



**BREA PLAZA LIVING**  
**BREA, CA**



**BREA PLAZA LIVING**  
BREA, CA 92821

**ENTITLEMENT PACKAGE V3**



EXISTING BUILDING AREA			
TOTAL LOT SIZE		678,229.2 SF	
BUILDING AREA @ GROUND		152,181 SF	
BUILDING ALL LEVELS		158,691 SF	
EXISTING F.A.R.		158,691 /678,229.2=0.23	
EXISTING LOT COVERAGE		152,181/678,229.2 = 0.22	
NEW BUILDING AREA			
BUILDING AREA @ GROUND		180,063 SF	
BUILDING ALL LEVELS		320,762 SF	
PROPOSED F.A.R.		320,762 /678,229.2=0.47	
PROPOSED LOT COVERAGE		180,063/678,229.2 = 0.26	
PROPOSED BUILDING			
TOTAL BUILDING AREA		162,071 SF	
Building U	Eyebrow Beauty	715	
	Friar Tux	1,517	
	Bubbles Poke & Boba	756	2,988
Building C	Mothers's Market	13,006	13,006
Building V	Butchery	3,200	3,200
Building D	DXL	10,000	
	DSW	17,450	27,450
Building E	Starbucks	1,195	
	Sushi Club	1,435	
	Existing Tenant	12,000	
	CCM	3,620	
	Grand Salon 2nd Fl	6,510	24,760
Building G	Existing Tenant	9,177	9,177
Building W	Judy's Dog Grooming	1,090	
	Nail Salon	1,305	2,395
Building H	Total Wine	18,013	18,013
Building J	Chipotle	2,564	
	Fibo Kids Art	900	
	Joint	1,071	
	Jax Donuts	1,365	
	Dry Bar	1,608	7,508
Building K	Buca	5,000	5,000
Building L	FedEx	4,000	
	Panini Grill	1,604	
	Pho Ha	2,004	7,608
Building M	Creamistry	1,141	
	European Wax	1,259	
	Jared	6,000	8,400
Building O	Lucille's	11,829	11,829
Building P	Panera	4,135	
	BBQ Korean Chicken	1,200	
	Cal Fish Grill	2,900	
	Brea Mail Center	663	8,898
Building T	AT&T	4,700	
	CFA	3,759	8,459
EXISTING TOTAL SQUARE FEET		158,691	

RESIDENTIAL (4 LEVELS)				
	(T)	(T1)	(T2)	TOTAL
L01	-	-	-	-
L02	-	-	-	-
L03	5	12	13	30
L04	5	12	13	30
L05	6	12	13	31
L06	5	11	13	29
TOTAL	21	47	52	120
MIX	18%	39%	43%	

RESIDENTIAL UNIT MIX				
	AREA	MARKET RATE	AFFORABLE	# OF UNITS
T	455 SF	20	1	21
T1	755 SF	45	2	47
T2	836 SF	49	3	52
TOTAL		114	6	120

## PROJECT SCOPE

NEW FOUR STORY RESIDENTIAL BUILDING, AMENITIES AND TWO LEVELS OF PARKING WITH NEW LANDSCAPE.

## CODE AND PLANNING INFORMATION

EXISTING USE: OFFICE/ RETAIL (M, B)  
PROPOSED USE: RESIDENTIAL W/ PARKING STRUCTURE  
LOT AREA: 13.16 ACRES ( APN NOS. 319-391-01 & 319-391-04 )  
2.42 ACRES (OC FLOOD CONTROL DISTRICT LEASE FLOOD CHANNELS, APN NOS. 319-391-02 & 319-391-03)  
15.58 ACRES IN TOTAL FOR 4 PARCELS  
120 / 15.58 = 7.7 UNITS / ACRE  
77,101 SF  
0.47  
0.26  
MIXED-USE II  
68'-4" TOP OF PARAPET  
64'-4" TOP OF ROOF  
40' FROM PARKING STRUCTURE  
FRONT (ASSOCIATED RD.): 15'  
STREET SIDE (IMPERIAL HIGHWAY): 15'  
SIDE NORTH PROPERTY LINE: 10'  
REAR WEST PROPERTY LINE: 20' (10' Alternate Means)  
162,071 SF (PARKING STRUCTURE + APARTMENT)  
TYPE-IA & TYPE IIIA  
YES (FULLY SPRINKLERED)  
YES  
R-2, S-2, B

RESIDENTIAL DENSITY  
CONSTRUCTION AREA  
FAR\*:  
LOT COVERAGE\*\*:  
ZONING:  
PROPOSED BLDG HEIGHT

REQUIRED SETBACKS:

PROPOSED BLDG. AREA:  
CONSTRUCTION TYPE:  
FIRE SPRINKLER:  
FIRE ALARM:  
OCCUPANCY:

## PROJECT DATA

PROPERTY ADDRESS: 1639 E. IMPERIAL HWY., BREA, CA 92821  
LEGAL DESCRIPTION: APN: LOT AREA: 319-391-01, 319-391-04  
OCFCD LEASE AREA: 319-391-02,319-391-03

## ALLOWABLE AREA TABULATION

BUILDING (TYPE III-A CONSTRUCTION) PER TABLE 506.2.2							
LEVEL-3 THROUGH LEVEL 6 UNDER TYPE-III-A CONSTRUCTION							
OCC. GROUP	S-2	R-2	B	TOTAL	ALLOWABLE	RATIO	TOTAL
LEVEL 6		27,640	1,402	29,042	29,042/86,160	0.34	
LEVEL 5		29,938		29,938	29,938/86,160	0.35	
LEVEL 4		29,820		29,820	29,820/86,160	0.35	
LEVEL 3		29,820		29,820	29,820/86,160	0.35	
3-HOUR HORIZONTAL SEPARATION (LEVEL-1 & LEVEL-2 TYPE-IA)							
LEVEL 2	27,882	N/A	N/A	27,882			
LEVEL 1	11,942	N/A	3,627	15,569			
ACTUAL S2				43,451			
ACTUAL R2				118,620	< 172,320	OK	
TOTAL S2+R2				162,071			
ALLOWABLE	UNLIMIT				172,320	2.00	
SUMMATION	0.34 + 0.35 + 0.35 + 0.35 = 1.39				1.39 < 2	OK	
SUM OF THE RATIOS IS MET, THE INDIVIDUAL SUM FOR EACH FLOOR DOES NOT EXCEED 1.0 AND THE SUMMATION OF ALL FLOORS DOES NOT EXCEED 2							

PARKING STRUCTURE IS 2-STORIES BUILDING WITH TYPE-IA CONSTRUCTION AND UNLIMITED ALLOWABLE AREA AND DEFINED AS A SEPARATE & DISTINCT BUILDING FROM APARTMENT LEVEL-3 THROUGH LEVEL-6 WITH TYPE -IIIA CONSTRUCTION ABOVE.

TOTAL R2 RATIO IS LESS THAN 1 PER LEVEL AND LESS THAN 2 PER TOTAL BUILDING THEREFORE:"OK"

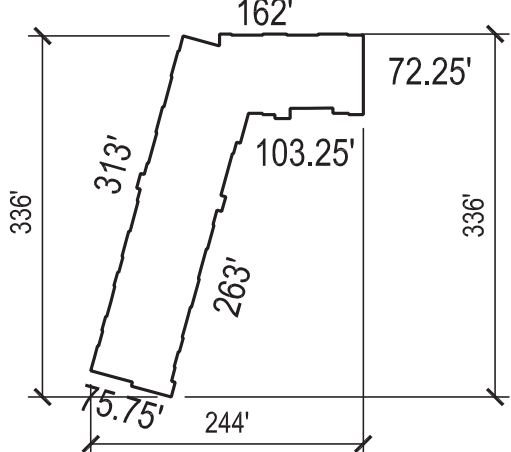
BASIC ALLOWABLE AREA PER TABLE 506.2 FOR TYPE III-A  
NS of R-2 = 24,000 SF NS of S-2 = UNLIMITED  
NS of B = 28,500 SF  
WITH AREA INCREASE AND WITHOUT HEIGHT INCREASE AND WITHOUT STORY INCREASE

ALLOWABLE AREA = (A<sub>t</sub> + (NS X I<sub>f</sub>) ) X S<sub>a</sub>  
S<sub>a</sub> = 1 For R-2 OCCUPANCY and I<sub>f</sub> = 0.59  
ALLOWABLE AREA = A<sub>t</sub> x 2 = 2A<sub>t</sub> (MAX PER BUILDING)  
F1 = 313', F2 = 179', F3 = 335.3', AND P= 989FT  
FRONTAGE F1+F2+F3 = 827.3 FT AND F/P = 827.3 / 989.25 = 0.84  
I<sub>f</sub> = (0.84 - 0.25) 30/30 = (0.84 - 0.25) \* 1 = 0.59  
ALLOWABLE AREA = (A<sub>t</sub> + (NS X I<sub>f</sub>) ) X S<sub>a</sub>

AREA GROUP R-2 = (72,000 + (24,000 X 0.59)) \* 1 = 86,160 SF PER LEVEL AND 172,320 (EACH BLDG)  
ALLOWABLE BLDG HEIGHT UNDER R-2 (SPRINKLER) = 65 FT WITH AREA INCREASE (CBC 504.3) (OK)  
ALLOWABLE BLDG HEIGHT UNDER S-2 (SPRINKLER) = UNLIMITED (OK)

ALLOWABLE STORIES (R-2) SPRINKLER = 4 STORIES WITH AREA INCREASE (CBC 504.4) (OK)  
ALLOWABLE STORIES (S-2) SPRINKLER = UNLIMITED (OK)

NOTE:  
1. CONSTRUCTION TYPE APPLIES FOR NON-SEPARATED MIXED-USE  
2. OCCUPANCY SEPARATION IS REQUIRED 1-HR FIRE BARRIER PER TABLE 508.4 BETWEEN GROUP S-2 AND B FOR SPRINKLER BUILDING  
3. FIRE WALL IS NOT REQUIRED FOR R-2 (UNDER ALLOWABLE AREA)



## PROJECT NARRATIVES

AO PROPOSED CONTEMPORARY DESIGN AS NEW TRANSFORMATION OF THIS NEW DEVELOPMENT AND UNDER PREVIOUS ENTITLEMENT. PROJECT INCLUDES (4) STORIES APARTMENT WITH TOTAL AREA OF 118,620 SF ON TOP OF (2) STORIES PARKING STRUCTURE WITH TOTAL AREA OF 43,451 SF. THE ENTIRE PROJECT IS 100% PRIVATE FUNDING. THE PARKING STRUCTURE INCLUDES A MAIN LOBBY AND SUPPORTING OFFICE, MAIL ROOM AND BIKE ROOM LOCATED AT THE GROUND LEVEL. THE APARTMENTS INCLUDE THREE DIFFERENT UNIT TYPES SPREADING BETWEEN LEVEL 3 THROUGH LEVEL 6: STUDIO, ONE BEDROOM AND TWO BEDROOMS. THE PROJECT INCLUDES A FITNESS CENTER, COMMUNITY ROOM AND AN OUTDOOR TERRACE LOCATED AT THE 6TH LEVEL. OTHER SUPPORTING MECHANICAL ROOMS AND ELECTRICAL ROOMS SPREAD OUT IN VARIOUS LEVELS.

GENERAL PLAN AMENDMENT AND A ZONE CHANGE TO AMEND THE PROJECT SITE'S GENERAL PLAN AND ZONING DESIGNATION FROM GENERAL COMMERCIAL TO MIXED USE II, AND CONSTRUCT A NEW 6-STORY, 120-UNITS APARTMENT BUILDING AT THE NORTHWEST CORNER OF THE PROPERTY. THE PROJECT ALSO PROPOSES TO UTILIZE STATE DENSITY BONUS LAW PROVISIONS RELATED TO WAIVERS.

THE PROPOSED PROJECT ENTITLEMENT INCLUDES THE FOLLOWING:  
○ **GENERAL PLAN AMENDMENT (GPA) NO. 2024-01**  
AMENDMENT OF THE GENERAL PLAN LAND USE DESIGNATION FROM GENERAL COMMERCIAL TO MIXED-USE II  
○ **ZONE CHANGE (ZC) NO. 2024-01**  
AMENDMENT OF THE ZONING DESIGNATION FROM GENERAL COMMERCIAL (PRECISE DEVELOPMENT OVERLAY) TO MIXED-USE II (MU-II)  
○ **DENSITY BONUS (DB) NO. 2024-01**  
UTILIZATION OF AVAILABLE CONCESSIONS/INCENTIVES AND WAIVERS BY PROVIDING 6 AFFORDABLE UNITS  
○ **PRECISE DEVELOPMENT (PD) NO. 2024-01**  
120 RESIDENTIAL HOUSING DEVELOPMENT ON TOP OF A TWO-STORY PARKING STRUCTURE;AND DEMOLITION OF AN EXISTING 7,500 SQUARE FOOT COMMERCIAL BUILDING (BUILDING K) AND RECONSTRUCTION OF A 5,000 SQUARE FOOT BUILDING.  
○ **CONDITIONAL USE PERMIT (CUP) NO. 2024-03 & 2024-04**  
MULTI-FAMILY DWELLING LAND USE  
AN EXCEPTION OR MODIFICATION TO OFF-STREET PARKING REQUIREMENTS FOR THE COMMERCIAL COMPONENT OF THE SHOPPING CENTER VIA SHARED PARKING  
○ **SIGN PROGRAM SUBMITTAL (CUP) NO.2025-05**

## BLDG ELEMENTS PER TABLE 601

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)			
BUILDING ELEMENTS	TYPE III-A	TYPE I-A	
PRIMARY STRUCTURAL FRAME	1	3	
BEARING WALL EXTERIOR	2	3	
BEARING WALL INTERIOR	1	3	
NONBEARING WALLS AND PARTITIONS EXTERIOR	PER TALBE 705.5	PER TALBE 705.5	
NONBEARING WALLS AND PARTITIONS INTERIOR	0	0	
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	1	2	
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	1	1 1/2	

## BLDG ELEMENTS PER TABLE 705.5

FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE PER TABLE 705.5				
FIRE SEPARATION DISTANCE	TYPE OF CONSTRUCTION	OCC. GROUPS S-2, B	OCC. GROUP R-2 REQUIRED	OCC. GROUP R-2 PROVIDED
FIRE SEPARATION DISTANCE LEVEL 1 TO LEVEL 5				EXTERIOR BEARING
10' ≤ NORTH WALL < 30'	III-A over I-A	1	1	2
EAST WALL > 30'	III-A over I-A	0	0	2
SOUTH WALL > 30'	III-A over I-A	0	0	2
WEST WALL > 30'	III-A over I-A	0	0	2

## PARKING DATA & CALGREEN

PARKING TABULATION PER 120 APARTMENT UNITS = REQUIRED 146 PARKING					
PROPOSED PARKING TABULATION	COMPACT	STANDARD	SUBTOTAL	STANDARD ACCESSIBLE	VAN ACCESS.
PARKING STRUCTURE	3	92	95		
SURFACE PARKING	21	30	51		
REQUIRED ACCESSIBLE 2% PARKING				2	1
REQUIRED ACCESSIBLE EV					3
PROVIDED ACCESSIBLE PARKING					3
PROVIDED ACCESSIBLE EV					3
PROVIDED ACCESSIBLE (PARK+EV)					6
PROVIDED ACCESSIBLE (PARK+EV)	24	122	146		
EV CHARGES PER CALGREEN 2022	REQUIRED	PROVIDED	TOTAL STALLS = 146		
EV CAPABLE NOT REQUIRED (NEW)	0	0	EV RACEWAY - EV CAPABLE (EVCAP) = NOT REQUIRED		
STANDARD EV READY 40%	59	60	EV CHARGING RECEPTACLES 40% (EVR) = 59 (EVR) = 60 (PROVIDED)		
STANDARD EV CHARGERS 10%	13	13	EV READY PARK SPACES (EVC) = 15 (EVC) = 16 (PROVIDED)		
AMBULATORY EV CHARGERS	0	1	<b>DENSITY BONUS PARKING REQUIREMENT</b> STUDIO / 1B =68X1= 68 PARKING REQUIRED B =52X1.5 = 78 PARKING REQUIRED TOTAL: 146 PARKING REQUIRED		
STANDARD ACC. EV CHARGERS	1	1			
VAN ACC. EV CHARGERS	1	1			
TOTAL EV CHARGES	74	76			

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L14	PLANTING IMAGERY

**NOTE:** PLEASE NOTE THAT THE SIGNAGE SUBMITTAL FOR THE PROJECT WILL BE DEFERRED TO A LATER DATE, PENDING FURTHER COORDINATION AND APPROVAL.

<b>CLIENT:</b>	<b>CIVIL:</b>
BOSC REALTY ADVISORS 888 W. BIG BEAVER ROAD, STE. 200 TROY, MI 48084	CA ENGINEERING 13821 NEWPORT AVE., SUITE 110 TUSTIN, CA 92780

CONTACT: WAAD J. NADHIR EMAIL: WNAHDIR@BOSC.COM	CONTACT: FRED CORNWELL TEL: 949-724-9480 EMAIL: FCORNWELL@CA-ENG.NET
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<b>ARCHITECT:</b>	<b>LANDSCAPE ARCHITECT:</b>
AO ARCHITECTS 144 N ORANGE STREET ORANGE, CA 92866	AO ARCHITECTS 144 N ORANGE STREET ORANGE, CA 92866

CONTACT: Bruce Greenfield, Partner LLP TEL : 714-639-9860 EMAIL: bruceg@aoarchitects.com	CONTACT: Diego Alessi, Principal LLP TEL : 714-639-9860 EMAIL: diegoa@aoarchitects.com
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## BREA PLAZA LIVING

BREA, CA 92821





01

BUILDINGS E & G



02

BUILDINGS E & G



03

BUILDING E



04

BUILDING E



05

BUILDING E



06

BUILDING G



07

PROPOSED CONSTRUCTION AREA



08

PROPOSED CONSTRUCTION AREA



KEY PLAN



BUILDING D



BUILDINGS C&V



BUILDING P



BUILDING K



BUILDING K



BUILDINGS L&M



BUILDING O



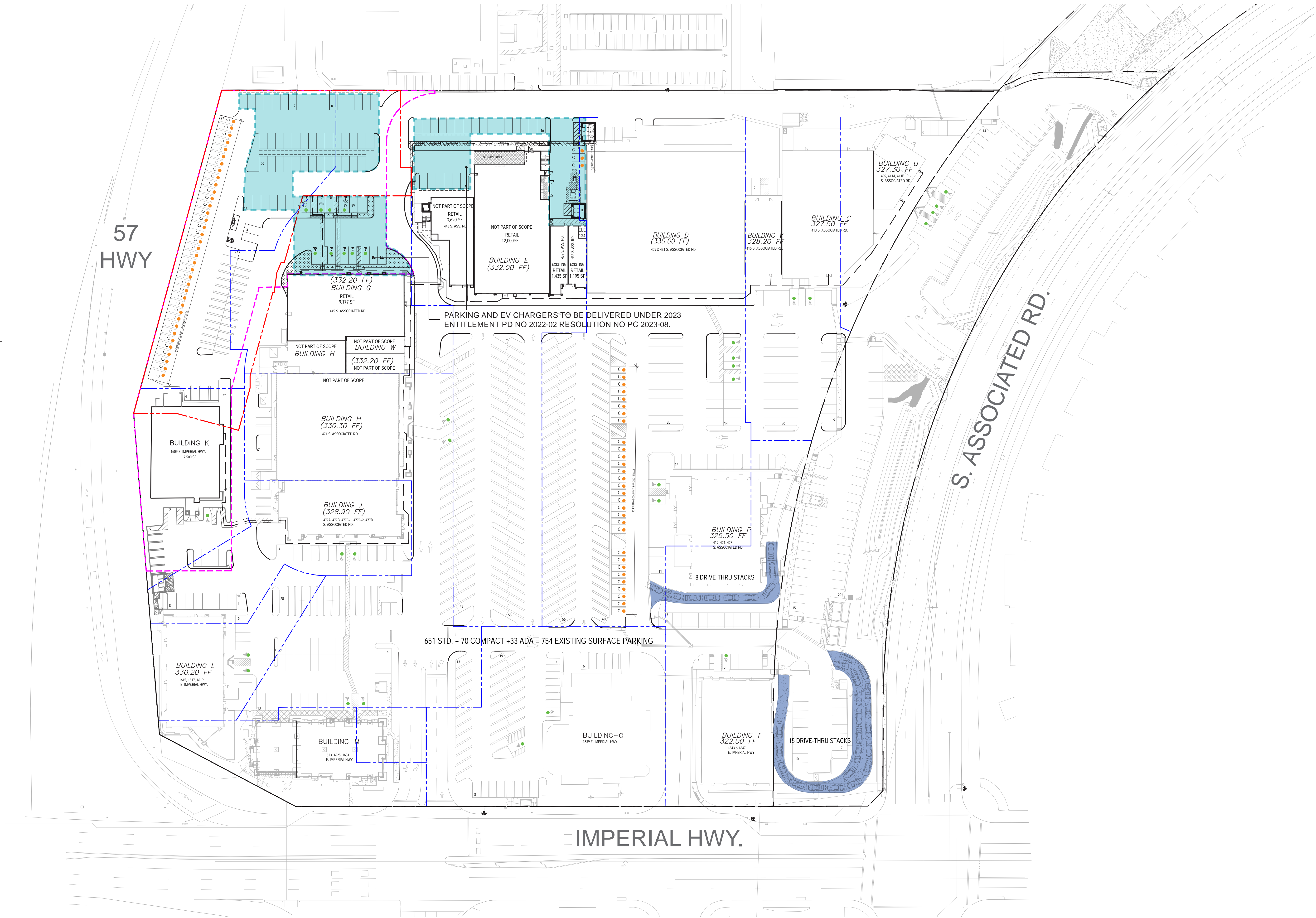
BUILDING T



EXISTING PARKING COUNTS	
STANDARD	651
COMPACT	70
ADA	33
<b>SURFACE PARKING</b>	<b>754</b>
QUEUING	23
<b>TOTAL</b>	<b>777</b>

\*All parking spaces would be comply with BCC 20.08.040.C.2.  
Compact Stalls shall be 8'x16' min.

- EXISTING LOT LINES
- PROPOSED CONSTRUCTION AREA
- PROPOSED PROPERTY LOT LINES
- COMPACT STALLS
- ADA STALLS
- DRIVE THROUGH STACKING



PARKING TABLE			
Structured Parking			
1st Floor	53		
2nd Floor	42	95	
Surface Parking	671	671	
Drive Thru Stacking			
CFA	15		
Panera	8	23	
TOTAL PARKING		789	

PROPOSED PARKING COUNTS

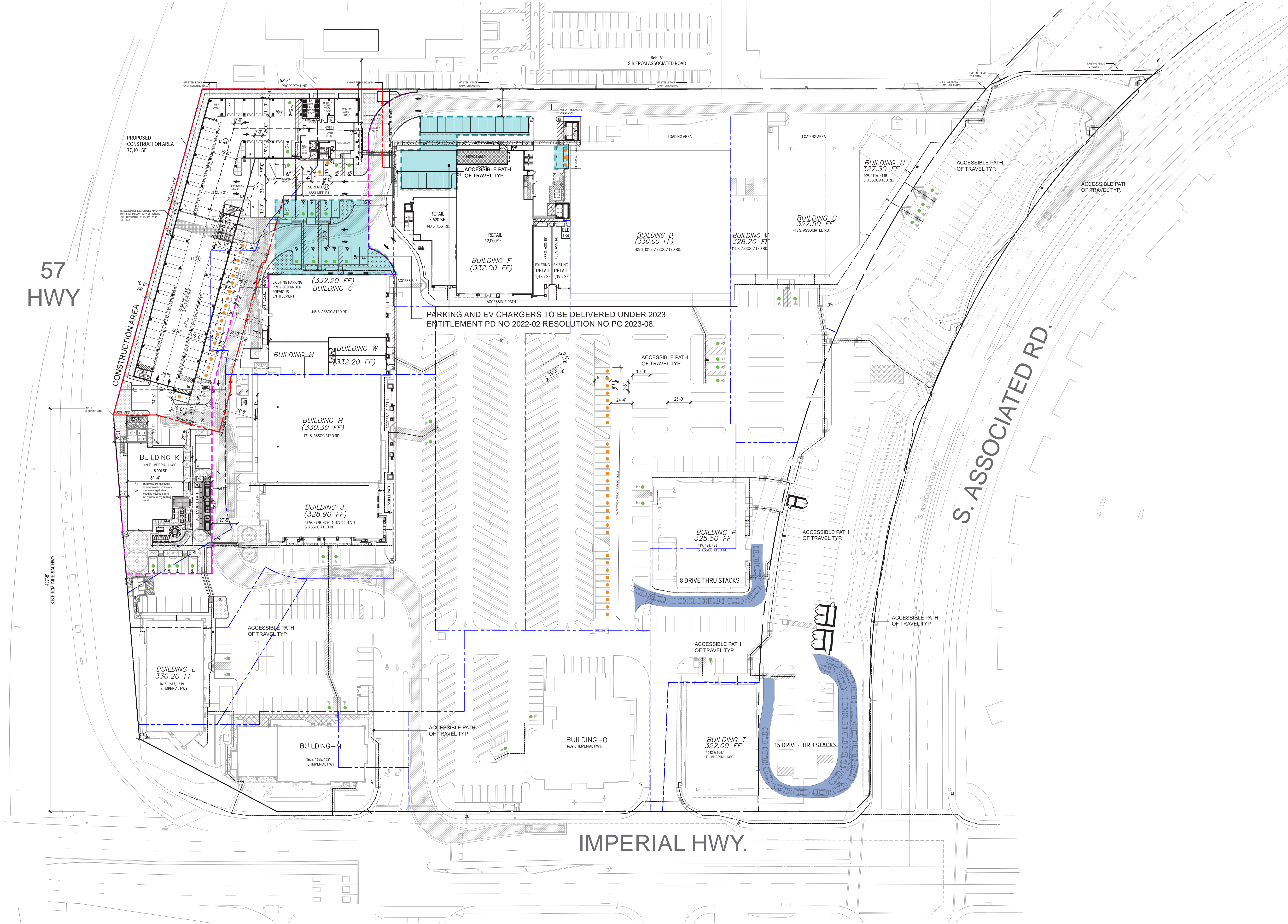
STANDARD	668
COMPACT	57
ADA	41
TOTAL	766

QUEUING	23
TOTAL	789

\*Prior to the issuance of a Certificate of Occupancy the building shall be provided with an emergency radio communication enhancement system that complies with the City of Brea, Guideline for Emergency Radio Responder Coverage. Plans for the emergency radio communication enhancement system shall be submitted to the Brea Fire Department for review and approval prior to installation.

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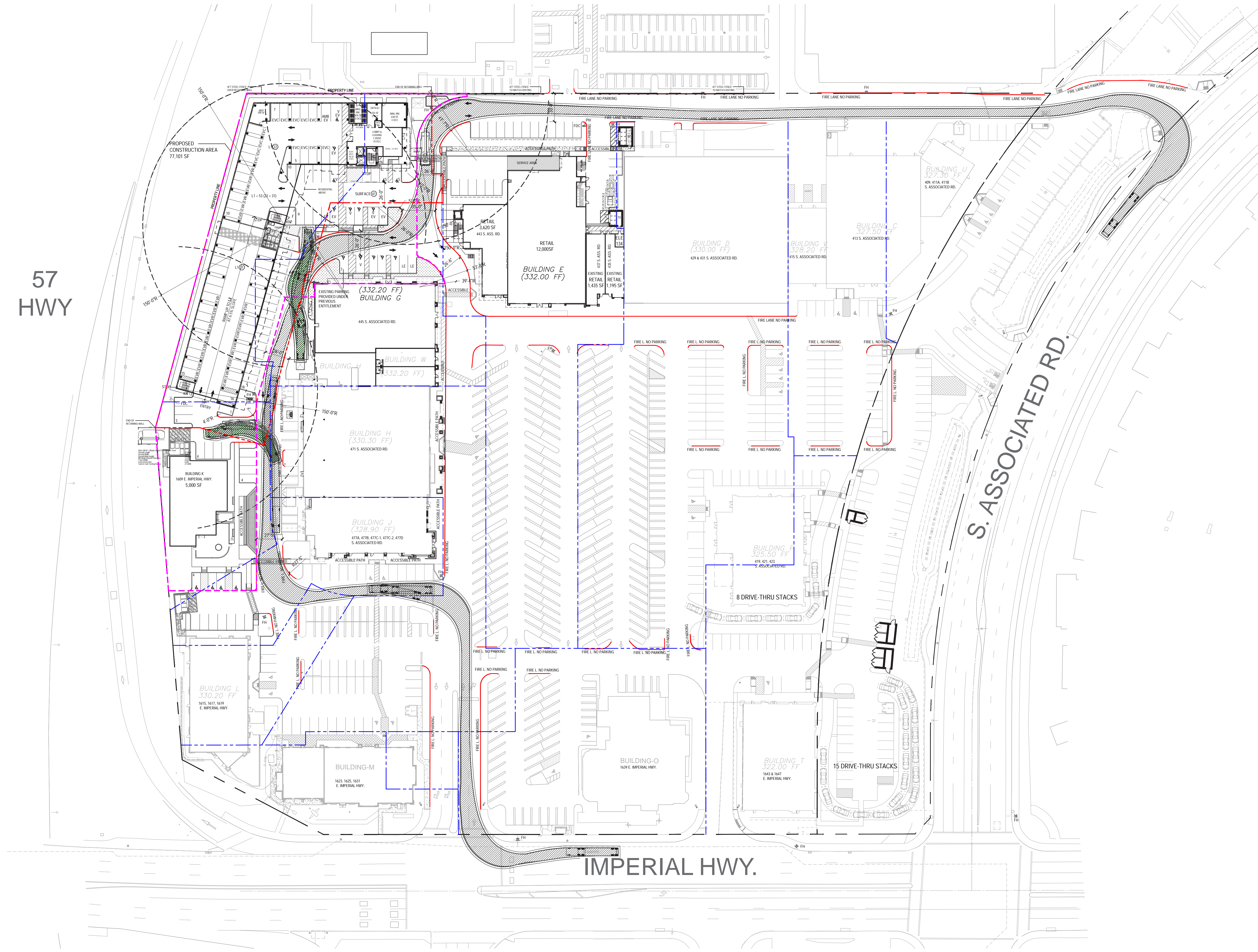
FH = FIRE HYDRANT  
FDC = FIRE DEPARTMENT CONNECTON  
DDC = DOUBLE DETECTOR CHECK VALVE  
PIV = POST INDICATOR VALVE  
KN = KNOX BOX  
= FIRE LANE NO PARKING

57  
HWY

S. ASSOCIATED RD.

IMPERIAL HWY.

EXISTING LOT LINES  
PROPOSED CONSTRUCTION AREA  
PROPOSED PROPERTY LOT LINES



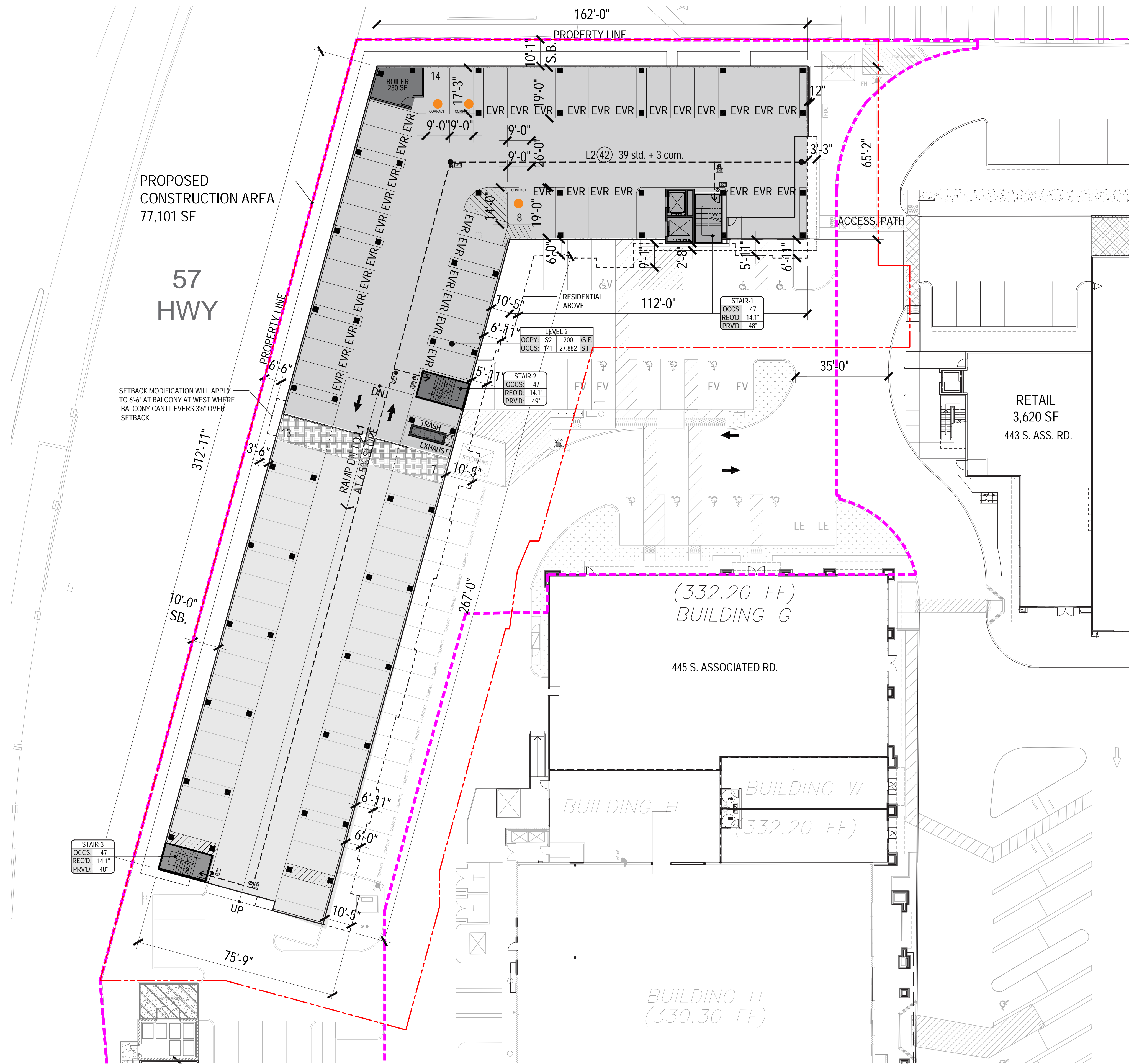
BREA PLAZA LIVING  
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FIRE MASTER PLAN  
SCALE: 1"= 50'-0"  
0 50' 100'



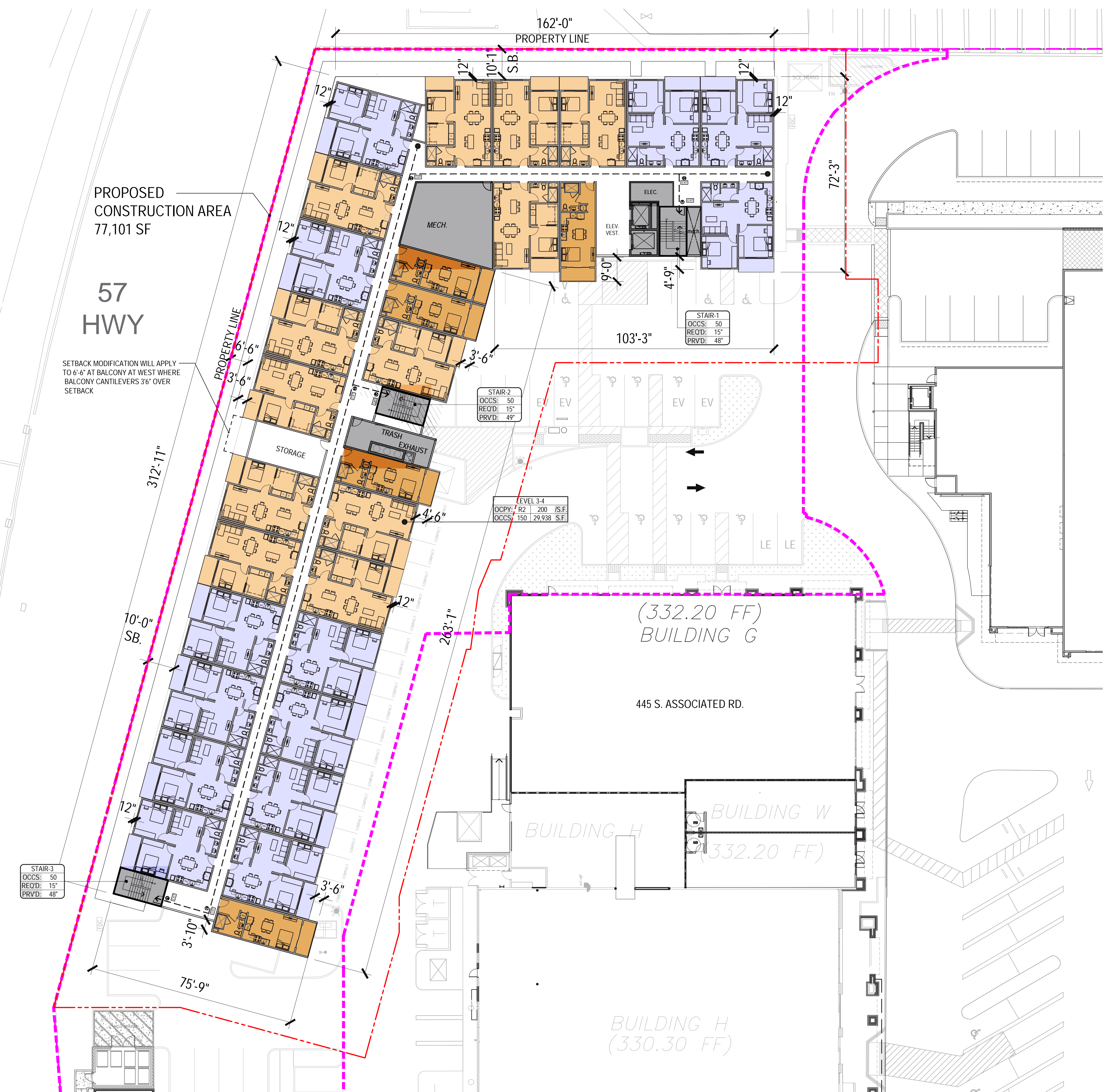






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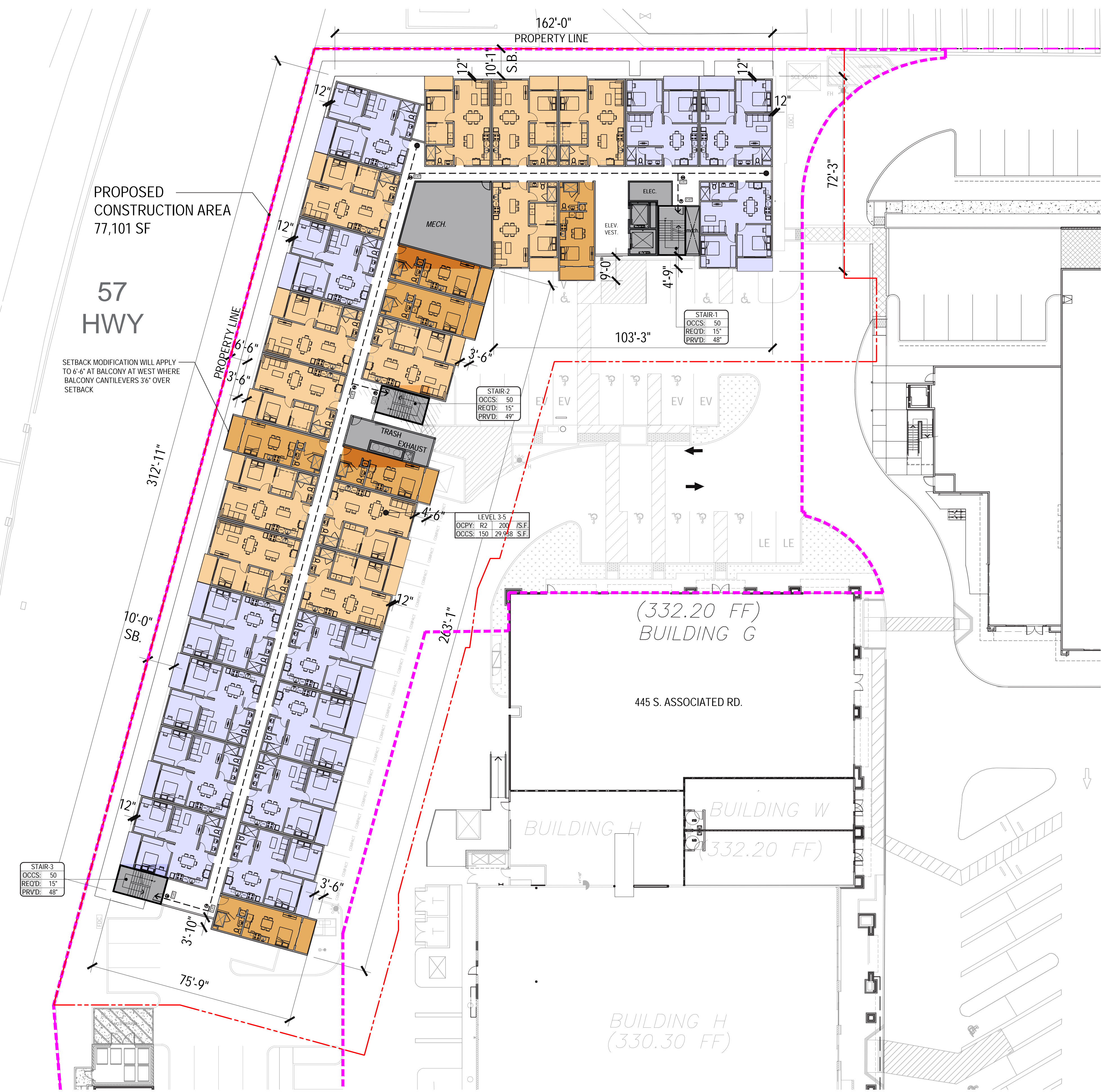
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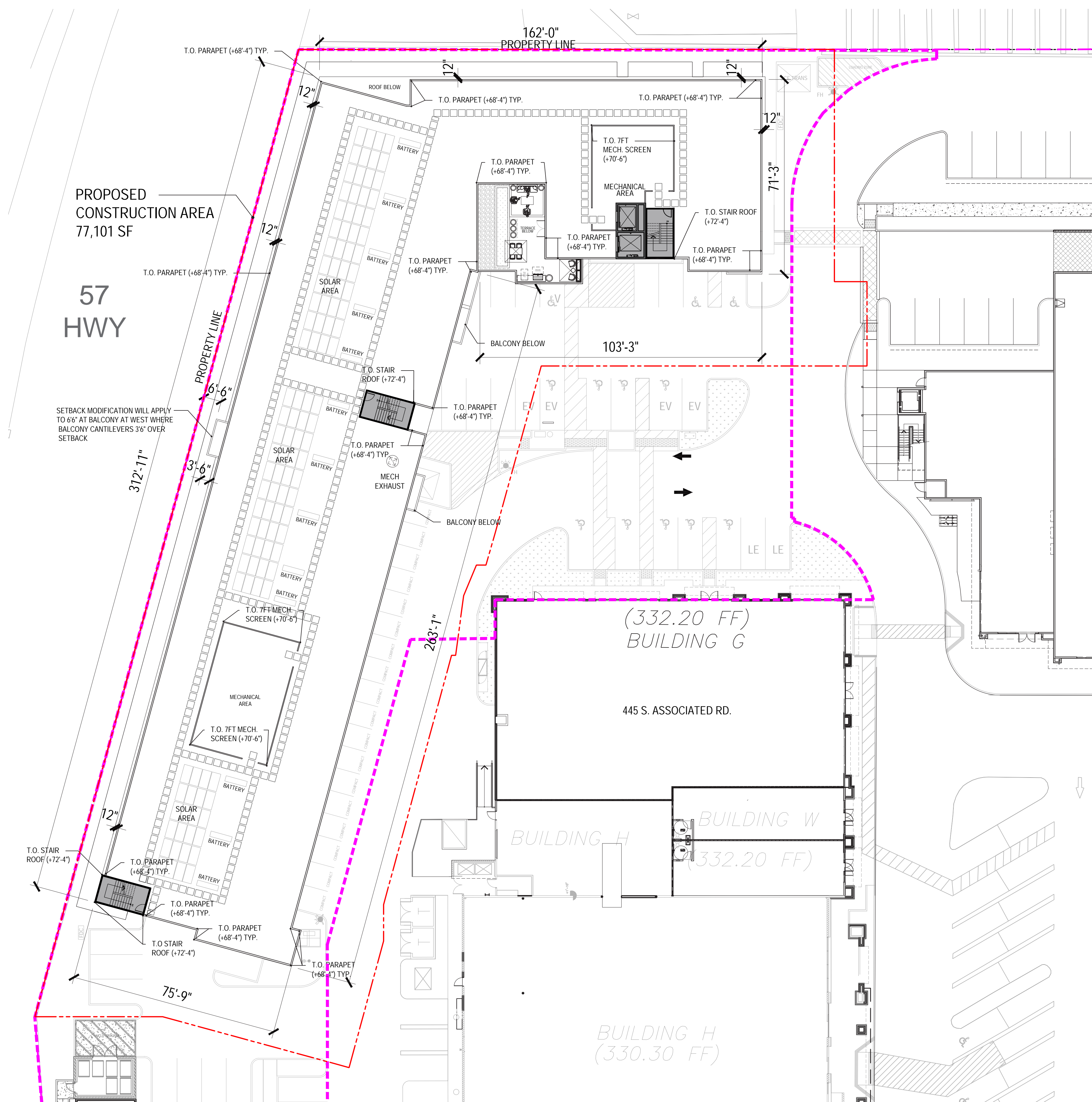
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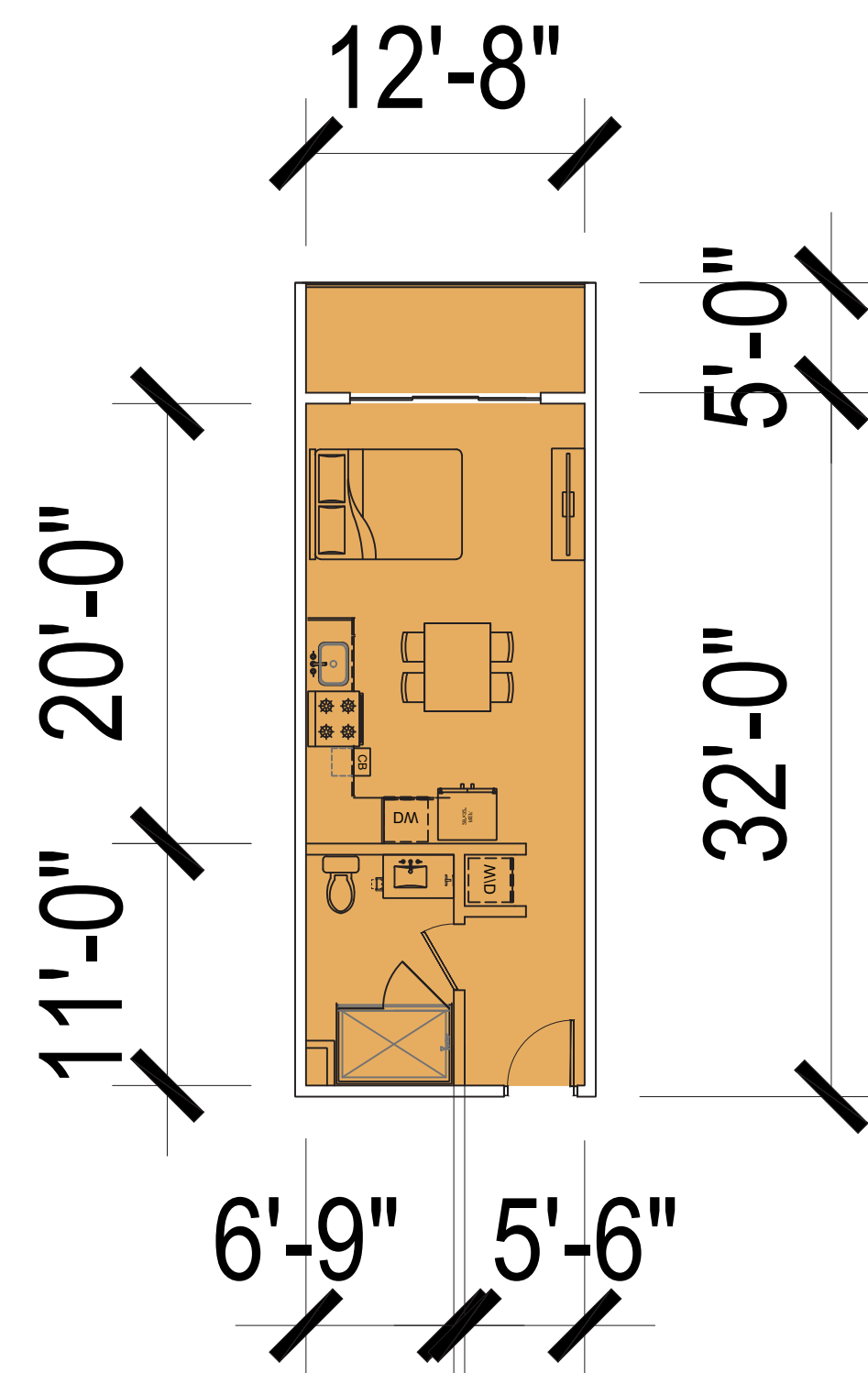


**BREA PLAZA LIVING**  
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**ROOF PLAN**  
SCALE: 1"= 20'-0"

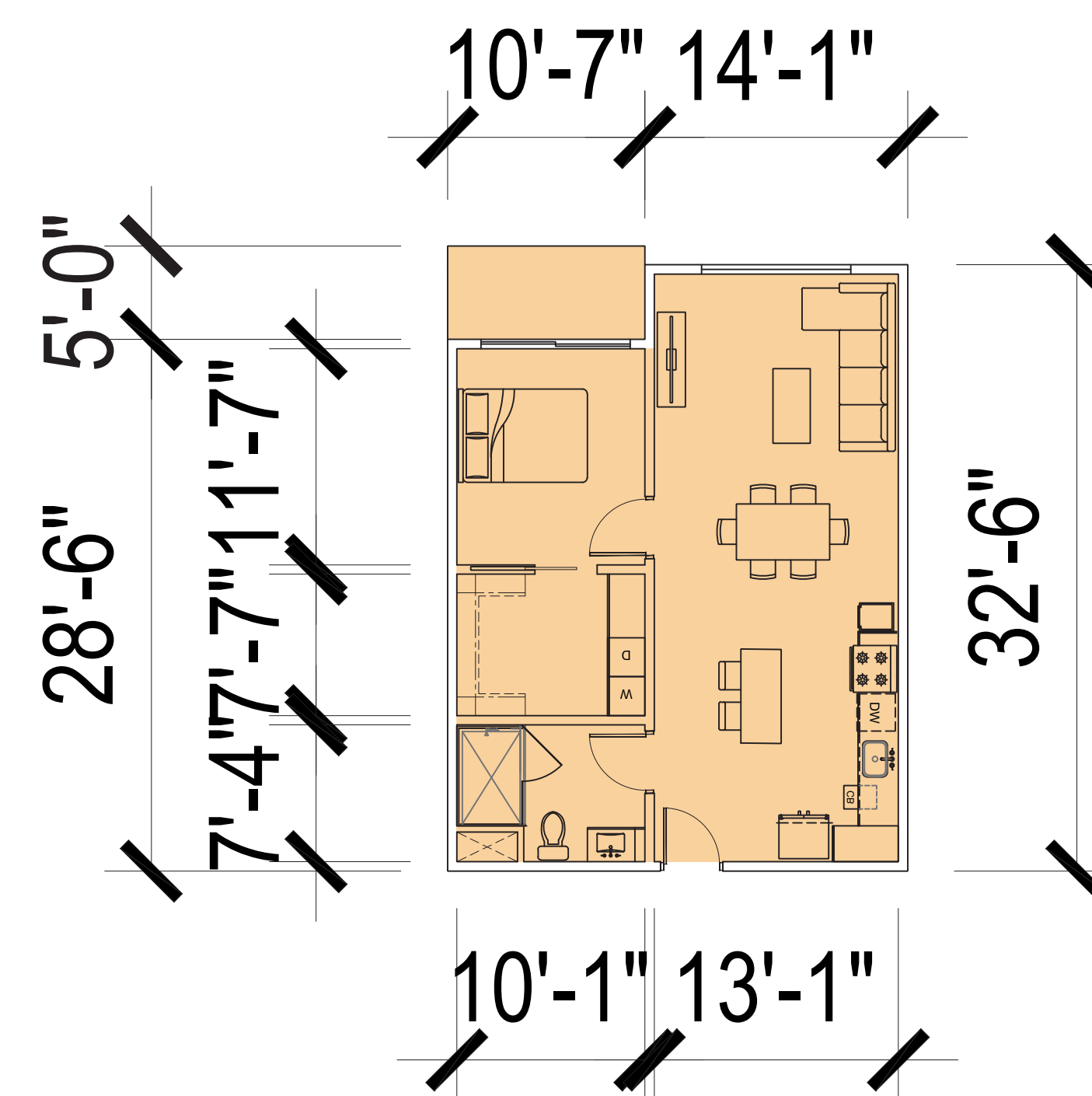
0
20'
40'





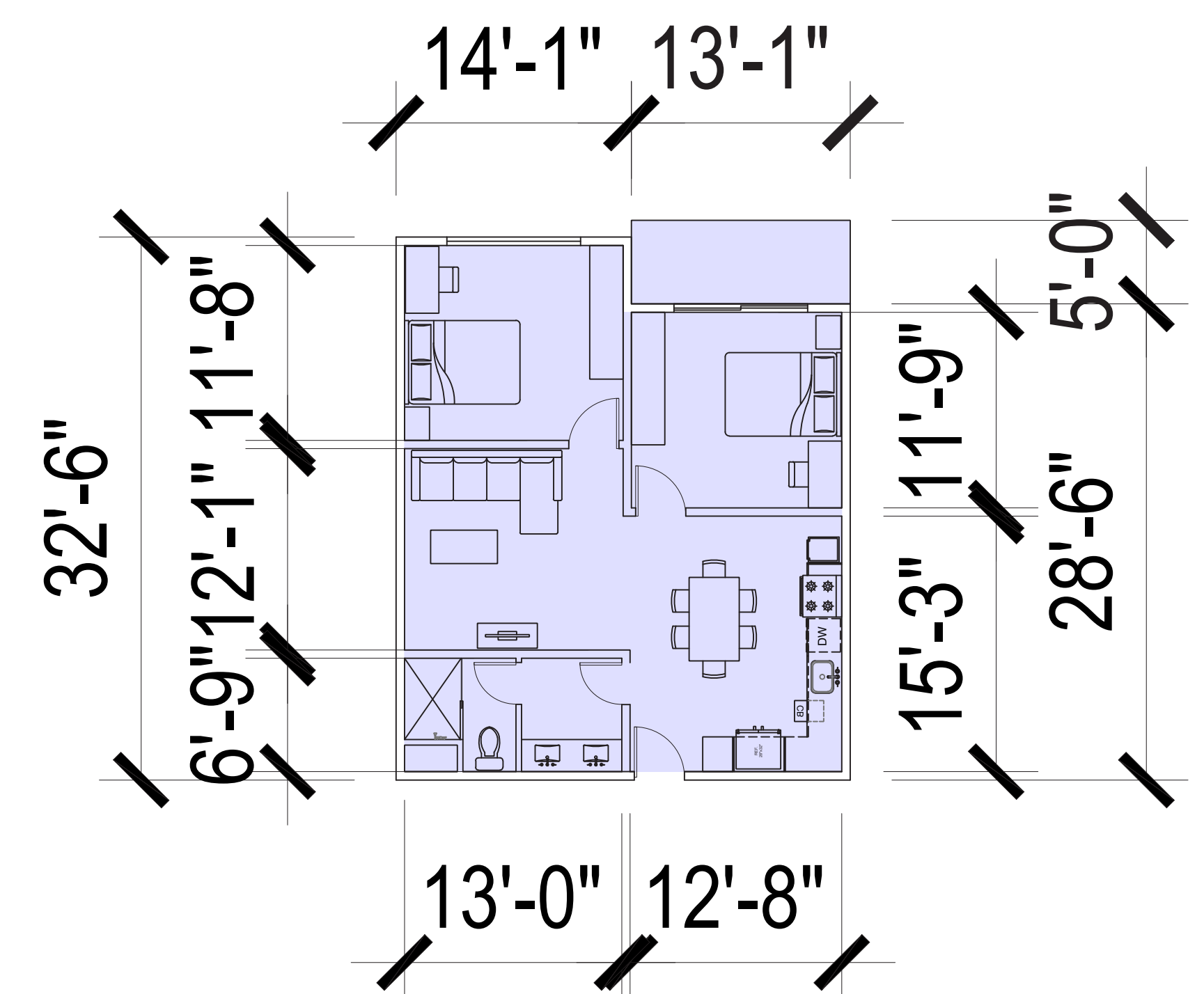
### T MODULE

UNIT SIZE: 455 SF  
 BALCONY SIZE: 63.3 SF  
 TOTAL PRIVATE  
 OPEN SPACE : 63.3X21 = 1,329 SF



### T1 MODULE

UNIT SIZE: 755 SF  
 BALCONY SIZE: 53 SF  
 TOTAL PRIVATE  
 OPEN SPACE : 53X47 = 2,491 SF



### T2 MODULE

UNIT SIZE: 836 SF  
 BALCONY SIZE: 65.4 SF  
 TOTAL PRIVATE  
 OPEN SPACE : 65.4X52 = 3,400 SF



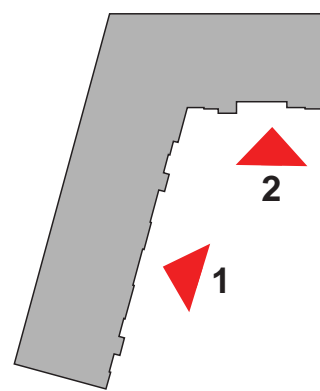
1 | EAST ELEVATION

### MATERIAL LEGEND

- 01 PAINTED SMOOTH CONCRETE
- 02 PAINTED STUCCO FINISH - METAL FRINGE
- 03 PAINTED STUCCO FINISH - PRECIOUS PEARL
- 04 COLORED GLASS
- 05 MECHANICAL SCREEN - DARK GRAY
- 06 OPERABLE WINDOW (VISIBILITY = 0.65 MIN)
- 07 GLASS RAILING
- 08 NEW TECH WOOD - PERUVIAN TEAK
- 09 STEEL CANOPY W/ COLOR BAND
- 10 STOREFRONT SYSTEM: BLACK W/ CLEAR GLASS (VISIBILITY = 0.65 MIN)
- 11 DARK BRONZE ANODIZED ALUM. LOUVERS
- 12 LIVING GREEN WALL
- 13 SIERRA LEDGE WASATCH GREY CORONADO STONE



2 | SOUTH ELEVATION



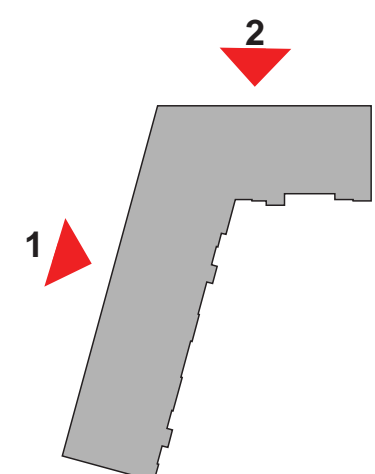


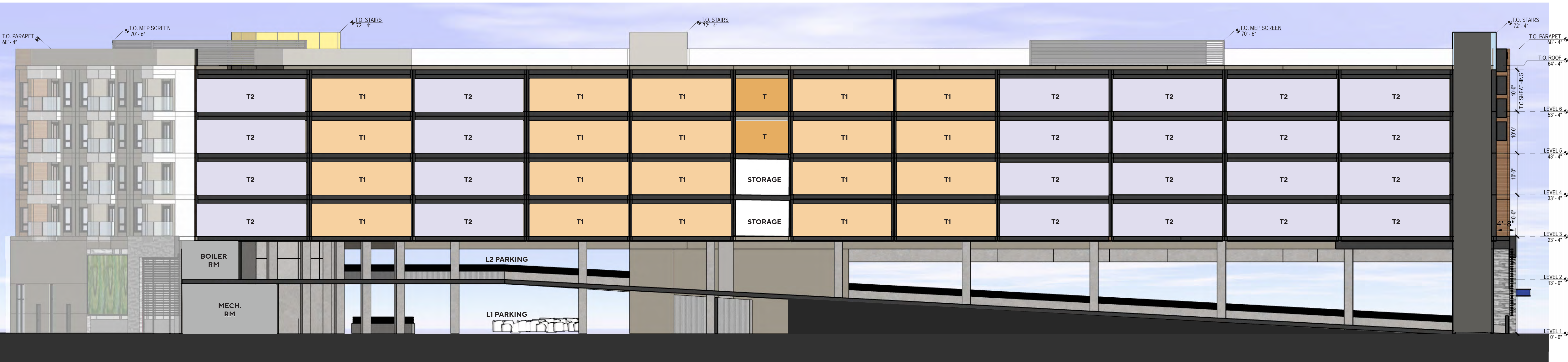
1 | WEST ELEVATION

- 01 PAINTED SMOOTH CONCRETE
- 02 PAINTED STUCCO FINISH - METAL FRINGE
- 03 PAINTED STUCCO FINISH - PRECIOUS PEARL
- 04 COLORED GLASS
- 05 MECHANICAL SCREEN - DARK GRAY
- 06 OPERABLE WINDOW (VISIBILITY = 0.65 MIN)
- 07 GLASS RAILING
- 08 NEW TECH WOOD - PERUVIAN TEAK
- 09 STEEL CANOPY W/ COLOR BAND
- 10 STOREFRONT SYSTEM: BLACK W/ CLEAR GLASS (VISIBILITY = 0.65 MIN)
- 11 DARK BRONZE ANODIZED ALUM. LOUVERS
- 12 LIVING GREEN WALL
- 13 SIERRA LEDGE WASATCH GREY CORONADO STONE



2 | NORTH ELEVATION

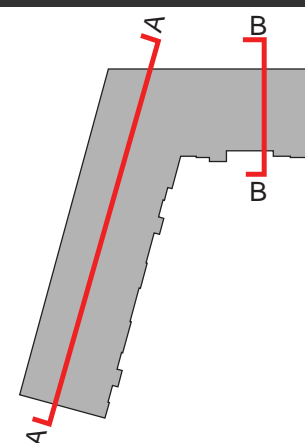




A | WEST SECTION



B | EAST SECTION





01 - PAINTED SMOOTH CONCRETE



02 - PAINTED STUCCO FINISH  
DUNN EDWARDS - DET626 METAL FRINGE



03 - PAINTED STUCCO FINISH  
DUNN EDWARDS - DEW386 PRECIOUS PEARLS



04 - COLORED GLASS



05 - MECHANICAL SCREEN  
COLOR: DARK GRAY



06 - OPERABLE WINDOW - BLACK  
(VISIBILITY = 0.65 MIN)



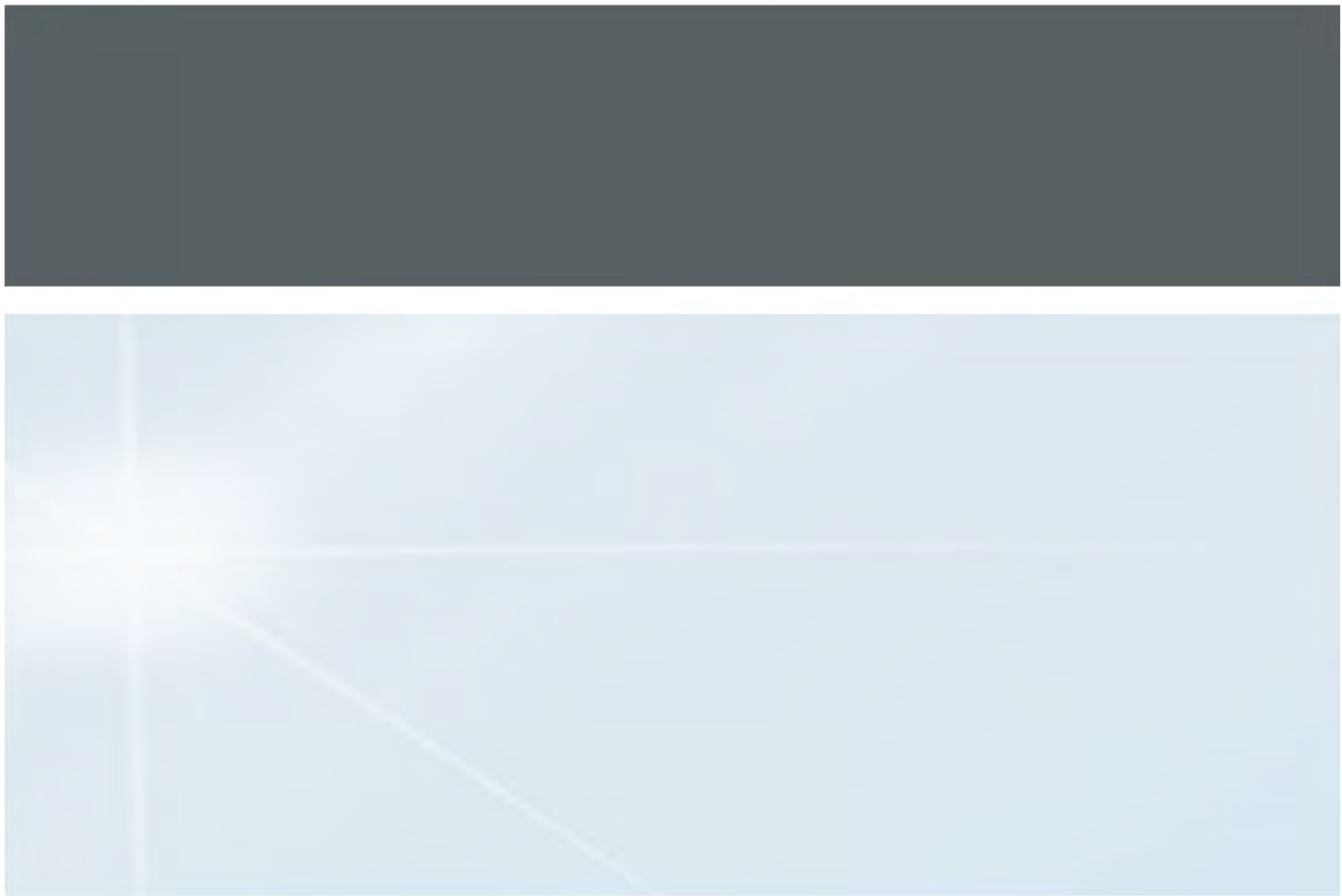
07 -BALCONY GLASS RAILING



08 - NEW TECH WOOD - PERUVIAN TEAK WITH  
SMOOTH FINISH



09 -STEEL CANOPY GRAY W/ COLOR BAND



10 - CLEAR GLASS WITH BLACK ANODIZED  
ALUMINUM STOREFRONT SYSTEM  
(VISIBILITY = 0.65 MIN)



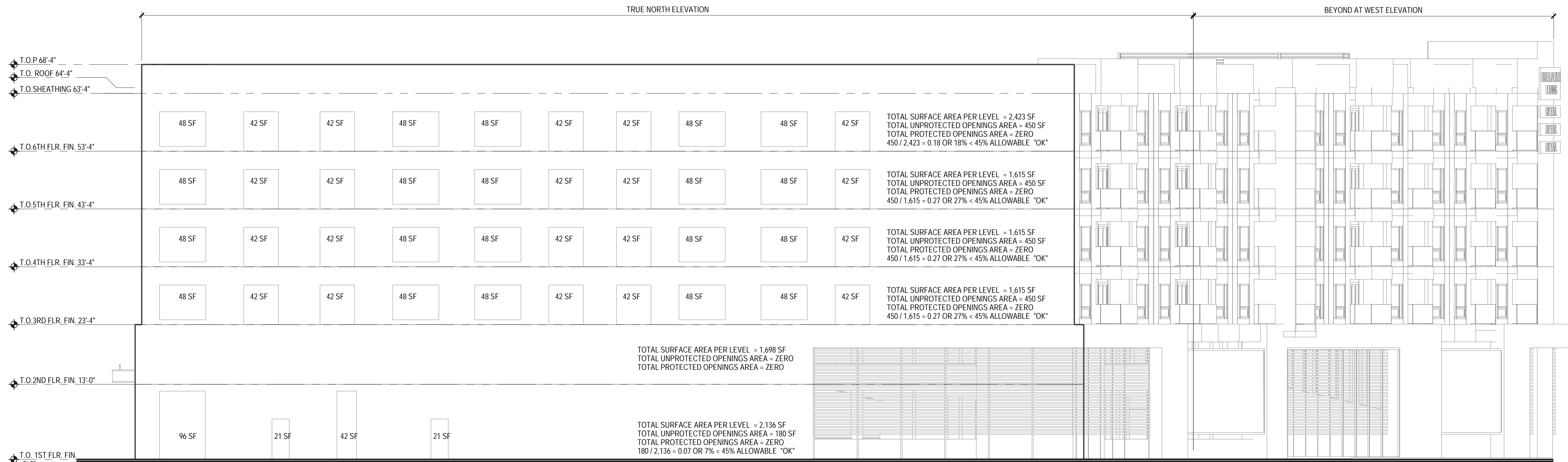
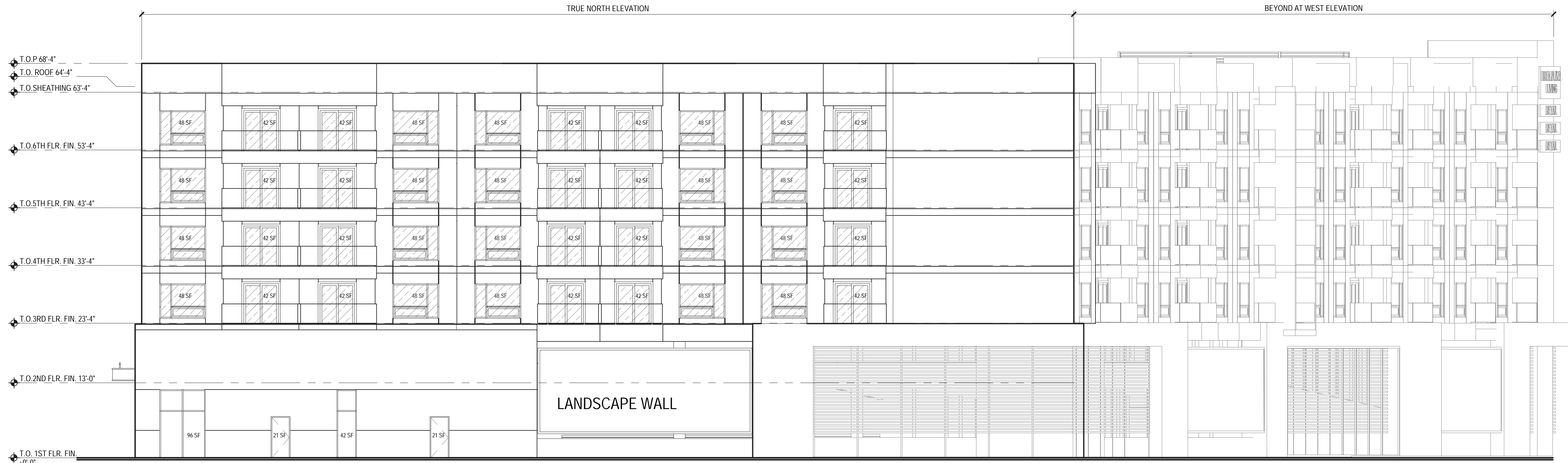
11 -DARK BRONZE ANODIZED ALUM. LOUVERS



12 - LIVING GREEN WALL



13 -SIERRA LEDGE WASATCH GREY  
CORONADO STONE



OPENING CALCULATIONS PER CBC TABLE 705.8

OVERALL OPENING CALS PER CBC 705.8  
TOTAL SURFACE AREA = 11,097 SF.  
UNPROTECTED OPENINGS = (5X4X48) + (5X4X42) + 180 =1,980 SF.  
PROTECTED OPENINGS = ZERO  
ALLOWABLE UNPROTECTED OPENINGS = 45%  
1,980 / 11, 097 = 0.17 OR 17%  
17% < 45% OK

OPENINGS CALS PER LEVEL PER CBC 705.8  
LEVEL 6 = 18% < 45% OK  
LEVEL 5 = 27% < 45% OK  
LEVEL 4 = 27% < 45% OK  
LEVEL 3 = 27% < 45% OK  
LEVEL 2 = ZERO < 45% OK  
LEVEL 1 = 7% < 45% OK





1639 E. IMPERIAL HIGHWAY  
BREA, CA



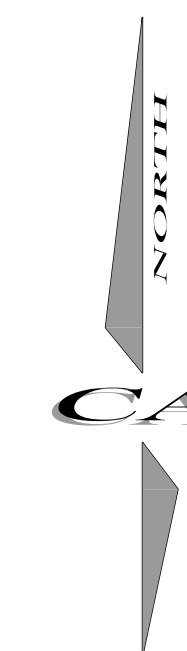
	EXIST. CURB AND GUTTER	(624.50)	TC — EXISTING ELEVATION
	EXIST. STORM DRAIN		RATE/FLOW
	EXIST. CATCH BASIN		D/W — DRIVEWAY
	EXIST. SEWER		TC — TOP OF CURB
	EXIST. WATER LINE		TYP. — TYPICAL
	EXIST. STREET LIGHT		EVC — END VERTICAL CURVE
	EXIST. FIRE HYDRANT		EXIST. — EXISTING
	EXIST. POWER POLE		EX — EXISTING
	EXIST. SIGN		FL — FLOW LINE
	PROP. CURB ONLY		FS — FINISH SURFACE
	PROP. CURB & GUTTER		FG — FINISH GRADE
	PROP. BUILDING WALL		GB — GRADE BREAK
	PROP. RED CURB		HP — HIGH POINT
	EXIST. FENCE		LP — LOW POINT
	LIMITS OF GRADING		PR./PRO. — PROPOSED
	BOUNDARY		R/W — RIGHT OF WAY
	PRO. LOT LINE		PP — PROTECT IN PLACE
	EX. LOT LINE		SW — SEWER
	CENTERLINE		— ROOF DRAINS
	ADA PATH		X.XX% — SURFACE GRADES
	EX. CONTOUR		S=X.XXX% — DRAINAGE SLOPE/GRADES
	GAS LINE		 WV — WATER VALVE (WV)
	WT — WATER LINE		 WM — WATER METER (WM)
	PRO. SEWER LINE		 SIGN
	PRO. STORM DRAIN		 SS — SEWER MANHOLE (SS MH)
	PRO. RETAINING WALL		 FH — FIRE HYDRANT (FH)
			 LP — PROPOSED LIGHT POLE (LP)

EARTHWORK ESTIMATE	QUANTITIES	
	CUT	FILL
ROUGH GRADING	1,186	646 CY
OVER-EXCAVATION WORK	11,306 CY	11,306 CY
SUBSIDENCE (0.1')	(283) CY	____CY
SHRINKAGE (9.5%)	(1,186) CY	____CY
SPOILS	____CY	____CY
SUBTOTAL PROJECT EARTHWORK QUANTITIES	11,023 CY	11,952 CY

BALANCE ON-SITE WITH SPOILS & CRUSHED A.C. & A.B.

NOTE: EARTHWORK PROVIDED FOR PERMIT COST PURPOSES ONLY.  
CONTRACTOR IS REQUIRED TO DETERMINE HIS OWN PAY QUANTITIES.

NOTE: SEE CONCEPTUAL UTILITY PLAN FOR SUMMARY OF STORM DRAIN, SEWER, WATER, & OTHER IMPROVEMENTS.



## GRAPHIC SCALE

( IN FEET )  
1 inch = 30 f

SELF-CERTIFICATIONS FROM A STATE LICENSED PROFESSIONAL ENGINEER OR THIRD-PARTY CERTIFICATIONS ARE REQUIRED OF ALL BMP'S CONSTRUCTED ON THIS PLAN OR FINAL CERTIFICATE OF OCCUPANCY WILL NOT BE GRANTED FROM THE CITY.

PREPARED BY:	
--------------	--

**CA ENGINEERING, INC.**

**Planning • Engineering • Surveying**

4101 BIRCH STREET, STE 140  
NEWPORT BEACH, CA 92660

NEWPORT BEACH, CA 92660  
949-724-9480 949-724-9484 FAX

PREPARED FOR:	
---------------	--

**BPI Brea LLC**

417 S. Associated Rd, Suite 313

Brea, CA 92821

(248) 792-5071  
CONTACT: WAAD, J. NADHIR

LAST REV.  
Feb 20 2025

**JOB NO.**

487-5

48/ 9

nt. 1 of 2

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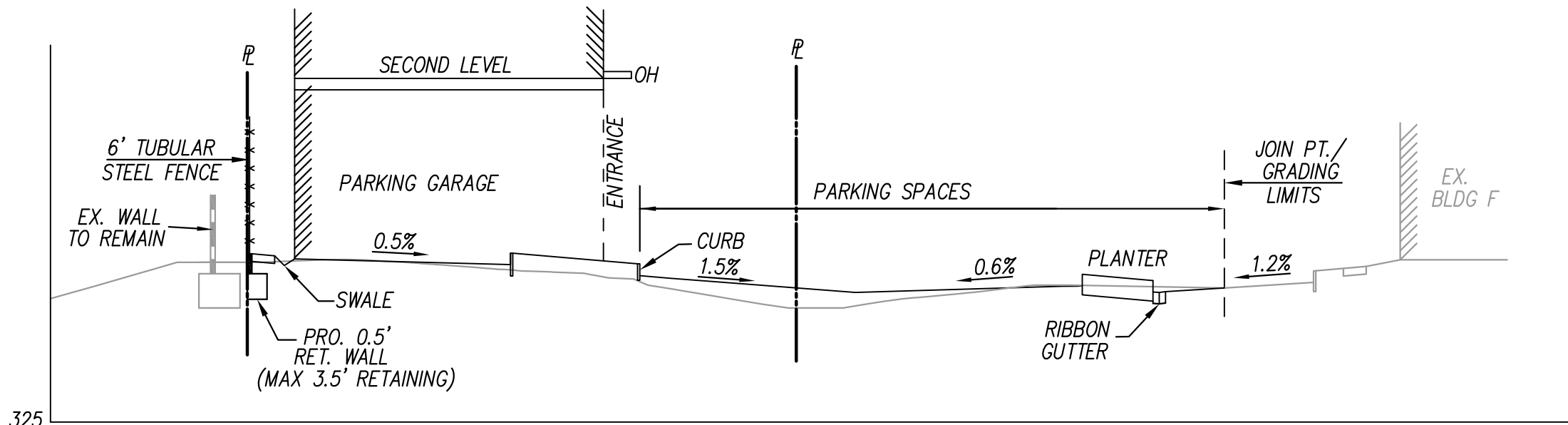
~~FRED CORNWELL~~ R.C.E. 455

2/20/2  
DATE

DATE	BY	REVISION

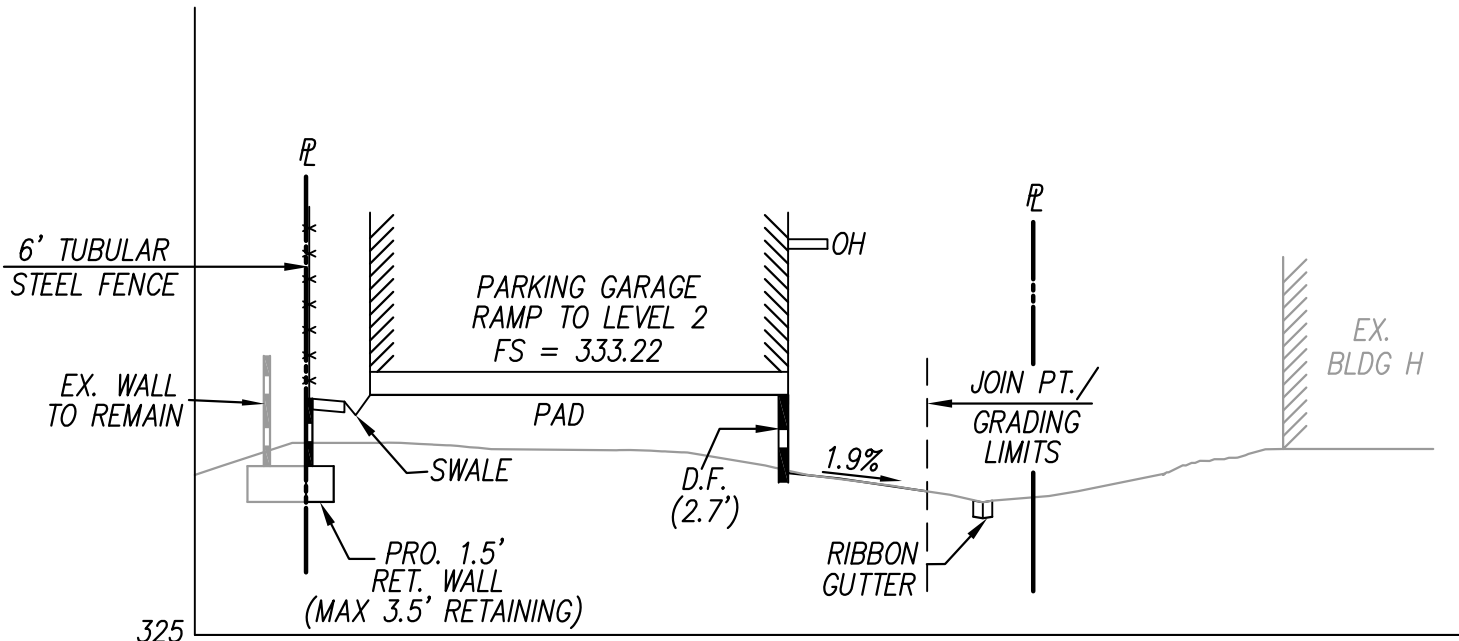
BREA PLAZA CONCEPTUAL  
GRADING PLAN #4 - SECTIONS

1639 E. IMPERIAL HIGHWAY  
BREA, CA



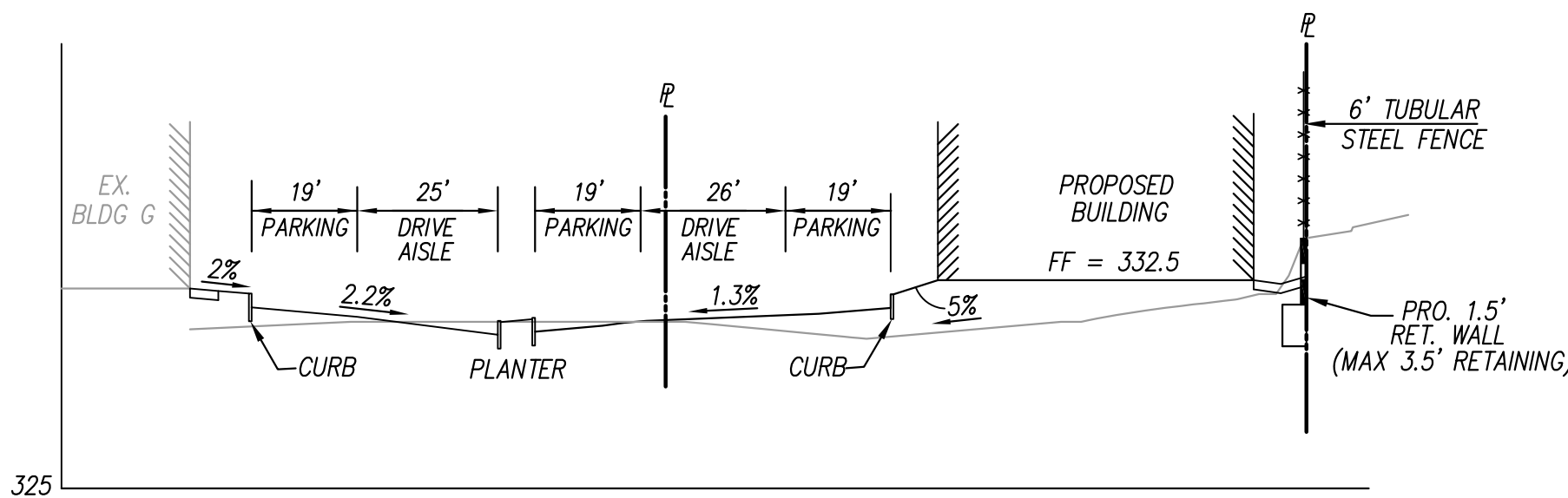
SECTION A-A

SCALE: HOR. 1"=30'; VERT. 1"=6'



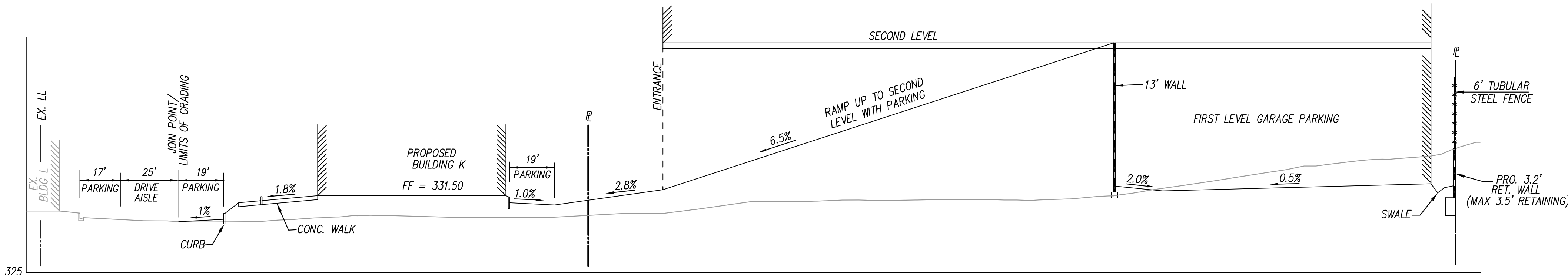
SECTION B-B

SCALE: HOR. 1"=30'; VERT. 1"=6'



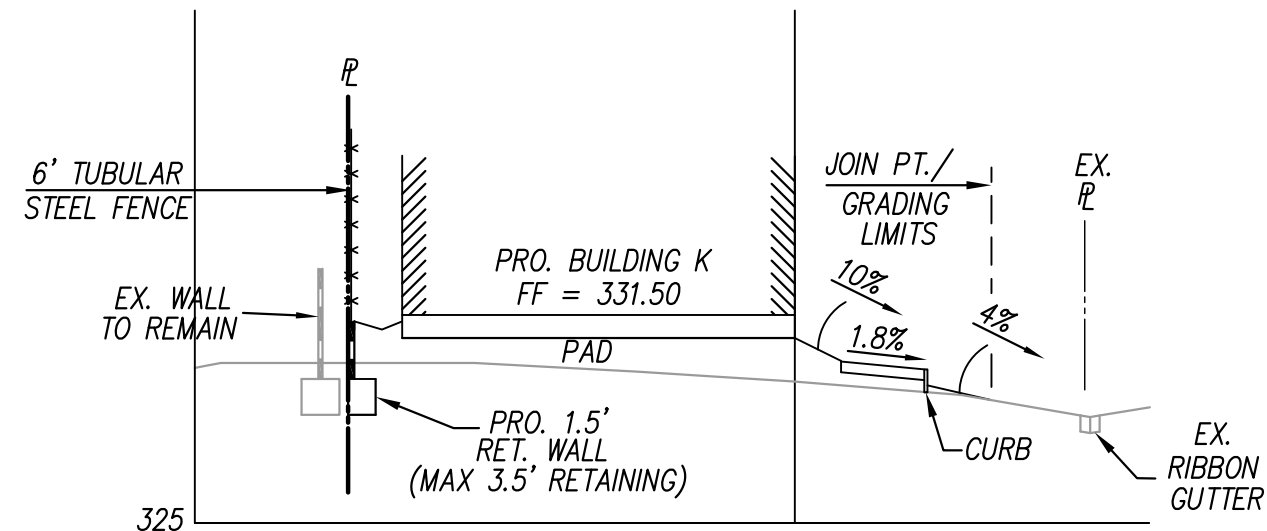
SECTION C-C

SCALE: HOR. 1"=30'; VERT. 1"=6'



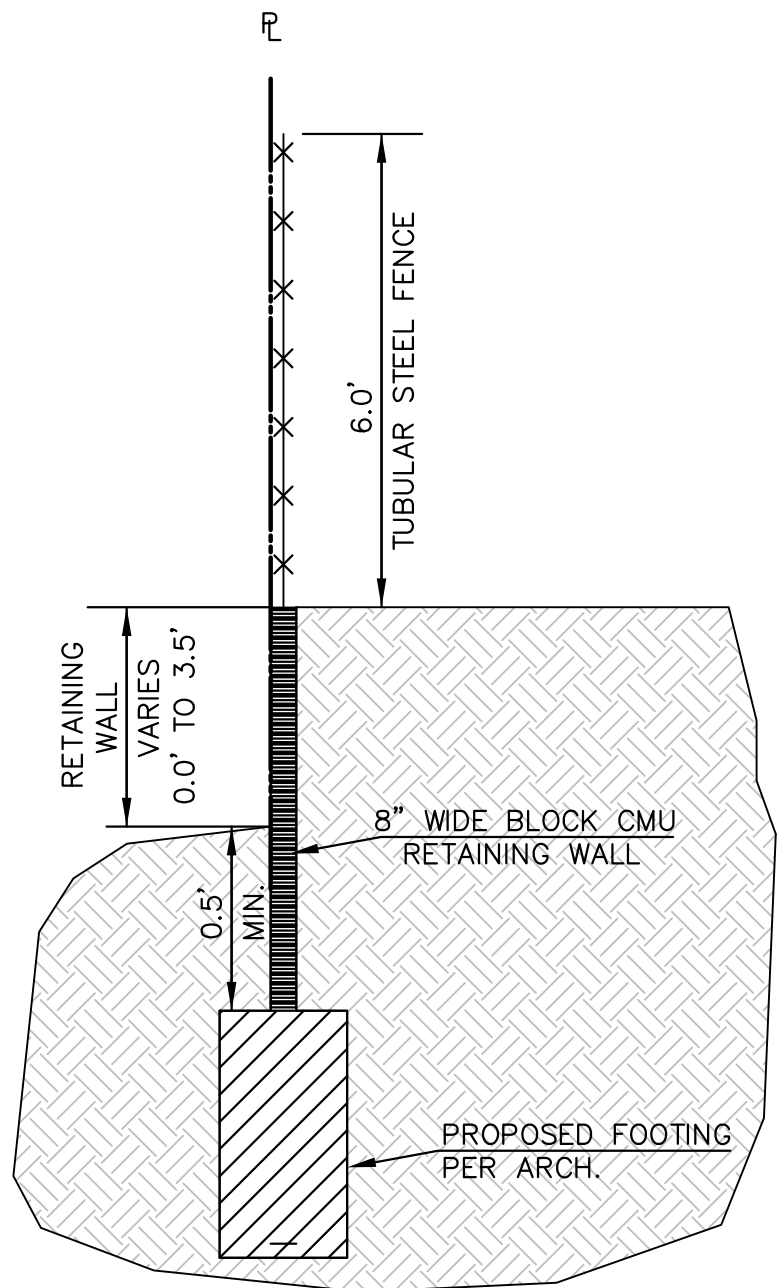
SECTION D-D

SCALE: HOR. 1"=30'; VERT. 1"=6'



SECTION E-E

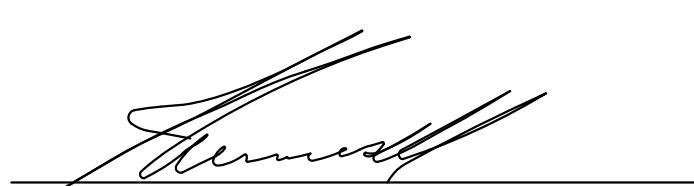

SCALE: HOR. 1"=30'; VERT. 1"=6'



TYPICAL WALL/FENCE DETAIL

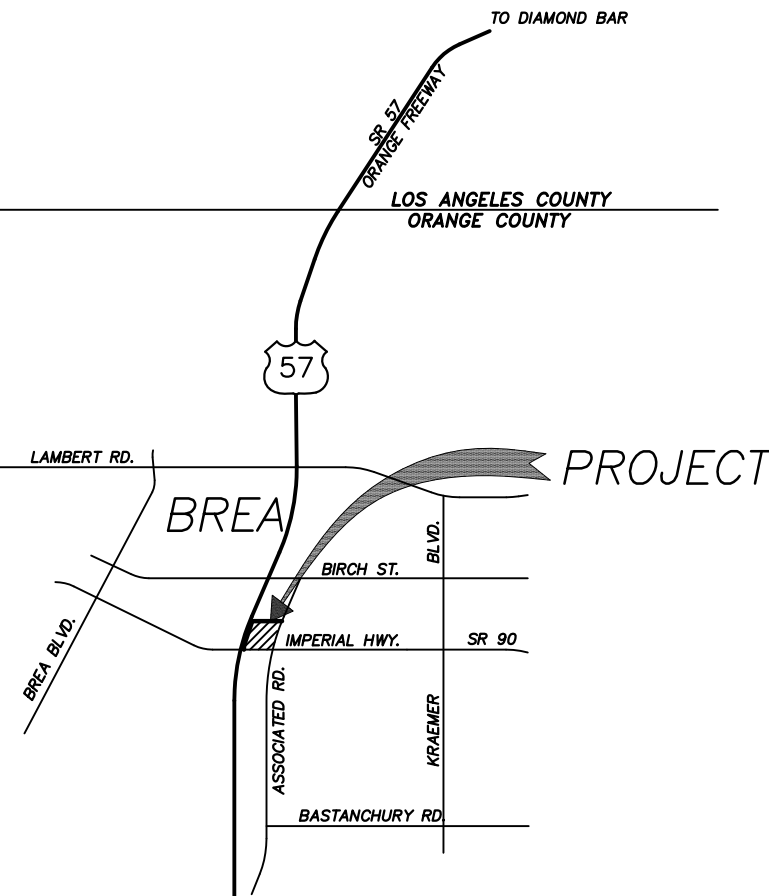
NTS

C2

 FRED CORNWELL R.C.E. 45591					PREPARED BY: <b>CA ENGINEERING, INC.</b> Planning • Engineering • Surveying 4101 BIRCH STREET, STE 140 NEWPORT BEACH, CA 92660 949-724-9480 949-724-9484 FAX	
DATE			BY		REVISION	
PREPARED FOR: <b>BPI Brea LLC</b> 417 S. Associated Rd, Suite 313 Brea, CA 92821 (248) 792-5071 CONTACT: WAAD J. NADHIR					LAST REV. Feb 20 2025 JOB NO. <b>487-5</b> Sht. 2 of 2	

BREA PLAZA CONCEPTUAL  
UTILITY PLAN #2

1639 E. IMPERIAL HIGHWAY  
BREA, CA



VICINITY MAP  
N.T.S.

LEGEND AND ABBREVIATIONS

EXIST. CURB AND GUTTER	(624.50) TC	EXISTING ELEVATION
EXIST. CATCH BASIN	2% — RATE/FLOW	
EXIST. SEWER	D/W — DRIVEWAY	
EXIST. WATER LINE	TC — TOP OF CURB	
EXIST. STREET LIGHT	FH — FIRE HYDRANT	
EXIST. FIRE HYDRANT	TYP. — TYPICAL	
EXIST. POWER POLE	EVC — END VERTICAL CURVE	
EXIST. SIGN	EXIST. — EXISTING	
PROP. CURB ONLY	EX. — EXISTING	
PROP. CURB & GUTTER	FL — FLOW LINE	
PROPOSED BUILDING WALL	FS — FINISH SURFACE	
PROPOSED SIDEWALK	FG — FINISH GRADE	
EXIST. FENCE	GB — GRADE BREAK	
PRO. FIRE HYDRANT	HP — HIGH POINT	
PRO. RETAINING WALL	LP — LOW POINT	
	PR./PRO. — PROPOSED	
	R/W — RIGHT OF WAY	
	PP — PROTECT IN PLACE	
	SW — SEWER	
	CENTERLINE	
	EX. CONTOUR	
	BOUNDARY LINE	
	PROP. LOT LINE	

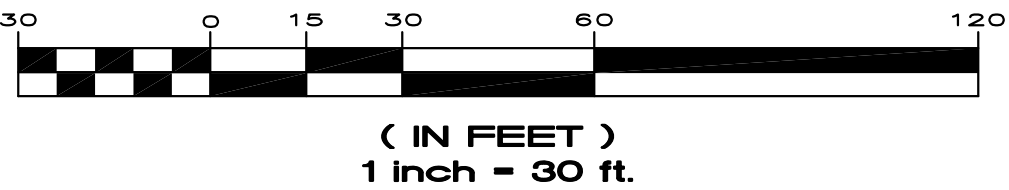
  

SD	PROPOSED STORM DRAIN
SD	EXISTING STORM DRAIN
SS	PROPOSED SEWER
SS	EXISTING SEWER
WT	PROPOSED WATER
WT	EXISTING WATER
—	EXISTING ELECTRIC
—	PROPOSED ELECTRIC
—	EXISTING TELEPHONE
	PROPOSED MODULAR WETLANDS

NOTE: UTILITIES ARE PROVIDED FOR  
REFERENCE ONLY AND SEPARATE  
PERMITS MAY BE REQUIRED.

NOTE: SEE CONCEPTUAL GRADING PLAN FOR DRAINAGE IMPROVEMENTS.

GRAPHIC SCALE



CERTIFICATION NOTE:

SELF-CERTIFICATIONS FROM A STATE LICENSED PROFESSIONAL  
ENGINEER OR THIRD-PARTY CERTIFICATIONS ARE REQUIRED OF  
ALL BMP'S CONSTRUCTED ON THIS PLAN OR FINAL CERTIFICATE  
OF OCCUPANCY WILL NOT BE GRANTED FROM THE CITY.



PREPARED BY:

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13821 NEWPORT AVE. STE 110  
TUSTIN, CA 92780  
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PREPARED FOR:

**BPI Brea LLC**  
417 S. Associated Rd, Suite 313  
Brea, CA 92821  
(248) 792-5071  
CONTACT: WAAD J. NADHIR

LAST REV.  
Feb 20 2025

JOB NO.  
**487-5**

Sht. 1 of 1

DATE	BY	REVISION

# EASEMENT EXHIBIT

NOTE: ALL ON-SITE PUBLIC WATER EASEMENTS  
BETWEEN THE EXISTING METER/VULTS  
AT THE NORTHERLY AND SOUTHERLY  
PROPERTY LINES ARE TO BE QUITCLAIMED  
PER SEPARATE INSTRUMENT.

BUILDING E

BUILDING F

3,937 SQ FT

15,050 SQ FT

BUILDING D

27,159 SQ FT

BUILDING V

3,202 SQ FT

BUILDING C

13,007 SQ FT

BUILDING U

3,023 SQ FT

BUILDING G

8,893 SQ FT

BUILDING H

2,123 SQ FT

BUILDING W

2,460 SQ FT

BUILDING H

15,877 SQ FT

BUILDING K

5,000 SQ FT

BUILDING J

7,493 SQ FT

BUILDING P

9,491 SQ FT

NOTE: ALL ON-SITE PUBLIC WATER EASEMENTS  
BETWEEN THE EXISTING METER/VULTS  
AT THE NORTHERLY AND SOUTHERLY  
PROPERTY LINES ARE TO BE QUITCLAIMED  
PER SEPARATE INSTRUMENT.

## LEGEND

- EXISTING PARCEL LINES
- PROPOSED PARCEL LINES
- BOUNDARY
- PRO. CURB
- EX. CURB & STRIPING
- PROPOSED ACCESS EASEMENT
- PRO. SCE EASEMENT
- EX. DRAINAGE EASEMENT
- EX. WATER EASEMENT
- EX. SCE EASEMENT
- EX. PUBLIC EASEMENT

PROPOSED BUILDING

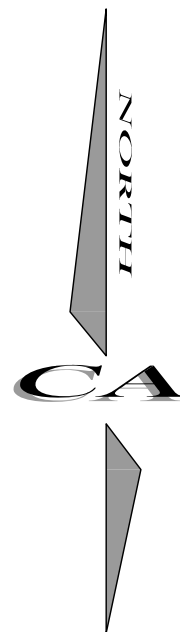
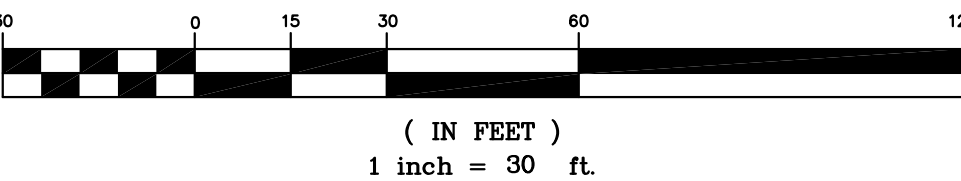
QUITCLAIMED SCE EASEMENT PORTION  
(PER SEPARATE INSTRUMENT)

QUITCLAIMED PUBLIC EASEMENT PORTION  
(PER SEPARATE INSTRUMENT)

QUITCLAIMED WATER EASEMENT PORTION

NOTE: ALL ONSITE WATER EASEMENT TO BE  
QUITCLAIMED PER SEPARATE INSTRUMENT

GRAPHIC SCALE



# C4

PREPARED BY:

**CA ENGINEERING, INC.**

Planning • Engineering • Surveying

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949-724-9480 949-724-9484 FAX

PREPARED FOR:

**BPI Brea LLC**

417 S. Associated Rd, Suite 313  
Brea, CA 92821  
(248) 792-5071  
CONTACT: WAAD J. NADHIR

LAST REV.

Feb 20 2025

JOB NO.

**487-5**

Sht. 1 of 1

PROPERTY ADDRESS:

1639 E. IMPERIAL HIGHWAY  
CITY OF BREA, CA

**BREA PLAZA**  
**APARTMENTS COMPLEX DEMO PLAN**  
1639 E. IMPERIAL HIGHWAY  
BREA, CA

**GENERAL NOTES FOR TEMPORARY EROSION CONTROL:**

1. EROSION CONTROL SHALL BE REQUIRED FOR GRADING OPERATIONS PRIOR TO THE ONSET OF ANY STORM EVENT AND PRIOR TO THE RAINY SEASON, OCTOBER 1ST THROUGH APRIL 15TH.
2. THE DESIGN CIVIL ENGINEER SHALL SUPERVISE AND ENSURE EROSION CONTROL WORK IS IN ACCORDANCE WITH APPROVED PLANS. THE QSP SHALL OVERSEE THE IMPLEMENTATION OF ALL BMP'S.
3. IN CASE OF EMERGENCY, CALL:  
WAAD J. NADHIR (RESPONSIBLE PERSON)  
BPI BREA LLC (FIRM NAME)  
248-792-5071 (24 HOUR TELEPHONE)
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR, AND SHALL PREVENT THE TRESPASS OF IMPOUND WATER ON PUBLIC AREAS OR THE CREATION OF HAZARDOUS CONDITIONS.
5. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO THAT RUNOFF IS CONTAINED WITHIN THE PROJECT AREA OR CHanneled INTO THE STORM DRAIN SYSTEM WHICH SERVES THE RUNOFF AREA. STORM RUNOFF FROM ONE AREA SHALL NOT BE DIVERTED TO ANOTHER RUNOFF AREA.
6. NO CHANGES TO EXISTING OR NATURAL DRAINAGE COURSES SHALL BE PERMITTED DURING THE RAINY SEASON UNLESS THE APPROVED DRAINAGE FACILITIES HAVE BEEN COMPLETED.
7. CLEARING AND GRUBBING SHALL BE LIMITED TO AREAS THAT WILL RECEIVE IMMEDIATE GRADING. EROSION CONTROL MEASURES SHALL BE REQUIRED AND MAY INCLUDE: GRADED DITCHES, BRUSH BARRIERS AND SILT FENCING. CARE SHALL BE EXERCISED TO PRESERVE VEGETATION BEYOND THE LIMITS OF GRADING.
8. DESILTING BASINS SHALL BE CONSTRUCTED AS INDIVIDUAL ROUGH GRADING AREAS ARE COMPLETED.
9. GRADED AREAS AROUND THE TRACT PERIMETER SHALL DRAIN AWAY FROM THE TOE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY.
10. TEMPORARY EROSION PROTECTION SHALL BE REQUIRED FOR MANUFACTURED SLOPES PRIOR TO PERMANENT PLANTING.
11. FILL AREAS, DURING PERIODS OF COMPLETION PRIOR TO FINAL GRADE, SHALL BE PROTECTED TO LIMIT EROSION AND THE SILTATION OF DOWNSTREAM PROPERTY. PROTECTION MEASURES MAY INCLUDE TEMPORARY DOWNDRAINS USING PIPES OR PAVED DITCHES WITH PROTECTED OUTFALL AREAS, DESILTING PONDS, CHECK DAMS, SAND BAG PROTECTION AROUND INLETS NOT YET BROUGHT TO GRADE AND APPROPRIATE CHANNEL GRADING TO DIRECT RUNOFF AWAY FROM AREAS WHERE EARTHWORK IS NOT UNDERWAY.
12. PROJECT AREAS, AS WELL AS NEIGHBORING PROPERTY AREAS, SHALL HAVE MAINTAINED FIRE ACCESS AT ALL TIMES.
13. EQUIPMENT AND PERSONNEL FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT.
14. REMOVABLE PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40 PERCENT.
15. DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT APPROVAL FROM THE CITY ENGINEER OR PUBLIC WORKS INSPECTOR.
16. AFTER A RAINSTORM, SILT AND DEBRIS SHALL BE IMMEDIATELY REMOVED FROM CHECK BERMS, SILT FENCES AND OTHER IMPACTED AREAS.
17. AN UPDATED COPY OF THE EROSION CONTROL PLAN AND SWPPP SHALL BE KEPT AVAILABLE TO THE CITY AT THE PROJECT SITE. THE CONTRACTOR SHALL MAINTAIN ALL NECESSARY RECORDS (I.E. LOGS, INSPECTION REPORTS, ETC.).
18. INFORMATION ON THIS PLAN IS FOR EROSION CONTROL PURPOSES ONLY. THE CITY ENGINEER MAY MODIFY THIS PLAN AS NECESSARY.
19. APPROVAL OF THIS PLAN SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITIES TO HIS SITE OR ADJACENT PROPERTIES. TEMPORARY EROSION CONTROL SHALL INCLUDE CONSTRUCTION MEASURES NECESSARY TO PREVENT, CONTROL AND ABATE WATER, MUD AND EROSION DAMAGE TO PUBLIC OR PRIVATE PROPERTY IMPACTED BY HIS CONSTRUCTION ACTIVITIES.
20. APPROVAL OF THESE PLANS BY THE CITY OR ITS AGENTS SHALL NOT RELIEVE THE CONTRACTOR OR THE APPLICANT OF THE RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS DISCOVERED DURING CONSTRUCTION. UPON REQUEST, THE APPROPRIATE PLAN REVISIONS SHALL BE PROMPTLY SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
21. ALL BMP DEVICES MUST BE INSTALLED ACCORDING TO THE CASQA MANUAL, LATEST EDITION.

**LEGEND**

- DP DISCHARGE POINTS  
SL-1 SAMPLE LOCATION
- SITE BOUNDARY  
--- DEMO LIMITS
- SE-4 CHECK DAM  
SE-5 FIBER ROLLS  
SE-6 GRAVEL BAG BARRIER

**BMP LEGEND**

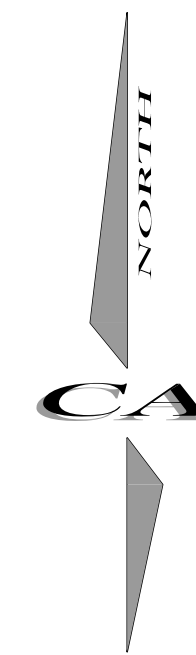
- SE-1 SILT FENCE  
SE-3 SEDIMENT TRAP  
SE-4 CHECK DAM  
SE-5 FIBER ROLLS  
SE-6 GRAVEL BAG BARRIER  
SE-7 STREET SWEEPING AND VACUUMING  
SE-10 STORM DRAIN INLET PROTECTION
- WM-5 SOLID WASTE MANAGEMENT  
WM-8 CONCRETE WASTE MANAGEMENT  
WM-9 SANITARY/SEPTIC WASTE MANAGEMENT  
TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT  
WE-1 WIND EROSION CONTROL [BLANKET]
- EC-5 SOIL BINDERS [BLANKET]  
WM-1 MATERIAL DELIVERY & STORAGE  
WM-2 MATERIAL USE  
WM-3 STOCKPILE MANAGEMENT  
WM-4 SPILL PREVENTION & CONTROL
- NS-1 WATER CONSERVATION PRACTICES [BLANKET]  
NS-3 PAVING AND GRINDING OPERATIONS [BLANKET]  
NS-8 VEHICLE AND EQUIPMENT CLEANING  
NS-9 VEHICLE AND EQUIPMENT FUELING  
NS-10 VEHICLE AND EQUIPMENT MAINTENANCE

**NOTES:**

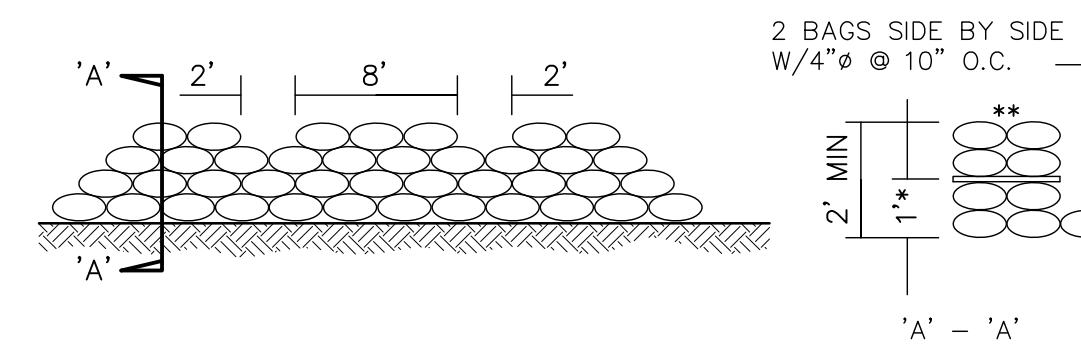
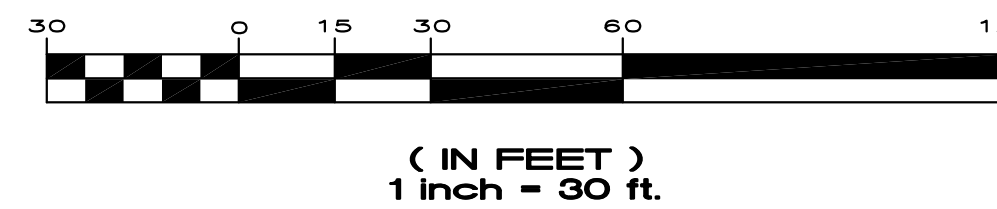
1. DEMOLITION LIMITS ARE DEFINED AS REQUIRED TO CONSTRUCT THE PROPOSED PRECISE GRADING PLAN. DEMOLITION OF PHYSICAL STRUCTURES ARE THE CONTRACTORS RESPONSIBILITY AT THE OWNERS AND CITY'S DISCRETION.
2. CONTRACTOR TO FIELD VERIFY ALL DEMOLITION ITEMS AND SHALL CONTACT THE ENGINEER OF RECORD IF ANY DISCREPANCIES ARE IDENTIFIED.
3. EXISTING UTILITIES TO BE PROTECTED UNLESS OTHERWISE NOTED, REFER TO PRECISE GRADING PLAN FOR UTILITY CONSTRUCTION.

**DEMOLITION NOTES**

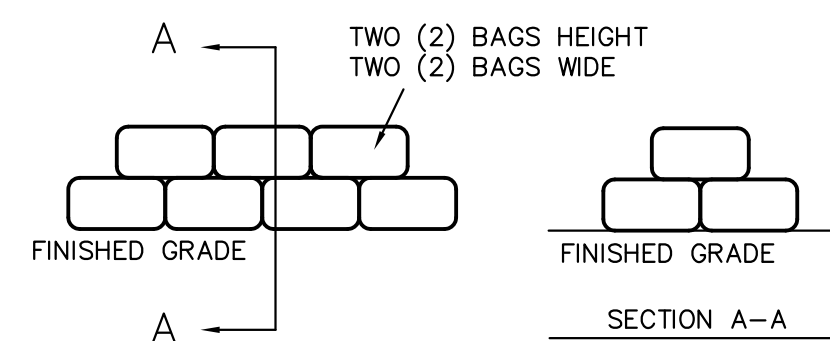
- 20 PROTECT IN PLACE  
21 REMOVE EXISTING WALL/FENCE  
22 REMOVE EXISTING BUILDING/OVERHANG/DOCK  
23 REMOVE EXISTING HARDSCAPE/PAD  
24 REMOVE EXISTING CURB/GUTTER/PARKWAY  
25 REMOVE EXISTING TREE/LANDSCAPING/PLANTER  
26 REMOVE EXISTING UTILITY/BOLLARD/SIGN



**GRAPHIC SCALE**



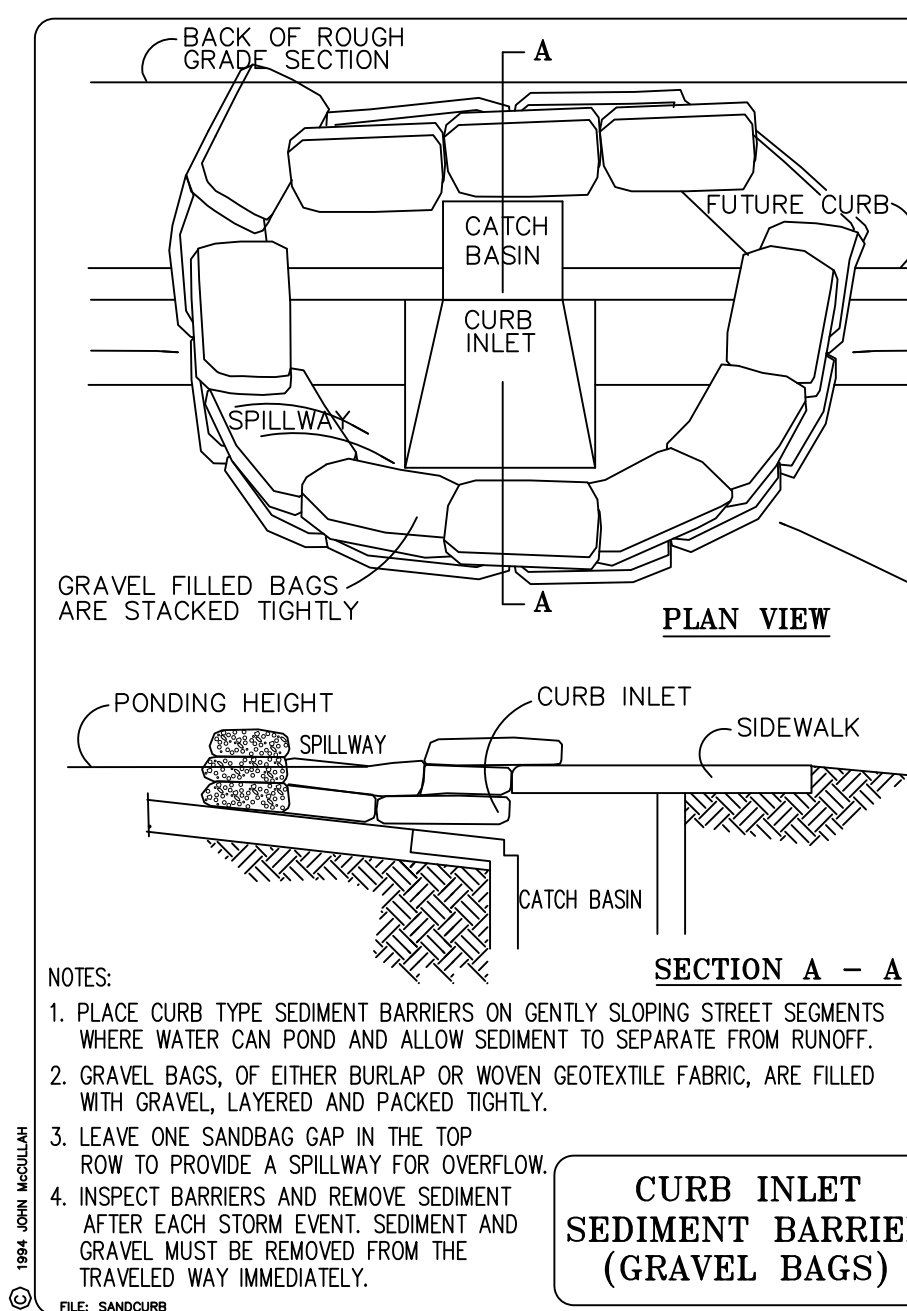
- \* HEIGHT OF CHECK DAM SHOULD NOT EXCEED 3 FEET  
\*\* PROVIDE AN EXTRA ROW OF GRAVEL BAGS FOR EVERY ROW OF GRAVEL BAGS 3 GRAVEL BAGS HIGH.



**GRAVEL BAG DETAIL**

NOT TO SCALE

SE-6



SE-10

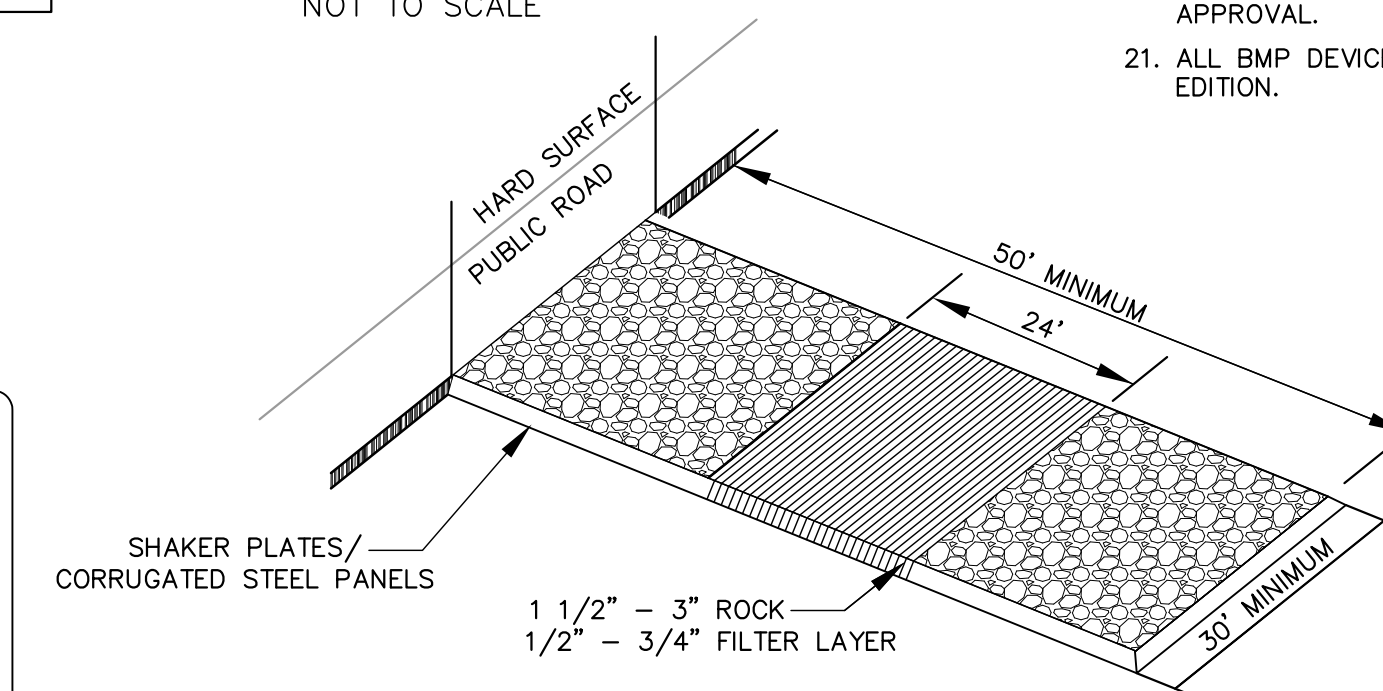
**STORM DRAIN INLET PROTECTION**

NOT TO SCALE

**CHECK DAM DETAIL**

NOT TO SCALE

SE-4



**VEHICLE TRACKING CONTROL**

NOT TO SCALE

TC-1

**C5**

**BLD XXXX-XXXXX CITY STAMP**

**PREPARED BY:**

**CA ENGINEERING, INC.**  
Planning • Engineering • Surveying  
4101 BIRCH STREET, STE 140  
NEWPORT BEACH, CA 92660  
949-724-9480 949-724-9484 FAX

**PREPARED FOR:**

**BPI Brea LLC**  
417 S. Associated Rd, Suite 313  
Brea, CA 92821  
(248) 792-5071  
CONTACT: WAAD J. NADHIR

**LAST REV.**

**Feb 20 2025**

**JOB NO.**

**487-5**

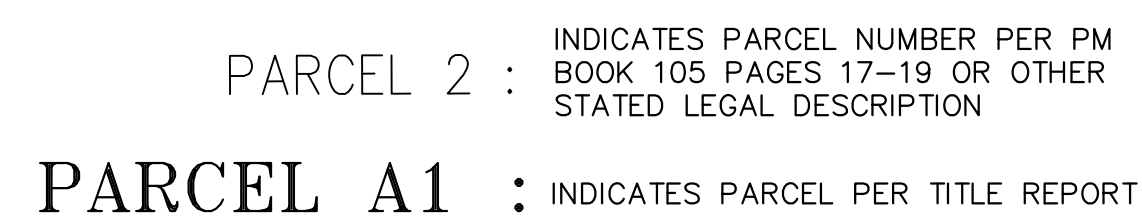
**Sht. 1 of 1**



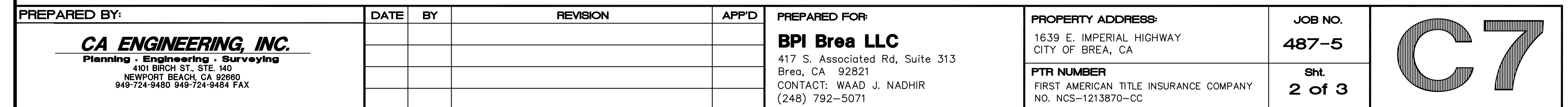
DATE	BY	REVISION



CITY OF BREA, COUNTY OF ORANGE, STATE OF CALIFORNIA

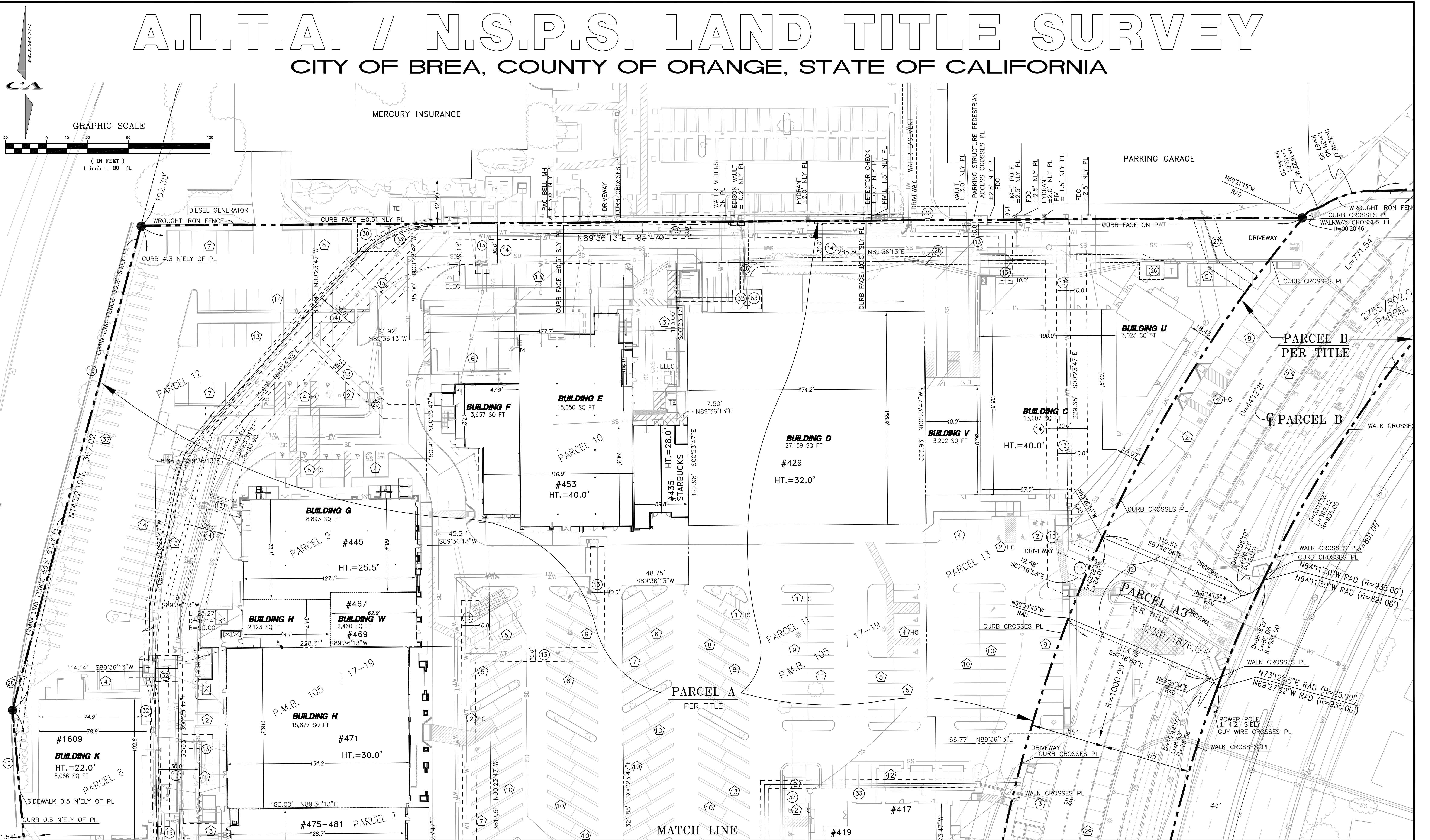


	BOUNDARY					FIRE DEPT. CONNECTION
	CENTER LINE					POWER POLE
	INTERIOR PROPERTY LINE					STORM DRAIN GRATE
	EASEMENT					STORM DRAIN MANHOLE
	EX. FENCE					SANITARY SEWER MANHOLE
	EX. OVERHEAD POWERLINE					SANITARY SEWER CLEAN OUT
		N — NORTH				WATER VALVE
TC — TOP OF CURB	CLF — CHAIN LINK FENCE	S — SOUTH				FIRE HYDRANT
CONC — CONCRETE	OHW — OVERHEAD WIRE	E — EAST				TREE
C&G — CURB & GUTTER	IF — IRON FENCE	W — WEST				STREET LIGHT
WT — WATER	MH — MANHOLE	NLY — NORTHERLY				PULL BOX
PP — POWER POLE	GP — GUARD POST	SLY — SOUTHERLY				SIGN
LP — LIGHT POLE	DI — DRAIN INLET	ELY — EASTERLY				
PB — PULLBOX	CB — CATCH BASIN	ELY — WESTERLY				
GA — GUY ANCHOR	UTIL — UTILITY	PL — PROPERTY LINE				
FH — FIRE HYDRANT	SCO — SEWER CLEANOUT					
DCDA — DOUBLE DETECTOR CHECK	SS — SEWER					
BF — BACKFLOW	DWY — DRIVEWAY					
WM — WATER METER	SD — STORM DRAIN					



# A.L.T.A. / N.S.P.S. LAND TITLE SURVEY

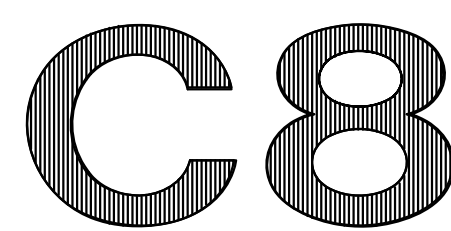
CITY OF BREA, COUNTY OF ORANGE, STATE OF CALIFORNIA



PREPARED BY:	DATE	BY	REVISION	APP'D
CA ENGINEERING, INC. Planning - Engineering - Surveying 401 BIRCH ST., STE. 140 NEWPORT BEACH, CA 92660 949-724-9480 949-724-9484 FAX				

PREPARED FOR:	PROPERTY ADDRESS:	PTNR NUMBER
BPI Brea LLC 417 S. Associated Rd, Suite 313 Brea, CA 92821 CONTACT: WAAD J. NADHIR (248) 792-5071	1639 E. IMPERIAL HIGHWAY CITY OF BREA, CA	FIRST AMERICAN TITLE INSURANCE COMPANY NO. NCS-1213870-CC

JOB NO.	
487-5	
Sht.	3 of 3



PARCEL A1: INDICATES PARCEL PER TITLE REPORT  
PARCEL 2 : INDICATES PARCEL NUMBER PER PM  
BOOK 105 PAGES 17-19 OR OTHER  
STATED LEGAL DESCRIPTION

LEGEND	
---	BOUNDARY
---	CENTER LINE
---	INTERIOR PROPERTY LINE
---	EASEMENT
---	EX. FENCE
---	EX. OVERHEAD POWERLINE



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3	PLANTING AREA - TYP.
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5	PROPOSED FIRE HYDRANT
6	CURB RAMP WITH DETECTABLE WARNING PAVERS - TYP. PER CIVIL ENGINEER
7	BENCH WITH CONCRETE PAD
8	STRIPED CROSSWALK - TYP. PER CIVIL ENGINEER
9	CALTRANS FENCE TO REMAIN
10	CANOPY TREES - TYP. REFER TO PLANTING PLAN
11	RETAINING WALL BELOW FENCE PER CIVIL
12	ENHANCED CONCRETE WALKWAY - MATCH EXISTING BLDG 'E' PAVING
13	4' WIDE DECOMPOSED GRANITE PATH
14	RELOCATION OF LONG-TERM BIKE LOCKER FOR BLDG 'E'
15	TRANSFORMER
16	DECORATIVE PAVERS AT CROSSWALKS - TYP.
17	EV CAR CHARGER
18	TRASH ENCLOSURE
19	DECORATIVE VALET DROP-OFF
20	VALET PODIUM AT RESTAURANT
21	ENHANCED PAVING AT RESTAURANT ENTRY
22	TENANT PATIO WITH SEATING
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24	RAISED PLANTER WITH SPECIMEN TREE AND PENDANT LIGHTING
25	PATIO ENCLOSURE
26	BOLLARDS AT VALET
27	VERTICAL GREEN WALL PER ARCHITECT. SEE SHEET 16 AND 17
28	SCE PME BOX BY OTHER

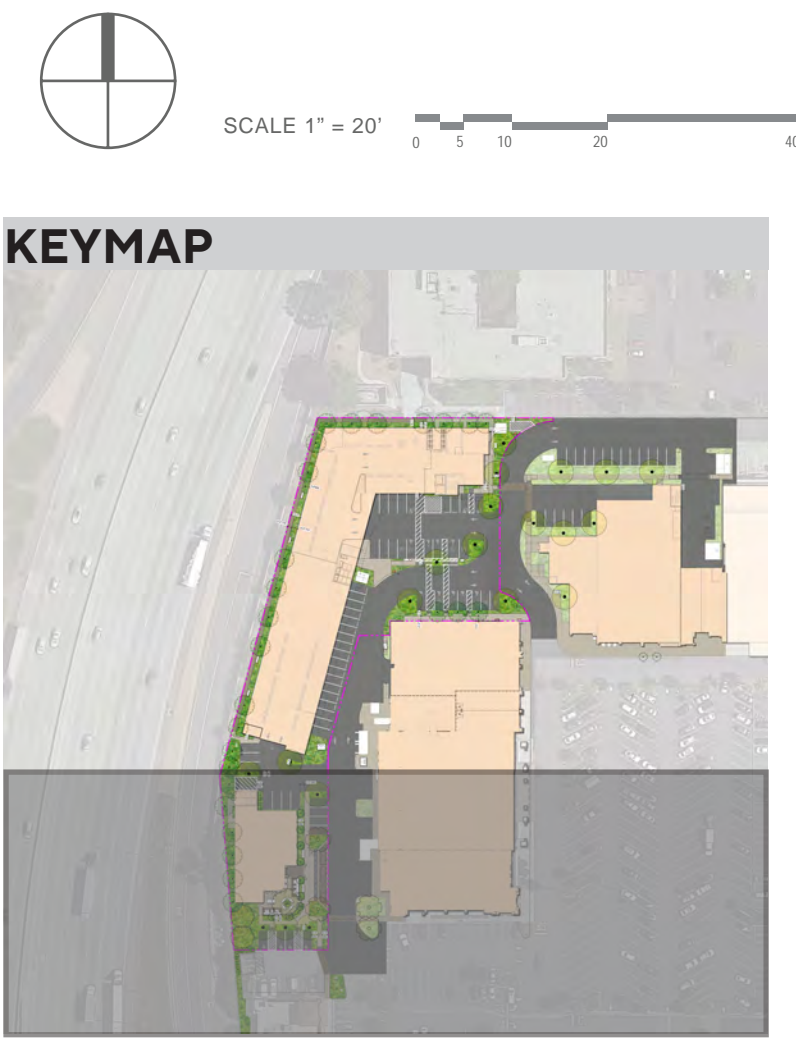
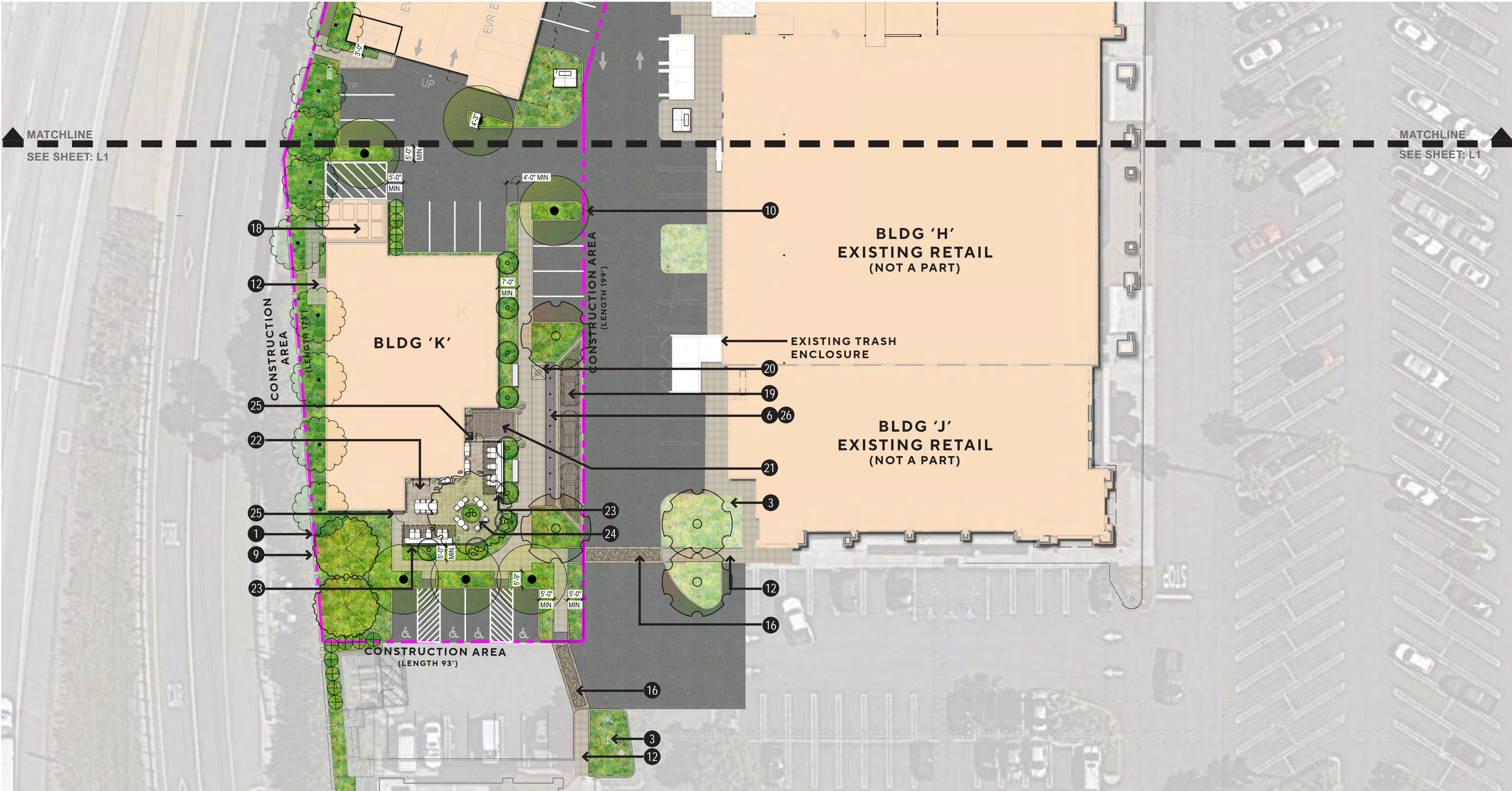
PROJECT SUMMARY	
TOTAL LOT AREA (APN 319-391-01/04 & APN 319-391-02/03 OCFD LEASE AREA)	15.58 ACRES
TOTAL CONSTRUCTION AREA	77,101 SF
TOTAL BUILDING FOOTPRINT	186,533 SF 27,882 SF (APARTMENTS) 5,000 SF (BLDG K) 153,651 SF (EXISTING BLDGS IN APN)
TOTAL PROPOSED LANDSCAPE IMPROVEMENTS (HARDSCAPE AND LANDSCAPE COMBINED)	20,862 SF LVL 1 (PLANTING): 11,325 SF LVL 1 (HARDSCAPE): 8,630 SF LVL 6 (PLANTING): 352 SF LVL 6 (HARDSCAPE): 555 SF
EXISTING LANDSCAPE AREA (INCLUDING PLANTING WITHIN APN-01/04 & OCFD)	80,872 SF
LANDSCAPE COVERAGE (MINIMUM REQUIREMENT 15% PER SECTION 20.236.040)	27% WITHIN CONSTRUCTION AREA (15% WITHIN TOTAL LOT AREA)

**IRRIGATION DESIGN NOTES**

THE IRRIGATION SYSTEM WILL BE A FULLY AUTOMATIC UNDERGROUND SYSTEM. BACKFLOW PREVENTION DEVICES WILL BE INSTALLED TO MEET APPLICABLE CODES. THE IRRIGATION SYSTEM WILL BE DESIGNED AND CONSTRUCTED TO BE AS EFFICIENT IN TERMS OF WATER USAGE AS POSSIBLE. WATER CONSERVATION PRODUCTS (HIGH EFFICIENCY / LOW PRECIPITATION) AND AN EVAPOTRANSPIRATION (ET) WEATHER BASED CONTROL SYSTEM WILL BE INCORPORATED INTO THE SYSTEM DESIGN.

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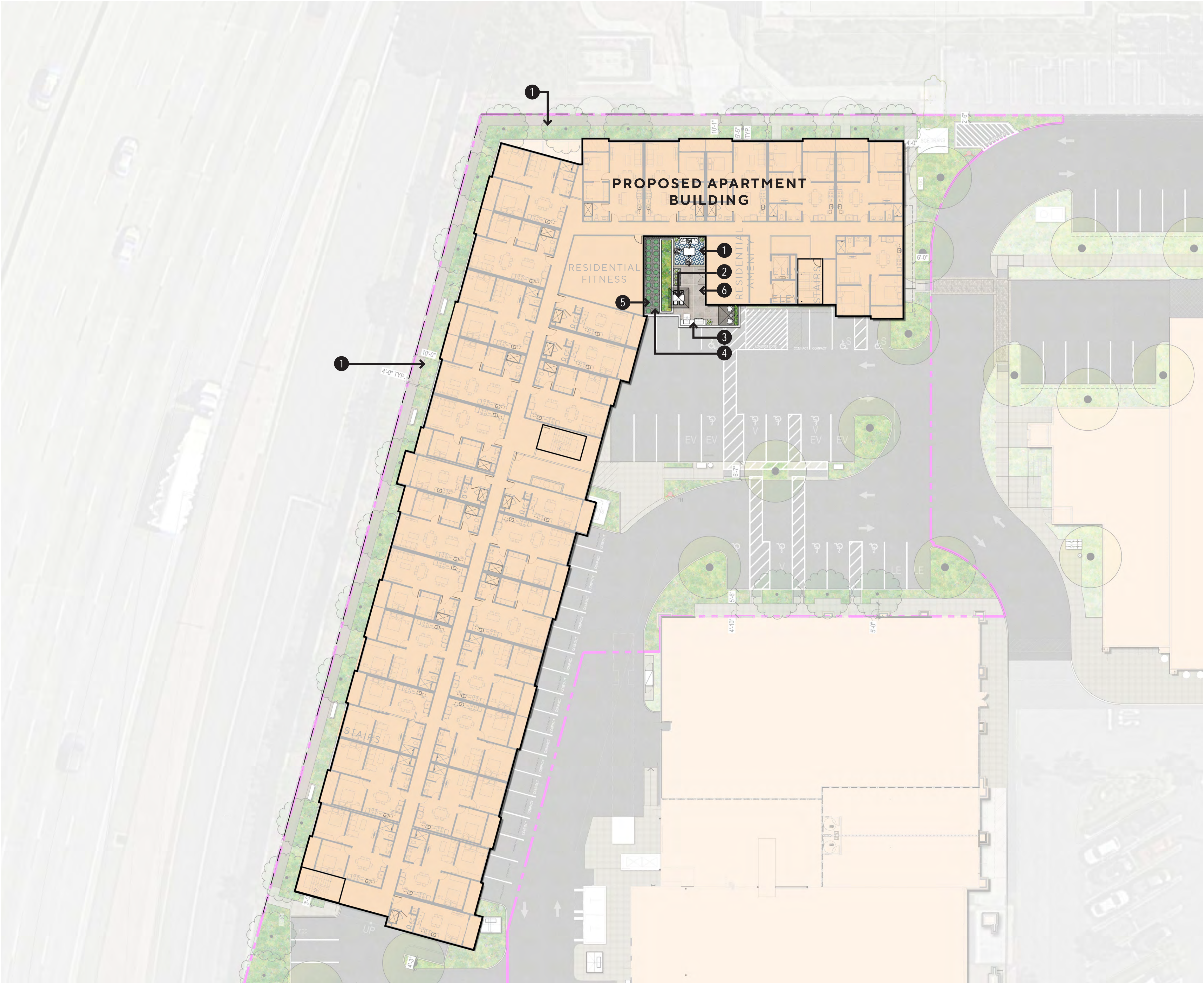
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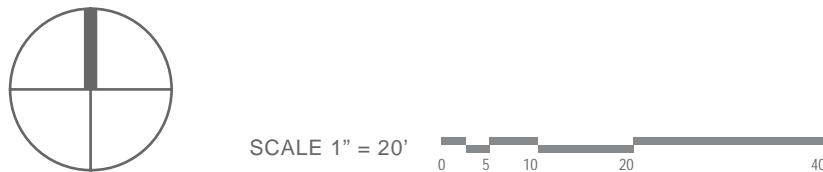
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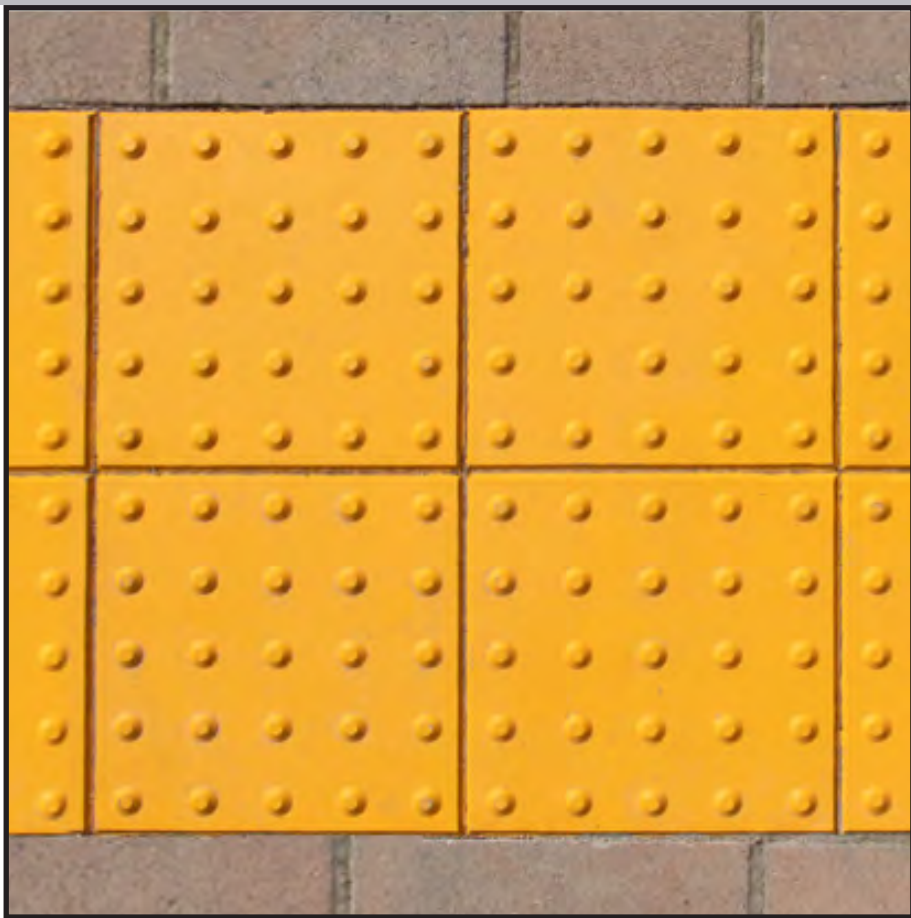
KEYNOTE LEGEND	
1	LOUNGE SEATING AREA WITH SOFAS AND COFFEE TABLE
2	DINING AREA WITH COMMUNAL TABLE AND FREE STANDING UMBRELLA
3	NATURAL GAS BARBECUE AND COUNTERTOP WITH ADA PREP AREA
4	30" HIGH RAISED PLANTING AREA
5	LOW PLANTING AREA WITH SUCCULENTS AND DECORATIVE COBBLE
6	DECORATIVE PEDESTAL PAVING AT COMMUNITY SPACE PATIO
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HARDSCAPE MATERIAL



CAST IN PLACE INTEGRAL COLOR CONCRETE PAVING AT LEVEL 1 (DAVIS COLOR 'PEBBLE' WITH LIGHT ACID ETCH RETARDANT)



12"X12" PRECAST CONCRETE TRUNCATED DOME PAVERS AT LEVEL 1 (ORCO BLOCK YELLOW TRUNCATED DOME'



24"X24" PORCELAIN DECORATIVE PAVER ON PEDESTAL AT LEVEL 6



DECORATIVE ROUND PEBBLE AT LEVEL 6



DECORATIVE PAVERS



24X24 PRECAST CONCRETE PAVERS AT RESTAURANT

DECORATIVE RAILING



EXISTING WHITE TUBE STEEL FENCE

SITE AMENITIES



NATURAL GAS BARBECUE AND COUNTER AT LEVEL 6



COMMUNAL DINING FURNITURE AT LEVEL 6



LOUNGE FURNITURE AT LEVEL 6



TREE LEGEND					
SYMBOL	BOTANICAL NAME (COMMON NAME)	SIZE	QTY.	WUCOLS	DESCRIPTION
	ARBUTUS 'MARINA' (STRAWBERRY TREE)	24" BOX	4	M	MULTI-TRUNK
	CUPRESSUS SEMPERVIRENS 'TINY TOWER' (TINY TOWER ITALIAN CYPRESS)	24" BOX	9	L	STANDARD, MATCHING
	LOPHOSTEMON CONFERTUS (BRUSH BOX)	24" BOX	26	M	UP-RIGHT, MATCHING
	OLEA EUROPAEA (OLIVE TREE)	48" BOX	1	L	MULTI-TRUNK, FIELD GROWN
	PRUNUS CAROLINIANA (CAROLINA CHERRY LAUREL)	24" BOX	14	M	HEDGE, STANDARD, MATCHING
	RHUS LANCEA (AFRICAN SUMAC)	24" BOX	20	L	STANDARD MATCHING PARKING LOT TREE
	VITEX AGNUS-CASTUS (CHASTE TREE)	24" BOX	2	L	STANDARD, MATCHING

**PLANTING DESIGN NOTES**

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**CLIMATE ZONES FACTOR**

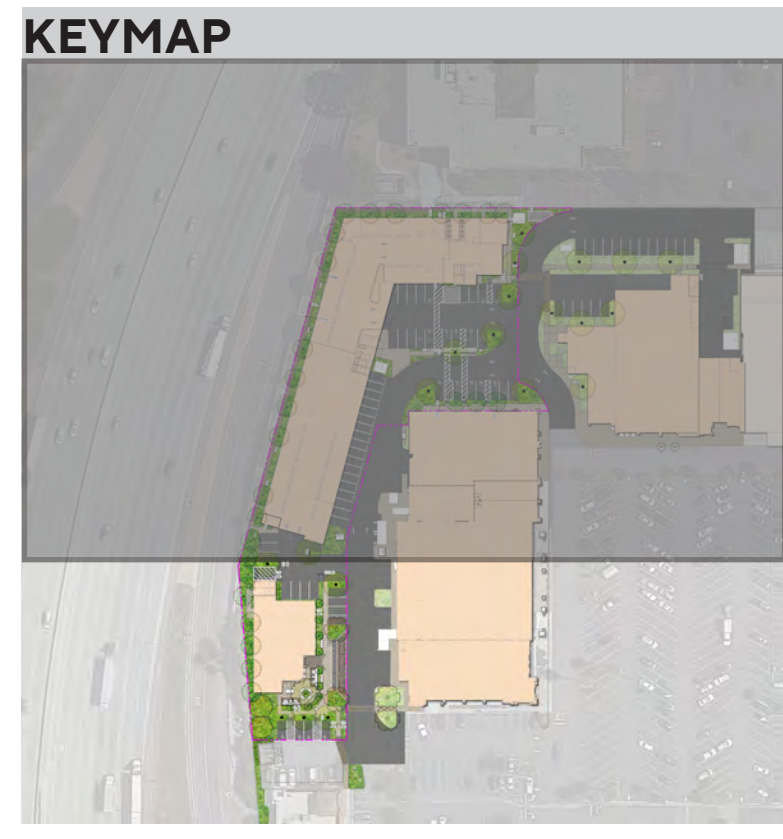
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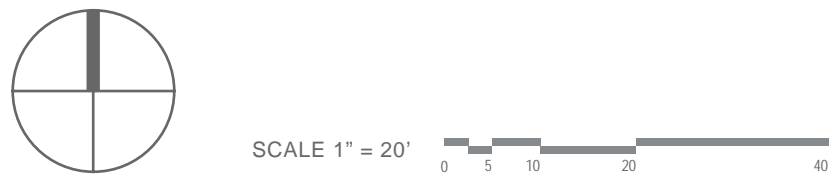
SUNSET ZONE: 23  
USDA HARDINESS ZONE: 10a  
WUCOLS REGION: SOUTH COASTAL, REGION 3

TREE RATIO BCC SECTION 20.236.040			
AREA	LENGTH	TREES REQUIRED	TREES PROVIDED
WEST CONSTRUCTION AREA	540'	18	18
EAST CONSTRUCTION AREA	531'	18	18
NORTH CONSTRUCTION AREA	203'	7	7
SOUTH CONSTRUCTION AREA	259'	9	9

**NOTE:**  
\*TREES ARE SPACED ACCORDING TO THE LOCATIONS OF BALCONIES, GREEN SCREENS, ARCHITECTURAL COLUMNS AND OTHER FEATURES.  
\* PER MEETING WITH CITY ON 2/18/2025. TREES CAN BE CLUSTED AND TREES FOR PARKING SHADING AND OTHER PURPOSES (SCREENING, ETC.) CAN BE COUNTED TOWARDS THIS REQUIREMENT.



**NOTE:**  
13.5' CLEAR. ALL TREES WITHIN FIRE ACCESS ROAD TO BE SKIRTED TO 13.5' MIN. CLEARANCE A.F.F.





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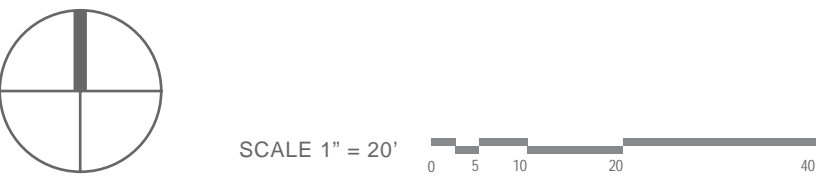
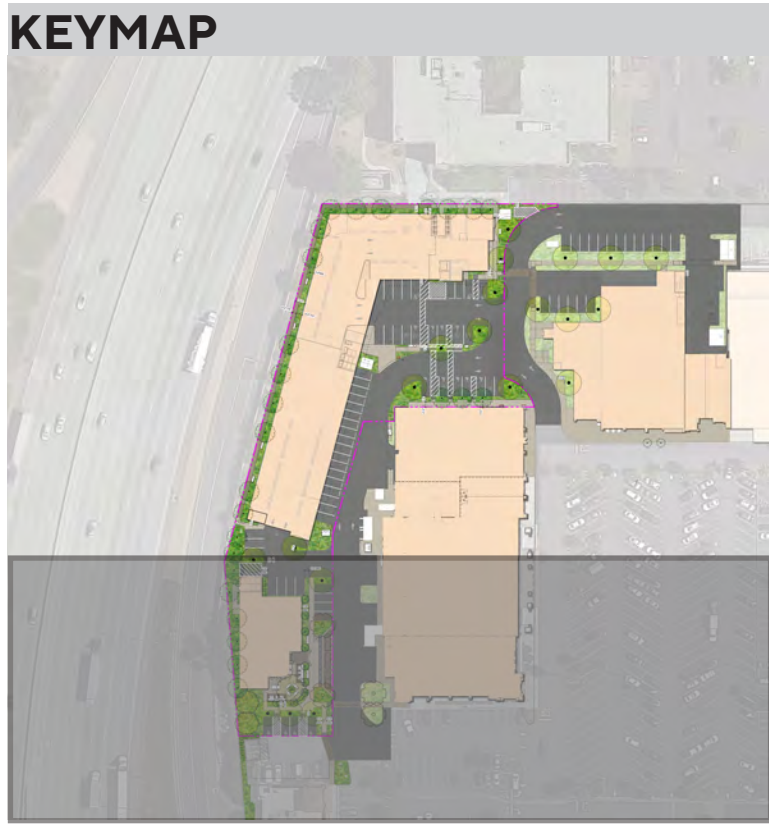
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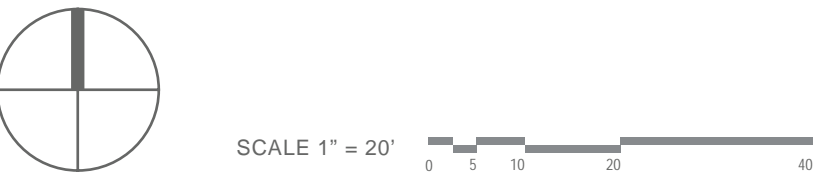
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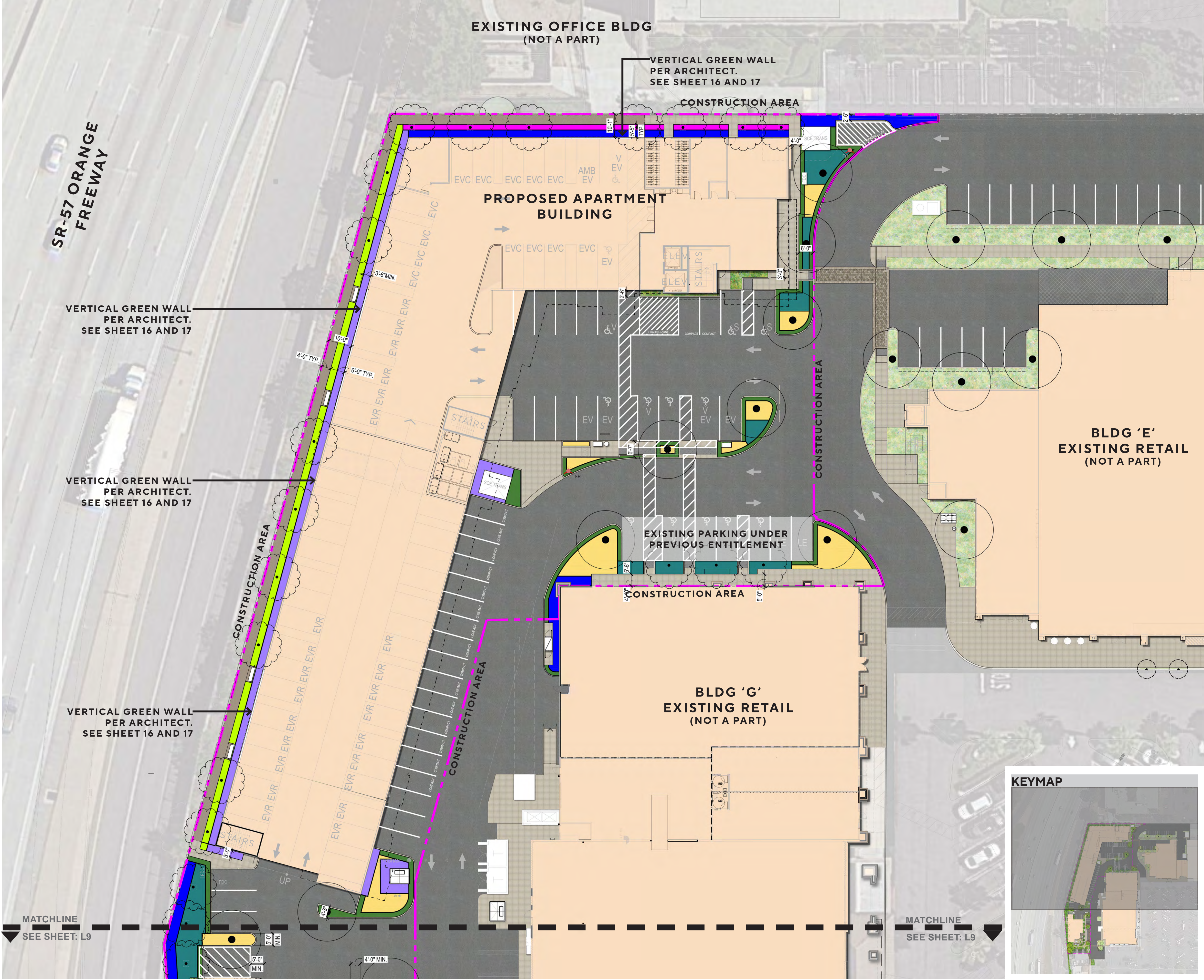
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WUCOLS REGION: SOUTH COASTAL, REGION 3





SHRUB LEGEND				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS
*	AGAVE 'BLUE FLAME'	BLUE FLAME AGAVE	15 GAL	L
■	BOUGAINVILLEA 'MONKA'	OO-LA-LA BOUGAINVILLEA	1 GAL @ 30" O.C.	L
■	CARISSA MACROCARPA 'GREEN CARPET'	GREEN CARPET NATAL PLUM	1 GAL @ 30" O.C.	L
■	DIANELLA REVOLTA 'BABY BLISS'	BABY BLISS FLAX LILY	5 GAL @ 24" O.C.	L
■	DIETES BICOLOR 'LEMONDROP'	LEMONDROP AFRICAN IRIS	5 GAL @ 24" O.C.	L
☼	FURCRAEA FOETIDA MADIOPICTA	GIANT FALSE AGAVE	15 GAL	L
■	MYRTUS COMMUNIS 'COMPACTA'	DWARF MYRTLE	5 GAL @ 30" O.C.	L
■	OLEA EUROPAEA 'MONTRA'	LITTLE OLLIE DWARF OLIVE	5 GAL @ 36" O.C.	L
■	PEROVSKIA ANTRIPICIFOLIA 'BLUE JEAN BABY'	BLUE JEAN BABY RUSSIAN SAGE	5 GAL @ 36" O.C.	L
■	PHILODENDRON 'XANADU'	XANADU PHILODENDRON	5 GAL @ 36" O.C.	M
■	PRUNUS CAROLINIANA 'COMPACTA'	DWARF CAROLINA LAUREL CHERRY	15 GAL @ 48" O.C.	M
■	SUTERA CORDATA 'SCOPIA'	SCOPIA BACOPA	5 GAL @ 12" O.C.	M

**PLANTING DESIGN NOTES**

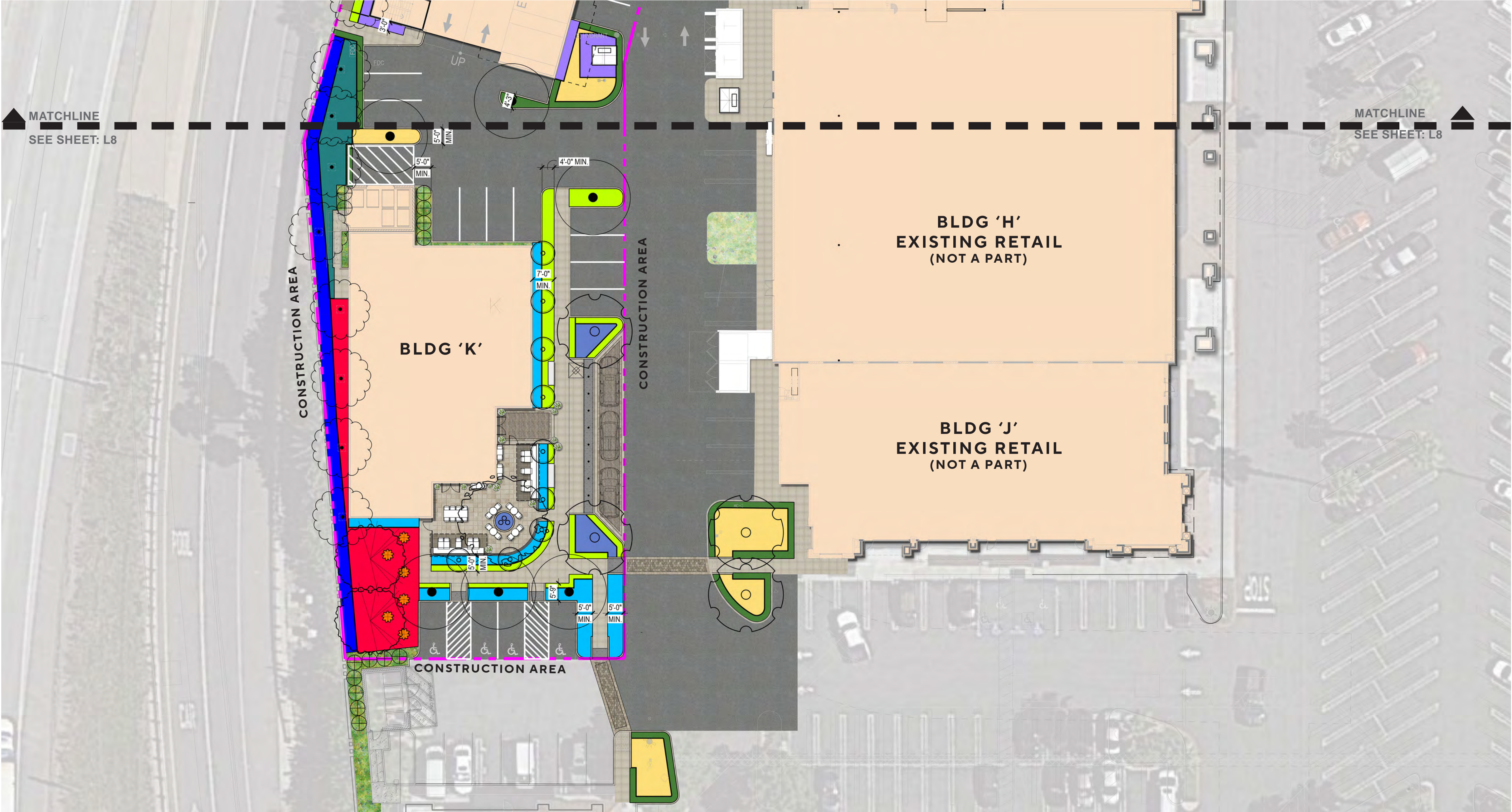
THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS, AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. GROUND COVERS OR BARK MULCH SHALL FILL IN BETWEEN THE SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION AND RUN-OFF. ALL THE FLOWER AND SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER THE SOIL TEMPERATURE AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE CITY OF BREA GUIDELINES.

**CLIMATE ZONES FACTOR**

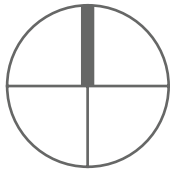
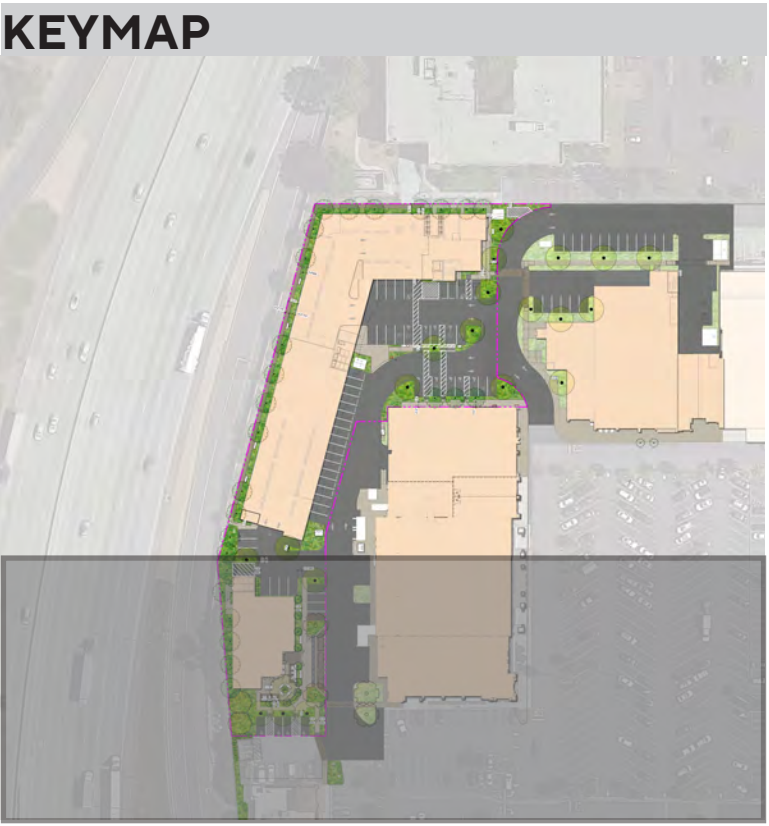
WATER USE ABBREVIATIONS ARE AS FOLLOWS:

**H** = HIGH WATER NEEDS  
**M** = MEDIUM WATER NEEDS  
**L** = LOW WATER NEEDS  
**VL** = VERY LOW WATER NEEDS

SUNSET ZONE: 23  
USDA HARDINESS ZONE: 10a  
WUCOLS REGION: SOUTH COASTAL, REGION 3

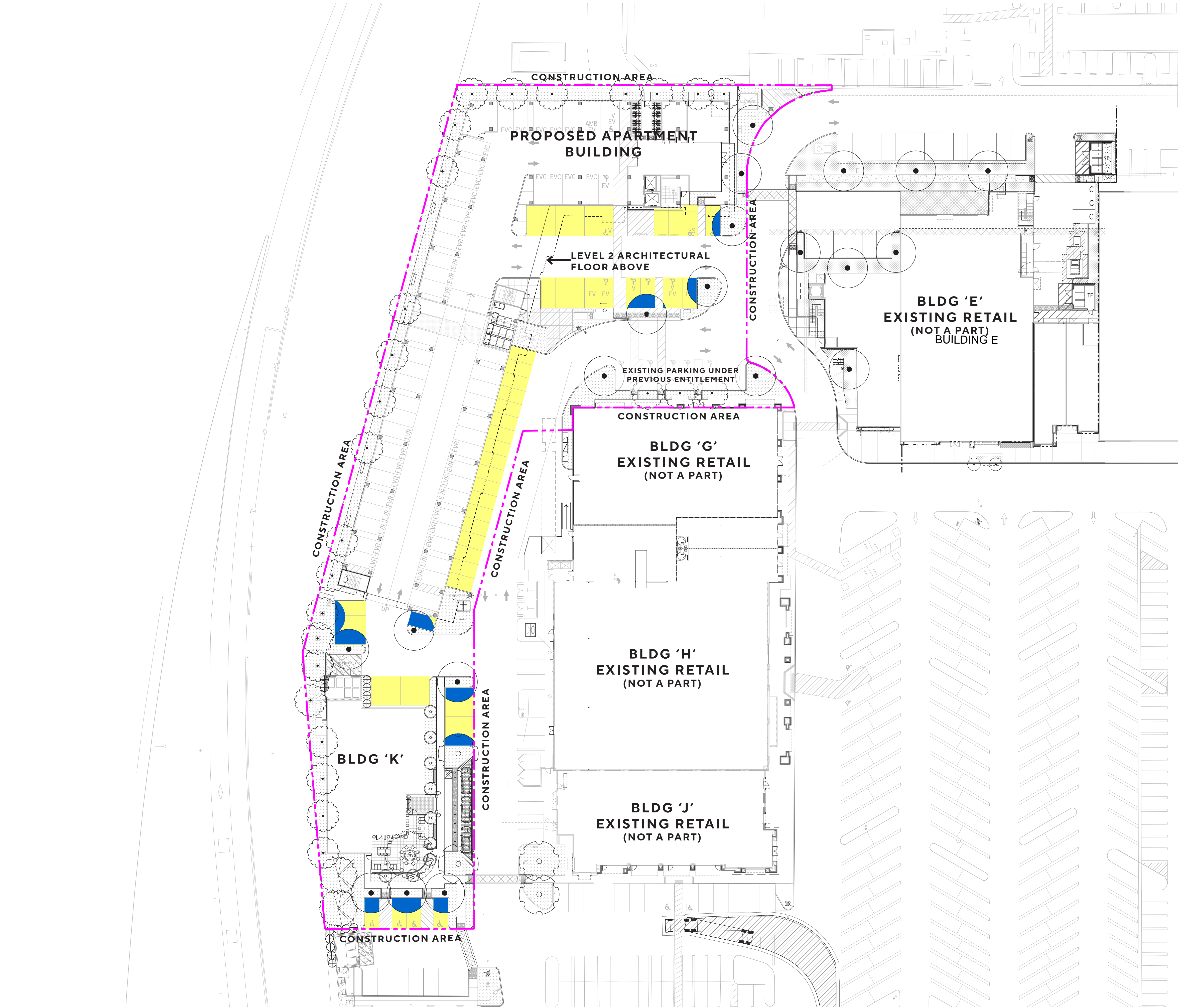


SHRUB LEGEND				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS
*	AGAVE 'BLUE FLAME'	BLUE FLAME AGAVE	15 GAL	L
	BOUGAINVILLEA 'MONKA'	OO-LA-LA BOUGAINVILLEA	1 GAL @ 30" O.C.	L
	CARISSA MACROCARPA 'GREEN CARPET'	GREEN CARPET NATAL PLUM	1 GAL @ 30" O.C.	L
	DIANELLA REVOLTA 'BABY BLISS'	BABY BLISS FLAX LILY	5 GAL @ 24" O.C.	L
	DIETES BICOLOR 'LEMONDROP'	LEMONDROP AFRICAN IRIS	5 GAL @ 24" O.C.	L
	FURCRAEA FOETIDA MADIOPICTA	GIANT FALSE AGAVE	15 GAL	L
	MYRTUS COMMUNIS 'COMPACTA'	DWARF MYRTLE	5 GAL @ 30" O.C.	L
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	PHILODENDRON 'XANADU'	XANADU PHILODENDRON	5 GAL @ 36" O.C.	M
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SUNSET ZONE: 23 USDA HARDINESS ZONE: 10a WUCOLS REGION: SOUTH COASTAL, REGION 3				

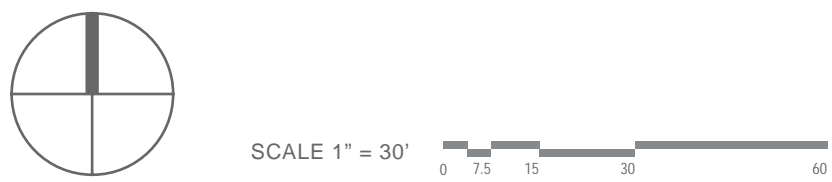


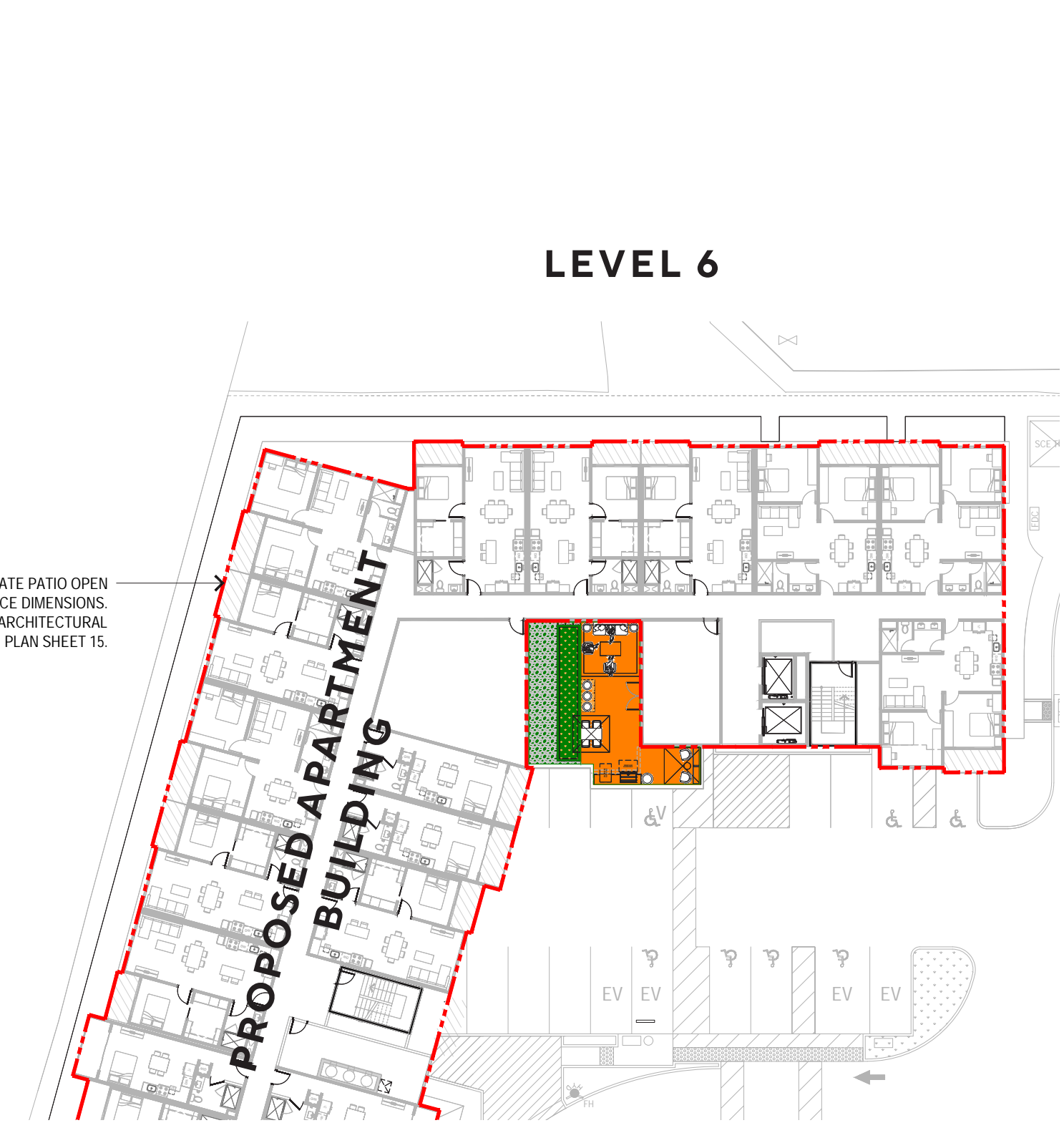
SCALE 1" = 20'



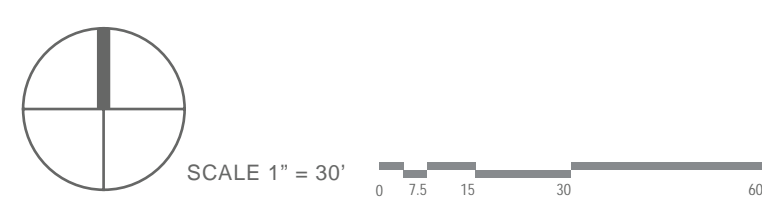


TREE SHADING LEGEND			
<div></div>	TOTAL PAVED AREA (8,384 S.F.)		
<div></div>	TOTAL TREE SHADE PROVIDED OVER PARKING STALLS (2,125 S.F.)		
SHADE CALCULATIONS			
TOTAL PAVED AREA	8,384 S.F.		
TOTAL SHADE PROVIDED OVER PARKING STALLS	2,125 S.F.		
SHADE COVERAGE	25%		
PARKING AREA CALCULATIONS			
TOTAL SURFACE PARKING STALLS	53		
TOTAL NUMBER OF TREES REQUIRED	11		
TOTAL NUMBER OF TREES PROVIDED	11		
DIA.	QTY.	S.F.	TOTAL S.F.
20' TREES			
100%		314	
75%		236	
50%	1	157	157
25%		79	
25' TREES			
100%		491	
75%		368	
50%	6	246	1,476
25%	4	123	492
SHADE PROVIDED FROM TREES		2,125 S.F.	





LEGEND	
SYMBOL	DESCRIPTION
	PROPOSED DEVELOPMENT AREA
	LANDSCAPE AREA
	HARDSCAPE AREA
PROJECT SUMMARY	
TOTAL LOT AREA (APN 319-391-01/04 & APN 319-391-02/03 OCFCO LEASE AREA)	15.58 ACRES
TOTAL CONSTRUCTION AREA	77,101 SF
TOTAL BUILDING FOOTPRINT	186,533 SF 27,882 SF (APARTMENTS) 5,000 SF (BLDG K) 153,651 SF (EXISTING BLDGS IN APN)
TOTAL PROPOSED LANDSCAPE IMPROVEMENTS (HARDSCAPE AND LANDSCAPE COMBINED)	20,862 SF LVL 1 (PLANTING): 11,325 SF LVL 1 (HARDSCAPE): 8,630 SF LVL 6 (PLANTING): 352 SF LVL 6 (HARDSCAPE): 555 SF
EXISTING LANDSCAPE AREA (INCLUDING PLANTING WITHIN APN-01/04 & OCFCO)	80,872 SF
LANDSCAPE COVERAGE (MINIMUM REQUIREMENT 15% PER SECTION 20.236.040)	27% WITHIN CONSTRUCTION AREA (15% WITHIN TOTAL LOT AREA)
TREE CANOPY AREA ON ALL HARDSCAPE (50% MATURITY)	4,577 SF
OPEN SPACE CALCULATIONS	
BCC SECTION 20.258.020 TABLE 2-7	
TOTAL PRIVATE OPEN SPACE (BALCONIES)	7,220 SF*
MINIMUM PRIVATE OPEN SPACE REQUIREMENT (75 SF PER DWELLING UNIT)	9,000 SF
TOTAL COMMON OPEN SPACE	5,970 SF* LVL 1 LINEAR PARK: 5,063 SF LVL 6 TERRACE: 907 SF
MINIMUM COMMON OPEN SPACE REQUIREMENT (100 SF PER DWELLING UNIT)	12,000 SF
*NOTE: DUE TO THE CHARACTERISTICS OF THIS DEVELOPMENT BOTH PRIVATE AND COMMON OPEN SPACE REQUIREMENTS WERE NOT MET. DEVELOPER TO APPLY FOR WAIVER	



Appendix B: Certification of Landscape Design

CERTIFICATION OF LANDSCAPE DESIGN

I hereby certify that:

- (1) I am a professional appropriately licensed in the State of California to provide professional landscape design services.
- (2) The landscape design and water use calculations for the property located at BREA, CA 92821 (provide street address or parcel number(s)) were prepared by me or under my supervision.
- (3) The landscape design and water use calculations for the identified property comply with the requirements of the City of BREA Water Efficient Landscape Ordinance (Municipal Code Sections 14.00 OF THE BCC) and the City of BREA Guidelines for Implementation of the City of BREA Water Efficient Landscape Ordinance.

(4) The information I have provided in this Certificate of Landscape Design is true and correct and is hereby submitted in compliance with the City of BREA Guidelines for Implementation of the City of BREA Water Efficient Landscape Ordinance.

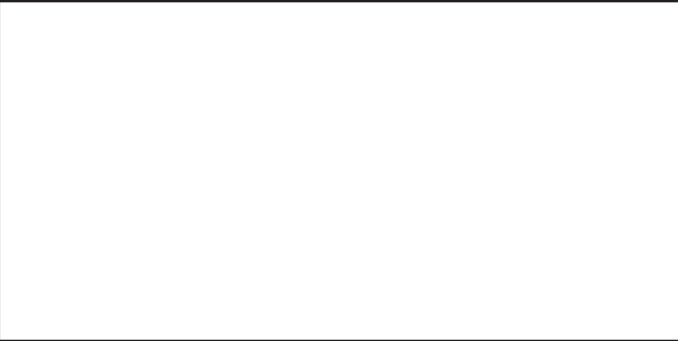
DIEGO ALESSI \_\_\_\_\_  
Print Name Date

\_\_\_\_\_  
Signature License Number

144 N. ORANGE ST., ORANGE, CA 92866  
Address

(714) 639-9860 \_\_\_\_\_  
Telephone E-mail Address DIEGOA@AOARCHITECTS.COM

Landscape Design Professional’s Stamp  
(If applicable)



WATER EFFICIENT WORKSHEET

Site Information

Site Name →

BREA PLAZA APARTMENTS

Site Type →

Commercial

Allowed ETAF:

0.45

Annual Eto (inches/yr) →

51.8

Hydrozone or Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Hydrozone Area (sqft.)	ETAF x Area	Estimated Total Water Use (gal./day)	
Regular Landscape Areas								
LEVEL 1								
HYD #1	0.2	LOW	Drip	0.81	0.2	8,758	2,162	69,450
HYD #2	0.5	MED	Drip	0.81	0.6	2,919	1,802	57,868
SUBTOTAL →					11,677	3,964	127,318	
Special Landscape Areas								
						0		0
						0		0
SUBTOTAL →					0	0	0	
Estimated Total Water Use (ETWU) →							127,318	
Maximum Allowed Water Allowance (MAWA) →							168,758	

ETAF Calculations

Regular Landscape Areas

Total ETAF x Area

3,964

Total Area

11,677

Average ETAF

0.34

All Landscape Areas

Total ETAF x Area

3,964

Total Area

11,677

Sitewide ETAF

0.34

Notes:

ETWU meets MAWA requirement.

Average ETAF meets requirement for this site type.

TREE IMAGES



**ARBUTUS 'MARINA'**  
STRAWBERRY TREE  
MATURE SIZE: 20' - 30' H X 15' - 20' W

**CUPRESSUS SEMPERVIRENS 'TINY TOWER'**  
TINY TOWER ITALIAN CYPRESS  
MATURE SIZE: 40' - 70' H X 10' - 20' W

**LOPHOSTEMON CONFERTUS**  
BRUSH BOX  
MATURE SIZE: 30'-40' H X 15'-25' W

**OLEA EUROPAEA**  
OLIVE TREE  
MATURE SIZE: 25' - 30' H X 25' - 30' W

**PRUNUS CAROLINIANA**  
CAROLINA CHERRY LAUREL  
MATURE SIZE: 15' - 25' H X 15' - 25' W

**RHUS LANCEA**  
AFRICAN SUMAC  
MATURE SIZE: 30'H X 35'W

**VITEX AGNUS-CASTUS**  
CHASTE TREE  
MATURE SIZE: 20'H X 20'W

SHRUB IMAGES



**AGAVE 'BLUE FLAME'**  
BLUE GLOW AGAVE  
SIZE: 2' H X 2'-3' W

**BOUGAINVILLEA 'MONKA'**  
OO-LA-LA BOUGAINVILLEA  
SIZE: 18" H X 6'-8' W

**CARISSA MACROCARPA 'GREEN CARPET'**  
GREEN CARPET NATAL PLUM  
SIZE: 2" - 15" H X 4' - 5' W (TRAILING)

**DIANELLA REVOLUTA 'BABY BLISS'**  
BABY BLISS FLAX LILY  
SIZE: 18" - 24" H X 18" - 24" W

**DIETES BICOLOR 'LEMONDROP'**  
LEMONDROP AFRICAN IRIS  
SIZE: 2' - 3' H X 2' - 3' W

**FURCRAEA FOETIDA MEDIOPICATA**  
GIANT FALSE AGAVE  
SIZE: 4' - 5' H X 6' - 8' W

**MYRTUS COMMUNIS 'COMPACTA'**  
DWARF MYRTLE  
SIZE: 3' H X 3' W



**OLEA EUROPAEA 'MONTRA'**  
LITTLE OLLIE DWARF OLIVE  
SIZE: 4' - 6' H X 4' - 6' W

**PEROVSKIA ATRIPLICIFOLIA 'BLUE JEAN BABY'**  
BLUE JEAN BABY RUSSIAN SAGE  
SIZE: 3'-4' H X 3'-4' W

**PHILODENDRON 'XANADU'**  
XANADU PHILODENDRON  
SIZE: 2'-3' H X 3'-4' W

**PRUNUS CAROLINIANA 'COMPACTA'**  
DWARF CAROLINA CHERRY LAUREL  
MATURE SIZE: 4' H X 4' W

**SUTERA CORDATA 'SCOPIA'**  
SCOPIA BACOPA  
SIZE: 4" - 6" H X 12" - 18" W