-style-type: none"> Community Development Director approved the application on February 1, 2023
Current Status	<ul style="list-style-type: none"> In building permit plan check process

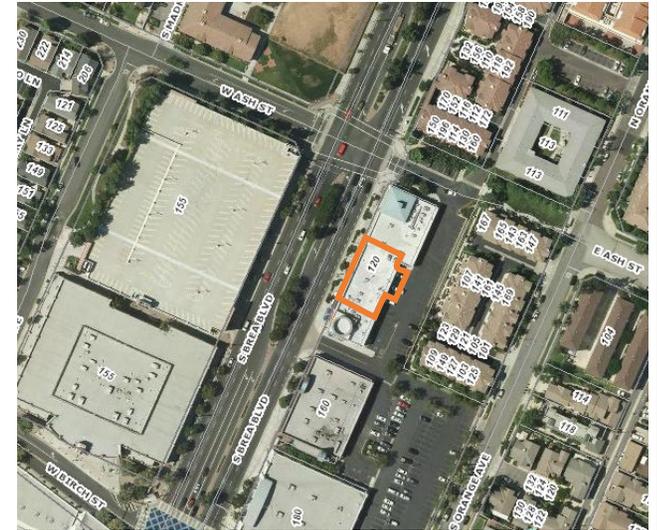
PROJECT MAP:



BOILING CRAB OUTDOOR PATIO AND ON-SITE ALCOHOL (MAP ID: 9)

Case Type:	<ul style="list-style-type: none"> Plan Review; Conditional Use Permit
Project No.:	<ul style="list-style-type: none"> PR 2023-03; ACCELA No. PLN 2023-00017 CUP No. 2023-07; ACCELA No: PLN-2023-00039
Project Location:	<ul style="list-style-type: none"> 120 S. Brea Boulevard, Suite 106 Assessor’s Parcel Number (APN): 296-364-25
Project Description:	<ul style="list-style-type: none"> The Project include a new outdoor patio and on-sale beer and wine alcohol license at a sit-down restaurant (Boiling Crab).
Project Planner:	<ul style="list-style-type: none"> Cristal Nava, Assistant Planner (cristaln@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> Aejandra Zoquipa
Approval Dates:	<ul style="list-style-type: none"> Community Development Director approved the PR application on June 6, 2023 Planning Commission approved the CUP application on September 12, 2023
Current Status	<ul style="list-style-type: none"> Under construction

PROJECT MAP:



BREA PLAZA REMODEL (BUILDINGS E – G) (MAP ID: 10)

Case Type:	<ul style="list-style-type: none"> • Conditional Use Permit, Precise Development
Project No.:	<ul style="list-style-type: none"> • CUP No. 2022-23; PD No. 2022-12; ACCELA No: PLN-2022-00078
Project Location:	<ul style="list-style-type: none"> • Assessor’s Parcel Number (APN): 319-391-01 • 1639 E Imperial Hwy
Project Description:	<ul style="list-style-type: none"> • The project includes demolition of a 18,425 square foot theater (Building F) and remodeling Buildings E & G for retail ground floor use and a new second floor for office use. Building E would add 7,787 square feet to the ground floor and a new 6,500 square foot second floor with a 3,028 square foot outdoor patio, and a new loading area to the rear of the building. Building G would add a new 8,480 square foot second floor with a 1,048 square foot outdoor patio.
Project Planner:	<ul style="list-style-type: none"> • Jessica Newton, Senior Planner (jessican@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> • Waad J. Nadhir
Approval Dates	<ul style="list-style-type: none"> • The Planning Commission approved the application on August 8, 2023
Current Status:	<ul style="list-style-type: none"> • Under construction

PROJECT MAP:



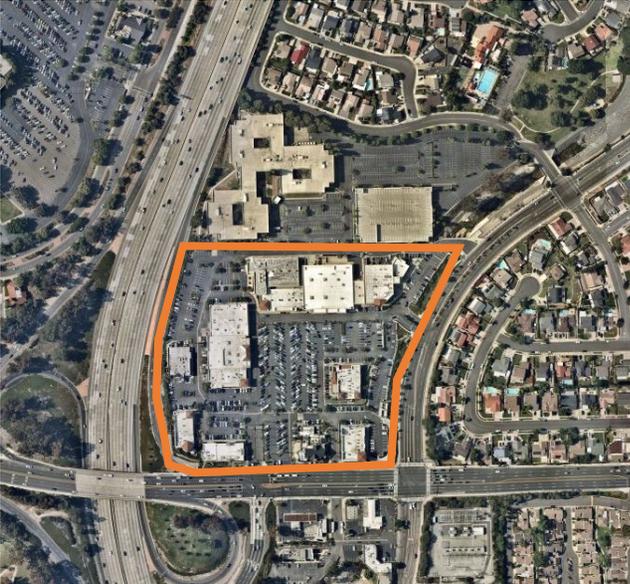
<i>WIRELESS FACILITY CO-LOCATION (MAP ID: 11)</i>		PROJECT MAP: 
Case Type:	<ul style="list-style-type: none"> Plan Review 	
Project No.:	<ul style="list-style-type: none"> PR 2023-07; ACCELA No: PLN-2023-00047 	
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 319-331-12 145 S. State College Boulevard 	
Project Description:	<ul style="list-style-type: none"> The project modifies an existing wireless facility to add additional antennas and support equipment. 	
Project Planner:	<ul style="list-style-type: none"> Cristal Nava, Assistant Planner (cristaln@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> Meghan Graham 	
Approval Dates	<ul style="list-style-type: none"> The Community Development Director approved the application on October 10, 2023. 	
Current Status:	<ul style="list-style-type: none"> Pending building permit application submittal 	

CALIFORNIA SPINE INSTITUTE (MAP ID: 12)		PROJECT MAP: 
Case Type:	<ul style="list-style-type: none"> Conditional Use Permit, Administrative Remedy 	
Project No.:	<ul style="list-style-type: none"> CUP No. 2023-05; AR No. 2023-04; ACCELA No: PLN-2023-00030 	
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 319-314-07 721 E Imperial Hwy 	
Project Description:	<ul style="list-style-type: none"> The project includes a second story addition to an existing office building along with related site improvements. 	
Project Planner:	<ul style="list-style-type: none"> Cristal Nava, Assistant Planner (cristaln@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> Raed Ali and Eric Lin 	
Approval Dates	<ul style="list-style-type: none"> December 12, 2023 	
Current Status:	<ul style="list-style-type: none"> Under Building plan check process 	

DR. SQUATCH FENCE HEIGHT (MAP ID: 13)		PROJECT MAP: 
Case Type:	<ul style="list-style-type: none"> Administrative Remedy 	
Project No.:	<ul style="list-style-type: none"> AR No. 2024-01 ACCELA No: PLN-2024-00007 	
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 296-141-01 114 N. Berry Street 	
Project Description:	<ul style="list-style-type: none"> The project increases the height of a new screening fencing from 7 feet to 8 feet. 	
Project Planner:	<ul style="list-style-type: none"> Jessica Newton, Senior Planner (jessican@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> Christopher Clay 	
Approval Date:	<ul style="list-style-type: none"> February 6, 2024 	
Current Status:	<ul style="list-style-type: none"> Under construction 	

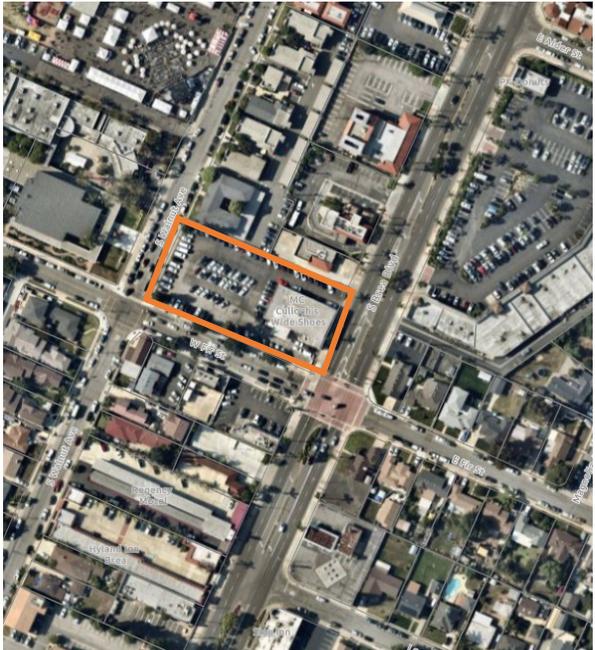
<i>WIRELESS FACILITY MODIFICATION (MAP ID: 14)</i>		PROJECT MAP: 
Case Type:	<ul style="list-style-type: none"> Plan Review 	
Project No.:	<ul style="list-style-type: none"> PR 2023-02; ACCELA No: PLN-2023-00012 	
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 284-333-42 185 E. Alder 	
Project Description:	<ul style="list-style-type: none"> The applicant is proposing to modify an existing wireless facility to replace antennas and ancillary equipment. 	
Project Planner:	<ul style="list-style-type: none"> Esteban Rubiano, Assistant Planner (estebanr@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> Stephanie Rudolph 	
Approval Date	<ul style="list-style-type: none"> March 22, 2024 	
Current Status:	<ul style="list-style-type: none"> Under Building plan check process 	

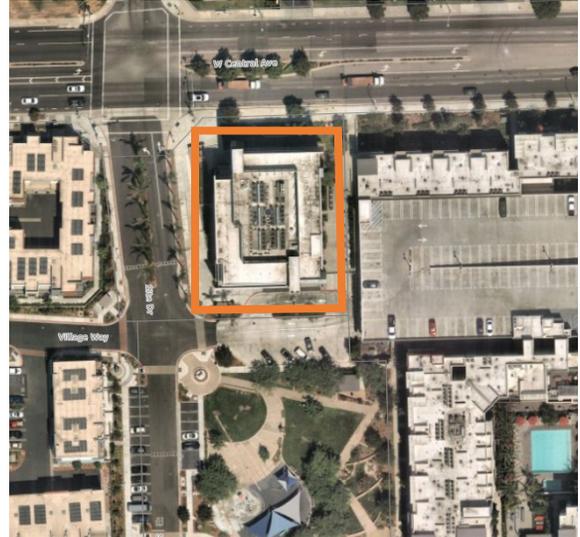
NEW WIRELESS FACILITY (MAP ID: 15)		PROJECT MAP: 
Case Type:	<ul style="list-style-type: none"> Plan Review 	
Project No.:	<ul style="list-style-type: none"> PR No. 2024-02; ACCELA No: PLN-2024-00019 	
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 319-291-14 724 N. Brea Boulevard 	
Project Description:	<ul style="list-style-type: none"> The applicant is proposing a new roof mounted wireless facility for Dish Wireless. 	
Project Planner:	<ul style="list-style-type: none"> Esteban Rubiano, Assistant Planner (estebanr@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> Brian De La Ree of Butler America 	
Approval Date	<ul style="list-style-type: none"> April 25, 2024 	
Current Status:	<ul style="list-style-type: none"> Building permit ready to issue 	

BREA PLAZA SIGN PROGRAM AMENDMENT (MAP ID: 16)		PROJECT MAP: 
Case Type:	<ul style="list-style-type: none"> • Conditional Use Permit 	
Project No.:	<ul style="list-style-type: none"> • CUP 2023-10; ACCELA No: PLN-2023-00054 	
Project Location:	<ul style="list-style-type: none"> • Assessor's Parcel Number (APN): 319-102-25 • 1639 East Imperial Highway 	
Project Description:	<ul style="list-style-type: none"> • The project amends the existing comprehensive sign program for Brea Plaza shopping center. 	
Project Planner:	<ul style="list-style-type: none"> • Jessica Newton, Senior Planner (jessican@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> • Jahn Nguyen 	
Approval Date	<ul style="list-style-type: none"> • May 14, 2024 	
Current Status:	<ul style="list-style-type: none"> • Pending submittal of a building permit plan check 	

<i>IMPERIAL MARINER TENTATIVE PARCEL MAP (MAP ID: 17)</i>		PROJECT MAP: 
Case Type:	<ul style="list-style-type: none"> Tentative Parcel Map 	
Project No.:	<ul style="list-style-type: none"> TPM No. 2022-179; ACCELA No: PLN-20224-00016 	
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 296-342-05 and 296-114-01 915, 955, 975 W. Imperial Hwy 	
Project Description:	<ul style="list-style-type: none"> The applicant is proposing to subdivide the existing property into four parcels. 	
Project Planner:	<ul style="list-style-type: none"> Rebecca Pennington, Senior Planner (rebeccap@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> James McGrade of Imperial Mariner, LLC 	
Approval Date	<ul style="list-style-type: none"> June 25, 2024 	
Current Status:	<ul style="list-style-type: none"> Under final map review process 	

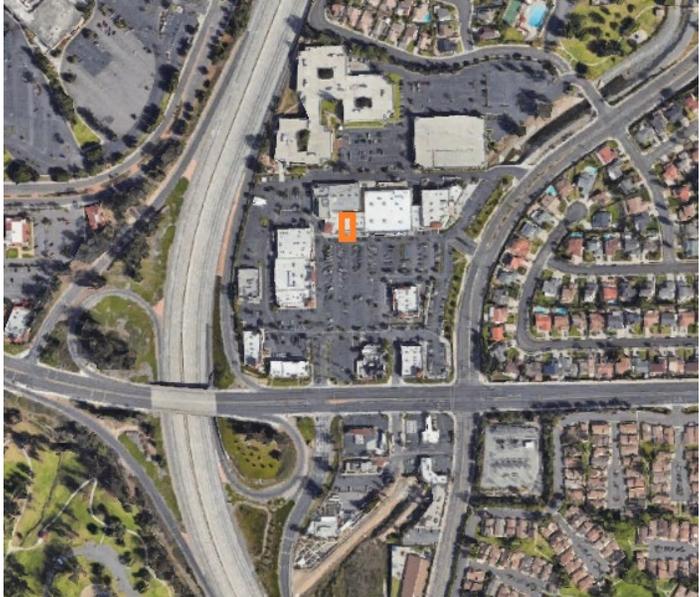
<i>LIGHT INDUSTRIAL BUILDING (MAP ID: 18)</i>		PROJECT MAP: 
Case Type:	<ul style="list-style-type: none"> Plan Review 	
Project No.:	<ul style="list-style-type: none"> PR 2023-08; ACCELA No: PLN-2023-00049 	
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 320-303-11 3200 Nasa Street 	
Project Description:	<ul style="list-style-type: none"> The applicant is proposing to construct a new 56,000 square-foot industrial building. 	
Project Planner:	<ul style="list-style-type: none"> Cristal Nava, Assistant Planner (cristaln@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> Dennis Roy 	
Approval Date	<ul style="list-style-type: none"> July 1, 2024 	
Current Status:	<ul style="list-style-type: none"> Under building plan check process 	

SOUTH BREA TOWNHOMES (MAP ID: 19)		PROJECT MAP: 
Case Type:	<ul style="list-style-type: none"> Precise Development, Tentative Tract Map, Density Bonus, Tree Removal Permit 	
Project No.:	<ul style="list-style-type: none"> PD 2023-03, TPM 2023-01, DB 2023-01 and TRP 2023-01; ACCELA No: PLN-2023-00081 	
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 284-282-06 685 S. Brea Boulevard 	
Project Description:	<ul style="list-style-type: none"> The project includes demolition of the existing retail building and construction of a new 32-unit, 3 story residential development. 	
Project Planner:	<ul style="list-style-type: none"> Jessica Newton, Senior Planner (jessican@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> Patrick Chien of City Ventures 	
Approval Date:	<ul style="list-style-type: none"> July 23, 2024 	
Current Status:	<ul style="list-style-type: none"> Under building plan check process 	

AT&T WIRELESS ROOFTOP FACILITY (MAP ID: 21)		PROJECT MAP: 
Case Type:	<ul style="list-style-type: none"> Plan Review 	
Project No.:	<ul style="list-style-type: none"> PR No. 2022-12; PR No. 2022-13; ACCELA No: PLN-2022-00074 	
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 296-241-10 380 W Central Ave 	
Project Description:	<ul style="list-style-type: none"> The project includes a new rooftop wireless communication facility and screening on an existing commercial office building. 	
Project Planner:	<ul style="list-style-type: none"> Graham Bultema, Assistant Planner (grahamb@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> New Cingular Wireless PCS, LLC dba AT&T Wireless 	
Approval Date:	<ul style="list-style-type: none"> August 22, 2024 	
Current Status:	<ul style="list-style-type: none"> Under building permit plan check process 	

SUSHI CLUB ON-SITE ALCOHOL (MAP ID: 23)	
Case Type:	<ul style="list-style-type: none"> Minor Conditional Use Permit
Project No.:	<ul style="list-style-type: none"> MCUP No. 2024-05; ACCELA No: PLN-2024-00039
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 319-391-01 437 S. Associated Rd.
Project Description:	<ul style="list-style-type: none"> The project includes on-site beer and wine service at a new restaurant (Sushi Club)
Project Planner:	<ul style="list-style-type: none"> Esteban Rubiano, Assistant Planner (estebana@cityofbrea.net)
Applicant:	<ul style="list-style-type: none"> Jason Kho
Approval Date:	<ul style="list-style-type: none"> October 2, 2024
Current Status:	<ul style="list-style-type: none"> Restaurant in operation

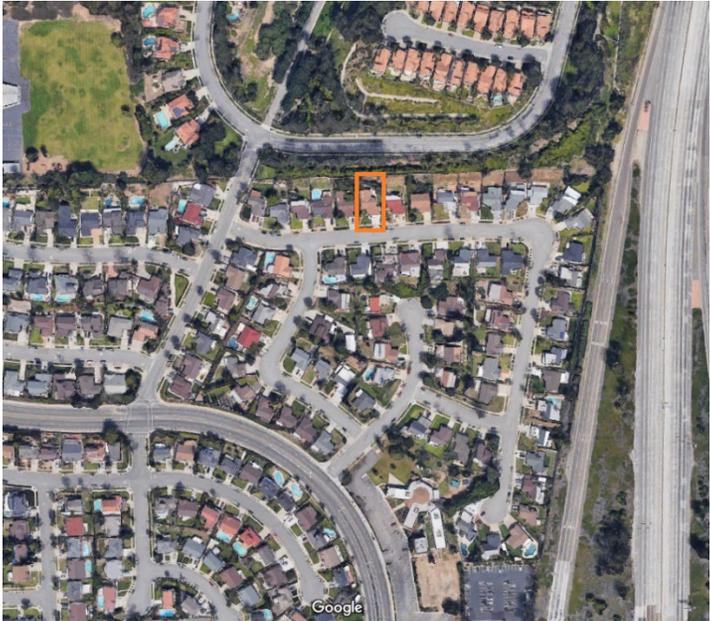
PROJECT MAP:



<i>SHAKE SHACK ON-SITE ALCOHOL (MAP ID: 24)</i>	
Case Type:	<ul style="list-style-type: none"> Minor Conditional Use Permit
Project No.:	<ul style="list-style-type: none"> MCUP No. 2024-07; ACCELA No: PLN-2024-00041
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 296-376-08 103 W. Imperial Hwy #C
Project Description:	<ul style="list-style-type: none"> The project includes on-site beer and wine service at a new restaurant (Shake Shack)
Project Planner:	<ul style="list-style-type: none"> Graham Bultema, Assistant Planner (grahamb@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> Nicole Bolio of Shake Shack
Approval Date:	<ul style="list-style-type: none"> October 18, 2024
Current Status:	<ul style="list-style-type: none"> Restaurant in operation

PROJECT MAP:



INCREASE IN WALL HEIGHT (MAP ID: 25)		PROJECT MAP: 
Case Type:	<ul style="list-style-type: none"> Minor Conditional Use Permit 	
Project No.:	<ul style="list-style-type: none"> MCUP No. 2024-06; ACCELA No: PLN-2024-00040 	
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 319-051-06 839 Mango St. 	
Project Description:	<ul style="list-style-type: none"> The project includes increase in the height of wall within the front yard up to 5 feet along the east property line 	
Project Planner:	<ul style="list-style-type: none"> Esteban Rubiano, Assistant Planner (estebanr@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> Eric Lavold 	
Approval Date:	<ul style="list-style-type: none"> October 2, 2024 	
Current Status:	<ul style="list-style-type: none"> Under construction 	

BRUXIE ON-SITE ALCOHOL (MAP ID: 26)	
Case Type:	<ul style="list-style-type: none"> Minor Conditional Use Permit
Project No.:	<ul style="list-style-type: none"> MCUP No. 2024-01; ACCELA No: PLN-2024-00029
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 296-632-27 215 W. Birch Street
Project Description:	<ul style="list-style-type: none"> The project includes on-site beer and wine service at the existing restaurant (Bruxie)
Project Planner:	<ul style="list-style-type: none"> Brianna Co, Planning Technician (briannac@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> Kelly Bullarney of Bruxie
Approval Date	<ul style="list-style-type: none"> October 21, 2024
Current Status:	<ul style="list-style-type: none"> N/A

PROJECT MAP:



<i>FINNEY'S CRAFTHOUSE & KITCHEN EXTERIOR MODIFICATION (MAP ID: 27)</i>	
Case Type:	<ul style="list-style-type: none"> Plan Review
Project No.:	<ul style="list-style-type: none"> PR No. 2024-04; ACCELA No: PLN-2024-00038
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 296-376-17 215 S. Brea Blvd.
Project Description:	<ul style="list-style-type: none"> The project would modify the exterior façade and signage on the existing building to accommodate for a new restaurant, Finney's Crafthouse & Kitchen
Project Planner:	<ul style="list-style-type: none"> Brianna Co, Planning Technician (briannac@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> Marion Gonzales
Approval Date:	<ul style="list-style-type: none"> November 14, 2024
Current Status:	<ul style="list-style-type: none"> Under construction

PROJECT MAP:



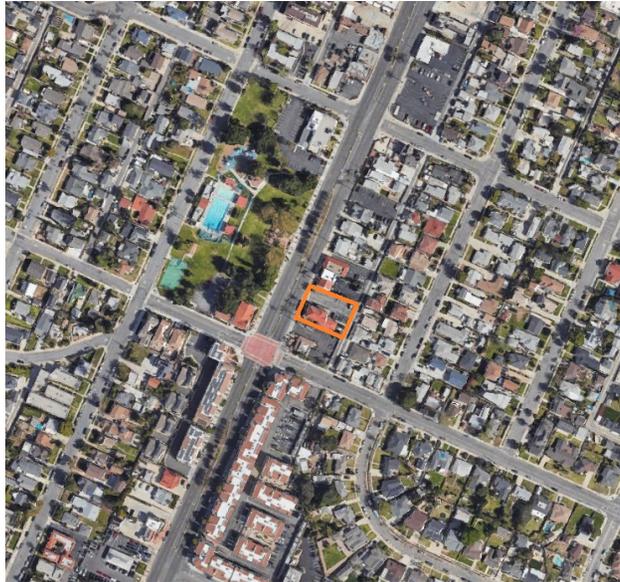
AUSLETICS FITNESS STUDIO (MAP ID: 28)		PROJECT MAP: 
Case Type:	<ul style="list-style-type: none"> Minor Conditional Use Permit 	
Project No.:	<ul style="list-style-type: none"> MCUP No. 2024-09; ACCELA No: PLN-2024-00047 	
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 336-631-29 2868 E. Imperial Highway 	
Project Description:	<ul style="list-style-type: none"> The project would establish a new fitness studio. 	
Project Planner:	<ul style="list-style-type: none"> Cristal Nava, Assistant Planner (cristaln@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> Snez Velijanovska 	
Approval Date	<ul style="list-style-type: none"> November 14, 2024 	
Current Status:	<ul style="list-style-type: none"> Business in operation 	

OUR NEST ON-SITE ALCOHOL (MAP ID: 29)	
Case Type:	<ul style="list-style-type: none"> • Conditional Use Permit
Project No.:	<ul style="list-style-type: none"> • CUP No. 2024-07; ACCELA No: PLN-2024-00054
Project Location:	<ul style="list-style-type: none"> • Assessor's Parcel Number (APN): 319-170-03 • 732 N. Brea Boulevard
Project Description:	<ul style="list-style-type: none"> • The project includes on-site full alcohol service at a new restaurant (Our Nest)
Project Planner:	<ul style="list-style-type: none"> • Cristal Nava, Assistant Planner (cristaln@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> • Jonpaul Ugay
Approval Date	<ul style="list-style-type: none"> • December 10, 2024
Current Status:	<ul style="list-style-type: none"> • Restaurant under construction

PROJECT MAP:



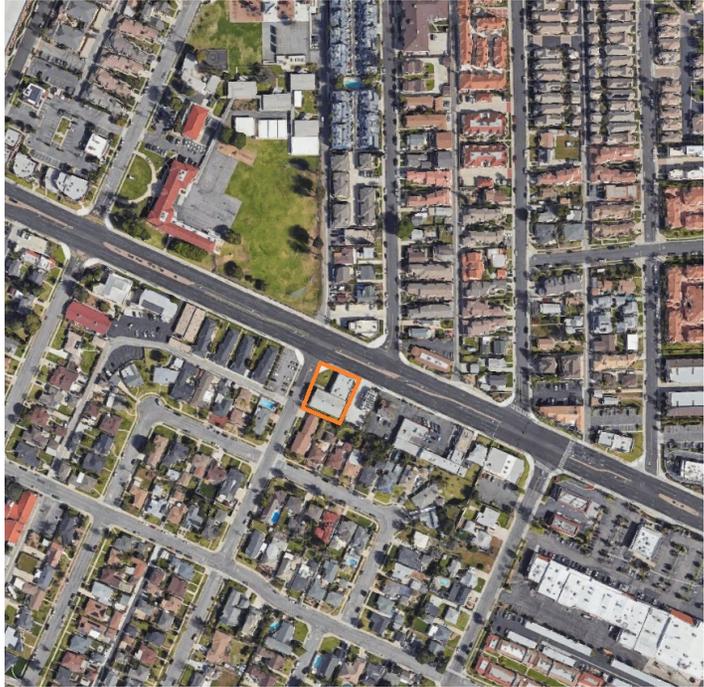
<i>REDUCTION IN REQUIRED PARKING SPACES (MAP ID: 30)</i>		PROJECT MAP:
Case Type:	<ul style="list-style-type: none"> Minor Conditional Use Permit 	
Project No.:	<ul style="list-style-type: none"> MCUP No. 2024-08; ACCELA No: PLN-2024-00045 	
Project Location:	<ul style="list-style-type: none"> Assessor's Parcel Number (APN): 284-243-09 & 10 440 S. Brea Blvd. 	
Project Description:	<ul style="list-style-type: none"> The project allows a reducing the minimum required parking spaces to accommodate a new dentist office 	
Project Planner:	<ul style="list-style-type: none"> Brianna Co, Planning Technician (briannac@cityofbrea.gov) 	
Applicant:	<ul style="list-style-type: none"> Sultram Han 	
Approval Date	<ul style="list-style-type: none"> December 17, 2024 	
Current Status:	<ul style="list-style-type: none"> N/A 	



The image is an aerial photograph of a residential neighborhood. A specific parcel, located at the intersection of a street and a driveway, is highlighted with a bright orange border. The surrounding area consists of numerous houses with varying roof colors, green lawns, and some trees. A swimming pool is visible in one of the larger lots to the left of the highlighted parcel.

<i>SAINT MATTHEW ECUMENICAL CATHOLIC CHURCH (MAP ID: 31)</i>	
Case Type:	<ul style="list-style-type: none"> • Conditional Use Permit
Project No.:	<ul style="list-style-type: none"> • CUP No. 2024-06; ACCELA No: PLN-2024-00052
Project Location:	<ul style="list-style-type: none"> • Assessor’s Parcel Number (APN): 284-211-31 • 500 E. Imperial Highway
Project Description:	<ul style="list-style-type: none"> • The project establishes a new church.
Project Planner:	<ul style="list-style-type: none"> • Brianna Co, Planning Technician (briannac@cityofbrea.gov)
Applicant:	<ul style="list-style-type: none"> • Tony Russo
Approval Date	<ul style="list-style-type: none"> • January 28, 2025
Current Status:	<ul style="list-style-type: none"> • N/A

PROJECT MAP:



REPEALED/DENIED

(Within one year)

N/A