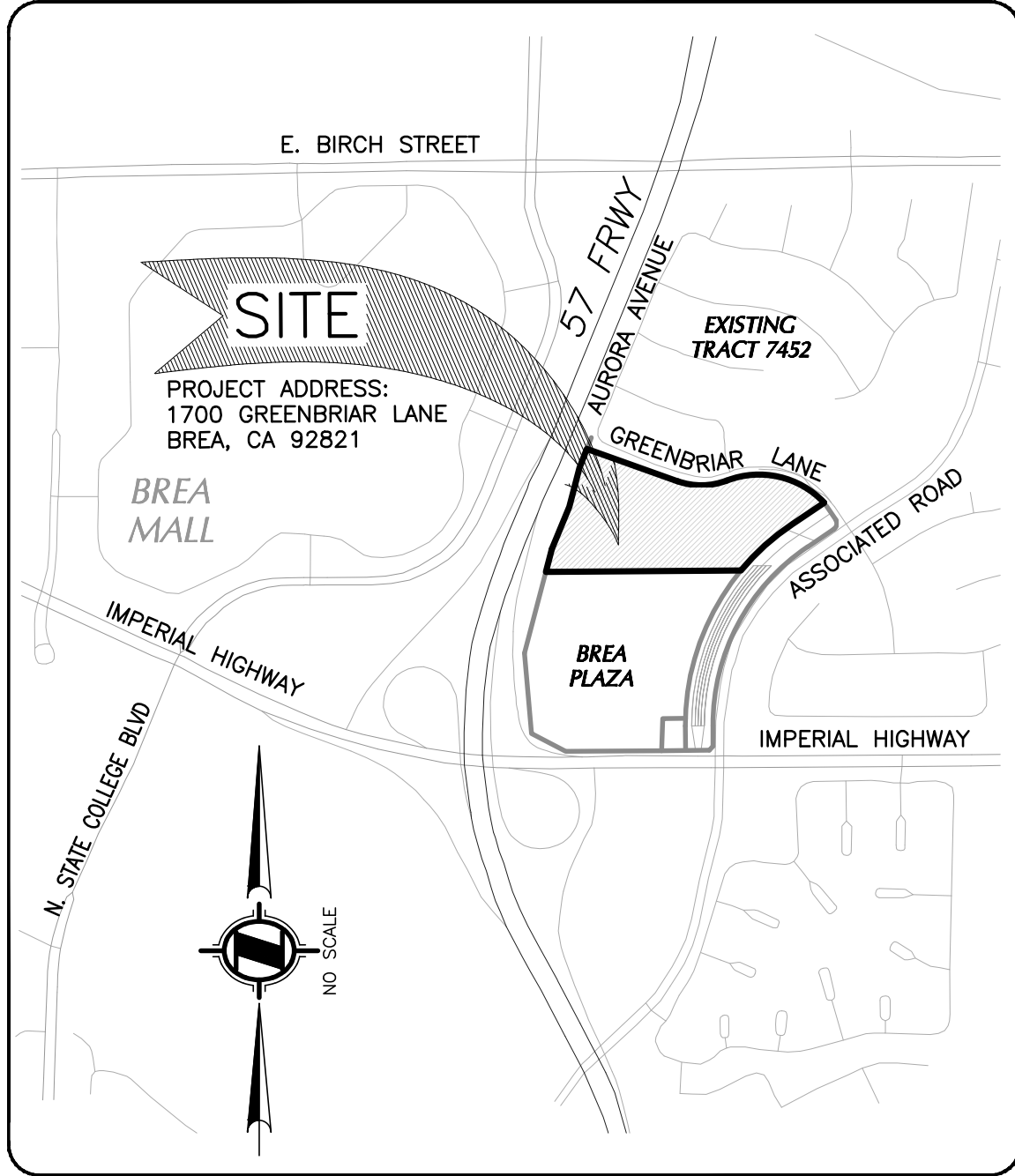




VICINITY MAP

VESTING TENTATIVE TRACT NO. 19394
FOR CONDOMINIUM PURPOSES
CIVIL ENTITLEMENT PACKAGE
1700 GREENBRIAR LANE
BREA, CA. 92821

SHEET INDEX

- SHEET 1 - TITLE SHEET
- SHEET 2 - TENTATIVE TRACT MAP - PLAN VIEW, SUMMARIES, NOTES, AND EXISTING STREET SECTIONS
- SHEET 3 - TENTATIVE TRACT MAP - EXISTING & PROPOSED EASEMENTS, TYPICAL STREET SECTIONS
- SHEET 4 - SITE PLAN
- SHEET 5 - MASTER SEWER & WATER PLAN
- SHEET 6 - FIRE ACCESS PLAN
- SHEET 7 - TRASH PLAN EXHIBIT
- SHEET 8 - TRUCK TURNING EXHIBIT

REVISION	
DATE	DESCRIPTION

PREPARED FOR:

LENNAR

2000 FIVEPOINT, 3RD FLOOR
IRVINE, CA 92618
(949) 549-8000
ATTN: GARY JONES

PREPARED BY:

HUNSAKER & ASSOCIATES

IRVINE, CA
PLANNING • ENGINEERING • SURVEYING
107 Technology Drive Irvine, CA 92618 (949) 563-1000

CITY OF BREA

**VESTING TENTATIVE TRACT NO. 19394
FOR CONDOMINIUM PURPOSES
1700 GREENBRIAR LANE BREA, CA 92821
TITLE SHEET**

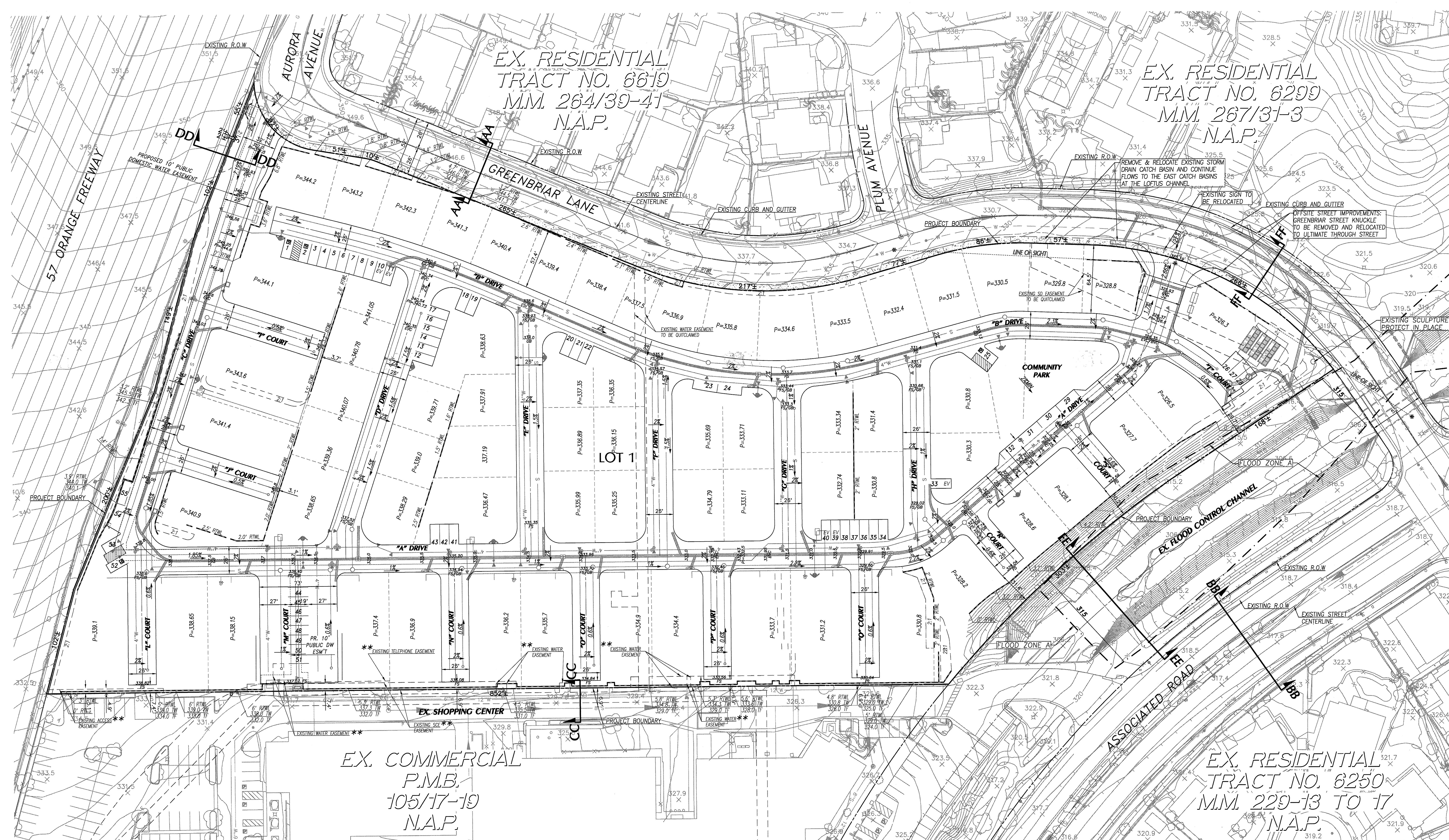
DESIGNED BY: SS
DRAFTED BY: BP/JS
CHECKED BY: SS

DATE: **2/28/2025**

CITY FILE NO.:

SHEET **1 OF 8**

DATE: Feb. 28, 2025 02:40:38 PM FILE: F:\1285\Engineering\SA_VITM\Title Sheet.dwg



NOTES

1. EXISTING LAND USE: GENERAL COMMERCIAL.
2. PROPOSED LAND USE: MIXED-USE II
3. PROPOSED AND EXISTING PROPERTY AREA: 9.7 ACRES
4. EXISTING ZONING: C-G
5. PROPOSED ZONING: MU-II
6. THIS TENTATIVE TRACT MAP IS FOR CONDOMINIUM PURPOSES.
7. ASSESSOR PARCEL NUMBERS: 319-102-34
8. PROPOSED GRADING AND DRAINAGE SHALL COMPLY WITH GRADING AND EXCAVATION CODE OF THE CITY OF BREA MUNICIPAL CODES.
9. WATER, SEWER, AND DRY UTILITIES WILL BE PRIVATE FACILITIES.
10. SEWER SIZE WILL BE DETERMINED PER ITM.
11. ALL PROPOSED UTILITIES TO BE UNDERGROUND.
12. DRAINAGE FACILITIES IN ACCORDANCE WITH THE CITY OF BREA STANDARDS AND O.C.F.C.D. STANDARDS.
13. GRADING PER CITY OF BREA GRADING CODE.
14. THE PROPERTY IS LOCATED WITHIN BREA UNIFIED SCHOOL DISTRICT.
15. ALL PROPOSED IMPROVEMENTS SHALL COMPLY WITH THE CITY OF BREA STANDARDS AND SPECIFICATIONS OR AS SPECIFIED IN THIS TENTATIVE MAP.
16. AREA CALCULATIONS ARE APPROXIMATE AND PRELIMINARY, AND ARE SUBJECT TO CHANGE IN FINAL DESIGN.
17. MAXIMUM SLOPE RATIO IS 2:1, UNLESS OTHERWISE NOTED.
18. UTILITIES PROVIDED BY:
 - WATER & SEWER: CITY OF BREA, 545 BERRY STREET, BREA, CA 92821, (714) 990-7691
 - ELECTRIC: SOUTHERN CALIFORNIA EDISON (SCE), 14005 S BENSON AVENUE, CHINO, CA, (909) 548-7047
 - GAS: SOUTHERN CALIFORNIA GAS COMPANY, 1919 S STATE COLLEGE BLVD., ANAHEIM, CA 92806, (877) 238-0092
 - TELEPHONE: AT&T, 1452 CINDER AVENUE, 3RD FLOOR, TUSTIN, CA 92780, (714) 815-9170
 - CABLE/INTERNET: SPECTRUM, 3430 E. MURALOMA AVENUE, ANAHEIM, CA 92806, (714) 414-1454
 - STORM DRAIN: CITY OF BREA PUBLIC WORKS, 1 CIVIC CENTER CIRCLE, BREA, CA 92821, (714) 990-7691

LEGAL DESCRIPTION:

PARCEL 2 IN THE CITY OF BREA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED JUNE 3, 1976 IN BOOK 80, PAGES 42 AND 43 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, CALIFORNIA, AND AMENDED BY CERTIFICATE OF CORRECTION RECORDED OCTOBER 15, 1992 AS INSTRUMENT NO. 92-700294, OFFICIAL RECORDS.

EXCEPT THEREFROM THAT PORTION OF SAID LAND DESCRIBED IN THE DEED TO THE STATE OF CALIFORNIA, RECORDED JANUARY 14, 2011 AS INSTRUMENT NO. 2011000028720, OF OFFICIAL RECORDS.

ALSO EXCEPT THEREFROM ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, MINERALS AND WATER UNDERLYING A PLANE PARALLEL TO AND 500 FEET, MEASURED VERTICALLY DOWNWARD BELOW THE SURFACE OF THE LAND, WHICH PORTION IS HEREINAFTER REFERRED TO AS "SUBSURFACE LAND", TOGETHER WITH RIGHTS OF WAY, EASEMENTS AND SERVITUDES IN AND THROUGH SUBSURFACE LAND FOR THE PURPOSE OF EXPOSING THE RIGHTS HEREIN RESERVED WHICH INCLUDE BUT ARE NOT LIMITED TO THE RIGHT TO PROSPECT, EXPLORE, MINE, DRILL, PRODUCE, TAKE, TREAT, STORE AND REMOVE ALL SUCH OIL, GAS, AND OTHER HYDROCARBON SUBSTANCES, MINERALS AND WATER AND THE RIGHT TO INJECT IN AND REMOVE FROM SUBSURFACE LAND, OIL, GAS, WATER OR OTHER FLUIDS FOR THE PURPOSES OF STORAGE, PRESSURE MAINTENANCE AND/OR SECONDARY RECOVERY OF SUCH OIL, GAS AND OTHER HYDROCARBON SUBSTANCES AND OTHERWISE TO DRILL, COMPLETE AND MAINTAIN WELLS INTO AND THROUGH SUBSURFACE LAND FROM SURFACE LOCATIONS OUTSIDE THE BOUNDARIES OF REAL PROPERTY HEREIN CONVEYED, PROVIDED, HOWEVER, THAT THE RIGHT HEREIN RESERVED AND RETAINED DO NOT INCLUDE THE RIGHT TO ENTER UPON THE SURFACE OF THE REAL PROPERTY HEREIN CONVEYED OR WITHIN 500 FEET, MEASURED VERTICALLY DOWNWARD BELOW THE SURFACE OF THE LAND, AS RESERVED BY UNION OIL COMPANY OF CALIFORNIA, IN DEED RECORDED APRIL 20, 1973 IN BOOK 10654 PAGE 243, OFFICIAL RECORDS.

APN: 319-102-34

NUMBERED LOT SUMMARY

LOT NUMBER	S.F.	ACRES	LAND USE
1	422,478	9.70	FUTURE RESIDENTIAL, ACCESS, PUBLIC AND PRIVATE UTILITIES

UNIT COUNT

179 UNITS

LEGEND

- PROJECT BOUNDARY
- PROPOSED RIGHT OF WAY
- PROPOSED CENTER LINE
- FLOOD ZONE A
- NUMBERED LOT
- LETTERED LOT
- PAD ELEVATION
- PROPOSED STREET ELEVATION
- RATE OF GRADE
- COUNTOUT & ELEVATION
- SLOPE
- RETAINING WALL
- RETAINING WALL HEIGHT
- GRAVITY SEWER
- WATER
- STORM DRAIN
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- EXISTING SEWER
- EXISTING WATER
- EXISTING STORM DRAIN
- EXISTING ELECTRIC
- EXISTING GAS
- EXISTING TELEPHONE
- EXISTING CABLE TV

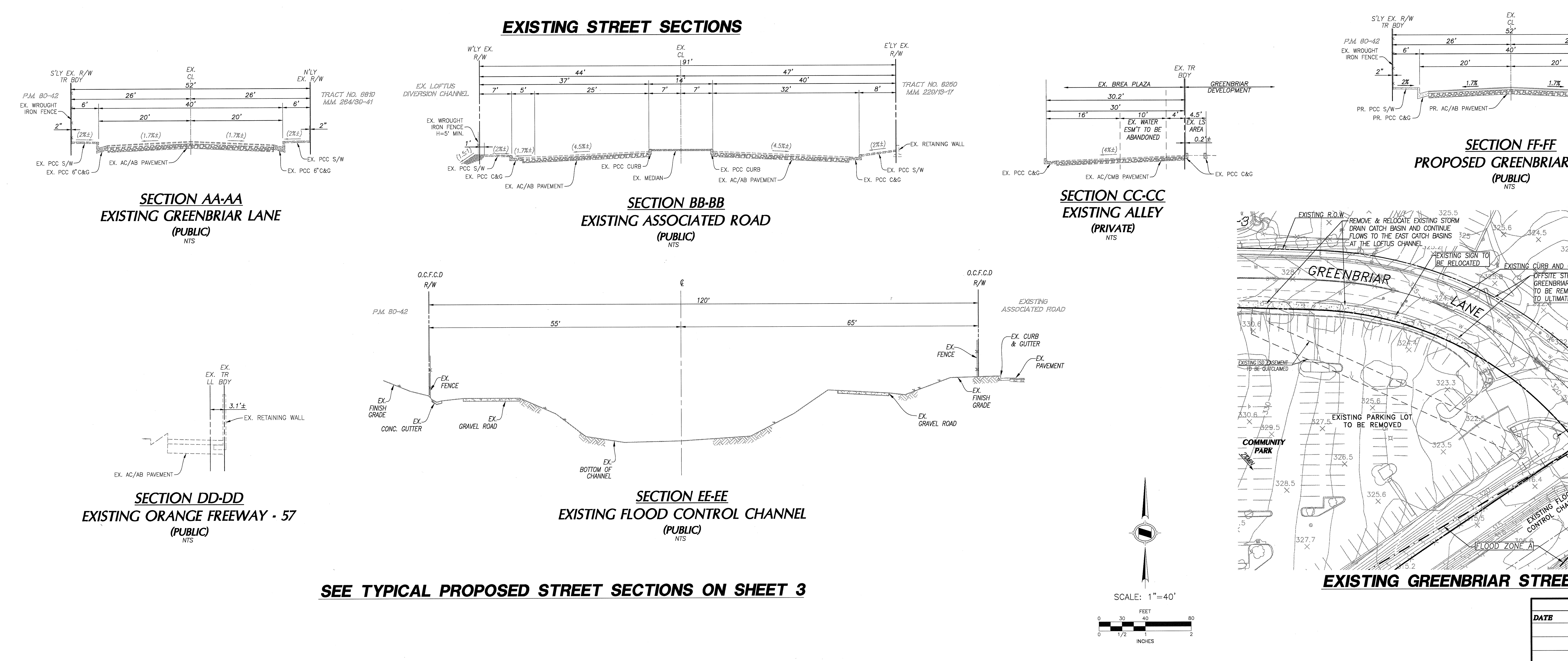
UTILITY SUMMARY

UTILITY	4,037 LF
FIRE WATER	4,074 LF
SEWER	4,292 LF
STORM DRAIN	3,298 LF

****NOTE: SEE SHEET 3 FOR ALL EXISTING EASEMENT NOTES**

VICINITY MAP

Map showing the project location relative to E. Birch Street, 57 Freeway, Greenbriar Lane, Associated Road, Imperial Highway, and Brea Plaza.



OWNER'S REPRESENTATIVE STATEMENT

I HEREBY ACKNOWLEDGE THE SUBMISSION OF THE PARCEL MAP AND REQUEST THE CITY TO PROCESS IT.

[Signature] DATE: 3/4/25

STATEMENT BY ENGINEER OF RECORD

I HEREBY STATE THAT THIS MAP WAS PREPARED UNDER MY SUPERVISION AND THAT THE OWNER OF RECORD HAS KNOWLEDGE OF AND CONSENTS TO THE FILING OF THIS MAP.

[Signature] DATE: 2/28/2025

SEAN SWANSON

PREPARED FOR: LENNAR

2000 FIVEPOINT, 5RD FLOOR
IRVINE, CA 92618
(949) 349-8000
ATTN: GARY JONES

PREPARED BY: HUNSAKER & ASSOCIATES

PLANNING • ENGINEERING • SURVEYING
100 Technology Drive
Irvine, CA 92618
(949) 543-9370

CITY OF BREA

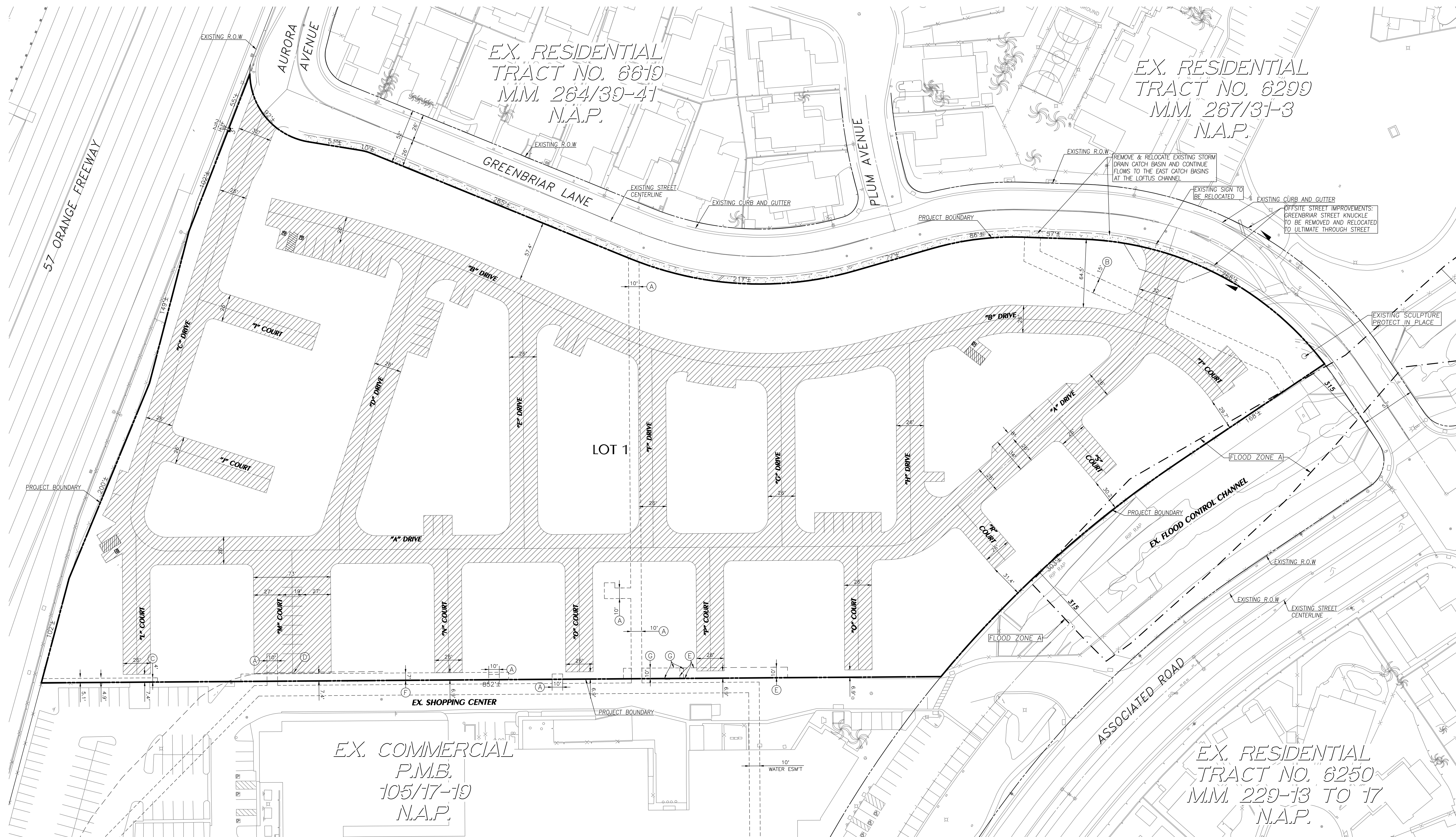
VESTING TENTATIVE TRACT NO. 19394 FOR CONDOMINIUM PURPOSES

SITE ADDRESS: 1700 GREENBRIAR LANE BREA, CA 92821
PARCEL MAP: 80-42

DATE	REVISION	DESCRIPTION

DESIGNED BY: SS
DRAFTED BY: GP/TS
CHECKED BY: SS

DATE: 2/28/2025 CITY FILE NO.: SHEET 2 OF 8



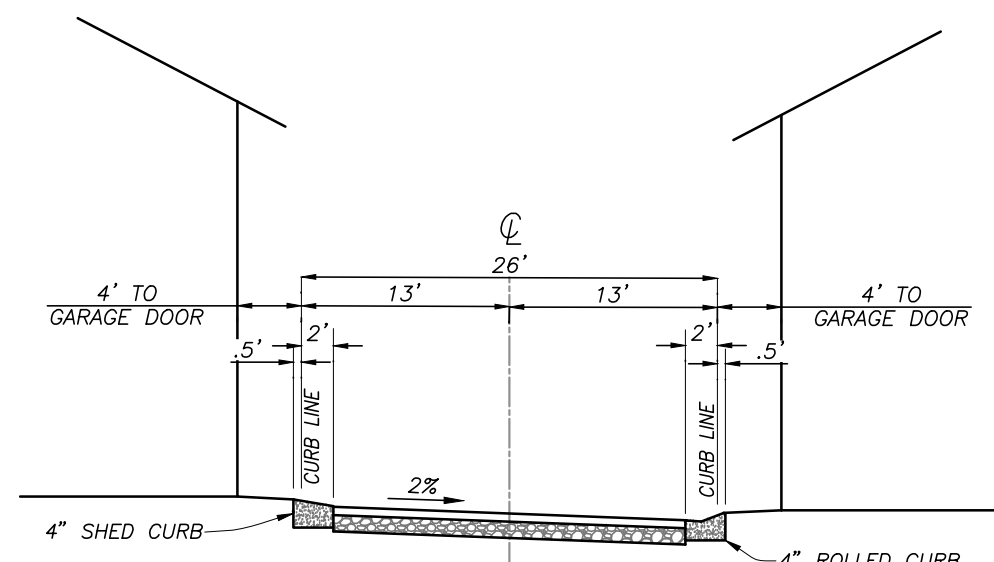
EASEMENT NOTES:

- MODIFIED AN EASEMENT SHOWN OR DEDICATED ON THE MAP FILED OR RECORDED JUNE 3, 1976 AS BOOK 80 AND PAGES 42 AND 43 OF MAPS FOR: WATER LINES AND INCIDENTAL PURPOSES. SHOWN HEREON AS (A)
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- MODIFIED AN EASEMENT FOR WATER SYSTEMS AND INCIDENTAL PURPOSES. RECORDED JULY 28, 2010 AS INSTRUMENT NO. 2010-360183 OF OFFICIAL RECORDS. IN FAVOR OF: CALIFORNIA BP LLC, A DELAWARE LIMITED LIABILITY COMPANY AFFECTS: HEREIN DESCRIBED LAND. SHOWN HEREON AS (E)
- MODIFIED AN EASEMENT FOR UNDERGROUND ELECTRICAL SUPPLY SYSTEMS AND COMMUNICATION SYSTEMS AND INCIDENTAL PURPOSES. RECORDED AUGUST 10, 2011 AS INSTRUMENT NO. 2011-394211 OF OFFICIAL RECORDS. IN FAVOR OF: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION AFFECTS: HEREIN DESCRIBED LAND. SHOWN HEREON AS (F)
- QUITCLAIMED AN EASEMENT FOR WATER SYSTEM AND INCIDENTAL PURPOSES. RECORDED AUGUST 15, 2011 AS INSTRUMENT NO. 2011-401471 OF OFFICIAL RECORDS. IN FAVOR OF: THE CITY OF BREA, A MUNICIPAL CORPORATION AFFECTS: HEREIN DESCRIBED LAND. SHOWN HEREON AS (G)

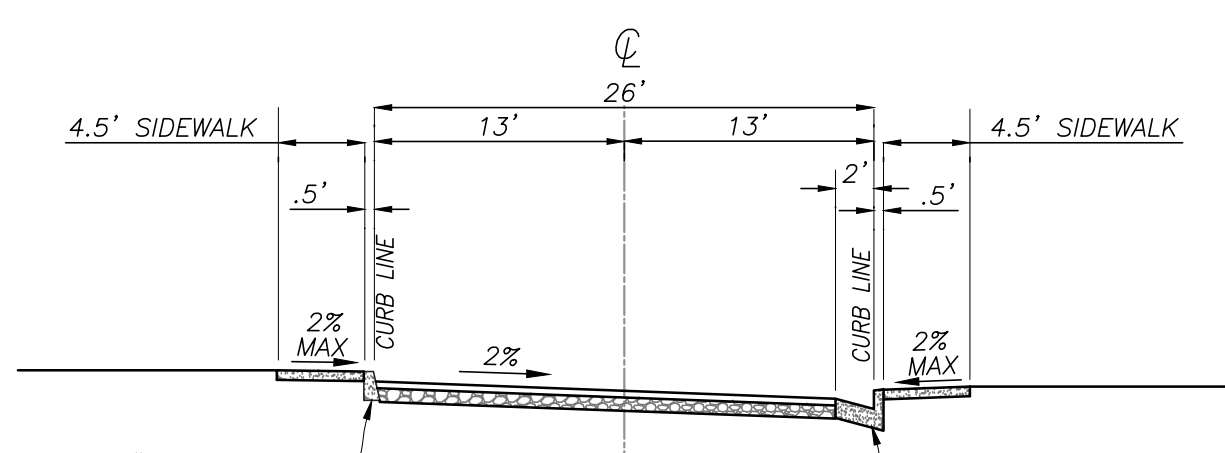
TYPICAL STREET SECTIONS

LEGEND

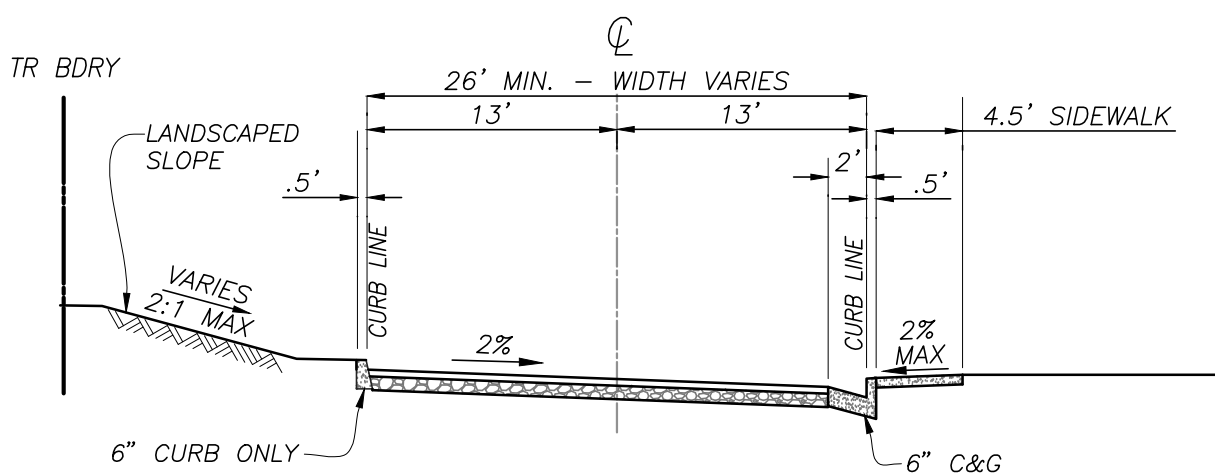
PRIVATE STREETS AND PARKING SPACES



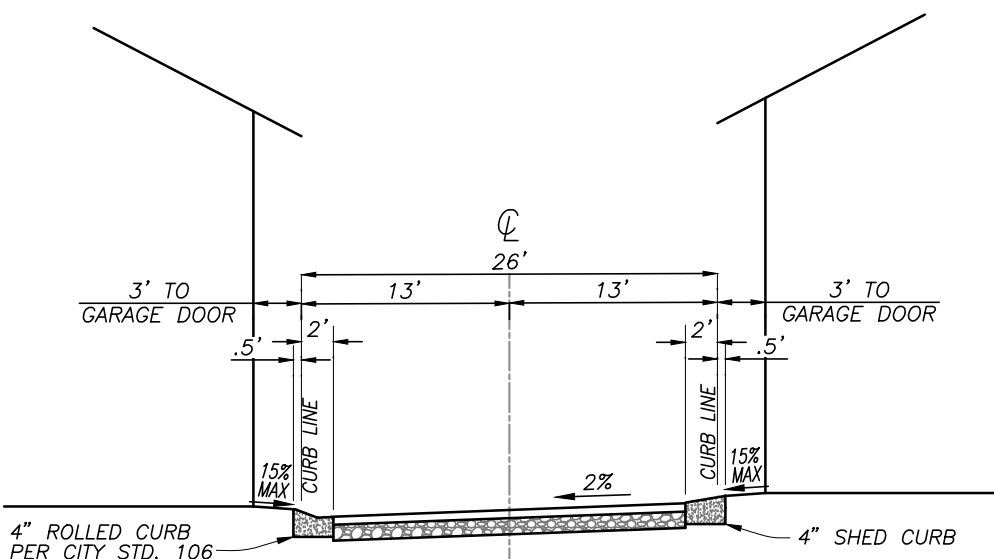
"I", "J", "L", "M", "N", "O", "P", & "Q" COURT
PRIVATE
NTS



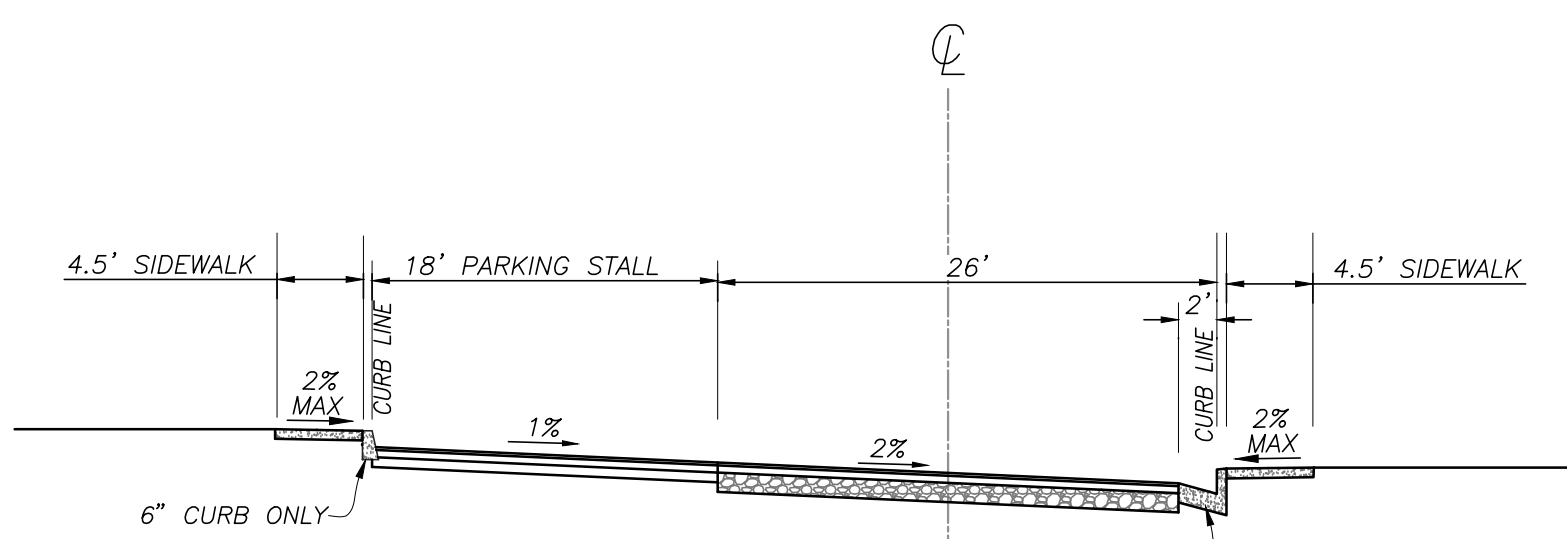
PORTIONS OF "A" DRIVE FROM
"C" DRIVE TO "B" DRIVE
PRIVATE
NTS



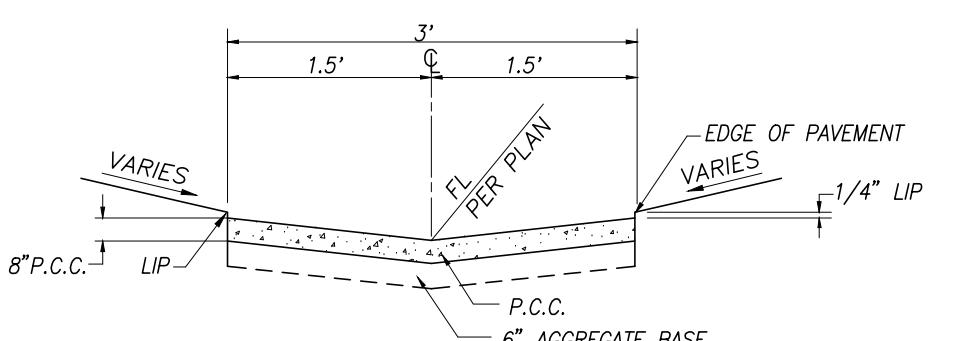
"C" DRIVE AND A PORTION OF "K" COURT
PRIVATE
NTS



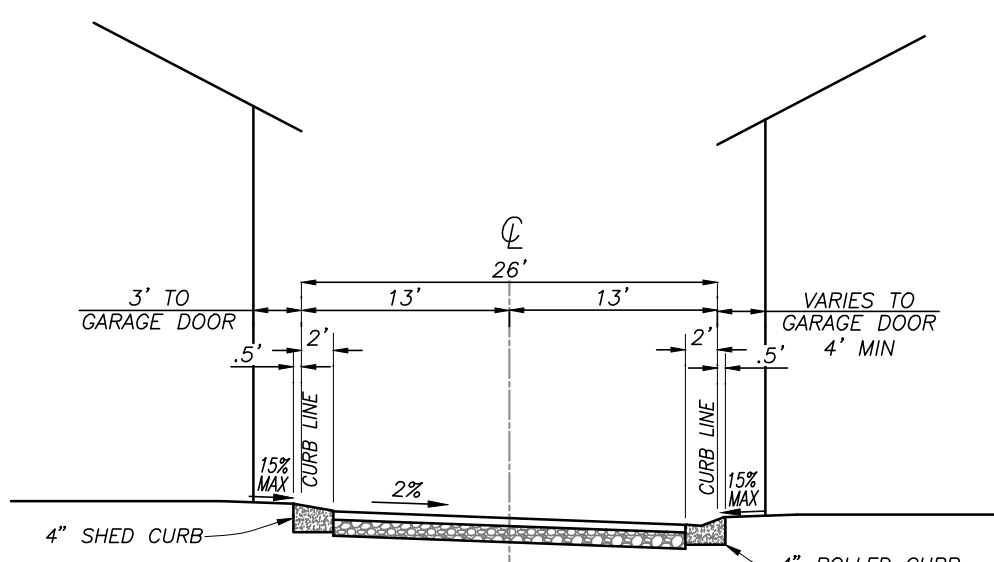
"R" COURT AND A PORTION OF "T" COURT
PRIVATE
NTS



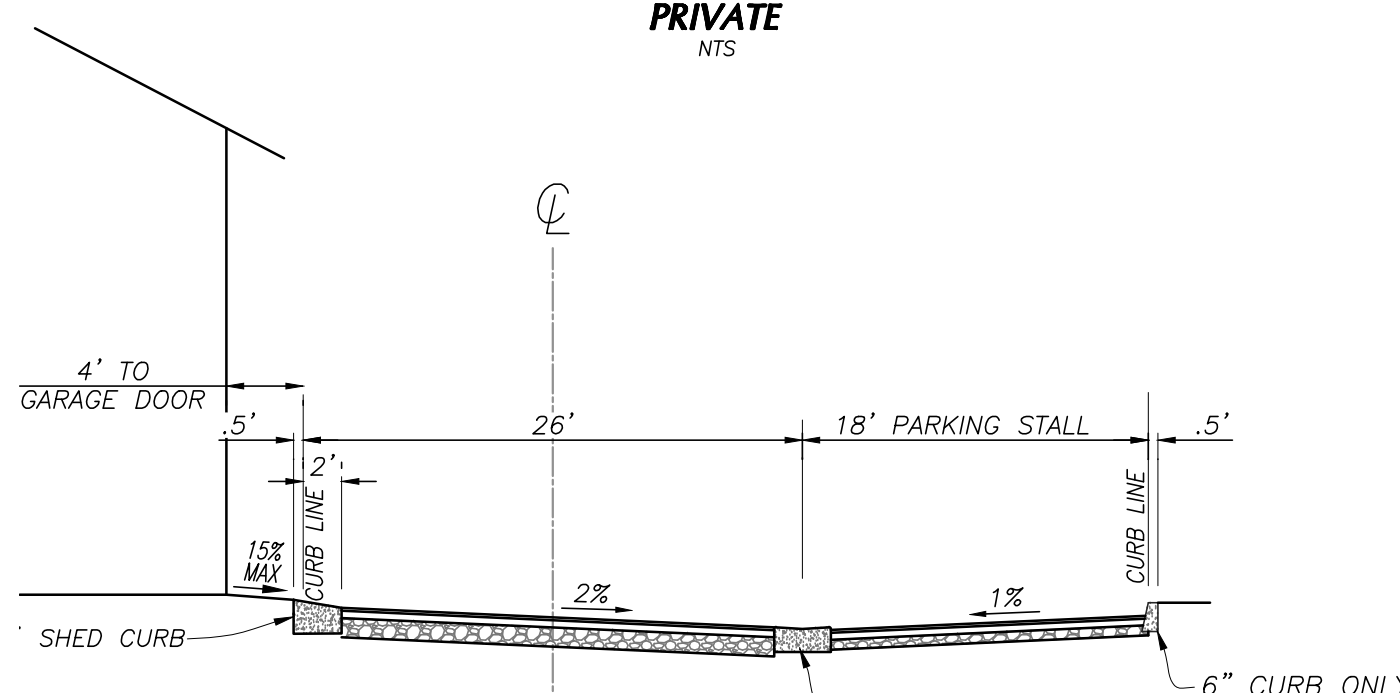
PORTIONS OF "A" DRIVE BETWEEN
"C" DRIVE AND "B" DRIVE
PRIVATE
NTS



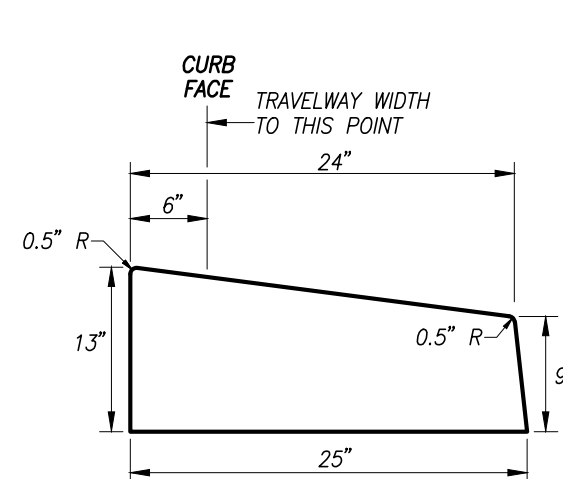
"V" GUTTER DETAIL
NTS - REFERENCE ONLY



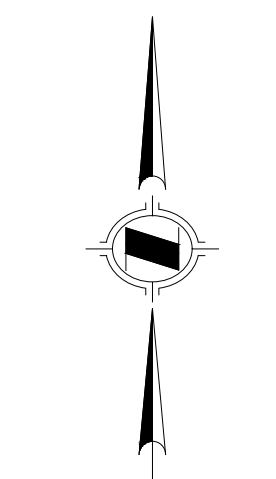
"D", "E", "F", "G", "H", "S" DRIVE AND A PORTION
OF "B" DRIVE FROM "H" DRIVE TO "A" DRIVE
PRIVATE
NTS



PORTIONS OF "A" DRIVE BETWEEN
"E" DRIVE AND "F" DRIVE, PORTIONS OF "A" DRIVE WEST
OF "D" DRIVE, A PORTION OF "T" COURT, A PORTION
OF "D" DRIVE, AND A PORTION OF "H" DRIVE
PRIVATE
NTS



"A" SHED CURB DETAIL
NTS - REFERENCE ONLY



SCALE: 1"=40'

DATE	REVISION	
	DESCRIPTION	

PREPARED FOR:
LENNAR
2000 FIVEPOINT, 3RD FLOOR
IRVINE, CA 92618
(949) 549-8000
ATTN: GARY JONES

PREPARED BY:
HUNSAKER & ASSOCIATES
IRVINE, CA 92618
(949) 549-8000
ATTN: GARY JONES

CITY OF BREA
VESTING TENTATIVE TRACT NO. 19394
FOR CONDOMINIUM PURPOSES
SITE ADDRESS: 1700 GREENBRIAR LANE BREA, CA 92821
PARCEL MAP: 80-42

DESIGNED BY: SS
DRAFTED BY: LP
CHECKED BY: SS
DATE: 2/28/2025
CITY FILE NO.:
SHEET 3 OF 8

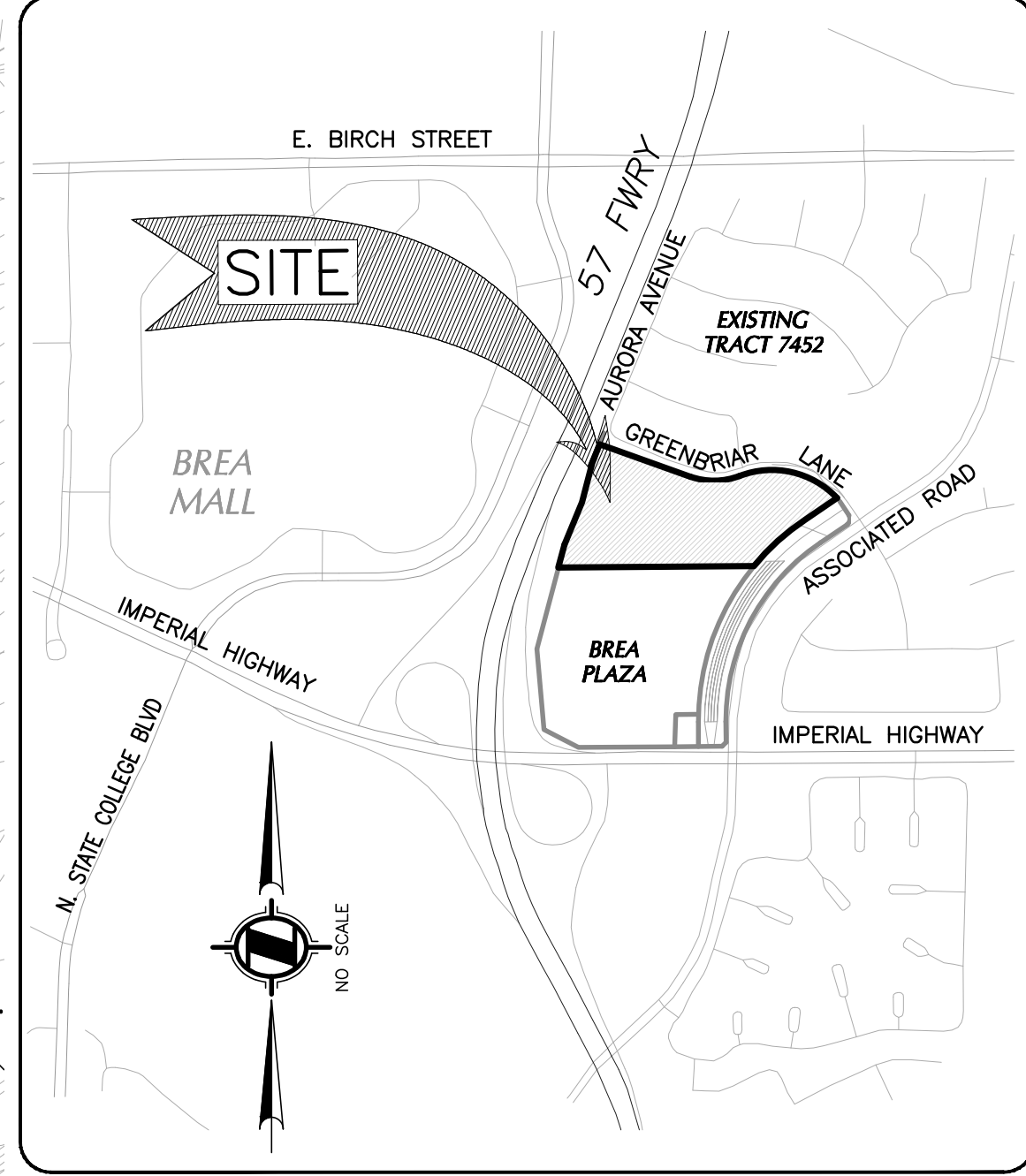
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FLOOR AREA RATIO (FAR)	
TOTAL AREA (ALL UNITS)	505,265 SF
TOTAL SITE AREA	422,478 SF
FLOOR AREA RATIO (FAR)	1.20

PRODUCT SUMMARY & MIX TABLE (COMBINED):		
	BUILDINGS	UNITS
THE COURTS	16	80
THE YARDS	12	24
THE YARDS - HALF BLDG	2	2
THE VILLAS	36	72
THE VILLAS - HALF BLDG	1	1
TOTAL	67	179

PARKING SUMMARY	
REQUIRED RESIDENT PARKING (BMC 20.08.040)	
REQUIRED GUEST PARKING 0.5 SPACES PER UNIT	90
FOR SINGLE-FAMILY ATTACHED	358
TOTAL REQUIRED	448

PROVIDED PARKING	
GARAGE SPACES	342
DRIVEWAY SPACES	N/A
PARKING STALLS	46
ADA PARKING	4
ELECTRICAL VEHICLE PARKING (10%)	5
TOTAL PROVIDED PARKING	397



LOCATION MAP N.T.S.

EASEMENT NOTES:

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LEGEND OF ABBREVIATIONS & SYMBOLS

T.C.	TOP OF CURB	(100)	EXIST. CONTOUR
F.L.	FLOWLINE ELEV.	100	PROP. CONTOUR
T.G.	TOP OF GATE	---	PROPERTY LINE
G.B.	GRADE BREAK	---	DAYLIGHT LINE
F.G.	FINISH GRADE	2%	SHEET FLOW RATE
R.G.	ROUGH GRADE	---	GRADED SWALE
F.S.	FINISH SURFACE	---	CENTERLINE
INV.	INVERT OF DRAIN	---	SWALE HIGH POINT
P.	PAD ELEVATION	---	FLOWLINE
F.F.	FINISH FLOOR ELEV.	---	SUBDRAIN
G.F.F.	GARAGE FINISH FLOOR	---	AREA DRAIN
B.V.C.	BEGIN VERTICAL CURVE	---	TOP OF SLOPE
E.V.C.	END VERTICAL CURVE	---	TOE OF SLOPE
P.I.	POINT OF INTERSECTION	---	RETAINING WALL
E.P.	EDGE OF PAVEMENT	---	FIRE HYDRANT
T.W.	TOP OF WALL ELEV.	---	STREET LIGHT
T.F.	TOP OF FOOTING ELEV.	---	SOUND OR SCREEN WALL
D.F.	DEEPEN FOOTING	---	DEEPENED FOOTING
L.	LENGTH	---	WATER METER
D.W.	DRIVEWAY	---	CATCH BASIN & LOCAL DEPRESSION
N.T.S.	NOT TO SCALE	---	PHASE LINE (FOR PRECISE GRADING)
P.U.E.	PUBLIC UTILITY EASEMENT	---	TRACT BORDY
A.S.	ADA SYMBOL	---	R/W
---	STREET R/W DEDICATION	---	FLOOD ZONE A
•	MAILBOX LOCATIONS		

EARTHWORK SUMMARY

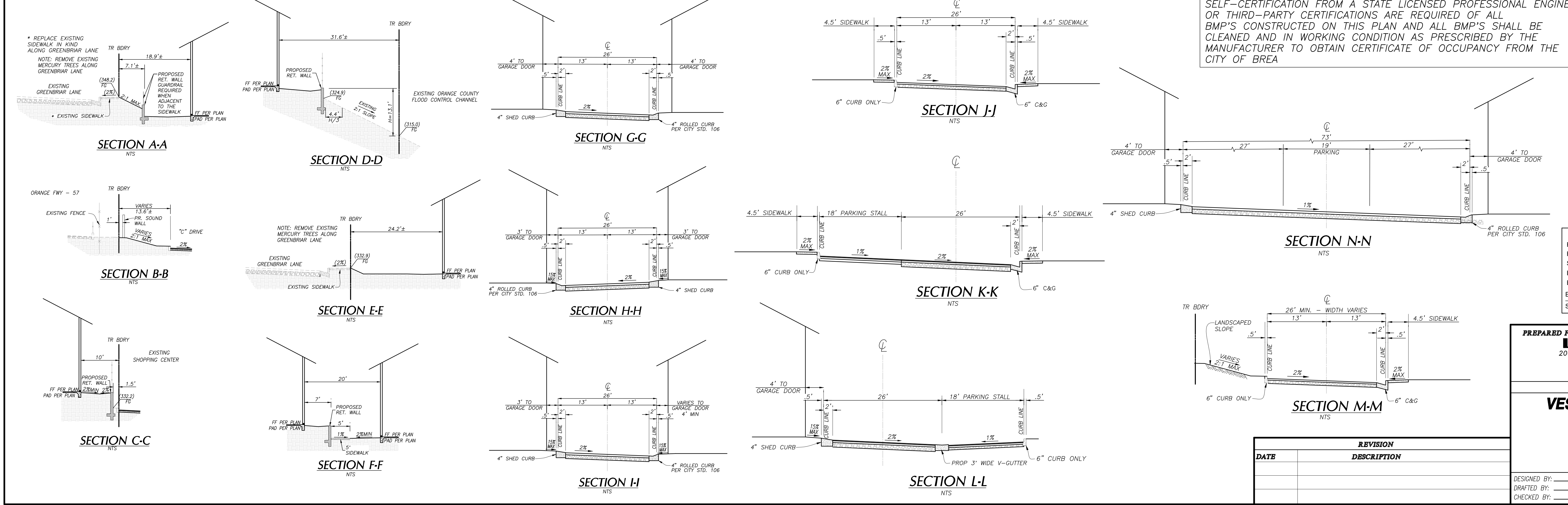
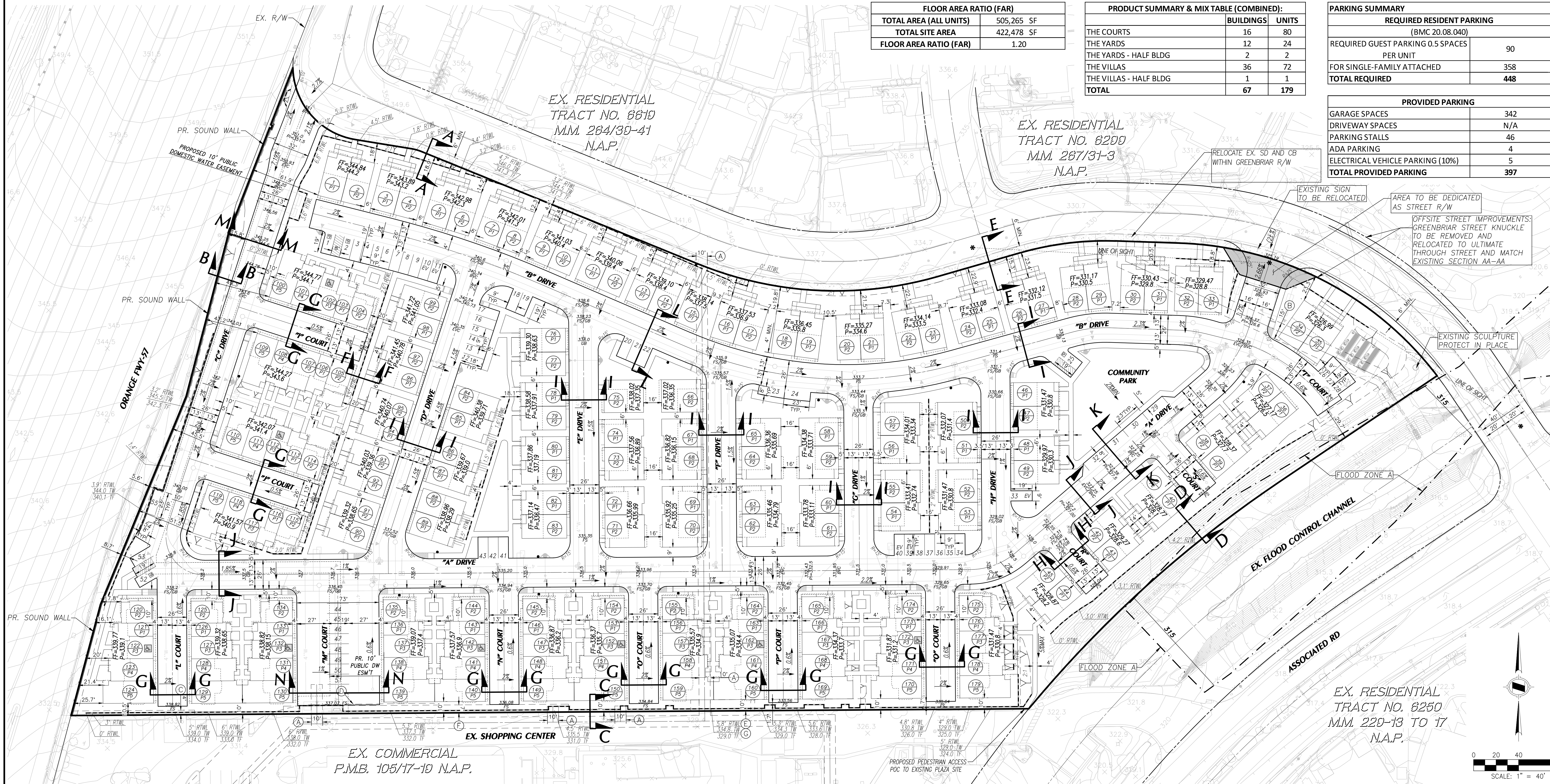
RAW VOLUMES	CUT	FILL
R&R (5) UNSUITABLE MATERIAL	24,786 CYS	8,652 CYS
SHRINKAGE (8%)	78,005 CYS	8,223 CYS
EXISTING BUILDINGS (2) PAD REMOVAL		10,628 CYS
EXISTING PARKING PAVEMENT (8) REMOVAL		4,204 CYS
ESTIMATED TOTAL	102,791 CYS	110,712 CYS
SHORT		7,921 CYS

PREPARED FOR:
LENNAR
2000 FIVEPOINT, 3RD FLOOR
IRVINE, CA 92618
(949) 349-8000
ATTN: GARY JONES

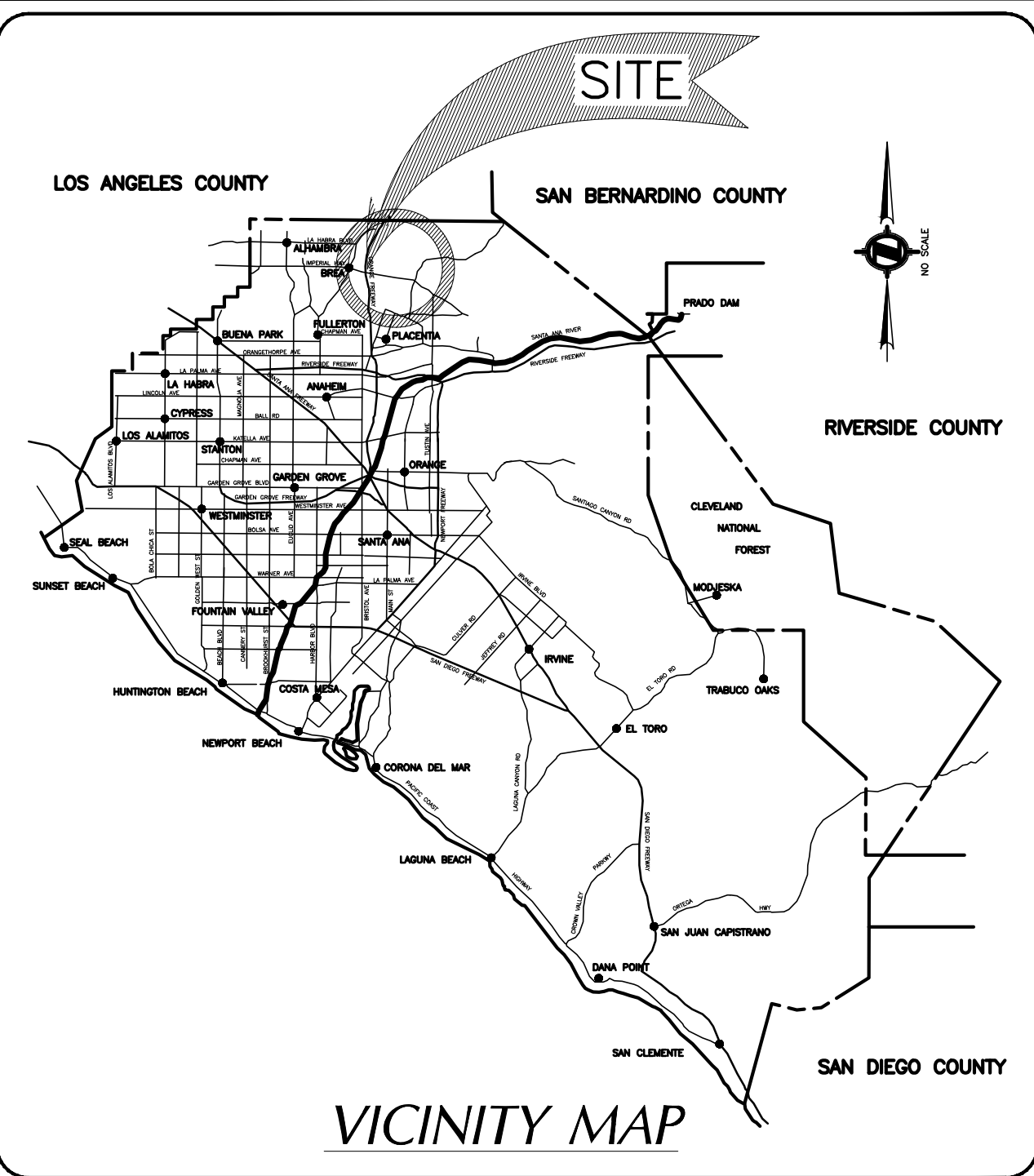
PREPARED BY:
HUNSAKER & ASSOCIATES
IRVINE, INCA
PLANNING • ENGINEERING • SURVEYING
10 Technology Drive Irvine, CA 92618 (949) 840-0000

CITY OF BREA VESTING TENTATIVE TRACT NO. 19394 GREENBRIAR - BREA 179 UNITS SITE PLAN

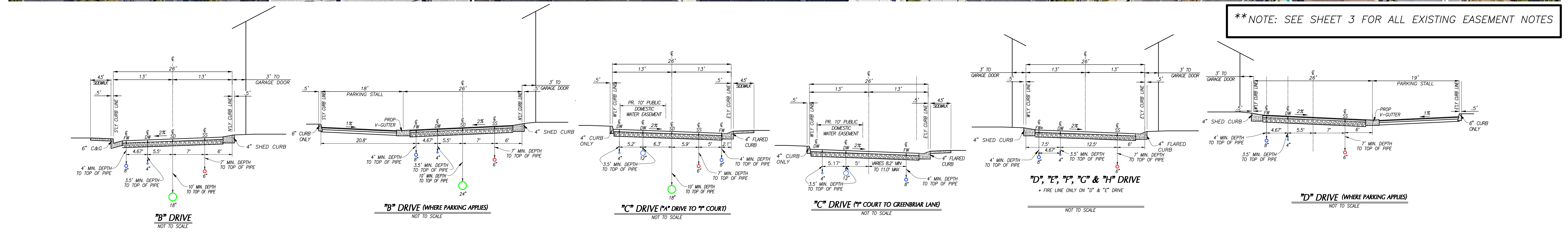
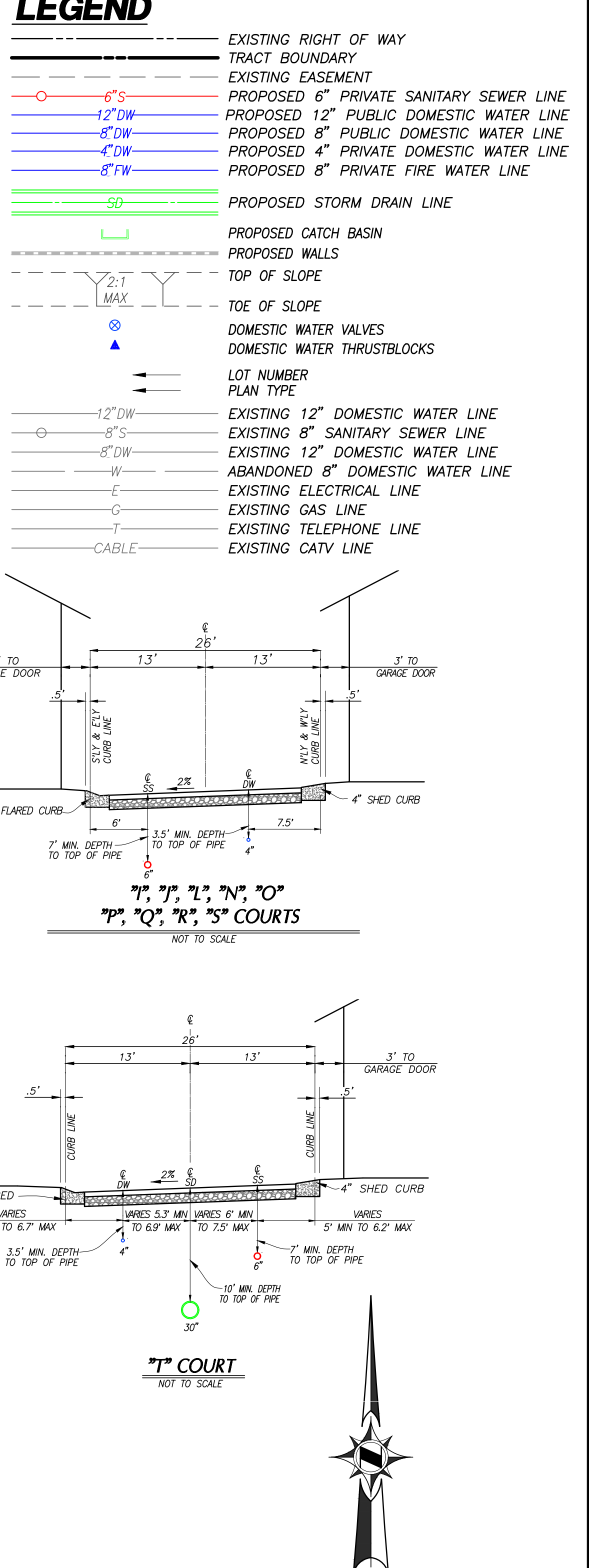
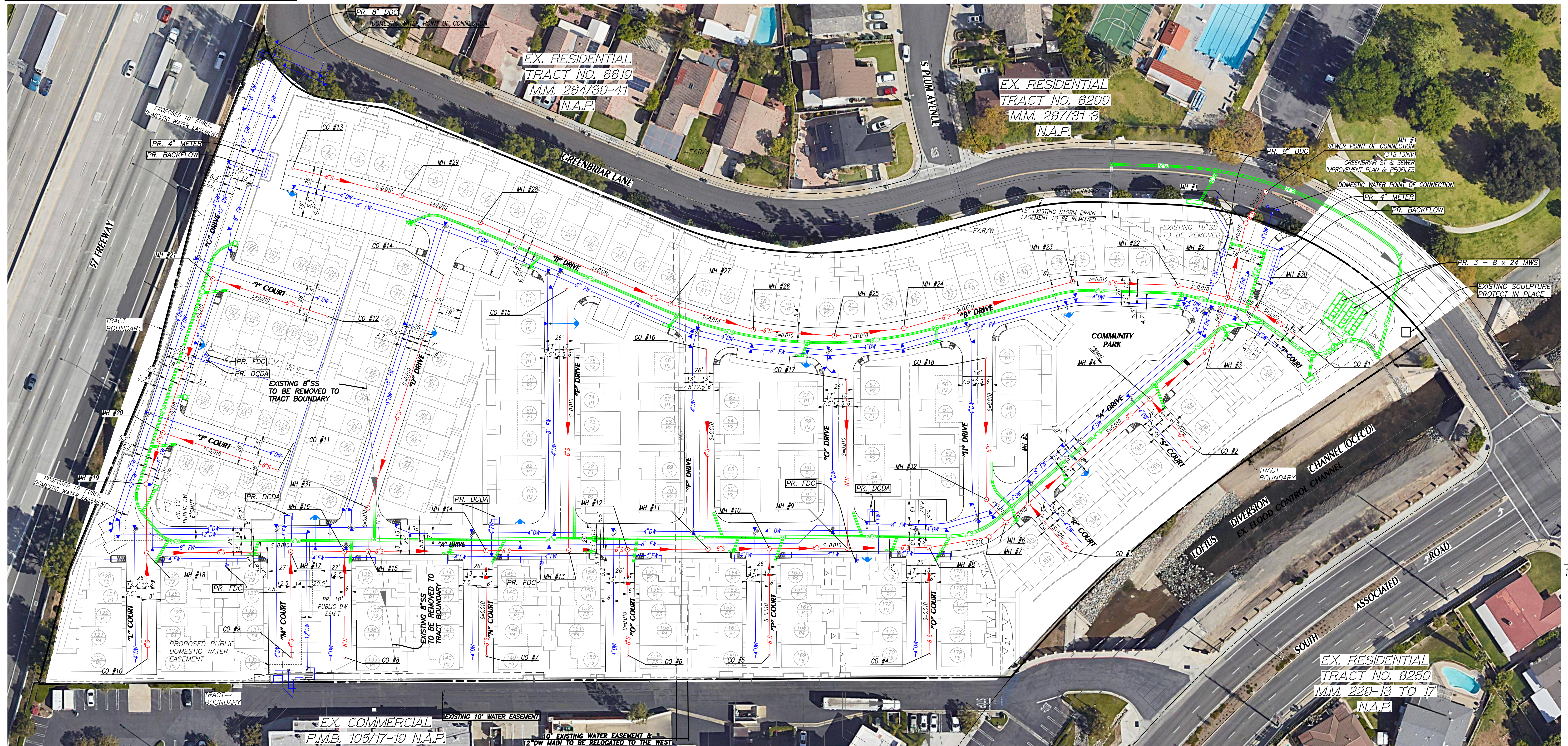
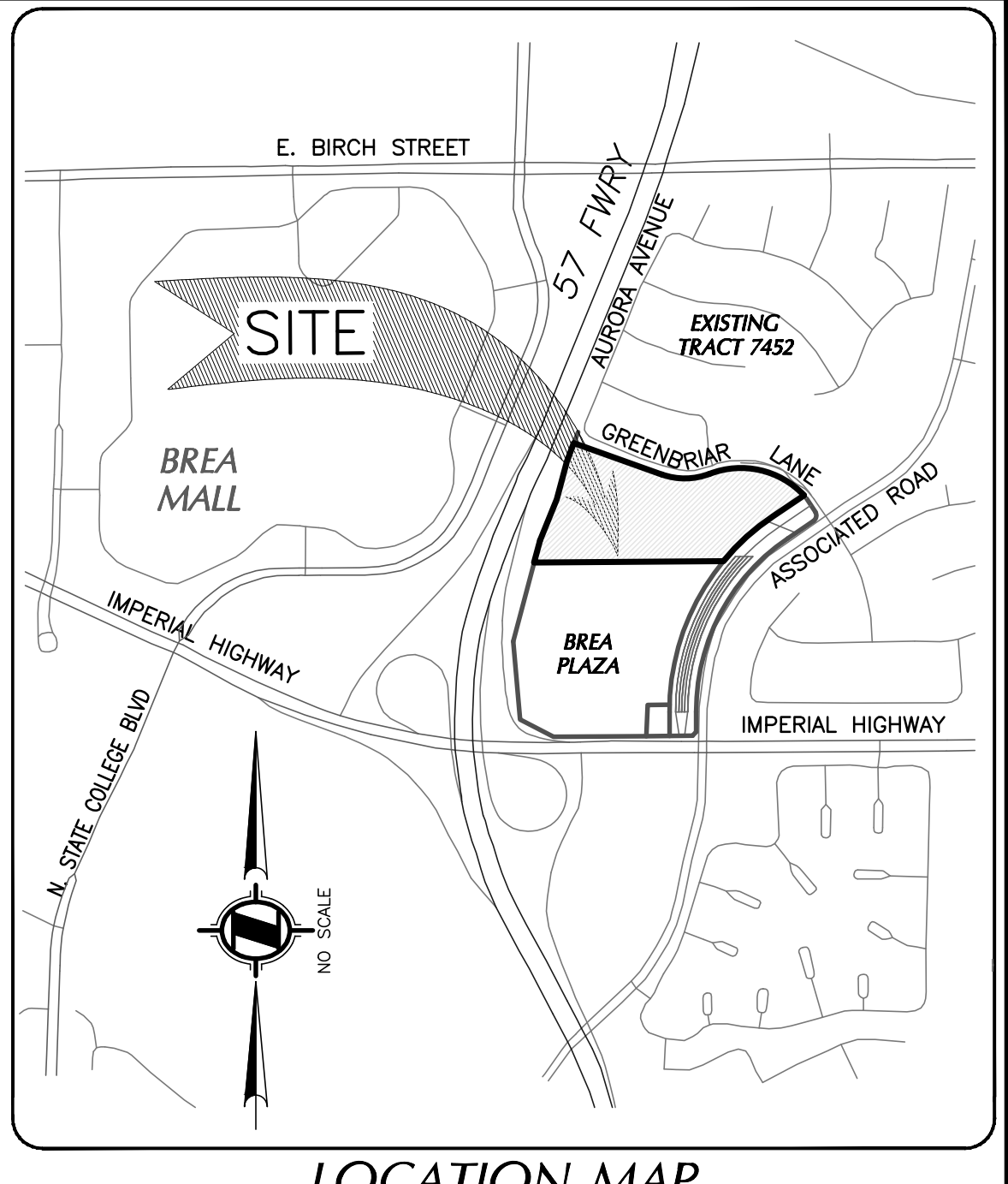
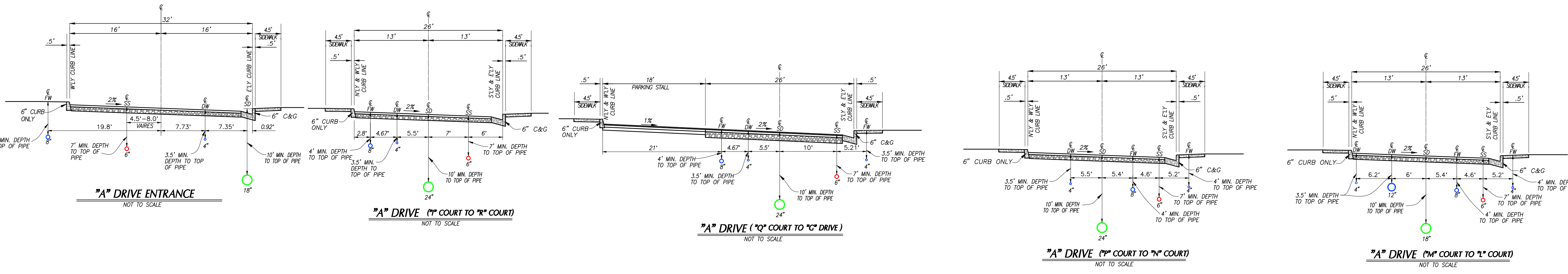
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DRAFTED BY: MR/TS			
CHECKED BY: SS			

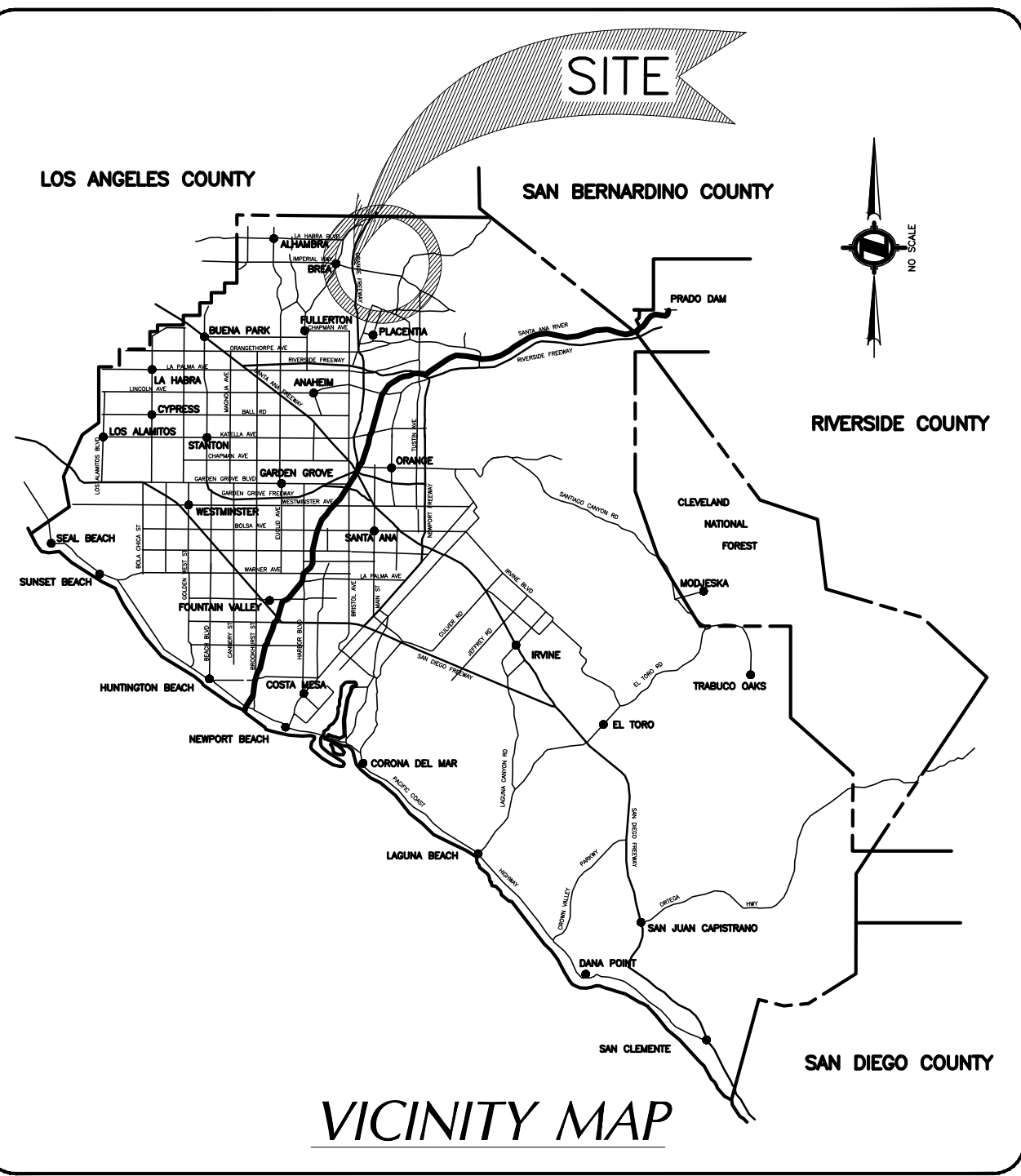


SELF-CERTIFICATION FROM A STATE LICENSED PROFESSIONAL ENGINEER OR THIRD-PARTY CERTIFICATIONS ARE REQUIRED OF ALL BMP'S CONSTRUCTED ON THIS PLAN AND ALL BMP'S SHALL BE CLEANED AND IN WORKING CONDITION AS PRESCRIBED BY THE MANUFACTURER TO OBTAIN CERTIFICATE OF OCCUPANCY FROM THE CITY OF BREA



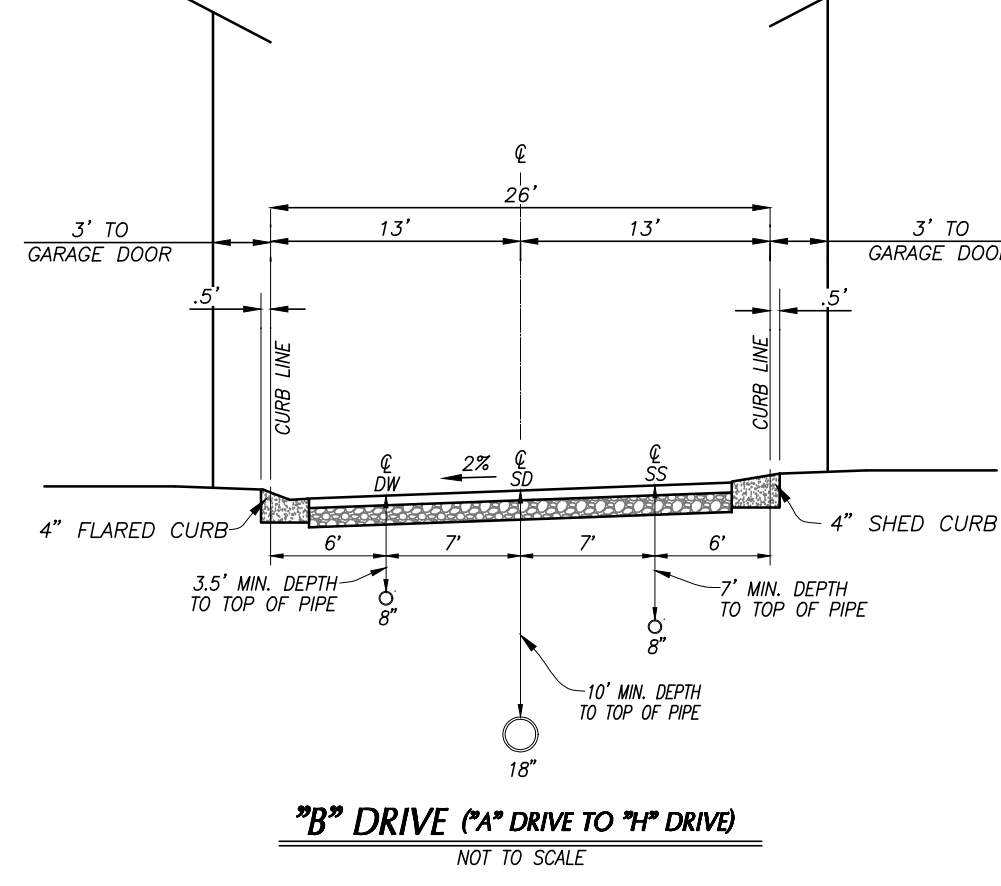
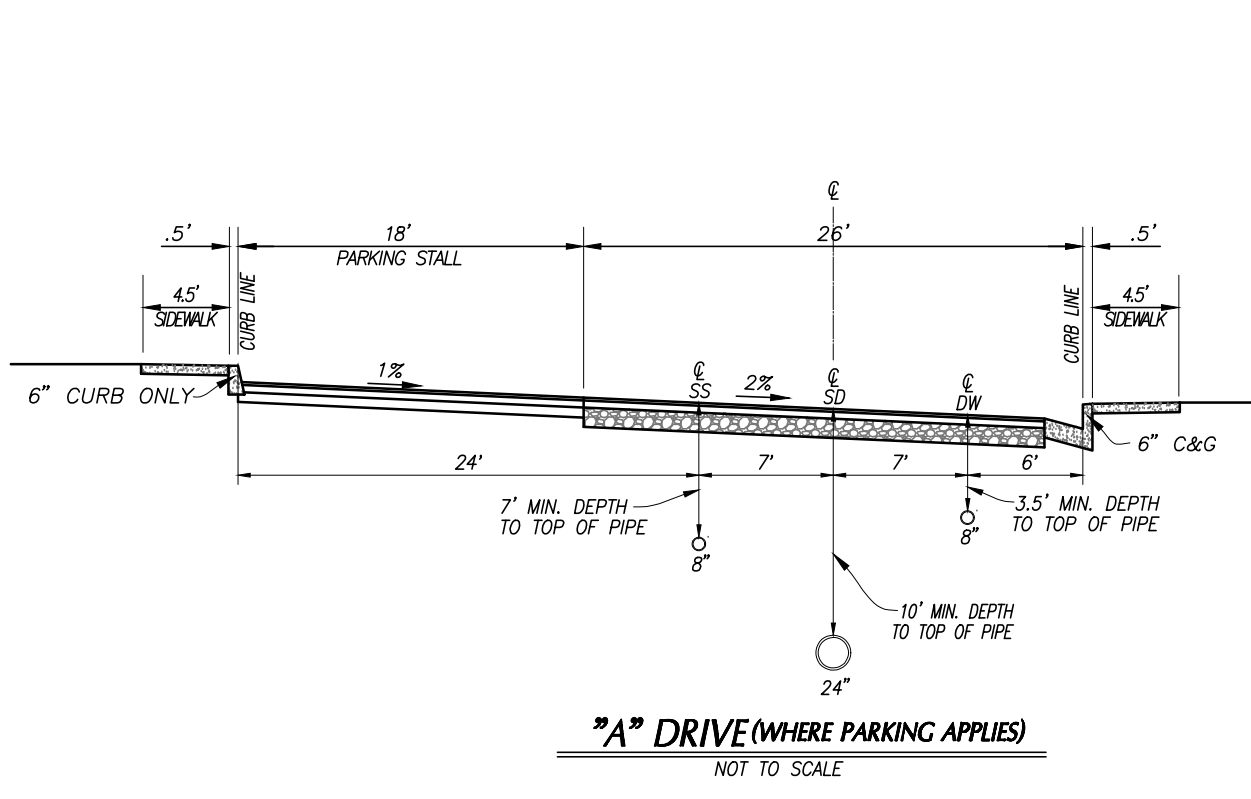
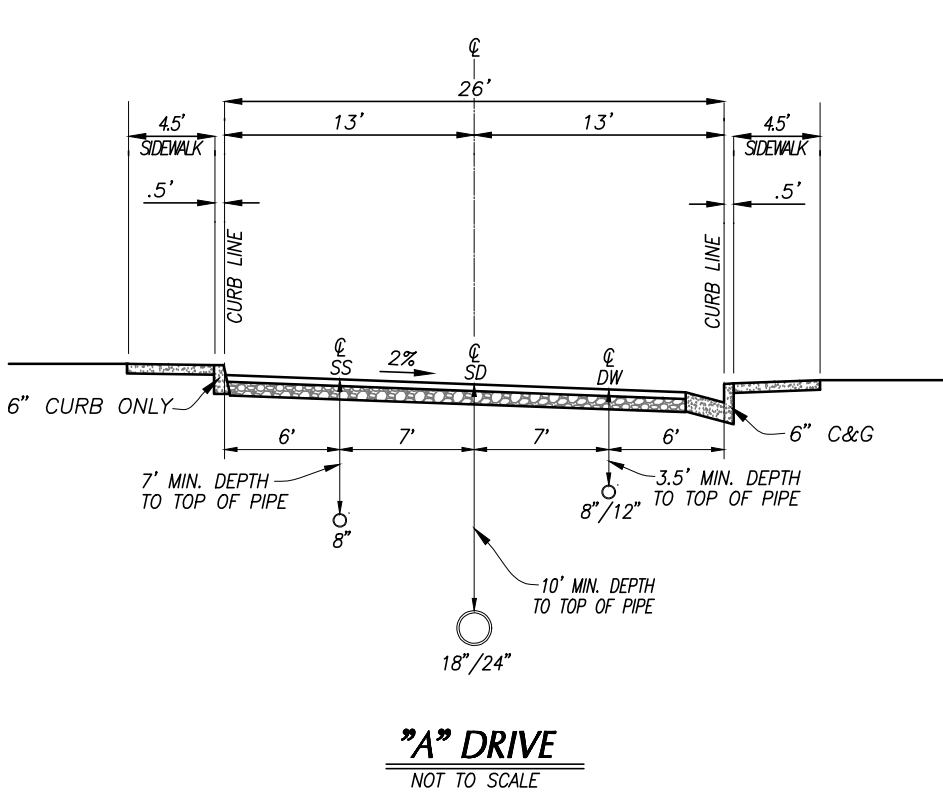
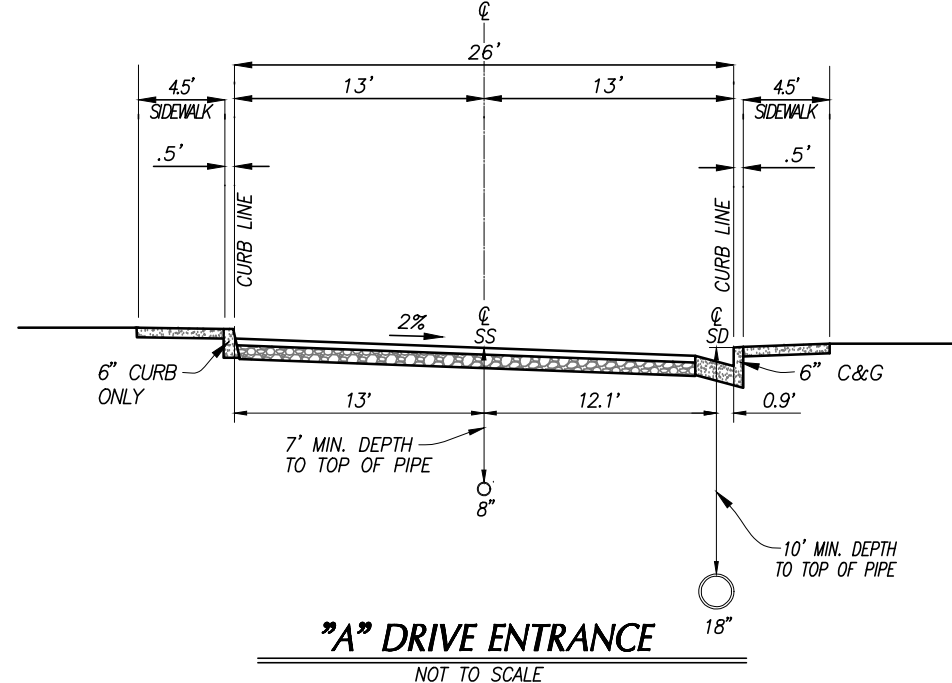
MASTER SEWER & WATER PLAN GREENBRIAR - BREA, CA





NOTE:

THE ADOPTED EDITION OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 24, PARTS 1 THROUGH 12, AND THE BREA MUNICIPAL CODE SHALL APPLY AT THE TIME THE ARCHITECTURAL PLANS ARE SUBMITTED FOR CONSTRUCTION PERMITS.

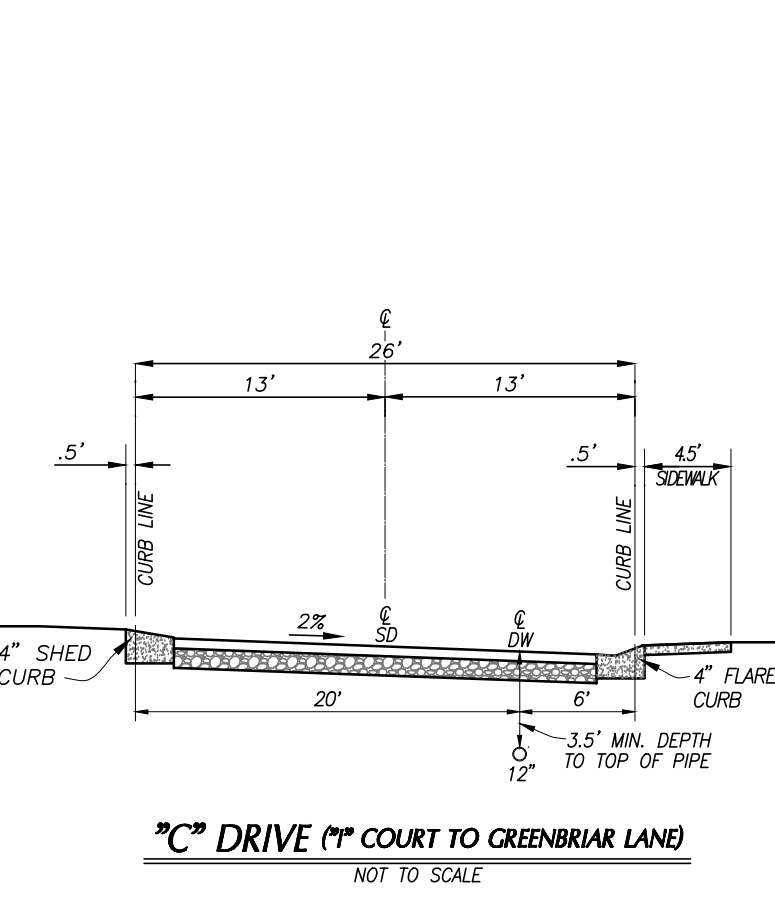
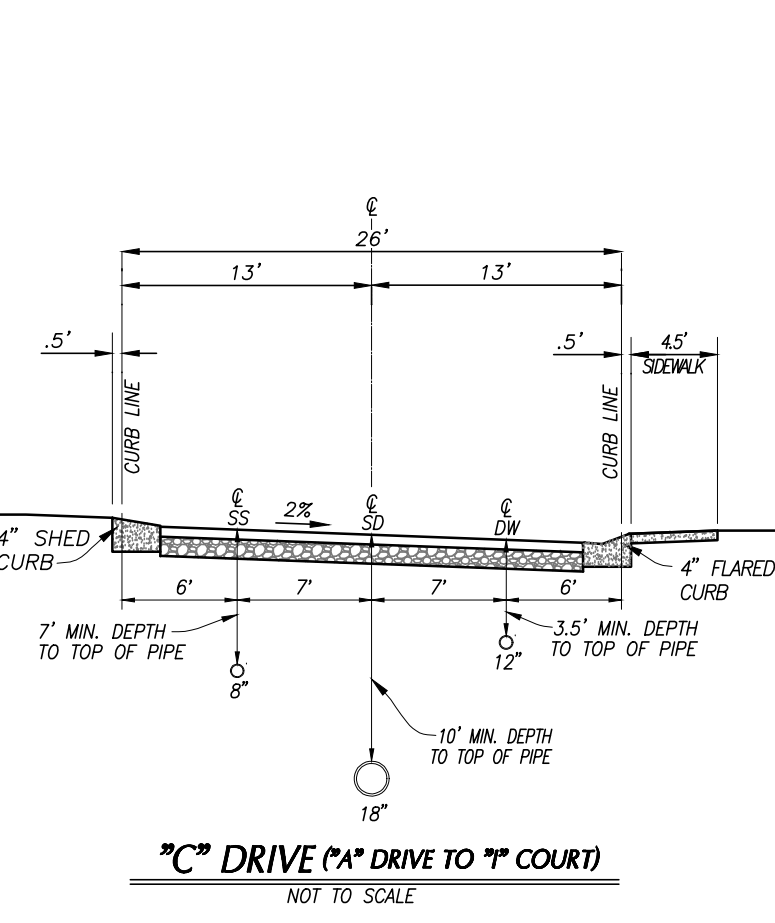
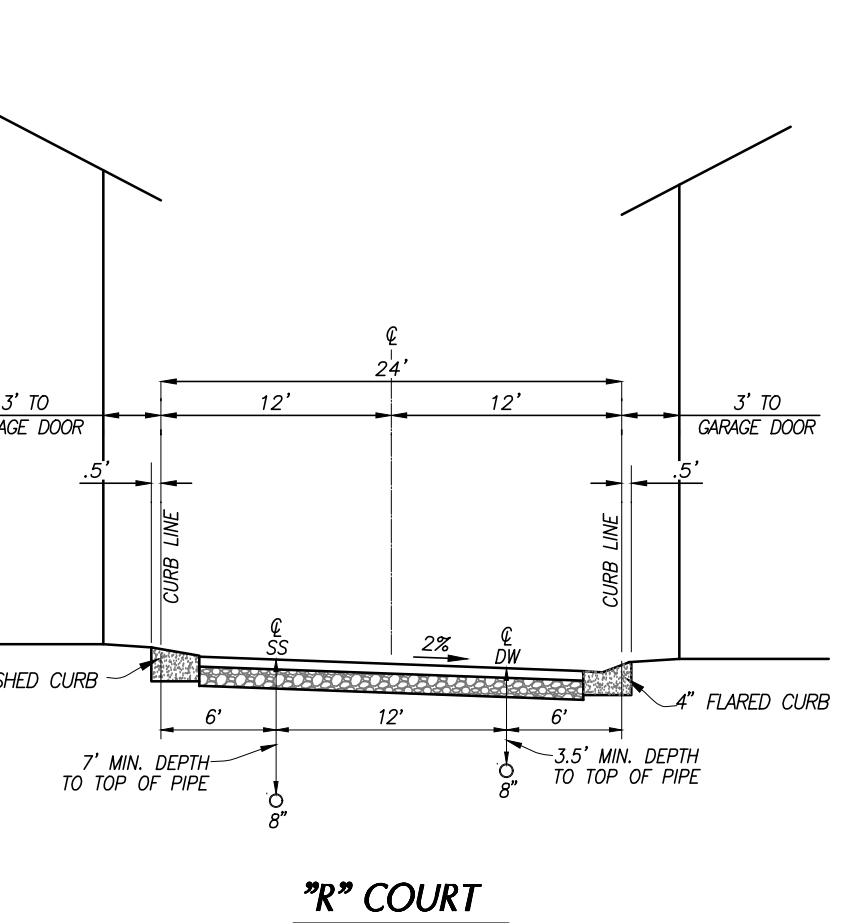
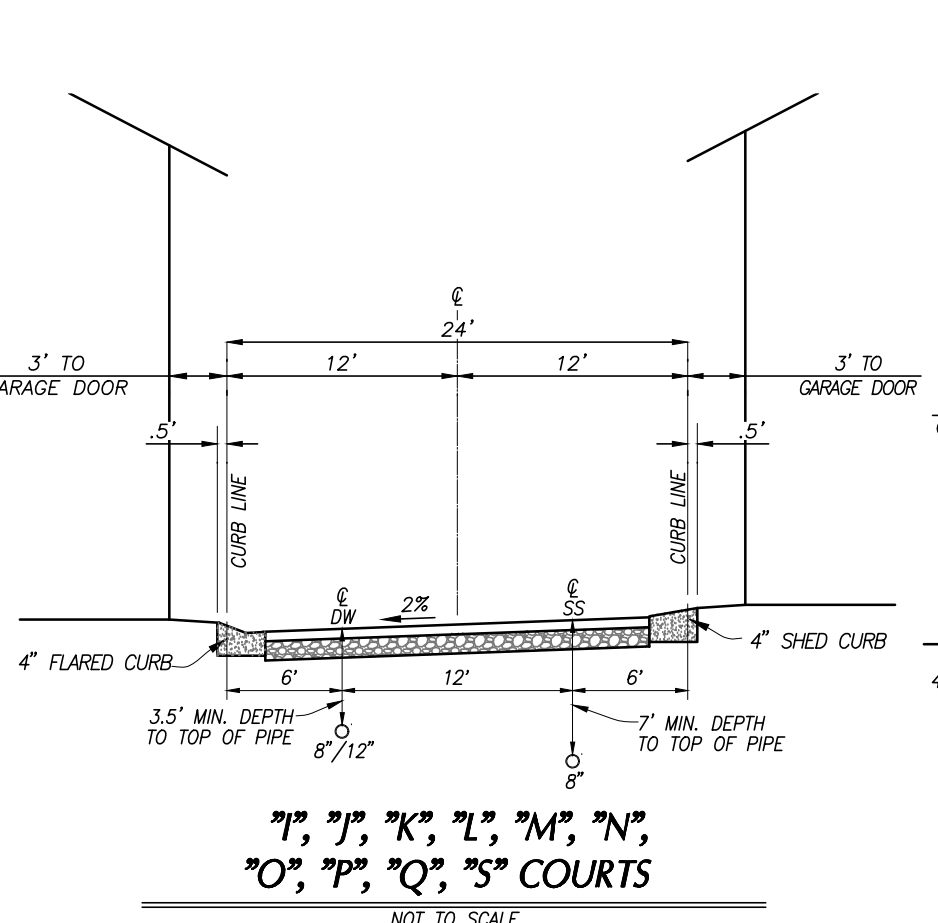
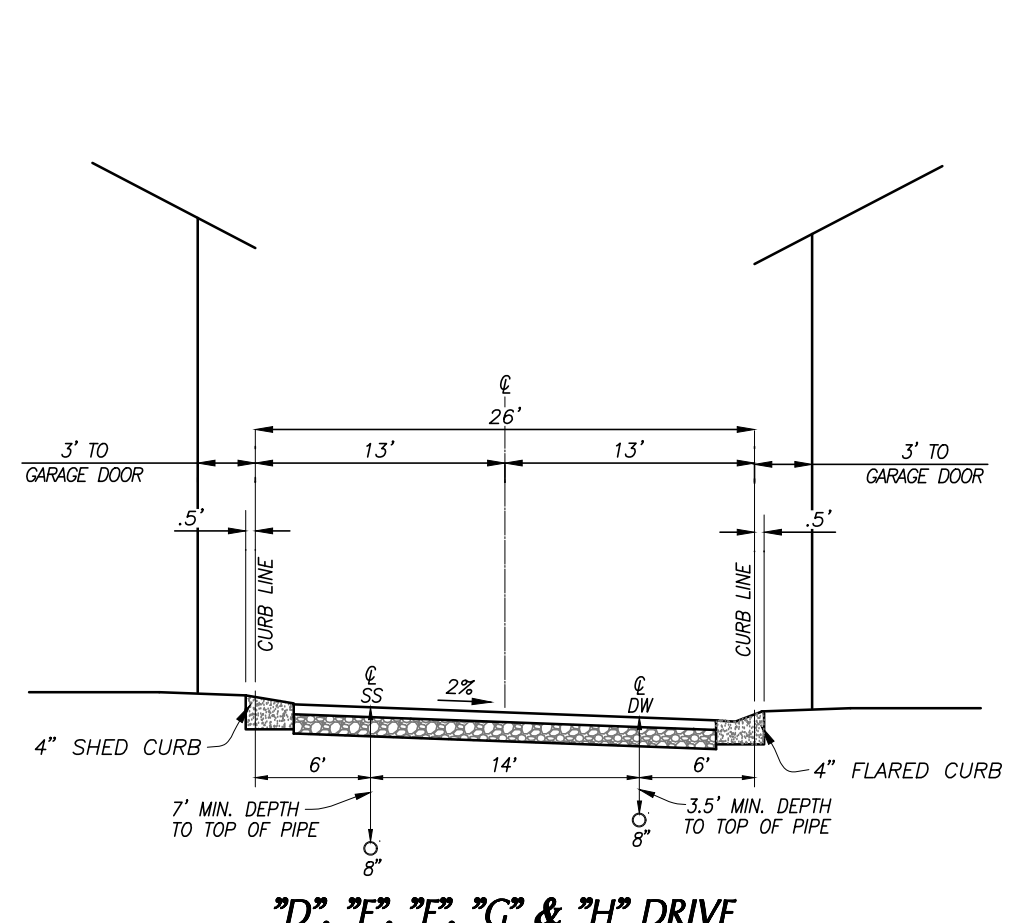
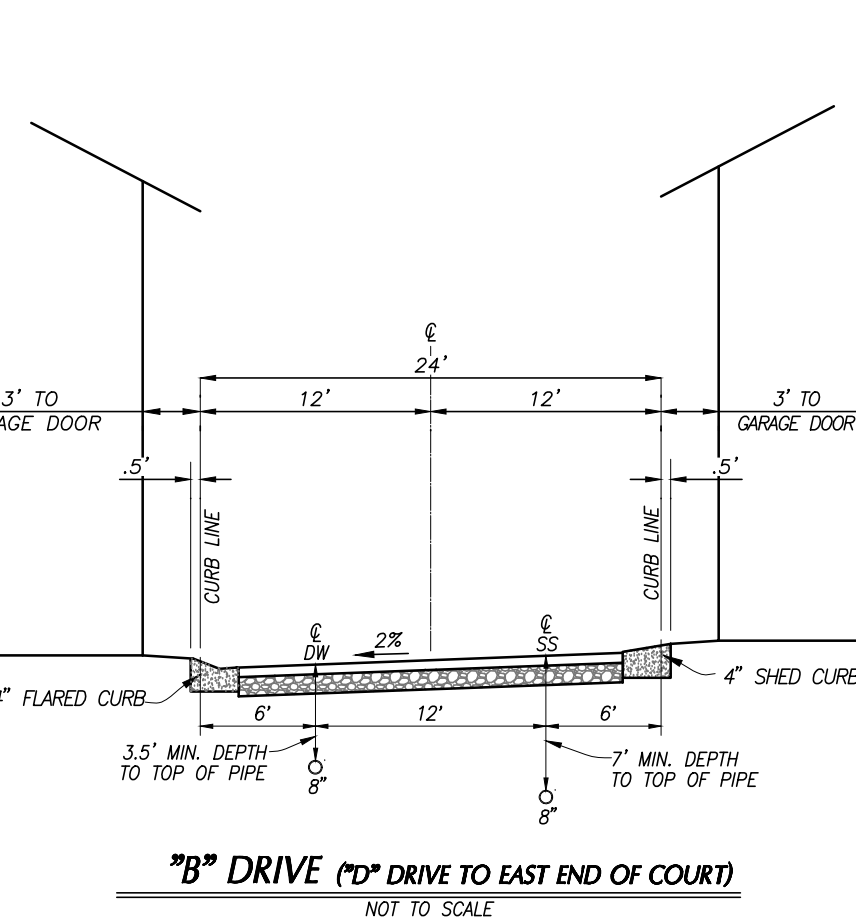
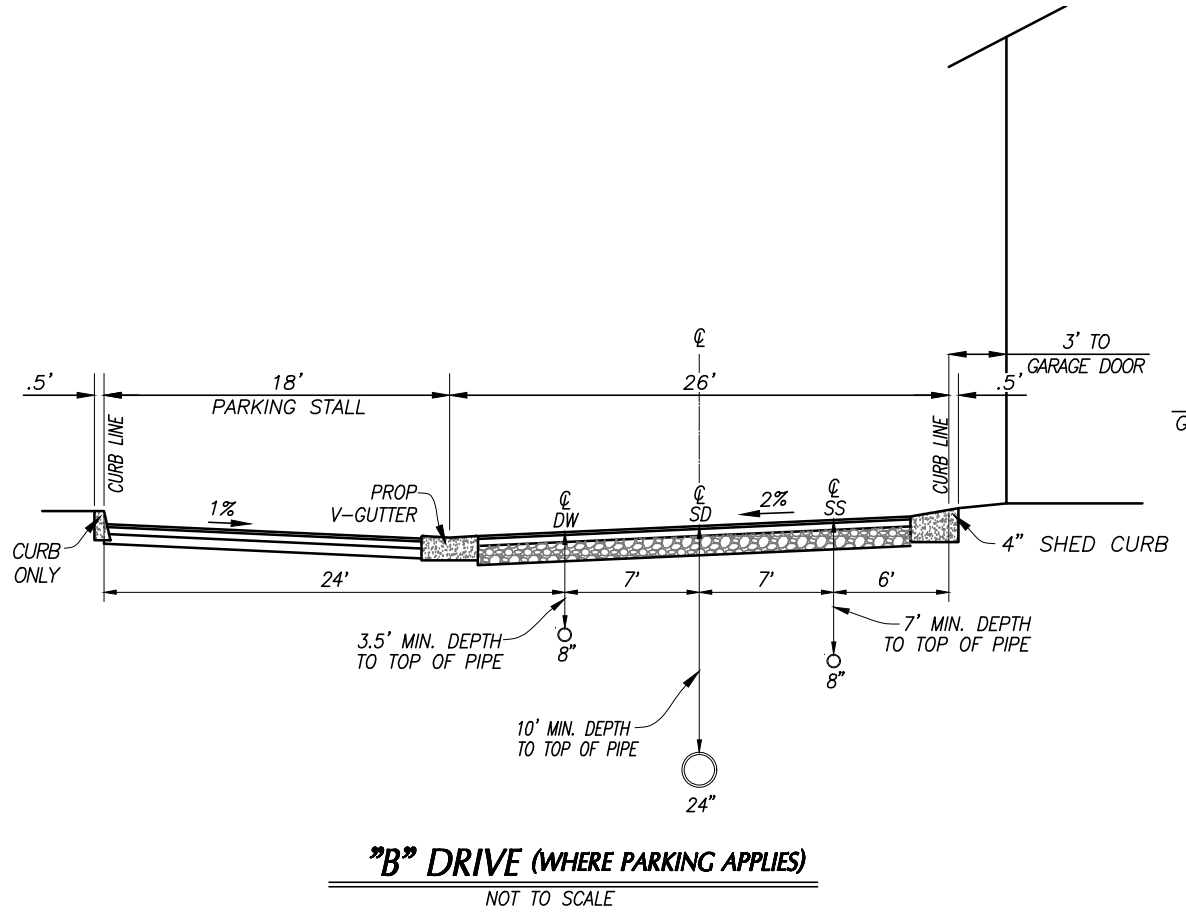
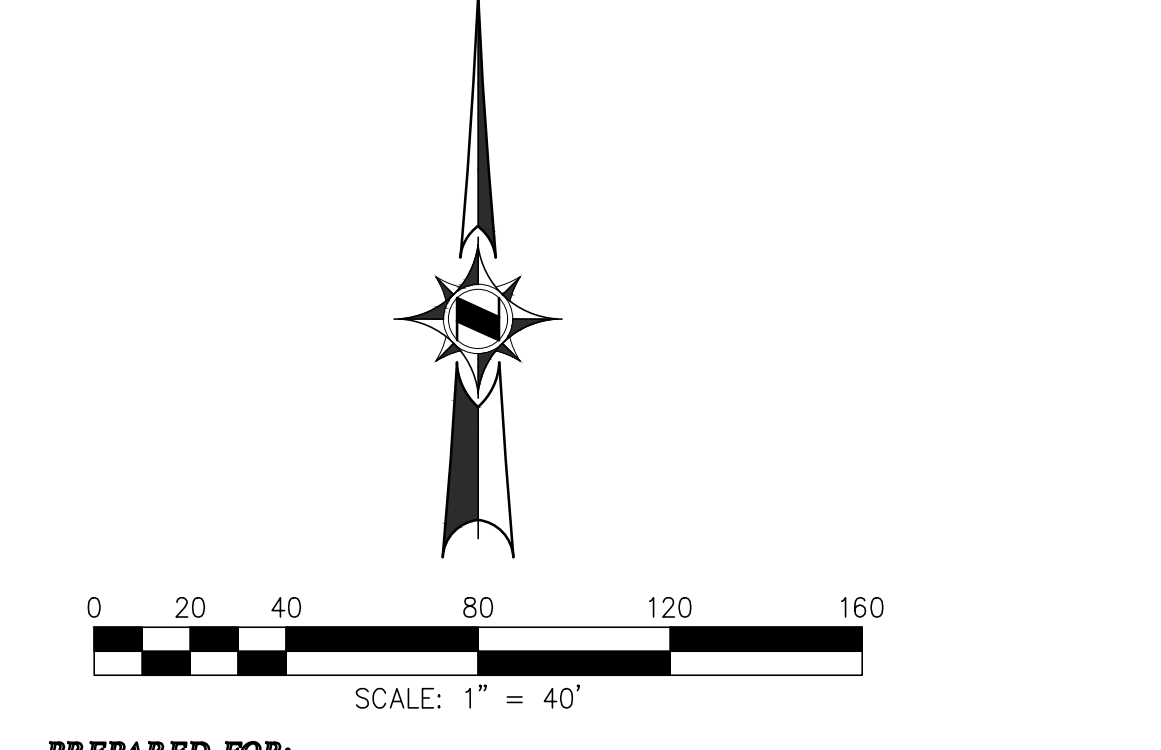
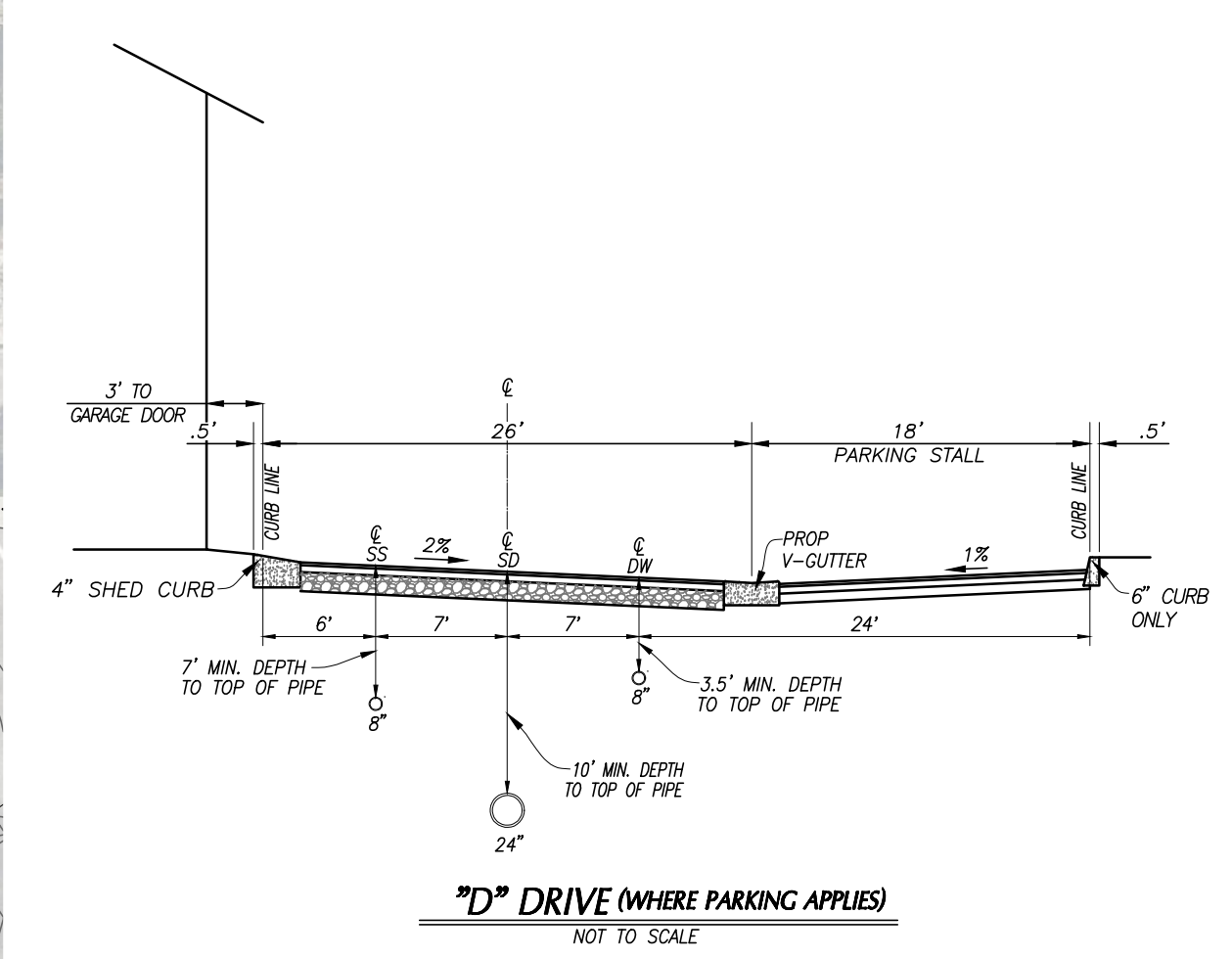
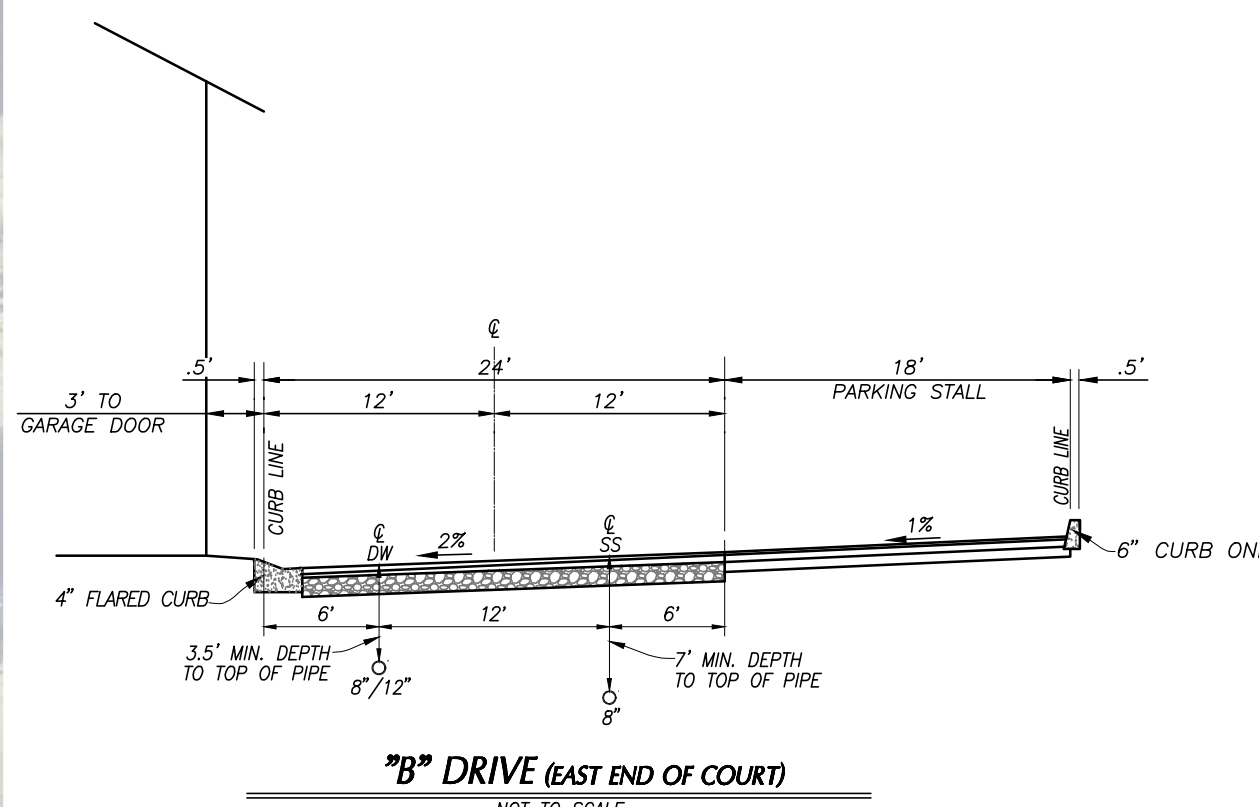
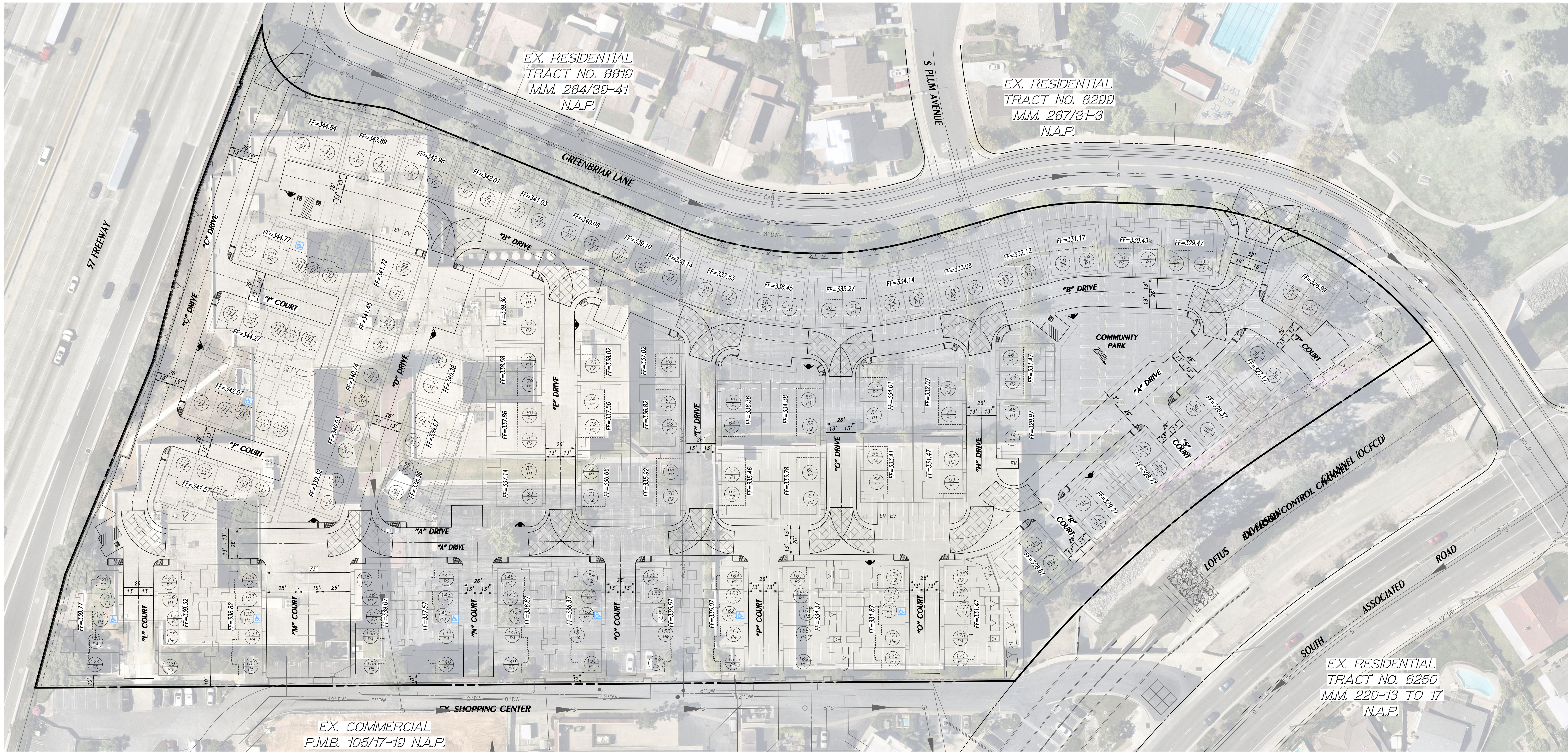
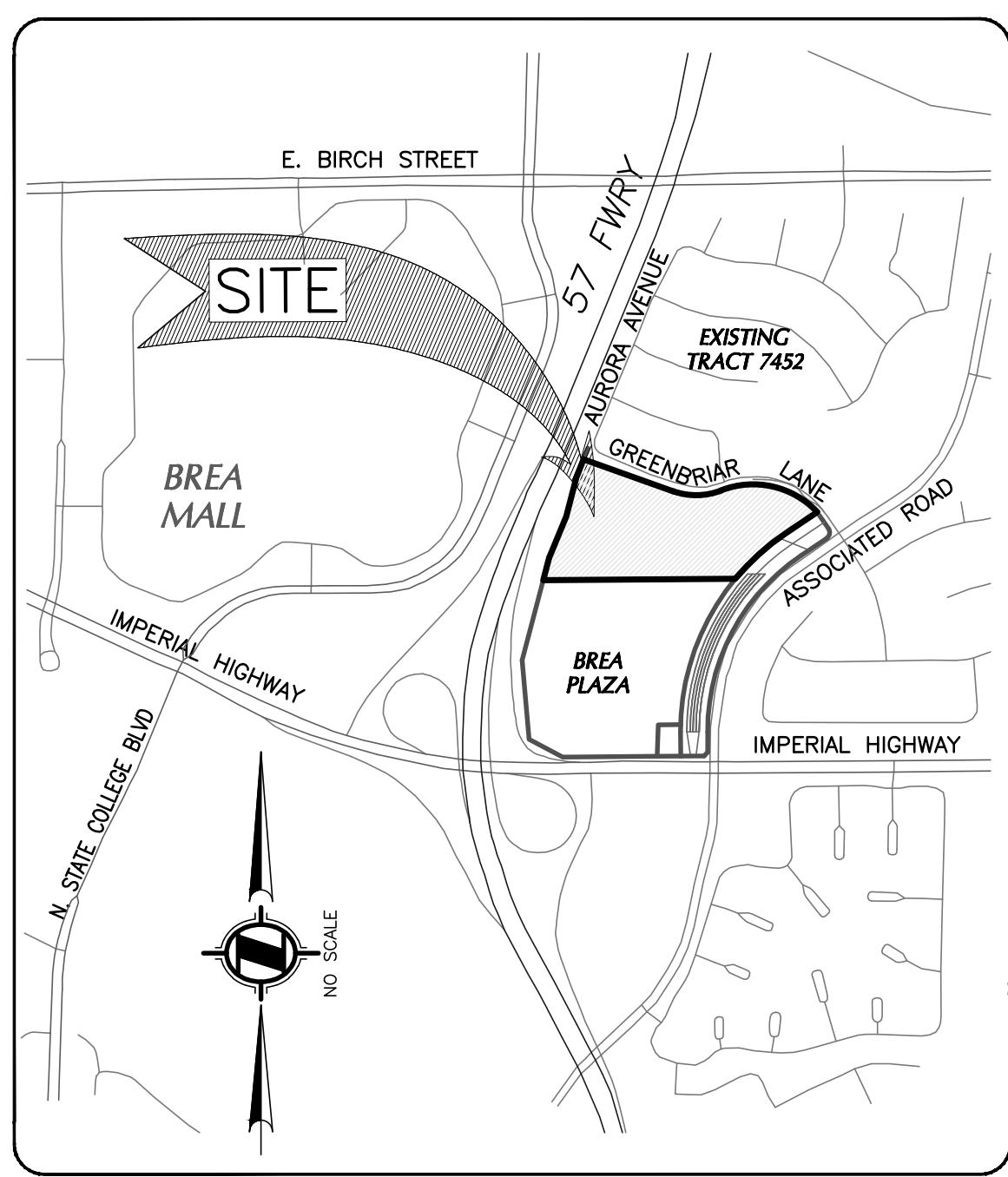


LEGEND

EXISTING RIGHT OF WAY
TRACT BOUNDARY

PROPOSED FIRE HYDRANT

FIRE TRUCK TURN PATH



VESTING TENTATIVE TRACT NO. 19394

FIRE ACCESS PLAN

GREENBRIAR - BREA, CA

SHEET 6 OF 8

